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TOWN OF LEWISBORO
Westchester County, New York



Planning Board
PO Box 725
Cross River, New York 10518

Tel: (914) 763-5592
Fax: (914) 763-3637
Email: planning@lewisborogov.com

AGENDA

Tuesday, January 27, 2015

Cross River Plaza, Cross River

Note: Meeting will start at 7:30 p.m. and end at or before 11:30 P.M.

I. PUBLIC HEARING

Oakridge Gardens (Smith Ridge Housing, LLC, owner of record), NYS Route 123, Vista – Request for partial release of bond submitted in accordance with Smith Ridge Housing, LLC, Security Agreement for Construction of Water and Sewer Improvements to be Conveyed to Oakridge Water and Sewer Districts - Cal# 6-02PB

Bacio Trattoria, 12 North Salem Road, Cross River, applicants - Owner of Record: K&K Rea Estate Inc., Applications for Site Development Plan Approval, Wetland Activity Permit Approval, and Stormwater Permit Approval, Cal # 9-10PB, Cal # 84-14 WP, Cal # 14-14SW

II. SKETCH PLAN REVIEW

Waccabuc Country Club, Perch Bay Road, Waccabuc, - Applications for Site Development Plan Approval, Wetland Activity Permit Approval and Stormwater Permit Approval – Relocation of snack shack, providing additional gravel parking area with retaining wall, providing a handicap parking space; relocation of BBQ pits – Cal# 6-13PB, Cal# 93-14WP, Cal# 17-14SW

Goldens Bridge Village Center, NYS Route 22, Goldens Bridge – owner of record: Stephen Cipes, Applications for Sketch Plan Review/Site Development Plan Approval, Wetland Activity Permit Approval and Stormwater Permit Approval for the construction of proposed 2-story multi-use building – Cal# 8-14PB, Cal# 95-14WP, Cal# 20-14SW

III. PROJECT REVIEW

Michael Bockett, 15 South Shore Drive, South Salem – Application for Wetland Activity Permit Approval for drainage improvements and replacement of existing terrace – Cal# 38-14WP, Cal# 3-14WV

J2 Boniello Builders – Property fronting Bouton Road – Applications for Wetland Activity Permit Approval and Stormwater Permit Approval to construct a single family residence serviced by a septic system and drilled well – Cal# 39-14WP

George and Susan Lasota, 120 Boway Road, South Salem – Application for Wetland Activity Permit Approval for construction of proposed 1-story kitchen addition, Cal# 1-15WP

Roger Davidson, 128 Deer Track Lane, Goldens Bridge – Applications for Wetland Activity Permit Approval, and Stormwater Permit Approval for the construction of proposed addition consisting of new garage, bedroom and music studio, Cal# 96-14WP and 21-14SW

IV. WETLAND VIOLATIONS

Cal # 5-14WV

V. DISCUSSION

Popoli Subdivision – owners of record: Pasquale Popoli & Angelo Sicuranza, 1437 Route 35, South Salem – Cal# 8-02 PB

Septic Compliance Administration

Stormwater Management and Erosion and Sediment Control

VI. CORRESPONDENCE AND GENERAL BUSINESS

VII. MINUTES OF December 16, 2014

OAKRIDGE GARDENS

Cal# 6-02PB

TOWN OF LEWISBORO

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on January 27, 2015 at 7:30 p.m., or soon thereafter, at the Town Offices @ Orchard Square Plaza, Lower Level, Cross River, New York, regarding the following:

Cal # 6-02PB.

Request for partial release of bond submitted by Smith Ridge Housing, LLC 450 Oakridge Commons, South Salem, in accordance with Smith Ridge Housing, LLC, Security Agreement for Construction of Water and Sewer Improvements to be Conveyed to Oakridge Water and Sewer Districts. A copy of materials may be inspected at the office of the Planning Board Secretary, 20 Orchard Square, Suite L, Cross River, New York during the regular Planning Board hours. Persons wishing to object to the request should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to attend the Public Hearing and all will be provided an opportunity to be heard.

**PLANNING BOARD
TOWN OF LEWISBORO**

**By: Jerome Kerner
Chairman**

Dated January 22, 2015

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Planning Board in advance.

BACIO
(K&K REAL ESTATE)

CAL# 9-10PB
CAL# 84-14WP
CAL# 14-14SW

TOWN OF LEWISBORO

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on January 27, 2015 at 7:30 p.m., or soon thereafter, at the Town Offices @ Orchard Square Plaza, Lower Level, Cross River, New York, regarding the following:

Cal # 9-10PB, Cal # 84-14WP, Cal # 14-14SW

Applications for Site Development Plan Approval, Wetland Activity Permit Approval and Stormwater Permit Approval for Bacio Trattoria, 12 North Salem Road, Cross River, New York, owner of record, K&K Real Estate, to permit the construction of a 1-story addition (expansion of the kitchen and dining room), an increase in seating capacity from 28 to 60 seats, and expansion and reconfiguration of the parking area to provide a total of 30 parking stalls. The property is located at the intersection of NYS Route 35 and North Salem Road, consists of approximately 1.93 acres of land, and is located within the Town's RB and R1/2 A Zoning Districts. A copy of materials and proposed site documents may be inspected at the office of the Planning Board Secretary, 20 Orchard Square, Suite L, Cross River, New York during regular Planning Board hours. Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to attend the Public Hearing and all will be provided an opportunity to be heard.

**PLANNING BOARD
TOWN OF LEWISBORO
By: Jerome Kerner
Chairman**

Dated January 22, 2015

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Planning Board in advance.

BIBBO ASSOCIATES, L.L.P.

Consulting Engineers

Joseph J. Buschynski, P.E.

Timothy S. Allen, P.E.

Sabri Barisser, P.E.

January 7, 2015

Town of Lewisboro Planning Board
P.O. Box 725
20 North Salem Road, Suite L
Cross River, NY 10518

Attn: Mr. Jerome Kerner R. A., Chairman

Re: K & K Real Estate, Inc.
Bacio Trattoria
Sht. 17, Blk. 10799, Lot 3

Dear Members of the Board:

On behalf of our client, please find the following enclosed for your review:

- 10 copies – Plan Sets, 8 sheets, date last revised 1/7/2015
- 3 copies – Revised Draft Long-Term Maintenance Agreement
- 3 copies – Revised NYSDEC Notice of Intent
- 3 copies – NYSDEC MS-4 SWPPP Acceptance Form

It should be noted that most of the components of the site plan previously reviewed by the Board have not changed. The project is still currently under review by the NYCDEP Stormwater Division. We feel this current design will be the one given final approval by that agency shortly.

Our office has also revised the plans pursuant to the December 10, 2014 memorandum prepared by Kellard Sessions Consulting, PC. We offer the following responses for the Board's consideration:

Plan Comments

1. The existing outdoor seating area does not currently provide handicapped access. Please note, handicapped seating areas will be located inside the restaurant at all times.
2. Sidewalk pedestrian ramps have been added to the plan at the appropriate locations as suggested.
3. The dumpster enclosure detail has been revised as requested.

Site Design ♦ Environmental

4. A proposed drainage easement has been shown on the adjoining property in the vicinity of the existing concrete headwall. The attorney for the project is currently drafting the proposed easement agreement.

Stormwater Pollution Prevention Plan and Stormwater Comments

1. Our office is currently working on resolving all additional NYCDEP comments and we feel SWPPP approval will be obtained shortly. The remaining comments from the NYCDEP will not impact the overall Site Plan layout. NYCDEP approvals will be forwarded to the town when they have been obtained. Please note, the latest NYCDEP review memorandum has been forwarded to the town consultants.
2. Schedule "A" of the draft long-term maintenance agreement has been revised to discuss maintenance for the second hydrodynamic separator chamber. The revised Schedule "A" has been provided herewith.
3. Copies of the revised NYSDEC Notice of Intent and MS-4 SWPPP Acceptance Form have been provided herewith.
4. The construction sequence on the plans has been revised to state that the limits of disturbance shall be staked in the field prior to construction. The updated SWPPP will be provided once the additional NYCDEP comments have addressed.
5. The silt fencing has been shown parallel to the contours were practicable.

We now respectfully request that we be placed on your earliest available agenda for a discussion of our obtaining final site plan approval.

Very truly yours,



Edward J. Delaney, Jr.
Project Manager

Attachments

EJD/mme

cc: A. Coppolla
Jan Johannessen
M. Sirignano, Esq.
Timothy S. Allen, P.E.

**WACCABUC
COUNTRY CLUB**

**CAL#6-13PB
CAL#94-14WP
CAL#17-14SW**

December 16, 2014

Town of Lewisboro Planning Board
P.O. Box 725
20 North Salem Road, Suite L
Cross River, NY 10518

FILE

RECEIVED
DEC 16 2014
BY: *ms*

Attn: Mr. Jerome Kerner R. A., Chairman

Re: Waccabuc Country Club – Beach Club Improvements
Sht. 25A, Blk. 10813, Lot 1
Sht. 25, Blk. 11155, Lot 148

Dear Members of the Board:

On behalf of our client, please find the following enclosed for your review:

- 13 copies – Plan Sets, 3 sheets, date last revised 11/19/2014
- 3 copies – SWPPP, date last revised 10/11/2014
- 13 copies – Architectural Floor Plans
- 13 copies – Stormwater Permit Application w/ fee, dated 12/16/2014
- 13 copies – ACARC Resolution, dated 11/13/2013
- 13 copies – Property Deed, Sheet 25A, Block 10813, Lot 1
- 13 copies – Property Deed, Sheet 25, Block 11155, Lot 148

Our office has also revised the plans pursuant to the August 9, 2013 memorandum prepared by Kellard Sessions Consulting, PC. We offer the following responses for the Board's consideration:

Plan Comments

1. The Club's Attorney will provide under separate cover.
2. Architectural floor plans and elevations of the snack shack have been provided, and approved by ACARC (Resolution Enclosed).

Site Design ♦ Environmental

3. The proposed limit of disturbance has been illustrated on the Site Plan, sheet 2 of 3 and the appropriate Stormwater Pollution Prevention Plan has been provided.
4. The trees with a dbh of 8" or more have been located and shown on the Site Plan.
5. Disturbances are indicated on the plan. The club has already undergone improvements to correct drainage and erosion problems. This plan proposes to further that effort in proposing stabilized stormwater conveyance and finished stabilized improvements.
6. The stormwater runoff from the roof of the snack shack will be conveyed thru a 6" roof drain to the stormwater infiltration system. The detail of the system is provided on the Details, sheet 3 of 3, and the sizing calculations are provided on the SWPPP.
7. The flood boundary line has been shown on the plan referenced from Mapping Westchester. The line as shown on the plans crosses contours that result in a 9 feet elevation change along the line. The expected rise in elevation during a 100 year flood event is 5 feet and would not reach any of the proposed limits of disturbance.
8. The existing and proposed underground utilities have been shown on the plan and included in the limits of disturbance.
9. The access aisle associated with the handicap parking stall is 8 feet in width and a handicap parking detail and associated sign details have been provided on the Details, sheet 3 of 3.
10. The handicap stall is proposed to be surfaced with flexi-pave.
11. The proposed grades have been provided on the Site Plan to demonstrate the handicap parking space, access aisle and drive all comply with to handicap access requirements.
12. The proposed grading and spot grades surrounding the snack shack have been provided.
13. A reinforced concrete retaining wall detail has been provided for the 6'-7' high retaining walls.
14. The contractor staging area and the soil stockpile locations have been shown on the plans.
15. A Zoning Comformance Chart has been provided. The existing and proposed use of buildings on-site have been shown on the plans.
16. The note has been added to the plan on the Site Plan, sheet 2 of 3.

17. The Westchester County Department of Health has accepted the addition of 2 toilets and 2 sinks in the proposed snack shack with the removal of restroom plumbing in the boathouse, which consists of 2 toilets and 2 sinks.
18. The updated existing conditions survey has been provided.
19. The gravel terrace cross section detail has been provided on the Site Plan, sheet 2 of 3.
20. The current property deeds have been provided for each involved lot.
21. The Town Stormwater Permit Application has been provided with associated fees.
22. We will contact the Town Engineer and schedule a site visit.
23. The Plan Set sheets have been labeled correctly.

We respectfully request that we be placed on your earliest available agenda for a discussion of our obtaining final site plan approval.

Very truly yours,

A handwritten signature in blue ink, appearing to read 'Edward J. Delaney', with a stylized flourish at the end.

Edward J. Delaney,
Project Manager

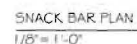
Attachments

EJD/neh

cc: Jan Johannessen

BY: Jan

Engineer:
Marchetti Consulting Engineers
25 High Ridge Road
Pound Ridge, NY 10576
Tel 914.764.9011
Fax 914.764.9012



SNACK BAR ROOF PLAN
1/8" = 1'-0"

All dimensions and existing conditions shall be checked and verified by the Contractor before proceeding with the work.

January 19, 2012 Client Review

Reporting Title

PROPOSED SNACK BAR PLANS

Drawn	Date	2012
Checked	Scale	As Noted
Drawing No.		

A-1 **OPTION # 4**

Document

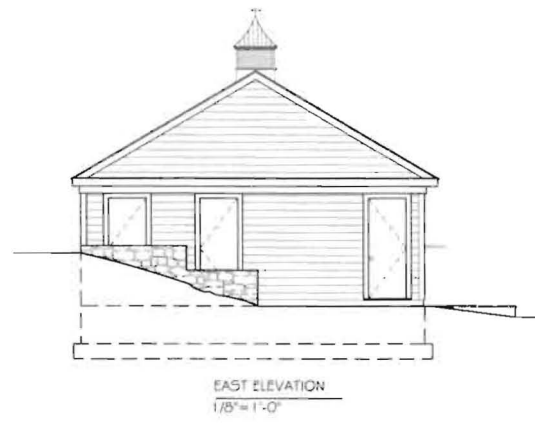
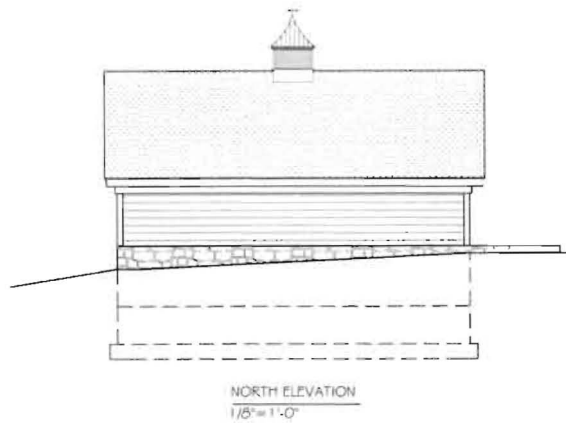
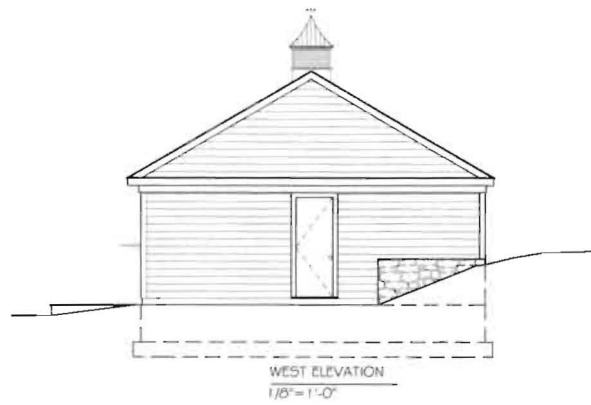
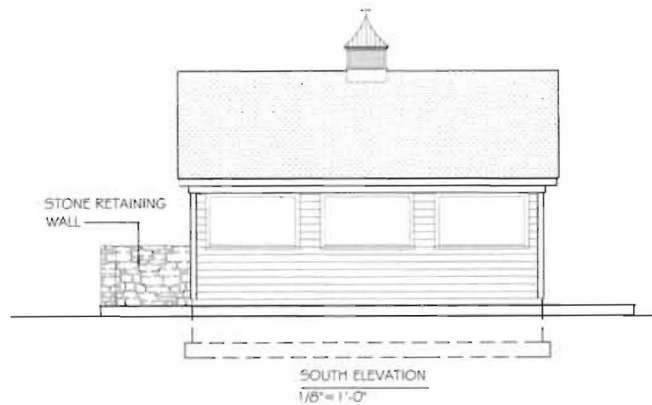
FILE

WCC Snack Bar
Addition and Alterations
Waccabuc, New York

Client:
Waccabuc Country Club
Waccabuc, NY 10597

Architect:
Michael DeCandia Architects and Planners
174 N. Salem Road
Katonah, NY 10536
Tel 914.232.8210
Fax 914.232.2633

Engineer:
Marchetti Consulting Engineers
25 High Ridge Road
Pound Ridge, NY 10576
Tel 914.764.9011
Fax 914.764.9012



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All dimensions and existing conditions shall be checked and verified by the Contractor before proceeding with the work.

January 19, 2012

Client Review

PROPOSED SNACK BAR ELEVATIONS

Drawn: Date: 2012
Checked: Scale: As Noted
Drawing No.

A-2 OPTION # 4

Drawings

WCC SnackBar
Addition and Alterations
 Waccabuc, New York

Client:
 Waccabuc Country Club
 Waccabuc, NY 10597

Architect:
 Michael DeCandia Architects and Planners
 174 N. Salem Road
 Katonah, NY 10536
 Tel 914.232.8210
 Fax 914.252.5653

Engineer:
 Marchetti Consulting Engineers
 25 High Ridge Road
 Pound Ridge, NY 10576
 Tel 914.764.9011
 Fax 914.764.9012

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All dimensions and existing conditions shall be checked and verified by the Contractor before proceeding with the work.

Date	Revisions
January 18, 2012	Client Review

January 18, 2012 Client Review

Drawing Title

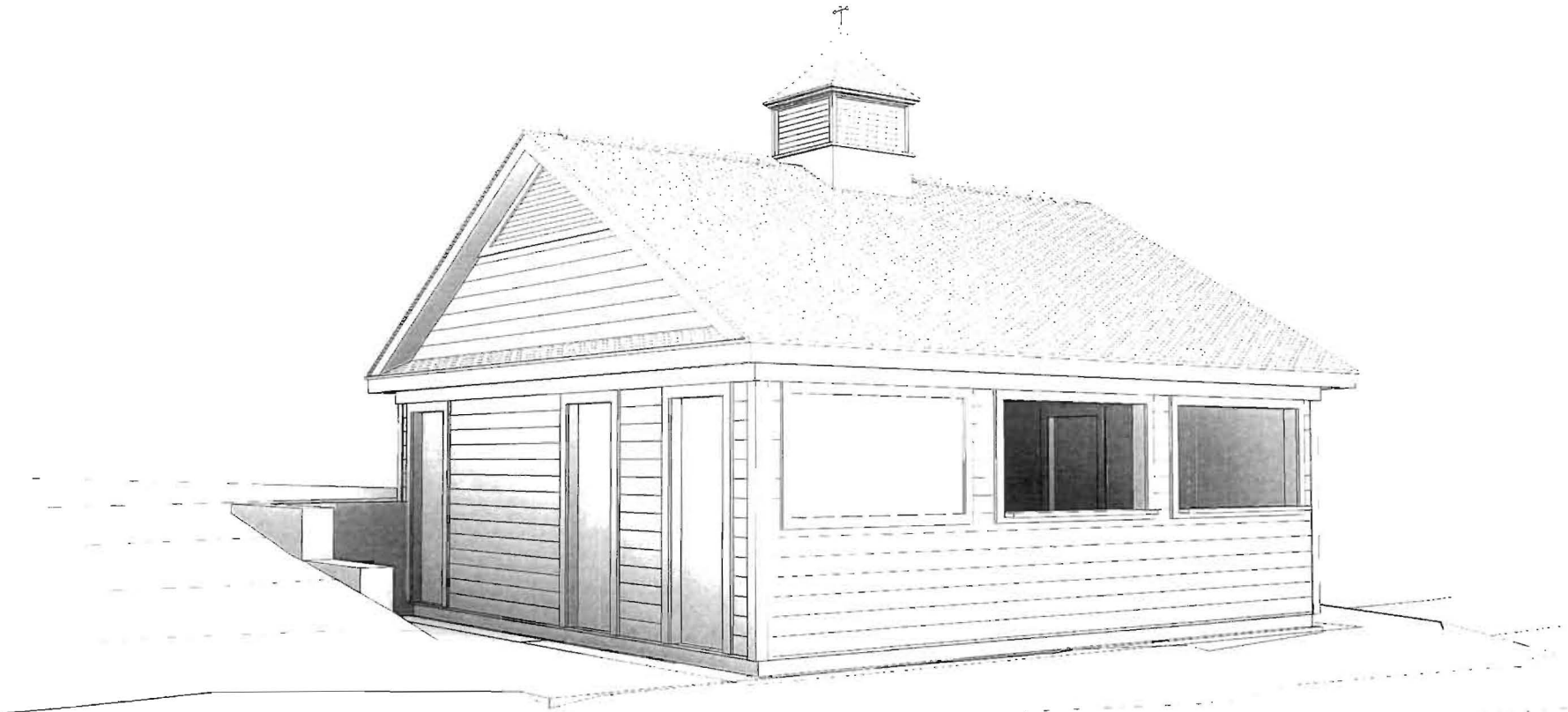
OPTION 4
PERSPECTIVE VIEW

Drawn	Draw	BYLL
Checked	Scale	As Noted

Drawing No.

A-3

Document

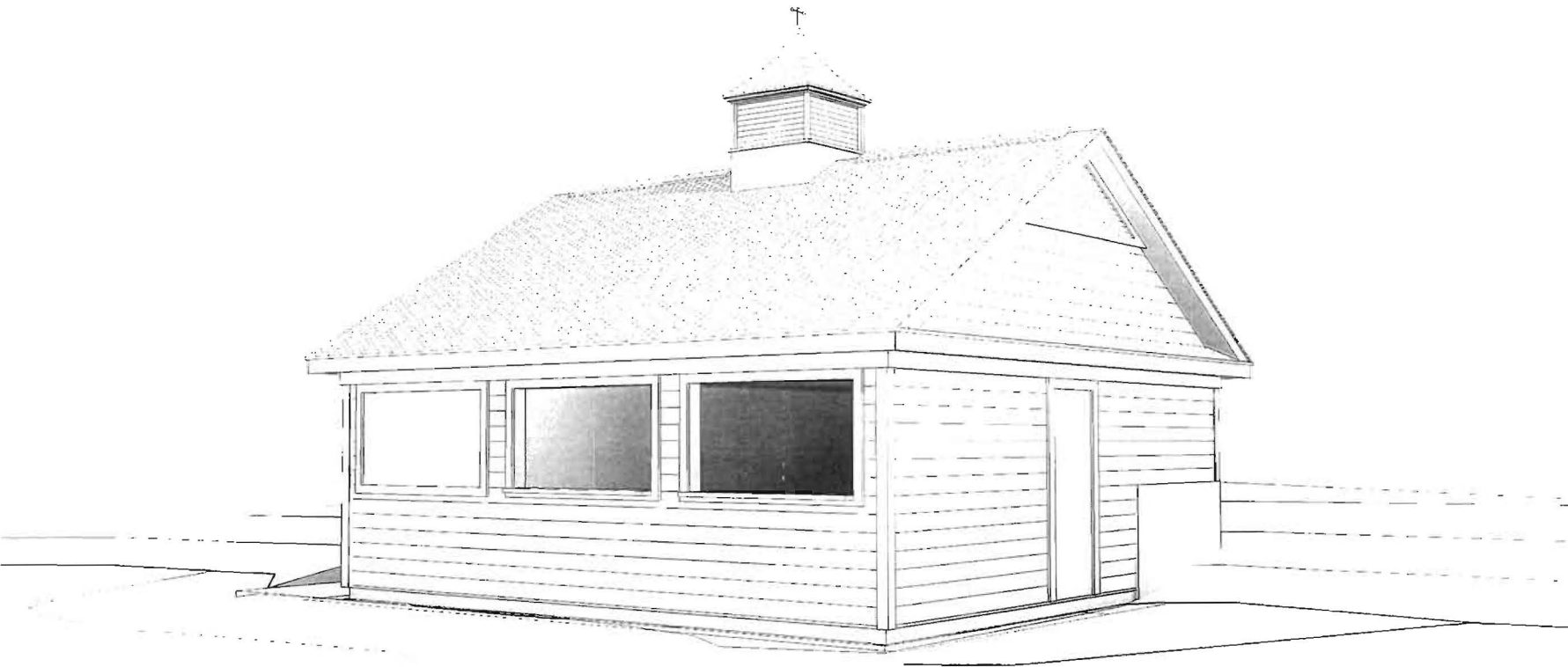


WCC SnackBar
Addition and Alterations
Waccabuc, New York

Client:
Waccabuc Country Club
Waccabuc, NY 10597

Architect:
Michael DeCandia Architects and Planners
174 N. Salvo Road
Katonah, NY 10536
Tel 914.232.8210
Fax 914.232.5633

Engineer:
Marchetti Consulting Engineers
15 High Ridge Road
Pound Ridge, NY 10576
Tel 914.764.9011
Fax 914.764.9012



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All dimensions and existing conditions shall be checked and verified by the Contractor before proceeding with the work.

Issue Date: Revisions:

January 19, 2012 Chris Ruffalo

Drawing Title
OPTION 4
PERSPECTIVE VIEW

Drawn: Date: 2012
Checked: Scale: As Noted

Drawing No.

A-4

Document



BY: Imp

Application No.: 18-14 SW

Fee: 155.00 Date: 12/16/14

OK # 1242

Rept # 597522

ref 6-18 PB

TOWN OF LEWISBORO
STORMWATER PERMIT APPLICATION

Town Offices @ Orchard Square, Suite L (Lower Level), 20 North Salem Road, Cross River, NY 10518

Phone: (914) 763-5592

Fax: (914) 763-3637

Project Information

Project Address: Perch Bay Road

Sheet: 25A Block: 10813 Lot(s): 1
25 11155 148

Project Description (describe overall project including all proposed land development activities):

Waccabuc Country Club proposes to relocate and expand the snack shack
w/ ADA bathroom and handicap space, and expand gravel terrace
w/ new barbecue pits.

Owner's Information

Owner's Name: Waccabuc Country Club Phone: 763-3144

Owner's Address: 90 Mead Street, Waccabuc, NY Email: _____

Applicant's Information (if different)

Applicant's Name: Steve G. Bove Phone: _____

Applicant's Address: _____ Email: _____

Authorized Agent's Information

Agent's Name: Tim S. Allen, P.E. Phone: 277-5805

Agent's Address: Rt. 100, Somers, NY 10589 Email: TAllen@bibboassociates.com

To Be Completed By Owner/Applicant/Agent

- The approval authority is? (see §189-5 of the Town Code)
☐ Town Engineer and SMO ☒ Planning Board
- Is the project located within the NYCDEP Watershed? ☐ Yes ☐ No
- Total area of proposed disturbance: ☒ 5,000 s.f. - < 1 acre ☐ ≥ 1 acre
- Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity? ☒ Yes ☐ No ☐ Requires post-construction stormwater practice
- Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: NYSDEC, WCDOH

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under §189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

Owner/Applicant Signature: [Signature]

Date: 12/16/14

For John Bissolati
Executive Manager

AFFIDAVIT OF OWNERSHIP

RECEIVED
DEC 16 2014

BY: And

STATE OF)
COUNTY OF) ss:

John D. Assumma (Waccabuc Country Club) being duly sworn, deposes and says that
she/he resides at 90 Mead Street (Waccabuc Country Club), Waccabuc, New York 1059.
in the County of: WESTCHESTER

State
of: N.Y.

And that she/he is (check one) (1) the owners, or (2) the GENERAL Manager
Title
of WACCABUC COUNTRY CLUB
name of corporation, partnership or other legal entity

which is the owner, in fee of all that certain lot, piece or parcel of land situated, lying
and being in the Town of Lewisboro, New York, aforesaid and known and designated
on the Tax Map in the Town of Lewisboro as Lot Numbers: 1 & 148
BlockS 10813 & 11155 on sheets 25 & 25 A

For (check one):

☐ SKETCH PLAN REVIEW ☐ PRELIMINARY SUBDIVISION PLAT ☐ FINAL SUBDIVISION PLAT
☐ SITE DEVELOPMENT PLAN ☐ SPECIAL USE PERMIT ☐ WAIVER OF SITE PLAN PROCEDURES
☒ WETLAND PERMIT ☐ STORMWATER PERMIT ☐ FILING WITH WESTCHESTER COUNTY CLERK

John D. Assumma
Signed

Sworn to before me this

20 day of June, 2013

Judy Bizier
Notary public (affix stamp)

JUDY BIZIER
NOTARY PUBLIC, STATE OF NEW YORK
QUALIFIED IN WESTCHESTER COUNTY
REG. #01BI604425
MY COMM. EXP. 07/03/ 2014

ARCHITECTURE AND COMMUNITY APPEARANCE REVIEW COUNCIL

TOWN OF LEWISBORO

CAL. NO. 13-13-ACARC

Applicant(s): Waccabuc Country Club
90 Mead Street
Waccabuc, NY 10597

Owner(s) of Record: Same

Reason for Referral: Planning Board, per Town Code § 7-3B

Tax Map I.D.: Sheet 25A, Block 10813, Lot 1 Zone R-4A
Sheet 25, Block 11155, Lot 148 Zone R-4A

Decision Date: November 13, 2013

The Vote: To Approve: Ciorsdan Conran, Chairperson
Kenneth McGahren
Stephen Hoyt
Virginia LoBosco

To Deny: None

Abstain: None

Absent: Gail Ascher


Presentation by: Mr. Michael DeCandia, architect
Mr. Darrell Alfieri, Waccabuc Country Club Board member

Nature of Application: New snack bar building at lake, relocate grill area and improve drainage

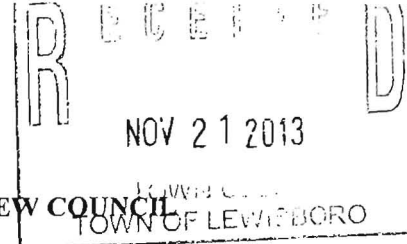
Evidence Presented: Site Plan, pictures of the old building and surrounding area and Boat House, architectural drawings for new snack bar

Based on the foregoing, the members of ACARC resolved to approve the application for the new snack bar as proposed with the exterior to be painted Rockport Gray, trim color in Alabaster with black asphalt roof. Also approved was the relocation of the grill area and the improved drainage for the lane leading to the snack bar area.

By motion Mr. McGahren; seconded by Mr. Hoyt; In favor: Ciorsdan Conran and Ginny LoBosco.
To deny: None. Absent: Gail Ascher.


Ciorsdan Conran, Chairperson

Dated in South Salem, New York
This 13th day of November, 2013



RECEIVED
DEC 16 2014

BY: 

FILE

TAX LOT 25A/10813/1
PARCEL 5



008768061

DISCLAIMER: MAR 15 1971 by a certificate recorded in
Liber 1563 Page 422

See Assignment Liber 7329 Page 665

Edward J. Veltman
County Clerk

LIBER 7143 PAGE 74

51997

Standard N. Y. S. T. U. Form 8014 - 1-67-2004 - First Mortgage - Individual or Corporation

SERIAL # HK 11590

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT - THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS MORTGAGE, made the 1st day of February, nineteen hundred and sixty-eight

BETWEEN WACCABUC COUNTRY CLUB COMPANY, a domestic corporation
with its principal office and place of business at Waccabuc
(no street address) New York

and *the mortgagor,*
STUDWELL FOUNDATION, INCORPORATED, a domestic corporation having
its principal office and place of business at Waccabuc (no
street address) New York

the mortgagee,
WITNESSETH, that to secure the payment of an indebtedness in the sum of Twenty Thousand
and 00/100 (\$20,000.00) - - - - - dollars,
lawful money of the United States, to be paid February 1, 1971

with interest thereon to be computed from the date hereof, at the rate of Six (6%) per centum
per annum, and to be paid on the 1st day of May 1968, next ensuing and
quarterly thereafter,

according to a certain bond,
note or obligation bearing even date herewith, the mortgagor hereby mortgages to the mortgagee

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate,
lying and being in the Town of Lewisboro, County of Westchester and State
of New York, being more particularly bounded and described as follows:

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BY: *But*

PARCEL 1 - BEGINNING at a point on the westerly side of Mead Street, which point is located as follows:

STARTING at a point on the westerly side of Mead Street where the same is intersected by the division line between lands now or formerly of O. B. Merrill and lands of Studwell Foundation, Inc.;

running thence along the westerly side of Mead Street, North 9° 09' 30" West 301.67 feet and North 8° 27' 40" West 398.77 feet to the point of beginning;

running thence from said point of beginning, as established, and along other land now or formerly of Studwell Foundation, Inc., the following courses and distances: southwesterly on a curve to the right having a radius of 30 feet, a distance of 50.51 feet; South 88° 00' West 339.50 feet; North 2° 00' West 254.50 feet; North 88° 00' East 96.50 feet; South 24° 52' East 97.64 feet and North 88° 00' East 220 feet to the westerly side of Mead Street, and

running thence along the same, South 8° 27' 40" East 132 feet to the point of beginning.

PARCEL 2 - BEGINNING at a point which is located as follows:

STARTING at a point on the westerly side of Mead Street where the same is intersected by the division line between lands now or formerly of O. B. Merrill and lands of Studwell Foundation, Inc.;

running thence along the westerly side of Mead Street, North 9° 09' 30" West 301.67 feet; North 8° 27' 40" West 398.77 feet; and

running thence southwesterly on a curve to the right having a radius of 30 feet, a distance of 50.51 feet;

running thence the following courses and distances: South 88° 00' West 619.84 feet; Southwesterly on a curve to the left having a radius of 200 feet, a distance of 194.18 feet; Southwesterly on a curve to the right having a radius of 150 feet; a distance of 154.04 feet; and North 88° 47' 30" West 223.34 feet to the point of beginning; said point of beginning being also the southwesterly corner of land now or formerly of Alan N. Sidam;

running thence from said point of beginning, as located, and along other lands now or formerly of Studwell Foundation, Inc., the following courses and distances: North 87° 18' 10" West 264.80 feet; South 88° 50' 10" West 287.74 feet; Southwesterly on a curve to the left having a radius of 160 feet, a distance of 144.47 feet; South 37° 06' West 102.58 feet; Southwesterly on a curve to the right having a radius of 105 feet, a distance of 131.62 feet; North 71° 04' 40" West 305.36 feet; Northwesterly on a curve to the right having a radius of 575 feet, a distance of 321.86 feet; North 39° 00' 20" West 332.93 feet; North 6° 03' 30" East 153.59 feet; North 5° 49' East 300.60 feet; North 5° 56' East 147.01 feet; North 4° 48' East 44.01 feet; North 6° 13' East 34.43 feet; North 7° 30' 30" East 76.79 feet; North 5° 17' 10" East 177.06 feet; North 5° 45' 30" East 147.44 feet; South 83° 02' East 237.63 feet; South 85° 03' 50" East 318.18 feet; South 4° 11' West 392 feet; South 85° 08' 50" East 509.21 feet; North 6° 23' 20" East 417.66 feet; South 86° 08' 30" East 241.63 feet and South 7° 28' 20" East 1067.01 feet to a point on the westerly side of land now or formerly of Alan N. Sidam;

running thence along the same, South 9° 05' 40" East 294.55 feet to the point of beginning.

PARCEL 3 - BEGINNING at a point on the westerly side of Mead Street where the same is intersected by the division line between premises hereinafter described and lands now or formerly of O. B. Merrill;

running thence along said division line, North $89^{\circ} 07' 30''$ West 383.20 feet; North $82^{\circ} 12' 50''$ West 362.27 feet and South $8^{\circ} 52'$ East 301.30 feet to a point on the northerly side of land now or formerly of Alice R. Mead;

running thence along the same, North $85^{\circ} 46'$ West 170.25 feet; North $85^{\circ} 19' 40''$ West 995.27 feet; North $86^{\circ} 44' 30''$ West 149.54 feet and North $85^{\circ} 59' 35''$ West 969.52 feet to a point on the easterly side of other lands now or formerly of Studwell Foundation, Inc.;

running thence along the said easterly and southerly sides of said last mentioned land, the following courses and distances: North $50^{\circ} 35' 30''$ East 529.30 feet; North $5^{\circ} 21' 30''$ East 320.87 feet; South $39^{\circ} 00' 20''$ East 283.04 feet; Southeasterly on a curve to the left having a radius of 625 feet a distance of 349.85 feet; South $71^{\circ} 04' 40''$ East 305.36 feet; Northeasterly on a curve to the left having a radius of 155 feet, a distance of 194.30 feet; North $37^{\circ} 06'$ East 102.58 feet; Northeasterly on a curve to the right having a radius of 110 feet, a distance of 99.33 feet; North $88^{\circ} 50' 10''$ East 286.05 feet; South $87^{\circ} 18' 10''$ East 263.75 feet; South $88^{\circ} 47' 30''$ East 224. feet; Northeasterly on a curve to the left having a radius of 200 feet, a central angle of $18^{\circ} 44' 50''$, a distance of 65.44 feet; South $88^{\circ} 56'$ East 580.25 feet; North $2^{\circ} 00'$ West 176.14 feet and North $88^{\circ} 00'$ East 288.19 feet; and Southeasterly on a curve to the right with a radius of 30 feet, a distance of 43.74 feet to the westerly side of Mead Street;

running thence along the same, South $8^{\circ} 27' 40''$ East 288.07 feet and South $9^{\circ} 09' 30''$ East 301.67 feet to the point of beginning.

PARCEL 4 - BEGINNING at a point on the easterly side of Mead Street distant 166.94 feet southerly as measured along the same from the southerly side of Post Office Road;

running thence along the easterly side of Mead Street, South $8^{\circ} 19' 30''$ East 573.59 feet to a point on the northerly side of land now or formerly of Clara Mead;

running thence along the same South $84^{\circ} 19' 10''$ East 491.64 feet to a point on the northerly side of land shown on "Amended Map of Survey of Property Belonging to Mead Property, Inc. showing portion of, and continuation of East Ridge Road", filed in the Westchester County Clerk's office, Division of Land Records Oct. 28, 1957 as Map No. 11293;

running thence along the northerly and easterly sides of said last mentioned land, South $84^{\circ} 27' 40''$ East 89.31 feet; South $83^{\circ} 37' 30''$ East 122.94 feet; South $84^{\circ} 37' 30''$ East 181.67 feet; South $83^{\circ} 59' 50''$ East 111.88 feet; South $84^{\circ} 30' 50''$ East 147.45 feet; South $84^{\circ} 53' 40''$ East 130.36 feet; South $84^{\circ} 10' 10''$ East 190.37 feet; South $84^{\circ} 27' 30''$ East 212.97 feet; South $84^{\circ} 16' 00''$ East 81.02 feet; South $19^{\circ} 35' 50''$ East 800.20 feet; South $20^{\circ} 24' 10''$ East 109.52 feet; South $18^{\circ} 58' 10''$ East 809.45 feet and South $20^{\circ} 05' 10''$ East 82.98 feet to a point on the northerly side of East Ridge Road;

running thence along the same, the following courses and distances: easterly on a curve to the right with a radius of 200 feet, a central angle of $4^{\circ} 31' 50''$ a distance of 15.81 feet; North $87^{\circ} 39' 50''$ East 223.16 feet; Easterly on a curve to the left having a radius of 500 feet, a central angle of $10^{\circ} 31' 20''$ a distance of 91.82 feet; and North $77^{\circ} 08' 30''$ East 59.24 feet to a point; thence leaving the northerly side of East Ridge Road and running North $7^{\circ} 22' 40''$ West 310.05 feet and North $82^{\circ} 37' 20''$ East 200 feet to a point on the westerly side of East Ridge Road;

running thence along the westerly and southerly sides of East Ridge Road, the following courses and distances: North $7^{\circ} 22' 40''$ West 1396.43 feet; Northwesterly on a curve to the left having a radius

of 155 feet, a central angle of $71^{\circ} 42' 00''$, a distance of 193.97 feet; North $79^{\circ} 04' 40''$ West 258.13 feet; and westerly on a curve to the right having a radius of 175 feet, a central angle of $5^{\circ} 57' 30''$, a distance of 18.20 feet to a point;

running thence along other lands of Studwell Foundation, Inc., land now or formerly of M. Stumph Browne, Josephine Dickely and Theodore Starr, the following courses and distances: North $76^{\circ} 03' 50''$ West 1045.67 feet; South $89^{\circ} 29' 40''$ West 366.36 feet; North $87^{\circ} 23' 40''$ West 8.23 feet; North $76^{\circ} 27' 50''$ West 282.23 feet; North $88^{\circ} 07' 15''$ West 152.58 feet; North $87^{\circ} 32' 10''$ West 202.20 feet; South $2^{\circ} 27' 50''$ West 27 feet and North $89^{\circ} 46' 30''$ West 358.19 feet to the point or place of beginning.

PARCEL 5 - BEGINNING at a point, which said point or place of beginning is the following courses and distances along the westerly side of Perch Bay Road as shown on a certain map entitled, "Survey of Perch Bay Road Through Lands of Mead Property, Inc. situate in Waccabuc, Town of Lewisboro, Westchester County, N.Y.", which map is dated April 19, 1949 and prepared by Leonard Associates, Inc., Licensed New York State Land Surveyors, and which map was recorded in the office of the Clerk of the County of Westchester, Division of Land Records, on the 20th day of July, 1949 as Map No. 6888, from the point of intersection of said westerly side of Perch Bay Road with the northerly side of a certain Town Highway known as Post Office Road, North $17^{\circ} 26' 20''$ East 565.95 feet to said point or place of beginning;

running thence from said point or place of beginning still North $17^{\circ} 26' 20''$ East 315.79 feet and North $18^{\circ} 05' 40''$ East 414.92 feet to the southerly shore of Lake Waccabuc;

running thence along said southerly shore of Lake Waccabuc, North $78^{\circ} 26' 20''$ East 21.34 feet; South $48^{\circ} 37' 00''$ East 61.99 feet; South $41^{\circ} 12' 30''$ East 202.30 feet; South $59^{\circ} 43' 00''$ East 154.76 feet and North $74^{\circ} 49' 30''$ East 39.76 feet to the intersection of said southerly shore of Lake Waccabuc with lands now or formerly of Robert A. Curry;

running thence along said lands of Curry, South $17^{\circ} 26' 20''$ West 569.45 feet to a point in the center line of Perch Bay Road;

running thence along said center line of said Perch Bay Road North $76^{\circ} 14' 00''$ West 438.17 feet to the point or place of beginning.

TOGETHER with a perpetual right of way over, upon and across said Perch Bay Road as shown on said Map No. 6888 for purposes of ingress and egress to or from said premises.

SUBJECT to a right of way or easement over, upon and across so much of the above described premises as lies within the bounds of said Perch Bay Road as shown on said Map No. 6888, which said portion of said premises is more particularly bounded and described as follows:

BEGINNING at a point which said point is the point or place of beginning of the parcel above described and running thence North $17^{\circ} 26' 20''$ East 25.05 feet;

running thence South $76^{\circ} 14' 40''$ East 438.17 feet along the northerly side of Perch Bay Road;

thence South $17^{\circ} 26' 20''$ East 25.05 feet to the center line of Perch Bay Road;

thence along said center line of said Perch Bay Road, North $76^{\circ} 14' 40''$ West 438.17 feet to the point or place of beginning.

TOGETHER with an easement or right of way, in common with others, over the following described parcel:

BEGINNING at a point on the westerly side of Mead Street, which point is located as follows:

STARTING at a point on the westerly side of Mead Street where the same is intersected by the division line between lands now or formerly of O. B. Merrill and lands of Studwell Foundation, Inc.;

running thence along the westerly side of Mead Street, North 09° 30' West 301.67 feet and North 8° 27' 40" West 398.77 feet to the point of beginning;

running thence from said point of beginning, as located, the following courses and distances:

Southwesterly on a curve to the right having a radius of 30 feet, a distance of 50.51 feet; South 88° 00' West 619.84 feet; Southwesterly on a curve to the left having a radius of 200 feet, a distance of 194.18 feet; Southwesterly on a curve to the right having a radius of 150 feet, a distance of 154.04 feet; and North 88° 47' 30" West 223.34 feet; North 87° 18' 10" West 264.80 feet; South 88° 50' 10" West 287.74 feet; Southwesterly on a curve to the left having a radius of 160 feet, a distance of 144.47 feet; South 37° 06' West 102.58 feet; Southwesterly on a curve to the right having a radius of 105 feet, a distance of 131.62 feet; North 71° 04' 40" West 305.36 feet; Northwesterly on a curve to the right having a radius of 575 feet, a distance of 321.86 feet; North 39° 00' 20" West 332.93 feet; South 6° 03' 30" West 70.63 feet; South 39° 00' 20" East 283.04 feet; Southeasterly on a curve to the left having a radius of 625 feet, a distance of 349.85 feet; South 71° 04' 40" East 305.36 feet; northeasterly on a curve to the left having a radius of 155 feet, a distance of 194.30 feet; North 37° 06' East 102.58 feet; Northeasterly on a curve to the right having a radius of 110 feet, a distance of 99.33 feet; North 88° 50' 10" East 286.05 feet; South 87° 18' 10" East 263.75 feet; South 88° 47' 30" East 224 feet; Northeasterly on a curve to the left having a radius of 200 feet, a distance of 205.38 feet; Northeasterly on a curve to the right having a radius of 150 feet, a distance of 145.64 feet; North 88° 00' East 632.30 feet and southeasterly on a curve to the right having a radius of 30 feet, a distance of 43.74 feet to the westerly side of Mead Street;

running thence along the same North 8° 27' 40" West 110.70 feet to the point or place of beginning.

ALSO TOGETHER with an easement of Right of Way, over the following described parcel:

BEGINNING at the southeasterly corner of land conveyed to Robert D. Murdock by Mead Properties, Inc., dated and recorded on November 6, 1950 as Liber 4920 cp 229 and running thence the following courses and distances: South 1° 04' 00" West 38.65 feet; North 88° 56' West 303.08 feet; Northwesterly on a curve to the left having a radius of 200 feet, a central angle of 40° 05' 26", a distance of 139.94 feet; Southeasterly on a curve to the left having a radius of 30.65 feet, a central angle of 121° 9' 44" and a distance of 64.81 feet and South 88° 47' 30" East 169.91 feet to the point or place of beginning.

TOGETHER with all the right, title and interest of the mortgager, if any, of, in and to Mead Street in front of or adjoining said premises to the center line thereof.

TOGETHER with the appurtenances and all the estate and rights of the mortgagor in and to said premises.

BEING the same premises which were conveyed by the mortgagee to the mortgagor by deed dated March 16th, 1960 and recorded on the 22nd day of March, 1960 in the Office of the Clerk of the County of Westchester, Division of Land Records, in Liber 6140, page 148.

TOGETHER with an easement or right of way in common with others, over, upon and across East Ridge Road as shown on a certain map entitled, "Revised Survey of East Ridge Road through Lands of Mead Property, Inc. situate in Waccabuc, Town of Lewisboro, Westchester Co. N.Y.", dated August 7, 1954 and prepared by Leonard Associates, Inc., C. E. and S., and filed in the office of the Clerk of Westchester County, Division of Land Records on February 25, 1955 as Map No. 9700 as said East Ridge Road was further modified as shown on another certain map entitled, "Amended Map of Survey of Property Belonging to Mead Property, Inc. showing portion of and the continuation of East Ridge Road situate in the Town of Lewisboro, Westchester County, N.Y.", which map was dated August 5, 1957 and prepared by Barrett and Bunney, Surveyors and filed in the office of the Clerk of Westchester County, Division of Land Records on October 28, 1957 as Map No. 11293.

PARCEL 6 - BEGINNING at a point which is the northwest corner of the premises herein described and the point of intersection of the boundary line between the premises being described on the East and other lands of Waccabuc Country Club on the West with the boundary line of other premises heretofore granted by the Studwell Foundation, Incorporated to Waccabuc Country Club on the North, and running from said point or place of beginning along said lands heretofore conveyed by Studwell Foundation, Incorporated to Waccabuc Country Club, South $84^{\circ} 27' 40''$ East 89.31 feet; South $83^{\circ} 37' 30''$ East 122.94 feet and South $84^{\circ} 37' 30''$ East 117.75 feet to a point;

thence through lands of Studwell Foundation, Incorporated, South $12^{\circ} 12' 00''$ West 372.31 feet to the northerly side of East Ridge Road and North $77^{\circ} 48' 00''$ West 233.38 feet along the northerly side of East Ridge Road to lands of Waccabuc Country Club, and

thence along said lands of Waccabuc Country Club, North $5^{\circ} 22' 40''$ West 77.93 feet; North $3^{\circ} 54' 10''$ West 60.37 feet and North $5^{\circ} 21' 00''$ West 213.11 feet to the point or place of beginning.

PARCEL 7 - BEGINNING at a point in the easterly side of Mead Street distant southeasterly 740.53 feet as measured along the easterly side of Mead Street from the southerly side of Post Office Road which point also marks the intersection of the easterly side of Mead Street by the division line between premises being described herein and lands of Waccabuc Country Club;

running thence along said division line and along a stone wall, South $84^{\circ} 19' 10''$ East 491.64 feet to property shown on "Amended Map of Survey of Property Belonging to Mead Property Inc.", filed as Map No. 11293;

running thence along said lands and along a stone wall the following courses and distances: South $5^{\circ} 21' 00''$ East 213.11 feet; South $3^{\circ} 54' 10''$ East 60.37 feet and South $5^{\circ} 22' 40''$ East 130.38 feet to the northerly side of a lane which runs easterly through Mead Farm from Mead Street;

running thence along the northerly side of said lane and along a stone wall, North $85^{\circ} 05' 30''$ West 198.73 feet; North $86^{\circ} 23' 10''$ West 177.67 feet to a point;

running thence North $50^{\circ} 38' 40''$ West 75.76 feet and North $86^{\circ} 23' 10''$ West $3\frac{1}{4}$ feet to the easterly side of Mead Street;

running thence along the easterly side of Mead Street, North $6^{\circ} 37' 00''$ West 82.70 feet and North $9^{\circ} 24' 00''$ West 294.30 feet to the point of beginning.

EXCEPTING therefrom so much thereof as was conveyed by the Mortgage to the Mortgagee as follows:

BEGINNING at a point in the easterly side of a certain

town highway known as Mead Street where the same is intersected by the boundary line between the premises being described on the North and lands now or formerly of Merrill on the South, and running thence along said lands of Merrill South $86^{\circ} 23' 10''$ East 34.00 feet and South $50^{\circ} 38' 40''$ East 75.76 feet to lands now or formerly of Clara Mead;

thence running along said lands of Mead South $86^{\circ} 23' 10''$ East 177.67 feet and South $85^{\circ} 05' 30''$ East 198.73 feet to lands of the Party of the First part;

thence along said lands of the Party of the First Part North $5^{\circ} 22' 40''$ West 52.45 feet to the southwest corner of lands being conveyed under this agreement by the Party of the First Part to the Party of the Second Part (Parcel 1 herein);

thence through lands of Party of the Second Part North $77^{\circ} 48' 00''$ West 258.38 feet;

thence on a curve to the left with a radius of 745 feet a length of 111.64 feet; North $86^{\circ} 23' 10''$ West 85.07 feet, and on a curve to the right with a radius of 25.00 feet a length of 34.81 feet to the easterly side of the aforesaid Mead Street, and

thence along said easterly side of said Mead Street South $6^{\circ} 37' 00''$ East 71.70 feet to the point or place of beginning, containing within said bounds, $.7896$ acre.

PARCEL 8 - BEGINNING at a point in the present boundary line between lands of the Grantor and Grantee herein at a point which is the following courses and distances from the intersection of the westerly side of a certain Town Highway known as Mead Street with the northerly side of a certain private road known as Carriage House Road and

running thence along said northerly side of said Carriage House Road on a curve to the right having a radius of 30 feet, a length of 50.51 feet and South $88^{\circ} 00'$ West 339.50 feet to a point in said northerly side of said Carriage House Road and

thence along the boundary line between lands of the Grantor on the West and lands of Grantee on the East North $2^{\circ} 00'$ West 96.22 feet to the said point or place of beginning; and

running thence from said point or place of beginning through lands of the Grantor South $87^{\circ} 09'$ West 51.70 feet; North $2^{\circ} 00'$ West 159.05 feet and North $88^{\circ} 00'$ East 51.70 feet to the aforesaid lands of the Grantee and

running thence along said lands of the Grantee South $2^{\circ} 00'$ East 158.28 feet to said point or place of beginning; containing within said bounds 8.203 square feet.

This mortgage is made pursuant to an order of Hon.
 , Justice of the Supreme Court of the
 State of New York, dated , and filed in the
 office of the County Clerk of the County of Westchester on the
 day of , 1968.

TOGETHER with all right, title and interest of the mortgagor in and to the land lying in the streets and roads in front of and adjoining said premises;

TOGETHER with all fixtures, chattels and articles of personal property now or hereafter attached to or used in connection with said premises, including but not limited to furnaces, boilers, oil burners, radiators and piping, coal stokers, plumbing and bathroom fixtures, refrigeration, air conditioning and sprinkler systems; wash-tubs, sinks, gas and electric fixtures, stoves, ranges, awnings, screens, window shades, elevators, motors, dynamos, refrigerators, kitchen cabinets, incinerators, plants and shrubbery and all other equipment and machinery, appliances, fittings, and fixtures of every kind in or used in the operation of the buildings standing on said premises, together with any and all replacements thereof and additions thereto;

TOGETHER with all awards heretofore and hereafter made to the mortgagor for taking by eminent domain the whole or any part of said premises or any easement therein, including any awards for changes of grade of streets, which said awards are hereby assigned to the mortgagee, who is hereby authorized to collect and receive the proceeds of such awards and to give proper receipts and acquittances therefor, and to apply the same toward the payment of the mortgage debt, notwithstanding the fact that the amount owing thereon may not then be due and payable; and the said mortgagor hereby agrees, upon request, to make, execute and deliver any and all assignments and other instruments sufficient for the purpose of assigning said awards to the mortgagee, free, clear and discharged of any encumbrances of any kind or nature whatsoever.

AND the mortgagor covenants with the mortgagee as follows:

1. That the mortgagor will pay the indebtedness as hereinbefore provided.
2. That the mortgagor will keep the buildings on the premises insured against loss by fire for the benefit of the mortgagee; that he will assign and deliver the policies to the mortgagee; and that he will reimburse the mortgagee for any premiums paid for insurance made by the mortgagee on the mortgagor's default in so insuring the buildings or in so assigning and delivering the policies.
3. That no building on the premises shall be altered, removed or demolished without the consent of the mortgagee.
4. That the whole of said principal sum and interest shall become due at the option of the mortgagee: after default in the payment of any instalment of principal or of interest for fifteen days; or after default in the payment of any tax, water rate, sewer rent or assessment for thirty days after notice and demand; or after default after notice and demand either in assigning and delivering the policies insuring the buildings against loss by fire or in reimbursing the mortgagee for premiums paid on such insurance, as hereinbefore provided; or after default upon request in furnishing a statement of the amount due on the mortgage and whether any offsets or defenses exist against the mortgage debt, as hereinafter provided. An assessment which has been made payable in instalments at the application of the mortgagor or lessee of the premises shall nevertheless, for the purpose of this paragraph, be deemed due and payable in its entirety on the day the first instalment becomes due or payable or a lien.
5. That the holder of this mortgage, in any action to foreclose it, shall be entitled to the appointment of a receiver.
6. That the mortgagor will pay all taxes, assessments, sewer rents or water rates, and in default thereof, the mortgagee may pay the same.
7. That the mortgagor within five days upon request in person or within ten days upon request by mail will furnish a written statement duly acknowledged of the amount due on this mortgage and whether any offsets or defenses exist against the mortgage debt.
8. That notice and demand or request may be in writing and may be served in person or by mail.
9. That the mortgagor warrants the title to the premises.
10. That the fire insurance policies required by paragraph No. 2 above shall contain the usual extended coverage endorsement; that in addition thereto the mortgagor, within thirty days after notice and demand, will keep the premises insured against war risk and any other hazard that may reasonably be required by the mortgagee. All of the provisions of paragraphs No. 2 and No. 4 above relating to fire insurance and the provisions of Section 254 of the Real Property Law construing the same shall apply to the additional insurance required by this paragraph.
11. That in case of a foreclosure sale, said premises, or so much thereof as may be affected by this mortgage, may be sold in one parcel.
12. That if any action or proceeding be commenced (except an action to foreclose this mortgage or to collect the debt secured thereby), to which action or proceeding the mortgagee is made a party, or in which it becomes necessary to defend or uphold the lien of this mortgage, all sums paid by the mortgagee for the expense of any litigation to prosecute or defend the rights and lien created by this mortgage (including reasonable counsel fees), shall be paid by the mortgagor, together with interest thereon at the rate of six per cent. per annum, and any such sum and the interest thereon shall be a lien on said premises, prior to any right, or title to, interest in or claim upon said premises attaching or accruing subsequent to the lien of this mortgage, and shall be deemed to be secured by this mortgage. In any action or proceeding to foreclose this mortgage, or to recover or collect the debt secured thereby, the provisions of law respecting the recovering of costs, disbursements and allowances shall prevail unaffected by this covenant.

13. That the mortgagor hereby assigns to the mortgagee the rents, issues and profits of the premises as further security for the payment of said indebtedness, and the mortgagor grants to the mortgagee the right to enter upon and to take possession of the premises for the purpose of collecting the same and to let the premises or any part thereof, and to apply the rents, issues and profits, after payment of all necessary charges and expenses, on account of said indebtedness. This assignment and grant shall continue in effect until this mortgage is paid. The mortgagee hereby waives the right to enter upon and to take possession of said premises for the purpose of collecting said rents, issues and profits, and the mortgagor shall be entitled to collect and receive said rents, issues and profits until default under any of the covenants, conditions or agreements contained in this mortgage, and agrees to use such rents, issues and profits in payment of principal and interest becoming due on this mortgage and in payment of taxes, assessments, sewer rents, water rates and carrying charges becoming due against said premises, but such right of the mortgagor may be revoked by the mortgagee upon any default, on five days' written notice. The mortgagor will not, without the written consent of the mortgagee, receive or collect rent from any tenant of said premises or any part thereof for a period of more than one month in advance, and in the event of any default under this mortgage will pay monthly in advance to the mortgagee, or to any receiver appointed to collect said rents, issues and profits, the fair and reasonable rental value for the use and occupation of said premises or of such part thereof as may be in the possession of the mortgagor, and upon default in any such payment will vacate and surrender the possession of said premises to the mortgagee or to such receiver, and in default thereof may be evicted by summary proceedings.

14. That the whole of said principal sum and the interest shall become due at the option of the mortgagee: (a) after failure to exhibit to the mortgagee, within ten days after demand, receipts showing payment of all taxes, water rates, sewer rents and assessments; or (b) after the actual or threatened alteration, demolition or removal of any building on the premises without the written consent of the mortgagee; or (c) after the assignment of the rents of the premises or any part thereof without the written consent of the mortgagee; or (d) if the buildings on said premises are not maintained in reasonably good repair; or (e) after failure to comply with any requirement or order or notice of violation of law or ordinance issued by any governmental department claiming jurisdiction over the premises within three months from the issuance thereof; or (f) if on application of the mortgagee two or more fire insurance companies lawfully doing business in the State of New York refuse to issue policies insuring the buildings on the premises; or (g) in the event of the removal, demolition or destruction in whole or in part of any of the fixtures, chattels or articles of personal property covered hereby, unless the same are promptly replaced by similar fixtures, chattels and articles of personal property at least equal in quality and condition to those replaced, free from chattel mortgages or other encumbrances thereon and free from any reservation of title thereto; or (h) after thirty days' notice to the mortgagor, in the event of the passage of any law deducting from the value of land for the purposes of taxation any lien thereon, or changing in any way the taxation of mortgages or debts secured thereby for state or local purposes; or (i) if the mortgagor fails to keep, observe and perform any of the other covenants, conditions or agreements contained in this mortgage.

15. That the mortgagor will, in compliance with Section 13 of the Lien Law, receive the advances secured hereby and will hold the right to receive such advances as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

16. That the execution of this mortgage has been duly authorized by the board of directors of the mortgagor.

17. This mortgage and three certain other mortgages, one dated March 16, 1960 and recorded March 22, 1960 in the Office of the County Clerk of Westchester County, Division of Land Records in Liber 6140 of mortgages at page 148, another dated October 10, 1961 and recorded on October 13, 1961 in said County Clerk's office in Liber 6235 of mortgages at page 411, and another dated February 1, 1966 and recorded in said County Clerk's Office on February 17, 1966 in Liber 6946 of mortgages at page 386 made by the mortgagor herein to the mortgagee herein, which said three mortgages last described were by the terms of the most recent thereof consolidated into a single first mortgage lien upon which there is presently an unpaid principal balance of \$30,000.00, are hereby consolidated so as to form a single first mortgage lien affecting the mortgaged premises in the principal sum of \$50,000.00 to be paid \$2,500.00 on May 1, 1968 and quarterly thereafter with the unpaid principal balance due and payable on February 1, 1971, with the privilege to the mortgagor to prepay the principal sum in amounts of \$1,000.00 or multiples thereof on any interest paying date, with interest on \$20,000.00 thereof to be computed from the date hereof (continued on rider).

Ends and this
is a true and
correct copy.

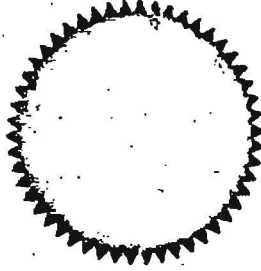
(continuation of Paragraph 17.)

at the rate of six (6%) per cent per annum on the first \$20,000.00 of the unpaid principal balance, and at the rate of Five & one half (5½%) per cent per annum on the unpaid principal balance, and to be paid on the first day of May, 1968 and quarterly thereafter, and the liens of said mortgages hereinbefore described be and the same are modified and spread over the whole of the premises hereinbefore described.

This mortgage may not be changed or terminated orally. The covenants contained in this mortgage shall run with the land and bind the mortgagor, the heirs, personal representatives, successors and assigns of the mortgagor and all subsequent owners, encumbrancers, tenants and subtenants of the premises, and shall inure to the benefit of the mortgagee, the personal representatives, successors and assigns of the mortgagee and all subsequent holders of this mortgage. The word "mortgagor" shall be construed as if it read "mortgagors" and the word "mortgagee" shall be construed as if it read "mortgagees" whenever the sense of this mortgage so requires.

IN WITNESS WHEREOF, this mortgage has been duly executed by the mortgagor.

IN PRESENCE OF:



WACCABUC COUNTRY CLUB COMPANY

By Richard A. Cahill

UNIT 7143 REC 83

TAX LOT 25/11155/148



002270211

PARCEL "C"

LIBER 6939 PAGE 177

Ad. 11
92.50

THE STATE OF NEW YORK JUL 30 1970

6939

RECEIVED
DEC 16 2014
BY: *Thap*

FILE

THIS INDENTURE, made the 28 day of July 1970,
between

STUDWELL FOUNDATION, INCORPORATED, a domestic corporation having its principal office and place of business at Waccabuc, (no street address), Town of Lewisboro, County of Westchester and State of New York,

party of the first part,

and

WACCABUC COUNTRY CLUB COMPANY, a membership corporation incorporated under the laws of the State of New York, having its principal office and place of business at Waccabuc (no street address), New York,

party of the second part;

WITNESSETH: that the party of the first part, in consideration of ONE HUNDRED and 00/100 (\$100.00) DOLLARS lawful money of the United States and other good and valuable consideration, paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever:

PARCEL A

ALL that certain lot, piece or parcel of land situate, lying and being in the Town of Lewisboro, County of Westchester and State of New York being more particularly bounded and described as follows:

BEGINNING at a point in the northerly side of a certain private road known as Carriage House Road, where the same is intersected by the westerly line of premises conveyed to Waccabuc Country Club Company by deed dated 12/15/65, recorded 1/7/66 in Liber 6578 cp 355,

running thence along said westerly line of lands now or formerly of Waccabuc Country Club Company, the following courses and distances:

WILSON COUNTY
0 8 1 8 0 3
REAL ESTATE
STATE OF NEW YORK
= 82.50
PR. 1. 1971

Mod
See Declaration of this Liber page 83

See EASEMENT Agmt LIBER 7731 p. 291
See Declaration LIBER 7731 p. 350

6939 178

North 2° 00' 00" West 96.22 feet,
South 87° 09' 00" West 51.70 feet, and
North 2° 00' 00" West 159.05 feet to lands now or
formerly of Studwell Foundation, Incorporated,

running thence through said last mentioned lands, the
following courses and distances:

North 86° 07' 57" West 121.94 feet,
North 19° 31' 46" West 114.76 feet,
North 86° 58' 54" West 148.77 feet,
South 11° 16' 23" East 210.33 feet,
South 43° 55' 43" West 86.00 feet to lands now
or formerly of Alan N. Sidnam and Shirley S. Sidnam, his wife,

running thence along said last mentioned lands,

South 2° 00' 00" East 150.77 feet to the northerly
side of the aforesaid Carriage House Road,

running thence along the northerly side of Carriage
House Road in an easterly direction, on a curve to the right
with a radius of 200 feet, a distance of 108.58 feet, and

North 88° 00' 00" East 280.34 feet to the point and
place of BEGINNING.

The within described premises are known as part of Lot
10, in Block 10802, on the Tax Assessment Map of the Town of
Lewisboro.

PARCEL B

ALL that certain lot, piece or parcel of land, lying,
being and situate in the Town of Lewisboro, County of Westches-
ter and State of New York and being more particularly bounded
and described as follows:

BEGINNING at a point in the westerly side of a certain
Town Highway known as Mead Street where the same is intersected
by the northerly boundary of the premises being described on the
south and lands of Waccabuc Country Club Company on the north,
and

running thence along said lands of Waccabuc Country Club
Company and lands now or formerly of Studwell Foundation, In-
corporated, on a curve to the right with a radius of 30.00 feet
a length of 50.51 feet,

thence South 88° 00' 00" West 619.84 feet,
thence on a curve to the left with a radius of 200.00
feet a length of 194.18 feet,

thence on a curve to the right with a radius of 150.00 feet a length of 154.04 feet,

North 88° 47' 30" West 223.34 feet,

North 87° 18' 10" West 264.80 feet, thence

South 88° 50' 10" West 287.74 feet, on a curve to the left with a radius of 160.00 feet a length of 144.47 feet,

South 37° 06' 00" West 102.58 feet,

thence on a curve to the right having a radius of 105.00 feet, a length of 131.62 feet,

North 71° 04' 40" West 305.36 feet,

thence on a curve to the right with a radius of 575.00 feet a length of 321.86 feet, and

North 39° 00' 20" West 332.93 feet to the westerly boundary of said lands of Waccabuc Country Club Company,

running thence South 6° 03' 30" West 70.63 feet to the northerly boundary of other lands of Waccabuc Country Club Company,

thence along said lands of Waccabuc Country Club Company South 39° 00' 20" East 283.04 feet,

thence on a curve to the left with a radius of 625.00 feet a length of 349.85 feet,

South 71° 04' 40" East 305.36 feet,

thence on a curve to the left with a radius of 155.00 feet a length of 194.30 feet,

North 37° 06' 00" East 102.58 feet,

thence on a curve to the right with a radius of 110.00 feet a length of 99.33 feet,

North 88° 50' 10" East 286.05 feet,

South 87° 18' 10" East 263.75 feet,

South 88° 47' 30" East 224.00 feet,

thence on a curve to the left with a radius of 200.00 feet a length of 65.44 feet to lands of Murdock, thence along said lands of Murdock and lands of Cronk and again along lands of Waccabuc Country Club Company on a curve to the left with a radius of 200 feet a length of 139.94 feet,

thence on a curve to the right with a radius of 150.00 feet a length of 145.64 feet,

North 88° 00' 00" East 632.30 feet and on a curve to the right with a radius of 30.00 feet a length of 43.74 feet to the aforesaid westerly side of Mead Street, and

thence along said westerly side of Mead Street North 8° 27' 40" West 110.70 feet to the point or place of BEGINNING, said parcel being known as Carriage House Road.

PARCEL B - Continued

The within described premises are known as part of Lot 10, in Block 10802, on the Tax Assessment Map of the Town of Lewisboro.

^{of}SUBJECT to the rights of owners of abutting lands presently/Alan N. Sidnam, Robert D. Murdock and Robert J. Cronk, to pass over, upon and across the premises above described for access and egress to and from their lands to Mead Street, which rights shall be no greater than the rights presently held by said owners.

~~(SUBJECT to a right to Studwell Foundation, Incorporated, its successors or assigns, to pass over, upon and across the same for access to a certain dump on lands of Waccabuc Country Club, and to continue to use said dump, which rights shall terminate upon the termination of the license heretofore given by Waccabuc Country Club to Studwell Foundation, Incorporated, to use said dump.~~

PARCEL C

ALL that certain plot, piece or parcel of land, situate, lying and being in the Town of Lewisboro, County of Westchester and State of New York, bounded and described as follows:

STARTING at a point at the easterly side of a turnaround known as Tarry-A-Bit Drive as shown on a certain map entitled "Map of Tarry-A-Bit Drive, situate at Waccabuc, Town of Lewisboro, Westchester County, New York" filed in the Office of the Clerk of the County of Westchester, Division of Land Records, on March 27, 1959 as Map No. 11948 and where said easterly side of the turnaround is intersected by the northerly line of premises conveyed to Helge Westerman and Sonya Westerman by deed dated 2/9/61, recorded 2/9/61 in Liber 6085 cp. 125,

running thence along the northerly and easterly lines of said lands now or formerly of Westerman,

South 84° 38' 40" East 111.68 feet and
South 3° 42' 00" East 57.45 feet to a point,

running thence along lands formerly of Studwell Foundation, Incorporated, now or formerly of The Nature Conservancy

South 87° 19' 00" East 152.38 feet and
South 86° 27' 40" East 87.81 feet to the

point and place of beginning to the following described premises,

running thence from said point of beginning and through other lands now or formerly of Studwell Foundation, Incorporated,
North 18° 05' 40" East 523.79 feet to the shore of Lake Waccabuc,

PARCEL C - Continued

running thence along the shore of Lake Waccabuc,
 South 82° 05' 00" East 29.14 feet and
 South 53° 45' 30" East 261.10 feet
 South 15° 35' 00" West 33.01 feet,
 South 17° 01' 00" East 19.41 feet, to lands
 formerly of Mead Property, Inc., now or formerly of Waccabuc
 Country Club Company;

South 18° 05' 40" West 326.43 feet to a point,

running thence through other lands now or formerly
 of Studwell Foundation, Incorporated, the following courses and
 distances:

North 84° 42' 00" West 24.60 feet,
 North 85° 10' 00" West 87.04 feet, and
 North 86° 27' 40" West 186.69 feet to the point
 and place of BEGINNING.

The within described premises are known as Sheet 22,
 23, 24, 25, Block 11155, Lot part of 4 on the Tax Assessment
 Map of the Town of Lewisboro.

SUBJECT to public utility easements of record as the
 same presently exist.

SUBJECT to planning, zoning and building restrictions
 of the Town of Lewisboro.

SUBJECT to the following covenants and restrictions:

1. That no portion of the land affected by this instru-
 ment shall be sold, or leased, for more than a year, nor any
 portion leased for less than one year be re-let to the same par-
 ties, unless and until the location, boundaries and area content
 of the parcel so proposed to be sold or leased has been approved
 in writing by Studwell Foundation, Incorporated, its successors
 and assigns.

2. That no portion of the premises affected by this in-
 strument shall in the future be used for any purpose other than
 for private single family residential purposes and not otherwise,
 and that no trade, manufacture, industry or business of any kind,
 nature or description whatsoever shall be carried on in any por-
 tion of said premises, nor shall any portion of said premises
 be used in any manner which is noxious, dangerous or offensive
 to the residents of the neighborhood, or such as to endanger the
 health of or unreasonably disturb said residents, without the

consent in writing of Studwell Foundation, Incorporated, its successors and assigns whose decision shall be final with respect to any of the matters embraced herein.

3. No dwelling house, building or structure of any kind or description whatsoever or any addition thereto, be the same temporary or permanent, shall be erected or placed upon any portion of the land affected by this instrument unless and until the plans and specifications for said building or buildings or any addition thereto, together with a plot plan of the premises showing the proposed location thereon of any building or buildings or additions thereto, together with a proposed color scheme of the exterior of any and all buildings shall have been submitted to and been approved in writing by Studwell Foundation, Incorporated, its successors and assigns.

4. That no sale or contract to sell, of any portion of the premises affected by this instrument shall be made which does not provide that the purchaser agrees that he will not subdivide the parcel sold to him unless and until a plot plan showing such proposed subdivision shall have been submitted to and approved in writing by Studwell Foundation, Incorporated, its successors and assigns.

5. The purchaser agrees that he will not sell, or lease for more than one year, nor renew any lease of less than one year to the same parties, or contract to sell or contract to lease any of the premises affected by this instrument unless the prospective purchaser or lessee or assignee of either thereof shall have been approved in writing as to eligibility by Studwell Foundation Incorporated, its successors and assigns and unless the prospective purchaser or lessee under said contract or lease shall agree that no further sales or leases shall be made by him unless his prospective purchaser or lessee shall have been approved in writing as to eligibility by Studwell Foundation, Incorporated, its successors and assigns. Such a restriction, however, shall not be deemed to apply to a purchaser at a sale on mortgage foreclosure nor to the sale by a mortgagee who has bought in at a foreclosure action of his own mortgage, but shall apply to the successor or successors of such purchaser.

6. The right to alter, modify, change or vary any or all of the provisions contained in paragraphs "1", "2", "3", "4", "5" and "6" of this instrument at any time and for any reason is expressly reserved to Studwell Foundation, Incorporated, its successors and assigns.

7. The covenants and restrictions contained in the paragraph hereinbefore designated "1", "2", "3", "4", "5" and "6" and any and all parts thereof shall be deemed binding on the purchaser herein and his successors and assigns until July 29, 1980.

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of

the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been incumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

IN WITNESS WHEREOF, the party of the first part has caused its corporate seal to be hereunto affixed and these presents to be signed by its duly authorized officer the day and year first above written.

(Seal)

STUDWELL FOUNDATION, INCORPORATED

By:

John J. Mead
Secretary

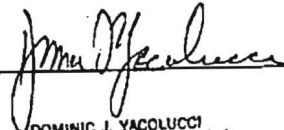


STATE OF NEW YORK, COUNTY OF WESTCHESTER, ss.:

On the 26 day of July 1970, before me personally came JOHN J. S. MEAD, to me known, who, being by me duly sworn, did depose and say that he resides at Waccabuc (no street address) New York; that he is the Secretary of STUDWELL FOUNDATION, INCORPORATED, the corporation described in and which executed the

LIBERTY 6939 PAGE 184

foregoing instrument; that he knows the seal of said corporation;
that the seal affixed to said instrument is such seal; that it
was so affixed by order of the Board of Directors of said corpor-
ation, and that he signed his name thereto by like order.



DOMINIC J. YACOLUCCI
Notary Public, State of New York
Qualified in Westchester County
Commission Expires March 30, 1971

⑤ Title No. 6130865 AND
6131454

STUDWELL FOUNDATION, INCORPORATED,

-to-

WACCABUC COUNTRY CLUB COMPANY
(Parcels A and B and C)

⊕ ✓
DEED

The premises described in the
within instrument are situate
in the Town of Lewisboro, County
of Westchester and State of New
York.

RECORDED AT REQUEST OF
THE TITLE GUARANTEE COMPANY
RETURN BY MAIL TO
John A. STICHNATH, Esq.
270 Park Ave.
New York, N.Y. 10017

1450 B — Cn

RECEIVED
WESTCHESTER COUNTY CLERK

1970 JUL 30 PM 12:56

State's Chg.	1.50
Rec'd'g Chg.	13.50
Cl'ing Chg.	
Assess Ref'n	
Int'l/Receipt	
Total	14.50
ns	Exm'd
37328	
Returned	

9.9.2.14 7-30-70




REQUEST OF THE TITLE GUARANTEE COMPANY

The foregoing instrument was endorsed for record as follows: The property affected by this instrument is situate
in the TOWN OF LEWISBORO
County of Westchester, N. Y. A true copy of the original DEED
recorded JULY 30, 1970 at 12:56 PM
EDWARD N. VETRANO, County Clerk.

MEMORANDUM

TO: Chairman Jerome Kerner, AIA and
Members of the Lewisboro Planning Board

CC: Lisa Pisera
Judson Siebert, Esq.

FROM: Jan K. Johannessen, AICP 
Joseph M. Cermele, P.E., CFM 
David J. Sessions, RLA, AICP 
Town Consulting Professionals

DATE: January 21, 2015

RE: Waccabuc Country Club - Beach Club Improvements
Perch Bay Road
Sheet 25A, Block 10813, Lot 1
Sheet 25, Block 11155, Lot 148

Project Description

The subject property consists of ±9.05 acres of land, is located off of Perch Bay Road and is adjacent to Lake Waccabuc. The subject property consists of two (2) tax parcels, both of which are located within the R-4A Zoning District, and contains the Waccabuc Country Clubs beach club facility. The subject property is currently developed with an asphalt access driveway, gravel parking areas, several detached buildings, a gravel patio, wood decks and docks, various walking paths, potable water well, and a septic system. The Waccabuc Country Club is proposing several improvements to the beach club including a relocated and expanded snack shack with ADA bathroom and surrounding patio, one (1) handicap parking space, an expanded gravel terrace, new barbecue pits, and various retaining walls. The majority of the improvements are proposed within 150-feet of Lake Waccabuc and within the Town's regulated wetland buffer area.

SEQRA

The proposed action is a Type II Action and, therefore, is categorically exempt from the State Environmental Quality Review Act (SEQRA).

Chairman Jerome Kerner, AIA

January 21, 2015

Page 2

Required Approvals/Referrals

1. Site Development Plan Approval, a Wetland Activity Permit and a Town Stormwater Permit is required from the Planning Board.
2. A public hearing is required to be held on the Wetland Activity Permit.
3. Expansion of the nonconforming use requires approval from the Zoning Board of Appeals.
4. A Floodplain Development Permit will be required from the Building Inspector.
5. The proposed action was approved by the Architecture and Community Appearance Review Council (ACARC) on November 13, 2013.
6. Approval is required from the Westchester County Department of Health (WCDH).
7. The application should be referred to the Westchester County Planning Department in accordance with Section 239-m of the General Municipal Law; the Planning Board Secretary will coordinate this referral.
8. Coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-10-001) is required from the New York State Department of Environmental Conservation (NYSDEC).

Comments

1. The existing use of the subject property is not listed among the permitted/specially permitted uses within the R-4A Zone. Following the applicant's last appearance before the Planning Board, this office communicated with the Planning Board Attorney and collectively agreed that, given the information provided to date by the applicant, that the subject use is an existing nonconforming use and is, therefore, subject to Section 220-9 of the Zoning Code. In accordance with Section 220-9E of the Zoning Code, expansion or alteration of a nonconforming use requires approval from the Zoning Board of Appeals.
2. While some large diameter trees are illustrated on the plan, the applicant shall confirm that all trees with a $\geq 8"$ dbh and located within the limits of disturbance have been survey-located

and are shown on the Site Development Plan. Trees to be removed or protected within the proposed limits of disturbance shall be indicated on the plan.

3. The Wetland Ordinance strives for a 1:1 mitigation ratio and a no-net-loss of wetlands and buffers. A wetland mitigation plan should be submitted or, alternatively, wetland mitigation should be incorporated/illustrated on the submitted plans. We had previously recommended that ongoing erosion and drainage issues occurring along and within the access roads and parking areas be addressed as part of the overall mitigation plan. Further, the CAC had previously recommended lakeside buffer planting, which could also be incorporated into the plan.
4. Soil deep and percolation testing must be conducted in the area of the proposed infiltration practice and must be witnessed by this office. Test locations and results shall be included on the plan.
5. Lake Waccabuc and the immediate surrounding area are located within the FEMA Floodplain, Zone A. The flood boundary line has been added to the plan, as requested. Given that it is a Zone A, no elevation data has been determined. The flood boundary, therefore, is generally shown within the limits of disturbance and a Floodplain Development Permit will be required. Alternatively, the applicant can provide supporting hydrologic calculations demonstrating that all development is outside the floodplain.
6. Vehicle maneuverability for the proposed ADA parking space appears extremely limited given its proximity to the building. The applicant should consider modifications to the layout to improve ingress/egress.
7. The applicant should consider installing the temporary construction entrance closer to the area of disturbance.
8. Provide details for all site improvements, including, but not limited to, sewer/water services, fence, curb, patio, drainage swales and tree protection.
9. The Stormwater Infiltration System Sizing Calculations shall be verified for accuracy.
10. The Notice of Intent shall be revised to provide the Federal Tax I.D. and an updated period of construction (Question #8).

11. The elevations noted in the Cultec Recharger Detail shall be coordinated with the plan.
12. The limit of disturbance shall be revised to include the relocation of the existing ditch adjacent to the ADA parking space, as well as the installation of the proposed sanitary connection to the existing pump station.
13. Proposed grading for the relocation of the existing ditch shall be shown on the plan.
14. The proposed spot grades for the west end of the gravel patio shall be verified and a "488" contour added.
15. Routing of the proposed sanitary connection shall be shown on the plan and indicate any necessary restoration to the existing drainage ditch. Provide details.
16. When they become available, the applicant should submit copies of plans and permits approved by the WCDH.
17. An updated existing conditions survey, prepared by a NYS Licensed Land Surveyor, should be submitted for review.
18. A cross-section detail for the gravel terrace and a detail of the relocated/restored drainage ditch should be added to the plans.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

Plans Reviewed, prepared by Bibbo Associates, LLP and dated (last revised) November 19, 2014:

- Existing Conditions Plan (EX-1)
- Site Plan & Erosion Control Plan (SP-1)
- Details (D-1)

Documents Reviewed, prepared by Bibbo Associates, LLP:

- Letter from Bibbo Associates, LLP, dated December 16, 2014
- Stormwater Permit Application, dated December 16, 2014
- *Stormwater Pollution Prevention Plan*, dated (last revised) July 16, 2013

JKJ/JMC/DJS/dc

TO: Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council (CAC)

SUBJECT: Waccabuc Country Club – Perch Bay Road, Waccabuc
Site Plan, Wetland Activity, and Stormwater Permits
Cal # 6-13PB, Cal # 93-14WP, Cal #18-14SW

DATE: January 15, 2015

The Conservation Advisory Council (CAC) reviewed the plans submitted for by Waccabuc Country Club for a new snack bar with bathrooms, and grading providing new parking and new gravel activity areas at their lakeside beach club.

During our review, the CAC noted several concerns with the plans.

The bathrooms will be removed from the bath house and new bathrooms will be placed in the new snack bar. It appears that the lakeside septic pump pit will no longer be needed. However, the the septic effluent from the snack bar appears to flow downhill 45 feet to the pit from where it is pumped back uphill to the existing septic area. We question why a new septic pump pit is not built in the location of the snack bar, keeping septic effluent further from the lake. We recognize the need for additional piping and disturbance, but this is outweighed by our concerns with the age and proximity of the current septic pit to the lake. We remain concerned with the ramifications of a failed pump, and would like the applicant to consider a dual-pump or water shut off or similar back-up system.

The applicant has proposed a sizable new area of gravel with the relocated BBQ pits and new fire pits. It appears to us that the slope of this area downwards to the west, together with the changed grade of the slope beyond the retaining wall, may be susceptible to runoff or may require some stormwater treatment, and we ask the town consultants to pay specific attention to this area.

The the entire asphalt driveway and gravel parking area appears to discharge into a riprap swale and dirt ditch. We ask the applicant to consider the opportunity for a stormwater practice to handle the parking lot and hillside runoff, and to consider replacing the dirt ditch with a grassy swale. Since this polluted runoff appears to discharge directly into the lake adjacent to the swimming area, improved stormwater treatment could be a benefit to the country club users as well as to the health of the lake.

We feel that a site walk would help us to better understand the application and perhaps any potential mitigation.

GOLDENS BRIDGE VILLAGE CENTER

CAL# 8-14PB
CAL# 95-14WP
CAL# 20-14SW



THE HELMES GROUP, LLP

ARCHITECTURE • ENGINEERING
PROJECT MANAGEMENT

December 30, 2014

Via Email: planning@lewsiborogov.com
& Hand-Delivered

Jerome Kerner, Chairman
Town of Lewisboro Planning Board
Cross River Shopping Center – Orchard Square Suite (Lower Level)
20 North Salem Road (P.O. Box 725)
Cross River, NY 10518

Project: Proposed New 2-Story Mixed-Use Building
Goldens Bridge Village Centre, Goldens Bridge, NY
Tax Sheet 4, Block 11126, Lot 7 (Zoning District: RB – Retail Business)
Owner: Stephen Cipes / North County Shopping Center

Subject: Submission for Sketch Plan Review
with Wetland & Stormwater Permit Applications

Dear Chairman Kerner & Members of the Planning Board:

On behalf of Stephen Cipes, the Owner of the Goldens Bridge Village Centre, a/k/a North County Shopping Center, who has owned the property for more than 34 years, we are making this submission in order to obtain approval from the Planning Board for Sketch Plan Review. The Owner has authorized Mr. Robert J. Lauria, to act on his behalf in all matters pertaining to making applications, presentations and all other matters necessary to gain approvals for this project. A copy of the signed Authorization Letter from the Owner is attached.

As you may recall, we appeared before your Board on February 8, 2011, at which time we made a brief presentation to obtain your initial comments and recommendations on how best to proceed with pursuing the development of the proposed new mixed-use building in the northeast section of the shopping center property. A description of said project is outlined as below.

Description of Existing & Proposed Improvements – The proposed Site Plan (Drawing 1 of 4) indicates the following three (3) major components:

Existing Shopping Center - The existing Goldens Bridge Shopping Center has been in operation since 1968. Substantial improvements were made in 1998, which involved the construction of a 2-story addition at the northeast end of the building along with related site improvements. The shopping center currently contains an A&P Supermarket, Post Office, Bank of America, Dunkin' Donuts, Pizza Restaurant, Subway Restaurant, Hair Salon, Nail Salon, Gift Shop / Card Store, Yogurt Shop, and a Liquor Store. The second floor of the 1998 addition contains professional offices, which includes a large accounting firm, as well as a dentist and other professional offices, all of which are accessible by an ADA compliant elevator.

Proposed Phase I Improvements – Phase I, which is the subject of this Application, is denoted on the Site Plan in the northeast section of the property and is identified as "North Development". Phase I will include the construction of a new colonial style, non-combustible, 2-story, slab-on-grade mixed-use building, along with related site improvements. The first floor will include a 2-story daycare center (connected to the second floor by an internal staircase) along with three (3) retail tenants. A common entrance lobby with ADA compliant elevator will also be provided to serve the second floor areas. The second floor, as proposed, will accommodate the balance of the daycare facility as well as four (4) separate office suites. The total floor area for the proposed new building will be 16,844 gross square feet.

Future Proposed Phase II Improvements – The future proposed Phase II "South Development" is indicated for reference only. This development was part of the 1996 Approved Site Plan, yet was not constructed. We are showing it as part of the overall master plan, should we seek approvals at some future date.

Current Application - Since we believe the outcome of our initial meeting with the Planning Board was favorable, we pre-empted this submission by completing the following items, all of which we hope will streamline the approval process.

The items completed and their status are as follows:

1. **Flagging of Wetlands** – Evans Associates, Environment Consultants, was retained by the Owner to inspect the property for the purpose of identifying and flagging any wetlands. No wetlands exist on the subject property; however, a small wetland area was identified adjacent to the drainage ditch along the south side of Route 138 on the adjoining property. The edge of this small wetland area was flagged in the field and has been indicated on the property survey prepared by Bunny Associates, Land Surveyors. The 150-foot wetland control line is also indicated on the Site Plan Drawings.
2. **SSDS Approval from WCDOH & NYC DEP** - Approval for a Subsurface Sewage Disposal System for a two-story mixed-use commercial building, containing a Child Daycare Facility, Retail and Office Space has been obtained. (Copy attached to the Full Environmental Assessment Form (EAF) as part of the SEQRA Determination)
3. **DOT Easement / Purchase Agreement** - Meetings were held and approval has been formally granted with a permit issued by NYS DOT to use and eventually take ownership of a designated parcel of land for Owner's use in order to accommodate the proposed new storm drainage system and to possibly widen the existing parking area. (Copy attached to the Full Environmental Assessment Form (EAF) as part of the SEQRA Determination)
4. **Stormwater** - Test holes and perk tests were completed and witnessed by representatives from NYC DEP and it now appears that all of the proposed storm drainage mitigation can be accommodated. Further submissions to obtain formal approvals will be forthcoming. (Refer to storm drainage as indicated on proposed Site Engineering Drawings)
5. **Preliminary Licensure Review for Daycare Facility** - Since a tenant for this space has been determined; the daycare portion of the building has been designed to accommodate the program requirements of the daycare operator. In addition, the daycare operator has reviewed the plans with the New York State Department of Licensure and said preliminary plans are in conformance with their requirements.

6. **Site Lighting & Landscaping** – Although lampposts are indicated on the proposed Site Drawings, a more detailed Site Lighting Plan along with a photometric plan, pole and fixture details, etc., will be forthcoming in a supplemental submission and as required for the ACARC review and approval. In addition, although the property is heavily wooded, a Landscape Plan indicating proposed new landscaping for the parking lot islands and for areas adjacent to the new building will also be forthcoming.
7. **Traffic Study** - A traffic study is being commissioned by the Owner to make sure that all traffic circulation to and from the site can be accommodated as proposed.

Based on the above, attached herewith please find **one (1) original and nine (9) copies** of the following information:

- Authorization Letter from the Owner, signed and dated 9/1/11
- Sketch Plan Review Application, signed and dated 12/30/14
- Stormwater Permit Application, signed and dated 12/30/14
- Wetland Permit Application, signed and dated 12/30/14
- Addendum Site Data Form signed and dated 12/30/14
- Affidavit of Ownership signed and dated 12/30/14
- Escrow Fee (Check #1871 for \$2,000 payable to the Town of Lewisboro)
- Sketch Plan Review Fee (Check #1870 for \$205 payable to the Town of Lewisboro)
- Stormwater & Wetland Permit Fees (Check #1882 for \$410 payable to the Town of Lewisboro, which includes \$155 for the Stormwater Permit Fee plus \$255 for the Wetland Permit Fee)

In addition to the above, attached herewith please find **one (1) original and nine (9) copies** of the following information as submitted by Bibbo Associates:

- EAF Long Form, dated December 29, 2014
- NYSDOT U & O Permit #82419, dated October 27, 2014
- WCHD Approved Septic System/Amended Change of Use letter dated December 13, 2014 (with approved Plan and Engineer's Report)
- Wetland Report by Evans Associates, dated August 24, 2010
- Property Survey, dated September 13, 2010

Also attached herewith please find **one (1) original and two (2) copies** of the following information as prepared by Bibbo Associates:

- Stormwater Pollution Prevention Plan, dated December 16, 2014

Ten (10) sets of the following drawings are also included, all last dated 12/22/14, unless otherwise indicated:

Drawings prepared by The Helmes Group, LLP:

184 Katonah Avenue, Katonah, NY 10536

- 1 of 4 Proposed Site Plan, Zoning & Code Review & Parking Calculations
- 2 of 4 Existing Site Plan, Zoning Code Review & Existing Parking Calculations
- 3 of 4 Proposed Floor Plans & Floor Area Tabulations
- 4 of 4 Proposed Exterior Elevations

Drawings prepared by Bibbo Associates, LLP:

293 Route 100, Suite 203, Somers, NY 10589

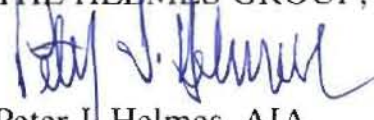
- AP-1 (Sheet 1 of 11) Aerial Plan
- E-1 (Sheet 2 of 11) Existing Conditions Plan
- LA-1 (Sheet 3 of 11) Layout Plan
- US-1 (Sheet 4 of 11) Utilities Site Plan
- EC-1 (Sheet 5 of 11) Erosion Control Plan
- ES-1 (Sheet 6 of 11) Erosion Control Notes
- ED-1 (Sheet 7 of 11) Erosion Control Details
- P-1 (Sheet 8 of 11) Drainage Profiles
- SD-1 (Sheet 9 of 11) Site Details
- DD-1 (Sheet 10 of 11) Drainage Details
- DD-2 (Sheet 11 of 11) Drainage Details
- Survey of Property last dated September 13, 2010
(indicating edge of Wetlands and 150-foot wetland buffer)

Digital copies in pdf format have also been provided for this submission including this cover letter, along with all attachments as well as the above-referenced drawings to Lisa Pisera, Town of Lewisboro - Planning Board Secretary, via email.

We look forward to making a presentation to the your Board on Tuesday, January 27th, 2015, at 7:30 p.m. and working with the Planning Board to obtain all of the required approvals so construction can begin.

Respectfully submitted,

THE HELMES GROUP, LLP



Peter J. Helmes, AIA
Architect

PJH:KF

FL

cc: Stephen Cipes, Owner
Robert J. Lauria, Authorized Owner's Representative
Sabri Barisser, P.E., Partner - Bibbo Associates, LLP

Enclosures

STEPHEN CIPES
4870 Chute Lake Road
Kelowna, B.C. Canada V1W 4M3
Tel. 250-764-4345
Email: stephen@summerhill.bc.ca

September 1, 2011

Jerome Kerner, Chairman
Town of Lewisboro Planning Board
99 Elmwood Road / Onatra Farm
South Salem, NY 10590

Project: Goldens Bridge Village Centre (a/k/a North County Shopping Center)
Tax Sheet 4; Block 11126; Lot 7, Goldens Bridge, NY 10526

Subject: Letter of Authorization for Robert Lauria to act as Owner's Agent

Dear Chairman Kerner:

Please accept this letter as notification to the Town of Lewisboro that I hereby authorize Robert J. Lauria to act on my behalf as my agent and Owner's representative in all matters pertaining to making applications and presentations to the Town of Lewisboro with regard to the Goldens Bridge Village Centre.

If you have any questions, please do not hesitate to contact me.

Very truly yours,



Stephen Cipes, Owner

TOWN OF LEWISBORO PLANNING BOARD
P. O. Box 725, Cross River, New York 10518 TEL (914) 763-5592 / FAX (914) 763-3637
e-mail planning@lewisborogov.com

STEP 1: APPLICATION FOR SKETCH PLAN REVIEW

application type (check one) SITE DEVELOPMENT PLAN SPECIAL PERMIT

NORTH COUNTY SHOPPING CENTER : AKA:
GOLDENS BRIDGE VILLAGE CENTRE EB - RETAIL BUSINESS
project name zoning district

INTERSECTION OF NYS ROUTE 22 & NYS ROUTE 138 4 11,126 7
site location tax sheet block lot

8.96 site acreage Is the site located within 500 FT of any Town boundary? YES NO X

44,527 existing gross floor area Is the site located within the New York City Watershed? YES X NO

61,166 proposed gross floor area Is the site located on a State or County Highway? Route # 22,138 YES X NO

BOHLER ENGINEERING P.C. 776 MOUNTAIN BLVD.
(WATCHUNG, NEW JERSEY 07069) 908-668-8300
engineer's name address phone

surveyor's name address phone

ALL SUBMITTED PLANS AND DOCUMENTS SHALL BEAR AN ORIGINAL SIGNATURE, SEAL AND LICENSE NUMBER OF THE PROFESSIONAL RESPONSIBLE FOR PREPARING EACH ITEM

ALL PLANS SHALL BE EQUAL IN SHEET SIZE, COLLATED INTO STAPLED FOLDED SETS.
THIRTEEN (13) COMPLETE SETS ARE REQUIRED. (Except Communication Facilities require 18 sets.)

THE FOLLOWING MATERIALS SHALL BE ATTACHED:

SKETCH PLAN per Section 220-45 (Site Development Plan) or Section 220-32 (Special Permit) of the Zoning Ordinance.
WRITTEN NARRATIVE describing the environmental character, physical features and scope of the proposed action.
ADDENDUM SITE DATA FORM attach completed Site Data Form to this application.
COMPLETED AFFIDAVIT OF OWNERSHIP FORM certifying owner of record as of date of the application.
COMPLETED AFFIDAVIT FROM RECEIVER OF TAXES certifying payment of all taxes and assessments due.
FILING FEE: See attached Application Fee Schedule. Check(s) are payable to: *Town of Lewisboro*.
INITIAL ESCROW DEPOSIT payable to: *TOWN OF LEWISBORO* (see Planning Board Secretary).

SUGGESTED:

SKETCH CONSTRUCTION PLANS, PROFILES AND DETAILS.
TOPOGRAPHIC SURVEY showing two-foot contour intervals.
WETLAND DELINEATION per Chapter 217 Wetlands and Watercourse Law, with NYSDEC endorsement where appropriate.

THE APPLICANT understands that any application is considered complete only when all information and documents required have been Submitted and received by the Planning Board and further understands that the applicant is responsible for the payment of all application and Review fees incurred by the Planning Board.
THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his or her knowledge and belief and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

<u>ROBERT LAURIA FOR</u> <u>STEPHEN CIPES, OWNER</u>	<u>NORTH COUNTY SHOPPING CENTER SUITE 201</u> <u>GOLDENS BRIDGE NY 10526</u>	<u>914-767-3380</u>	<u>[Signature]</u>	<u>12/30/14</u>
applicant's name	address	phone	signature	date
<u>STEPHEN CIPES</u>	<u>4870 CHUTE LAKE ROAD</u> <u>KELOWNA, B.C. CANADA V1W 4H3</u>	<u>250-764-4345</u>	<u>[Signature]</u>	<u>12/30/14</u>
owner's name	address	phone	signature	date

Date of receipt by Planning Board Secretary _____ Application ID: SDP# _____ or SP# _____

SUMMARY OF APPLICATION PROCESS

The TYPICAL SITE DEVELOPMENT PLAN and SPECIAL PERMIT USE APPROVAL PROCESS involves the following application steps or procedures:
(PLEASE NOTE, EACH STEP HAS A SEPARATE APPLICATION FORM AND SEPARATE ASSOCIATED FEES)

STEP I: SKETCH PLAN REVIEW and ESTABLISHMENT OF AN ESCROW ACCOUNT

The Sketch Plan shows the proposed site development concept (location of existing and proposed buildings, driveways, parking areas, utilities, landscaping, zoning conformance, lighting, signs, etc). The Sketch Plan needs to be of sufficient detail to show existing environmental conditions of the site, adjacent street conditions, site access, development constraints such as topography and wetlands, etc. Typically, a site visit is scheduled to inspect the property following Sketch Plan review.

TIP: Experience has shown, that with the submission of more detailed and complete information (wetlands delineation, topography showing 2-foot contour intervals, survey quality data, plan details, an expanded Environmental Assessment Form, etc), earlier in the process, the faster, more efficient, and less expensive the overall process will likely be.

An Escrow Account will be established for each applicant and will be utilized to reimburse the Town's cost for Professional Consultant review of applications, through each step of the review process. The applicant is responsible for replenishing depleted escrow accounts and project reviews will not be continued if an escrow account balance is not sufficiently maintained. Payment into an established escrow account can exceed the initial estimate, especially if incomplete application materials are submitted.

TIP: Project review memos from Town consultants are available to the Project Sponsor and the public in the Planning Board Office the day before each Planning Board meeting.

STEP II: SITE DEVELOPMENT PLAN or SPECIAL USE REVIEW AND APPROVAL

The project plans for Site Development Plan Approval and Special Permit Use Approval applications show in detail existing and proposed site conditions and improvements; including grading and layout plans, zoning conformance, location and design of buildings and parking areas, drainage and utility plans, landscaping plans, erosion and sedimentation controls, lighting and signs, street and traffic related improvements, building floor plans and elevations, etc). In the case of Special Permit Use Approval proposals, specific adherence to the provisions for the requested Special Permit Use must be clearly documented (refer specifically to Section 220-32 et seq. of the Zoning Ordinance for supplemental requirements for individual Special Permit Uses).

A PUBLIC HEARING IS typically REQUIRED for all Site Development Plans and IS REQUIRED for all Special Permits.

TIP: Each proposal should carefully consider the existing conditions, surrounding environment and neighborhood character in proximity to the project site. Each proposal should strive to provide a development compatible with the scale and character of its surroundings and which pays particular attention to details relating to landscaping, buffering and screening, architectural design, signs, lighting, traffic conditions, adjacent streetscape design, etc.

STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQRA): A complete **ENVIRONMENTAL ASSESSMENT FORM** must be submitted which evaluates potential impacts of the proposed subdivision, such as potential impacts relating to: increased runoff, wetlands and buffer areas, water quality, open space resources, neighborhood character, construction activities, aesthetics, tree clearing, traffic, etc. **NOTE:** the SEQRA review must be completed prior to scheduling the required Public Hearing.

Application No.: _____

Fee: _____ Date: _____

TOWN OF LEWISBORO STORMWATER PERMIT APPLICATION

Town Offices @ Orchard Square, Suite L (Lower Level), 20 North Salem Road, Cross River, NY 10518

Phone: (914) 763-5592

Fax: (914) 763-3637

Project Information

Project Address: INTERSECTION OF NYS ROUTE 22 & NYS ROUTE 138

Sheet: 4 Block: 11,126 Lot(s): 7

Project Description (describe overall project including all proposed land development activities):

CONSTRUCTION OF A NEW 2-STORY SUB ON GRADE BUILDING CONTAINING APPROX. 16,844 S.F. TO ACCOMMODATE A DAYCARE FACILITY, OFFICES & RETAIL TENANTS. NEW PARKING, WALKWAYS, LANDSCAPING AND UTILITIES ARE ALSO PROPOSED

Owner's Information

Owner's Name: STEPHEN GIPES Phone: 250-764-4345

Owner's Address: 4870 CHUTE LAKE ROAD
KELOWNA B.C. CANADA V1W 4M3 Email: STEPHEN@SUMMERHILL.BC.CA

Applicant's Information (if different)

Applicant's Name: ROBERT LAURIA Phone: 914-767-3380

Applicant's Address: NORTH COUNTY SHOPPING CENTER SUITE 201
GOLDENS BRIDGE, NY 10526 Email: _____
(MAIL ADDRESS P.O. BOX 372)

Authorized Agent's Information

Agent's Name: ROBERT LAURIA Phone: 914-767-3380

Agent's Address: NORTH COUNTY SHOPPING CENTER SUITE 201
GOLDENS BRIDGE, NY 10526 Email: _____
(MAIL ADDRESS P.O. BOX 372)

To Be Completed By Owner/Applicant/Agent

1. The approval authority is? (see §189-5 of the Town Code)
☐ Town Engineer and SMO ☒ Planning Board
2. Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No
3. Total area of proposed disturbance: ☐ 5,000 s.f. - < 1 acre ☒ ≥ 1 acre
4. Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity? ☒ Yes ☐ No ☐ Requires post-construction stormwater practice
5. Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: ALL REQUIRED APPROVALS ARE UNDERLINED ABOVE.

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under §189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

Owner/Applicant Signature: [Signature]

Date: 12/30/14

Application No.: _____

Fee: _____ Date: _____

TOWN OF LEWISBORO WETLAND PERMIT APPLICATION

Town Offices @ Orchard Square, Suite L (Lower Level), 20 North Salem Road, Cross River, NY 10518
Phone: (914) 763-3060
Fax: (914) 533-0097

Project Information

Project Address: INTERSECTION OF NYS ROUTE 22 & NYS ROUTE 138

Sheet: 4 Block: 11,126 Lot(s): 7

Project Description (identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): PROPOSED PARKING AREA FOR APPROX. 11 SPACES PLUS STORM DRAINAGE, REGRADING AND NEW RETAINING WALL TO ACCOMMODATE A SMALL PLAY YARD. TOTAL AREA APPROX. 9,000 S.F.

Owner's Information

Owner's Name: STEPHEN CIPES Phone: 250-764-4345

Owner's Address: 4870 CHUTE LAKE ROAD
KELOWNA B.C. CANADA V1W 4M3 Email: STEPHEN@SUMMERHILL.BC.CA

Applicant's Information (if different)

Applicant's Name: ROBERT LAURIA Phone: 914-767-3380

Applicant's Address: NORTH COUNTY SHOPPING CENTER SUITE 201
GOLDENS BRIDGE, NY 10526 Email: _____
(MAIL ADDRESS P.O. BOX 372)

Authorized Agent's Information (if applicable)

Agent's Name: ROBERT LAURIA Phone: 914-767-3380

Agent's Address: NORTH COUNTY SHOPPING CENTER SUITE 201
GOLDENS BRIDGE, NY 10526 Email: _____
(MAIL ADDRESS P.O. BOX 372)

To Be Completed By Owner/Applicant

- What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)
☐ Administrative ☒ Planning Board
- Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No
- Total area of proposed disturbance: ☐ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☒ ≥ 1 acre
- Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: ALL REQUIRED APPROVALS ARE UNDERSIGNED ABOVE.

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner/Applicant Signature: Robert Lauria Date: 12/30/14

TOWN OF LEWISBORO PLANNING BOARD

Onatru Farm, Elmwood Road, South Salem, New York 10590 • TEL (914) 763-5592 / FAX (914) 763-3637

ADDENDUM SITE DATA FORM

application type (check one)

☐ SITE DEVELOPMENT PLAN

☐ SPECIAL PERMIT USE

NORTH COUNTY SHOPPING CENTER, AKA:
GOLDENS BRIDGE VILLAGE CENTRE
project name

RB
zoning district

INTERSECTION NYS ROUTE 22 AND NYS ROUTE 138
site location

4 11,126 7
tax sheet block lot

ZONING BULK REGULATION	REQUIRED	EXISTING	PROPOSED	TOTAL
MINIMUM LOT AREA [Acs]	1/2	8.961	8.961	8.961
MINIMUM STREET FRONTAGE [LF]	100	2,000 %	2,000 %	2,000 %
MINIMUM STREET CENTER LINE YARDS [LF]	45	126	126	126
FRONT	20	86	86	86
SIDE	15	375	26	26
REAR	15	30.9	25	25
MINIMUM LANDSCAPE BUFFERS [LF]	20	2	2	2
FRONT	15	16	16	16
SIDE	15	16	16	16
REAR	15	16	16	16
NUMBER OF DWELLING UNITS	0	0	0	0
GROSS FLOOR AREA [SF]	N/A	44,527	16,549	61,076
BUILDING FOOTPRINT [SF]	78,068	37,095	8,680	45,775
BUILDING COVERAGE [% of lot]	20%	9.5%	2.2%	11.72 %
BUILDING HEIGHT FEET	30	32	32	32
STORIES	2 1/2	2 1/2	2 1/2	2 1/2
FLOOR AREA RATIO (FAR)	0.30	0.11	0.05	0.16
PARKING SPACES	285	218	360	299
LOADING SPACES	5	5	7	7
SITE COVERAGE [% of lot]	60%	40.6%	12%	52.6%

OFF-STREET PARKING AND LOADING CALCULATIONS

Provide the specific calculation used to determine the number of off-street parking and loading spaces required per the Zoning Ordinance.

PARKING CALCULATION (round up): SEE BREAKDOWN ON DWG 1 OF 4 ATTACHED.

LOADING CALCULATION (round up): SEE BREAKDOWN ON DWG 1 OF 4 ATTACHED.

ROBERT LAURIA FOR
STEPHEN GIPES, OWNER
applicant's name

NORTH COUNTY SHOPPING CENTER SUITE 201
GOLDENS BRIDGE, NY 10526
address

914-767-3380
phone

Robert Lauria 12/30/14
signature date

STEPHEN GIPES
owner's name

4870 WHITE LAKE ROAD
KELOWNA, B.C. CANADA V1W 4H3
address

250-764-4345
phone

Robert Lauria 12/30/14
signature date

Date of receipt by Planning Board Secretary: _____

Application ID: SDP# _____ or SP# _____

AFFIDAVIT OF OWNERSHIP

STATE OF)
COUNTY OF) ss:

ROBERT LAURIA, being duly sworn, deposes and says that
she/he resides at NORTH COUNTY SHOPPING CENTER SUITE 201
GOLDENS BRIDGE, NY 10526
in the County of: WESTCHESTER

State
of: NEW YORK

And that she/he is (check one) (1) the owners, or (2) the OWNER'S AGENT
Title

of NORTH COUNTY SHOPPING / STEPHEN CIPES
name of corporation, partnership or other legal entity

which is the owner, in fee of all that certain lot, piece or parcel of land situated, lying
and being in the Town of Lewisboro, New York, aforesaid and known and designated
on the Tax Map in the Town of Lewisboro as Lot Number 7

Block 11, 126 on sheet 4

For (check one):

- ☒ SKETCH PLAN REVIEW ☐ PRELIMINARY SUBDIVISION PLAT ☐ FINAL SUBDIVISION PLAT
☐ SITE DEVELOPMENT PLAN ☐ SPECIAL USE PERMIT ☐ WAIVER OF SITE PLAN PROCEDURES
☐ WETLAND PERMIT ☐ STORMWATER PERMIT ☐ FILING WITH WESTCHESTER COUNTY CLERK

Robert Lauria
Signed

Sworn to before me this

30th day of December, 2014
[Signature]
Notary public (affix stamp)



TAX PAYMENT AFFIDAVIT REQUIREMENT

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

INSTRUCTIONS

The applicant is to complete the information box below and on the opposite side and return to:
Receiver of Taxes, Town of Lewisboro, Town House, Main Street, South Salem, New York 10590

For Planning Board applications, the Receiver of Taxes will return this form and the affidavit to the Planning Board office. For filing actions with the Westchester County Clerk, Division of Land Records, the Receiver of Taxes will return this form and the affidavit to the applicant by mail if a stamped and self-addressed envelope is submitted with this form.

IF ANY TAXES ARE FOUND TO BE DUE ON THE PROPERTY RELATING TO THE APPLICATION, THEN THAT APPLICATION CAN NOT BE ACCEPTED BY THE PLANNING BOARD UNTIL THE TAXES ARE PAID.

TO BE COMPLETED BY APPLICANT

(PLEASE TYPE OR PRINT)

ROBERT LAURIA FOR STEPHEN GIPES, OWNER
name of applicant

NORTH COUNTY SHOPPING CENTER, AKA !
GOLDENS BRIDGE VILLAGE CENTRE
project name

property description:

► tax sheet 4
► block 11, 126
► lot 7

property assessed to:

► name ROBERT LAURIA, OWNER'S AGENT
► address NORTH COUNTY SHOPPING CENTER, SUITE 201
GOLDENS BRIDGE, NY 10526
(MAIL ADDRESS: P.O. BOX 372)

application type (check one):

- ☒ SKETCH PLAN REVIEW ☐ PRELIMINARY SUBDIVISION PLAT ☐ FINAL SUBDIVISION PLAT
☐ SITE DEVELOPMENT PLAN ☐ SPECIAL PERMIT USE ☐ WAIVER OF SITE PLAN PROCEDURES
☐ WETLANDS PERMIT ☐ FILING WITH THE WESTCHESTER COUNTY CLERK

0 OUTSTANDING TAXES ARE DUE:

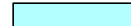


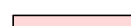

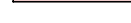
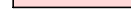
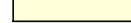

receiver of taxes

date





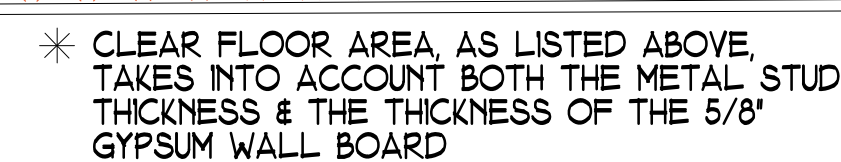
PROPOSED SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"

	<u>USE OF SPACE</u>	<u>FIRST FLOOR</u>	<u>SECOND FLOOR</u>	<u>TOTAL</u>
	LITTLE FEET CHILDCARE :	4,106 GSF	2,703 GSF	6,809 GSF
	COMMON AREAS : (LOBBY, STAIRS, ELEVATOR MACHINE ROOM & BATHROOMS)	568 GSF	1,067 GSF	1,635 GSF
	RETAIL TENANT #1 :	1,069 GSF		
	RETAIL TENANT #2 :	1,517 GSF		
	RETAIL TENANT #3 :	1,320 GSF		
	OFFICE TENANT #1		1,174 GSF	
	OFFICE TENANT #2		980 GSF	
	OFFICE TENANT #3		1,032 GSF	
	OFFICE TENANT #4		1,228 GSF	
	TOTAL :	8,660 GSF	8,184 GSF	16,844 GSF

EFFICIENCY RATIO = 1635/8752 = 0.688% COMMON AREAS & 8132% RENTABLE AREAS

NOTE: SINCE 2ND FLOOR CHILDCARE SPACE REQUIRES ELEVATOR ACCESS & ACCESS TO COMMON HALLWAY FOR EGRESS PURPOSES; & SINCE CHILDCARE STAFF ARE PERMITTED TO USE THE PUBLIC RESTROOMS; THE APPLICABLE PERCENTAGE OF 2ND FLOOR AREAS USED FOR CHILDCARE WILL SHARE A PRO-RATED PORTION OF THE COMMON CHARGES. HOWEVER THE 1ST FLOOR CHILDCARE AREAS WILL NOT SHARE ANY OF THE COMMON AREA CHARGES

CHILD CARE CAPACITY	FIRST FLOOR	SECOND FLOOR	TOTAL
INFANTS (6 WEEKS - 12 MONTHS)	16	0	16
TODDLERS 16 - 30 MONTHS	19	0	19
TODDLERS 2½ - 3 YEARS	12	0	12
TODDLERS 3+ YEARS	0	10	10
TODDLERS 4+ YEARS	0	10	10
TODDLERS 3 - 5 YEARS	0	10	10
TODDLERS 4+ YEARS	0	10	10
AFTER SCHOOL	0	15	15
TOTAL	47	55	102



PROPOSED FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



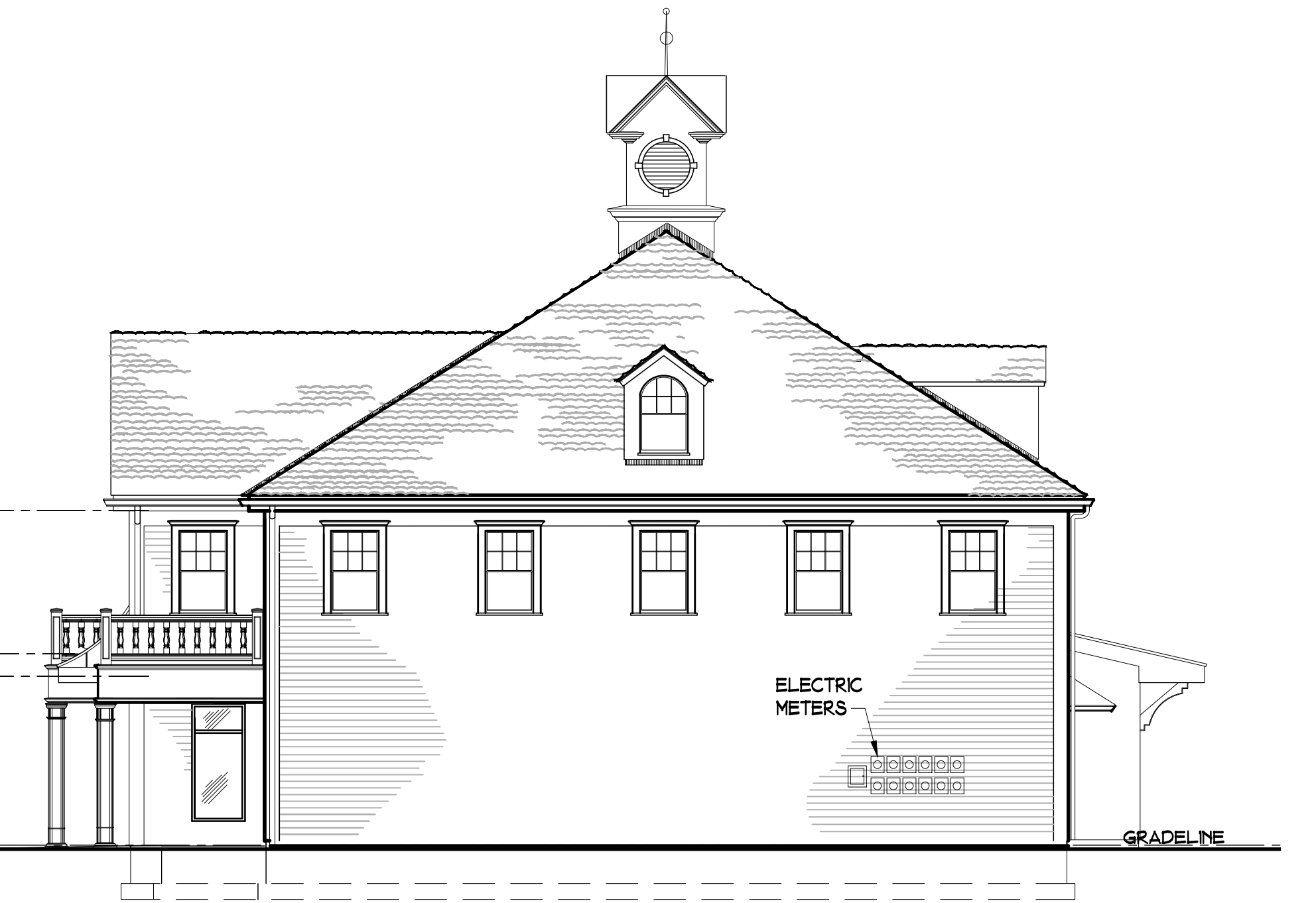
PROPOSED FRONT (WEST) ELEVATION
SCALE: 1/8"=1'-0"



PROPOSED LEFT SIDE (NORTH) ELEVATION
SCALE: 1/8"=1'-0"

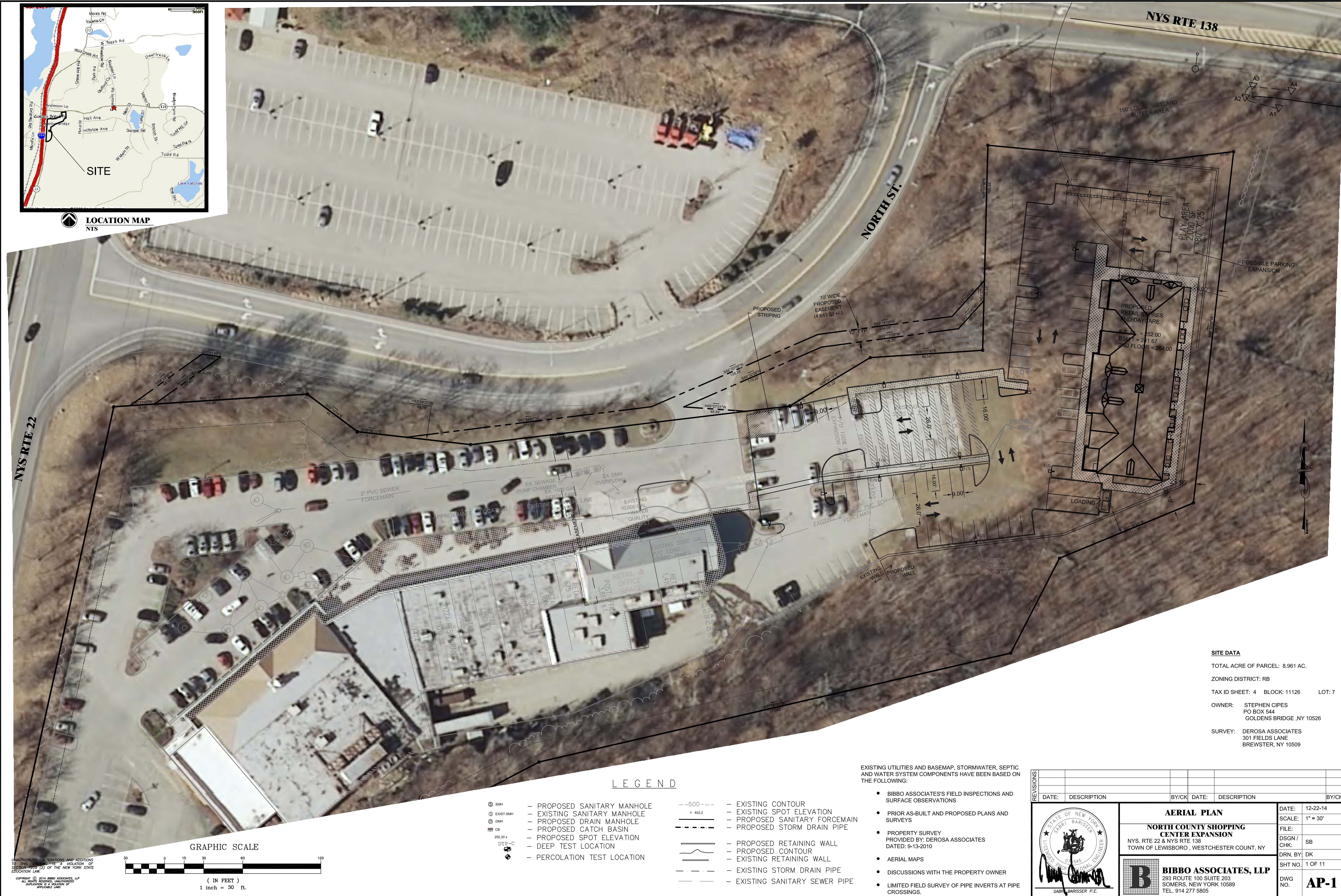


PROPOSED REAR (EAST) ELEVATION
SCALE: 1/8"=1'-0"



PROPOSED RIGHT SIDE (SOUTH) ELEVATION
SCALE: 1/8"=1'-0"


ISSUE DATES: 	NEW MIXED-USE BUILDING FOR: GOLDENS BRIDGE VILLAGE CENTRE NYS ROUTE 22 ROUTE 138 GOLDENS BRIDGE-TOWN OF LEWISBORO, N.Y.		
	PROPOSED EXTERIOR ELEVATIONS SCALE: 1/8"=1'-0"		
	THE HELMES GROUP, LLP ARCHITECTURE • ENGINEERING PROJECT MANAGEMENT 184 KATONAH AVENUE, KATONAH, NY 10536 TEL: (914) 232-4633 FAX: (914) 232-0768 EMAIL: thg@thelmesgroup.com		
	12/22/14 PLANNING BOARD		DRAWN BY: TRH CHECKED BY: PJH DRAWING NO.: 4 of 4

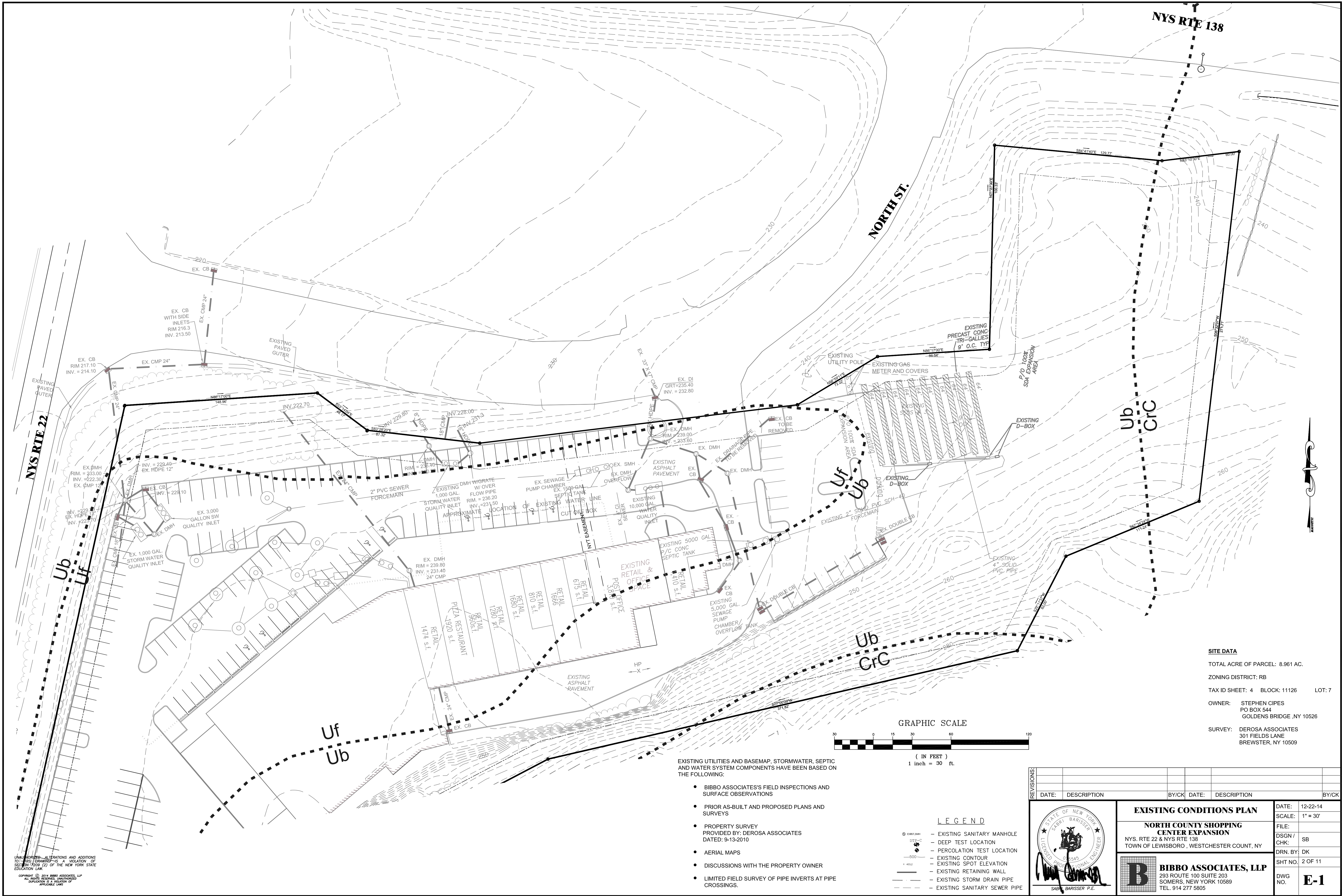


301 FIELDS LANE
BREWSTER, NY 10509

- DISCUSSIONS WITH THE PROPERTY OWNER
- LIMITED FIELD SURVEY OF PIPE INVERTS AT PIPE CROSSINGS.

REVISIONS					
	DATE:	DESCRIPTION	BY/CK	DATE:	DESCRIPTION
					BY/CK

 <p>SABRI BARISSER P.E.</p>	<p align="center">AERIAL PLAN</p> <p align="center">NORTH COUNTY SHOPPING CENTER EXPANSION</p> <p align="center">NYS. RTE 22 & NYS RTE 138 TOWN OF LEWISBORO , WESTCHESTER COUNT, NY</p>	<p>DATE: 12-22-14</p> <p>SCALE: 1" = 30'</p> <p>FILE:</p> <p>DSGN / CHK: SB</p> <p>DRN. BY: DK</p> <p>SHT NO. 1 OF 11</p>
	<p align="center">BIBBO ASSOCIATES, LLP</p> <p align="center">293 ROUTE 100 SUITE 203 SOMERS, NEW YORK 10589 TEL. 914 277 5805</p>	<p>DWG NO.</p> <p align="right">AP-1</p>



SITE DATA

TOTAL ACRE OF PARCEL: 8.961 AC.
ZONING DISTRICT: RB
TAX ID SHEET: 4 BLOCK: 11126 LOT: 7
OWNER: STEPHEN CIPES
PO BOX 544
GOLDENS BRIDGE, NY 10526
SURVEY: DEROSA ASSOCIATES
301 FIELDS LANE
BREWSTER, NY 10509

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

EXISTING UTILITIES AND BASEMAP, STORMWATER, SEPTIC AND WATER SYSTEM COMPONENTS HAVE BEEN BASED ON THE FOLLOWING:

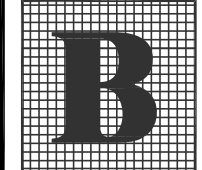
- BIBBO ASSOCIATES'S FIELD INSPECTIONS AND SURFACE OBSERVATIONS
- PRIOR AS-BUILT AND PROPOSED PLANS AND SURVEYS
- PROPERTY SURVEY PROVIDED BY: DEROSA ASSOCIATES DATED: 9-13-2010
- AERIAL MAPS
- DISCUSSIONS WITH THE PROPERTY OWNER
- LIMITED FIELD SURVEY OF PIPE INVERTS AT PIPE CROSSINGS.

LEGEND

- EXISTING SANITARY MANHOLE
- DEEP TEST LOCATION
- PERCOLATION TEST LOCATION
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING RETAINING WALL
- EXISTING STORM DRAIN PIPE
- EXISTING SANITARY SEWER PIPE

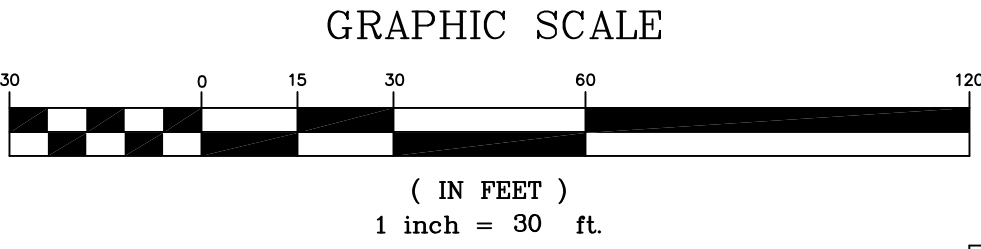
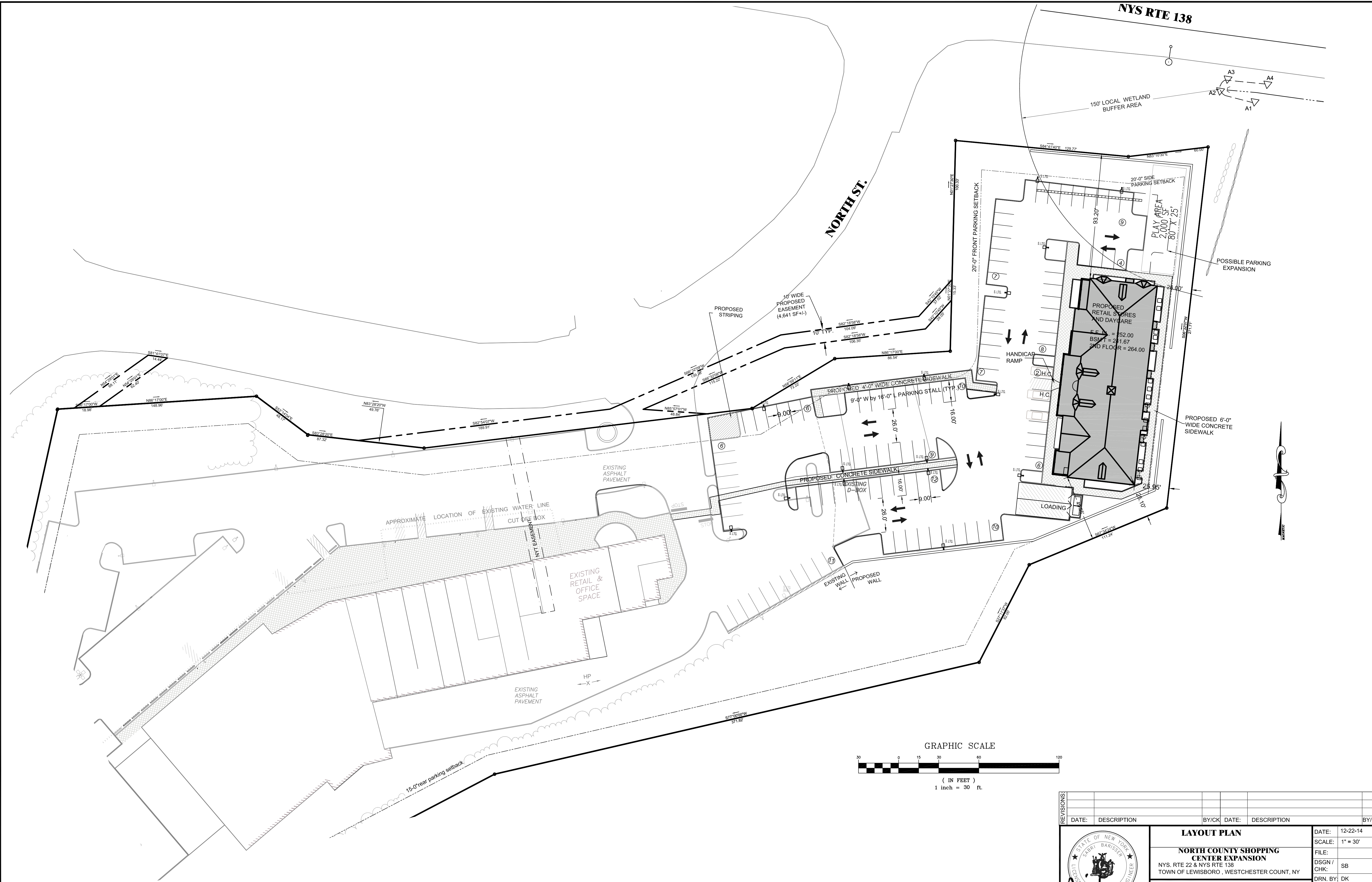
EXISTING CONDITIONS PLAN

NORTH COUNTY SHOPPING CENTER EXPANSION
NYS, RTE 22 & NYS RTE 138
TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY



BIBBO ASSOCIATES, LLP
293 ROUTE 100 SUITE 203
SOMERS, NEW YORK 10589
TEL. 914 277 5805

DATE:	12-22-14
SCALE:	1" = 30'
FILE:	
DSGN / CHK:	SB
DRN. BY:	DK
SHT NO.	2 OF 11
DWG NO.	E-1



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DATE: 12-22-14		DATE: 12-22-14	
SCALE: 1" = 30'		SCALE: 1" = 30'	
FILE: SB		FILE: SB	
DSGN / CHK: DK		DSGN / CHK: DK	
DRN. BY: DK		DRN. BY: DK	
SHT NO. 3 OF 11		SHT NO. 3 OF 11	
DWG NO. LA-1		DWG NO. LA-1	

SABRI BARISSER, P.E.

LAYOUT PLAN

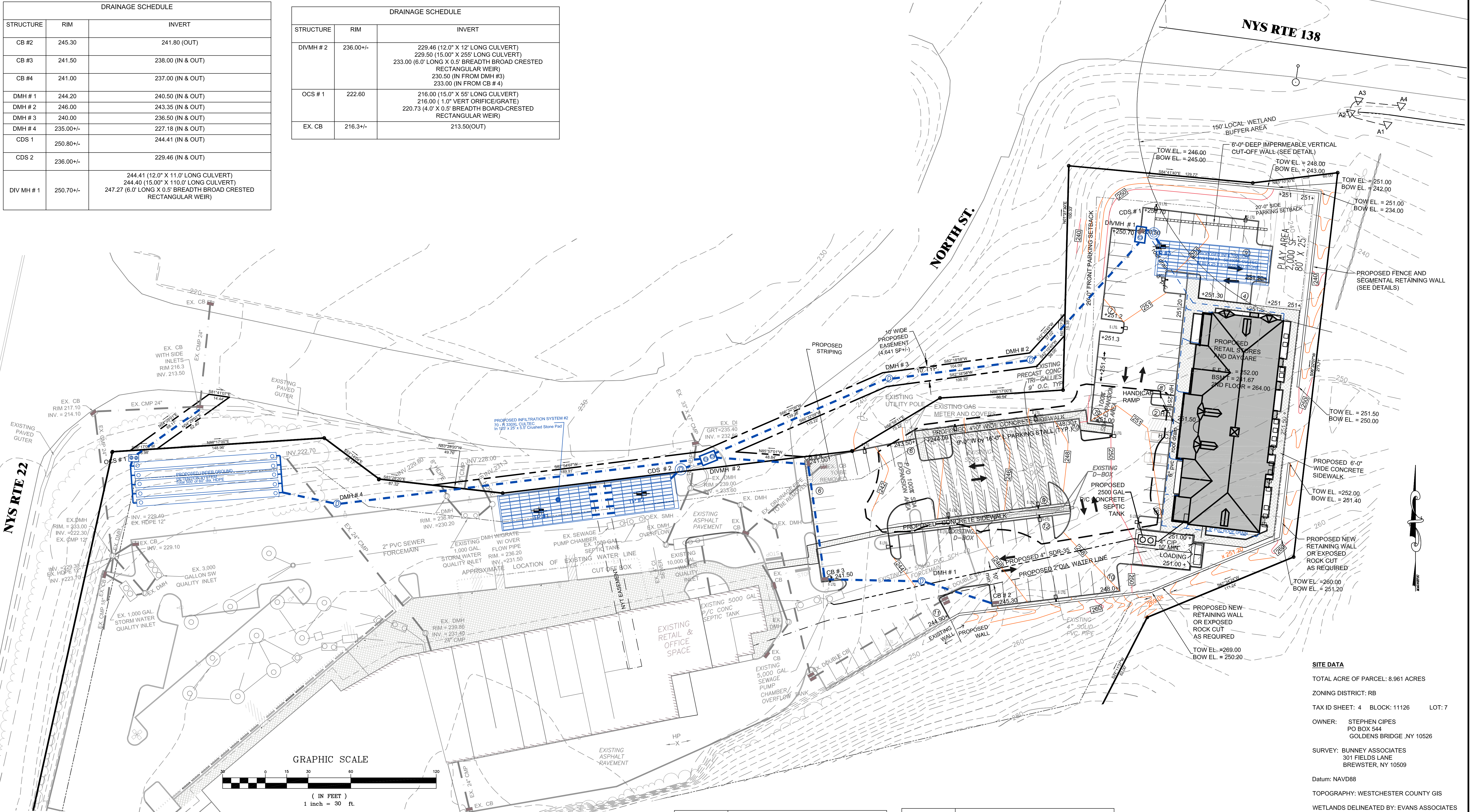
NORTH COUNTY SHOPPING CENTER EXPANSION

NYS. RTE 22 & NYS RTE 138
TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY

BIBBO ASSOCIATES, LLP
293 ROUTE 100 SUITE 203
SOMERS, NEW YORK 10589
TEL. 914 277 5805

DRAINAGE SCHEDULE		
STRUCTURE	RIM	INVERT
CB #2	245.30	241.80 (OUT)
CB #3	241.50	238.00 (IN & OUT)
CB #4	241.00	237.00 (IN & OUT)
DMH # 1	244.20	240.50 (IN & OUT)
DMH # 2	246.00	243.35 (IN & OUT)
DMH # 3	240.00	236.50 (IN & OUT)
DMH # 4	235.00+/-	227.18 (IN & OUT)
CDS 1	250.80+/-	244.41 (IN & OUT)
CDS 2	236.00+/-	229.46 (IN & OUT)
DIV MH # 1	250.70+/-	244.41 (12.0" X 11.0' LONG CULVERT) 244.40 (15.00" X 110.0' LONG CULVERT) 247.27 (6.0' LONG X 0.5' BREADTH BROAD CRESTED RECTANGULAR WEIR)

DRAINAGE SCHEDULE		
STRUCTURE	RIM	INVERT
DIVMH # 2	236.00+/-	229.46 (12.0" X 12' LONG CULVERT) 229.50 (15.00" X 255' LONG CULVERT) 233.00 (6.0' LONG X 0.5' BREADTH BROAD CRESTED RECTANGULAR WEIR) 230.50 (IN FROM DMH #3) 233.00 (IN FROM CB #4)
OCS # 1	222.60	216.00 (15.0" X 55' LONG CULVERT) 216.00 (1.0" VERT ORIFICE/GRATE) 220.73 (4.0' X 0.5' BREADTH BOARD-CRESTED RECTANGULAR WEIR)
EX. CB	216.3+/-	213.50(OUT)



LEGEND

- SMH

EXIST SMH

DMH

CB

250.30 x

DTP-C

— PROPOSED SANITARY MANHOLE

— EXISTING SANITARY MANHOLE

— PROPOSED DRAIN MANHOLE

— PROPOSED CATCH BASIN

— PROPOSED SPOT ELEVATION

— DEEP TEST LOCATION

— PERCOLATION TEST LOCATION
- ---

— EXISTING CONTOUR

— EXISTING SPOT ELEVATION

— PROPOSED SANITARY FORCEMAIN

— PROPOSED STORM DRAIN PIPE

— PROPOSED RETAINING WALL

— PROPOSED CONTOUR

— EXISTING RETAINING WALL

— EXISTING STORM DRAIN PIPE

— EXISTING SANITARY SEWER PIPE

EXISTING UTILITIES AND BASEMAP. STORMWATER, SEPTIC AND WATER SYSTEM COMPONENTS HAVE BEEN BASED ON THE FOLLOWING:

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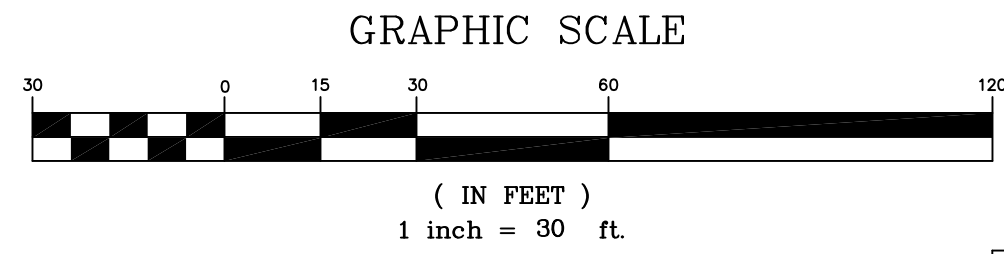
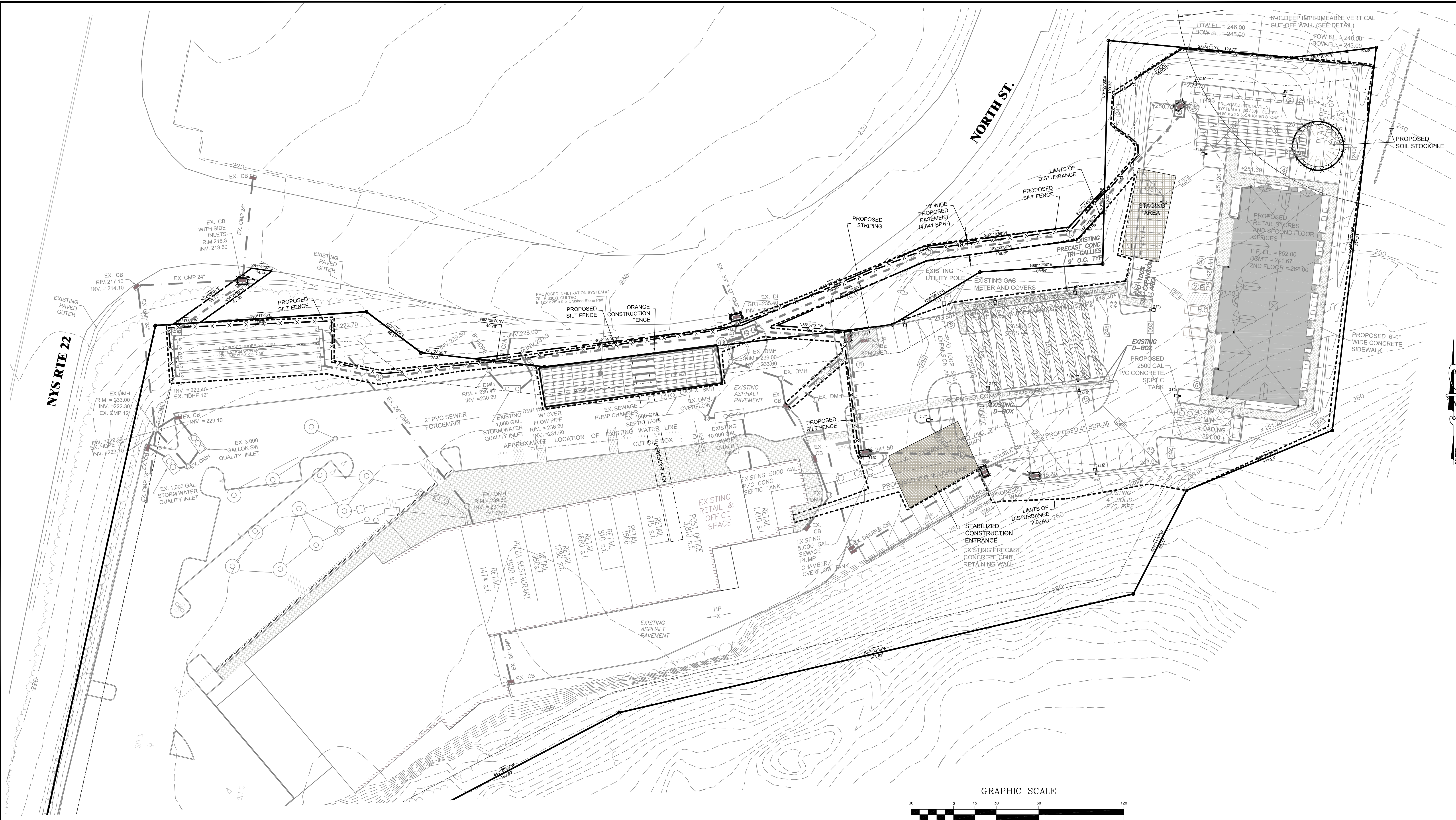
STRUCTURE	PIPE			
	LENGTH (LF)	SLOPE (FT/FT)	TYPE	REMARKS
CB 2	46'	2.83%	15"HDPE	
DMH 1	63'	3.97%	15"HDPE	
CB 3	80'	1.25%	15"HDPE	
CB 4	62'	6.45%	15"HDPE	
DIVMH 2	255'	0.91%	15"HDPE	
DMH 4	36'	20.64%	15"HDPE	
OCS 1	4'	0.00%	15"HDPE	
EX. CB	54'	4.63%	15"HDPE	

STRUCTURE	PIPE			
	LENGTH (LF)	SLOPE (FT/FT)	TYPE	REMARKS
DIVMH 2	12'	0.00%	12"HDPE	
CDS 2	5'	0.00%	12"HDPE	
INF. 2				
DIVMH 1	6'	0.00%	12"HDPE	
CDS 1	7'	0.00%	12"HDPE	
INF. 1				
DIVMH 1	110'	0.95%	15"HDPE	
DMH 2	95'	7.21%	15"HDPE	
DMH 3	131'	4.58%	15"HDPE	
DIVMH 2				

SITE DATA

TOTAL ACRE OF PARCEL: 8.961 ACRES
ZONING DISTRICT: RB
TAX ID SHEET: 4 BLOCK: 11126 LOT: 7
OWNER: STEPHEN CIPES
PO BOX 544
GOLDENS BRIDGE, NY 10526
SURVEY: BUNNEY ASSOCIATES
301 FIELDS LANE
BREWSTER, NY 10509
Datum: NAVD88
TOPOGRAPHY: WESTCHESTER COUNTY GIS
WETLANDS DELINEATED BY: EVANS ASSOCIATES
DATE: 8-17-10

REVISIONS:					
DATE:	DESCRIPTION	BY/CK	DATE:	DESCRIPTION	BY/CK
		UTILITIES SITE PLAN		DATE: 12-22-14 SCALE: 1" = 30'	
NORTH COUNTY SHOPPING CENTER EXPANSION NYS. RTE 22 & NYS RTE 138 TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY				FILE: SB DSGN / CHK: SB DRN. BY: DK SHT NO. 4 of 11	
BIBBO ASSOCIATES, LLP 293 ROUTE 100 SUITE 203 SOMERS, NEW YORK 10589 TEL. 914 277 5805		DWG NO.		US-1	



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 - AERIAL MAPS
 - DISCUSSIONS WITH THE PROPERTY OWNER

EROSION CONTROL LEGEND

- PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION
- PROPOSED ORANGE CONSTRUCTION FENCE
- LIMITS OF DISTURBANCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- STAGING AREA
- SOIL STOCK PILE

- PROPOSED SANITARY MANHOLE
- EXISTING SANITARY MANHOLE
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED SPOT ELEVATION
- DEEP TEST LOCATION
- PERCOLATION TEST LOCATION

LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SANITARY FORCEMAIN
- PROPOSED STORM DRAIN PIPE
- PROPOSED RETAINING WALL
- PROPOSED CONTOUR
- EXISTING RETAINING WALL
- EXISTING STORM DRAIN PIPE
- EXISTING SANITARY SEWER PIPE

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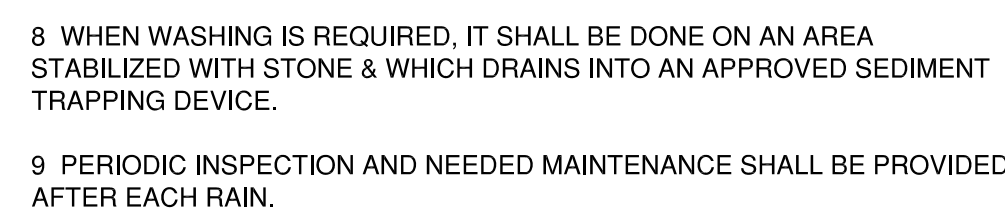
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SABIR BARISSAR P.E.

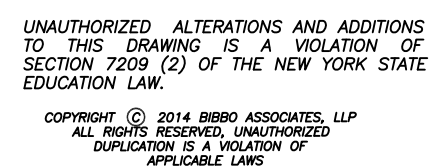
EROSION CONTROL PLAN		DATE:	12-22-14
SCALE:		1" = 30'	
NORTH COUNTY SHOPPING CENTER EXPANSION			
NYS. RTE 22 & NYS RTE 138 TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY			
		DWG NO.	EC-1
BIBBO ASSOCIATES, LLP 293 ROUTE 100 SUITE 203 SOMERS, NEW YORK 10589 TEL. 914 277 5805		DRN. BY:	DK
		CHK:	SB
		FILE:	
		DATE:	12-22-14



1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. SPACE STAKES WITH MATERIAL AT LEAST STANDARD 2" x 4" WOOD OR EQUIVALENT, METAL WITH A MINIMUM LENGTH OF 3 FEET
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND PROPERLY FILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.



N.T.S.

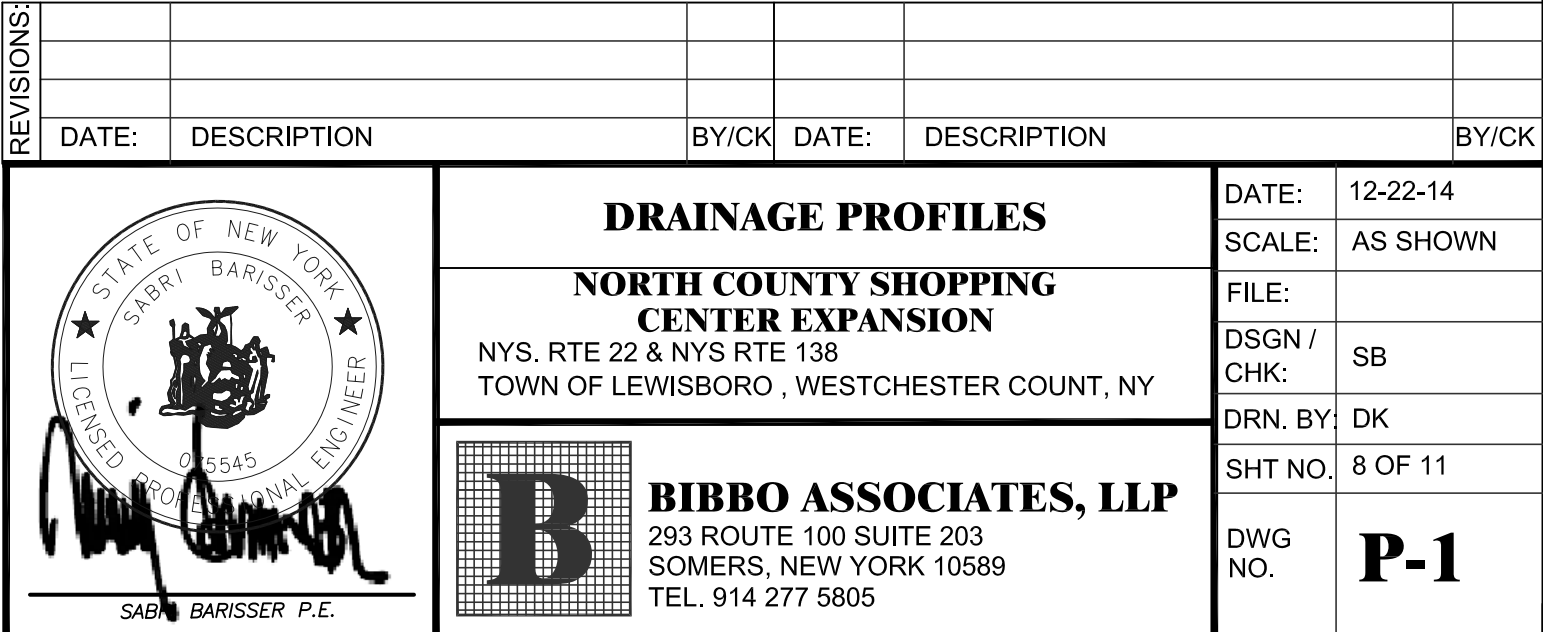
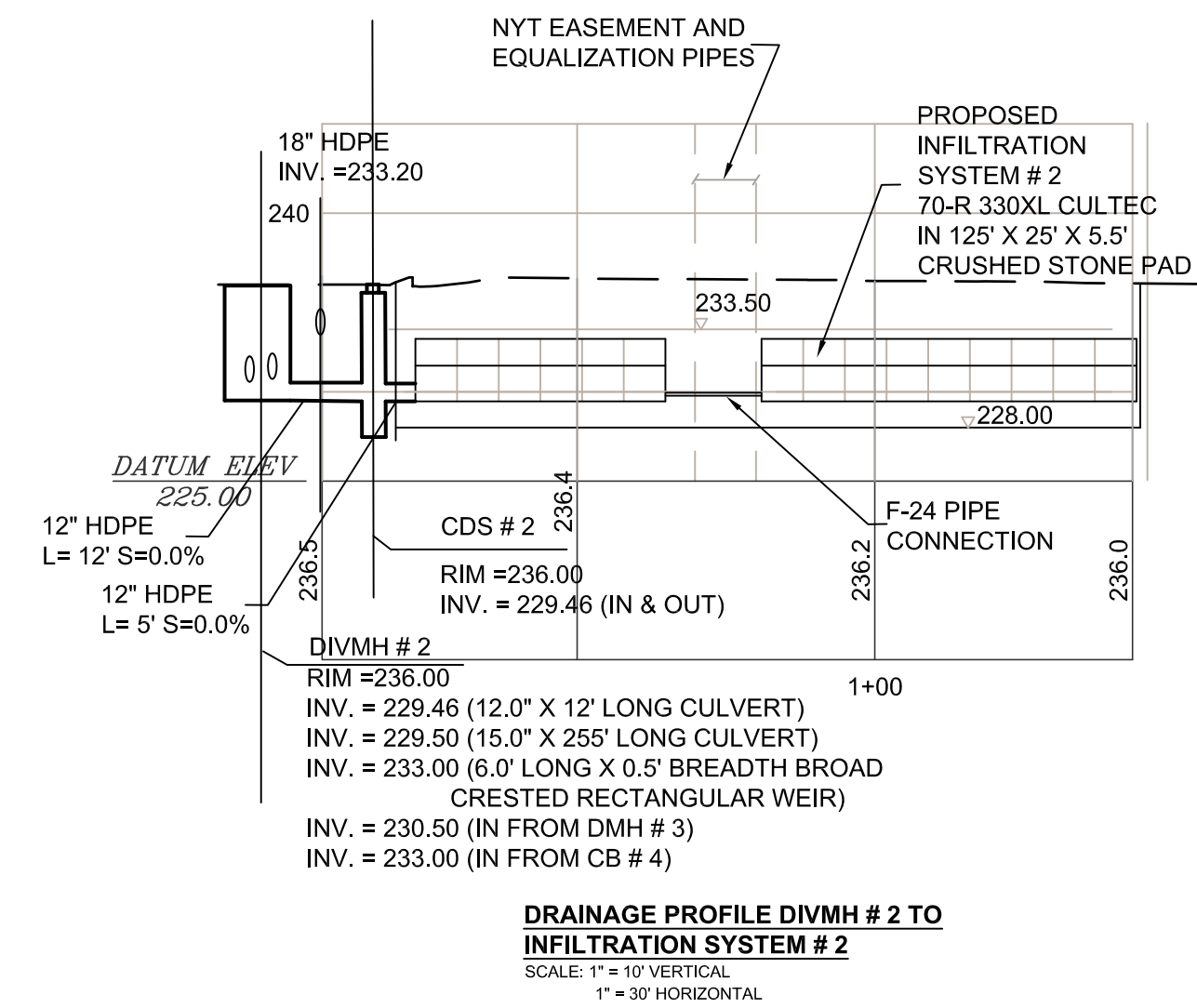


REVISIONS:						
	DATE:	DESCRIPTION	BY/CK	DATE:	DESCRIPTION	BY/CK

	<p align="center">EROSION CONTROL DETAILS</p> <p align="center">NORTH COUNTY SHOPPING CENTER EXPANSION</p> <p align="center">NYS. RTE 22 & NYS RTE 138 TOWN OF LEWISBORO , WESTCHESTER COUNT, NY</p>	DATE:	12-22-14
		SCALE:	AS SHOWN
		FILE:	
		DSGN / CHK:	SB
		DRN. BY:	DK
		SHT NO.	7 OF 11
		DWG NO.	ED -1

	<p align="center">BIBBO ASSOCIATES, LLP</p> <p align="center">293 ROUTE 100 SUITE 203 SOMERS, NEW YORK 10589 TEL. 914 277 5805</p>

SABIR BARISSER P.E.



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DUPLICATION IS A VIOLATION OF
APPLICABLE LAWS

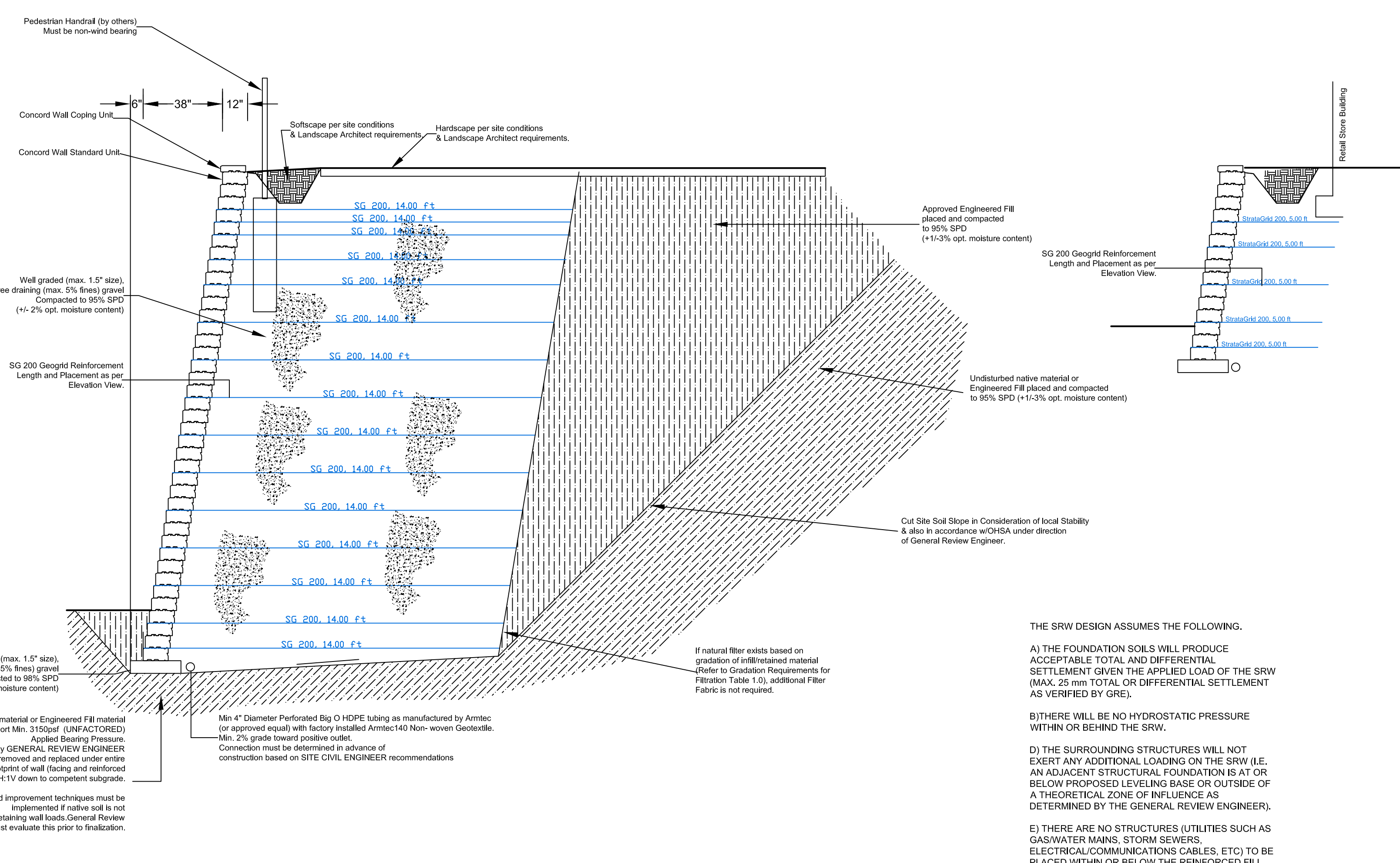
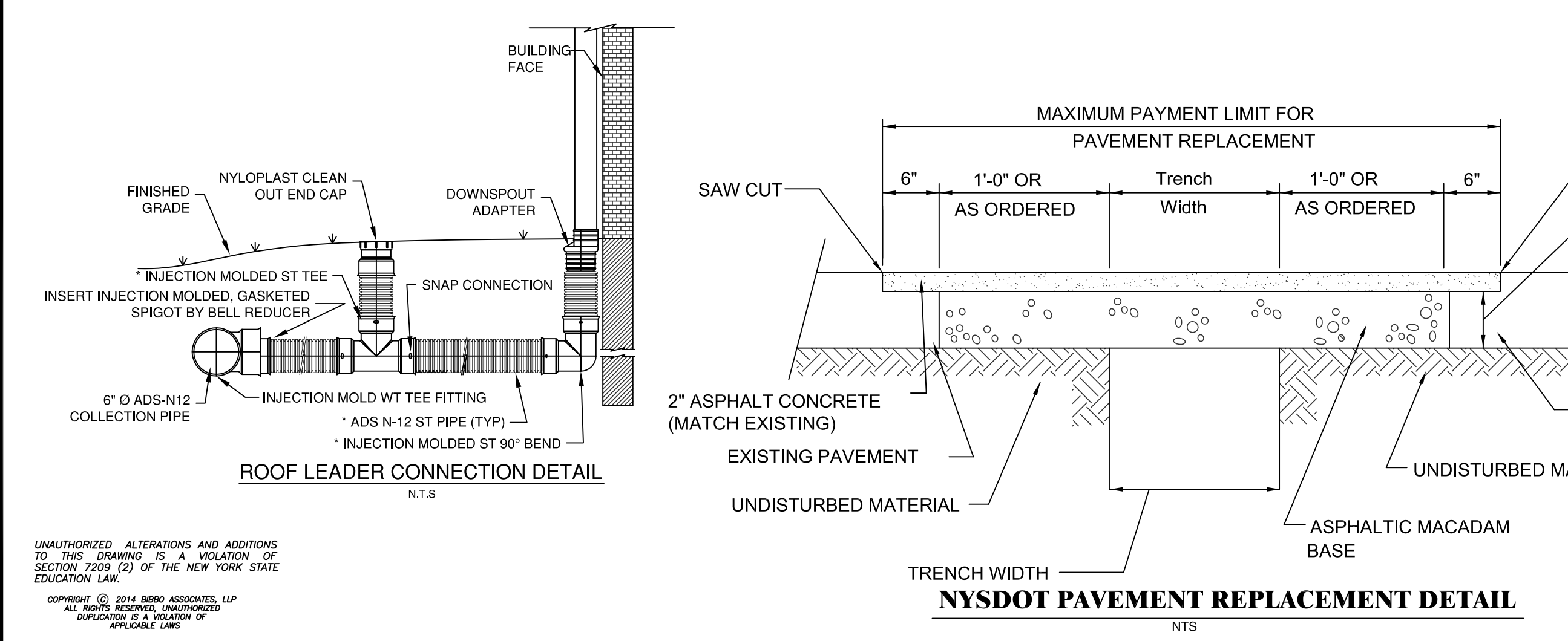
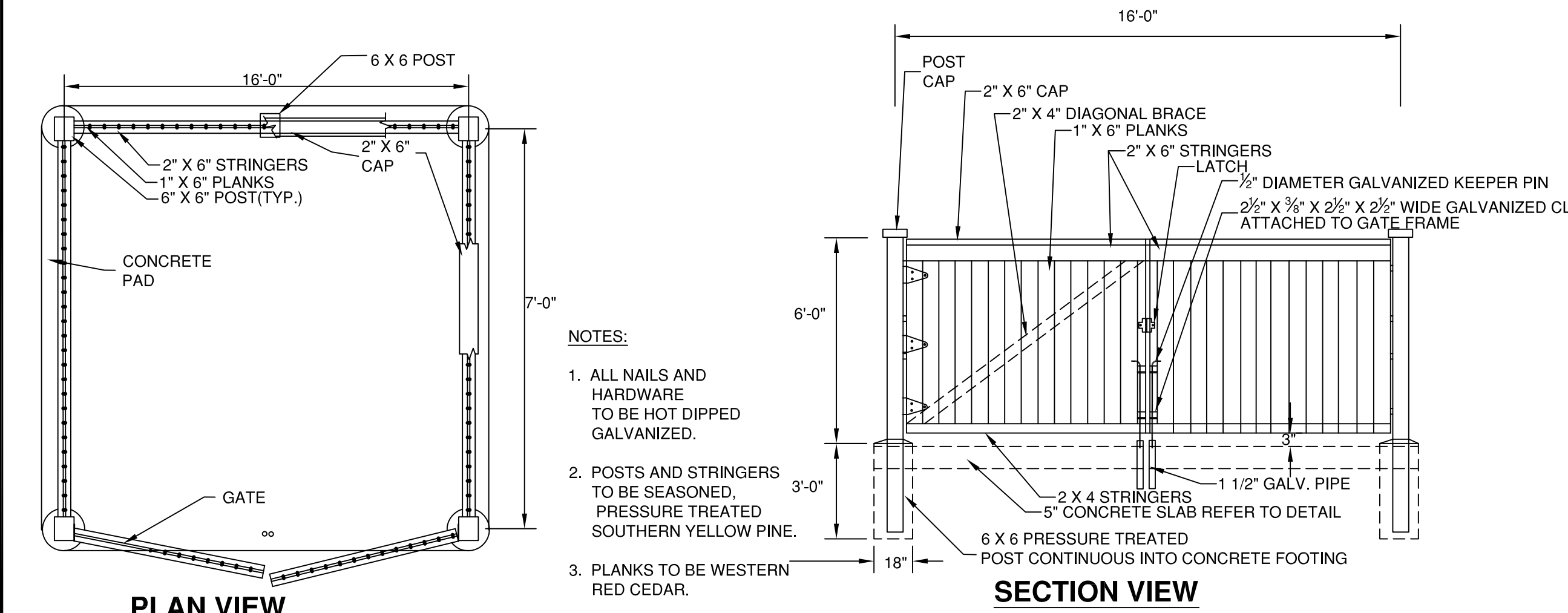
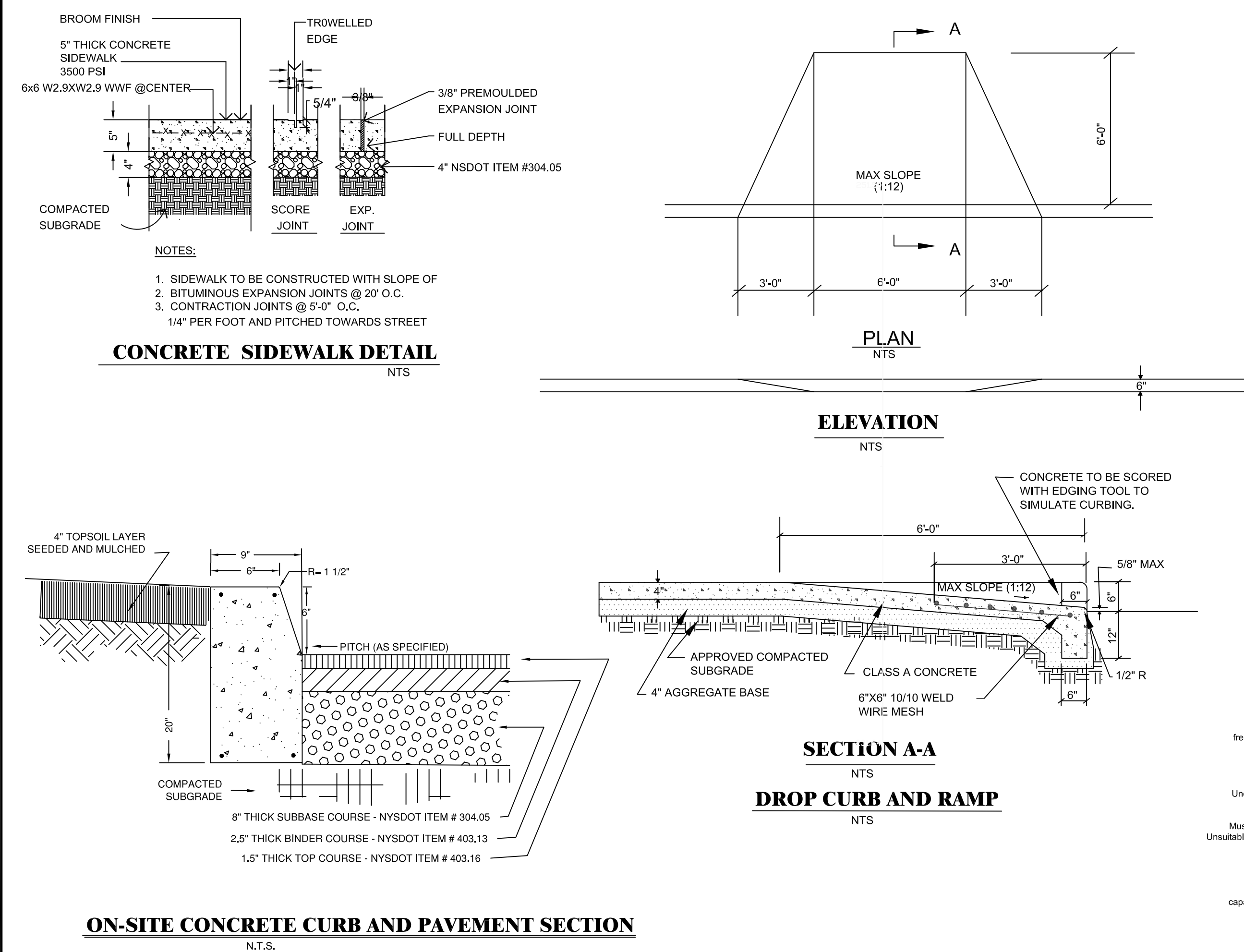


TABLE 3.0 - DRAINAGE PROVISIONS

Potential Water Source	Drainage Measures (To be Verified by General Review Engineer)	Add. Notes
Surface Infiltration Above Reinforced Zone and beyond. Rainfall, normal snow melt, run-off, etc. If irrigation systems are used immediately above the reinforced zone of the wall, additional measures will be required in case of leakage/failure of the system.	Grade behind must direct water away from back of wall. If slope toward wall exists, swale system must be implemented to carry water at min. 2% grade to positive drainage area. Dimensions of swale will be based on anticipated water collection requirements as specified by the Civil Engineer as part of the overall site drainage plan. The swale system must be constructed with a low permeability layer (100-150mm) of engineered fill material compacted to 95% SPD to act as a conduit for the surface water and prevent infiltration behind the wall facing and into the reinforced zone.	Other structures and paved surfaces adjacent to Wall. Other structures adjacent to the retaining wall must have independent drainage systems. For example, pavements must have independent collection systems (perimeter drains) to collect water that penetrates cracks in the surface, etc. Building downslopes must not direct water towards the walls and must be connected to independent outlets.
Lateral Underground. Design assumes that groundwater is below bottom of wall. The following drainage measures address other potential sources of lateral groundwater that may be the results of infiltration through the surface (i.e. cracks in asphalt beyond the reinforced zone) or other below grade sources.	The reinforced zone of the wall is specified as a well graded gravel with a maximum of 5% fines with a collection pipe at the bottom. The retained zone (up stream source of potential water) is assumed to be of a lower permeability as compared to the imported fill. The reinforced zone is therefore assumed to allow for the drainage of potential water seepage as discussed in Column 1. The perforated collection pipe (Min. 100mm dia. at 2% grade) must be connected to a positive outlet as determined by the Civil Engineer prior to construction.	Water Management During Construction. At all times the contractor must ensure measures such as temporary swales and drainage ditches are employed to manage surface water and seepage during and after the construction of the wall. If final grading is not part of the contractors scope of work, the area around the wall must still be properly graded to ensure water does not collect behind or is directed toward the wall.

NOTE: These drainage measures are provided as an extra precaution against the possibility of an unknown water source that may or may not occur at some point during the life of the structure. If, upon excavation, a specific water source is identified (perched water condition, sand seams, etc) in the cut or is anticipated, additional drainage measures will be required (i.e. chimney drains).

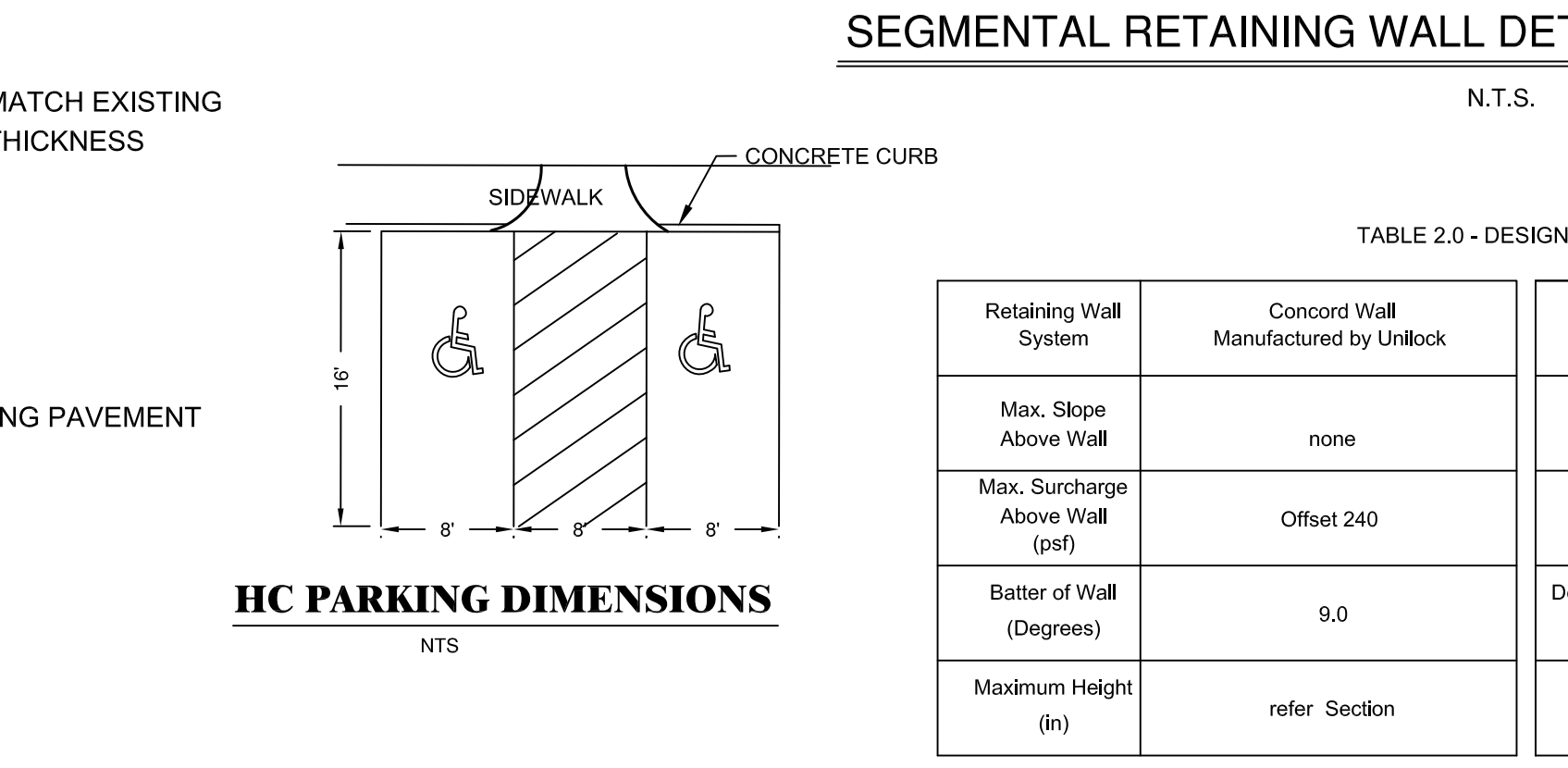


TABLE 1.0 - SOIL ZONES AND ASSUMED PROPERTIES

MUST BE VERIFIED BY GENERAL REVIEW ENGINEER - REFER TO SECTION 3.03 OF SPECIFICATION

Soil Region	Reinforced Fill	Retained Fill/Soil**	Foundation Soil**	Base	Drainage Fill (as req. - ref to section)
Description (by USCS)	GW Well graded gravel Max. 5% fines	ML-CL Lean Silty Clay Low Plasticity	ML-CL Lean Silty Clay Low Plasticity	GW Well graded gravel Max. 8% fines	GP Gap graded, rapid draining gravel
Effective Internal Friction Angle (Deg.)	35°	28°	28°	35°	NA
Compaction Requirement (Eng. Fills Only)	95% SPD (+/- 2% opt. moist.)	95% SPD (+1/-3% opt. moist.)	98% SPD (+1/-3% opt. moist.)	98% SPD (+/- 2% opt. moist.)	Dense State
Moist Unit Weight (lb/cu.ft)	140	127	127	140	115
Effective Cohesion (psf)	NA	NA	100	NA	NA
Soil Notes	Max. 6"-8" Compaction Lifts	Max. 6"- 8" Compaction Lifts	Refer to section for ALLOWABLE Bearing Capacity	Max. 6"-8" Compaction Lifts	Max. 6"-8" Compaction Lifts
Geotextile at Interface	Interfaces: Reinforced/Retained Geotextile Not Req. if gradations listed below are met. Otherwise : TBD	NA	NA	NA	NA
Assumed Gradation for Filtration Req.*	D(15) <0.3mm D(50) <1.18mm MAX 5% FINES	D(85) >0.075mm D(15) <0.002mm D(50)>0.05mm	NA	NA	NA

* If the above gradation requirements are not met, an alternative filter fabric will be required. Contact RSS to discuss alternatives.
** Engineered Fill is defined as Clean earth fill placed and compacted in maximum lift thicknesses of 150mm to at least 98 percent Standard Proctor Density for Foundation Soils and 95 percent Standard Proctor Density for Retained Soils, under the full-time inspection and testing of a geotechnical engineering firm who provides written confirmation and certification of the completed Engineered Fill.

TABLE 2.0 - DESIGN INFORMATION

Retaining Wall System	Concord Wall Manufactured by Unilock	Geogrid Type	SG 200 by Stratagystystems
Max. Slope Above Wall	none	Min. Geogrid LTDS (lb/ft)	1600
Max. Surcharge Above Wall (psf)	Offset 240	Max. Slope Below Wall	None
Batter of Wall (Degrees)	9.0	Depth of Embedment (in)	Min 18" as per local Engineer requirements
Maximum Height (in)	refer Section	Compacted Base Dimensions (in x in)	6" x 24"

GENERAL NOTES

1. THIS IS A PRELIMINARY DESIGN CONDUCTED BY RISI STONE SYSTEMS (THE SRW LICENSOR) FOR COSTING AND FEASIBILITY PURPOSES ONLY. PRIOR TO CONSTRUCTION, A FINAL DESIGN MUST BE ISSUED BY A PROFESSIONAL ENGINEER, QUALIFIED IN THE DESIGN OF RESE WALLS AND LICENSED IN THE STATE THAT THE WALLS ARE BEING CONSTRUCTED. AS THIS IS A PRELIMINARY DESIGN ONLY, AND NOT THE FINAL DESIGN, THIS DOCUMENT CAN NOT BE USED FOR CONSTRUCTION.
2. THE FINAL DESIGN IS ISSUED BY THE WALL DESIGN ENGINEER OF RECORD. ALL INQUIRES REGARDING THE DESIGN BEFORE, DURING OR AFTER THE PROJECT MUST BE MADE DIRECTLY TO THE WALL DESIGN ENGINEER OF RECORD BY THE GENERAL REVIEW ENGINEER.
3. THE INFORMATION PROVIDED ON THIS SHEET MUST BE USED IN CONJUNCTION WITH THE ATTACHED SPECIFICATIONS.
4. THIS PRELIMINARY DESIGN IS BASED ON INFORMATION PROVIDED PART DRAWING BY SABRI BARISSER OF BIBBO ASSOCIATES, LLP, NEW YORK DATED DEC 2014. THESE WALL DESIGN DRAWINGS AND THE FINAL DESIGN ARE NOT INTENDED TO BE "STAND ALONE" DRAWINGS. THE WALL CONTRACTOR AND GENERAL CONTRACTOR ARE REQUIRED TO HAVE A COMPLETE UNDERSTANDING OF ANY AND ALL OTHER STRUCTURES THAT MAY INTERACT WITH THIS SEGMENTAL RETAINING WALL. THE WALL CONTRACTOR AND GENERAL CONTRACTOR MUST REFER TO A FULL SET OF CIVIL, STRUCTURAL AND ARCHITECTURAL DRAWINGS (AS APPLICABLE) FOR THE PROJECT TO ENSURE SUCCESSFUL CONSTRUCTION AND PERFORMANCE OF THE WALL SYSTEM. THE WALL DESIGN DRAWING SHOULD NOT BE REFERRED TO FOR MANHOLE LOCATIONS, ELEVATIONS, OR ANY OTHER CIVIL OR SITE INFRASTRUCTURE INFORMATION BECAUSE DATA MAY HAVE BEEN SELECTIVELY REMOVED FROM THIS DRAWING FOR CLARITY OF WALL ILLUSTRATION.
5. DESIGN ASSUMPTIONS: (PL REFER NEAR X-SECTION)
6. THE DESIGN IS IN ACCORDANCE WITH THE NATIONAL CONCRETE AND MASONRY ASSOCIATION DESIGN MANUAL FOR SEGMENTAL RETAINING WALL, SECOND EDITION. ANALYSIS OF OVERALL GLOBAL AND/OR COMPOUND STABILITY HAS NOT BEEN CONDUCTED. IT IS REQUIRED THAT THE GENERAL REVIEW ENGINEER RETAINED TO REVIEW THE DESIGN AND INSPECT CONSTRUCTION ASSESS THE NEED FOR A GLOBAL STABILITY ANALYSIS AND PROVIDE THIS, IF NECESSARY. REFER TO SPECIFICATION FOR FULL DETAILS. THIS PRELIMINARY DESIGN DOES NOT INCLUDE A SEISMIC ANALYSIS. THIS MUST BE ADDRESSED BY THE WALL DESIGNER PRIOR TO ISSUANCE OF THE FINAL DESIGN.
7. NO SEISMIC ANALYSIS HAS BEEN CONDUCTED. THE WALL DESIGN ENGINEER OF RECORD MUST ANALYZE THE WALL(S) FOR SEISMIC STABILITY IN ACCORDANCE WITH LOCAL CODES AND REGIONAL SEISMIC DESIGN PARAMETERS.
8. AT THIS STAGE IN THE DESIGN, RISI STONE SYSTEMS HAS NOT RECEIVED SITE SPECIFIC GEOTECHNICAL INFORMATION / GEOTECHNICAL REPORT. FOR DESIGN PURPOSES, WE HAVE ASSUMED A SET OF GEOTECHNICAL PARAMETERS. FOR THE FINAL DESIGN, UPON EXCAVATION OR FURTHER EXPLORATION IN THE WALL LOCATION(S), THESE DESIGN PARAMETERS MUST BE VERIFIED AS BEING ACCEPTABLE BY THE GENERAL REVIEW ENGINEER (REFER TO NOTE 6) OR REVISED PARAMETERS MUST BE PROVIDED FOR A REDESIGN. BOTH THE CONTRACTOR AND THE PRIME CONSULTANT MUST BE ADVISED THAT THE FINAL DESIGN MAY HAVE TO BE ALTERED BASED ON ACTUAL CONDITIONS FOUND ON SITE. ALTERATION OF THE DESIGN MAY RESULT IN ADDITIONAL CONSTRUCTION COSTS AND PROJECT DELAYS. IT IS RECOMMENDED THAT CONTINGENCIES BE ADDRESSED IN THE CONTRACT TO UNDERTAKE THE WALL CONSTRUCTION FOR DEALING WITH THE DISCOVERY OF UNFAVORABLE SOIL CONDITIONS.
9. THE PRELIMINARY AND FINAL DESIGN MUST BE CHECKED WITH THE FINAL GRADING PLAN TO VERIFY ACCURACY. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THE WALL LAYOUT(S) PROVIDED MATCH THE FINAL SITE GRADING. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO BIDDING / CONSTRUCTION. RISI STONE SYSTEMS MAKES EVERY EFFORT TO ENSURE ACCURACY OF THE DESIGN. HOWEVER, AS INFORMATION PROVIDED MAY HAVE BEEN UNKNOWNLY OUT OF DATE, UNCLEAR IN AREAS, OR INCORRECT, IT IS ULTIMATELY THE CONTRACTORS RESPONSIBILITY TO VERIFY THE DIMENSIONS AND ELEVATIONS (QUANTITIES OF THE WALL(S) WITH THE MOST RECENT GRADING PLAN AND ACTUAL SITE CONDITIONS.
10. THE FINAL DESIGN WILL REQUIRE THAT THE CONSTRUCTION BE REVIEWED FOR GENERAL CONFORMITY TO THE APPROVED FINAL DESIGN BY A QUALIFIED GENERAL REVIEW ENGINEER. RISI STONE SYSTEMS AND/OR THEIR LICENSEE DOES NOT PROVIDE THIS SERVICE. THE CONTRACTOR MUST RETAIN A THIRD PARTY ENGINEER TO PROVIDE GENERAL REVIEW OF THE DESIGN AND CONSTRUCTION IN ACCORDANCE WITH SECTION 3.03 OF THE SPECIFICATIONS.
11. THE LOCATION OF EXISTING OR PROPOSED UTILITIES MUST BE VERIFIED PRIOR TO CONSTRUCTION. GENERALLY IT IS RECOMMENDED THAT UTILITIES BE OFFSET FROM THE WALL TO A) PREVENT ADDITIONAL LOADING ON THE CONDUIT (I.E. A 10:1 V LINE OF INFLUENCE FROM THE BASE OF THE WALL SHOULD BE ASSUMED) UNLESS ACCOUNTED FOR IN DESIGN OF THE UTILITY B) TO ENSURE FUTURE ACCESS TO THE UTILITY WITHOUT UNDERMINING THE WALL. THE ENGINEERED FILL ABOVE THESE UTILITIES MUST BE COMPACTED TO 98% SPD. THE CIVIL ENGINEER MUST REVIEW THE DESIGN TO VERIFY THE ABOVE (REFER TO NOTE 10 AND SPECIFICATION FOR FURTHER DETAILS).
12. THE RETAINING WALL DRAWINGS AND SPECIFICATIONS MUST BE REVIEWED BY THE CIVIL ENGINEER, LANDSCAPE ARCHITECT/ARCHITECT, AND GENERAL REVIEW ENGINEER PRIOR TO THE GENERAL REVIEW ENGINEER AUTHORIZING THE DRAWINGS TO BE USED FOR CONSTRUCTION IN ACCORDANCE WITH SECTION 3.02, SEGMENTAL RETAINING WALL DESIGN REVIEW, OF THE SPECIFICATIONS.

REVISIONS

DATE:	DESCRIPTION	BY/CK	DATE:	DESCRIPTION	BY/CK

DATE:

12-22-14

SCALE:

AS SHOWN

FILE:

DSGN / CHK: SB

DRN. BY:

DK

SHT NO.

9 OF 11

DWG NO.

SD-1

STATE OF NEW YORK

SABRI BARISSER

REGISTERED PROFESSIONAL ENGINEER

NO. 10545

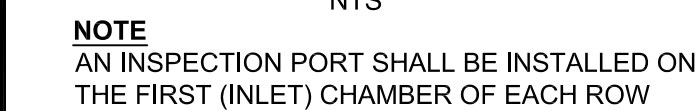
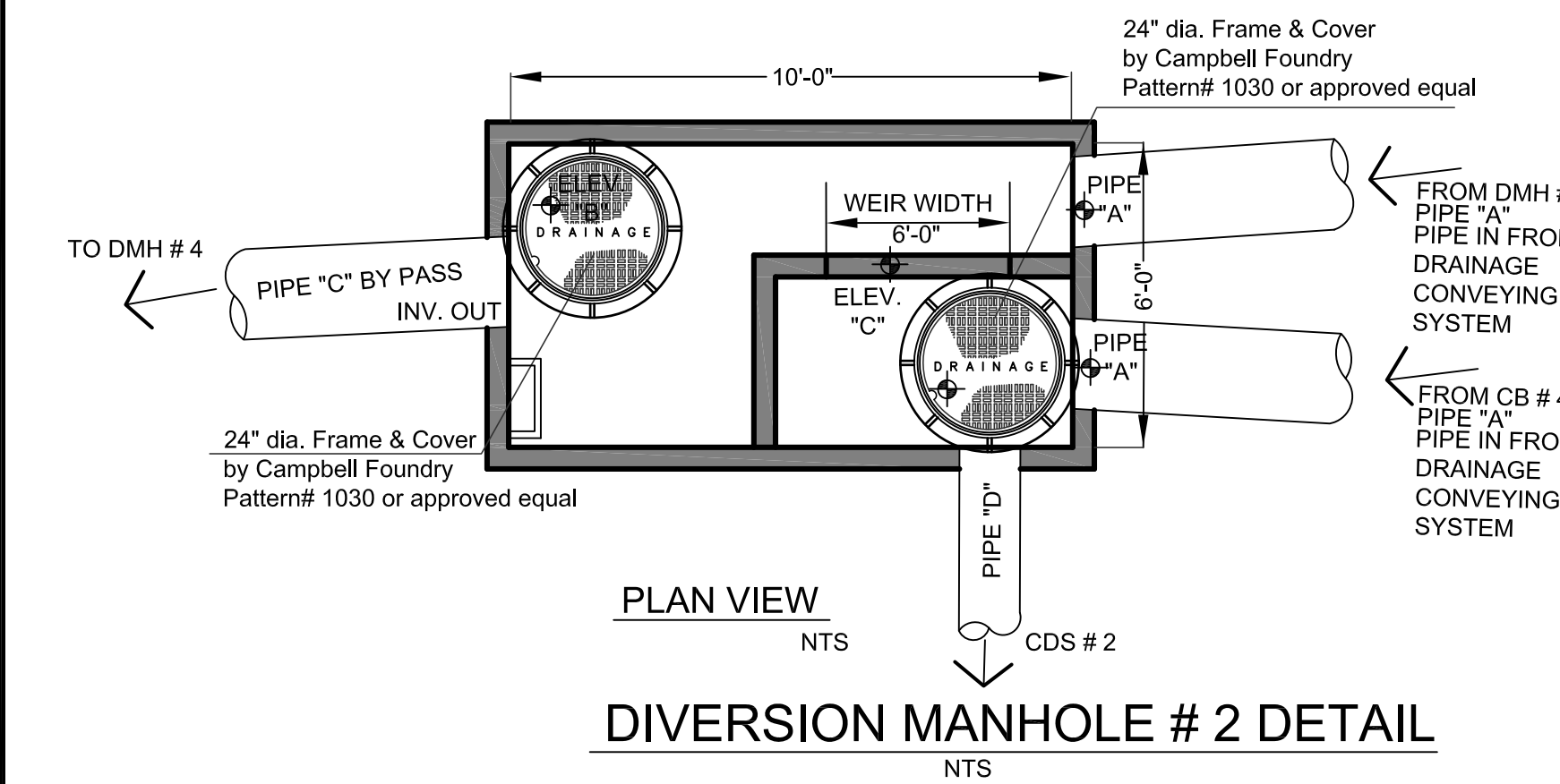
SABRI BARISSER P.E.

BIBBO ASSOCIATES, LLP

293 ROUTE 100 SUITE 203

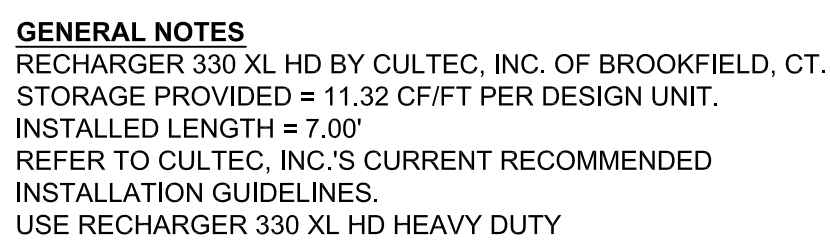
SOMERS, NEW YORK 10589

TEL. 914 277 5805



STRUCTURE	FINISHED GRADE	ELEV. "A" BOTTOM OF TOP SLAB	ELEV. "B" BOTTOM	INCOMING PIPES		OUTGOING PIPES				WEIR CREST ELEVATIONS
				PIPE "A" FROM CONVEYING SYSTEM		PIPE "C" BY PASS PIPE-OUT		PIPE "D" TO OUTLET TO SWOB		
				DIA. /MAT.	INV. IN	INV. OUT	DIA./ MAT.	INV. OUT	DIA./ MAT.	INV. OUT
DIV MH #1	250.70±	249.00	244.00	6" PVC	248.00	15" HDPE	244.40	12" HDPE	244.41	247.27
DIV MH #2	236.0±	234.50	230.00	15" HDPE 15" HDPE	230.50 (FROM DMH # 3) 233.00 (FROM CB # 4)	15" HDPE	229.50	12" HDPE	229.46	233.00

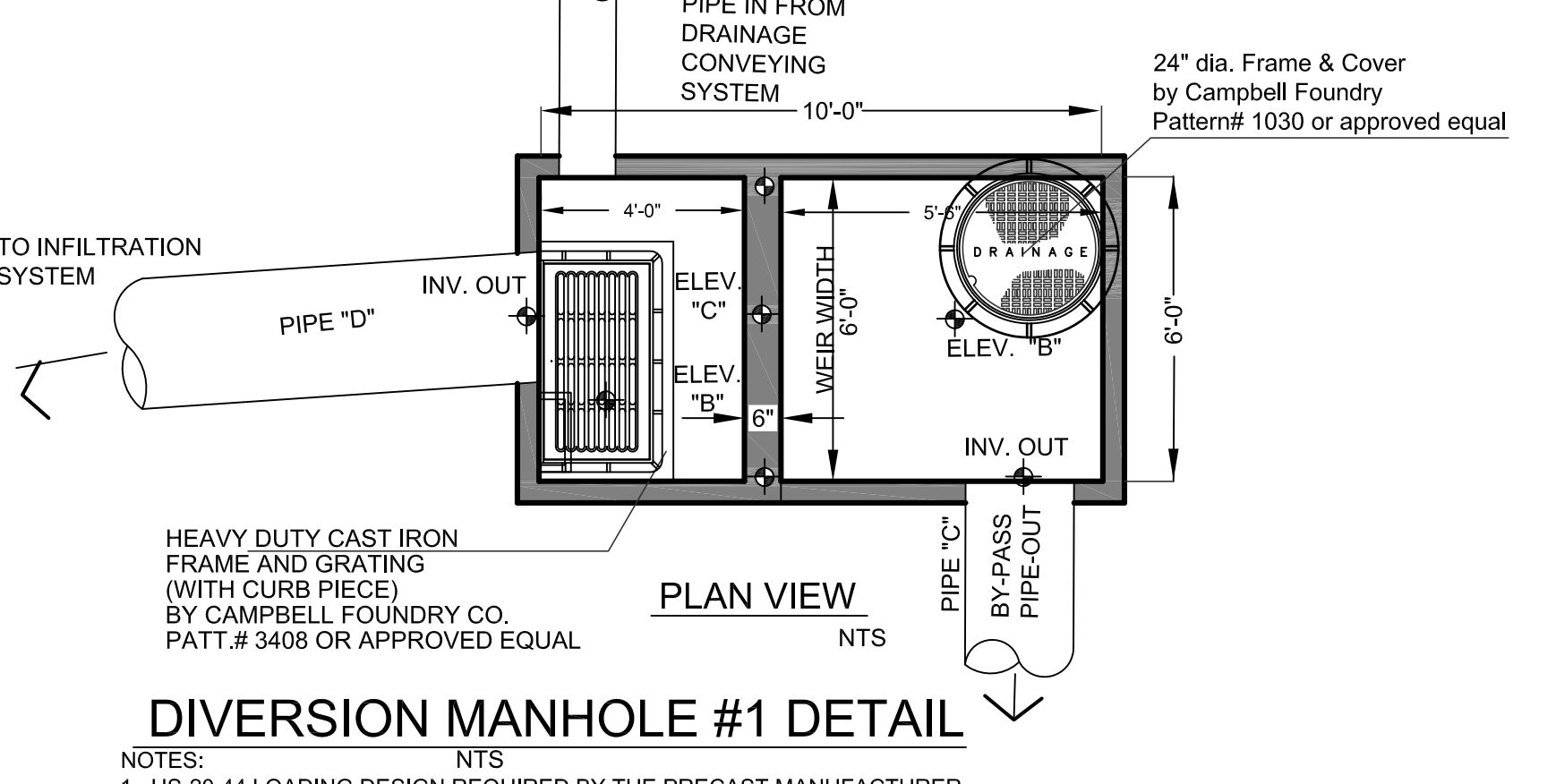
NTS



ALL RECHARGER 330 XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.

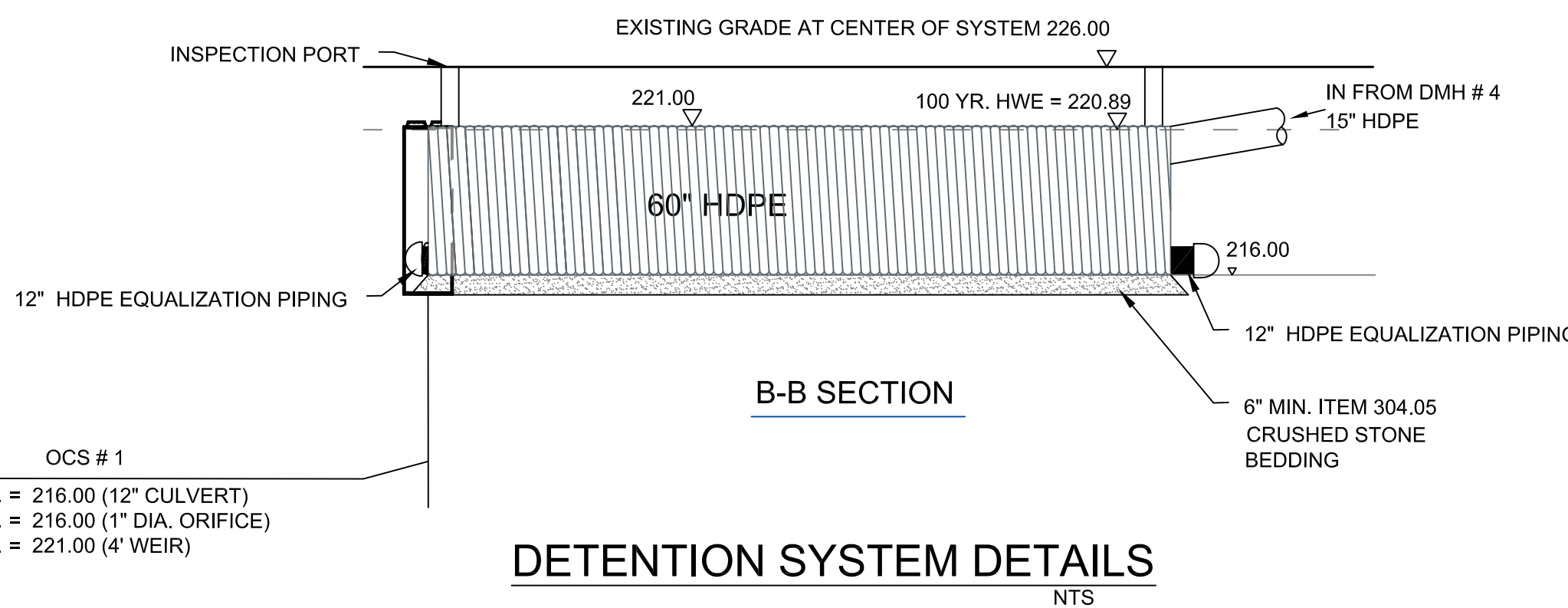
ALL RECHARGER 330 XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

N.T.S



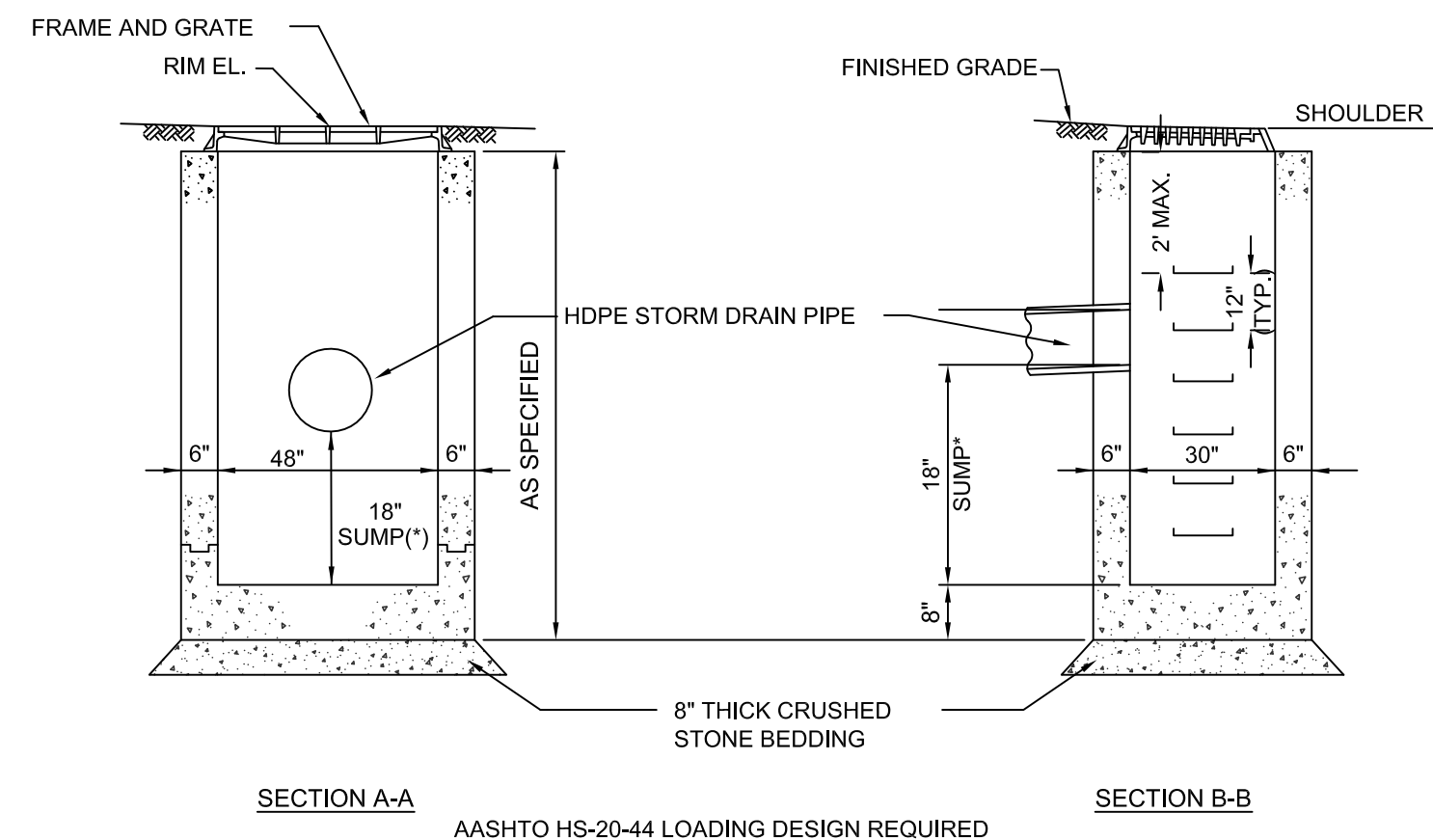
NOTES:

1. HS-20-44 LOADING DESIGN REQUIRED BY THE PRECAST MANUFACTURER
2. SHOP DWGS. OF EACH STRUCTURE TO BE PROVIDED FOR THE ENGINEER'S REVIEW AND APPROVAL PRIOR TO PRODUCTION.
3. WEIR WALL TO BE CAST INTEGRALLY WITH STRUCTURE FLOOR AND WALLS.



NTS

[illegible]



TYPICAL CATCH BASIN CL TYPE

N.T.S.

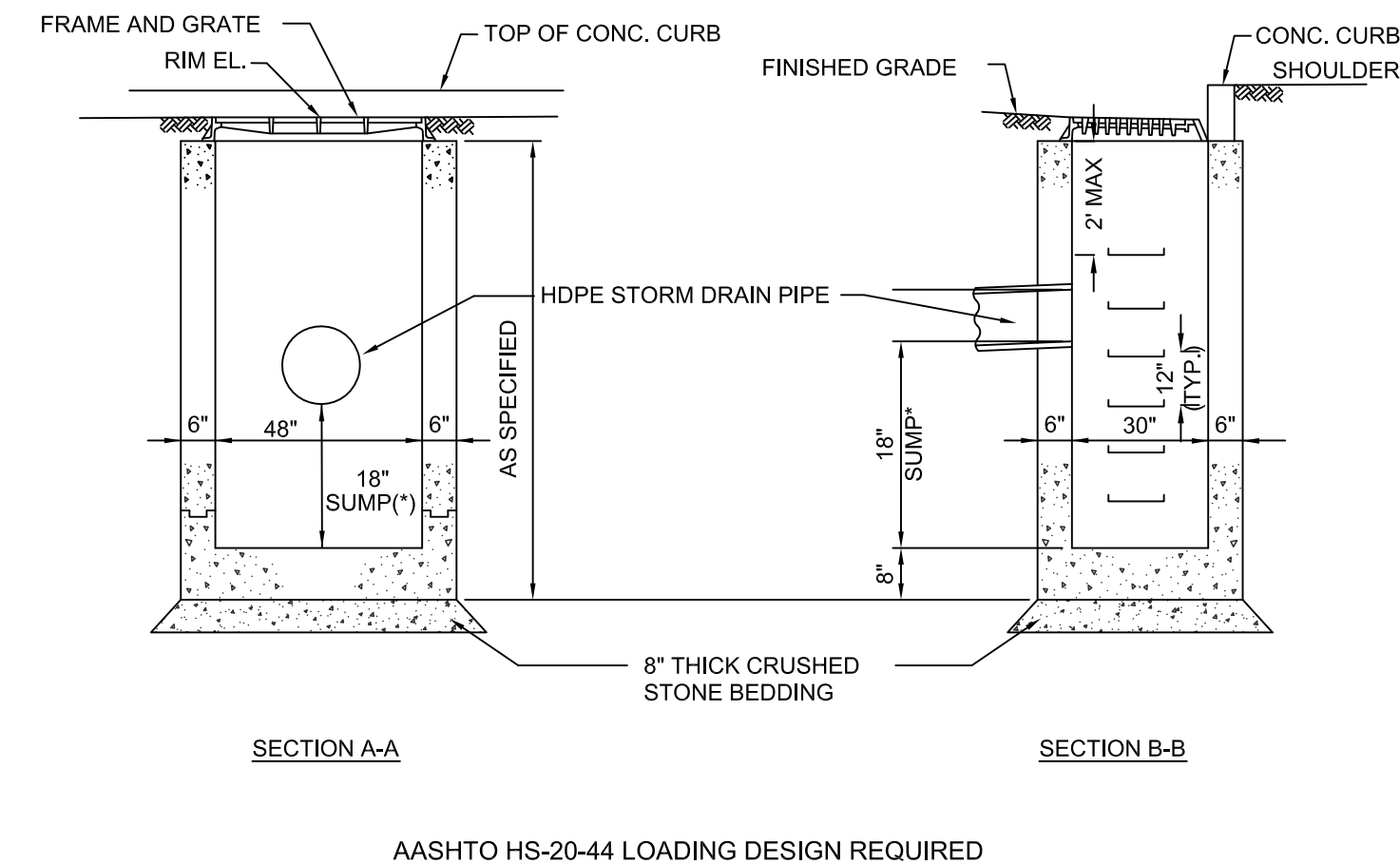
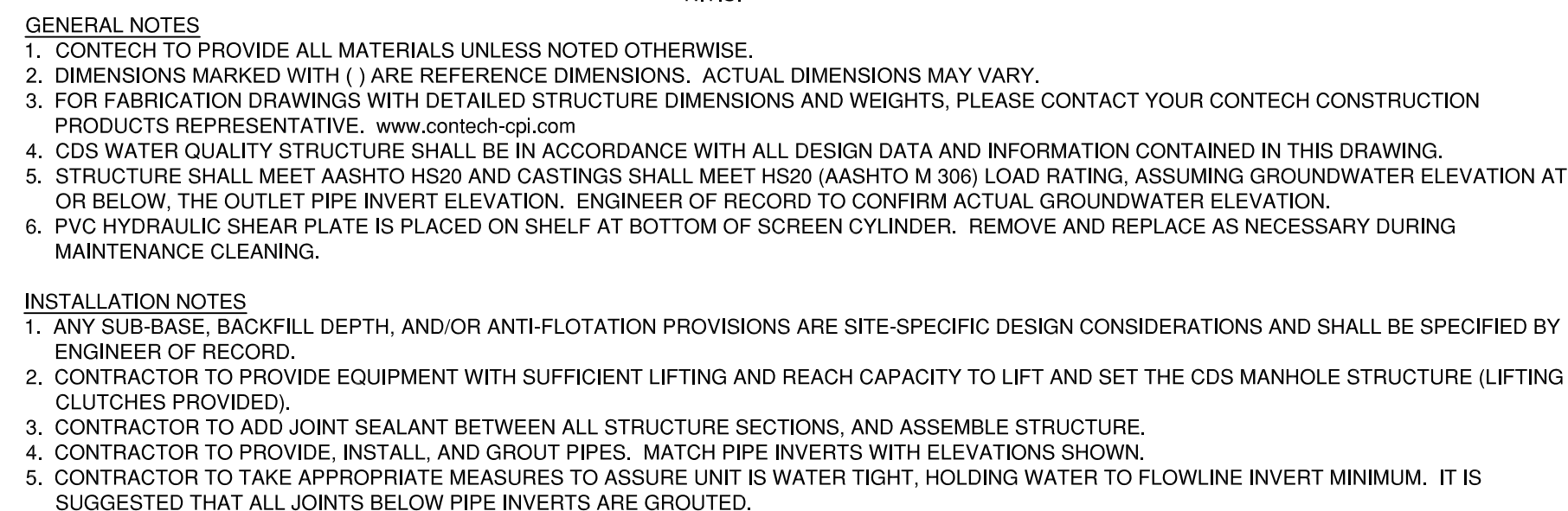
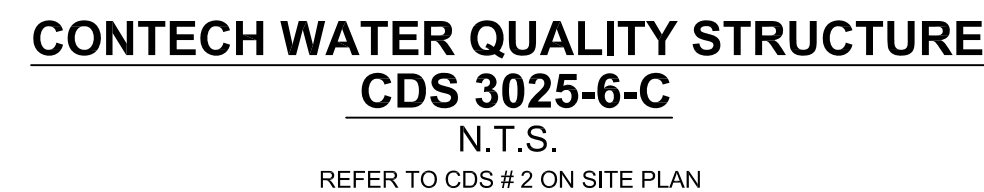
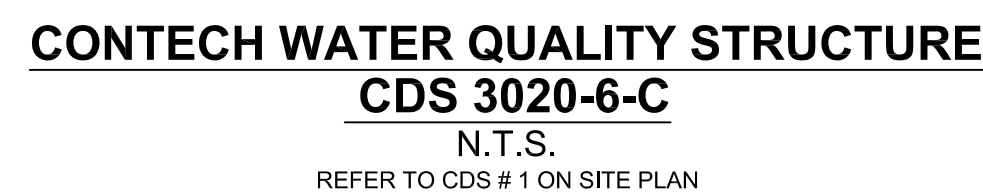
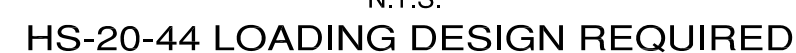


Diagram illustrating the Drainage Pipe Installation details:

- UNDER PAVEMENT**: The area above the pipe, showing a cross-section of the pavement structure.
- ALL OTHER**: The area surrounding the pipe, indicating the backfill material.
- BACKFILL MATERIAL TO BE FREE OF FROST & STONES OVER 8" SIZE COMPACTED AS REQUIRED.**: A note specifying the requirements for the backfill material.
- MIN. 2' 0"**: The minimum depth of the backfill material above the pipe.
- MECHANICALLY IN 8" OTHERWISE**: A note indicating the compaction requirement for the backfill material.
- BELOW COMPACTION.**: A note indicating the location of the pipe relative to the compaction layer.
- 8"**: The diameter of the pipe, shown in both the cross-section and plan views.
- D**: The depth of the pipe, shown in the plan view.
- NO SPRINGLINE WITH ANULAR MATERIAL SIZE 2" - HAND**: A note indicating the material requirements for the pipe.

DRAINAGE PIPE INSTALLATION

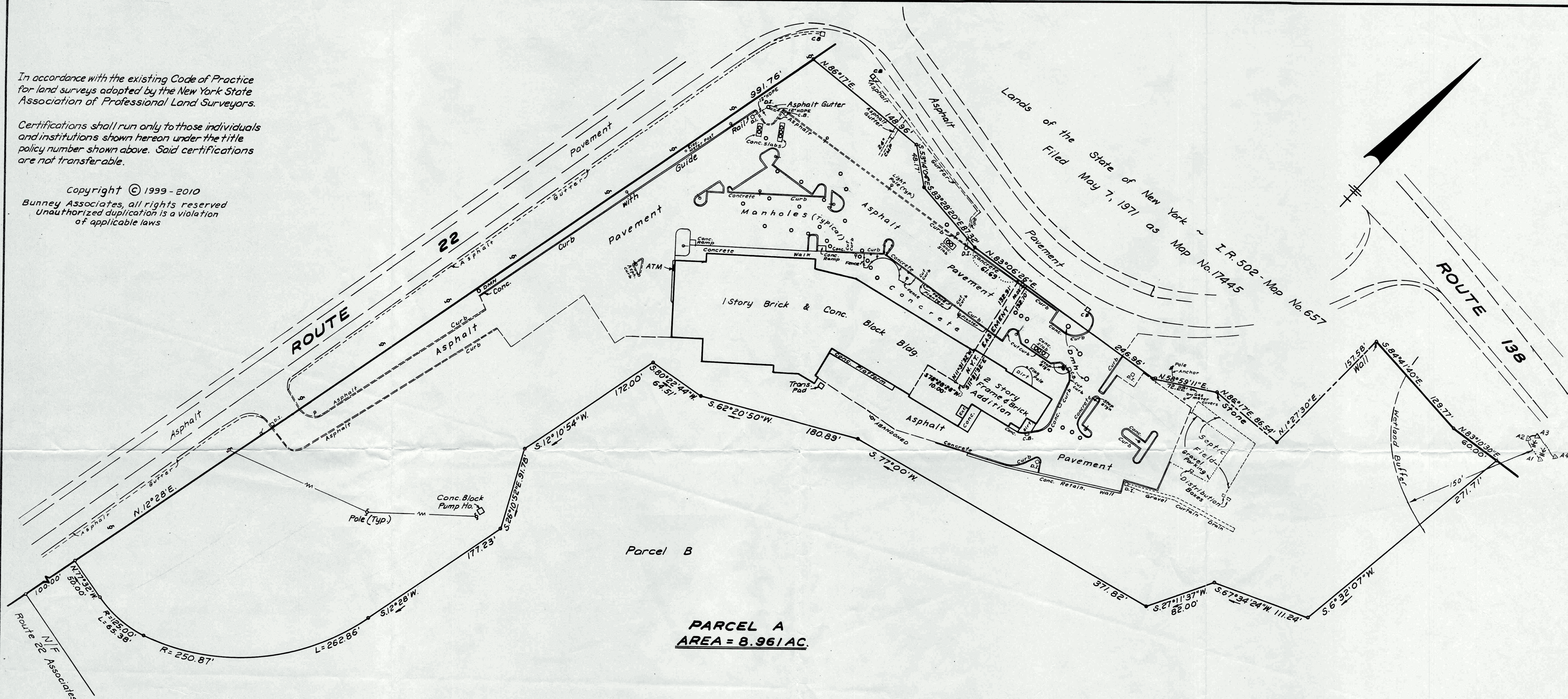
N.T.S.



In accordance with the existing Code of Practice for land surveys adopted by the New York State Association of Professional Land Surveyors.

Certifications shall run only to those individuals and institutions shown hereon under the title policy number shown above. Said certifications are not transferable.

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of applicable laws



All certifications shown hereon are valid for the map and copies thereof only if said map or copies bear the impressed seal of the surveyor whose signature appears hereon.

Surveyed & Prepared by
BUNNEY ASSOCIATES
Land Surveyors
301 Fields Lane, Brewster
New York 10509
Ph. 845-277-3404

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, sub-division 2, of the New York State Education Law.

The location of underground improvements or encroachments, if any exist, are not certified.

Premises shown hereon being Parcel A as shown on "Subdivision Map prepared for Stephen Cipes"; said map filed in the Westchester County Clerk's Office on December 29, 1987 as Map No. 23072.

Wetlands flagged by EVANS
Associates on 8-17-10

SURVEY OF PROPERTY
SITUATE IN THE
TOWN OF LEWISBORO
WESTCHESTER COUNTY
NEW YORK

SCALE: 1"=50'

DATE: APRIL 4, 1994
Revised: April 14, 1994
" April 26, 1994
Brought to Date: June 13, 1995
" " " Jan. 20, 1998
" " " June 17, 1999
" " " Feb. 1, 2002
Title No. added Feb. 28, 2002
Brought to Date Sept. 26, 2006
Wetlands Added Sept. 13, 2010

BIBBO ASSOCIATES, L.L.P.

Consulting Engineers

Joseph J. Buschynski, P.E.

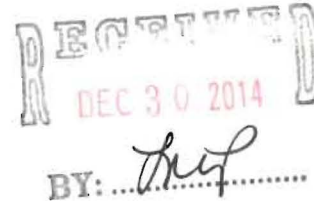
Timothy S. Allen, P.E.

Sabri Barisser, P.E.

December 30, 2014

Town of Lewisboro Planning Board
20 North Salem Road
P. O. Box 725
Cross River, NY 10518

Attn: Mr. Jerome Kerner, Chairman



RE: Site Plan and Stormwater Pollution Prevention
Plan (SWPPP) Submission – North County
Shopping Center Expansion

Dear Members of the Board:

On behalf of our client, please find the enclosed plans and documents in support of Site Plan and Stormwater Pollution Prevention Plan (SWPPP) Review and Approval:

- 10 copies – EAF Long Form, dated December 29, 2014
- 10 copies – NYSDOT U & O Permit #82419, dated October 27, 2014
- 10 copies – WCHD Approved Septic System/Amended Change of Use letter dated December 13, 2014 (with approved Plan and Engineer's Report)
- 10 copies – Wetland Report by Evans Associates, dated August 24, 2010
- 10 copies – Property Survey, dated September 13, 2010
- 3 copies – Stormwater Pollution Prevention Plan, dated December 16, 2014

We would like to be on your Board's next available agenda to discuss the above referenced. As always, please do not hesitate to call our office if you have any questions or concerns regarding this matter.

Very truly yours,

A large, stylized handwritten signature in blue ink, appearing to read "Sabri Barisser".

Sabri Barisser, P.E.
Partner

SB/rh/mme
Enclosures

cc: Robert Lauria
Peter Helmes, AIA

Site Design ♦ Environmental

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

Name of Action or Project: NORTH COUNTY SHOPPING CENTER EXPANSION		
Project Location (describe, and attach a general location map): Property is located at NYS 22 and Rte. 138 in the Town of Lewisboro, NY, also known as North County Shopping Center. Location map attached.		
Brief Description of Proposed Action (include purpose or need): Expansion of North County Shopping Center, with drainage conveying and treatment, parking and existing subsurface sewage & water supply facilities.		
Name of Applicant/Sponsor: Stephen Cipe C/O Robert Lauria		Telephone: 914-767-3380
		E-Mail: natlrc@aol.com
Address: P.O. Box 544		
City/PO: Goldens Bridge	State: NY	Zip Code: 10526
Project Contact (if not same as sponsor; give name and title/role): Sabri Barisser P.E. Engineer Bibbo Associates, LLP		Telephone: 914-277-5805
		E-Mail: sbarisser@bibboassociates.com
Address: 293 Route 100 Suite 203		
City/PO: Somers	State: NY	Zip Code: 10589
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Town of Lewisboro Planning Board Site Plan Approval, Wetland Setback Activities	12/30/2014
c. City Council, Town or <input type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Westchester County Health Department Septic & Water, Change of Use	Approved 12/13/2013
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYCDEP Stormwater permit	
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC Stormwater permit NOI	
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☐ Yes ☒ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☐ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐ Yes ☒ No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

C.3. Zoning	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
RB Retail Business	
b. Is the use permitted or allowed by a special or conditional use permit?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
c. Is a zoning change requested as part of the proposed action?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes,	
i. What is the proposed new zoning for the site? _____	
C.4. Existing community services.	
a. In what school district is the project site located? <u>John Jay</u>	
b. What police or other public protection forces serve the project site?	
<u>Local Town Police and State Police</u>	
c. Which fire protection and emergency medical services serve the project site?	
<u>Town of Lewisboro fire and emergency services</u>	
d. What parks serve the project site?	
<u>Town of Lewisboro Parks</u>	

D. Project Details

D.1. Proposed and Potential Development	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? commercial	
b. a. Total acreage of the site of the proposed action?	<u>8.961</u> acres
b. Total acreage to be physically disturbed?	<u>2.02</u> acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	<u>8.961</u> acres
c. Is the proposed action an expansion of an existing project or use? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % <u>14</u> Units: <u>1.26 AC+/-</u>	
d. Is the proposed action a subdivision, or does it include a subdivision? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes,	
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)	
ii. Is a cluster/conservation layout proposed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
iii. Number of lots proposed? _____	
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____	
e. Will proposed action be constructed in multiple phases? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
i. If No, anticipated period of construction: <u>12</u> months	
ii. If Yes:	
<ul style="list-style-type: none"> • Total number of phases anticipated _____ • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year • Anticipated completion date of final phase _____ month _____ year • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____ 	

f. Does the project include new residential uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes,	
<i>i.</i> Total number of structures <u>1</u>	
<i>ii.</i> Dimensions (in feet) of largest proposed structure: <u>30'</u> height; <u>64' +/-</u> width; and <u>149' +/-</u> length	
<i>iii.</i> Approximate extent of building space to be heated or cooled: <u>16,844</u> square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes,	
<i>i.</i> Purpose of the impoundment: _____	
<i>ii.</i> If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____	
<i>iii.</i> If other than water, identify the type of impounded/contained liquids and their source. _____	
<i>iv.</i> Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres	
<i>v.</i> Dimensions of the proposed dam or impounding structure: _____ height; _____ length	
<i>vi.</i> Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:	
<i>i.</i> What is the purpose of the excavation or dredging? _____	
<i>ii.</i> How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ 	
<i>iii.</i> Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____	
<i>iv.</i> Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe. _____	
<i>v.</i> What is the total area to be dredged or excavated? _____ acres	
<i>vi.</i> What is the maximum area to be worked at any one time? _____ acres	
<i>vii.</i> What would be the maximum depth of excavation or dredging? _____ feet	
<i>viii.</i> Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No	
<i>ix.</i> Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes:	
<i>i.</i> Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): <u>small local wetland located near Rte 138, adjacent area would be effected</u>	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:
Local Wetland adjacent area shall have fill for parking & playground area, retaining walls and infiltration system.

iii. Will proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☒ No
 If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☒ No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No
 If Yes:

i. Total anticipated water usage/demand per day: _____ 1,672 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No
 If Yes:

- Name of district or service area: North County Shopping Center-PWS # 5906828
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☐ Yes ☒ No

iii. Will line extension within an existing district be necessary to supply the project? ☒ Yes ☐ No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
Extending water distribution lines with 2" water service to serve the project.
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No
 If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ 15 gallons/minute.

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ 1,672 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary sewer

iii. Will the proposed action use any existing public wastewater treatment facilities? ☐ Yes ☒ No
 If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No • Will line extension within an existing district be necessary to serve the project? <input type="checkbox"/> Yes <input type="checkbox"/> No <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ 	
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):</p> <p>_____</p>	
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____</p> <p>Sewage Disposal system: _____</p>	
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p style="margin-left: 20px;"> <u>37,462</u> Square feet or <u>0.86</u> acres (impervious surface) <u>390,341</u> Square feet or <u>8.961</u> acres (parcel size) </p> <p>ii. Describe types of new point sources. _____</p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?</p> <p style="margin-left: 20px;">On-site stormwater management structures. (2) infiltration systems and detention facility discharging overflows to NYSDOT catch basin</p> <p>_____</p> <ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ <li style="margin-left: 40px;">N/A • Will stormwater runoff flow to adjacent properties? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 	
<p>iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)</p> <p>_____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)</p> <p>_____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)</p> <p>_____</p>	
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 	

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐ Yes ☒ No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐ Yes ☒ No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐ Yes ☒ No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐ Weekend
☐ Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? ☐ Yes ☐ No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? ☐ Yes ☐ No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐ Yes ☐ No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐ Yes ☐ No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☒ Yes ☐ No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____
275,000 KW hours

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
Local utility (existing)

iii. Will the proposed action require a new, or an upgrade to, an existing substation? ☐ Yes ☒ No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7am- 4pm • Saturday: _____ 7am- 4 pm • Sunday: _____ closed • Holidays: _____ closed 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 6:30 am to 10:00 pm • Saturday: _____ 6:30 am to 10:00 pm • Sunday: _____ closed • Holidays: _____ closed
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<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p>	
<p>n.. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p><u>Lamp post 12 ' height with down lighting</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally describe proposed storage facilities: _____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ 1.00 tons per _____ month (unit of time) • Operation : _____ 1.80 tons per _____ month (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: <u>recycling provided by Contractor</u> • Operation: <u>recycling provided by each Vendor</u> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: <u>Local Carters</u> • Operation: <u>Local Carters</u> 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☒ Commercial ☐ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	3.64 AC +/-	4.50 AC +/-	0.86 AC +/-
• Forested	3.52 AC +/-	2.42 AC +/-	1.10 AC +/-
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: grass/ lawn	1.80 AC +/-	2.04 AC +/-	0.24 AC +/-

<p>c. Is the project site presently used by members of the community for public recreation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>i. If Yes: explain: _____</p>	
<p>d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes,</p> <p>i. Identify Facilities: _____</p> <p>_____</p>	
<p>e. Does the project site contain an existing dam? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Dimensions of the dam and impoundment:</p> <ul style="list-style-type: none"> • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet <p>ii. Dam's existing hazard classification: _____</p> <p>iii. Provide date and summarize results of last inspection: _____</p> <p>_____</p>	
<p>f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Has the facility been formally closed? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <ul style="list-style-type: none"> • If yes, cite sources/documentation: _____ <p>ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____</p> <p>_____</p> <p>iii. Describe any development constraints due to the prior solid waste activities: _____</p> <p>_____</p>	
<p>g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____</p> <p>_____</p>	
<p>h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p><input checked="" type="checkbox"/> Yes – Spills Incidents database</p> <p><input type="checkbox"/> Yes – Environmental Site Remediation database</p> <p><input type="checkbox"/> Neither database</p> </div> <div style="width: 50%;"> <p>Provide DEC ID number(s): 0609076 and 1009676</p> <p>Provide DEC ID number(s): _____</p> </div> </div> <p>ii. If site has been subject of RCRA corrective activities, describe control measures: _____</p> <p style="padding-left: 40px;">Completed</p> <p>_____</p> <p>iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, provide DEC ID number(s): _____</p> <p>iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____</p> <p>_____</p> <p>_____</p>	

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
<ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No • Explain: _____ 													
E.2. Natural Resources On or Near Project Site													
a. What is the average depth to bedrock on the project site? Varies 0'-10' feet													
b. Are there bedrock outcroppings on the project site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? 5 %													
c. Predominant soil type(s) present on project site: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">Urban Land</td> <td style="width: 30%; text-align: right;">34 %</td> </tr> <tr> <td>Udorthents</td> <td style="text-align: right;">56 %</td> </tr> <tr> <td>Charlton, Chatfield Complex</td> <td style="text-align: right;">10 %</td> </tr> </table>		Urban Land	34 %	Udorthents	56 %	Charlton, Chatfield Complex	10 %						
Urban Land	34 %												
Udorthents	56 %												
Charlton, Chatfield Complex	10 %												
d. What is the average depth to the water table on the project site? Average: 10' + feet													
e. Drainage status of project site soils: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;"><input checked="" type="checkbox"/> Well Drained:</td> <td style="width: 70%; text-align: right;">95 % of site</td> </tr> <tr> <td><input type="checkbox"/> Moderately Well Drained:</td> <td style="text-align: right;">_____ % of site</td> </tr> <tr> <td><input checked="" type="checkbox"/> Poorly Drained</td> <td style="text-align: right;">5 % of site</td> </tr> </table>		<input checked="" type="checkbox"/> Well Drained:	95 % of site	<input type="checkbox"/> Moderately Well Drained:	_____ % of site	<input checked="" type="checkbox"/> Poorly Drained	5 % of site						
<input checked="" type="checkbox"/> Well Drained:	95 % of site												
<input type="checkbox"/> Moderately Well Drained:	_____ % of site												
<input checked="" type="checkbox"/> Poorly Drained	5 % of site												
f. Approximate proportion of proposed action site with slopes: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 40%;"><input type="checkbox"/> 0-10%:</td> <td style="width: 60%; text-align: right;">68.60 % of site</td> </tr> <tr> <td><input type="checkbox"/> 10-15%:</td> <td style="text-align: right;">7.0 % of site</td> </tr> <tr> <td><input type="checkbox"/> 15% or greater:</td> <td style="text-align: right;">24.40 % of site</td> </tr> </table>		<input type="checkbox"/> 0-10%:	68.60 % of site	<input type="checkbox"/> 10-15%:	7.0 % of site	<input type="checkbox"/> 15% or greater:	24.40 % of site						
<input type="checkbox"/> 0-10%:	68.60 % of site												
<input type="checkbox"/> 10-15%:	7.0 % of site												
<input type="checkbox"/> 15% or greater:	24.40 % of site												
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe: _____													
h. Surface water features.													
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
ii. Do any wetlands or other waterbodies adjoin the project site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No													
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.													
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No													
iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">• Streams:</td> <td style="width: 50%;">Name unnamed tributary to Muscote Reservoir</td> <td style="width: 40%;">Classification _____</td> </tr> <tr> <td>• Lakes or Ponds:</td> <td>Name _____</td> <td>Classification _____</td> </tr> <tr> <td>• Wetlands:</td> <td>Name Local Wetland</td> <td>Approximate Size 367 sf</td> </tr> <tr> <td>• Wetland No. (if regulated by DEC)</td> <td colspan="2">_____</td> </tr> </table>		• Streams:	Name unnamed tributary to Muscote Reservoir	Classification _____	• Lakes or Ponds:	Name _____	Classification _____	• Wetlands:	Name Local Wetland	Approximate Size 367 sf	• Wetland No. (if regulated by DEC)	_____	
• Streams:	Name unnamed tributary to Muscote Reservoir	Classification _____											
• Lakes or Ponds:	Name _____	Classification _____											
• Wetlands:	Name Local Wetland	Approximate Size 367 sf											
• Wetland No. (if regulated by DEC)	_____												
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____													
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
j. Is the project site in the 100 year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
k. Is the project site in the 500 year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No													
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:													
i. Name of aquifer: _____													

<p>m. Identify the predominant wildlife species that occupy or use the project site:</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>_____</p> <p>N/A</p> <p>_____</p> <p>_____</p>
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <ul style="list-style-type: none"> i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____ 	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <ul style="list-style-type: none"> i. Describe possible resource(s): _____ ii. Basis for identification: _____ 	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <ul style="list-style-type: none"> i. Identify resource: _____ ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ iii. Distance between project and resource: _____ miles. 	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <ul style="list-style-type: none"> i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No 	

F. Additional Information

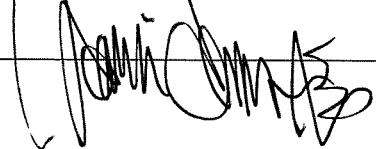
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Sabri Barisier, PE Date 12/29/2014

Signature  Title Partner, Bibbo Asso. LLP

PRINT FORM



STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION
REGION EIGHT
4 BURNETT BOULEVARD
POUGHKEEPSIE, NEW YORK 12603
www.dot.ny.gov

WILLIAM J. GORTON, P.E.
REGIONAL DIRECTOR

JOAN McDONALD
COMMISSIONER

October 27, 2014

Robert Lauria
Lauria Realty Services, Inc.
P.O. Box 372
Goldens Bridge, NY 10526

**RE: Interim U&O Permit # 82419
NYS Routes 22/138 Connector Road
Town of Lewisboro, Westchester County**

Dear Mr. Lauria:

Attached please find a fully conformed copy of the New York State Department of Transportation Permit for the Use of State-Owned Property for the use described therein.

Please note that as a condition of this permit, the filtration system in the parking lot area must have an impermeable vertical cut off wall at the Permittee's property line to protect the slope State right-of-way and the pavement structure from horizontal water migration (Provision # 25). As communicated with you recently, you must also submit a drainage analysis when applying for a required Highway Work Permit to install the storm water filtration and storage system. Contact Permit Engineer Stuart Sprague (914-232-5065) for information on obtaining a Highway Work Permit.

Please feel free to call me at (845) 437-3350 if you have any questions.

Sincerely,

Joseph Roberti
Real Estate Specialist 1

Enclosures

cc: Stuart Sprague, Residency 8-8

**NEW YORK STATE DEPARTMENT OF TRANSPORTATION
REAL ESTATE DIVISION
INTERIM PERMIT FOR USE OF STATE-OWNED PROPERTY**

PIN: S000.00.201		Permit Account No.: 82419	
Property Location: 22 NYS Route 138, Goldens Bridge, NY 10526 (Tax Map # 4-11126-7), south of NYS Routes 22/138 connector ramp.			
Project: Interstate 502, Katonah – Goldens Bridge (Section I-87-2-8)			
Map No.(s) 657, 677R-1	Parcel No.(s) 907, 908, 909, 936 & 938	County: Westchester	
Town: Lewisboro		City/Village:	

THIS PERMIT, made this 3rd day of September, 2014 between:

Stephen Cipes, Individually
c/o Robert Lauria, Lauria Realty Services, Inc.
P.O. Box 372
Goldens Bridge, NY 10526

hereinafter referred to as "Permittee", and the COMMISSIONER OF TRANSPORTATION FOR THE PEOPLE OF THE STATE OF NEW YORK, hereinafter referred to as "the State",

WITNESSETH:

WHEREAS the State is the owner of the above identified property, hereinafter referred to as "property" or as "premises"; and

WHEREAS the Permittee wishes to use and occupy said property;

NOW, THEREFORE, the State hereby grants this permit to the Permittee, subject to the following covenants and conditions:

1. The property covered by this permit shall be used only for the purpose of:

5,294+/- square feet of State-owned right-of-way for the installation and maintenance 15 inch pipelines (the rental area is 10 feet wide centered on the pipe alignments) for a storm water filtration and storage system, two drain manholes and one diversion manhole, and for no other purpose whatsoever.

2. The fee to be charged shall be \$ 3,970.00 per year beginning 9/01/2014.
3. Payment of fee is due on the first of the month unless otherwise stated. Fee must be paid by check, bank cashier's check or money order payable to "Department of Transportation" and mailed or delivered to:

New York State Department of Transportation
Revenue Unit, POD 5-2
50 Wolf Road
Albany, NY 12232

4. The Permittee understands and agrees that if the full amount of the fee as stated herein is not paid within thirty (30) days from the date billed as indicated on the billing invoice, interest penalties and collecting fees will be imposed under the provisions of Chapter 55 of the Laws of 1992.

5. The Permittee understands and agrees that the fee charged by the State may periodically be updated to reflect fair market value and the Permittee will enter into a new permit for the new fee if the Permittee wishes to remain in occupancy. Failure to execute a new permit will require Permittee to immediately vacate the premises.
6. The Permittee acknowledges the State's right to collect a security deposit. This sum will be retained as security to ensure faithful performance of the permit and compliance with all terms by the Permittee. The State hereby acknowledges receipt of \$660.00 received on _____ by _____, Real Estate Specialist.
7. This permit supersedes the permit numbered N/A issued to N/A in the amount of N/A per N/A approved by the Director, Office of Real Estate, on N/A.
8. Permittee, at the Permittee's expense and for the term of the permit, shall furnish and show evidence of General Liability Insurance coverage issued by an insurance carrier licensed to do business in the State of New York for the protection of the State of New York and Permittee against any claims, suits, demands or judgments by reason of bodily injury, including death, and for any claims resulting in property damage occurring on or in proximity to the permit area.

Such General Liability Insurance shall be in the amount no less than **\$2 million** (combined property damage and/or bodily injury, including death) single limit per occurrence, and shall name the **People of the State of New York** as an additional insured.

The Permittee will furnish the State with a certificate of insurance, with a thirty (30) days prior written notice of any cancellation or major change in the policy conditions. The Permit shall be voided if insurance is canceled, modified or lapses.

Approval of this permit shall be contingent upon receipt, by the State, of a copy of a properly executed insurance certificate.

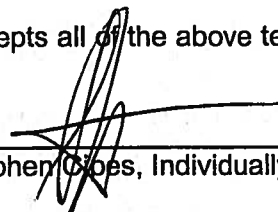
9. Permittee is responsible for any repairs, improvements, or maintenance work of any kind on the property at Permittee's expense. The State may, at any time, periodically inspect the premises to determine whether same is in good repair and maintenance, structurally sound, and that no unsafe, hazardous, unsanitary, or defective conditions exist.
10. Permittee hereby agrees to admit State representatives and prospective purchasers or permittees to examine these premises during reasonable business hours.
11. Permittee shall not place or store, or allow others to place or store, any flammable, explosive, hazardous, toxic or corrosive materials, debris of any description, garbage or any materials commonly referred to as "junk" within the permit area, except fuel kept in the fuel tanks of legally parked vehicles allowed under the terms of this permit. Failure to comply with this provision may result in a ten (10) days written notice of cancellation of the permit in accordance with Provision 16 of this permit. The Permittee is responsible for the removal of these materials and/or all expenses incurred in their removal.
12. All arrangements of services for utilities, removal of garbage, rubbish, litter, snow and ice will be made by the Permittee at the Permittee's expense, unless hereafter specified. The State shall have no responsibility to provide any services not specifically set forth in writing herein. Permittee shall comply with all local and State building standards/codes in the installation or repair of any utilities including but not limited to electricity and plumbing. Permittee is responsible for keeping and maintaining the premises in a safe and clean condition, for the regular and prompt removal of garbage, rubbish, litter, snow and ice. Permittee shall be responsible for preventing damages to the plumbing system and premises caused by lack of heat or water damage from leaks.
13. Permittee is responsible to maintain the occupancy in compliance with any and all applicable local, State, and Federal laws, ordinances, codes, rules and regulations affecting the use of the property. Permittee shall not conduct or allow any use or activity on the premises inconsistent with law and shall not conduct or allow any use or activity on the premises which may require a permit or other approval by a government agency without having lawfully obtained such a permit or approval.
14. The parties acknowledge that this instrument is not a lease but is merely a permit to occupy and use, and therefore a landlord-tenant relationship is not hereby created; and further, that since this is not a lease, Section 5-321 of the General Obligations Law does not apply to this permit to the extent permitted by law.

15. The State shall have no responsibility whatever for the loss or destruction of any improvements made by the Permittee or for personal property stored or being used on the premises.
16. This permit shall be renewed automatically for successive terms of one month each unless cancelled by either party. Cancellation by the state requires thirty (30) days written notice, except for cause, in which event cancellation can be effected on ten (10) days written notice. Permittee may cancel this permit by giving thirty (30) days written notice.
17. Permittee shall not sublet the premises nor assign or transfer the permit to any other parties in part or in whole without the prior written consent of the State. Failure to comply with this provision may result in ten (10) days written notice of cancellation of the permit by the State, and the State may immediately take possession and terminate all rights of the Permittee as of such moment.
18. It is understood and agreed by and between the parties that the Permittee will () will not (X) be entitled to any relocation benefits provided under State and Federal law.
19. Permittee agrees and understands that the State is under no obligation to sell the property to the Permittee and that no commitment, express or implied, is made by the State to give the Permittee any preemptive right of purchase.
20. In accordance with Article 15 of the Executive Law (also known as the Human Rights Law) and all other State and Federal statutory and constitutional non-discrimination provisions, the Permittee will not discriminate against any employee or applicant for employment because of race, creed, color, sex, national origin, age, disability or marital status. Neither shall the Permittee discriminate in the use of this premises or any access thereto if such premises is used as a public accommodation or in connection with a public service.
21. The Permittee for his/her self, and/or the Permittee's personal representatives, successors in interest, and assigns, as a part of the consideration hereof, does hereby covenant and agree as a covenant running with the land, that in the event improvements are made over or under such land and the furnishing of services thereon and/or facilities are constructed, maintained, or otherwise operated on the said property described in Item 1 of this permit for a purpose for which a New York State Transportation program or activity is extended or for another purpose involving the provision of similar services or benefits, the Permittee shall construct such improvements and maintain and operate such facilities and services such that (1) no person on the ground of race, color, or national origin, sex, age, and disability/handicap, shall be excluded from participation in, denied the benefits of, or be otherwise subjected to discrimination in the use of said facilities, (2) that in the construction of any improvements on, over or under such land and the furnishing of services thereon, no person on the grounds of race, color, or national origin, sex, age, and disability/handicap, shall be excluded from participation in, denied the benefits of, or otherwise be subjected to discrimination, (3) that the Permittee shall use the premises in compliance with all other requirements imposed by or pursuant to Title 49, Code of Federal Regulations, Part 21, Nondiscrimination in Federally-assisted programs of the Department of Transportation - Effectuation of Title VI of the Civil Rights Act of 1964; and to Title 23 Code of Federal Regulations, Part 200, Title VI Program and Related Statutes - Implementation and Review Procedures; and further as said Regulations may be amended.
22. Permittee agrees to indemnify and save harmless the State from any claim or loss including legal expenses by reason of the use or misuse of the premises under this permit and/or from any claim or loss by reason of any accident or damage to any person or property being on said premises, caused by Permittee, its employees, agents or invites.
23. If any of the provisions of this permit are held invalid, such invalidity shall not affect or impair other provisions herein which can be given effect without the invalid provisions, and to this end the provisions of this permit are severable.
24. This permit shall not be effective unless accepted and approved in writing by the State.
25. Additional provisions to permit: the filtration system in the parking lot must have an impermeable vertical cut off wall at the Permittee's property line to protect the slope State right-of-way and the pavement structure from horizontal water migration. See Page 5 for additional provisions.

ACCEPTANCE:

In consideration of the granting of the permit, the undersigned accepts all of the above terms, conditions and provisions.

Soc. Sec. No.: 060-34-9687


Signed: 
Stephen Cipes, Individually

Fed. I.D. No.: _____

Prov. of B.C.
~~STATE OF NEW YORK~~)
COUNT OF Canada) SS:

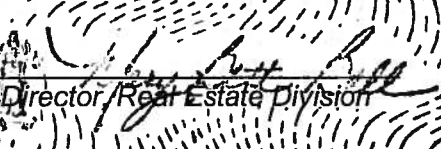
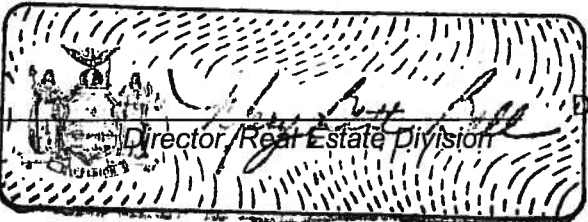
FOR INDIVIDUAL ACKNOWLEDGMENTS

On the 31st day of Sept., in the year 2014, before me, the undersigned, personally appeared Stephen Cipes, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.


(Notary Public)
JAMES A. [illegible]
BARRISTER & SOLICITOR
301-1665 F [illegible] STREET
KELOWNA B.C. V1Y 2B3

Recommended:  Date 9/26/14
Regional Real Estate Officer

Approved: Commissioner of Transportation for the People of the State of New York

By:  Date 10/20/2014

Director/Real Estate Division

RIDER FOR SUBSURFACE INTERIM USE & OCCUPANCY PERMIT # 82419

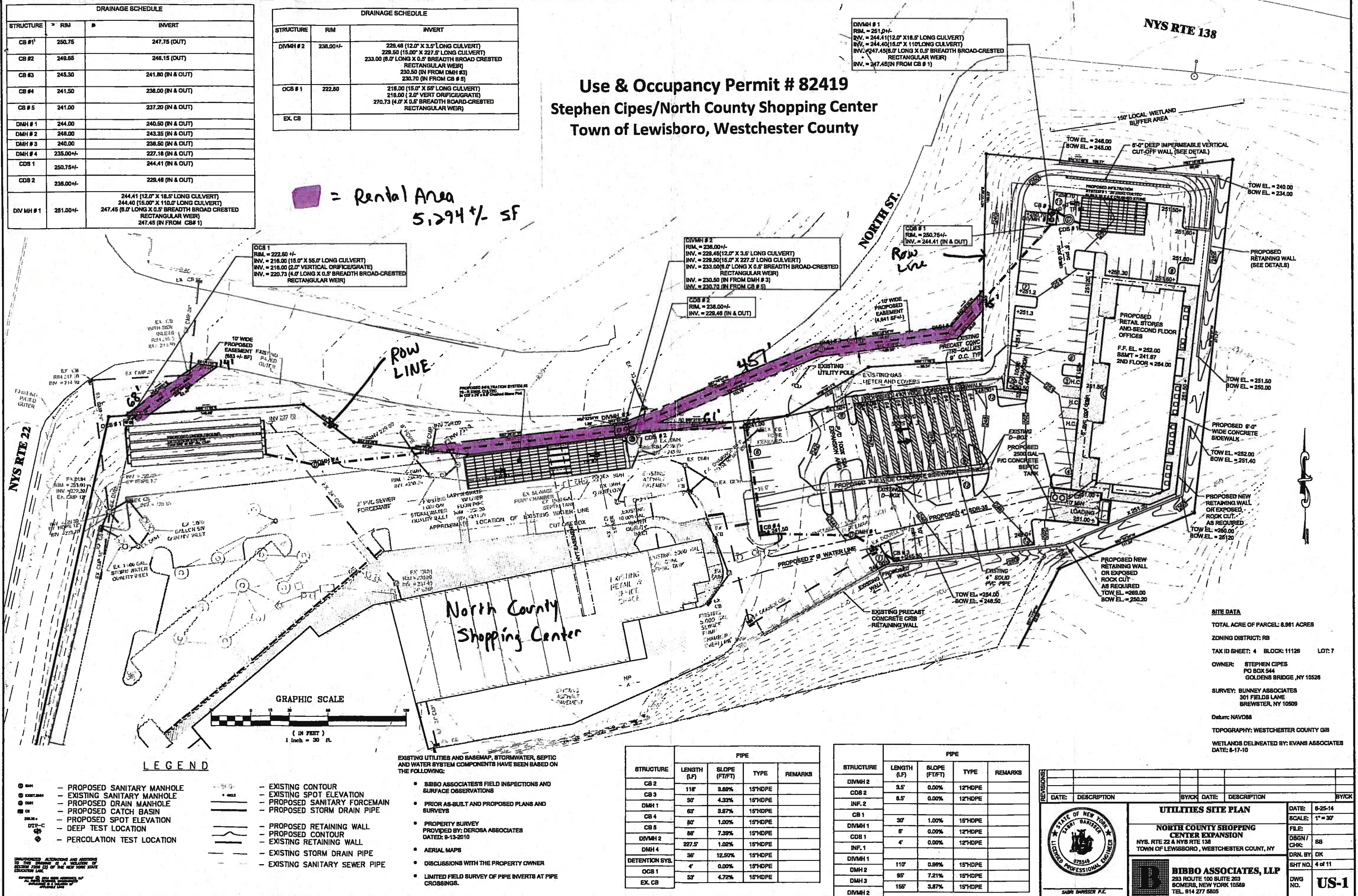
26. After construction and installation of the pipeline by the Permittee and after any maintenance operations conducted by the Permittee, the permit area must be restored to its original condition within thirty (30) days. Should the Permittee fail to restore the site, the Permittee shall reimburse the State for any and all costs incurred by the State for the restoration of the permit area. This restoration also applies for cancellation of the permit by either party.
 27. A Highway Work Permit must be obtained in advance for each entry onto State right-of-way for the purpose of removal, modification, repair, replacement or maintenance of pipeline. The Regional Permit Agent is required to assure such work will be done in a professional manner so as not to present a potential hazard to the traveling public or subject State right-of-way to potential damage. The Permittee is responsible for any fees required in conjunction with the issuance of the permit. This rental permit is subject to immediate revocation if stipulations listed in the Highway Work Permit are not adhered to by the Permittee, its agents, employees, contractors or subcontractors.
 28. All applicable sections of "Rules and Regulations Governing the Accommodation of Utilities Within the State Highway Right-of-Way" as filed with the Secretary of State governing the issuance and operation of the permit agreement, are incorporated herein.
 29. The Permittee, its agents, employees, contractors, or subcontractors assumes all risk in the construction, reconstruction, repair, maintenance (where certain obligations are the responsibility of the Permittee under the terms of this permit) operation and use of the permit area and shall be solely responsible and answerable in damages for any and all accidents and injuries to person(s) or property including death and hereby covenants and agrees to indemnify and hold harmless the State from all claims, suits, actions, damages and costs of every nature and description arising out of or related to the construction, reconstruction, repair, maintenance (where certain maintenance obligations are the responsibility of the Permittee under the terms of this permit), operation and use of the permit area.
- The Permittee agrees, upon being requested to do so, to assume the defense and to defend at its own cost and expense any action brought at any time against the State in connection with any such claims, suits and actions.
30. The State shall not be liable for expenses of any nature which the Permittee may incur for construction, repair, reconstruction or relocation of the pipeline occupying the permit area. Permittee agrees not to seek compensation or payment under State and Federal law for removal and relocation of the pipeline which may become necessary because of construction, maintenance or use of the permit area for highway purposes.
 31. Permittee agrees and understands that no trees, shrubs, landscaping, etc shall be removed and/or disturbed in any manner without prior approval from the Department.
 32. It is understood and agreed by the Permittee that the fee to be charged in paragraph 2 is an estimate and is not based on an approved appraisal. When the fee is established by an approved appraisal, there will be an adjustment, effective to the beginning date of the interim permit, to the permittee's bill, either a credit or debit, depending on the outcome of the approved appraisal. At the time a fee is established, based on an approved appraisal, an updated permit will be issued with the beginning date being the first day of the month after the fee is approved.

DRAINAGE SCHEDULE			
STRUCTURE	RIM	INVERT	
CB #1	250.75	247.75 (OUT)	
CB #2	249.65	248.15 (OUT)	
CB #3	245.30	241.80 (IN & OUT)	
CB #4	241.50	238.00 (IN & OUT)	
CB #5	241.00	237.20 (IN & OUT)	
DMH #1	244.00	240.50 (IN & OUT)	
DMH #2	246.00	243.35 (IN & OUT)	
DMH #3	240.00	238.50 (IN & OUT)	
DMH #4	235.00+/-	227.18 (IN & OUT)	
CDS 1	250.75+/-	244.41 (IN & OUT)	
CDS 2	238.00+/-	228.48 (IN & OUT)	
DIV MH #1	251.00+/-	244.41 (12.0' X 18.5' LONG CULVERT) 244.40 (15.0' X 110.0' LONG CULVERT) 247.45 (6.0' LONG X 0.5' BREADTH BROAD-CRESTED RECTANGULAR WEIR) 247.45 (IN FROM CB #1)	

DRAINAGE SCHEDULE		
STRUCTURE	RIM	INVERT
DIVMH #2	238.00+/-	228.48 (12.0' X 3.5' LONG CULVERT) 228.50 (15.0' X 227.5' LONG CULVERT) 233.00 (6.0' LONG X 0.5' BREADTH BROAD-CRESTED RECTANGULAR WEIR) 230.50 (IN FROM DMH #3) 230.70 (IN FROM CB #5)
OCB #1	222.80	218.00 (15.0' X 55.0' LONG CULVERT) 218.00 (2.0' VERT. ORIFICE/GRATE) 210.73 (4.0' X 0.5' BREADTH BROAD-CRESTED RECTANGULAR WEIR)
EX. CB		

Use & Occupancy Permit # 82419 Stephen Cipes/North County Shopping Center Town of Lewisboro, Westchester County

= Rental Area
5,294 +/- SF



SITE DATA
TOTAL ACRES OF PARCEL: 8.981 ACRES
ZONING DISTRICT: RB
TAX ID SHEET: 4 BLOCK: 11128 LOT: 7
OWNER: STEPHEN CIPES
PO BOX 544
GOLDEN BRIDGE, NY 10526
SURVEY: BUNNEY ASSOCIATES
301 FIELDS LANE
BREWSTER, NY 10509
Datum: NAVD83
TOPOGRAPHY: WESTCHESTER COUNTY GIS
WETLANDS DELINEATED BY: EVANS ASSOCIATES
DATE: 8-17-10

LEGEND

- PROPOSED SANITARY MANHOLE
- EXISTING SANITARY MANHOLE
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED SPOT ELEVATION
- DEEP TEST LOCATION
- PERCOLATION TEST LOCATION
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SANITARY FORCEMAIN
- PROPOSED STORM DRAIN PIPE
- PROPOSED RETAINING WALL
- PROPOSED CONTOUR
- EXISTING RETAINING WALL
- EXISTING STORM DRAIN PIPE
- EXISTING SANITARY SEWER PIPE

- EXISTING UTILITIES AND BASEMAP, STORMWATER, SEPTIC AND WATER SYSTEM COMPONENTS HAVE BEEN BASED ON THE FOLLOWING:
- BIBBO ASSOCIATES'S FIELD INSPECTIONS AND SURFACE OBSERVATIONS
 - PRIOR AS-BUILT AND PROPOSED PLANS AND SURVEYS
 - PROPERTY SURVEY PROVIDED BY: DEROSA ASSOCIATES DATED: 9-13-2010
 - AERIAL MAPS
 - DISCUSSIONS WITH THE PROPERTY OWNER
 - LIMITED FIELD SURVEY OF PIPE INVERTS AT PIPE CROSSINGS.

STRUCTURE	PIPE			
	LENGTH (LF)	SLOPE (FT/FT)	TYPE	REMARKS
CB 2	118'	3.68%	15"HDPE	
CB 3	30'	4.33%	15"HDPE	
DMH 1	65'	3.97%	15"HDPE	
CB 4	80'	1.00%	15"HDPE	
CB 5	88'	7.38%	15"HDPE	
DIVMH 2	227.5'	1.02%	15"HDPE	
DMH 4	36'	12.50%	15"HDPE	
DETENTION SVS.	4'	0.00%	15"HDPE	
OCB 1	53'	4.72%	15"HDPE	
EX. CB				

STRUCTURE	PIPE			
	LENGTH (LF)	SLOPE (FT/FT)	TYPE	REMARKS
DIVMH 2	3.5'	0.00%	12"HDPE	
CDS 2	8.5'	0.00%	12"HDPE	
INF. 2				
CB 1	30'	1.00%	15"HDPE	
DIVMH 1	8'	0.00%	12"HDPE	
CDS 1	4'	0.00%	12"HDPE	
INF. 1				
DIVMH 1	110'	0.98%	15"HDPE	
DMH 2	95'	7.21%	15"HDPE	
DMH 3	155'	3.87%	15"HDPE	
DIVMH 2				

DATE: 8-25-14
SCALE: 1" = 30'

FILE: SB
DGN/CHK: SB
DRN BY: DK
SHT NO. 4 of 11
DWG NO. US-1

UTILITIES SITE PLAN

NORTH COUNTY SHOPPING CENTER EXPANSION

NYS. RTE 22 & NYS RTE 138
TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY

BIBBO ASSOCIATES, LLP
283 ROUTE 100 SUITE 203
SCARSDALE, NEW YORK 10589
TEL. 914 277 5805

DATE: 8-25-14
SCALE: 1" = 30'

FILE: SB
DGN/CHK: SB
DRN BY: DK
SHT NO. 4 of 11
DWG NO. US-1



Robert P. Astorino
County Executive

Sherlita Amler, M.D.
Commissioner of Health

December 13, 2013

Bibbo Associates, L.L.P.
293 Route 202 – Suite 203
Somers, NY 10589
Attn: Timothy Allen, P.E.

Re: Approval for Amended Change of Use
North County Shopping Center
Goddard Day Care Center Building
Routes 22 and 138
Lewisboro (T)
WCDOH File #2013-03-CU
NYCDEP Log # 2000-MU-0196-OT.1

Dear Mr. Allen:

An amended Change of Use at the North County Shopping Center – NYS Routes 22 and 138 is approved for the construction of the Goddard Day Care Center effective this day pursuant to Chapter 873, Article VIII, Section 873.726 of the Laws of Westchester County, and subject to the following conditions:

1. THAT this approval is for a Change of Use to allow for the construction of the Goddard Day Care Center Building as shown on the site plan submitted by your office, dated last revised November 18, 2013. The total wastewater flows associated with the proposed amended Change of Use is estimated to be 1672 gallons per day (gpd), as stated in the Engineer's Report prepared by your office, dated last revised November 19, 2013, and will be added to the existing wastewater flow and will discharge to the existing Onsite Wastewater Treatment System (OWTS) Number 3 on the property, which has a total approved capacity of 2800 gpd.
2. THAT the construction and the occupancy of the Goddard Day Care Center Building shall conform to the attached floor plans submitted by The Goddard School, dated last revised September 5, 2013.
3. THAT all plumbing fixtures installed shall be low flow fixtures.
4. THAT a water meter be installed on the individual water supply line serving the Goddard Day Care Center Building.
5. THAT water meter readings are to be recorded on each day of operation, at the same time of day, and submitted to the Department on a monthly basis until further notice.
6. THAT the water meter readings are maintained by the owner of the property and available for review.



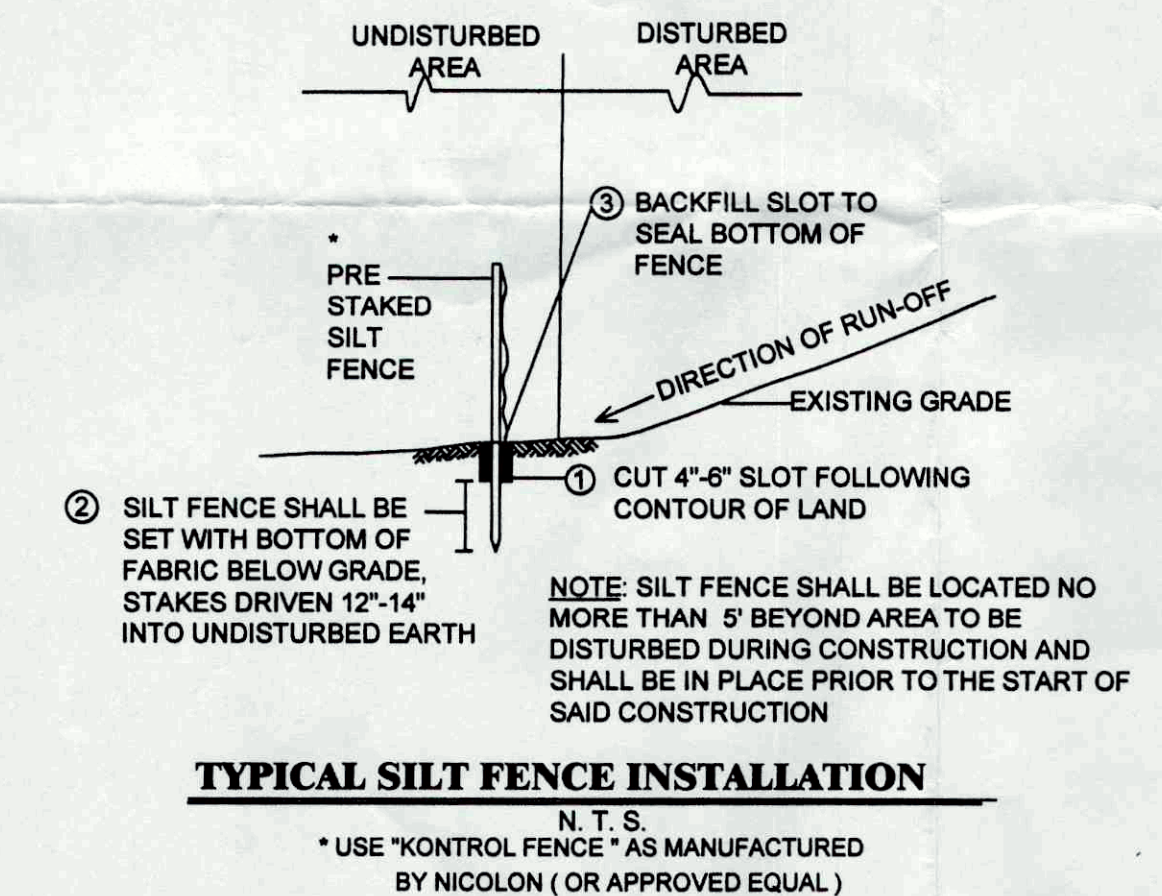
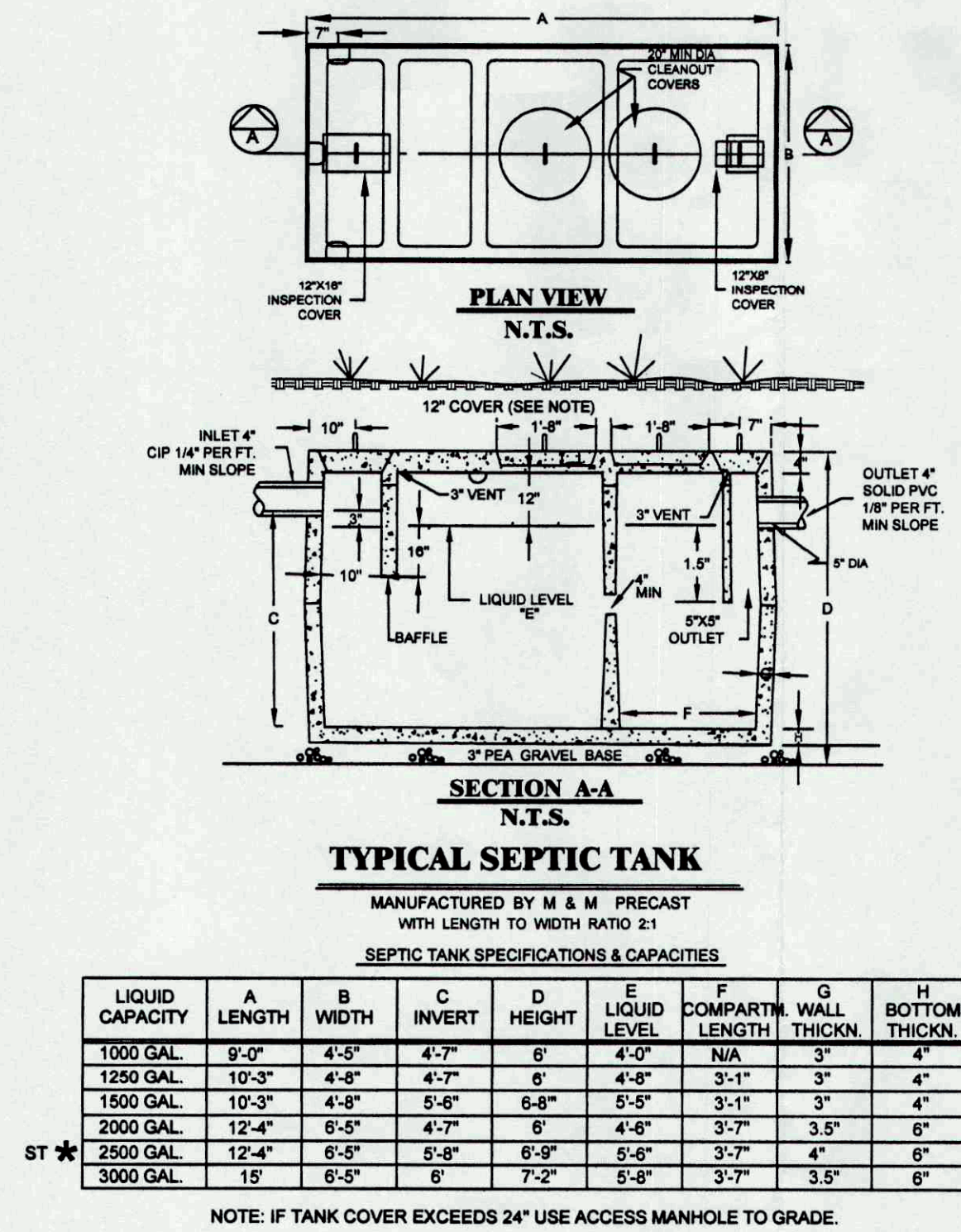
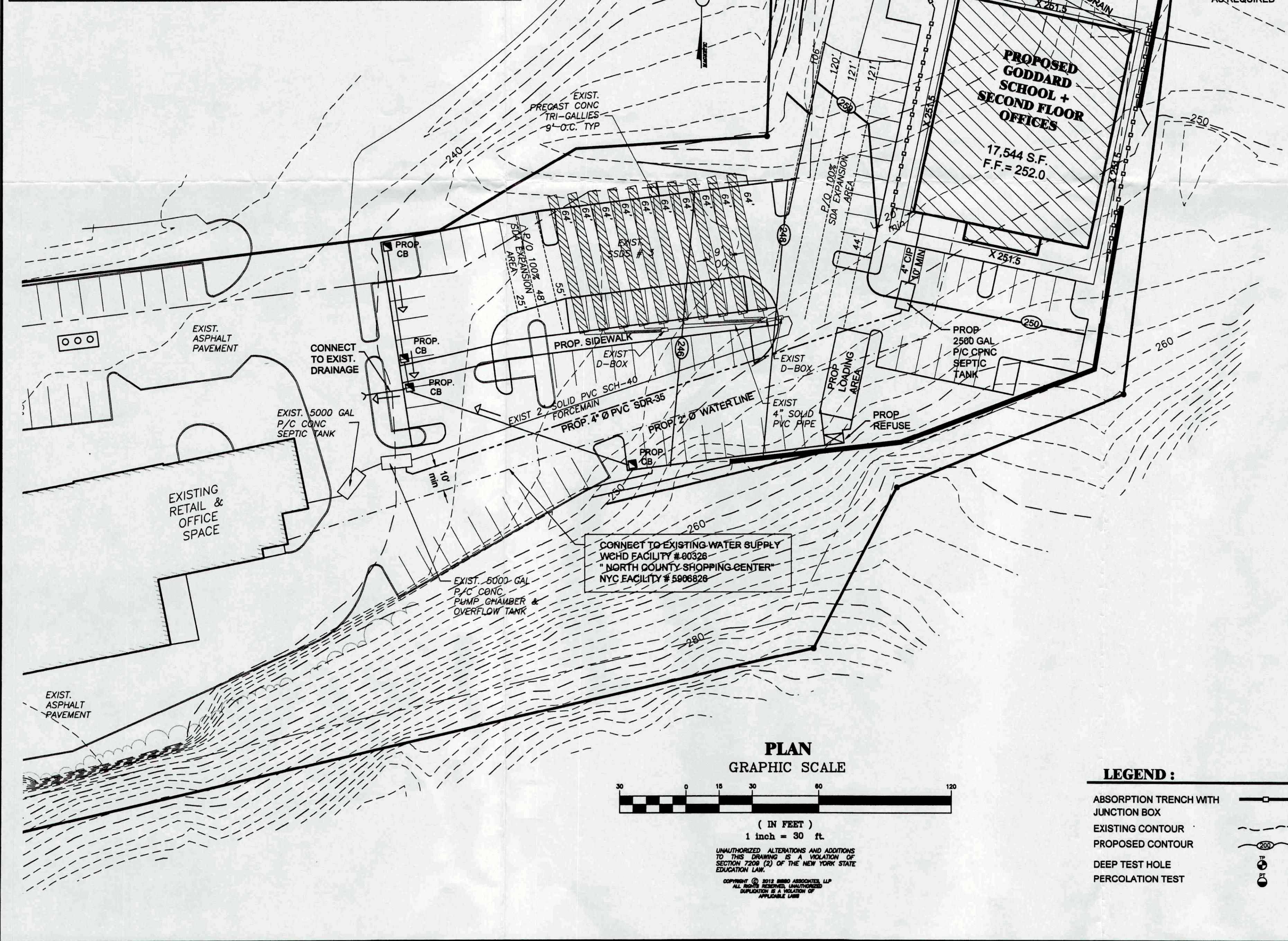
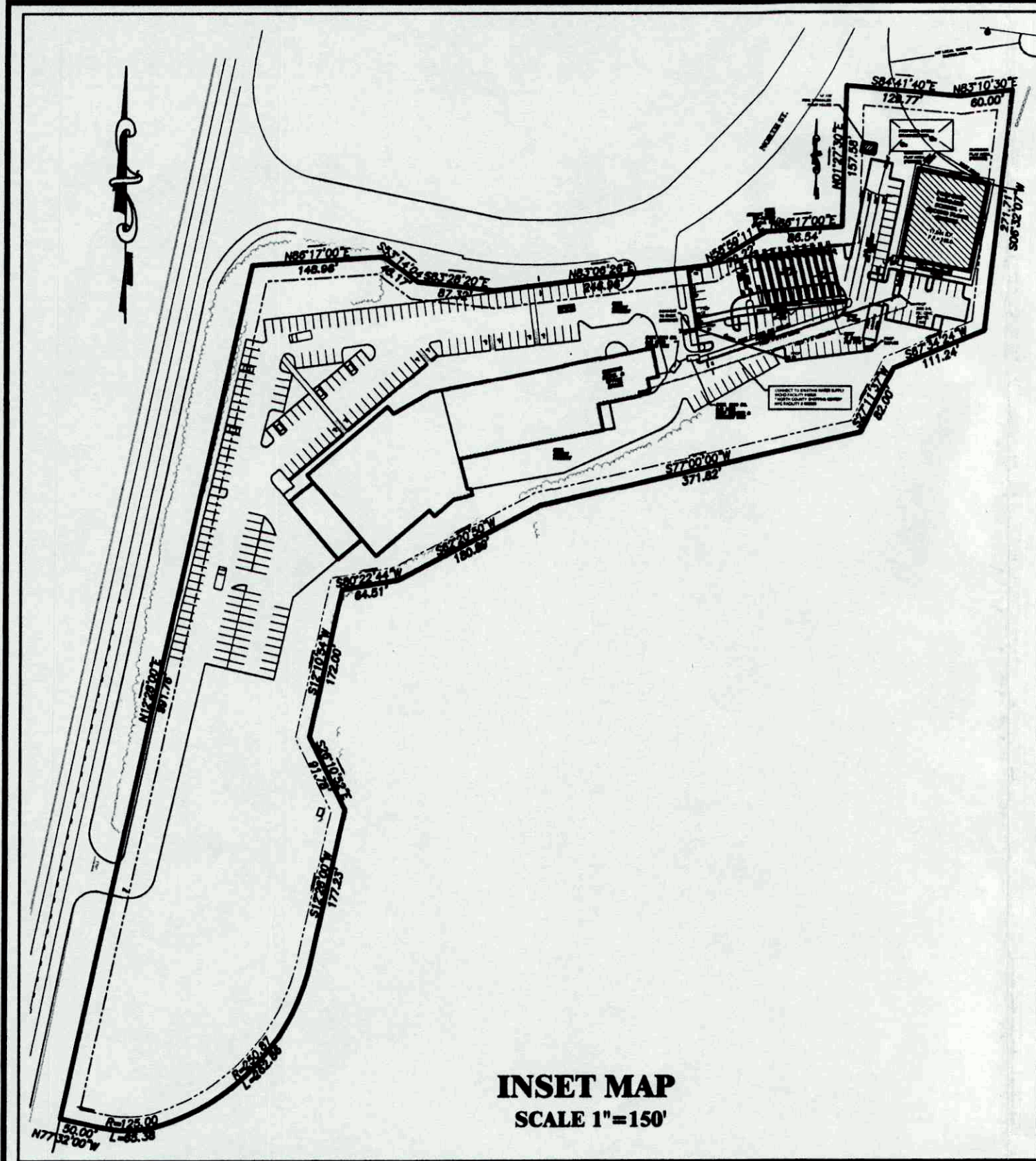
7. THAT the sewage flows to the OWTS Number 3 shall not exceed the capacity of 2800 gpd, pursuant to Chapter 873, Article VII, Section 873.737(A).
8. THAT this approval letter be maintained on file by the applicant.
9. THAT any deviation from the conditions contained herein may constitute a Change of Use and/or may result in a revocation of this approval.

Very truly yours,

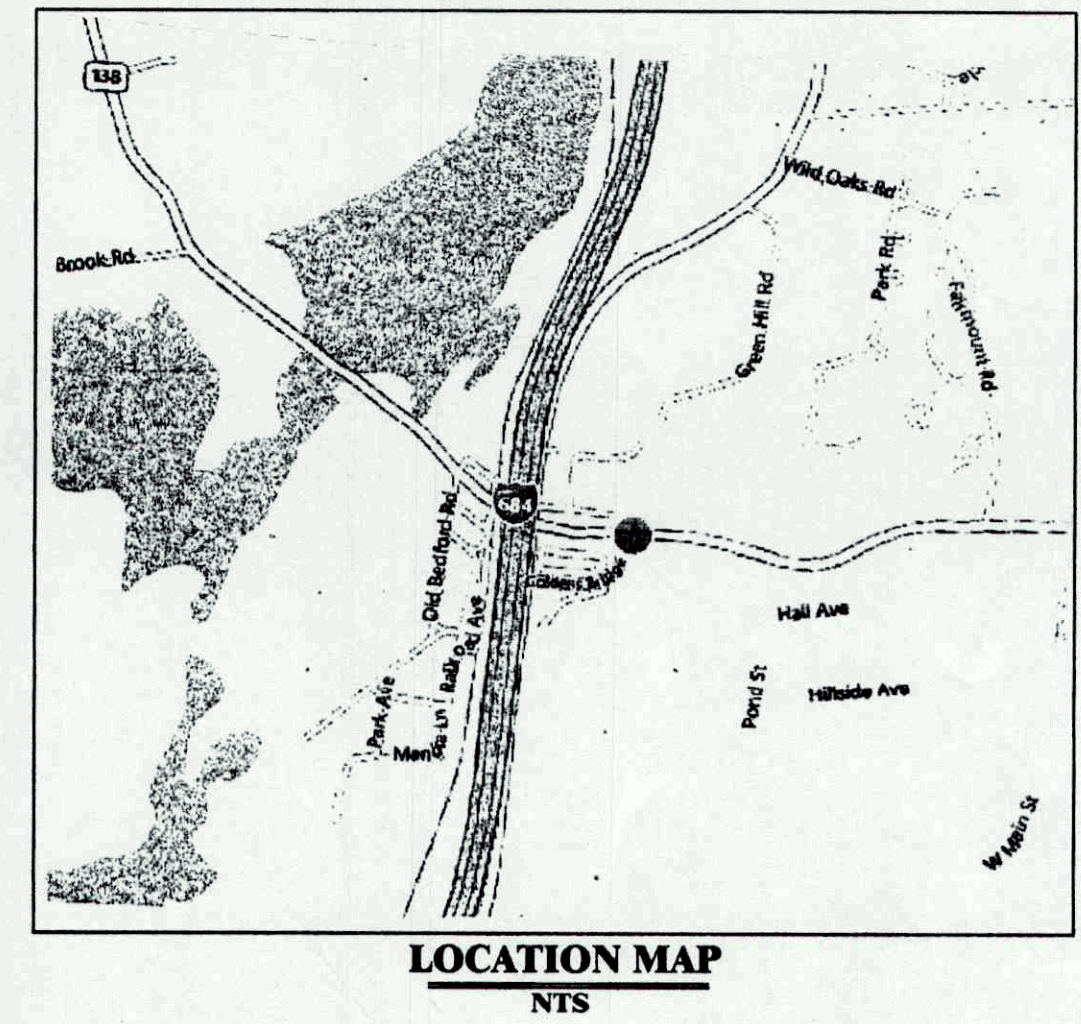
A handwritten signature in black ink, appearing to read 'Paul Kulzy', with a long horizontal line extending to the right.

Paul Kulzy, P.E.
Assistant Commissioner
Bureau of Environmental Quality

Cc: Robert Lauria – owner
Peter Barrett – Building Inspector – Town of Lewisboro
Dan Shedlo, P.E. – NYCDEP
File



TYPICAL SILT FENCE INSTALLATION
N.T.S.
* USE "CONTROL FENCE" AS MANUFACTURED BY NICOLON (OR APPROVED EQUAL)



- NOTES**
1. THERE SHALL BE NO TREES WITHIN 10 FEET OF THE OWTS.
 2. THERE ARE NO WELLS WITHIN 200' OF OWTS UNLESS OTHERWISE SHOWN ON PLAN.
 3. THERE ARE NO OWTS WITHIN 200' OF WELL UNLESS OTHERWISE SHOWN ON PLAN.
 4. THE PROPOSED OWTS AREA SHALL BE ISOLATED AND PROTECTED AGAINST DAMAGE BY EROSION, STORAGE OF EARTH OR MATERIALS DISPLACEMENT, COMPACTION OR OTHER ADVERSE PHYSICAL CHANGE IN THE CHARACTERISTICS OF THE SOIL OR IN THE DRAINAGE OF THE AREA.
 5. IF FOR ANY REASON THE APPROVED CONSTRUCTION PLAN CANNOT BE FOLLOWED A REVISED PLAN MUST BE PREPARED, SUBMITTED, AND APPROVED BY WCDH.
 6. THE DESIGN PROFESSIONAL SHALL SUPERVISE THE CONSTRUCTION OF THE OWTS AND MAKE AN OPEN WORKS INSPECTION.
 7. WITHIN 24-HOURS OF THE COMPLETION OF THE OWTS THE DESIGN PROFESSIONAL MUST NOTIFY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH (WCDH) THAT THE OWTS IS READY FOR INSPECTION BY SUBMITTING A COMPLETED REQUEST FOR AN OPEN WORKS INSPECTION ON THE APPROPRIATE FORM TO WCDH.
 8. NO BACKFILLING OF A COMPLETED OWTS CAN OCCUR UNTIL AFTER IT HAS BEEN INSPECTED AND ACCEPTED BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH.
 9. THE INSTALLATION OF THE OWTS SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE DESIGN AND CONSTRUCTION OF RESIDENTIAL SUBSURFACE SEWAGE TREATMENT SYSTEMS AND DRILLED WELLS IN WESTCHESTER COUNTY, NY.
 10. ALL PIPES CONNECTING TO TANK AND BOXES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF BOX.
 11. THE PROPOSED OWTS SHALL BE INSTALLED BY A WESTCHESTER COUNTY LICENSED SEPTIC CONTRACTOR.
 12. PRIOR TO ANY EXCAVATION ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL 1-800-962-7962.
 13. THE WESTCHESTER COUNTY HEALTH DEPARTMENT APPROVAL EXPIRES ONE YEAR FROM THE DATE ON THE APPROVAL STAMP AND IS REQUIRED TO BE RENEWED ON OR BEFORE THE EXPIRATION DATE. THE APPROVAL IS REVOCABLE FOR CAUSE OR MAY BE AMENDED OR MODIFIED WHEN CONSIDERED NECESSARY BY THE DEPARTMENT.
 14. THERE ARE NO RESERVOIRS, RESERVOIR STEMS OR CONTROLLED LAKE WITHIN 500 FEET OF THE PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN.
 15. THERE ARE NO NYSDAP WETLANDS OR WATERCOURSES WITH 200 FEET OF THE PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN.
 16. NYDEP MUST BE CONTACTED AT LEAST TWO DAYS PRIOR TO START OF CONSTRUCTION OF THE OWTS SO THAT THE NYDEP MAY INSPECT AND MONITOR THE INSTALLATION.


CONTACT INFO:
STEPHEN CIPES
PO BOX 544
GOLDENS BRIDGE, NY 10526


ENGINEERS REPORT:

- CONNECT NEW DAY CARE BUILDING & OFFICE SPACE TO EXISTING SSDS #3
- EXISTING SSDS #3 APPROVED BY WCDH 4/5/1993
- APPROVED CAPACITY OF 2800 GPD
- SPDES PERMIT NY - 0248291
- EXISTING USAGE = 975 GPD
- PROPOSED USAGE: 130 STUDENTS & TEACHERS & 7200 SF OFFICE = 1,672 GPD
- TOTAL NEW = 2,647 GPD < 2,800 GPD

SEC NO: 4 BLOCK NO: 11126 LOT NO: 7

REVISIONS:	11-6-12	WCHD COMMENTS	NT	9-24-13	ADDED OFFICE SPACE
	11-30-12	WCHD & DEP COMMENTS	NT	10-22-13	ADD 100% EXPANSION AREA
	2-26-13	DEP COMMENTS	NT	11-11-13	WCHD COMMENTS
	DATE:	DESCRIPTION	BY/CK	DATE:	DESCRIPTION

	ON SITE WASTEWATER TREATMENT SYSTEM PLAN		DATE:	8-15-12
	GOLDENS BRIDGE DAYCARE & OFFICES		SCALE:	1" = 30'
	NYS. RTE 22 & NYS RTE 138		FILE:	3291
	TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY		DSGN / CHK:	TSR
			DRN. BY:	NT
			SHT NO.	1 OF 1

	BIBBO ASSOCIATES, LLP	SDS
	293 ROUTE 100 SUITE 203 SOMERS, NEW YORK 10589 TEL. 914 277 5805	

BIBBO ASSOCIATES, L.L.P.

Consulting Engineers

Joseph J. Buschynski, P.E.

Timothy S. Allen, P.E.

Sabri Barisser, P.E.

WESTCHESTER COUNTY DEPARTMENT OF HEALTH
Bureau of Environmental Quality

FILE NUMBER: 2013-03-CU

APPROVED for CHANGE OF USE pursuant to Chapter 873
Article VIII of the Laws of Westchester County, subject to
provisions of the approval letter issued this date.

Approved by: _____

12/13/2013
Date

ENGINEER'S REPORT

for

NORTH COUNTY SHOPPING CENTER

Routes 22 & 138, Goldens Bridge
Lewisboro (T)

"Goddard Day Care Center"

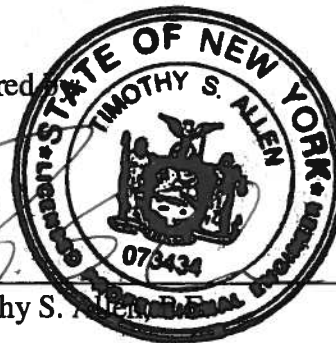
SSDS #3

North System

2,800 GPD

Approved June 3, 1999 by Westchester County Department of Health

Prepared by



Timothy S. Allen

Rev: November 19, 2013

Rev: September 24, 2013

Rev: March 20, 2013

Date: September 28, 2012

Site Design ♦ Environmental

NORTH COUNTY SHOPPING CENTER

"Goddard Day Care Center"

Rts. 22 & 138, Goldens Bridge

Lewisboro (T)

Current Usages:

#1	2 nd Floor Offices	5,812 sq. ft. net @ 0.1 gpd/sq. ft.	= 581 gpd
#2	Post Office	5 employees @ 15 gpd	= 60 gpd
#3	Video Store	2 employees @ 15 gpd	= 30 gpd
#4	"Subway" Sandwich Shop	*	= 224 gpd
#5	Frozen Yogurt Shop	No seats	= 80 gpd
Current Usage Total			= 975 gpd

* See attached Daily Meter Readings for the past 12 months

Proposed New Use

Goddard Day Care Center First Floor	22 teachers @ 15 gpd/person	= 330 gpd
	86 Toddlers; Preschoolers @ 10 gpd/person	= 860 gpd
	36 Toddlers; 6-30 mos @ 5 gpd/person	= 180 gpd
Second Floor	Offices – 7,200 sq. ft. @ 0.1 gpd/sq.ft.	= 720 gpd
Sub-total		= 2,090 gpd
Proposed space fitted with water saving fixtures 20% reduction		- 418 gpd
Proposed Use - Total w/water saving fixtures		= 1,672 gpd

975 Current Use
+ 1,672 Proposed Use "Q"
2,647 New Projected Daily Flow

2,647 gpd < 2,800 gpd

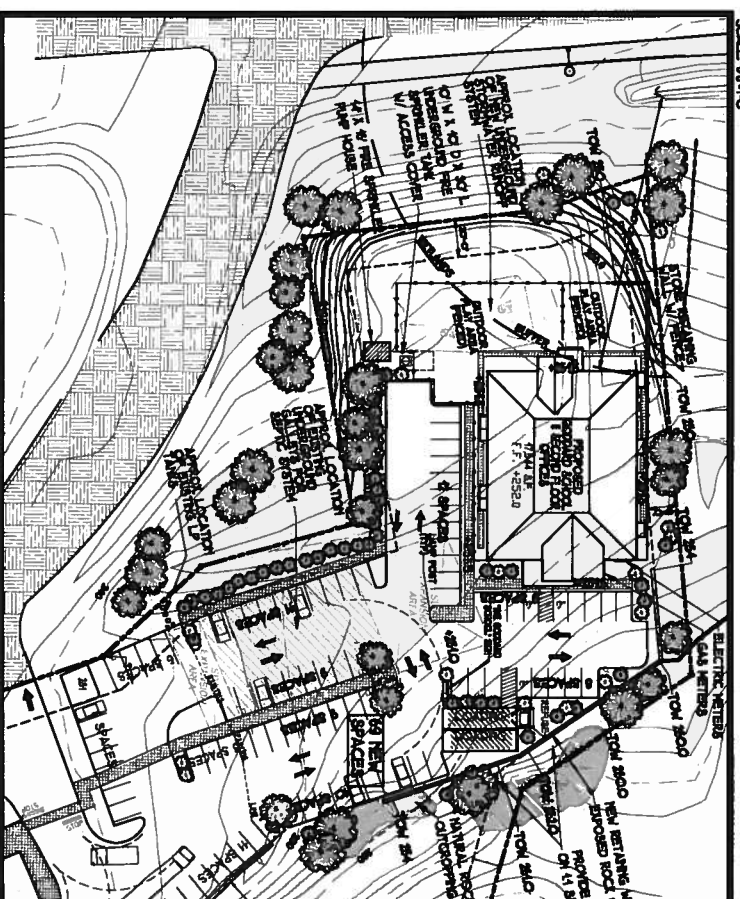
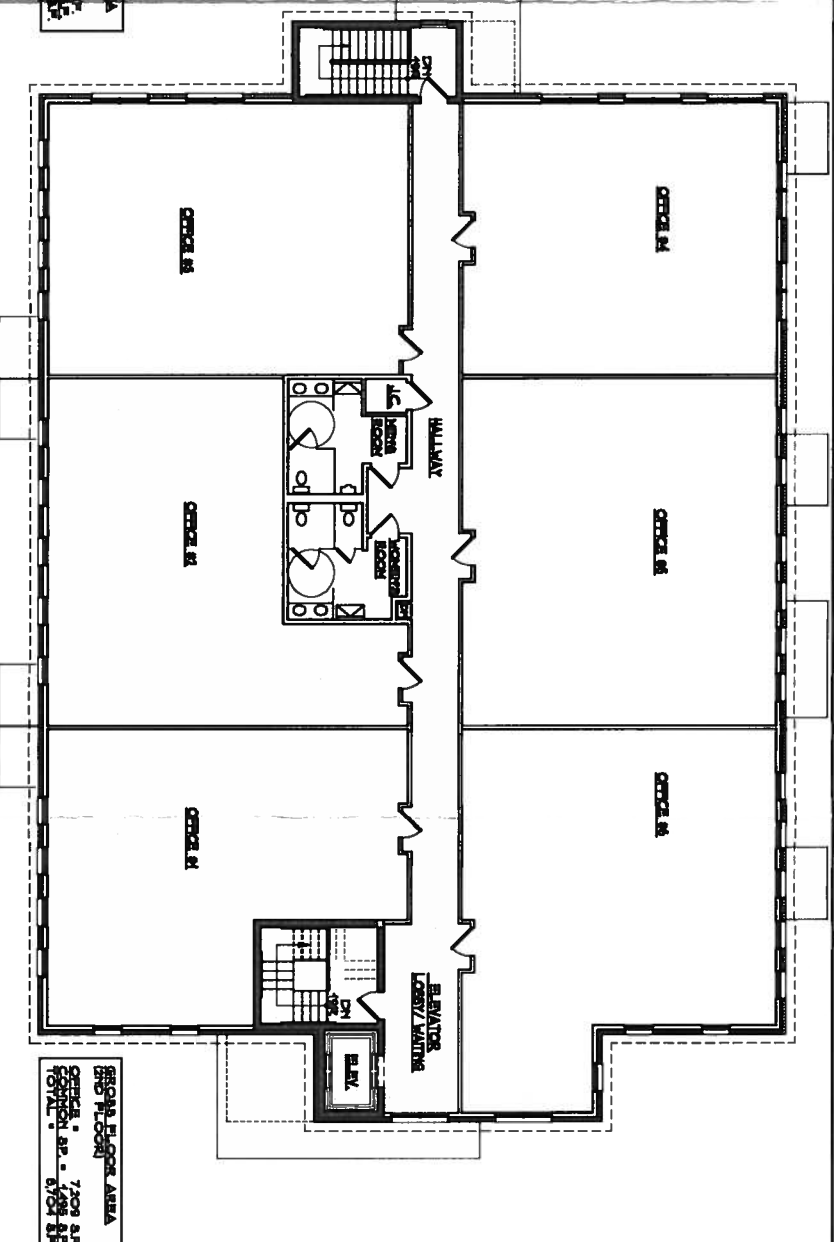
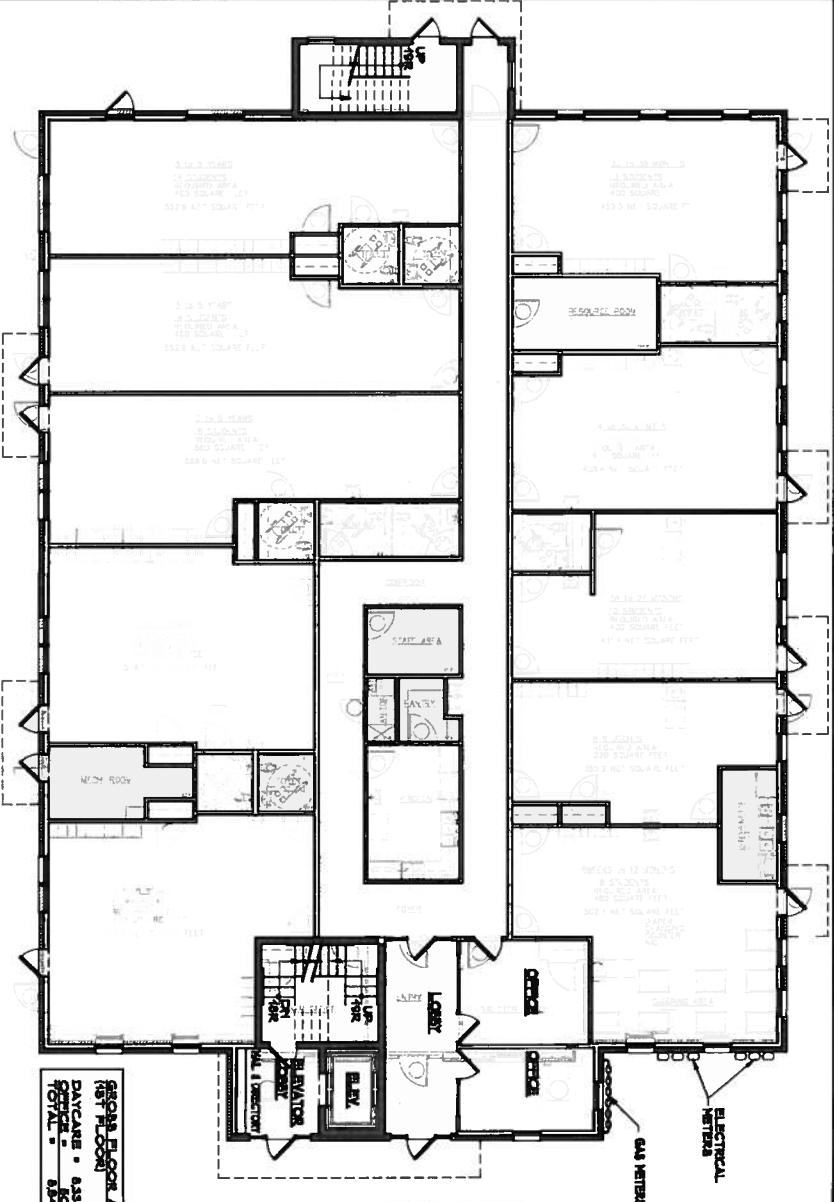
Future Capacity:

2,800 – 2,647 = 153 gpd

Proposed New Septic Tank

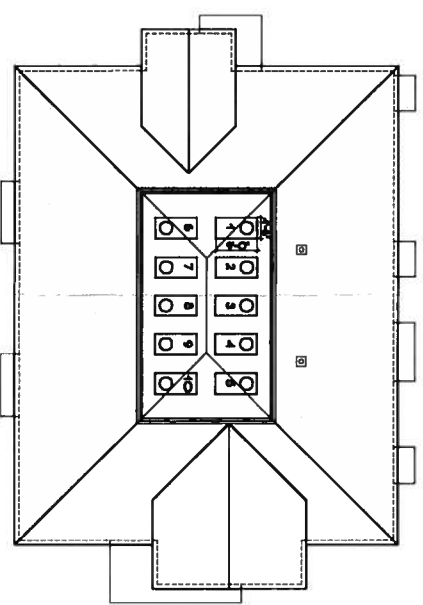
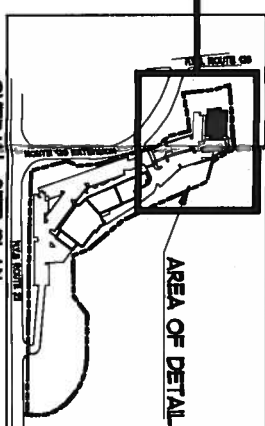
(1.5) (Q) = 2,508 gallons


Use 2,500 gallon septic tank



PARKING		PARKING PROVIDED	PARKING REQUIRED
PROPOSED PARKING SPACES	TOT. S.F. / APPROX. S.F.		
DRIVEWAYS	1686 NORTH SQ	50 SPACES	
STREET	4200 S.W. 25TH AVE	27 SPACES	10 SPACES PMT. INC. PARKING
OFFICE	3000 S.W.	2 SPACES	
BASEMENT STORAGE			
PROPOSED LOADING DOCKS			
S.F. OF BUILDING	47,644 S.F.	2 SPACES	2 OTHER NORTH END
PROPOSED UNLOADING DOCKS			
S.F. OF BUILDING	47,644 S.F.	2 SPACES	2 SPACES

FLOOR AREA SUMMARY			
INTN COMMON AREAS/ROOMS	FIRST FLOOR	2ND FLOOR	TOTAL
DANCEHALL	638 S.Q.F.	0 S.Q.F.	638 S.Q.F.
OFFICE REHTALD	0 S.Q.F.	7209 S.Q.F.	7209 S.Q.F.
OFFICE (COMMON/REAR)	503 S.Q.F.	1465 S.Q.F.	1968 S.Q.F.
TOTAL *	840 S.Q.F.	8204 S.Q.F.	9044 S.Q.F.



ISSUE DATES	NEW BRIDGE BRIDGEWAY & CENTRAL BUILDING JOBS GOLDEN'S BRIDGE VILLAGE CENTRE C/O THE BRIDGEWAY OF LONDON, N.Y.		
	THE PROJECT IS BEING RUN BY		
	PAID FOR BY PLAN ROOM PLANS & SPEC. PLAN	SCALE AS SHOWN	
		 THE HELMS GROUP, LLP ARCHITECTS • INTERIORS 1000 WEST 14TH STREET SUITE 200 NEW YORK, NY 10011 TEL: 212 333-4655 FAX: 212 644-2606 EMAIL: info@thehelmsgroup.com	
		CHECKED BY: P.M.	DRAWN BY: T.M.
		DRAWING NO.:	
05/05/05		1 of 2	



Evans Associates
Environmental Consulting, Incorporated

WETLANDS DELINEATION REPORT

DATE: August 24, 2010

PROPERTY: Proposed Village Centre Daycare and Office Building
National Realty Property on Route 22 and Route 138
Town of Lewisboro (Goldens Bridge), Westchester County, New York



INTRODUCTION

Wetlands on the above-captioned property were field delineated in accordance with Chapter 217 of the Code of the Town of Lewisboro and the technical criteria in the 1987 Army Corps of Engineers (ACOE) Wetland Delineation Manual (TR-Y-87-1). The field delineation was conducted on August 17, 2010 by a field biologist and a soil scientist of Evans Associates Environmental Consulting, Inc. The property is located on the Route 138 Extension with frontage on the south side of Route 138 and the east side of Route 22. The subject property (the site) is the undeveloped northeast portion of the Golden's Bridge Village Centre that contains a shopping center with a supermarket, post office, retail stores a restaurant along with associated paved parking lots. The site consists of wooded areas, grassed areas and gravel parking areas.

One wetland was identified on the site, consisting of a small section of a perennial stream that is located in the northeast corner of the site, along Route 138. A short section of the watercourse flows onto the site from the east before entering a large culvert. The wetland/upland boundary of the on-site portion of the wetland was flagged with sequentially-numbered, orange ribbon flagging depicting the words "Wetland Boundary." The flags were numbered A-1 through A-4. The perimeter of the site was also investigated for the potential presence of off site wetlands whose wetland buffer may extend onto the site. No additional off site wetlands or watercourses were identified within 150 feet of the site other than the stream that flows into the on site portion of Wetland A. The regulatory jurisdictions of the wetland are described below. The vegetation, soils, and hydrology of the wetland, and the vegetation and soils of the adjacent uplands are also described below.

205 Amity Road
Bethany, CT 06524
Tel: 203.393.0690
Fax: 203.393.0196

e-mail evans.associates@eace-inc.com

REGULATORY JURISDICTIONS

Town of Lewisboro Wetland Regulations The Town of Lewisboro regulates wetlands based on the presence of hydrophytic vegetation, hydric soils, and wetland hydrology as defined in Chapter 217 of the Code of the Town of Lewisboro. In addition to regulating wetlands, the Town also regulates 150-foot buffers around wetlands. The wetland on the property is regulated by the Town.

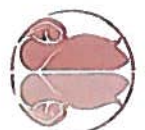
New York State Department of Environmental Conservation Wetland Regulations The New York State Department of Environmental Conservation (DEC) regulates wetlands in accordance with the New York State Freshwater Wetlands Act (Article 24 of the New York State Environmental Conservation Law). The DEC regulates wetlands that are 12.4 acres in size or greater, primarily based on vegetation, that are shown on, or are connected to wetlands shown on, the DEC Freshwater Wetland maps. In addition to regulating wetlands, the DEC also regulates 100-foot adjacent areas around the wetlands. Based on review of the most recent NYS DEC Freshwater Wetlands Maps there are no DEC wetlands on, or adjacent to, the site. Therefore the on-site wetland is not regulated by the DEC.

Federal Wetland Regulations (Army Corps of Engineers) The United States ACOE is the federal agency that regulates wetlands under the Clean Water Act. The ACOE regulates wetlands based on the presence of hydrophytic vegetation, hydric soils, and wetland hydrology as defined in the 1987 ACOE Wetland Delineation Manual (TR-Y-87-1). The ACOE regulates wetlands that are associated with hydrologic features that are connected to interstate waters (e.g., wetlands connected to streams that ultimately drain to the Hudson River). There is no adjacent area or wetland buffer regulated under federal jurisdiction. The watercourse within the wetland drains off site to the west, through a culvert, eventually reaching the Croton River. Therefore, the wetland is regulated by the ACOE.

New York City Watershed Regulations (NYC Department of Environmental Protection) Within the New York City Watershed, the New York City Department of Environmental Protection (DEP) regulates certain activities that occur within 100 feet of DEC-regulated wetlands and perennial watercourses and within 50 feet of intermittent watercourses. The site is within the New York City Watershed as part of the Croton River East Basin. The property is therefore subject to DEP regulations.

VEGETATION

The watercourse was sparsely vegetated with some skunk cabbage (*Symplocarpus foetidus*) along the stream banks. Other vegetation adjacent to the stream includes green ash (*Fraxinus pennsylvanica*), and sycamore (*Platanus occidentalis*) trees and saplings,



multiflora rose (*Rosa multiflora*) shrubs, poison ivy (*Toxicodendron radicans*), and Asiatic bittersweet (*Celastrus orbiculata*) vines, along with jewelweed (*Impatiens capensis*).

Vegetation in the wooded uplands includes black locust (*Robinia pseudoacacia*), black cherry (*Prunus serotina*), tree-of-heaven (*Ailanthus altissima*), box-elder (*Acer negundo*), black birch (*Betula lenta*), pin oak (*Quercus palustris*), gray birch (*Betula populifolia*), and cottonwood (*Populus deltoides*) trees and saplings, Japanese barberry (*Berberis thunbergii*), and multiflora rose shrubs, poison ivy, and Asiatic bittersweet vines, along with garlic mustard (*Alliaria petiolata*), Japanese stilt-grass (*Microstegium vimineum*), and mugwort (*Artemisia vulgaris*).

SOILS

The watercourse within the wetland had a gravelly, rocky bottom. Other wetland soils along the edge of the watercourse may include Leicester and Sun loams. Leicester and Sun loams are formed in glacial till and can be found in concave areas between ridges, along drainageways, and in depressions. Leicester loam is poorly drained and Sun loam is poorly drained to very poorly drained. Wetland soils that have been altered in the past may also be present, and are called Udorthents, wet substratum. Leicester, and Sun loams and Udorthents, wet substratum have aquic moisture regimes and are listed on hydric soils lists.

Soils in the uplands include mainly Urban land, and Udorthents, smoothed. Udorthents, smoothed soils are soils that have been developed and/or otherwise altered, including by cutting and filling. Charlton, Chatfield, and Hollis loams, along with rock outcrops, occur along the southern periphery of the property. Charlton, Chatfield, and Hollis loams are well drained to excessively drained and are found on hilltops and hillsides in areas of glacial till. Charlton is very deep, Chatfield is moderately deep, and Hollis is shallow to bedrock. These soils are often complexed with each other and with rock outcroppings.

HYDROLOGY




The wetland is primarily sustained by the interception of the underlying, seasonally-high groundwater table. Runoff from upgradient areas, including roadways (Route 138), also contributes to the hydrology of the wetland. Evidence of wetland hydrology includes flowing water and saturated soils.



MEMORANDUM

TO: Chairman Jerome Kerner, AIA and
Members of the Lewisboro Planning Board

CC: Lisa Pisera
Judson Siebert, Esq.

FROM: Jan K. Johannessen, AICP 
Joseph M. Cermele, P.E., CFM 
David J. Sessions, RLA, AICP 
Town Consulting Professionals

DATE: January 21, 2015

RE: North County Shopping Center Expansion
Routes 22 & 138, Goldens Bridge
Sheet 4, Block 11126, Lot 7

Project Description

The subject property consists of ± 8.96 acres and fronts on NYS Route 22, NYS Route 138, and the NYS Route 138 Extension (aka North Street). The subject property is located within the Town's Retail Business (RB) Zoning District, within the hamlet of Goldens Bridge, and is currently developed with a shopping center, including an A&P Supermarket, U.S. Post Office, a Bank of America, Dunkin' Donuts, Subway, a restaurant, liquor store and other retail and service businesses. The shopping center property has access off of North Street and NYS Route 22, contains parking for ± 218 vehicles and contains septic systems, drainage features, lighting, landscaping and other site improvements.

The applicant is proposing the construction of a 2-story building ($\pm 16,844$ s.f.) to be located in the northeast portion of the property, in proximity to the NYS Route 138 and North Street intersection. The building is proposed to be occupied by a 2-story (6,889 s.f.) day care center, with the remaining first floor area to be occupied by retail uses and the remainder of the second floor by offices. The applicant is also proposing additional parking (± 80 spaces), lighting, an outdoor play area and other site amenities. The new building is proposed to be served by the existing septic and water system.

SEQRA

The proposed action is an Unlisted Action under the State Environmental Quality Review Act (SEQRA) and a coordinated review is not required. Prior to making a decision on this pending application, the Planning Board must issue a Determination of Significance.

Required Approvals/Referrals

1. Site Development Plan Approval, a Wetland Permit and a Town Stormwater Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.
2. Area variances appear to be required from the Zoning Board of Appeals.
3. The application must be referred to the Architecture and Community Appearance Review Council (ACARC) for review and recommendations; all signage must be approved by the ACARC.
4. The applicant has obtained a Change of Use Permit from the Westchester County Department of Health (WCDH) to connect the proposed building to the existing septic system.
5. The Stormwater Pollution Prevention Plan (SWPPP) must be reviewed and approved by the New York City Department of Environmental Conservation (NYCDEP).
6. The applicant has obtained a Use and Occupancy Permit from the New York State Department of Transportation (NYSDOT) for the use of the State right-of-way for drainage improvements.
7. A Highway Work Permit is required from the NYSDOT for physical improvements proposed within the right-of-way.
8. The proposed action exceeds land disturbance thresholds and the applicant will require coverage under the New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-10-001).
9. The proposed day care facility requires approval from the NYS Department of Licensure.

Chairman Jerome Kerner, AIA

January 21, 2015

Page 3

10. The application must be referred to the Westchester County Planning Board in accordance with Section 239-m of the General Municipal Law; the Planning Board Secretary will coordinate this referral.

Part 1 EAF Comments:

- A.0: A more thorough project description should be provided.
- B.0: The required Stormwater Permit should be identified under "Planning Board"; ACARC approval is required and should be identified as such under "other local agencies"; if deemed necessary, Zoning Board variances shall be identified under "Zoning Board of Appeals"; the Westchester County Planning Board 239-m referral should be identified under "County Agencies"; the NYSDOT Use and Occupancy and Highway Work Permit should be identified under "State agencies."
- C.2.a: The subject property is included within the Town's Master Plan; the applicant should answer this question "yes" and should provide an answer for the follow-up question.
- C.2.b: The applicant should mark "yes" and identify the NYC East of Hudson Watershed.
- C.3.b: The proposed use is a permitted use; the applicant should mark "yes".
- C.4.a: Please revise the answer to read "Katonah Lewisboro School District".
- C.4.c: Please revise the answer to read "Goldens Bridge Fire Department".
- D.1.a: Provide a list of proposed uses (child day care, retail, office).
- D.2.b.v: The applicant should answer this question.
- D.2.c.iii: Identify a supply source (second bullet under D.2.c.iii).
- D.2.d.v: The applicant should answer this question.
- D.2.e.i: The area of proposed impervious cover appears to differ from the added site development coverage as identified on the site plan; please revised or identify reason for the difference.

D.2.p: How will the building be heated? Please confirm bulk storage of fuel will be <1,100 gallons.

E.1.h: Provide additional information pertaining to the spills and NYSDEC closure reports.

E.3.e/f: Please provide mapping available from the State Historic Preservation Office (SHPO) website.

Parts 2 and 3 EAF Review: Pending receipt

Comments

1. As parking standards differ between uses, the applicant should identify the type of office use proposed (i.e., professional office or medical office).
2. It is recommended that the Building Inspector review the proposed plans for zoning compliance; a report from the Building Inspector should be provided to the Planning Board.
3. As many of the retaining walls are proposed within the required zoning setback area, compliance with Section 220-12E of the Zoning Code is required. The proposed walls appear to exceed the maximum height requirement (in certain locations) and, in the case of the wall proposed along the northerly property line, requirements pertaining to maximum wall length and setback from the street line. As currently designed, it appears that one (1) or more variances would be required from the Zoning Board.
4. According to the applicant, the shopping center has a current parking deficiency of 67 spaces and will have a deficiency of 61 spaces following the implementation of the proposed action. While the proposed action reduces the deficiency by six (6) spaces, Section 220-54 of the Zoning Code states that required parking for existing uses must be provided at the time of any enlargement of existing uses or the further development of the property. It is our opinion that unless the Planning Board approves the joint use of parking spaces in accordance with Section 220-55B, a variance for the resulting 61 parking space deficiency would be required.
5. The expansion of the shopping center presents an opportunity to analyze and perhaps improve traffic and pedestrian circulation within the existing portion of the shopping center, including landscaping, hardscaping, and facade improvements. It is recommended that the Planning Board and applicant take this opportunity and work to make improvements to portions of the existing shopping center to enhance both its appearance and functionality.

6. We note that the Town has been working towards pedestrian improvements and connections within the hamlet of Goldens Bridge. Recently, the Town Board amended its Master Plan to include a “Complete Streets” addendum and held a community workshop led by a transportation consultant and representatives of the New York Metropolitan Council, Westchester County, and the NYSDOT. Discussions included pedestrian improvements and connections between the shopping center and the MTA parking lot, sidewalks along North Street, improvements at the NYS Route 138 and North Street intersection, improvements along NYS Route 138, and pedestrian connections to the train station. It is recommended that the applicant coordinate its plans with any of the Town’s plans and goals for the immediate area.
7. The site plan identifies a $\pm 80' \times 25'$ outdoor play area with a note stating “if required”. While it has been our experience that the State generally requires day care centers to have an outdoor play area, if the play area becomes discretionary, the benefits of retaining the outdoor play area may outweigh the additional parking proposed in its place (four (4) parking spaces).
8. All site-related improvements should be coordinated and illustrated on the engineered site plans, which will be the plans approved by the Planning Board; any permanent information shown on the site plan provided by the Project Architect should be provided on the engineered site plan, including the zoning and parking tables (for Phase I only). The engineered site plan set should include an existing conditions plan of the entire property.
9. The following comments pertain to zoning tables provided on the Project Architect’s plan (Sheet 1 of 4):
 - The “Proposed Phase I” column should compare Town zoning requirements to the proposed building; while we understand that rationale, please include proposed dimensions or areas associated with the proposed building as oppose to identifying “no change”.
 - The existing floor area (s.f.) associated with the Existing - Maximum FAR, does not match the area provided on the floor plans or the area provided under the “Existing - Total Building Floor Area” column; please revise or identify why these figures are different. Similarly, the “Proposed Phase I - Maximum FAR” does not match the “Proposed Phase I - Total Building Floor Area” figure.

- Regarding the parking calculation, please identify the number of seats provided within the existing restaurant to ensure that the gross floor area calculation results in a large number of required spaces.
 - Regarding the parking calculation, we note that the existing Dunkin' Donuts and Subway are considered "limited service carry-out restaurants with less than 10 seats"; not "retail" as identified on the plan. This will have little consequence, as both uses have the same parking calculation, but the revision should be made nonetheless.
 - The area of disturbance identified at the bottom of the table differs from the disturbance area identified on the site plan.
 - Regarding the area of wetland buffer disturbance proposed, change the word "boundary" to "buffer".
10. The existing tenants within the shopping center should be identified within each demised space shown on the site plan (i.e., A&P, Dunkin' Donuts, Subway, etc.).
 11. The applicant should prepare a photometric lighting plan, designed to demonstrate conformance with Section 220-14 of the Zoning Code. The lighting plan shall identify illuminance levels as expressed in footcandles and measured in a grid pattern every 10 feet. All existing and proposed light fixtures shall be identified and detailed on the plan, along with proposed foundations.
 12. A landscaping plan, prepared by a NYS Licensed Landscape Architect, shall be prepared and shall demonstrate compliance with Sections 220-15 and 220-55E of the Zoning Code; it is recommended that a landscape plan be prepared for the entire site.
 13. Significant retaining walls or rock cut are proposed on the north, east and south side of the proposed building. The height of the walls vary ($\pm 1'$ to 19' tall), as does their visibility; however, certain segments of the walls will be visible from within the shopping center and from NYS Route 138. The appearance of these walls should be identified and discussed with the Planning Board.
 14. Landscaping, hardscaping and internal traffic and pedestrian improvements, circulation and control will be reviewed at a later date and as the project progresses. Details of those improvements will be required.

15. The applicant has identified that it has retained a traffic consultant to prepare a traffic analysis for the project. The applicant's traffic consultant shall contact this office to discuss the scope of the study. It is also recommended that the traffic consultant analyze the existing and proposed traffic circulation patterns within the subject property.
16. The applicant must quantify the area of disturbance and area of impervious coverage proposed within the Town's 150-foot wetland buffer. A wetland mitigation plan, prepared in conformance with Appendix B-Part II of the Wetland Ordinance, must be submitted for review. We note that the Wetland Ordinance strives for a 1:1 mitigation ratio and a no-net-loss of wetlands and buffers.
17. The wetland delineation report must be revised to include the items required, per Section 217-7A(6) of the Wetland Ordinance.
18. All on-site trees with a diameter of ≥ 8 " dbh must be survey-located and illustrated on the site plan. The plan should identify the diameter and specie type of each tree and whether the tree is to be protected or removed.
19. It is recommended that the plans be referred to the Goldens Bridge Fire Department for review and comment.
20. The applicant should provide correspondence from the NYS Department of Licensure identifying that the building and site layout, including the outdoor recreation area, meets their criteria for approval.
21. The SWPPP requires approval by the NYCDEP; the applicant should identify its status with the NYCDEP, extent of their review and provide any correspondence it has with the NYCDEP to the Planning Board. This office will reserve detailed review of the SWPPP until the NYCDEP has provided comment and the plan progresses.
22. As a condition of the NYSDOT Use & Occupancy Permit, the applicant is required to submit a drainage analysis for the stormwater management system for their review. The applicant should update the Board as to the status of their review and provide any correspondence it has with the NYSDOT.

23. Please identify how the proposed building will be heated and whether additional fuel sources are required; the site plan shall be revised to include connections to proposed or existing services.
24. The applicant has received a Change of Use Permit from the WCDH. As this approval was obtained in December of 2013 and was based on a similar, but different, site plan, building design and floor plan configuration, the WCDH Change of Use Permit should be updated.
25. A fence should be shown around the perimeter of the outdoor play area and detailed on the plan.
26. It is recommended that the detail of the proposed refuse enclosure be revised to specify an 8-foot tall fence.
27. Building signage must be detailed on the plan to demonstrate compliance with Chapter 185 of the Town Code; traffic related and handicap signs shall also be specified and detailed.
28. The applicant has prepared a SWPPP in accordance with the New York State Stormwater Management Design Manual (NYS SMDM), June 2010, for coverage under NYSDEC General Permit GP-0-10-001. It is noted that this Permit expires January 28, 2015 and GP-0-15-002 will be effective as of January 29, 2015. The SMDM has been revised as well (dated January 2015). Modifications to the documents include storm sizing criteria and inspection requirements, as well as updated forms and applications. All references to the Permit included on DWG ES-1, Erosion Control Notes, should be updated to reflect the new Permit. Given the timing of this submission, the applicant should update the SWPPP to demonstrate compliance with the new Permit.
29. The applicant has proposed an impermeable vertical barrier downgrade of Infiltration System #1 at the request of the NYSDOT to protect adjacent State-owned property from stormwater migration. The applicant should confirm whether similar protection is required at Infiltration System #2. Details of the barrier installation should be included on the plans.
30. The plan proposes walls with heights of up to 19 feet. The limits and details of any required railings and/or fences should be included on the plans.

31. The plan notes that the wall to the south of the building may be an exposed rock cut. The plan should include specifications should this alternative become necessary. Additionally, the plan should indicate rock removal methods proposed.
32. There are two (2) retaining wall details with differing reinforcing requirements. This shall be clarified.
33. The plan shall demonstrate that all required separation distances between the proposed stormwater system and septic system have been met to the satisfaction of the WCDH.
34. The SWPPP includes soil test data performed in 2013 and witnessed by the NYCDEP. Additional deep and soil percolation testing should be performed by the applicant to be witnessed by this office.
35. Given the separation of work areas associated with Infiltration System #2 and the detention system from the construction of the building, additional construction entrances and staging areas should be shown on the Erosion Control Plan (EC-1). Any required access or staging along North Street should be identified.
36. The construction sequence notes should be expanded to describe timing of the installation of each of the infiltration and detention systems, pre-treatment systems and their connections to the main collection system.
37. Infiltration System #2 includes the installation of equalization pipes spanning a "NYT Easement" area. The permitted use of this area, as proposed, shall be verified for the Board.
38. The pipe inverts at DMH #4 shall be verified and revised, as necessary, on the plan and profile. The proposed inverts appear to conflict with an existing 24" CMP pipe.
39. The layout of Diversion Manholes #1 and #2 and Outlet Control Structure #1 shall be coordinated between the plan and details.
40. The plan should include details for water and sewer service installations.
41. Retaining wall drainage discharge points should be indicated on the plan.
42. Details for the swale along the retaining wall should be provided.

43. The parking stall dimensions on the Utilities Site Plan (US-1) shall be verified. It appears that the applicant is proposing shorter stalls than required by Town Code with 2 feet bumper overhangs at all locations. Adequate clearances for safe pedestrian access in all walkway areas shall be verified. As proposed, the walk in front of the building and through the proposed parking lot appears limited.
44. The Town's standard signature blocks for the owner/applicant, Planning Board Chairman, Planning Board Secretary, and Town Engineer shall be provided on all sheets.
45. The submitted survey shall be signed and sealed.
46. It is recommended that the applicant contact this office to schedule a technical meeting.
47. It is recommended that the Planning Board conduct a site walk.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

Plans Reviewed, prepared by Bibbo Associates, LLP and dated December 22, 2014:

- Aerial Plan (AP-1)
- Existing Conditions Plan (E-1)
- Layout Plan (LA-1)
- Utilities Site Plan (US-1)
- Erosion Control Plan (EC-1)
- Erosion Control Notes (ES-1)
- Erosion Control Details (ED-1)
- Drainage Profiles (P-1)
- Site Details (SD-1)
- Drainage Details (DD-1 and DD-2)

Plans Reviewed, prepared by The Helmes Group, LLP and dated December 22, 2014:

- Proposed Site Plan, Zoning & Code Review & Parking Calculations (1 of 4)
- Existing Site Plan, Zoning Code Review & Existing Parking Calculations (2 of 4)
- Proposed Floor Plans & Floor Area Tabulations (3 of 4)
- Proposed Exterior Elevations (4 of 4)

Chairman Jerome Kerner, AIA
January 21, 2015
Page 11

Documents Reviewed:

- Letter from Bibbo Associates, LLP, dated December 30, 2014
- Letter from The Helmes Group, LLP, dated December 30, 2014
- Wetlands Delineation Report, prepared by Evans Associates and dated August 24, 2010
- NYSDOT Interim Permit, dated October 27, 2014
- Westchester County Department of Health, dated December 13, 2013
- Stormwater Permit Application
- Wetland Permit Application
- Full Environmental Assessment Form, dated December 29, 2014
- Stormwater Permit Application, dated December 16, 2014
- *Stormwater Pollution Prevention Plan*, dated December 16, 2014
- Survey of Property, prepared by Bunney Associates and dated September 13, 2010

JKJ/JMC/DJS/dc

TO: Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: Goldens Bridge Village Centre,
NYS Route 22, Goldens Bridge, NY
Sheet 4, Block 11126, Lot 7
Cal #8-14P, Can # 95-14WP, Cal #20-14SW

DATE: January 13, 2015

The Conservation Advisory Council (CAC) has reviewed the applicant's set of plans and accompanying documents putting forth a plan for a proposed new two story mixed use building and other expansion.

As we reviewed the proposed plans, we noticed that new and existing sidewalks did not connect to the new and existing buildings. The failure to provide connecting sidewalks to the new and existing structures is clearly a pedestrian safety issue. The CAC would like to see this potential issue resolved by the applicant committing to add connecting sidewalks where applicable.

Along these same lines, the CAC would also like to see and recommends that the applicant attempt to adopt and comply with the Town's Complete Streets plan. The CAC recommends that consideration be given to the installation of pedestrian and bike paths through and around the premises. Additionally, consideration should be given to the creation of pedestrian access to Route 138 since there is a likely possibility that nearby residents and commuters utilizing the Metro North Rail System across the road from the premises will also utilize the services provided in the proposed and existing structures on the premises.

Lastly, with an increase in business comes an increase in vehicular traffic, the applicant should also give consideration to how this increase can best be handled in order to avoid potential accidents.

**J2 BONIELLO
BUILDERS**

CAL# 39-14WP

BIBBO ASSOCIATES, L.L.P.

Consulting Engineers

Joseph J. Buschynski, P.E.

Timothy S. Allen, P.E.

Sabri Barisser, P.E.

January 5, 2015

Lewisboro Planning Board
20 North Salem Road
P.O. Box 725
Cross River, NY 10518

FILE

RECEIVED
JAN 09 2015

BY: *JP*

Attn: Jerome Kerner, AIA, Chairman

Re: J-2 Boniello Builders
Wetland Application
2 Bouton Road

Dear Members of the Board:

On behalf of our client please find attached the following in support of the above referenced project:

- 10 – Prints – Plan Set (rev. 12/30/2014)
- 10 – Prints – Mitigation Plan (dated 12/24/2014) prepared by Evans Associates.
- 10 – Copies – Response Letter (dated 12/29/2014) from Evans Associates
- 3 – Copies – Stormwater Pollution Prevention Plan (SWPPP)
(rev. December 30, 2014)

Our office has revised the plans pursuant to the December 10, 2014 memorandum prepared by Kellard Sessions Consulting, PC. We offer the following responses for the Board's consideration:

Plan Comments:

1. Comment noted.
2. Comment noted.
3. A wetland mitigation plan prepared by Evans Associates has been included herewith.

Site Design ♦ Environmental

4. We have reviewed the permitting requirements of the NYCDEP and NYSDEC and do not find this project requires any further permits from these agencies other than those of which have already been mentioned in the SWPPP.
5. We have computed the volume of earthwork associated with the proposed work within the boundaries of the FEMA 100-year Flood Zone A, associated with the Waccabuc River. The proposed earthwork would result in a loss of 4,536 ft³ +/- of Flood Storage Capacity. However, the construction of the Pocket Wetland would result in an additional storage capacity of 6,794 ft³ +/- above the normal water level. FEMA defines compensatory storage as storage provided to offset any loss of flood storage capacity from new development from obstructing the flow of water and increasing flood heights. Based on our volume calculations we have meet the compensatory storage requirements.
6. In the response letter submitted as noted above, Evans Associates has addressed the concerns outlined in the NYSDEC letter dated September 18, 2014.
7. Planting Plans for the bio-retention and the pocket wetland have been prepared as part of the Mitigation Plan prepared by Evan Associates.
8. We have reviewed alternative locations for the relocation of the proposed driveway to preserve trees between Bouton Road and the current driveway location. We feel that relocating the driveway and associated swale would not result in any trees being preserved. Additionally, relocating the driveway closer to the banks of the Waccabuc River would cause the turning radius of the driveway as it approaches the existing bridge to become a concern as it would become smaller and more difficult to maneuver.
9. Trees to remain within and adjacent to the limits of disturbance have been shown with tree protection and a detail has been added to the plan.
10. A velocity dissipation structure has been added at the terminus of the existing Stormwater outfall adjacent to Bouton Road to all for sediment deposition before entering the proposed vegetated swale.
11. The electrical service connection has been noted to be underground and the associated limits of disturbance has been revised.
12. We have proposed a Neenah Foundry catch basin trap #R-3700 to be install on catch basin #5 as additional pretreatment prior to discharging into the pocket wetland.

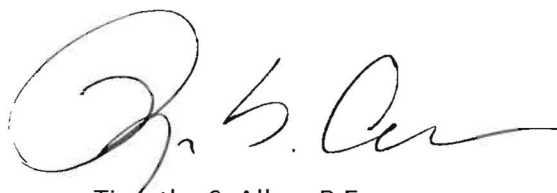
13. As stated in the Kellard Sessions Consulting, P.C. memo infiltration is not a proposed stormwater practice for this project. The pocket wetland requires a normal water level below the primary outlet elevation. Based on numerous test holes performed on this property throughout the years, groundwater is anticipated at 3 ½ - 4 feet below the surface in the area of the proposed pocket wetland. The bio-retention practice requires a minimum separation to ground water of 2'. Based on soil testing in the area of this practice the groundwater elevation anticipated is greater than 2' below the bottom elevation of 435.0. We therefore certify that the Stormwater practices proposed meet the intended goals and no further testing is required.
14. Based on 13 above, a pond liner would certainly not be warranted given the existing conditions.
15. A construction sequence has been added to the SWPPP and the Erosion Control Plan.
16. Other than replacement of the guide rails, there are no further bridge improvements proposed or warranted.
17. We have been in contact with the Highway Superintendent. We have proposed a 20' long paved driveway apron.
18. The NYSDEC Notice of Intent (NOI) has been revised as follows:
 - Page 4, Question 12: has been marked "yes."
 - Page 4, Question 13: This question has been answered.
 - Page 14: The owner/operator has signed the NOI.
19. The temporary soil stockpile has been moved away from the proposed well.
20. Construction fencing has been shown on the plans to cordon off the proposed septic area during construction, the construction sequence includes installation of the construction fencing.
21. The detail sheet has been revised to only detail one (1) type of roof drain cleanout.
22. We do not believe that the location of the inlet pipe in regard to the outlet structure of the bio-retention filter will cause hydraulic short-circuiting. The bio-retention filter has been sized to retain the 1-year (WQv) storm. Since there is no outflow from this

practice aside from exfiltration through the filter media until greater storms occur short circuiting will not occur.

23. The detail for the bio-retention filter has been revised to refer to table H.2 of the NYSSDM for filter media. The exfiltration rate modeled has been revised.
24. References to a pre-treatment septic tank have been removed from the Long-Term Maintenance and Inspection Requirements Section of the SWPPP.
25. The exfiltration has been changed to read as filtration through the bio-retention media to account for the time it takes for the runoff to pass through the media and into the pipe system prior to flowing into the pocket wetland.
26. A catch basin had been added at station 2+85 to collect runoff between catch basin #5 and the bridge. Outfall from this catch basin will be a short culvert to a rip-rap pad.
27. Swale sizing calculations have been provided in Appendix E of the SWPPP.
28. The Maintenance and Access Agreement has been revised.

We respectfully request this matter be placed on your next agenda for further consideration.

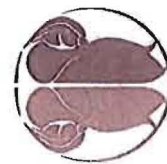
Very Truly Yours,

A handwritten signature in black ink, appearing to read "T. S. Allen", with a large, stylized initial "T" and a long, sweeping underline.

Timothy S. Allen, P.E.

TSA/rh
Enclosures

cc: G. Boniello
Evan Associates



RECEIVED
JAN 08 2015

BY: *[Signature]*

Evans Associates
Environmental Consulting, Incorporated

December 29, 2014

Jerome Kerner, Chairman
Lewisboro Planning Board
20 Cross River Shopping Center at Orchard Square
Suite L (Lower Level)
Cross River, NY 10518

FILE



**RE: J2 Boniello Builders
2 Bouton Road
Sheet 26 Block 10803 Lot 18
Wetland Permit Application**

Dear Chairman Kerner and Members of the Planning Board:

We have been working with Bibbo Associates to prepare a Wetland Mitigation Plan for the proposed residence at 2 Bouton Road, and have been asked to respond to several of the review comments in the most recent (December 10, 2014) memo from Kellard Sessions Consulting, P.C. We offer the following for your consideration:

Comment 3. Our office has prepared a Mitigation Plan, dated December 24, 2014 for the proposed site. In accordance with Appendix B – Part II of the Wetland Ordinance, Mitigation Plan Guidelines, the mitigation plan has two parts, and is intended to offset the proposed disturbance of 52,467 square feet (1.2 acres) within the 150' wetland buffer.

First, in the portion of the wetland buffer closest to the proposed house (to the west of the river and wetland), we are proposing to remove the invasive species which have overgrown the native species and replace them with a variety of native shrubs and understory trees which will enhance and restore the habitat value of the wooded buffer. This restoration area covers 15,448 square feet (0.35 acres), and does not include the two stormwater management areas or any of the improvements (gravel drive) associated with the proposed house.

The second component of the mitigation plan is a proposed Conservation Easement to be placed over the undisturbed portions of the wetland and wetland buffer in the eastern portion of the lot. These two areas comprise a total of 55,724 square feet, or 1.28 acres, and include all of the most sensitive wetland and riverine habitat on the site. Taken together,

205 Amity Road
Bethany, CT 06524
Tel: 203.393.0690
Fax: 203.393.0196

these two mitigation measures will restore or permanently protect 71,172 square feet (1.63 acres) of the 4.1 acre parcel, for a mitigation ratio well in excess of the minimum ratio of 1:1 referred to in the comment.

Comment 6. The September 18, 2014 response letter from the New York Natural Heritage Program identified two species of Conservation Concern which had been found in the nearby Ward pond Ridge Reservation, the Kentucky Warbler (*Geothlypis formosa*) and the Mocha Emerald dragonfly (*Somatochlora linearis*). Both of these species are considered imperiled in New York State, although they are not listed as Threatened or Endangered. The Kentucky Warbler is a southern species that is at the northern extent of its range in southern New York. The species prefers rich, moist deciduous forests and woods near streams, particularly if the woods have a dense hardwood understory (shrub layer). Being a ground-nester, this species also requires well-developed ground cover in order to avoid nest predation. Because of this key requirement, potential nesting habitat may be seriously degraded in areas with a high density of white tailed deer.

The Mocha Emerald dragonfly is typically found in woodland edges and fields near shallow forested streams. Like the Kentucky Warbler, this species is also more common in the southern states, and may be near the northern extent of its range at this time. There is potential habitat for both of these species on the subject property, but that habitat is proposed to be protected by the Conservation Easement.

Comment 7. Planting plans have been prepared for the bio-retention basin and the pocket wetland, and are included on the Mitigation Plan. However, in accordance with the Mitigation Plan Guidelines, the areas of these stormwater facilities have not been included in the mitigation area totals referred to above.

We look forward to your review of the proposed Mitigation Plan at your January meeting. If you have any questions regarding the submitted materials, please feel free to contact us at (203) 393-0690.

Sincerely,

EVANS ASSOCIATES ENVIRONMENTAL CONSULTING, INC.



Beth Evans, PWS



MEMORANDUM

TO: Chairman Jerome Kerner, AIA and
Members of the Lewisboro Planning Board

CC: Lisa Pisera
Judson Siebert, Esq.

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM
David J. Sessions, RLA, AICP
Town Consulting Professionals

DATE: January 21, 2015

RE: J2 - Boniello Builders
Wetland and Stormwater Permit Applications
2 Bouton Road
Sheet 26, Block 10803, Lot 18

Project Description

The applicant is proposing the construction of a four (4) bedroom residence, gravel driveway, septic system, potable water well, grading and stormwater improvements on a ± 4.1 acre parcel located on Bouton Road and within the R-4A Zoning District. The Waccabuc River traverses the subject property and the majority of the proposed improvements are located within the Town's 150-foot regulated wetland buffer; an existing concrete bridge crosses the river and provides access to the property.

The Waccabuc River is a New York State Department of Environmental Conservation (NYSDEC) Class A(T) watercourse and flows through the Ward Pound Ridge Reservation and into the Cross River Reservoir; the floodplain associated with the Waccabuc River is regulated as a 100-year FEMA floodplain.

Chairman Jerome Kerner, AIA

January 21, 2015

Page 2

SEQRA

The proposed action is a Type II Action and is categorically exempt from the State Environmental Quality Review Act (SEQRA).

Required Approvals

1. A Wetland Activity Permit and Town Stormwater Permit is required from the Planning Board.
2. A public hearing is required to be held on the Wetland Activity Permit.
3. The subject property is located within the Special Character Overlay Zone and the construction of the proposed residence requires approval from the Architecture and Community Appearance Review Council (ACARC).
4. A Floodplain Development Permit will be required from the Town Building Inspector in accordance with Chapter 126, Flood Damage Prevention, of the Town Code.
5. The proposed septic system and potable water well have been approved by the Westchester County Department of Health (WCDH) and the New York City Department on Environmental Protection (NYCDEP).
6. Disturbance to the bed or banks of the Waccabuc River will require a Protection of Waters Permit from the New York State Department of Environmental Conservation (NYSDEC).
7. Access onto Bouton Road requires a driveway opening permit from the Town of Lewisboro Highway Superintendent.
8. Proposed land disturbance will exceed one (1) acre; the applicant will be required to obtain coverage under the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-10-001).

Comments

1. The applicant has prepared a wetland mitigation plan in compliance with Appendix B-Part II of the Wetland Ordinance. The mitigation plan involves a) the removal of invasive plant species from within a portion of the wetland buffer located between the wetland boundary line

and the proposed driveway, b) the restoration of this area with native plant material and c) a conservation easement over the wetland proper and lands located between Bouton Road and the Waccabuc River. While this office finds the proposed wetland mitigation plan acceptable, we note that the proposed conservation area consist of regulated wetlands and/or lands which are already restricted from development as per notes provided on the Eickelbeck Subdivision Plat; therefore, development within the proposed conservation easement area is already controlled and unlikely to occur. Consideration should be given to expanding the proposed conservation easement area to include the wetland buffer restoration area.

2. The wetland mitigation plan should be revised to include notes pertaining to the methodology, sequencing and timing of invasive species removal.
3. It is recommended that the conservation easement be demarcated in the field with a physical barrier such as a split-rail fence or a dry stone wall; monuments should be installed where the installation of physical improvements is not practicable.
4. Once the limits of the conservation easement are finalized, a draft easement document shall be provided for review as should a metes and bounds description of the easement.
5. As previously noted, portions of the proposed drive and pocket wetland are located within the boundaries of the FEMA 100-year Flood Zone A, associated with the Waccabuc River. The applicant has indicated a net loss of $\pm 4,536$ c.f. of flood storage capacity as a result. Compensatory flood storage is proposed to be provided within the pocket wetland above the normal water level. This available storage, however, is necessary for the stormwater mitigation for the development and can not be used towards available flood storage for the river. Further, the compensatory storage must be hydraulically connected to the flood area. The pond, as proposed, is ± 6 feet above the Waccabuc River. The applicant should consider providing additional storage along the bank of the river. This office is available to discuss viable options.
6. The catch basin detail has been revised to include a note requiring installation of a sediment trap at Catch Basin #5. A similar note should be included on the plan and a detail provided.
7. As previously requested, soil deep testing for the proposed stormwater mitigation system(s) must be witnessed by this office; test locations and results should be included on the plan.

8. The applicant has indicated that the guide rails for the existing concrete bridge are to be replaced. The plan shall illustrate the extents and include details.
9. The filter media specifications for the bio-retention basin should be included on the plan.
10. The plan proposes an underground utility connection to an existing pole located on an adjacent property. The applicant shall either obtain an easement for the portion of the off-site underground installation or install a utility pole on site to extend the service overhead before installing underground.
11. The Town's standard signature blocks for the owner/applicant, Planning Board Chairman, Planning Board Secretary, and Town Engineer shall appear on all sheets, including the wetland mitigation plan.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

Plans Reviewed, prepared by Bibbo Associates, LLP and dated (last revised) December 30, 2014:

- Site Plan (SP)
- Erosion Control Plan (EC)
- Sight Distance & Profiles (SDP)
- Details (D-1)
- Stormwater Details (D-2)

Documents & Other Plans Reviewed:

- Letter from Bibbo Associates, LLP, dated January 5, 2015
- *Stormwater Pollution Prevention Plan*, prepared by Bibbo Associates, LLP and dated (last revised) December 30, 2014
- Letter from Evans Associates, dated December 29, 2014
- "Mitigation Plan", prepared by Evans Associates and dated December 24, 2014

JKJ/JMC/DJS/dc

TO: Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: J2 Boniello Builders
Block 10803, Lot 18, Sheet 26
Cal # 39-14 WB, Cal # 15-14 SW
2 Bouton Road, South Salem
Wetland Activity and Stormwater Permits

DATE: January 15, 2015

The Conservation Advisory Council (CAC) reviewed the plans, wetland delineation memo, mitigation plans, and other materials submitted as part of an application for a wetland activity permit and stormwater permit on this parcel.

The CAC continues to express its concern with the extension of the septic system into the wetland buffer, and we recognize that the Planning Board has considered our concern.

The CAC also is concerned with the inadequacy of the mitigation plan. The disturbance within in the wetland buffer is 52,467 square feet. The landscaping next to the driveway is intended to provide about 30% of the required mitigation. However, the remaining 70% of the mitigation consists of a conservation easement applied to areas that are already protected. All of this area is regulated by being within the 150' wetland buffer, and some of it is in the 100 year flood plain. In addition, the portion to the east of the Waccabuc River is already prohibited from development, so it is not "mitigation" to continue to recognize the restrictions in an area that is not available for use. This fails the wetland code's guidelines that mitigation result in no-net loss of wetland or wetland buffers. We ask for clarification of the amount of mitigation that is provided if the previously restricted areas are removed from the mitigation plan. We strongly suggest that the applicants propose alternate and meaningful mitigation for the disturbance and removal of wetland buffer. Alternatively, the applicants should evaluate a plan that results in less wetland or wetland buffer disturbance, and thus requires less mitigation.

We note that Belgian block curbing tends to concentrate water flows, and the plans call for only a few gaps in the block. We ask if consideration has been given to widely spacing the blocks throughout the eastern end of the driveway, installing the block flush, or other approaches that would allow sheet flow rather than concentrated discharges from that portion of the driveway.

The CAC also suggests that any potential approval of this project contain definitive language that strongly constrains the builder toward minimizing the negative environmental impacts of development, including barring use of fertilizers and pesticides in the buffer area, limiting salt on the driveway over the stream, and requiring regular septic system inspection.

LASOTA

CAL# 1-15WP



THE HELMES GROUP, LLP
ARCHITECTURE • ENGINEERING
PROJECT MANAGEMENT

FILE

Hand Delivered

December 30, 2014

Lisa Pisera, Planning Board Secretary
Town of Lewisboro Planning Board
P.O. Box 725
Cross River, NY 10518

RECEIVED
DEC 30 2014
BY: *[Signature]*

Project: Addition & Alterations to Existing Residence
for George & Susan Lasota, Owner
120 Boway Road, South Salem, NY 10590
Sheet 36, Block 10810, Lot 57, R-1/2A Zone District

Subject: 'Administrative Wetlands Permit' - Determination

Dear Ms. Pisera:

Enclosed herewith please find completed Town of Lewisboro 'Wetland Permit Application' including Affidavit of Ownership and Tax Payment Affidavit Requirement filled-out for filing, together with nine (9) sets of Site Plan Drawing #1, dated 12/30/14, as prepared by The Helmes Group, LLP, Architects indicating proposed one-story additions to existing residence.

Also, enclosed herewith please find check #1420, dated 12/29/14, in the amount of **\$255.00**, from Susan & George Lasota, Owners, covering the required Wetlands Permit Application Fee for the above-mentioned project.

It is my understanding that we will be scheduled to appear before the next Planning Board Meeting on **Tuesday, January 27, 2015 at 7:30 p.m.** and look forward to presenting and explaining this application request to the Board Members.

Should you require any additional information, please do not hesitate to call. Thank you again for your cooperation.

Very truly yours,

THE HELMES GROUP, LLP

[Signature]
Steven C. Helmes, AIA
Architect

SCH:KA Encl.

cc: George & Susan Lasota, Owners Via E-Mail

RECEIVED
DEC 30 2014

FILE

BY:*inf*.....

Application No.: 1-15 WP

Fee: 255 Date: 12/30/14

ck #1420

next 597530

TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION

Town Offices @ Orchard Square, Suite L (Lower Level), 20 North Salem Road, Cross River, NY 10518

Phone: (914) 763-3060

Fax: (914) 533-0097

Project Information

Project Address: 120 BOWAY ROAD, SOUTH SALEM, NY 10590

Sheet: 36 Block: 10810 Lot(s): 57

Project Description (identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): PROPOSED ONE (1) STORY KITCHEN ADDITION / EXTENSION LOCATED ON EAST SIDE OF EXISTING HOUSE
65 SF OF NEW IMPERVIOUS AREA. SLAB ON GRADE FOUNDATION.

Owner's Information

Owner's Name: GEORGE & SUSAN LASOTA Phone: 914 763-0672

Owner's Address: 120 BOWAY ROAD, SOUTH SALEM Email: GLASOTA@OPTONLINE.NET
SLASOTA@OPTONLINE.NET

Applicant's Information (if different)

Applicant's Name: THE HELMES GROUP, LLP
STEVEN C. HELMES, AIA Phone: 914-232-4633

Applicant's Address: 184 KATONAH AVENUE Email: SCHE@THEHELMESGROUP.COM
KATONAH, NY 10536

Authorized Agent's Information (if applicable)

Agent's Name: THE HELMES GROUP, LLP
STEVEN C. HELMES, AIA Phone: 914-232-4633

Agent's Address: 184 KATONAH AVENUE Email: SCHE@THEHELMESGROUP.COM
KATONAH, NY 10536

To Be Completed By Owner/Applicant

- What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)
☒ Administrative ☐ Planning Board
- Is the project located within the NYCDEP Watershed? ☐ Yes ☒ No
- Total area of proposed disturbance: ☒ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☐ ≥ 1 acre
- Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: BUILDING DEPARTMENT FOR BUILDING PERMIT

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner/Applicant Signature: *Steven C. Helmes*
STEVEN C. HELMES, AIA
THE HELMES GROUP, LLP

Date: 12-23-14

FILE

AFFIDAVIT OF OWNERSHIP

RECEIVED
DEC 30 2014

STATE OF)
COUNTY OF) ss:
WESTCHESTER

BY: Int

STEVEN C. HELMES, AIA, being duly sworn, deposes and says that
she/he resides at 184 KATONAH AVENUE, KATONAH, NY 10530
in the County of: WESTCHESTER

State
of: NEW YORK

And that she/he is (check one) (1) the owners, or (2) the ARCHITECT/OWNER'S AGENT
Title
of THE HELMES GROUP, LLP / STEVEN C. HELMES, AIA
name of corporation, partnership or other legal entity

which is the owner, in fee of all that certain lot, piece or parcel of land situated, lying
and being in the Town of Lewisboro, New York, aforesaid and known and designated
on the Tax Map in the Town of Lewisboro as Lot Number 57

Block 10810 on sheet 30

For (check one):

- ☐ SKETCH PLAN REVIEW ☐ PRELIMINARY SUBDIVISION PLAT ☐ FINAL SUBDIVISION PLAT
☐ SITE DEVELOPMENT PLAN ☐ SPECIAL USE PERMIT ☐ WAIVER OF SITE PLAN PROCEDURES
☒ WETLAND PERMIT ☐ STORMWATER PERMIT ☐ FILING WITH WESTCHESTER COUNTY CLERK

THE HELMES GROUP, LLP

Steven C. Helmes AIA
Signed
STEVEN C. HELMES, AIA

Sworn to before me this




23rd day of December, 2014
Kathleen Formicola-Jack 8/10 12/8/17
Notary public (affix stamp)



MEMORANDUM

TO: Chairman Jerome Kerner, AIA and
Members of the Lewisboro Planning Board

CC: Lisa Pisera
Judson Siebert, Esq.

FROM: Jan K. Johannessen, AICP 
Joseph M. Cermele, P.E., CFM 
David J. Sessions, RLA, AICP 
Town Consulting Professionals

DATE: January 21, 2015

RE: George & Susan Lasota
120 Boway Road
Sheet 36, Block 10810, Lot 57

Project Description

The subject property consists of ± 1.2 acres of land located at 120 Boway Road and within the R-1/2A Zoning District. The subject property is developed with a single-family residence, asphalt driveway, septic system and private water well. The applicant is proposing two (2) small one-story additions with a collective new roof area of ± 101 s.f. The subject property contains wetlands that are jurisdictional to the Town of Lewisboro and the proposed kitchen extension is located ± 30 feet from the wetland boundary.

SEQRA

The proposed action is a Type II Action and is categorically exempt from the State Environmental Quality Review Act (SEQRA).

Required Approvals

1. A Wetland Activity Permit is required from the Planning Board.
2. A public hearing is required to be held on the Wetland Activity Permit.

Comments

1. Given the relatively small amount of added roof area, no formal stormwater mitigation is required. The applicant has, however, elected not to use roof gutters and will instead allow roof runoff to drip to a proposed gravel strip to be installed around the perimeter of the additions. The gravel strip shall be illustrated and detailed on the site plan.
2. The proposed limits of disturbance shall be illustrated and calculated on the plan; a note shall be added to the plan stating that disturbance beyond the disturbance limit line requires approval from the Wetland Inspector. The plan shall also illustrate contractor staging areas.
3. The limits of the existing septic system must be illustrated on the plan and noted to be cordoned off during construction.
4. While details are provided, the proposed location of erosion controls must be illustrated on the plan.
5. The applicant should complete the Zoning Compliance Table (proposed condition).
6. A note shall be provided on the plan identifying the wetland delineator and wetland delineation date.
7. Based upon recent aerial imagery, it appears that the submitted site plan does not reflect all existing improvements; the site plan must be revised to illustrate all existing site features.
8. We note that a wetland violation had occurred on the subject property under a former owner (see Cal. # 3-03 W.V.). The violation was issued in November of 2003 for the construction of an addition without benefit of a Wetland Permit. The wetland violation has since been resolved to the satisfaction of the former Wetland Inspector and the case is now closed.

Chairman Jerome Kerner, AIA

January 21, 2015

Page 3

9. The applicant should contact this office to schedule a site inspection.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

Plan Reviewed, prepared by The Helmes Group, LLP and dated December 30, 2014:

- Site Plan/Zoning Data/Schedules (Dr. No. 1)

Documents Reviewed:

- Letter from The Helmes Group, LLP, dated December 30, 2014
- Wetland Permit Application

JKJ/JMC/DJS/dc

DAVIDSON

CAL# 96-14WP

CAL# 21-14SW

BIBBO ASSOCIATES, L.L.P.

Consulting Engineers

Joseph J. Buschynski, P.E.

Timothy S. Allen, P.E.

Sabri Barisser, P.E.

December 30, 2014

Town of Lewisboro Planning Board
P.O. Box 725
20 North Salem Road, Suite L
Cross River, NY 10518

FILE

RECEIVED
DEC 30 2014

BY: *Amf*

Attn: Mr. Jerome Kerner R. A., Chairman

Re: Stormwater and Wetlands Application
Davidson
28 Deer Track Road
Sec. 7, Blk. 11137, Lot 138

Dear Members of the Board:

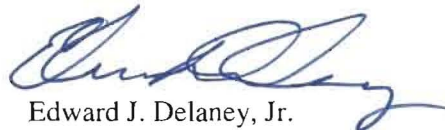
On behalf of our client, please find the following items enclosed for your review:

- 13 copies – Site Plan and Details with House Elevations, dated 11/11/2014
- 3 copies – SWPPP with NOI & MS4 Acceptance Form, dated 12/22/2014
- 13 copies – Wetland Permit Application with associated fee, dated 12/18/2014
- 13 copies – Stormwater Permit Application with associated fee, dated 12/18/2014
- 13 copies – Affidavit of Ownership, dated 12/19/2014
- 13 copies – Wetland Delineation/Soil Survey, dated 1/8/2014

Roger Davidson is proposing to build an addition to his current residence in the wetland buffer. The addition consists of a new garage, bedroom and music studio. The proposed addition will be treated with a stormwater conveyance system. Appropriate Westchester County Department of Health approvals are being handled by others.

We respectfully request that we be placed on your next available agenda for discussion, and consideration of a site walk.

Very truly yours,



Edward J. Delaney, Jr.
Project Manager

EJD/neh
Enclosures
cc: Roger Davidson
BWArchitects
Jim Meade, P.E.

Site Design ♦ Environmental

RECEIVED
DEC 30 2014

BY: Am

Application No.: 96-14 WP
Fee: 255 Date: 12/30/14

pd ck # 2407

rept # 597529

TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION

Town Offices @ Orchard Square, Suite L (Lower Level), 20 North Salem Road, Cross River, NY 10518
Phone: (914) 763-5592
Fax: (914) 763-3637
planning@lewisborogov.com

Project Information

Project Address: 28 DEER TRACK RD.

Sheet: 7 Block: 11137 Lot(s): 138

Project Description (identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): PROPOSED ADDITION TO AN EXISTING SINGLE FAMILY RESIDENCE THAT WILL BE CONSTRUCTED WITHIN THE WETLAND BUFFER

Owner's Information

Owner's Name: ROGER DAVIDSON Phone: 212-505-1955

Owner's Address: 28 DEER TRACK RD., GORDON Email: -
BRIDGE, NY 10576

Applicant's Information (if different)

Applicant's Name: SAME AS ABOVE Phone: -

Applicant's Address: - Email: -

Authorized Agent's Information (if applicable)

Agent's Name: TIM ALEN P.E. - B. B. B. Assoc. Phone: 277-5805

Agent's Address: PO 100, SOMERS, NY - 10589 Email: -
TIMOTHY B. B. B. ASSOCIATES, P.C.

To Be Completed By Owner/Applicant

1. What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

☐ Administrative ☒ Planning Board

2. Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No

3. Total area of proposed disturbance: ☒ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☐ ≥ 1 acre

4. Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: PLANNING BOARD, WCDOH, NYCDEP, NYSDEC

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

X

Owner/Applicant Signature: [Signature]

X

Date: 12/18/14

RECEIVED
DEC 30 2014

BY: ma

Application No.: 21-14 SW
Fee: 155 Date: 12/30/14
pd. ck #2425 dup
rept 597528

TOWN OF LEWISBORO
STORMWATER PERMIT APPLICATION

Town Offices @ Orchard Square, Suite L (Lower Level), 20 North Salem Road, Cross River, NY 10518
Phone: (914) 763-5592
Fax: (914) 763-3637

Project Information

Project Address: 28 Deer Track Ln.

Sheet: 7 Block: 11157 Lot(s): 138

Project Description (describe overall project including all proposed land development activities):
A Proposed Addition To An Existing Single Family Home
To Include A New Garage, Bedroom and Music Room

Owner's Information

Owner's Name: ROGER DAVIDSON Phone: 212-505-1955

Owner's Address: 28 DEER TRACK LN., GOLDEN BRIDGE Email: _____
NY. -10526

Applicant's Information (if different)

Applicant's Name: SAME - ABOVE Phone: _____

Applicant's Address: _____ Email: _____

Authorized Agent's Information

Agent's Name: TIM ARON P.E. - BIRBO ASSOC Phone: 277-5805

Agent's Address: RT 100, SOMERS, N.Y. - 10589 Email: _____
TIMOTHY BIRBO ASSOCIATES, P.C.

To Be Completed By Owner/Applicant/Agent

- The approval authority is? (see §189-5 of the Town Code)
☒ Town Engineer and SMO ☐ Planning Board
- Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No
- Total area of proposed disturbance: ☒ 5,000 s.f. - < 1 acre ☐ ≥ 1 acre
- Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity? ☒ Yes ☐ No ☐ Requires post-construction stormwater practice
- Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: TOWN PLANNING BOARD, NYSDEC, WCDH, NYCDEP.

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under §189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

X Owner/Applicant Signature: [Signature]

X Date: 12/18/14

AFFIDAVIT OF OWNERSHIP

RECEIVED
DEC 30 2014

STATE OF)
COUNTY OF) ss:

BY: [Signature]

Roger C. Davidson, being duly sworn, deposes and says that
she/he resides at 20 Deer Track Road
in the County of: Westchester

State
of: New York

And that she/he is (check one) ☒ (1) the owners, or (2) the _____
Title
of _____
name of corporation, partnership or other legal entity

which is the owner, in fee of all that certain lot, piece or parcel of land situated, lying
and being in the Town of Lewisboro, New York, aforesaid and known and designated
on the Tax Map in the Town of Lewisboro as Lot Number 130
Block 11137 on sheet 7

For (check one):

- ☐ SKETCH PLAN REVIEW ☐ PRELIMINARY SUBDIVISION PLAT ☐ FINAL SUBDIVISION PLAT
☒ SITE DEVELOPMENT PLAN ☐ SPECIAL USE PERMIT ☐ WAIVER OF SITE PLAN PROCEDURES
☒ WETLAND PERMIT ☒ STORMWATER PERMIT ☐ FILING WITH WESTCHESTER COUNTY CLERK

[Signature]
Signed

Sworn to before me this
19 day of December, 2014

Katarzyna P. Mokrzycka
Notary public (affix stamp)

KATARZYNA P. MOKRZYCKA
NOTARY PUBLIC-STATE OF NEW YORK
No. 01MO6290805
Qualified in Queens County
My Commission Expires October 15, 2017

TO: Lisa Pisera

TAX PAYMENT AFFIDAVIT REQUIREMENT

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

INSTRUCTIONS

The applicant is to complete the information box below and on the opposite side and return to:
Receiver of Taxes, Town of Lewisboro, Town House, Main Street, South Salem, New York 10590

For Planning Board applications, the Receiver of Taxes will return this form and the affidavit to the Planning Board office. For filing actions with the Westchester County Clerk, Division of Land Records, the Receiver of Taxes will return this form and the affidavit to the applicant by mail if a stamped and self-addressed envelope is submitted with this form.

IF ANY TAXES ARE FOUND TO BE DUE ON THE PROPERTY RELATING TO THE APPLICATION, THEN THAT APPLICATION CAN NOT BE ACCEPTED BY THE PLANNING BOARD UNTIL THE TAXES ARE PAID.

TO BE COMPLETED BY APPLICANT

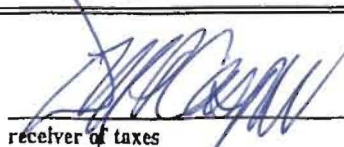
(PLEASE TYPE OR PRINT)

<u>Roger Davidson</u> name of applicant	<u>Davidson</u> project name
property description: <u>7</u> ▶ tax sheet	property assessed to: ▶ name <u>Roger C. Davidson</u>
▶ block <u>11137</u>	▶ address <u>28 Deer Track Road</u>
▶ lot <u>138</u>	<u>Lewisboro, NY</u>

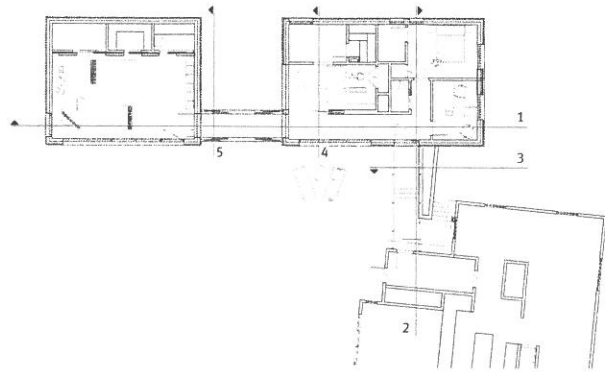
application type (check one):

- ☐ SKETCH PLAN REVIEW ☐ PRELIMINARY SUBDIVISION PLAT ☐ FINAL SUBDIVISION PLAT
☒ SITE DEVELOPMENT PLAN ☐ SPECIAL PERMIT USE ☐ WAIVER OF SITE PLAN PROCEDURES
☒ WETLANDS PERMIT ☐ FILING WITH THE WESTCHESTER COUNTY CLERK

NO OUTSTANDING TAXES ARE DUE:


 receiver of taxes

 date 12/19/14

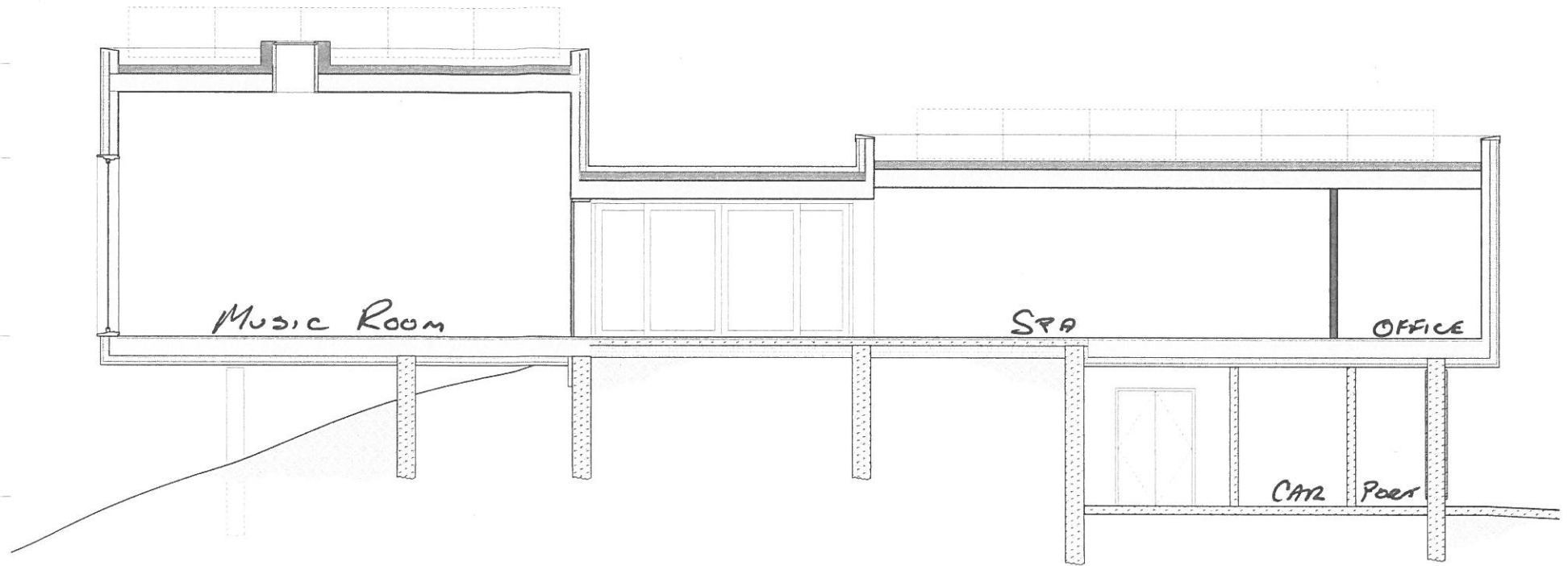


ADDITION T.O.R.
406'0"

ADDITION T.O.R.
400'7"

ADDITION LEVEL ONE
390'3"

CAR PORT FLOOR BACK
380'11"



SECTION 1
SCALE: 1/4" = 1'-0"

EXISTING HOUSE T.O.R.
415'3"

ADDITION T.O.R.
400'7"

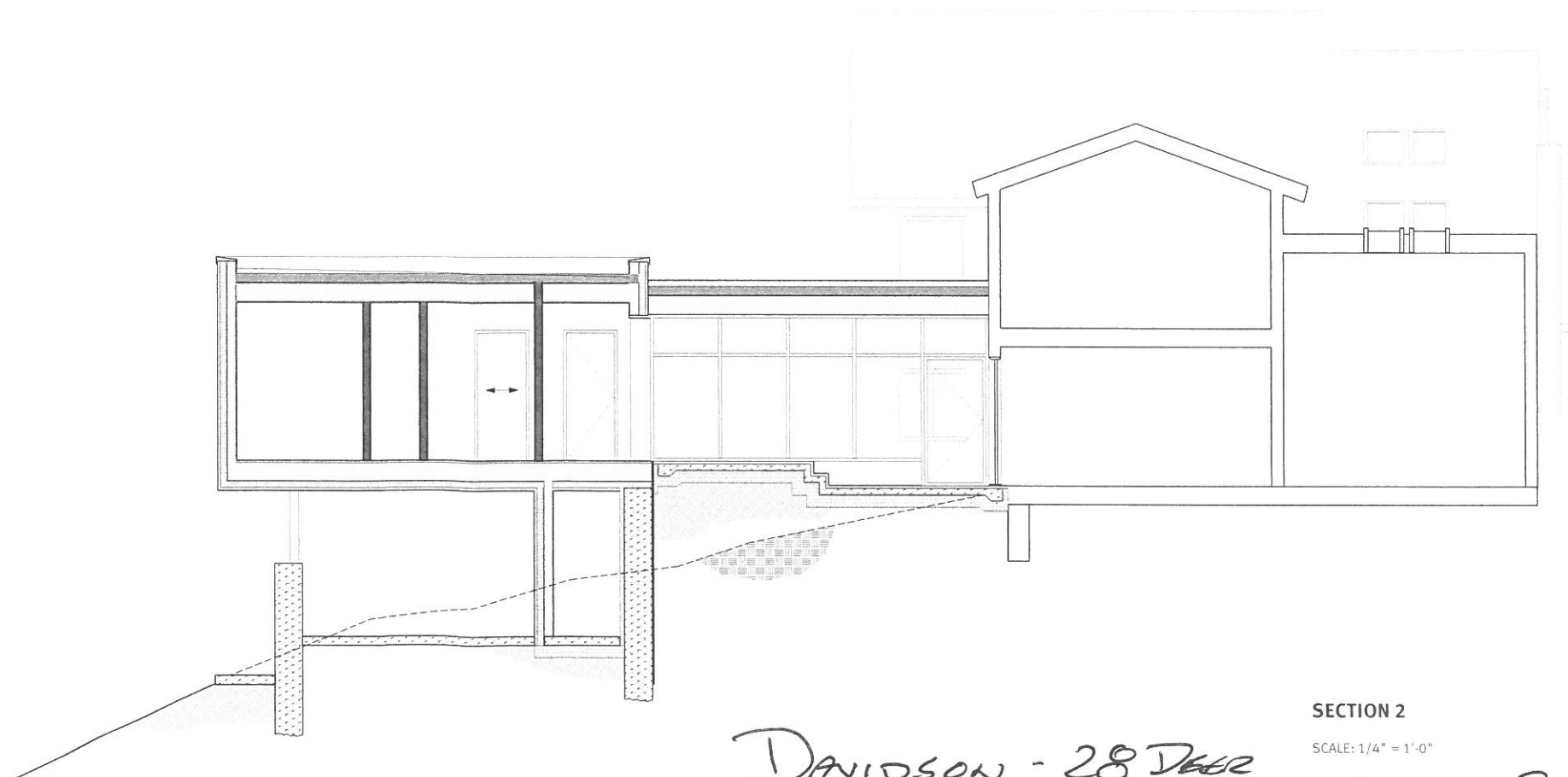
EXISTING HOUSE LEVEL TWO
398'0"

ADDITION LEVEL ONE
390'3"

EXISTING HOUSE LEVEL ONE
389'0"

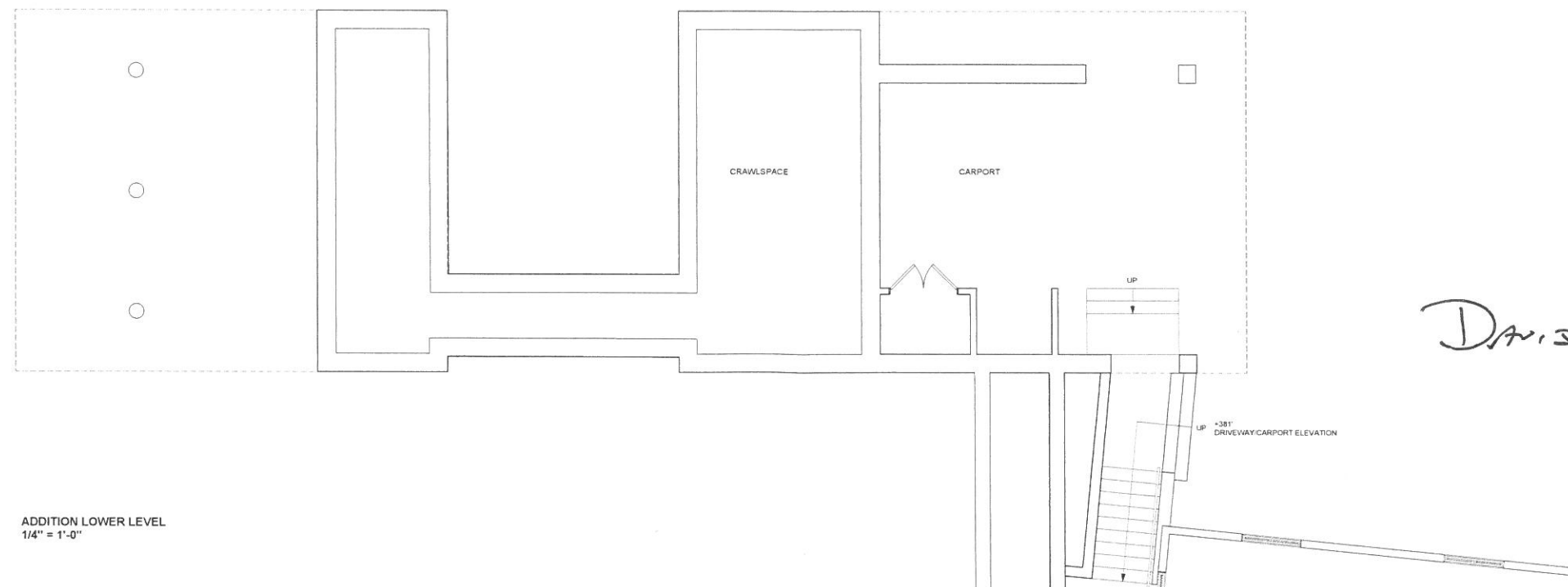
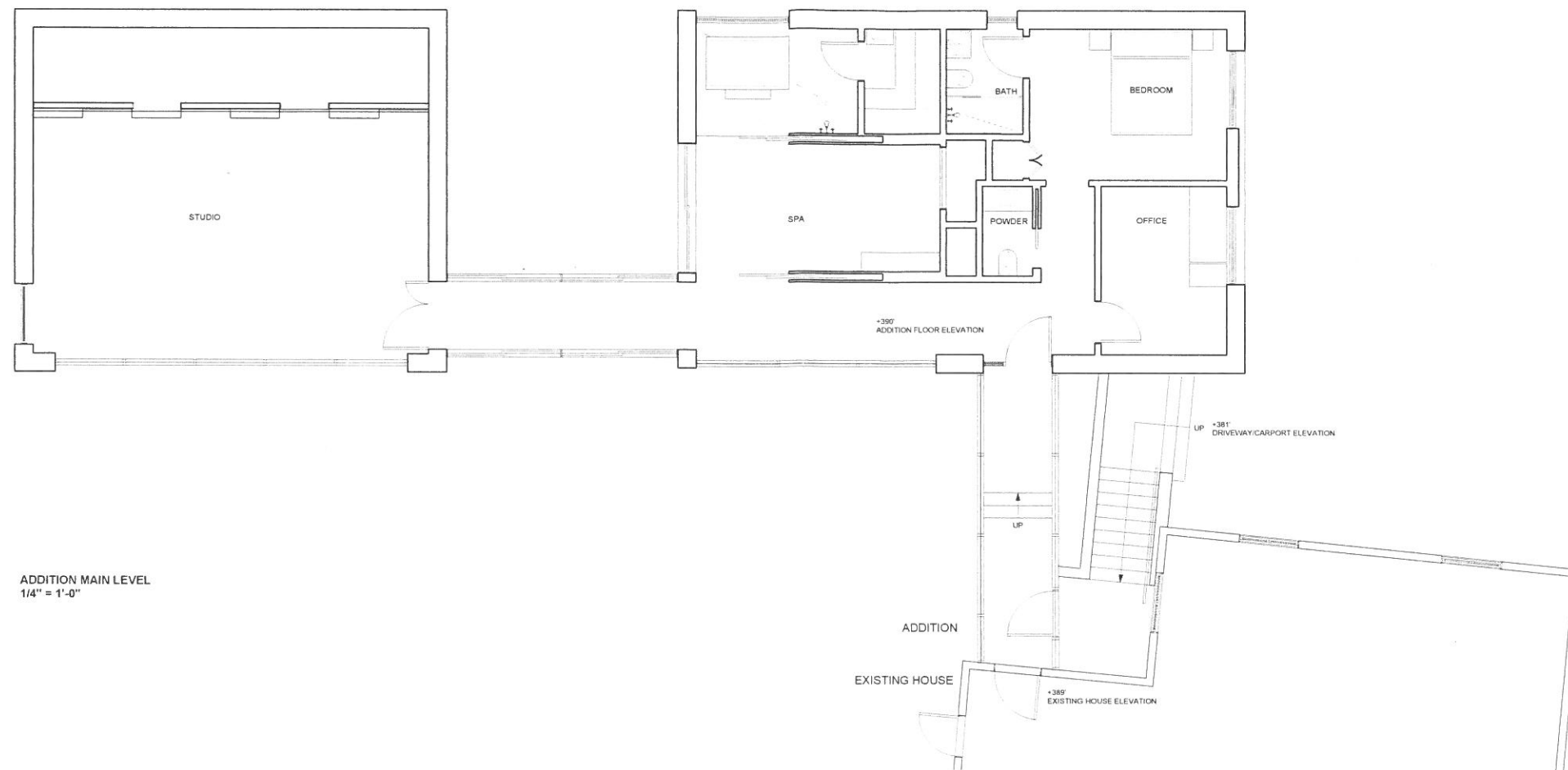
EXISTING GARAGE ENTRANCE
380'9 1/8"

CAR PORT FLOOR BACK
380'11"



SECTION 2
SCALE: 1/4" = 1'-0"

DAVIDSON - 28 DEER TRACK LANE - SECTIONS



DAVIDSON - 28 DEER TRACK LA
FLOOR PLAN

PFIZER – JÄHNIG
ENVIRONMENTAL CONSULTING

January 8, 2014

Wetland Delineation/Soil Survey

Davidson Residence
28 Deer Track Lane
Lewisboro, New York

Introduction:

A wetland delineation and soil survey was conducted at 28 Deer Track Lane on December 19, 2013 by Mary Jaehnig, soil scientist. The 2+ acre parcel is located on the western side of the road and supports a single family dwelling. The dwelling is built on a rocky knoll. An intermittent watercourse flows from south to north in the western portion of the site. The stream occupies a narrow channel that becomes less well defined to the north before it is piped beneath the driveway on the adjacent property. Slopes ascend steeply to the west beyond the watercourse.

The watercourse and associated wetland is locally regulated. Chronologically labeled ribbon were placed along the edge of the wetland. The stream eventually enters a tributary to the Croton Reservoir along the North Salem border. A New York State Dept. of Environmental Conservation (NYS DEC) regulated wetland, F-6, is located along that tributary.

Soils:

Soil samples were obtained using a trenching shovel and auger. Features noted include color, texture and depth to hydric indicators. Soils were classified according to guidelines established by the USDA NRCS.

The upland soils on site include Chatfield-Hollis-Rock outcrop complex, rolling and hilly to steep and Charlton-Chatfield complex, rolling, very rocky.

Charlton loam is a well drained soil formed in glacial till. The depth to the water table usually exceeds 6 feet below grade and the depth to bedrock usually exceeds 5 feet below grade. Chatfield loam is moderately deep, well

PFIZER – JÄHNIG

ENVIRONMENTAL CONSULTING

drained and somewhat excessively drained. The depth to bedrock in Chatfield loam averages 24 inches below grade. Hollis loam is shallow, very steep, well drained and somewhat excessively drained with an average depth to bedrock of 10 to 20 inches.

The hydric soil on site is Ridgebury fine sandy loam. This soil is deep, poorly drained and formed in glacial till. The subsoil is mottled and the water table is located within one foot below grade from fall through spring.

The upland area of the property is lightly wooded with mature red oak, American beech, Eastern hemlock, black birch, ash and witch hazel. Japanese barberry is scattered within the shrub layer with garlic mustard as groundcover. The area surrounding the dwelling is maintained as grassed lawn.

Submitted by,

Mary Jaehnig
certified soil scientist

MEMORANDUM

TO: Chairman Jerome Kerner, AIA and
Members of the Lewisboro Planning Board

CC: Lisa Pisera
Judson Siebert, Esq.

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM
David J. Sessions, RLA, AICP
Town Consulting Professionals

DATE: January 21, 2015

RE: Roger Davidson
28 Deer Track Lane
Sheet 7, Block 11137, Lot 138

Project Description

The subject property consists of ± 2 acres of land located at 28 Deer Track Lane and within the R-2A Zoning District. The subject property is developed with a single-family residence, asphalt driveway, septic system, koi pond, and various landscape features. The applicant is proposing an addition to the residence to include a carport and crawl space on the ground floor and an office, bedroom, bathroom, spa and music studio on the first floor. A Town-jurisdictional wetland is located to the rear of the house and the majority of the proposed improvements are located within the Town's 150-foot regulated wetland buffer.

SEQRA

The proposed action is a Type II Action and is categorically exempt from the State Environmental Quality Review Act (SEQRA).

Required Approvals

1. A Wetland Activity Permit and Town Stormwater Permit is required from the Planning Board.
2. A public hearing is required to be held on the Wetland Activity Permit.
3. Modifications and/or expansion of the septic system, if proposed, will require approval from the Westchester County Department of Health (WCDH).
4. Proposed land disturbance is between 5,000 s.f. and one (1) acre; the applicant will be required to obtain coverage under the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-10-001).

Comments

1. An existing conditions survey must be submitted for review; an existing conditions plan should be incorporated into the plan set.
2. The subject property contains steep slopes and notable ledge and rock outcropping. The applicant shall provide a cut and fill calculation and identify the proposed method of rock removal.
3. The WCDH shall confirm the bedroom count and the existing and proposed number of bedrooms shall be noted on the plans. Plans approved by the WCDH shall be submitted for review and all existing and proposed septic system components shall be illustrated on the site plan.
4. The applicant must quantify the area of disturbance and area of impervious coverage proposed within the Town's 150-foot wetland buffer. A wetland mitigation plan prepared in conformance with Appendix B-Part II of the Wetland Ordinance must be submitted for review. We note that the Wetland Ordinance strives for a 1:1 mitigation ratio and a no-net-loss of wetlands and buffers.
5. Our office must confirm the wetland boundary line; the applicant should ensure that the wetland boundary flags are present on-site before this confirmation is conducted.

6. The wetland delineation report must be signed by the preparer; the report must be revised to include the items required per Section 217-7A(6) of the Wetland Ordinance. We note that the wetland delineation date referenced on the site plan does not coincide with the delineation date noted in the wetland report.
7. All on-site trees with a diameter of ≥ 8 " dbh must be survey-located and illustrated on the site plan. The plan should identify the diameter and specie type of each tree and whether the tree is to be protected or removed.
8. Additional erosion controls are needed downslope (west) of the proposed addition. Methods to achieve temporary and permanent stabilization of proposed 1:1 slopes shall be specified on the plan.
9. Soil and material stockpile locations must be identified on the plan.
10. Any necessary modifications to the koi pond should be identified on the plan.
11. Architectural floor plans and elevations shall be signed and sealed by the design professional.
12. The most current property deed should be submitted for review; easement documents associated with the drainage, driveway and slope easements noted on the site plan shall also be submitted.
13. The construction sequence shall be modified to include installation of the infiltration system prior to building construction and installation of the roof drains. Once installed, they shall be connected to the system rather than discharge at grade.
14. The plan shall indicate footing drain locations.
15. This office witnessed soil testing for the proposed infiltration system. The plan and Stormwater Pollution Prevention Plan (SWPPP) shall include soil percolation test data to support the infiltration rate used in the sizing calculations.
16. The applicant should consider raising the invert elevation of the infiltration system outlet pipe to maximize the available volume of the system.

Chairman Jerome Kerner, AIA
January 21, 2015
Page 4

17. The Planning Board may wish to conduct a site visit. Prior to the site visit, the applicant should stake the corners of the proposed addition.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

Plans Reviewed, prepared by Bibbo Associates, LLP and dated November 11, 2014:

- Site Plan (SP-1)
- Details (D-1)

Documents Reviewed:

- Letter from Bibbo Associates, LLP, dated December 30, 2014
- Wetlands Delineation/Soil Survey, prepared by Pfizer-Jahnig and dated January 8, 2014
- Stormwater Permit Application
- Wetland Permit Application
- *Stormwater Pollution Prevention Plan*, dated December 22, 2014

JKJ/JMC/DJS/dc

TO: Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: Roger Davidson
128 Deer Track Lane, Goldens Bridge, NY
Sheet 7, Block 11137, Lot 138
Cal #96-14WP and 21-14 SW

DATE: January 13, 2015

The Conservation Advisory Council (CAC) has reviewed the applicant's set of plans and accompanying documents putting forth a plan for a proposed addition to the existing residence.

Despite a thorough review of the plans and accompanying documents, the CAC had many questions. Unfortunately, from the information provided, the CAC was unable to establish a sense of scale in order to determine the extent of the disturbance the proposed work will cause. We would appreciate more information about the size of the proposed addition and the disturbed area. Additionally, from the information provided, the CAC was unable to determine if the applicant's septic system is adequate to support the end result or if that too will be expanded. We would also like to understand if the koi pond has any hydrological connection to the wetland system on the property.

Based upon the information provided to us, the CAC feels that additional information is needed and that all involved would benefit greatly from a site walk of the premises.