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TOWN OF LEWISBORO
Westchester County, New York

Planning Board
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-5592
Fax: (914) 875-9148
Email: planning@lewisborogov.com

AGENDA

Tuesday, February 20, 2024 **The Commons / Courtroom at 79 Bouton Road**

Meeting will start at 7:30 p.m. and end at or before 11:00 p.m.

I. CONTINUATION OF PUBLIC HEARINGS

Cal #06-17PB, Cal #43-23WP, Cal #18-23SW
Wolf Conservation Center, Buck Run, South Salem, NY 10590; Sheet 21, Block 10803, Lots 3, 65, 67, 81, 82, 83, 86 & 88 (Wolf Conservation Center, owner of record) - Application for a Site Development Plan Approval, Special Use Permit Approval, Wetland Activity Permit Approval and Stormwater Permit Approval for a private nature preserve.

Cal #03-23PB, Cal #05-23SW
19 Mark Mead Road LLC parking, 19 Mark Mead Road, Cross River, NY 10518; Sheet 20, Block 10800 Lot 1 (19 Mark Mead Road LLC, owner of record) – Application for construction of 12 parking spaces for Bacio restaurant employees and four residential spaces.

II. EXTENSION OF TIME REQUESTS

Cal #03-13PB, Cal #03-16WP, Cal #19-21SW
"**Silvermine Preserve," Silvermine Drive & Lockwood Road, South Salem, NY, 10590 Sheet 48, Block 10057, Lot 15 and Sheet 51, Block 10057, Lot 104 (Ridgeview Designer Builders, Inc. & Daniel Higgins, owners of record) –** Request for two 90-day extensions of time to the Resolution granting Final Subdivision Plat Approval, Wetland Activity and Stormwater Permits, dated August 16, 2022 for the construction of a 13 single-family houses; the current expiration date is February 14, 2024.

Cal #08-14PB, Cal# 95-14WP, Cal# 20-14SW
Goldens Bridge Village Center, NYS Route 22, Goldens Bridge, NY 10526; Sheet 4, Block 11126, Lot 07 (Stephen Cipes, owner of record) – The Planning Board Resolution for Site Development Plan Approval, Wetland Activity Permit Approval and Town Stormwater Permit granted on January 21, 2020 for modifications to the existing shopping center; the current expiration date was January 22, 2024

III. SITE DEVELOPMENT PLAN REVIEW

Cal #18-22PB
Bichon LLC, 876 Route 35, Cross River, NY 10518; Sheet 20, Block 10801, Lot 2 (Bichon LLC – owner of record) – Application for a change of use from residential to commercial (professional office).

IV. WETLAND PERMIT REVIEW

Cal #22-23WP, Cal #02-23WV
Merchan and Valencia Residence, 1324 Route 35, South Salem, NY 10590; Sheet 39, Block 10543, Lot 22 (Lina Merchan and Fabio Valencia, owners of record) - Application for remediation of wetlands.

Cal #29-23WP, Cal #09-23SW
Bernabo Residence, 96 Post Office Road, Waccabuc, NY 10597; Sheet 25, Block 10812, Lot 3 (Alex Bernabo, owner of record) – Application for a new well, septic and house.

Cal #32-23WP, Cal #10-23SW
Gecaj Residence, 926 Route 35, South Salem, NY 10590; Sheet 20, Block 10801, Lot 156 (Xhafer Gecaj, owner of record) – Application for a new well, septic and house.

Cal #01-24WP
Wilson Residence, 55 Benedict Road, South Salem, NY 10590; Sheet 33, Block 11155, Lot 87 (Susan and Christopher Wilson, owners of record) – Application for an addition and rain garden**.**

V. DISCUSSION

Cal #12-22PB, Cal #36-22WP
Villas at Vista, 920 Oakridge Common, South Salem, NY 10590; Sheet 49D, Block 9829, Lot 10 (Smith Ridge Associates, owner of record) - Application for construction of 14 additional housing units.

Cal #05-22PB
The Boro Café, 873 Route 35, Cross River, NY 10518, Sheet 20, Block 10800, Lots 2 & 8 (Swertfager Realty, LLC & Gecaj Associates Holding, LLC; owners of record) - Application for a liquor license.

Discussion of the Lewisboro Comprehensive Plan 2024 Timeline

- Nelson Pope Voorhis (NPV) to conduct office hours for residents' specific concerns – date TBD
- Town Board to conduct public hearing(s) regarding Comprehensive Plan and zoning amendments to the Town Code; drafts can be found at: https://www.lewisborogov.com/cmpsc

VI. CORRESPONDENCE

Referral from North Salem, NY Planning Board - Application for a two-lot subdivision at 234 Hawley Road, North Salem, NY.

VII. MINUTES OF December 19, 2023.

VIII. NEXT MEETING DATE: March 19, 2024.

IX. ADJOURN MEETING.

KSCJ CONSULTING

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP JKJ
Joseph M. Cermele, P.E., CFM JMC
Town Consulting Professionals

DATE: February 16, 2024

RE: Gecaj
926 Route 35 (Lot #2 Pinheiro Subd.)
Sheet 20, Block 10801, Lot 156

PROJECT DESCRIPTION

The subject property consists of ±1.58 acres of land and is located at 926 Route 35 within the R1A Residential Zoning District. The property is part of the previously approved Pinheiro Subdivision, and the applicant is seeking to develop the proposed Lot 2 with a single-family, four (4) bedroom dwelling and associated driveway; the dwelling will be served by a private drilled well and wastewater treatment system. A Stop Work Order was issued to the owner on March 13, 2023 for unauthorized tree removal.

REQUIRED APPROVALS/REFERRALS

1. A Town Stormwater Permit is required from the Planning Board

2. A Wetland Activity Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

3. The proposed potable water well and revised sanitary sewage treatment system require approval from the Westchester County Department of Health (WCDH).

4. Work within the New York State right-of-way requires a Highway Work Permit from New York State Department of Transportation (NYSDOT).

COMMENTS

1. The revised Wetland Mitigation/Tree Replacement Plan, dated January 19, 2024, appears satisfactory and includes the installation of 48 large trees and 100 small trees and large shrubs, all native. It is recommended that any approval include a planting bond and the Board's typical 3-year maintenance/inspection requirement.

2. Provide updated rain garden details and planting requirements, as the details located on Sheet WMTP-4.1 are outdated and relate to the old layout.

3. Proposed grading appears to be incorrect. There is a 187' spot shot at the northwest side of the proposed dwelling. It appears that this elevation should be set at 189'. Additionally, the 188' contour should tie into the existing 188' contour. If the proposed elevations shown at this time are to be achieved, then disturbances will be taking place beyond that shown on the current plans.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY CRONIN ENGINEERING, DATED JANUARY 25, 2024:

- Existing Conditions Plan (EX-1.1)
- Site Layout and Zoning Plan (SP-2.1)
- Utility, Grading, Sediment & Erosion Control Plan (SP-2.2)
- Construction Details (CD-3.1)
- Wetland Mitigation & Tree Plan (WMTP-4.1) (February 20, 2015)

PLAN REVIEWED, PREPARED BY TIM MILLER ASSOCIATES, DATED JANUARY 19, 2024:

- Wetland Mitigation/Tree Replacement Plan

DOCUMENTS REVIEWED:

- Letter, prepared by Keith Staudohar, dated January 25, 2024.
- Short EAF, dated September 26, 2023
- NOI Acknowledgement, dated April 27, 2015
- WCDH Construction Approval Application with approved OWTS and Water Supply Plans, dated June 15, 2023.

JKJ/dc

TO: The Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: Gecaj Residence, 926 Route 35, South Salem, NY 10590

DATE: February 6, 2024

The Conservation Advisory Council (CAC) has reviewed the mitigation plan submitted by the applicant for a new well, septic, house and wetland violation.

The house and driveway are within the 150' wetland buffer. The plans also show that there were approved trees removed but also trees that were not part of the approval process.

The mitigation plan that was submitted appears to only address the 34 trees removed in the wetland and does not address the house and driveway's need for wetland mitigation. The CAC feels that this plan is inadequate for the following reasons:

- The number and size of replacement trees in the mitigation plan seems too few.
- The number of trees in the mitigation plan do not take into account that a certain percentage of those trees will not survive the first 2 or 3 years. With 1.5to 2 inch caliper there will be a certain fallout. The plan needs to include an inspection for three years with replacement for any trees that do not survive.
- The mitigation plan does not address the need for one-to-one mitigation for the house and driveway.
- The plan should also address removal of invasives, which with all the trees having been downed, is difficult to assess.

The CAC would also like the plans to show a demarcation that sets off the restored area from the rest of the property. The CAC would also like to see a detailed Stormwater plan.

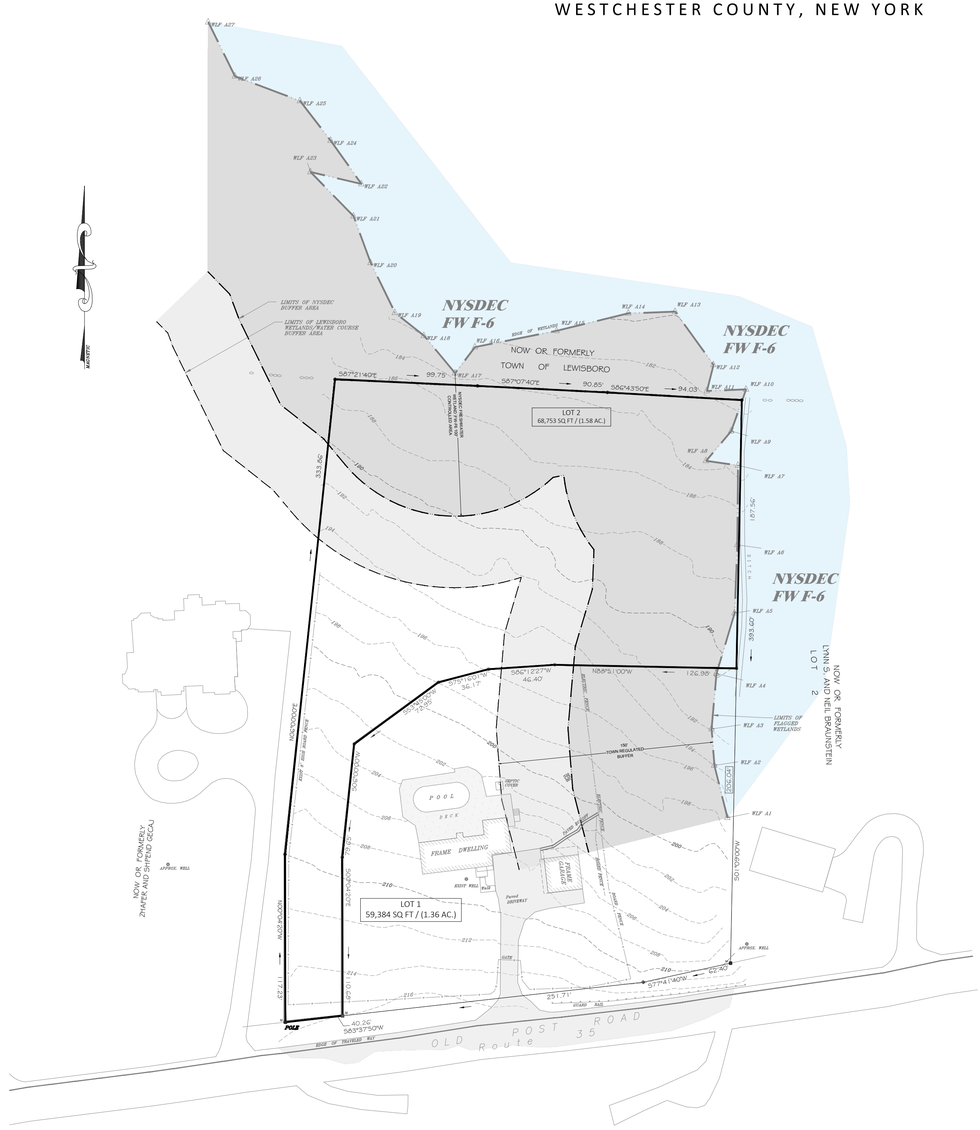
Below is a suggested tree replacement table:

DBH of Existing Tree Removed	**Number of Replacement Trees (3 inch caliper)**
Less than 6 inches	1
Between 6 and 12 inches	3

DBH of Existing Tree Removed	Number of Replacement Trees (3 inch caliper)
Between 12 and 18 inches	4
Between 18 and 24 inches	5
Between 24 and 30 inches	6
Between 30 and 36 inches	10
36 inches or greater	The equivalent of 3 inch caliper trees or greater needed to equal the DBH of the cut or removed tree.

SITE DEVELOPMENT PLAN
FOR
926 OLD POST ROAD

TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK



EXISTING CONDITIONS PLAN
SCALE: 1" = 50'

SITE SPECIFIC NOTES

1. THE EXISTING SITE AREA EQUALS 1.58 ACRES.
2. ACCORDING TO THE TAX ASSESSOR, THE EXISTING SITE CONSISTS OF THE FOLLOWING TAX PARCEL IDENTIFICATION NUMBERS: SECTION: 0020, BLOCK: 10801, LOT(S): 156.
3. SURVEY & TOPOGRAPHIC DATA SHOWN HEREON IS TAKEN FROM A PLAN PREPARED BY RKW LAND SURVEYING ENTITLED: "SURVEY OR PROPERTY FOR FERNANDO & MARIA PINHEIRO..." DATED JANUARY 14, 2014.
4. THE SUBJECT SITE IS LOCATED IN THE R-1A ZONING DISTRICT.
5. REFERENCE IS MADE TO THE ARCHITECTURAL PLAN PREPARED BY TOM F. ABILLAMA ARCHITECTURE AND PLANNING DATED SEPTEMBER 14, 2022.
5. THE SUBJECT SITE IS LOCATED IN THE CROTON RIVER BASIN.
6. LOT SHOWN IS LOT 2 OF SUBDIVISION KNOWN AS "SUBDIVISION & SITE DEVELOPMENT PLAN FOR PINHEIRO...", FILED MAP #28871.

CONSTRUCTION SCHEDULE

1. FILE PERTINENT DOCUMENTS WITH THE TOWN BUILDING DEPARTMENT, NYSDOT, NYSDEC & ANY OTHER INVOLVED AGENCY. OBTAIN ON-SITE WASTEWATER TREAT MENT SYSTEM (OWTS)PERMIT FROM THE WCDH.

   PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, A SEPARATE INDEPENDENT APPROVAL FROM THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH FOR THE CONSTRUCTION OF THE OWTS IS REQUIRED.
2. OBTAIN REQUIRED PERMIT(S) (I.E. BUILDING PERMIT, NYSDOT DRIVEWAY OPENING PERMIT, EXCAVATION PERMIT & ANY OTHER PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RESIDENCE). RETAIN THE SERVICES OF A QUALIFIED INSPECTOR. PRIOR TO ANY WORK ON SITE, CONTACT THE UNDERGROUND LINE LOCATION SERVICE.
3. LOCATE THE PROPOSED HOUSE. LOCATION SHALL BE STAKED OUT, WITH OFFSETS, BY A LICENSED LAND SURVEYOR.
4. TREES TO BE PRESERVED, IF ANY, ARE TO BE CLEARLY MARKED & PROTECTED FROM CONSTRUCTION PER THE APPROVED PLAN.
5. PERFORM THE WETLAND MITIGATION PROGRAM AND REMOVE THE INVASIVE SPECIES LISTED. INSTALL ALL REQUIRED EROSION CONTROL MEASURES PER THE APPROVED PLAN.
6. CLEAR AND GRUB AREAS PROPOSED FOR CONSTRUCTION, INCLUDING THE HOUSE SITE AND DRIVEWAY. STUMPS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER. CORDON OFF THE SEPTIC AREA (ON SITE WASTEWATER TREATMENT SYSTEM - OWTS).
7. BEGIN SITE EXCAVATIONS AND FILLING OPERATIONS.
8. CONSTRUCT FOOTING FORMS & CONSTRUCT FOUNDATION WALLS. PROCEED WITH CONSTRUCTION OF RESIDENCE IN ACCORDANCE WITH ALL BUILDING DEPARTMENT REQUIREMENTS.
9. INSTALL ROOF LEADER LINES AND FOOTING DRAIN LINES PER THE APPROVED PLANS.
10. INSTALL THE STORMWATER DRAINAGE SYSTEM PER THE APPROVED PLANS.
11. INSTALL THE ON SITE WASTEWATER TREATMENT SYSTEM (OWTS).
12. INITIATE AND COMPLETE FINAL GRADING OF THE SITE. PROVIDE THE NECESSARY SEEDING AND MULCH TO ALL FINAL GRADED AREAS.
13. CONTINUAL INSPECTION AND MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED THROUGHOUT CONSTRUCTION AND SHALL CONTINUE UNTIL THE SITE HAS A STABILIZED GROUND COVER.
14. PAVE THE DRIVEWAY AND INSTALL PERVIOUS PAVERS.
15. INSTALL THE NECESSARY PLANTINGS AND IMPLEMENT GENERAL CLEAN UP OF THE LOT.
16. OBTAIN A CERTIFICATE OF OCCUPANCY FROM THE BUILDING DEPARTMENT.

REFERENCE NOTES

1. REFERENCE IS MADE TO THE ARCHITECTURAL PLANS PREPARED BY TOM ABILLAMA ARCHITECTURE AND PLANNING
2. REFERENCE IS MADE TO THE WETLAND MITIGATION AND TREE REPLACEMENT PLAN PREPARED BY TIM MILLER ASSOCIATES DATED JANUARY 25, 2024.
3. REFERENCE IS MADE TO THE WCDH OWTS PERMIT FOR THE WASTEWATER AND WELL, WCDH PERMIT #L-2023-15.

LIST OF DRAWINGS

SHEET TITLE	SHEET NUMBER	TITLE	ISSUE DATE	LAST REVISED
EX-1.1	1 OF 4	EXISTING CONDITIONS PLAN	SEPTEMBER 26, 2023	JANUARY 25, 2024
SP-2.1	2 OF 4	SITE LAYOUT AND ZONING PLAN	SEPTEMBER 26, 2023	JANUARY 25, 2024
SP-2.2	3 OF 4	UTILITY, GRADING, SEDIMENT & EROSION CONTROL PLAN	SEPTEMBER 26, 2023	JANUARY 25, 2024
CD-3.1	4 OF 4	CONSTRUCTION DETAILS	SEPTEMBER 26, 2023	JANUARY 25, 2024

SITE INSPECTION NOTES

1. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE FOUNDATION LOCATION SHALL BE SURVEY LOCATED (BY USE OF OFF-SETS) BY A NYS LICENSED LAND SURVEYOR AND SHALL CORRESPOND TO THE APPROVED PLANS; CORRESPONDENCE FROM THE SURVEYOR SHALL BE PROVIDED TO THE BUILDING DEPARTMENT CERTIFYING THE SAME.
2. PRIOR TO COMMENCEMENT OF WORK, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE WITH THE APPLICANT, CONTRACTOR, BUILDING INSPECTOR, TOWN ENGINEER, TOWN PLANNER, AND OTHER RELEVANT PARTIES. AT TIME OF INSPECTION, ALL EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION FENCING SHALL BE INSTALLED AND ALL TREES TO BE REMOVED SHALL BE JOEED WITH A BRIGHT COLORED SURVEYOR'S RIBBON.
3. ALL IMPROVEMENTS ARE SUBJECT TO INSPECTION BY THE TOWN AND ITS AGENTS WITHOUT NOTIFICATION DURING THE APPROVAL AND CONSTRUCTION PROCESS.
4. THE TOWN OF LEWISBORO STORMWATER MANAGEMENT OFFICER MAY REQUIRE SUCH INSPECTIONS AS NECESSARY TO DETERMINE COMPLIANCE WITH CHAPTER 102, STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL, AND MAY EITHER APPROVE THE PORTION OF THE WORK COMPLETED OR NOTIFY THE OWNER/OPERATOR WHEREIN THE WORK FAILS TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 102 AND THE APPROVED SWPPP. TO OBTAIN INSPECTIONS, THE OWNER/OPERATOR SHALL NOTIFY THE TOWN OF LEWISBORO ENFORCEMENT OFFICIAL AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING:
   - START OF CONSTRUCTION.
   - INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES.
   - COMPLETION OF SITE CLEARING.
   - COMPLETION OF ROUGH GRADING.
   - COMPLETION OF FINAL GRADING.
   - CLOSE OF CONSTRUCTION SEASON.
   - COMPLETION OF FINAL LANDSCAPING.
   - SUCCESSFUL ESTABLISHMENT OF LANDSCAPING IN PUBLIC AREAS.
5. IF COVERAGE UNDER THE GENERAL PERMIT IS REQUIRED, THE OWNER/OPERATOR SHALL RETAIN THE SERVICES OF A QUALIFIED INSPECTOR AND THE QUALIFIED INSPECTOR SHALL CONDUCT A SITE INSPECTION AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTION REPORTS SHALL BE PROVIDED TO THE PLANNING BOARD AND BUILDING DEPARTMENT ON A WEEKLY BASIS AND A COPY OF EACH REPORT SHALL BE KEPT ON-SITE.
6. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A FINAL SITE INSPECTION SHALL BE CONDUCTED WITH THE PROPERTY OWNER/APPLICANT, CONTRACTOR, BUILDING DEPARTMENT, TOWN ENGINEER, TOWN PLANNER AND OTHER RELEVANT PARTIES. A CERTIFICATE OF OCCUPANCY SHALL NOT ISSUE UNLESS THE CODE ENFORCEMENT OFFICER HAS FIRST RECEIVED A WRITTEN REPORT FROM THE TOWN ENGINEER, TOWN PLANNER AND TOWN WETLAND INSPECTOR, AS APPLICABLE, STATING THAT ALL LAND DEVELOPMENT ACTIVITIES MEET THEIR SATISFACTION AND THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE APPROVED PLANS.

EROSION AND SEDIMENT CONTROL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY, PRIOR TO EXPECTED RAIN EVENTS, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
3. THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS ORDERED BY THE ENGINEER, AND IN ACCORDANCE WITH ACCEPTED STANDARDS.
4. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED,FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS.
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
6. ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
7. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
8. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
9. SOIL SEEDING AND FERTILIZER AMENDMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".
10. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".

SPECIAL NOTE

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS AND METHODS NEEDED TO PERFORM THE CONSTRUCTION/EXCAVATION, ET AL. OPERATIONS SHOWN HEREON. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE A SAFE WORKING ENVIRONMENT AND PROVIDE THE MEANS AND METHODS TO PERFORM THE NECESSARY TASKS. NOTHING ON THESE PLANS SHALL OBLIGATE THE DESIGN ENGINEER AS TO THE MEANS AND METHODS TO PERFORM THE TASKS ASSOCIATED WITH THE APPROVED DESIGN PLANS. THOSE OBLIGATIONS AT ALL TIMES REMAIN WITH THE CONTRACTOR(S).

ENGINEER'S NOTES

1. THERE SHALL BE NO MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT CONTACTING THE DESIGN ENGINEER.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL CODES, RULES & REGULATIONS.
3. THIS PLAN WAS PREPARED FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT. NO REPRESENTATION TO THE SUB-SURFACE SOIL CONDITIONS ON THIS LOT ARE MADE OR IMPLIED BY THIS PLAN. IMPROVEMENTS SHOWN ARE FOR SCHEMATIC PURPOSES.
4. IT IS THE OWNERS RESPONSIBILITY TO INSURE THAT ALL IMPROVEMENTS ARE PLACED ON MATERIAL WITH A SUITABLE BEARING CAPACITY.
5. CONTRACTOR TO VERIFY DEPTH & LOCATION OF ALL UTILITIES INCLUDING WATER, SEWER, DRAINAGE, GAS, TELEPHONE, ELECTRIC & CABLE PRIOR TO START OF WORK.
6. PROPOSED BUILDING IMPROVEMENTS DESIGNED BY OTHERS.
7. CONTRACTOR TO REESTABLISH ORIGINALLY APPROVED SWALES.
8. THE CONSERVATION LINE AND PROPERTY LINES SHALL BE STAKED OUT PRIOR TO CONSTRUCTION.
9. NO DISTURBANCE WITHIN THE CONSERVATION EASEMENT IS PERMITTED.

ENGINEER'S NOTES TO OWNER/CONTRACTOR

1. A PRE-CONSTRUCTION SITE INSPECTION WITH CRONIN ENGINEERING, P.E., P.C. IS REQUIRED W/ THE OWNER AND CONTRACTOR PRESENT TO CONFIRM THE CONSTRUCTION PROCEDURE.
2. THERE SHALL BE NO MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT FIRST CONTACTING CRONIN ENGINEERING, P.E., P.C. FOR APPROVAL.
3. PRIOR TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR SHALL CALL THE UNDERGROUND LINE LOCATION SERVICE (CODE 53) AT (800)-962-7962. FOR MORE INFORMATION, VISIT WWW.DIGSAFELYNEWYORK.COM.
4. EROSION & SEDIMENT CONTROL MEASURES AS SHOWN IN THIS PLAN SET SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK. IF UNFORESEEN FIELD CONDITIONS ARE ENCOUNTERED WHICH PROHIBIT THE INSTALLATION OF CERTAIN EROSION & SEDIMENT CONTROL MEASURES AS SHOWN, IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO CONTACT CRONIN ENGINEERING, P.E., P.C. IMMEDIATELY TO DISCUSS ALTERNATIVE METHODS. IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO ENSURE THE INTEGRITY OF ALL EROSION & SEDIMENT CONTROL MEASURES AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT.
5. CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATIONS OR CERTIFICATIONS AS TO THE INTEGRITY, LOCATION OR EXISTENCE OF SUBSURFACE STRUCTURES OR SOIL CONDITIONS WITH RESPECT TO STABILITY AND SUITABILITY FOR THE INTENDED PURPOSE. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY ALL SUBSURFACE CONDITIONS AND INSURE THAT ALL IMPROVEMENTS ARE PLACED ON MATERIAL WITH A SUITABLE BEARING CAPACITY.
6. CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATION OR CERTIFICATIONS AS TO THE QUANTITY OF MATERIAL NEEDED OR TO BE REMOVED FOR THE SUCCESSFUL CONSTRUCTION OF THE PROJECT. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY THE QUANTITY OF MATERIAL NEEDED OR TO BE REMOVED TO SUCCESSFULLY CONSTRUCT THE PROJECT.
7. IN THE EVENT THAT FIELD CONDITIONS ARE DIFFERENT THAN WHAT IS PRESENTED IN THIS PLAN SET, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO NOTIFY CRONIN ENGINEERING, P.E., P.C. PRIOR TO CONTINUING WITH ANY FURTHER SITE WORK.
8. IF UNFORESEEN SUBSURFACE CONDITIONS ARE ENCOUNTERED (I.E. ROCK, GROUNDWATER, ETC.), THE OWNER AND/OR CONTRACTOR SHALL STOP WORK AND NOTIFY CRONIN ENGINEERING, P.E., P.C. ALL NECESSARY MODIFICATIONS OR CHANGES SHALL BE DISCUSSED WITH AND APPROVED BY CRONIN ENGINEERING, P.E., P.C. PRIOR TO CONTINUING WITH ANY FURTHER SITE WORK. FURTHERMORE, THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
9. IT IS THE OWNER AND/OR CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW OSHA, NYS AND ANY OTHER APPLICABLE CODES OR REQUIREMENTS THROUGHOUT THE DURATION OF THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO PROVIDING ADEQUATE BRACING AND GUARANTEEING THE STABILITY OF EXCAVATIONS AND OTHER VICINITY STRUCTURES.
10. CRONIN ENGINEERING, P.E. P.C. MAKES NO REPRESENTATION AS TO THE QUALITY (I.E. CONTAMINATION), IF ANY, OF THE SOILS ON THIS SITE. THE OWNER AND/OR CONTRACTOR ARE RESPONSIBLE TO CONDUCT ANY AND ALL TESTING AS MAY BE REQUIRED TO ENSURE THE SITE HAS NO CONTAMINATED SOILS.
11. CRONIN ENGINEERING, P.E. P.C. MAKES NO REPRESENTATION AS TO THE SOIL BEARING CAPACITY OF THE SOILS ON SITE. THE OWNER AND/OR ARCHITECT ARE RESPONSIBLE TO CONDUCT ANY AND ALL TESTING AS MAY BE REQUIRED TO ENSURE THE CONSTRUCTION OF THE FOUNDATION MEETS THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE AND THE BUILDING CODE OF THE TOWN OF LEWISBORO. FOUNDATION DESIGN IS NOT PROVIDED BY THIS OFFICE AND IS THE RESPONSIBILITY OF THE OWNER/ARCHITECT/BUILDER.
12. THE OWNER/BUILDER/ARCHITECT ARE RESPONSIBLE TO ENSURE THAT THE BUILDING FOUNDATION MEETS ALL CITY CODES AND THE NEW YORK STATE RESIDENTIAL BUILDING CODE. IF UNSUITABLE MATERIAL IS ENCOUNTERED, THE OWNER SHALL MAKE PROVISIONS (I.E. DEEPER FOOTING, SPREAD FOOTING, GRADE BEAMS, PILES, ETC.) AS NECESSARY TO ENSURE A CODE COMPLIANT FOUNDATION TO THE SATISFACTION OF THE TOWN OF LEWISBORO BUILDING DEPARTMENT.

LOCATION MAP SCALE: 1" = 300'

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50 0 25 50
SCALE: 1" = 50 FT.

OWNER/DEVELOPER

JEFF GECAJ
924 ROUTE 35
CROSS RIVER (TOWN OF LEWISBORO), NY 10518

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REVISIONS

#	REASON	DATE
1	PLANNING BOARD AND STAFF COMMENTS	01/25/24

MUNICIPAL TAX IDENTIFICATION:

SECTION:	0020
BLOCK:	10801
LOT:	156
SUBLOT:	-----
DRAWN BY:	AD
CHECKED:	KCS
PROJECT:	GECAJ
DATE:	SEPTEMBER 26, 2023
JOB #:	230315

STATE OF NEW YORK · PATRICK MICHAEL BELL · 087679 · LICENSED PROFESSIONAL ENGINEER

PATRICK M. BELL, PE
LICENSE #087679

CRONIN ENGINEERING
PROFESSIONAL ENGINEERING & CONSULTING
(914) 736-3664

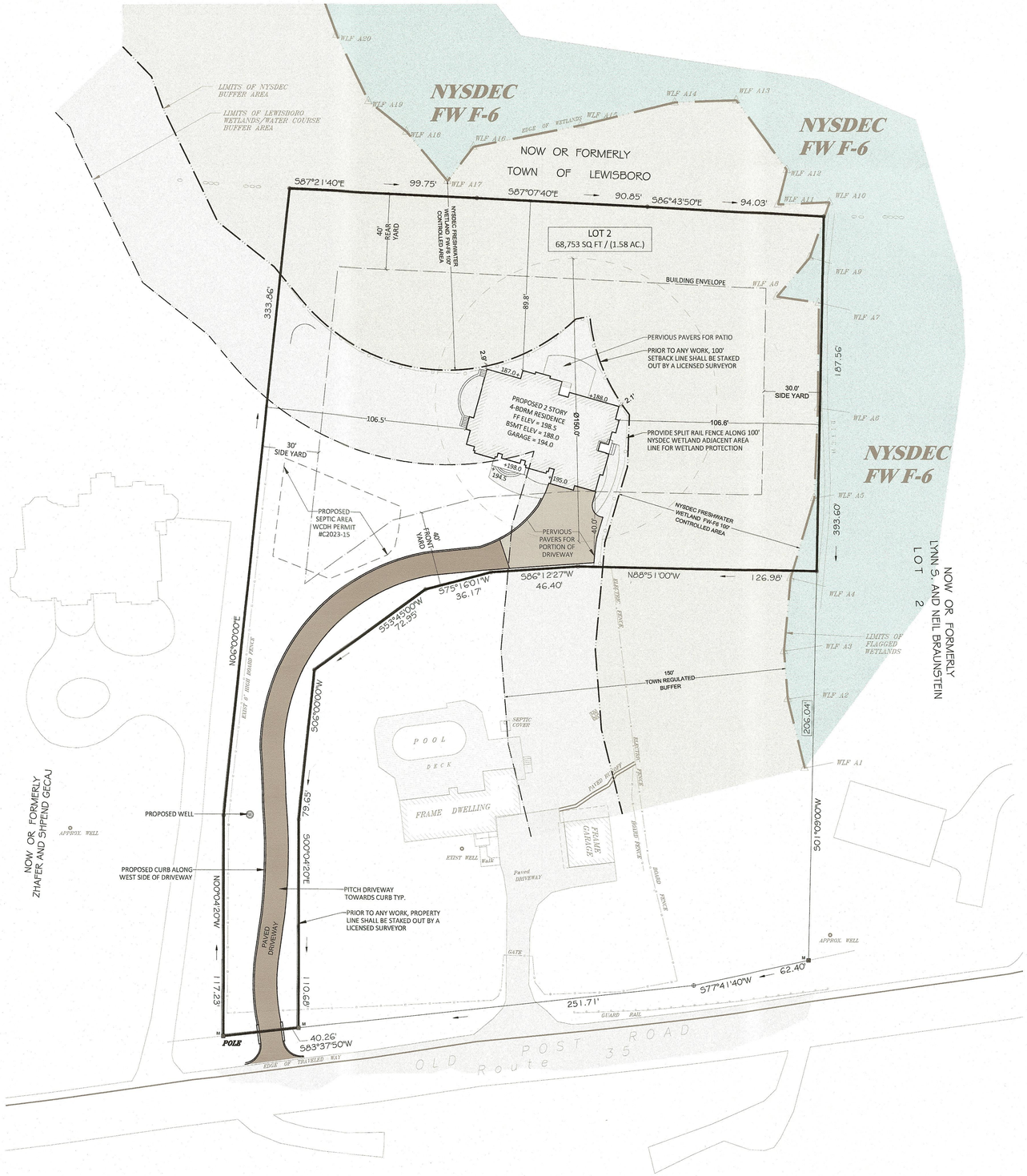
39 Arlo Lane
Cortlandt Manor, New York 10567

EXISTING CONDITIONS PLAN

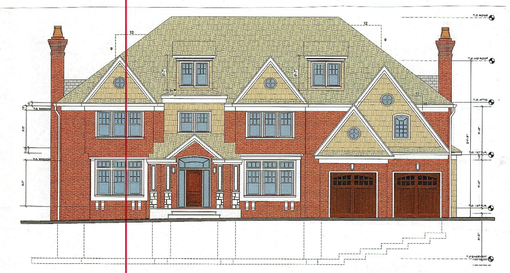
SITE DEVELOPMENT PLAN
FOR
926 OLD POST ROAD

LOCATION:
926 OLD POST ROAD (ROUTE 35)
CROSS RIVER (TOWN OF LEWISBORO), NEW YORK 10518

SHEET 1 OF 4 | EX-1.1



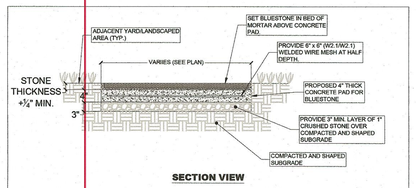
SITE LAYOUT AND ZONING PLAN
SCALE: 1" = 30'



PROPOSED HOUSE EXTERIOR FRONT ELEVATION
SOURCE: TOM ABILLAMA ARCHITECTURE AND PLANNING N.T.S

ZONING DATA CHART - R-1A
(ONE FAMILY RESIDENCE DISTRICT)

LOT DESCRIPTION	LOT AREA (AC.)	LOT CIRCLE (FT)	BUILDING HEIGHT (FT)	FRONT YARD (FT)	SIDE YARD (FT)	REAR YARD (FT)	BUILDING COVERAGE (%)
MINIMUM REQUIRED	1	150	35	40	30	40	12
PROPOSED	1.58	> 150	< 35'	40.0	106.5	89.8	4.28

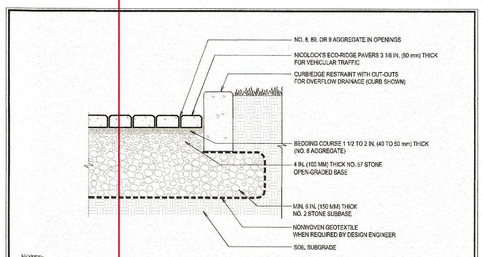


SECTION VIEW

BLUESTONE WALKWAY NOTES

1. THE CONCRETE PAD SHALL BE PLACED IN ONE COURSE TO THE FULL DEPTH.
2. TRANSVERSE EXPANSION JOINTS SHALL BE PLACED TO THE FULL DEPTH IN THE CONCRETE PAD AND SHALL BE SPACED 20 FEET APART.
3. CONTRACTOR SHALL PREVENT AGAINST ANY LOW SPOTS WHERE RAIN WATER CAN COLLECT.

BLUESTONE PATIO/WALKWAY INSTALLATION NTS



NOTES:
1. SUBGRADE MUST HAVE ADEQUATE BEARING CAPACITY AND BE SUITABLE FOR INFILTRATION PRACTICES. DO NOT COMPACT UNLESS SPECIFIED BY DESIGN ENGINEER.
2. PAVERS, AGGREGATE BASE, AND SUBBASE MUST BE PROPERLY COMPACTED.
3. NO. 2 STONE MAY BE REPLACED WITH NO. 3 OR NO. 4 STONE.
4. PAVERS SHALL BE INSTALLED WITH A SURFACE TOLERANCE OF ±3/8" OVER 10 FT. WITH NO PAVER LIPPAGE GREATER THAN 1/8".
5. CONSULT ICPI'S CURRENT PERMEABLE PAVEMENT DESIGN MANUAL FOR DESIGN AND INSTALLATION INFORMATION.

NICOLOCK We're paving a whole new way.

TITLE: NICOLOCK'S ECO-RIDGE - PERMEABLE PAVEMENT WITH FULL EXFILTRATION TO SOIL SUBGRADE

SCALE: NOT TO SCALE

PERVIOUS PAVER DETAIL

LOCATION MAP SCALE: 1" = 300'

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30 0 15 30
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OWNER/DEVELOPER

JEFF GECAJ
924 ROUTE 35
CROSS RIVER (TOWN OF LEWISBORO), NY 10518

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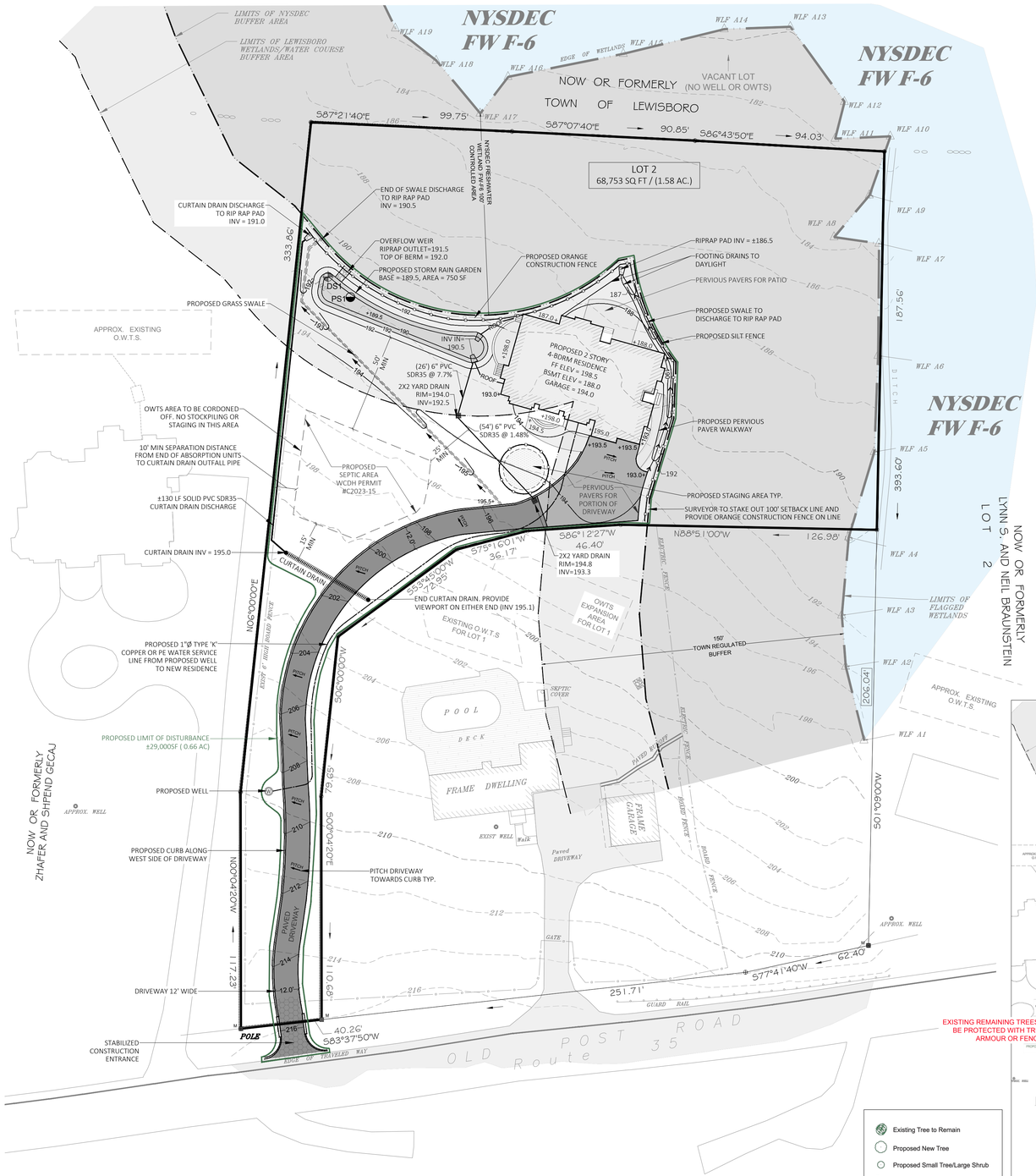
SITE LAYOUT AND ZONING PLAN

SITE DEVELOPMENT PLAN
FOR
926 OLD POST ROAD

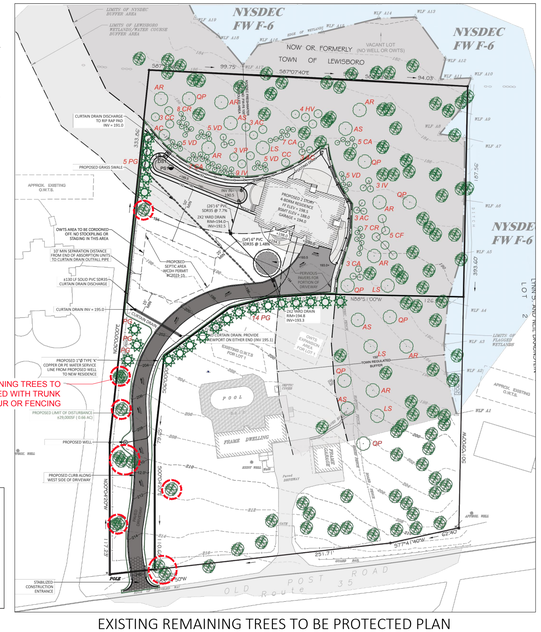
LOCATION:
926 OLD POST ROAD (ROUTE 35)
CROSS RIVER (TOWN OF LEWISBORO), NEW YORK 10518

SHEET 2 OF 4 | SP-2.1



UTILITY, GRADING, EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 30'

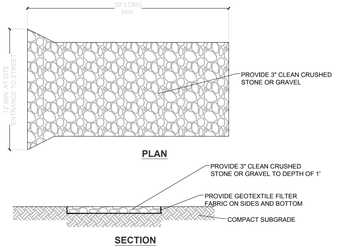


EXISTING REMAINING TREES TO BE PROTECTED PLAN

SCALE: NTS

SOURCE: PLAN PREPARED BY TIM MILLER ASSOCIATES

- Existing Tree to Remain
- Proposed New Tree
- Proposed Small Tree/Large Shrub
- Proposed Shrub Mass



INSTALLATION NOTES:

1. STONE SIZE SHALL BE 3" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT ONLY.
2. LENGTH SHALL BE AS SHOWN BUT NOT LESS THAN 30'
3. THE THICKNESS SHALL BE NO LESS THAN 12" AT THE CONSTRUCTION ENTRANCE.
4. THE WIDTH SHALL BE 12' AT A MINIMUM BUT NOT LESS THAN THE FULL WIDTH OF THE TRAVELED WAY.
5. FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACING OF ANY STONE. FILTER FABRIC WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE CONSTRUCTION.
6. IF SURFACE WATER IS FLOWING TOWARD THE CONSTRUCTION ENTRANCE, IT SHALL BE PIPED UNDERNEATH THE STABILIZED ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SIDE SLOPES SHALL BE PERMITTED.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT FROM CONSTRUCTION INTO THE PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO CAPTURE SEDIMENT. ANY SEDIMENT TRACKED, DROPPED OR WASHED INTO PUBLIC RIGHT OF WAY SHALL BE REMOVED IMMEDIATELY.
8. WHEELS OF CONSTRUCTION VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING ONTO THE PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROPRIATE SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL GRADE IS ACHIEVED.

N.T.S.

STABILIZED CONSTRUCTION ENTRANCE

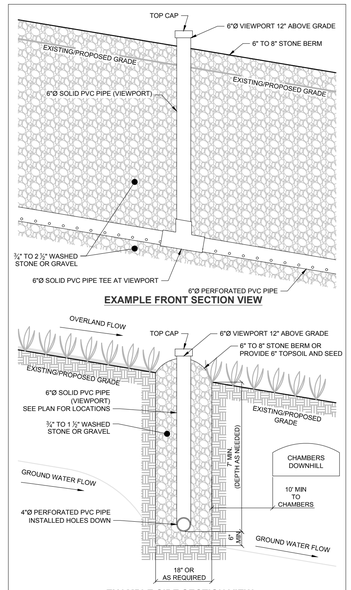
LIMIT OF DISTURBANCE

DESCRIPTION	AREA
WITHIN NYSDEC WETLAND	0.00
WITHIN NYSDEC BUFFER	0.00
WITHIN TOWN BUFFER	13,000 SF (0.30 AC)
OUTSIDE OF ALL BUFFERS	16,000 SF (0.36 AC)
TOTAL ON-SITE	±29,000 SF (0.66 SC)

LIMITS OF DISTURBANCE INCLUDE: THE CONSTRUCTION OF THE NEW RESIDENCE, THE CONSTRUCTION OF THE DECKS, PATIOS, DRIVEWAYS AND WALKWAYS, AND THE INSTALLATION OF DRAINAGE IMPROVEMENTS AND OTHER UTILITIES. PLACE ORANGE CONSTRUCTION FENCE ON LIMITS OF DISTURBANCE.

EROSION CONTROL NOTE:

THE LIMIT OF DISTURBANCE LINE SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION.



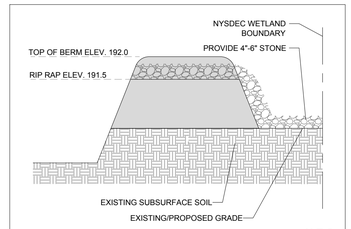
1. PROVIDE A MINIMUM DEPTH AS REQUIRED FROM GROUND SURFACE AT POINT WHICH CURTAIN DRAIN IS INSTALLED.
2. PROVIDE A MINIMUM SEPARATION DISTANCE OF 15' FROM EDGE OF CURTAIN DRAIN TO EDGE OF ANY "DOWNHILL" ABSORPTION TRENCH / CHAMBER.
3. PROVIDE A MINIMUM SEPARATION DISTANCE OF 50' FROM EDGE OF CURTAIN DRAIN TO EDGE OF ANY "UPHILL" ABSORPTION TRENCH / CHAMBER.
4. OUTLET PIPE TO DISCHARGE BELOW EXPANSION SYSTEM AREA.

CURTAIN DRAIN

N.T.S.

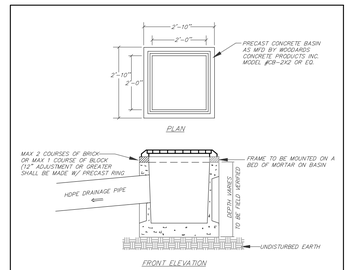
PIPE CHART

PIPE LOCATION	TYPE
ROOF LEADERS	4"Ø SOLID PVC SDR35 AT 1% MIN SLOPE
FOOTING DRAINS	4"Ø PERFORATED HDPE
FOOTING DRAIN DISCHARGE	4"Ø SOLID HDPE AT 1% MIN SLOPE
WATER SERVICE	1"Ø TYPE "K" COPPER OR PE PIPE
STORM PIPE	6"Ø SOLID PVC SDR35
SEPTIC FORCE LINE	1-1/2"Ø PE PIPE
RAW SEPTIC LINE	4"Ø SOLID PVC SDR35 OR CAST IRON



N.T.S.

OVERFLOW WEIR



INSTALLATION NOTES:

1. YARD DRAIN SHALL BE PRECAST CONCRETE STRUCTURE AS MANUFACTURED BY WOODARDS CONCRETE PRODUCTS OR APPROVED EQUIVALENT.
2. PROVIDE CAMPBELL FOUNDRY FRAME AND GRATE MODEL #2815 OR EQUAL
3. YARD DRAIN TO BE CONSTRUCTED OF 4000 PSI CONCRETE.
4. BASINS MUST BE DESIGNED FOR H-20 LOADING
5. ALL BACKFILL AROUND STRUCTURES (I.E. MANHOLES, CATCH BASINS, ETC) MUST BE COMPACTED TO 95% PROCTOR DENSITY TO AVOID SETTLEMENT OF MATERIAL AROUND THE STRUCTURE.
6. SIZE, MATERIAL, PITCH AND INVERT ELEVATIONS OF ALL PIPING TO BE AS SPECIFIED ON SITE DEVELOPMENT PLANS.
7. GRATE INVERTS SHALL BE SET AS SHOWN ON THE SITE DEVELOPMENT PLANS.
8. ALL PIPE ENDS SHALL BE CUT FLUSH WITH INSIDE WALL OF YARD DRAIN AND SEALED WITH GROUT
9. BASINS TO BE CHECKED PERIODICALLY DURING CONSTRUCTION BY A QUALIFIED INSPECTOR AND CLEANED OUT AS NECESSARY DURING CONSTRUCTION.

YARD DRAIN

N.T.S

LOCATION MAP SCALE: 1" = 300'

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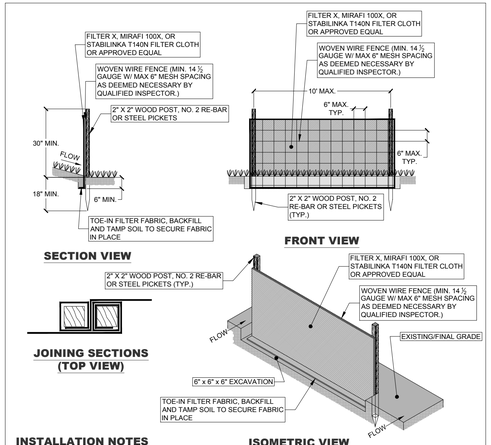
UTILITY, GRADING, SEDIMENT & EROSION CONTROL PLAN

SITE DEVELOPMENT PLAN
FOR
926 OLD POST ROAD

LOCATION:
926 OLD POST ROAD (ROUTE 35)
CROSS RIVER (TOWN OF LEWISBORO), NEW YORK 10518

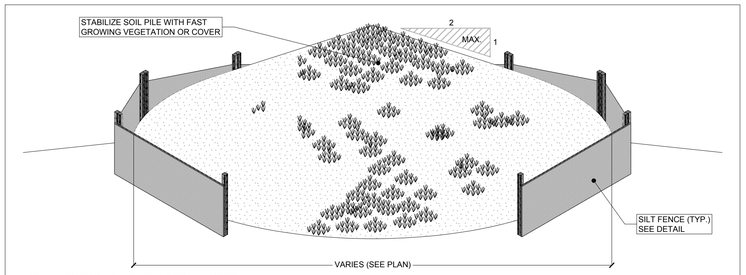
SHEET 3 OF 4 | SP-2.2



INSTALLATION NOTES

1. **EXCAVATE A 4 INCH X 4 INCH TRENCH ALONG THE LOWER SIDE OF A SLOPE AS SPECIFIED ON SITE PLAN.**
2. **UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNHILL) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF STORM WATER FLOW).**
3. **DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.**
4. **LAY THE TOE-IN FLAP OF FABRIC FLAT IN THE BOTTOM OF THE TRENCH AND BACKFILL THE TRENCH AND TAMP THE SOIL OVER THE FLAP TO SECURELY HOLD THE FABRIC IN PLACE. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.**
5. **JOIN SECTIONS AS SHOWN ABOVE.**
6. **PREFABRICATED UNITS SHALL BE OF TYPE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.**

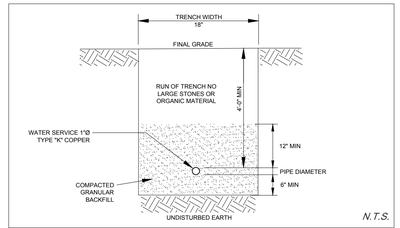
SILT FENCE INSTALLATION NTS



SOIL STOCKPILE INSTALLATION NOTES

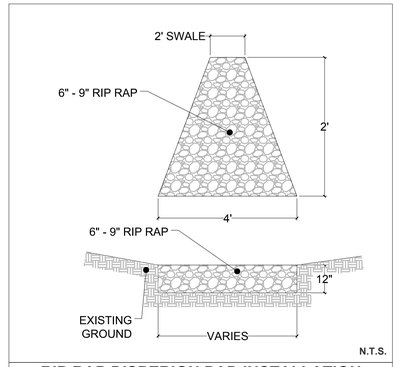
1. **AREA CHOSEN FOR STOCK PILING OPERATIONS TO BE DRY AND STABLE.**
2. **MAXIMUM SLOPE OF PILE TO BE 1 VERTICAL ON 2 HORIZONTAL.**
3. **REFER TO SILT FENCE INSTALLATION DETAILS IN THIS PLAN SET FOR INSTALLATION GUIDELINES.**

SOIL STOCKPILE NTS



N.T.S.

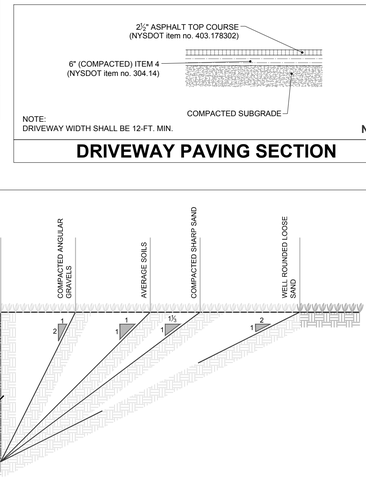
INDIVIDUAL LOT WATER SERVICE TRENCH



N.T.S.

RIP RAP DISPERION PAD INSTALLATION

LOCATION MAP SCALE: 1" = 300'



NOTE:
DRIVEWAY WIDTH SHALL BE 12-FT. MIN.

N.T.S.

DRIVEWAY PAVING SECTION

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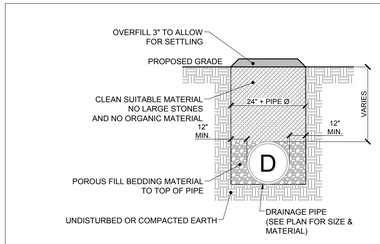


SEWER SERVICE INSTALLATION NOTES:

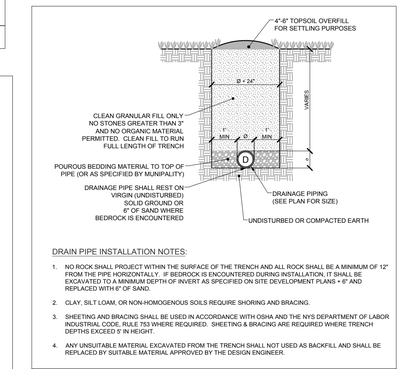
1. THE CONTRACTOR SHALL CALL IN A "CODE 753" PRIOR TO EXCAVATION.
2. ALL DRAINAGE PIPING TO BE AS SPECIFIED ON SITE DEVELOPMENT PLANS.
3. DRAINAGE PIPING SHALL HAVE A MINIMUM OF 1'-0" COVER OVER PIPE. IF THIS IS NOT POSSIBLE THE OWNER/APPLICANT SHALL CONTACT THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
4. DRAINAGE PIPE RUNS SHALL HAVE A MINIMUM SLOPE OF 0.5%.
5. NO ROCK SHALL PROJECT WITHIN THE SURFACE OF THE TRENCH AND ALL ROCK SHALL BE A MINIMUM OF 12" FROM THE PIPE HORIZONTALLY. IF BEDROCK IS ENCOUNTERED DURING INSTALLATION, IT SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 6" BELOW BOTTOM OF PIPE AND REPLACED WITH 6" OF SAND.
6. DEBRIS, FROZEN MATERIAL, LARGE CLODS OR STONES, ORGANIC MATTER OR OTHER UNSUITABLE MATERIALS SHALL NOT BE USED AS BACKFILL.
7. BACKFILL SHALL BE PLACED SO AS NOT TO DISTURB THE PIPE ALIGNMENT.
8. SELECT AND BACKFILL MATERIAL SHALL BE PLACED IN 12" LIFTS (PRIOR TO COMPACTION) AND COMPACTED WITH A MECHANICAL TAMPER.
9. CLAY, SILT LOAM OR NON SOILS REQUIRE SHORING AND BRACING. SHEETING AND BRACING SHALL BE USED IN ACCORDANCE WITH OSHA AND THE NYS DEPARTMENT OF LABOR INDUSTRIAL CODE, RULE 753 WHERE REQUIRED. SHEETING & BRACING ARE REQUIRED WHERE TRENCH DEPTHS EXCEED 5' IN HEIGHT.

DRAINAGE PIPE INSTALLATION N.T.S.

TRENCH EXCAVATION & SLOPING NOTES:

1. SHEETING AND BRACING SHALL BE USED IN ACCORDANCE WITH OSHA AND THE NYS DEPARTMENT OF LABOR INDUSTRIAL CODE, RULE 753 WHERE REQUIRED. SHEETING & BRACING ARE REQUIRED WHERE TRENCH DEPTHS EXCEED 5' IN HEIGHT.
2. CLAY, SILT, LOAM OR NON-HOMOGENOUS SOILS REQUIRE SHORING AND BRACING. PRESENCE OF GROUND WATER REQUIRES SPECIAL TREATMENT
3. SOURCE- U.S. DEPARTMENT OF LABOR (OSHA)

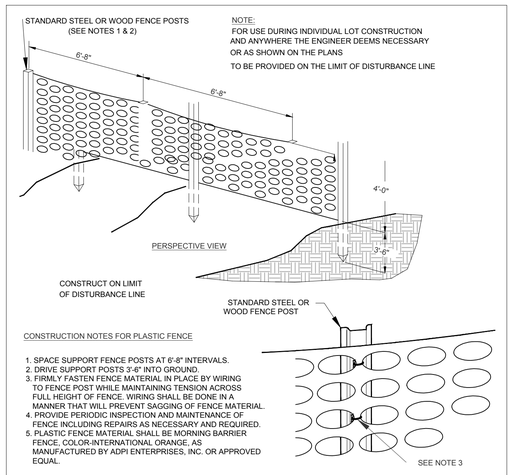
TRENCH EXCAVATION & SLOPING N.T.S.



DRAIN PIPE INSTALLATION NOTES:

1. NO ROCK SHALL PROJECT WITHIN THE SURFACE OF THE TRENCH AND ALL ROCK SHALL BE A MINIMUM OF 12" FROM THE PIPE HORIZONTALLY. IF BEDROCK IS ENCOUNTERED DURING INSTALLATION, IT SHALL BE EXCAVATED TO A MINIMUM DEPTH OF INVERT AS SPECIFIED ON SITE DEVELOPMENT PLANS + 6" AND REPLACED WITH 6" OF SAND.
2. CLAY, SILT LOAM, OR NON-HOMOGENOUS SOILS REQUIRE SHORING AND BRACING.
3. SHEETING AND BRACING SHALL BE USED IN ACCORDANCE WITH OSHA AND THE NYS DEPARTMENT OF LABOR INDUSTRIAL CODE, RULE 753 WHERE REQUIRED. SHEETING & BRACING ARE REQUIRED WHERE TRENCH DEPTHS EXCEED 5' IN HEIGHT.
4. ANY UNSUITABLE MATERIAL EXCAVATED FROM THE TRENCH SHALL NOT USED AS BACKFILL AND SHALL BE REPLACED BY SUITABLE MATERIAL APPROVED BY THE DESIGN ENGINEER.

LEADER AND FOOTING DRAIN PIPE INSTALLATION W/O PAVEMENT RESTORATION N.T.S.



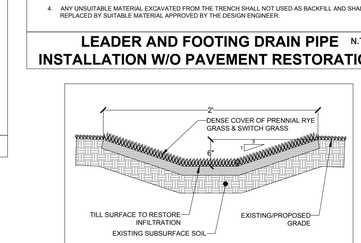
NOTE:
FOR USE DURING INDIVIDUAL LOT CONSTRUCTION AND ANYWHERE THE ENGINEER DEEMS NECESSARY OR AS SHOWN ON THE PLANS
TO BE PROVIDED ON THE LIMIT OF DISTURBANCE LINE

CONSTRUCTION NOTES FOR PLASTIC FENCE

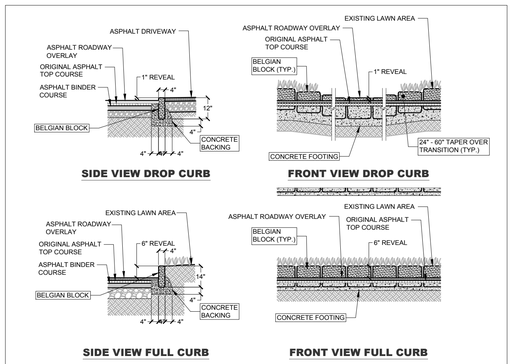
1. SPACE SUPPORT FENCE POSTS AT 6'-8" INTERVALS.
2. DRIVE SUPPORT POSTS 3'-6" INTO GROUND.
3. FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WIRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WIRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
4. PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
5. PLASTIC FENCE MATERIAL SHALL BE MORNING BARRIER FENCE, COLOR-INTERNATIONAL ORANGE, AS MANUFACTURED BY ADPI ENTERPRISES, INC. OR APPROVED EQUAL.

CONSTRUCTION FENCE N.T.S.

PROVIDE AS DEEMED NECESSARY BY THE DESIGN ENGINEER



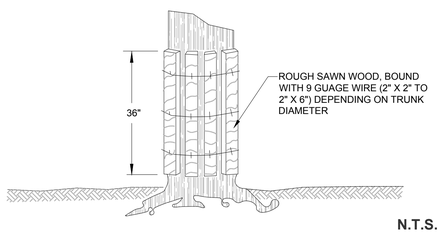
GRASS SWALE CONSTRUCTION N.T.S.



NOTES

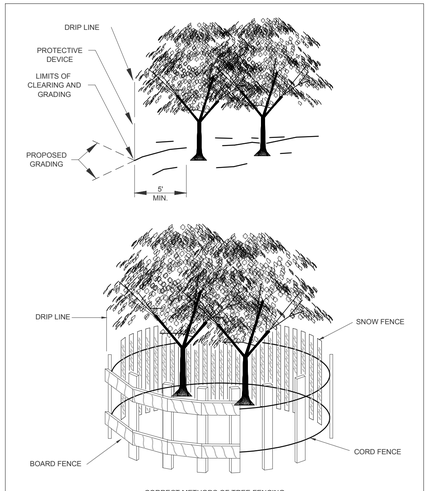
1. ALL CONCRETE FOR FOOTINGS & BACKING TO TEST 3,000 P.S.I. AT 28 DAYS.
2. PROVIDE ⅝" JOINTS BETWEEN BLOCKS AND FILL WITH CONRETE MORTAR.
3. EXTREME CARE SHOULD BE TAKEN DURING EXCAVATION SO THAT THE EXISTING PAVED ROADWAY, PARKING & DRIVEWAY AREAS ARE NOT UNDERMINED. AREAS EXCAVATED BETWEEN PAVEMENT AND THE CURBING SHALL BE PROMPTLY FILLED WITH CONCRETE OR K-CRETE.
4. BELGIAN BLOCKS SHALL BE 14"H x 18"L x 4"W.
5. A 6" REVEAL SHALL BE MAINTAINED ON ALL CURBING EXCEPT FOR AT AREAS OF DRIVEWAY INTERSECTIONS WHICH SHALL BE PROVIDED WITH A 1" REVEAL AS SHOWN.
6. IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING CURB INSTALLATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE AND REPLACE WITH WELL COMPACTED SELECT MATERIAL AT THE DIRECTION OF THE DESIGN ENGINEER.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE WORK ZONE IN A SAFE MANNER IN ACCORDANCE WITH CFR-29-LABOR, PART 1926-OSHA.

BELGIAN BLOCK CURB INSTALLATION NTS



N.T.S.

TREE TRUNK ARMOR INSTALLATION



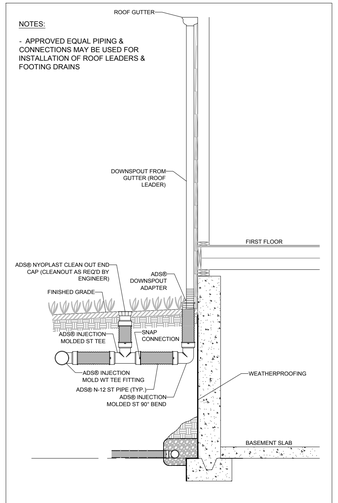
CORRECT METHODS OF TREE FENCING

TREE AND ROOT PROTECTION

1. CONSTRUCTION EQUIPMENT, TRUCKS OR OTHER VEHICLES SHOULD NOT BE PARKED OR OPERATED UNDER THE CANOPY OF TREES TO BE SAVED.
2. PETROLEUM PRODUCTS AND CHEMICALS SHOULD NOT BE STORED, SPILLED, OR DUMPED UNDER PROTECTED TREE CANOPIES.
3. EXCAVATION OR STOCKPILING BENEATH PROTECTED TREES IS NOT ACCEPTABLE.
4. IN NO CASE SHALL BOARDS OR FENCES BE NAILED TO PROTECTED TREES.

N.T.S.

TREE PROTECTION FENCING INSTALLATION



NOTES:

- APPROVED EQUAL PIPING & CONNECTIONS MAY BE USED FOR INSTALLATION OF ROOF LEADERS & FOOTING DRAINS

ROOF LEADERS N.T.S.

30 0 15 30

SCALE: 1" = 30 FT.

OWNER/DEVELOPER

JEFF GECAJ
924 ROUTE 35
CROSS RIVER (TOWN OF LEWISBORO), NY 10518

- UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.
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REVISIONS

#	REASON	DATE
1	PLANNING BOARD AND STAFF COMMENTS	01/25/2024

MUNICIPAL TAX IDENTIFICATION:

SECTION:	0020
BLOCK:	10801
LOT:	156
SUBLOT:	-----
DRAWN BY:	AD
CHECKED:	KCS
PROJECT:	GECAJ
DATE:	SEPTEMBER 26, 2023
JOB #:	230315

STATE OF NEW YORK · PATRICK MICHAEL BELL · 087679 · LICENSED PROFESSIONAL ENGINEER

PATRICK M. BELL, PE
LICENSE #087679

CRONIN ENGINEERING
PROFESSIONAL ENGINEERING & CONSULTING
(914) 736-3664

39 Arlo Lane
Cortlandt Manor, New York 10567

CONSTRUCTION DETAILS

SITE DEVELOPMENT PLAN
FOR
926 OLD POST ROAD

LOCATION:
926 OLD POST ROAD (ROUTE 35)
CROSS RIVER (TOWN OF LEWISBORO), NEW YORK 10518

SHEET 4 OF 4 | CD-3.1

GENERAL NOTES

Contractor shall visit site and shall be responsible for verification of all dimensions, conditions, which pertain to the fabrication processes, or to techniques for construction and coordination of the work of all trades, prior to start of construction.

All discrepancies shall be brought to the attention of architect before proceeding. The elevations and availability of utilities, sewer, water and electric lines shall be verified by or determined by interested contractors prior to submission of bid.

Contractors shall adjust pitch of new lines to insure proper and legal intersections. Contractor shall coordinate locations for structural, mechanical and electrical work for all pits, slab depressions, sleeves in foundation walls, slabs, and roof openings, etc.

Contractor shall verify conditions of adjoining structures which may be affected, provide adequate protection and restore to original conditions, whence damage should result from such work. The contractor shall provide all necessary shoring and bracing for all building components in order to adequately protect against any failures.

Contractor shall secure and pay for any and all permits, licences, certificates, fees, etc., required by the local Department of Building or any and all jurisdiction authorities. Contractor shall obtain a final Certificate of Occupancy upon completion.

All work must conform to the local Department of Buildings, Fire Department laws, rules and to all regulations of all authorities having jurisdiction whether specifically shown or not. [O.S.H.A. regulations must also be adhered to]. All electric work must conform to National Electric Code

Any item shown on one sheet shall be as if called for by all sheets. Final coordiantion is the responsibility of the Contractor. Contactor shall not scale drawings and shall use figured dimensions only. The General Conditions of the Contract for Construction of Buildings,[standard form of A.I.A. latest edition A201], are part of the contract documents.

Work included in these contract documents to be all labor, materials, and equipment, required to complete the proposed construction as shown . Work included in this contract shall be according to the true intent of the drawings and shall be first class in all respects.

Subcontractors shall guarrantee, in writing to the owner at conclusion of job, all materials and workmanship for a minimum of one year after substantial completion.

The architect has not been retained for supervision or periodic field observations and assumes no responsibility for safety methods on site. The owner and contractor shall hold harmless the architect from and against all claims, damages, losses and expenses including attorney's fees arising out of or resulting from the performance of the work by the contractor.

Contractor shall apply taping compound in 3 coats to all joints of all sheetrock, shall provide two coat high gloss paint in the kitchen area and a satin finish coat at all other areas. including ceilings. Contractor to provide new ceramic tile throughout kitchen, bathrooms, laundry rooms and all other wet floor areas. Colors as selected by owner. Subcontractor is to provide all finish hardware as required by the owner for all new doors.

ROUGH CARPENTRY

1.Framing and structural lumber: Douglas Fir #1, Fb=1050 psi, E=1,600,000 , Fv=95 psi. All joists and rafters to have diagonal bridging. 8'-0" o.c. maximum. Solid blocking under ceramic tile. Members of built—up girders, headers or lintels shall be spiked or bolted together to act as one unit .

2. Cross bridging of joists 1- 1/4" x 3" max, 8'-0" o.c. Collar ties at cathedral ceilings, 2-2 x 6 @ 4'-0" o.c. max. Exterior carpentry at porches shall be c.c.a. treated as indicated on drawings. Ornamental posts shall be of a nominal size 6"x6" — pine.

3. Wood deck, 5/4" thick T & G Redwood decking. Deck shall pitch slightly for water runoff.

4. Plywood shall meet the requirements of APA requirements and specifications:

5. Wall and roof sheathing: 5/8" thick, C-D—Ext-Apa, Exterior glue

6. Subflooring : 5/8" thick, C—D—Ext—Apa, exterior glue underlayment; 5/8" thick—

7. Underlayment INT-APA Exterior glue

8. All wood beams to have a minimum bearing of 4". Double all joists under all partitions.

9. All details of construction; lintels, headers, posts, beams, framing, nailing, etc. shall comply with all minimum standards of New York State Code.

10. Contractor to do all necessary firestopping of stud partitions and pipe chases, as required by N.Y. State Code whether specifically shown or not.

11. Lumber schedule: Miscellanous lumber, furring, bridging, blocking to be grade #2 of any species ample in strength to meet the requlerments thereof.

12.Wooden trimmers, headers, and tail joists over six feet in length, unless supported on walls or girders, shall be hung in approved metal stirrups, or hangers.

13. Every six feet, at least one beam or joist which rests on masonry walls, shall be secured to such walls by approved metal anchors attached in a manner at or near bottom to be self releasing.

14. The ends of wooden beams and joists resting on masonry walls shall be cut to a bevel of three inches in their depth. All girders to bear minimum of 8" on masonry.

15. Provide shelf and coat pole in all closets with five shelves in linen closet. 16. Finish woodwork shall be dressed and sanded, free from machine and tool marks, abrasions raised grain or other defects on surfaces exposed to view in the finished work.

17. Wood finish shall be set straight, plumb and level in true alignment, closely fitted and rigidly secure in place. Nail heads of exposed nailing shall be countersunk. All work shall be left clean, free from warp, twist, open joints and other defects.

18. Interior miscellaneous finish carpentry and woodwork to be "C" select of white pine, oak, or yellow poplar.

19. Interior doors to be clear birch, stain grade.

20. Caulk at all doors and window frames, joints and other surfaces which require the closing of a joint between any two surfaces not of the same material. Caulking compound shall be silicone equal to thickol sealant by Toch Brothers.

21. Contractor to do all flashing required whether specifically shown or not. Tape and apply taping compound in 3 coats to all joints of all sheetrock.

STEEL NOTES

1- All Structural Steel Shall Conform With Aisc Specifications For Structural Steel For Buildings, And Shall Be Based On Astm-a36 With Minimum Yield Point Of 36,000psi.

2- All Connection Material Shall Conform To Astm Requirements:
A) High Strength Bolts : A325.
B) Welding Electrodes : Aws-a5.1, E70 Series.
C) Bolts Shall Be 3/4" Diameter.
D) Open Holes Shall Be 13/16" Diameter, Unless Otherwise Indicated.

3- All Welding Shall Be Done By Licensed Welders And Shall Be Inspected By Approved Welding Agency.

4- Provisions Shall Be Made For Connections Of Other Trades Prior To Fabrication.

5- All Steel Members Shall Have Shop Coat Of Primer.

6- Loose Lintels Shall Have 6" Bearing Each End.

ELECTRICAL NOTES

work related to these documents shall include furnishing and instalation of of every kind of wire/conduit required to make the electric light and power distribution system complete, i.e. providing and connecting service entrance equipment, lighting panels, power panels, switches, outlets, receptacles, back boxes,related components required by the local utility company of all fixtures complete with lamps, clamps, hangers, supports, etc.
all electric work shall comply with the requirements of the national electric code, latest edition. should a conflict arise, the code or more stringent requirements shall prevail.

all wiring shall be copper, #12 awg minimum size - #8 and smaller to be solid, #6 and larger to be stranded. insulation to be nec 600 volt type, rated @ 75 degrees c and be properly phase color coded for 120/208 v. 3 phase 4-wire service.

unless noted otherwise, minimum size conduit shall be 1/2" and number of cross marks indicate number of #12 conductors in conduit. type of conduit used shall be in strict accordance with code provisions concerning same. all conduit runs are to be concealed in floors, walls, and ceilings, except where noted otherwise.

electrical installation shall be tested for shorts, grounds, operation of low voltage circuitry, night light wiring, stand-by generator and connections to same, etc. defects shall be remedied at once and the tests re-run as many times as may be required to prove correctness. balance all phase loading of all panelboards.

the circuits shall be distinctly numbered and identified on the schedule of circuits typewritten to the panelboard. affix permanent identifying nameplates to all electrical switches,pilot devices, selector switches, etc. submit samples and list of titles for approval prior to purchase and installation.

PLUMBING NOTES

installation of all work herein specified shall conform to the requirements of plumbing code, rules and regulations of the Department of Building, and all other local authorities having jurisdiction, including federal o.s.h.a. specifications.

All materials used shall be new, best of their respective brands and conform to the requirements of all state and local authorities having jurisdiction. pipework installed under this contract shall be in accordance with the following schedule:

material

soil and waste lines(within building)above grade- extra heavy cast iron pipe or duv copper pipe with sweat solder connections;

below grade- extra heavy cast iron pipe. soil and waste lines [outside building] extra heavy cast iron pipe. vent pipingstandard weight galvanized pipe or type duv copper pipe with sweat solder joints. cold and hot water pipingunderground-typek with flare fittings.

above grade [within building] type l copper tube with lead free sweat solder connections

set clevis hangers for the support of copper piping not more than 10 ft on center. set hangers for cast iron pipe not more than 5 ft apart; use 3/8" rod for pipe up to 2" and 1/2" rod for pipes, 2 1/2" and larger. cover all cold water and hot water lines with 1" thick o-c fiberglass light density one piece pipe insulation having frk universal type vapor barrier outer jacket. install as per manufacturer's specifications. cover all valves and fittings with zeston premoulded insulating shapes.

REMOVAL NOTES AS APPLY

I. WORK INCLUDED

1. GENERAL REMOVALS AND RELOCATIONS:

1. REMOVE AND RELOCATE ALL EXISTING MISCELLANEOUS MECHANICAL AND ELECTRICAL DEVICES AND FIXTURES INCLUDING BUT NOT LIMITED TO: FIRE ALARM, PULLS STATIONS, POWER OUTLETS, LIGHT SWITCHES, THERMOSTATS AND TELEPHONE OUTLETS AS REQUIRED FOR THE INSTALLATION OF NEW YORK.

2. REMOVE ALL ITEMS, MATERIALS AND FINISHES REQUIRED FOR THE INSTALLATION OF NEW WORK, OR THE RELOCATION OF EXISTING, AS DESCRIBED IN PERTINENT SECTIONS OF THESE SPECIFICATIONS AND / OR SHOWN ON THE DRAWINGS INCLUDING STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.

3. EXISTING WIRING, PIPING OR OTHER LINES WITHIN WALLS OR CEILINGS TO BE REMOVED - VERIFY THAT THESE ARE ABANDONED PRIOR TO REMOVAL. RE-ROUTE ANY LINES THAT ARE STILL IN USE TO MAINTAIN ALL EXISTING SERVICES.

II. MATERIALS - (NA)

III. EXECUTION

1. ALL REMOVALS AND DEMOLITION SHALL BE IN COMPLIANCE WITH NYCRS 2010 CODE, AND ALL APPLICABLE SAFETY REGULATIONS.

2. ALL MATERIALS AND ITEMS THAT ARE TO BE REUSED AND RELOCATED IN CONJUNCTION WITH THE NYCRS SHALL BE CAREFULLY CUT AWAY FROM THE EXISTING ABUTTING WORK TRUE TO LINE AT THE NEAREST JOINT, SURFACE BREAK OR PATTERN LINE TO ENSURE NO NOTICEABLE DIFFERANCE BETWEEN NEW AND EXISTING TO REMAIN. REMOVALS SHALL BE KEPT TO A MINIMUM MATERIALS TO BE REUSED AND RELOCATED SHALL BE PROPERLY HANDLED, TAGGED AND PROPERLY STORED TO PREVENT DAMAGING AND BREAKING.

3. CAREFULLY COORDINATE ALL TRADES TO ENSURE PROPER AND ADEQUATE INTERFACE OF THE WORK.

4. WHEN WORK IS STOPPED, PROVIDE AND MAINTAIN IN PLACE SUITABLE COVERINGS AND BARRIERS FOR PROTECTION OF THE WORK AND SAFETY FOR ALL PERSONNEL AND BUILDING USERS. PROVIDE PROTECTED PATHS OF EGRESS, PER PHASING REQUIREMENTS, FOR CONTINUOUS PLUBLIC ACCESS TO STAIRS , ESCALATORS AND ENTRANCES/EXITS.

5. PROTECT ALL WORK, EXISTING AND NEW, FROM DAMAGE BY ANY CAUSE THROUGHOUT THE DEMOLITION OPERATIONS PROTECTIVE COVERINGS OR BARRIERS SHALL NOT MAR, STAIN OR PENETRATE THE FINISHED WORK.

6. COORDINATE ALL ELECTRICAL WORK FOR THE PROPER DISCONNECTIONS, PROTECTIONS AND CAPPINGS: SEE ELECTRICAL DRAWINGS AND SPECIFICATIONS.

7. UNDERTAKE WHATEVER PRECAUTIONS ARE NECESSARY TO PREVENT EXCESSIVE DUST DURING DEMOLITION.

8. REMOVE ALL PORTIONS OF THE WORK IN A SAFE MANNER WITH CARE TO PREVENT DAMAGE TO ADJACENT AND REMAINING STRUCTURE, FINISHES OR ANY OTHER ITEMS OF PROPERTY.

9. ALL MATERIALS UNLESS NOTED TO BE REUSED OR TO BE SALVAGED SHALL BE REMOVED OFF THE PROPERTY TO AN AVAILABLE DUMP OR SITE OF THE CONTRACTOR'S OWN CHOOSING AND ARE TO BE PROPERLY AND RESPONSIBLY DISPOSED OF.
NO BURNING OR ON-SITE DISPOSAL IS PERMITTED

10. VERIFY SALVAGE REQUIREMENTS FOR ALL MATERIALS NOTED TO BE REMOVED WITH SAFE HORIZON. MATERIALS NOTED TO BE SALVAGED SHALL BE PROPERLY STORED IN LOCATION PER SAFE HORIZON, INC. DIRECTIONS.

11. ALL SPACES ARE TO BE BROOM CLEANED DAILY.

12. ALL REMOVALS SHALL LEAVE THE EXISTING SURFACES AND SUBSTRATES FREE AND CLEAN FOR THE PROPER PATCHING AND PREPARATION REQUIRED FOR THE SPECIFIED NEW MATERIALS AND FINISHES.

SEPERATE APPLICATIONS :

- PLUMBING PERMIT
- ELECTRICAL PERMIT
- HVAC PERMITS

SCOPE OF WORK PERTAINS TO NEW ONE FAMILY DWELLING. THESE PLANS ARE BASED ON THE 2020 NYSRC, THE LEWISBORO MUNICIPAL CODE AND ALL APPLICABLE RULES AND REGULATIONS.

I, TOM F. ABILLAMA R.A. , HEREBY STATE THAT I HAVE PREPARED THESE PLANS AND SPECIFICATIONS, TO THE BEST OF MY KNOWLEDGE, IN COMPLIANCE WITH THE NEW YORK STATE ENERGY CODE OF 2020-R 103.2.2.S. -ZONE

TOM F. ABILLAMA , R.A. ARCHITECT

- 2020 RESIDENTIAL CODE OF NYS
-2020 PC OF NYS
-2020 FGC OF NYS
-2020 MC OF NYS
-2020 ENERGY STRETCH CODE OF NYS
-2017 NEC
-CNR MUNICIPAL CODE

FOUNDATIONS:
1- ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2 TONS PER SQ. FT.
2- EDGES OF FOOTINGS SHALL NOT BE PLACED AT A GREATER THAN 1 VERTICAL TO 2 HORIZONTAL SLOPE WITH
RESPECT TO ANY OTHER ADJACENT FOOTINGS.

CONCRETE:
1- ALL CONCRETE SHALL BE STONE AGGREGAGATE CONCRETE WITH AN ULTIMATE COMPRESSIVE STRENGTH OF
3500# PSI AFTER 28 DAYS.
2- WELDED WIRE FABRIC SHALL HAVE AN ULTIMATE STRENGTH OF 70,000 PSI.
3- ALL STEEL REINFORCEMENT SHALL BE DEFORMED ACCORDING TO ASTM-A615, GRADE 60 AND SHALL HAVE A YIELD POINT OF 40,000 PSI.

MASONRY:
1- CONCRETE BLOCK SHALL CONFORM TO ASTM C-145, GRADE N-1.
2- MORTAR SHALL CONFORM TO ASTM C-270 TYPE "M".
3- NO VINYLDINE CHLORIDE OR ANY UNAPPROVED CURING ADMIXTURE SHALL BE ALLOWED IN MORTAR MIXTURE.
4- PROVIDE GALV. HORIZONTAL REINFORCEMENTS AT EVERY COURSE JOINT.

WOOD:
1- ALL EXTERIOR WOOD FRAMING MEMBERS SHALL BE STRUCTURAL GRADE WITH MIN. FIBERSTRESS STRENGTH OF 1400, AND SHALL BE PRESSURE TREATED FOR EXTERIOR EXPOSURE.
2- CONTRACTOR TO PROVIDE ALL STEEL CONNECTIONS REQUIRED FOR FASTENING MEMBERS TO OTHERS.
3- CONTRACTOR TO REFER TO "SIMPSON-STRONG TIE" MANUAL FOR POST PLATES, JOIST / BEAM HANGERS
AS WELL AS HOLD DOWNS AND POST CAPS ETC...

NOTES:
STEEL COL'S SHALL REST ON 12" X 12" 3/4" T. ST. BASE PLATE OVER LEVELLING PLATE OVER NON-SHRINK GROUT W/ (4) 3/4" Ø 12" LONG ANCHOR BOLTS OVER 3'-0" X 3'-0" X 18 " CONC. FOOTINGS W/ (3) # 4'S EA. WAY-BOTTOM.

ALL BEAMS OVER 2 MEMBERS SHALL BE BOLTED TOGETHER W/ 3/4" THRU-BOLTS @ 18" O.C. STAGGERED.

ALL FLUSH BEAMS SHALL RECEIVE JOIST HANGERS BY SIMPSON OR EQ.

ALL DOORS, WINDOWS SHALL RECEIVE (2) 2X10 HEADERS (TYP.) UNLESS OTHERWISE NOTED ON PLANS.

ALLFOUNDATION WALLS SHALL BE WATERPROOFED W/ 2-COATS OF BITUM. COATING AND BACKFILLED W/ GRAVEL

NOTE: ALL INTERIORS DOORS TO BE 7'-0" H

OPENING SIZE	LINTEL TYPE
UP TO 3'-0"	L 3 1/2" X 3 1/2" X 5/16"
UP TO 7'-0"	L 6" X 3 1/2" X 3/8"

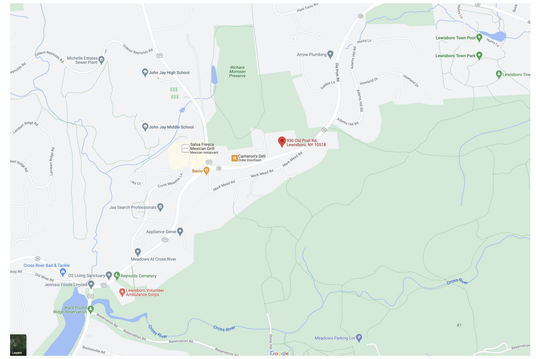
NUMBER OF LINTELS;
1 FOR 4" WALL
2 FOR 5" WALL
3 FOR 12 TO 14" WALL

NOTE:
ALL BEARING WALLS TO BE 1HR RATED W/ 5/8" GWB TYPE "X" BOTH SIDES

NOTE:
THE CONTRACTOR SHALL MAKE AVAILABLE EQUIPMENT MANUFACTURER'S SPECIFICATIONS TO BUILDING INSPECTOR ON SITE. THE CONTRACTOR SHALL ALSO REQUEST REQUIRED INSPECTIONS AT LEAST 48 HOURS IN ADVANCE AND THAT NO WORK SHALL BE COVERED OR CONCEALED UNTIL THE REQUIRED INSPECTIONS ARE PASSED

A CERTIFICATE SHALL BE POSTED IN THE UTILITY CLOSET AT THE GARAGE LISTING THE VALUES AS SHOWN IN THE TABLE BELOW:

SHORING AND BRACING:
1- CONTRACTOR SHALL PROTECT SITE FROM CAVING AND SOIL MOVEMENT.HE SHALL LOCATE SYSTEMS TO CLEAR PERMANENT CONSTRUCTION AND TO PERMIT FORMING AND FINISHING OF CONCRETE SURFACES.
2- CONTRACTOR SHALL LOCATE BRACING TO CLEAR COLUMNS, FLOOR FRAMING CONSTRUCTION, AND OTHER PERMANENT WORK. INSTALL NEW BRACE PRIOR TO REMOVING OLD BRACE.



ADMINISTRATIVE

GOOGLE MAP / N.T.S.

THE ARCHITECT/ENGINEER HAS NOT BEEN RETAINED FOR THE SUPERVISION OF WORK & IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT/ENGINEER OF ANY DISCREPENCIES OR CHANGES ON THE APPROVED PLANS.

NO WORK IS TO BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE GOVERNING AGENCIES.

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & SHALL REPORT ANDY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING.

ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT IS TO E PERFORMED BY CAPABLEAND REPUTABLE CONTRACTORS, LICSENCED IN THE STATE OF NEW YORK & AS REQUIRED BY LOCAL AGENCIES.

DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PUROSES. LARGE SCALE DRAWINGS TAKE PREFERENCE OVER SMALLER SCALE DRAWINGS.

NO WORK IS TO BE STARTED UNTIL THE PLANS ARE APPROVED BY THE NEW YORK CITY DEPT. OF BUILDING AND A WORK PERMIT IS OBTAINED.

THESE NOTES ARE PART OF THE CONSTRUCTION DOCUMENTS ADND SPECIFICATIONS AND ARE TO FULLY COMPLIED WITH IN ALL RESPECT.
THE CONTRACTOR SHALL BE HELD TO HAVE VISITED THE SIRE SO THAT HE MAY DETERMINE THE DIFFICULTIES HE MAY ENCOUNTER DURING CONSTRUCTION.

FOUNDATION AND SUBSOIL CONDITIONS HAVE BEEN DESIGNED BASED ON THE INFORMATION CONTAINED WITHIN THE BORINGS AND/OR YEST PITS AS FURNISHED BY THE OWNER. EXACT FOUNDATION REQUIREMENTS ARE SUBJECT TO CHANGE BASED ON CONTROLLED INSPECIONS OF SUBSOIL CONDITIONS AND MAY VARY FROM THOSE INDICATED ON THESE DRAWINGS.

CONTRACTOR IS RESPONSIBLE TO NOTIFYING UTILITY COMPANIES TO VERIFY EXACT LOCATIONS OF THEIR UTILITY LINES, SERVICE AND OTHER POSSIBLE EQUIPMENT.

THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING SITE.

PRIOR TO COMMENCMENT OF WORK THE ADJACENT PROPERTY OWNERS SHALL BE GIVEN 5 DAYS WRITTEN NOTICE BY CERTIFIED MAIL WHERE ADJACENT PROPERTY IS AFFECTED BY FOUNDATIONS, GRADING EARTH WORK OR DEMO WORK.

AND ACCURATE AND COMPLETED SURVEY, MADE A LISCENCED SURVEYOR, SHALL BE SUBMITTED TO THE APPLICANT OF RECORD AGTER COMPLETION OF WORK SHOWING THE LOCATION AND ELEVATIONS OF ANY NEW BUILDING OR EXTENSION, FINISHED FLOOR ELEVATION, GRADE ELEVATIONS AND SHALL COMPLY TO THE MINIMUM STANDARDS OF THE NYSSPLS.

TABLE: 402.1.2
2020 STRETCH ENERGY CODE REQUIREMENTS:
PRESCRIPTIVE METHOD, ZONE 4 CRITERIA
1- U FACTOR @ GLAZING : .27
2- U FACTOR @ SKYLIGHT: .50
3- U FACTOR @ SHGC : .40
4- R VALUE @ ROOF: R-49
5- R-VALUE @ WD FRAME WALL: R-21
6- R-VALUE @ MASS WALL: R-15
7- R-VALUE @ FLOOR: R-30
8- R-VALUE @ BASEMENT WALL: R-15
9- R-VALUE @ SLAB: R-10, 4 FT PERIM.
10-R-VALUE @ CRAWL SPACE WALL: R-19
11- MAX INFILTR.@ WDWS,SKLTS : 0.3 CFM/SF
12- MAX INFILTR.@ SWING. DRS : 0.5 CFM/SF
13- MIN.75% -HIGH EFFICACY LAMPS
14- TESTING PER N1102-.4.1.2

CONTRACTOR TO PROVIDE AIR BARRIER AND ADEQUATE CAULKING AT ALL SILL PLATES, RIM JOISTS, WINDOW OPENINGS, SEAMS, PENETRATIONS, DUCTS , RECESSED FIXTURES, OUTLETS, TUBS, ETC.

LOAD DATA:

CONSTRUCTION TO BE "V b "
ONE FAMILY RESIDENTIAL
LIVE LOADS = 40 PSF
GROUND SNOW LOAD = 30 PSF
SNOW LOAD = 30 PSF
DEAD LOAD = 15 PSF
2ND FL CLG TOTAL LOAD = 40 PSF
WIND LOADS = 120 MPH
SEISMIC DESIGN: C

Ground Snow Load (psf)	Wind Design				Seismic Design Category	Subject To Damage From:			Winter Design Temp.	Ice Shield Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temp
	Speed	Topographic Effects	Special region winds	Wind Born Debris Zone		Weathering	Frost Line Depth	Decay					
30	130 Mph	No	No	No	C	Severe	3'-6"	Moderate to Heavy	7º	Yes	FIRM map 36119C0041F 2007	1500 or less	52.2º F

NO.	REV.	DATE
1.	bldg	4.4.23
		1.16.24

OWNER:

JEFF GECAJ

KEY PLAN

Tom F. Abillama
Architecture and Planning
1955 CENTRAL PARK AVE
YONKERS, NEW YORK
PHONE: 914 668 4673
FAX: 914 668 1931
EMAIL: FILES@TFARA.COM

SEAL

SINGLE FAMILY HOME

930 OLD POST RD
CROSS RIVER, NY

MAP:---
TAX BLOCK: --
TAX LOT: ----
Zone: R-1A

GEN. NOTES

Project ID / DATE : 1246/ 4-14-22
Sheet Scale: AS NOTED

C.001.00

Drawn By: CT Checked By: TFA
Plot Date: SEP 14, 2022

2 SITE PLAN
SP.1 Scale: 1/32" = 1'-0"

NO.	REV.	DATE
		1.16.24
1.	bldg	4.4.23

OWNER:

JEFF GECAJ

KEY PLAN

Tom F. Abillama
Architecture and Planning

1955 CENTRAL PARK AVE
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PHONE: 914 6684673
FAX: 914 668 1831
EMAIL: FILES@TFARA.COM

SEAL

SINGLE FAMILY HOME

930 OLD POST RD
CROSS RIVER, NY

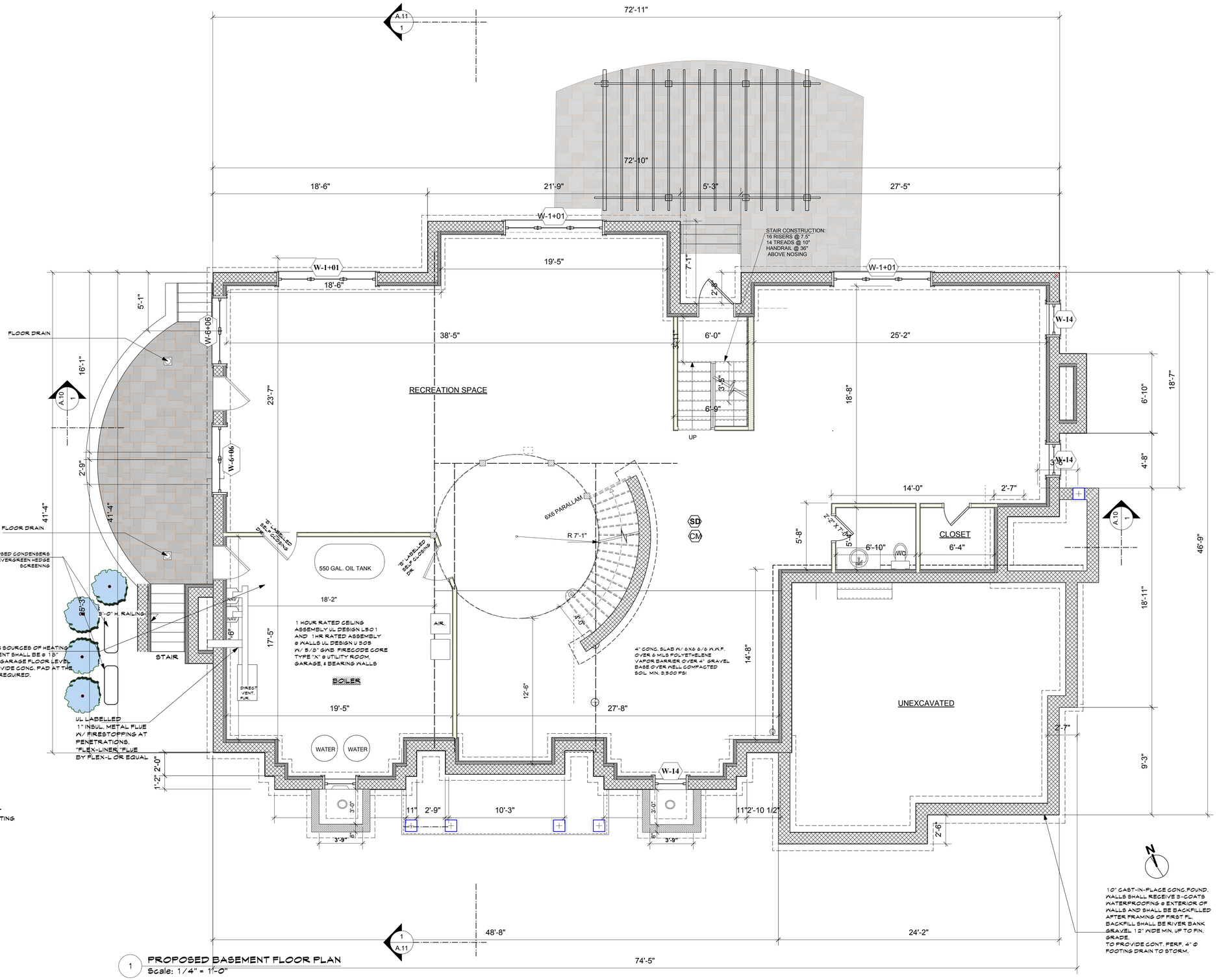
MAP:----
TAX BLOCK: --
TAX LOT: ----
Zone: R-1A

PROPOSED SITE PLAN

Project ID / DATE : 1246/ 9-14-22
Sheet Scale: AS NOTED

SP.001.00

Drawn By: CT Checked By: TFA
Plot Date: SEP 14, 2022



1 PROPOSED BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"

KEY LEGEND

- WALL TYPE
- WINDOW TYPE
- COLUMN GRID
- DOOR TYPE

EL. LEGEND

- CLG EL FIXTURE
- WALL EL FIXTURE
- GROUND FAULT INTERUPTER 42" A.F.F. GFI
- EL RECEPTICAL
- $ SWITCH $3 3-WAY SWITCH
- * ALL FIXTURES < 2 CFM @ 75 PA
- **ALL LIGHTING TO BE LED
- CLG EL FIXTURE

SD SMOKE DETECTORS AS INSTALLED TO BE HARDWIRED AND INTERCONNECTED AS PER NFPA 13.D THERE SHALL NOT BE ANY SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT. ALL WORK HAS TOBE DONE BY A LICENSED ELECTRICIAN

CM CARBON MONOXIDE DETECTOR TO BE INSTALLED 60" A.F.F.

HD HEAT DETECTOR

ILLUMINATED EXIT LIGHT W/ EMERGENCY LIGHT

NO.	REV.	DATE
		1.16.24
1.	bldg	4.4.23

OWNER:
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SEAL

SINGLE FAMILY HOME
930 OLD POST RD
CROSS RIVER, NY
MAP:----
TAX BLOCK: --
TAX LOT: ----
Zone: R-1A

BASEMENT PLAN

Project ID / DATE : 1246/ 9-14-22
Sheet Scale: AS NOTED

A.100.00

Drawn By: GT Checked By: TFA
Plot Date: SEP 14, 2022

EL. LEGEND

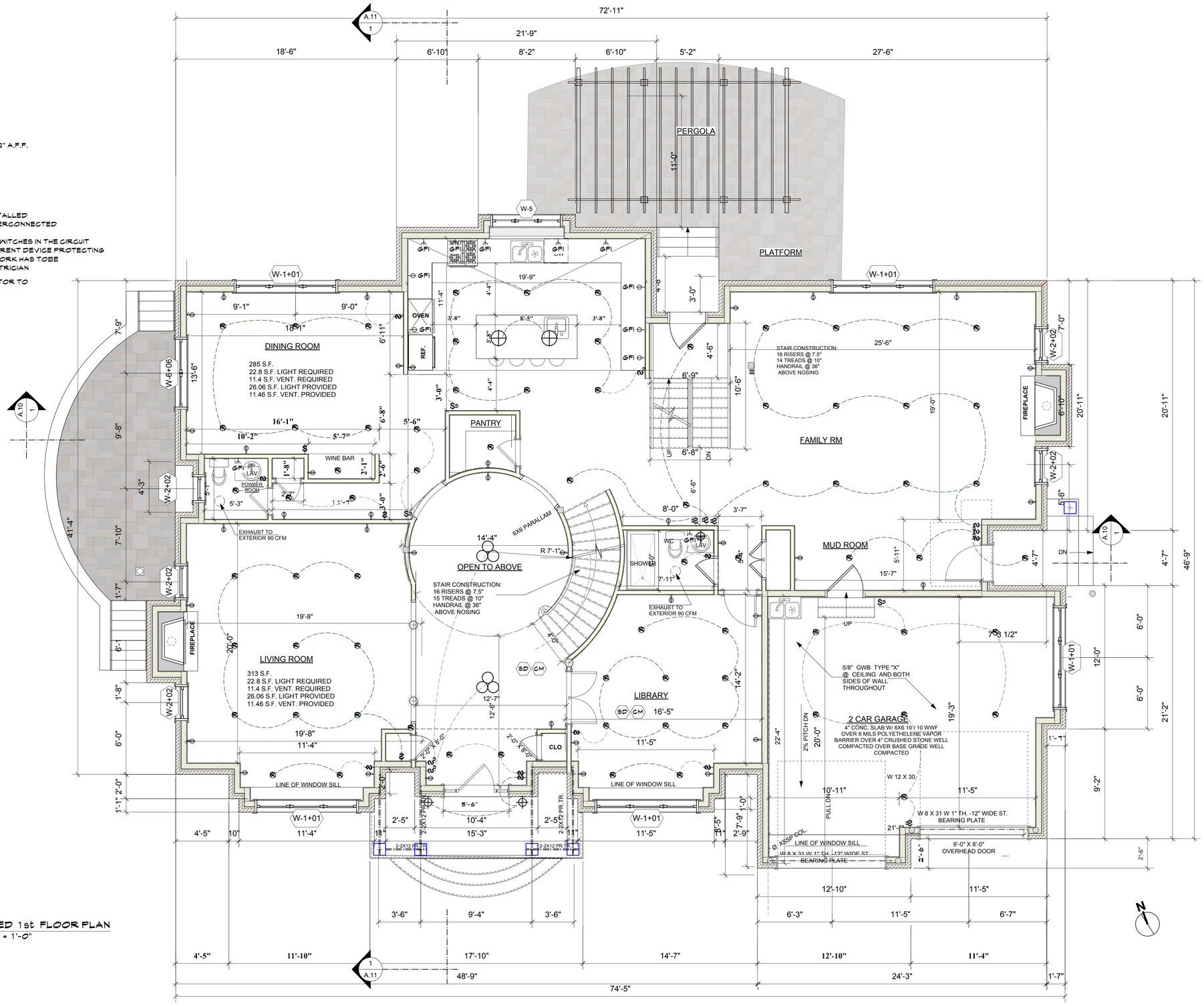
- CLG EL FIXTURE
- WALL EL FIXTURE
- PENDANT EL FIXTURE
- CHANDELER EL FIXTURE
- GFI GROUND FAULT INTERUPTER 42" A.F.F.
- EL RECEPTICAL
- $ SWITCH $3 3-WAY SWITCH

* ALL FIXTURES < 2 CFM @ 75 PA

**ALL LIGHTING TO BE LED

SD SMOKE DETECTORS AS INSTALLED TO BE HARDWIRED AND INTERCONNECTED AS PER NFPA 72
THERE SHALL NOT BE ANY SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT. ALL WORK HAS TOBE DONE BY A LICENSED ELECTRICIAN

CM CARBON MONOXIDE DETECTOR TO BE INSTALLED 60" A.F.F.



PROPOSED 1st FLOOR PLAN

Scale: 1/4" = 1'-0"

NO.	REV.	DATE
		1.16.24
1.	bldg	4.4.23

OWNER:

JEFF GECAJ

KEY PLAN

Tom F. Abillama
Architecture and Planning

1955 CENTRAL PARK AVE
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PHONE: 914 668 4675
FAX: 914 668 1851
EMAIL: FILES@TFARA.COM

SEAL

SINGLE FAMILY HOME

930 OLD POST RD
CROSS RIVER, NY

MAP:---
TAX BLOCK: --
TAX LOT: ----
Zone: R- 1A

PROPOSED 1st FL. PLAN

Project ID / DATE : 1246/ 4-14-22
Sheet Scale: AS NOTED

A.101.00

Drawn By: GT Checked By: TFA
Plot Date: SEP 14, 2022

EL. LEGEND

- CLG EL FIXTURE
- WALL EL FIXTURE
- PENDANT EL FIXTURE
- CHANDELER EL FIXTURE
- GFI GROUND FAULT INTERUPTER 42" A.F.F.
- GFI EL RECEPTICAL
- $ SWITCH $3 3-WAY SWITCH

* ALL FIXTURES < 2 CFM @ 75 PA

**ALL LIGHTING TO BE LED

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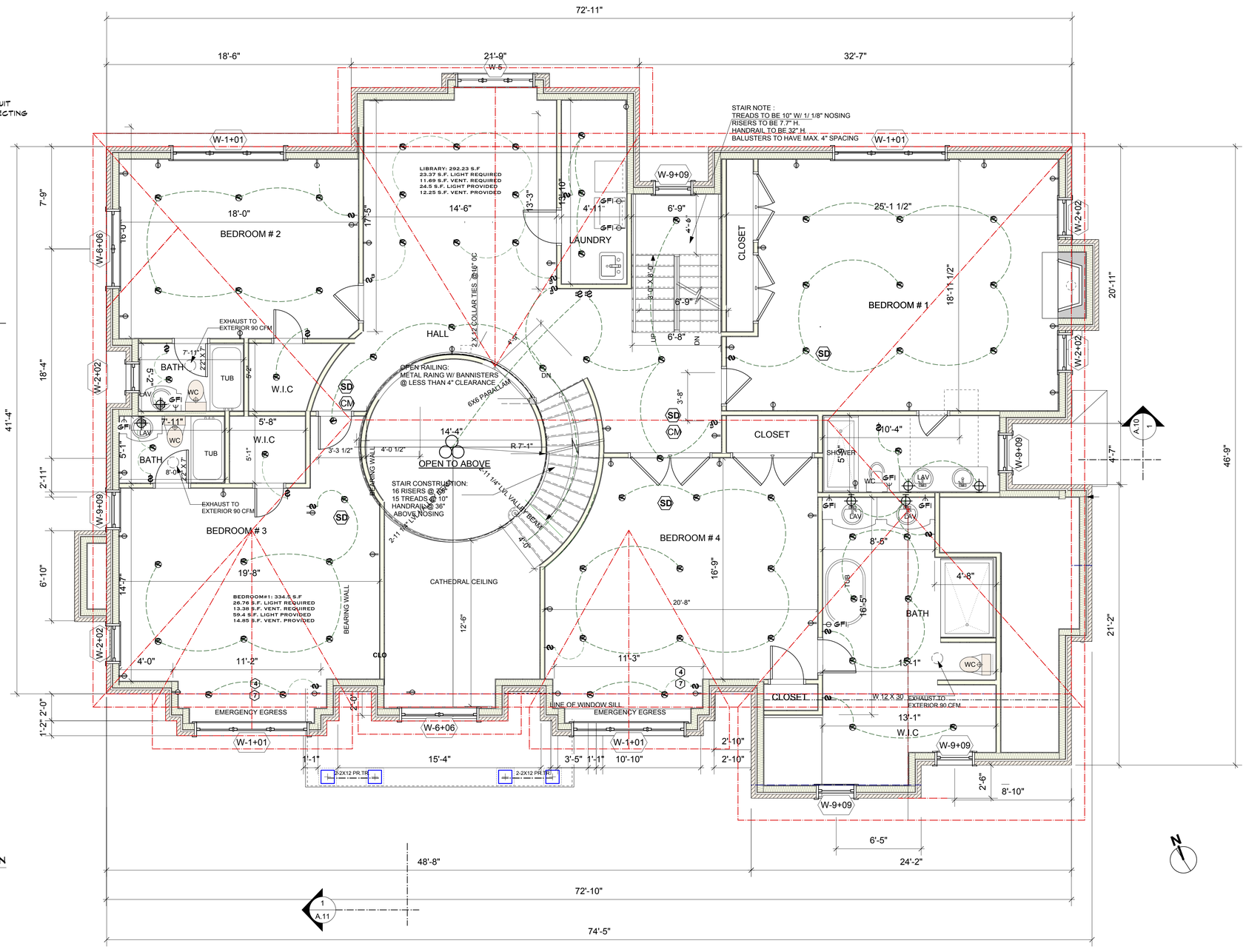

S PROPOSED 2nd FLOOR PLAN
Scale: 1/4" = 1'-0"

NO.	REV.	DATE
		1.16.24
1.	bldg	4.4.23

OWNER:
JEFF GECAJ

KEY PLAN

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SEAL

SINGLE FAMILY HOME

930 OLD POST RD
CROSS RIVER, NY

MAP:---
TAX BLOCK: --
TAX LOT: ----
Zone: R- 1A

2ND FLOOR PLAN

Project ID / DATE : 1246/ 4-14-22
Sheet Scale: AS NOTED

A.102

Drawn By: GT Checked By: TFA
Plot Date: SEP 14, 2022

1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

NO.	REV.	DATE
		1.16.24
1.	bldg	4.4.23

OWNER:

JEFF GECAJ

KEY PLAN

Tom F. Abillama
Architecture and Planning

1955 CENTRAL PARK AVE
YONKERS, NEW YORK

PHONE: 914 6684673
FAX: 914 668 1881
EMAIL: FILES@TFARA.COM

SEAL

SINGLE FAMILY HOME

950 OLD POST RD
CROSS RIVER, NY

MAP:---
TAX BLOCK: --
TAX LOT: ----
Zone: R-1A

FRONT ELEVATION

Project ID / DATE : 1246/ 9-14-22
Sheet Scale: AS NOTED

A.200.00

Drawn By: CT Checked By: TFA
Plot Date: SEP 14, 2022

1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

NO.	REV.	DATE
		1.16.24
1.	bldg	4.4.23

OWNER:

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SEAL

SINGLE FAMILY HOME

950 OLD POST RD
CROSS RIVER, NY

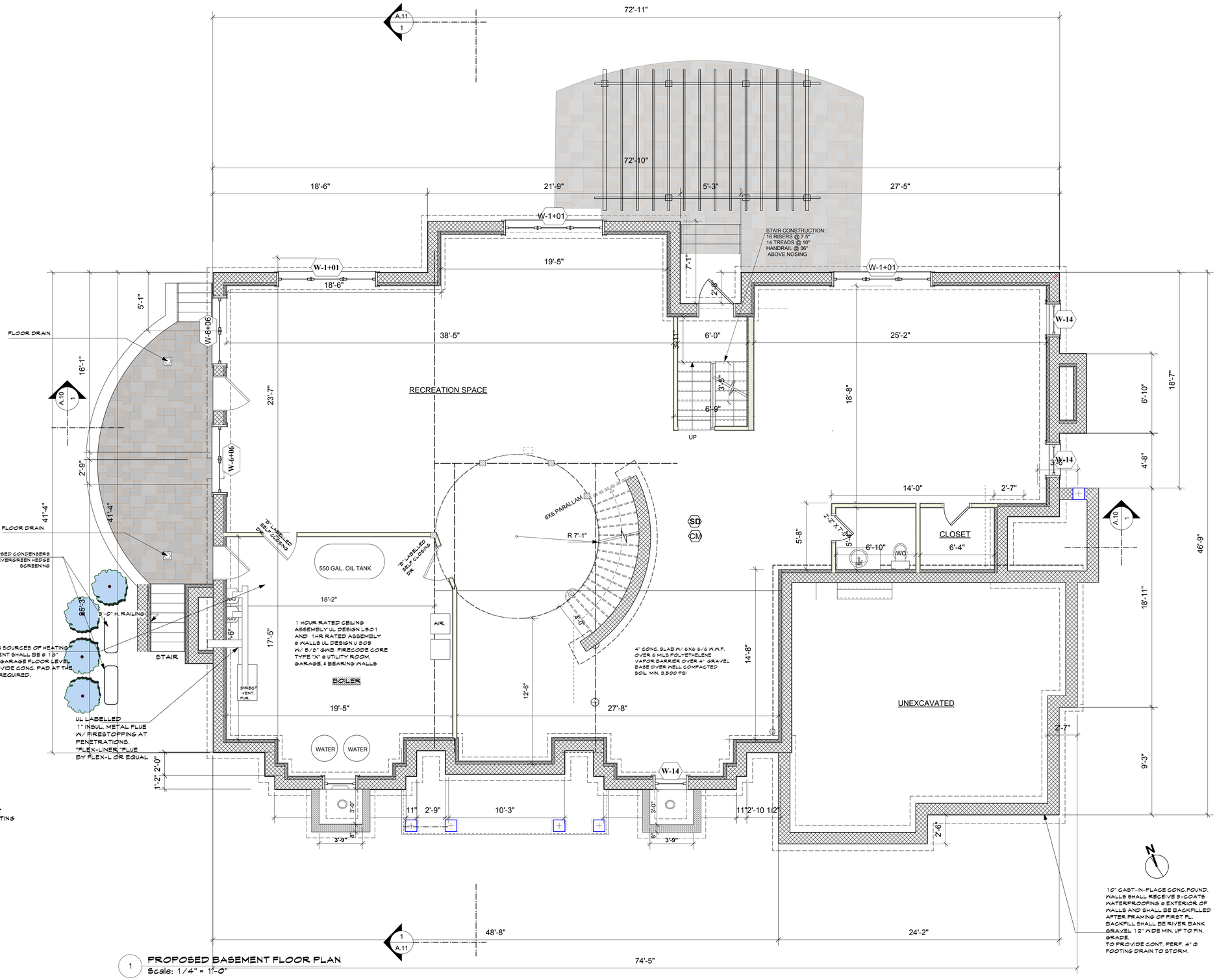
MAP:---
TAX BLOCK: --
TAX LOT: ----
Zone: R-1A

FRONT ELEVATION

Project ID / DATE : 1246/ 9-14-22
Sheet Scale: AS NOTED

A.200.00

Drawn By: CT Checked By: TFA
Plot Date: SEP 14, 2022



1 PROPOSED BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"

KEY LEGEND

- WALL TYPE
- WINDOW TYPE
- COLUMN GRID
- DOOR TYPE

EL. LEGEND

- CLG EL FIXTURE
- WALL EL FIXTURE
- GROUND FAULT INTERUPTER 42" A.F.F. GFI
- EL RECEPTICAL
- $ SWITCH $3 3-WAY SWITCH
- * ALL FIXTURES < 2 CFM @ 75 PA
- **ALL LIGHTING TO BE LED
- CLG EL FIXTURE

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CM CARBON MONOXIDE DETECTOR TO BE INSTALLED 60" A.F.F.

HD HEAT DETECTOR

ILLUMINATED EXIT LIGHT W/ EMERGENCY LIGHT

NO.	REV.	DATE
		1.16.24
1.	bldg	4.4.23

OWNER:
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SEAL

SINGLE FAMILY HOME
930 OLD POST RD
CROSS RIVER, NY
MAP:----
TAX BLOCK: --
TAX LOT: ----
Zone: R-1A

BASEMENT PLAN

Project ID / DATE : 1246/ 9-14-22
Sheet Scale: AS NOTED

A.100.00

Drawn By: GT Checked By: TFA
Plot Date: SEP 14, 2022

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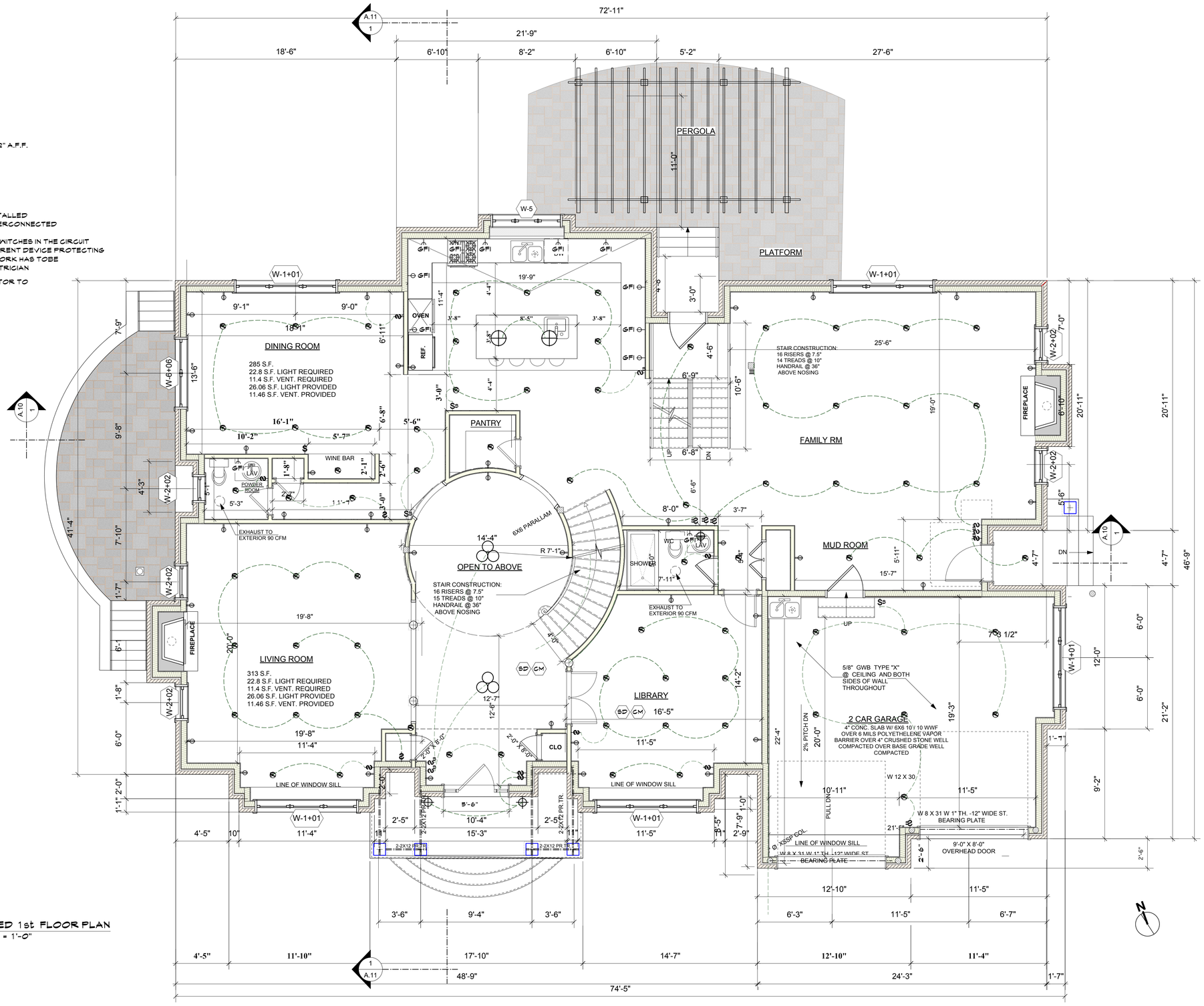

PROPOSED 1st FLOOR PLAN

Scale: 1/4" = 1'-0"

NO.	REV.	DATE
		1.16.24
1.	bldg	4.4.23

OWNER:

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SEAL

SINGLE FAMILY HOME

930 OLD POST RD
CROSS RIVER, NY

MAP:---
TAX BLOCK: --
TAX LOT: ----
Zone: R- 1A

PROPOSED 1st FL. PLAN

Project ID / DATE : 1246/ 4-14-22
Sheet Scale: AS NOTED

A.101.00

Drawn By: GT Checked By: TFA
Plot Date: SEP 14, 2022

EL. LEGEND

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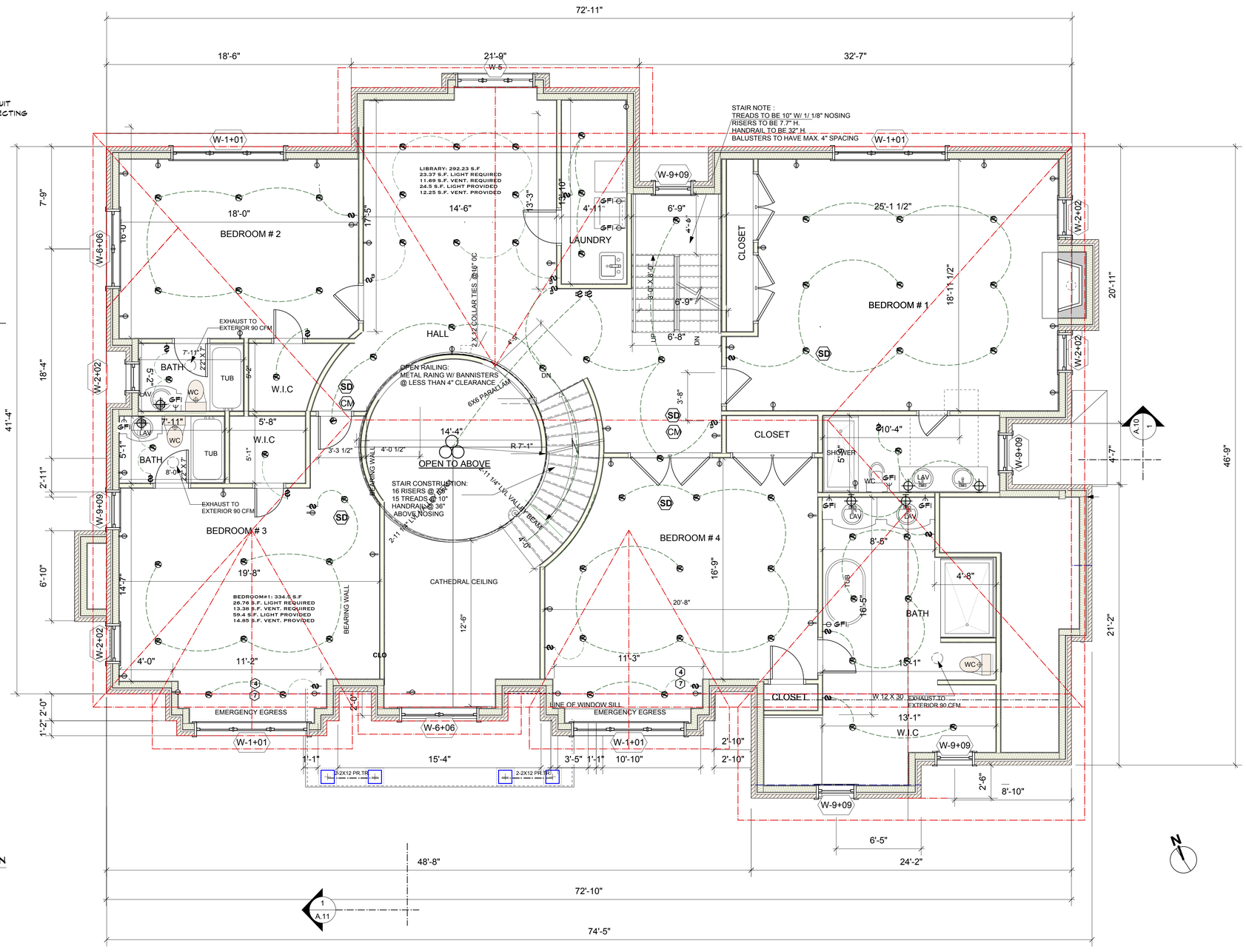

S PROPOSED 2nd FLOOR PLAN
Scale: 1/4" = 1'-0"

NO.	REV.	DATE
		1.16.24
1.	bldg	4.4.23

OWNER:
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KEY PLAN

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SEAL

SINGLE FAMILY HOME

930 OLD POST RD
CROSS RIVER, NY

MAP:---
TAX BLOCK: --
TAX LOT: ----
Zone: R- 1A

2ND FLOOR PLAN

Project ID / DATE : 1246/ 4-14-22
Sheet Scale: AS NOTED

A.102

Drawn By: GT Checked By: TFA
Plot Date: SEP 14, 2022

CRONIN
ENGINEERING P.E., P.C.
Professional Engineering & Consulting

39 Arlo Lane
Cortlandt Manor, NY 10567
T: (914) 736-3664 F: (914) 736-3693

January 25, 2024

Ms. Janet Andersen, Chairman
Town of Lewisboro Planning Board
79 Bouton Road
South Salem NY 10590

Re: Gecaj
Stormwater and Wetland Permits
926 Old Post Road (Route 35)

Dear Ms. Andersen and Members of the Planning Board:

The above referenced project involves the development of Lot 2 of the "Pinheiro Subdivision", filed in 2015. The development involves a new single-family residence with associated driveway, well, onsite wastewater treatment system, stormwater management and wetland mitigation. The proposed development is essentially the same as the previously approved plan with minor variations of the driveway layout and house rotation. The total limit of disturbance is essentially the same as previously approved. There is a minor increase, approximately 900 square feet, in proposed impervious areas from the original approval. The minor additional impervious areas will be treated in the proposed stormwater garden.

The NYSDEC Freshwater Wetland boundary has been recertified by the NYSDEC and the validation map was included in the first submission. Overall, the prosed layout is essentially the same as originally approved. It is noted that the Stormwater and Wetland Permits are current and are due to expire in May 2024.

The following are annotated responses to the Town of Lewisboro Town Consulting professionals, KSCJ Consulting, memorandum dated October 13, 2023

KSCJ COMMENTS - CRONIN ENGINEERING AND TMA RESPONSES IN RED

1. A Stop Work Order was issued to the owner on March 13, 2023, for unauthorized tree removal. According to the plans submitted, a total of 58 trees have been removed, 34 of which were to have been preserved under the previously approved plan (see Comment #2 regarding clarification of tree removal totals). To appropriately mitigate both the encroachment into the wetland buffer resulting from the project itself, as well as for the unauthorized and unplanned tree removal that has taken place outside of the approved limits of disturbance, we recommend the following:

    a. The previously approved Wetland Mitigation Plan (or something very similar) should be incorporated. That plan had included 34 trees and 80 shrubs, not including the plants associated with the stormwater management area. Proposed deciduous trees were generally 2" cal., evergreen trees 8-12 feet, large shrubs 15 gal., smaller shrubs 2 gal. The previously approved plan mitigated against 0.28 acres of wetland buffer disturbance proposed at that time. The wetland buffer disturbance associated with the new plan has been calculated to be 0.37 acres; therefore, the

prior Wetland Mitigation Plan should be increased incrementally.

The mitigation plan has been updated and incorporated in the plan set. The plan has been expanded to now include 45 trees and 100 shrubs. Three of the species listed as shrubs (shadblow, hornbeam and flowering dogwood) actually grow as small trees, but are included in the shrub category for count. The sizes of the trees and shrubs have been increased as suggested. The original plan called for the planting of 34 trees; the current plan uses 48. Similarly, the shrub count has increased from 80 to 100 to offset the incremental increase in buffer disturbance, most of which is related to the expansion of the rain garden area. The driveway material has also been changed from asphalt to pervious pavers, which represents a net benefit to the plan.

b. In addition to the above, tree replacement should account for the number of trees that were removed outside of the previously approved limits of disturbance, whether located inside or outside of the buffer. Replacement trees should be of a more significant size than currently proposed (2-2.5" cal.) and should be consistent with the type of trees removed (native deciduous shade trees). If smaller trees are proposed, the number of trees should be increased. Shrubs will not be counted toward tree replacement.

The majority of the trees to be planted are native deciduous trees as suggested. A number of evergreen trees are also part of the plan since the proposal is for a new residence behind an existing residence, and screening is a site plan issue. The issue remains that there is no more room to plant trees on the site that will not exacerbate a crowding situation in the buffer, which has already led to the poor health of many of trees that were taken down as well as those that remain. A number of medium and large shrubs are being interplanted with the new trees, and they will be shaded out if too many new trees are planted. See the response to Comment 2 below for further discussion of the trees.

c. A wetland mitigation and tree replacement monitoring protocol should be developed and should be in place for at least three (3) years following the end of the first growing season. This plan should include mechanisms for feeding, irrigation, deer management, and replacement. A bond should be established to ensure compliance.

A monitoring and maintenance plan has been added to the mitigation plan. Feeding and irrigation will be completed by the landowner during grow-in, who owns both of the two adjacent residences and resides in one.

2. The Tree Removal/Replacement Plan provides two (2) tree removal tables; one is titled "Tree Removal within the Approved Limits of Disturbance" (totals 24 trees) and the other "Tree Removal within Wetland Buffer and Outside of Approved Limits of Disturbance" (totals 34 trees); does this account for the trees removed located outside of the previously approved limits of disturbance and outside of buffer? These trees are protected under the Town's tree ordinance and were not authorized to be removed as part of any prior approval. Please clarify and ensure that all tree removal has been tabulated.

Based on the previous and current tree surveys, no trees were cut down outside of the buffer AND limits of disturbance (see attached survey which was updated in September of 2023 to show cut trees). The tree count on the plan is accurate; a total of 58 trees were cut down on the subject property. An additional 16 trees were cut down on Lot 1, all within the buffer to the narrow

wetland corridor to the east. The original approved plan envisioned the removal of 50 trees within the proposed limits of disturbance, and the replacement of these trees with 34 new trees. Of the 16 trees cut down on Lot 1, nine will be replaced with native deciduous trees, and an additional 14 with white spruce as a screen between the two properties. Due to site constraints and the replacement of formerly treed areas with a new residence, it is not practicable to replace the lost trees at a ratio of 1:1, but the plan as submitted will restore wooded areas in the buffer and around the perimeter of the site.

3. The width of the driveway shall be dimensioned on the plans.

   The width of the driveway is 12' and is noted on the Site Development Plan.

4. It appears that the originally approved wastewater treatment system has been moved to accommodate the new driveway location. Additionally, the dwelling's bedroom count is shown to increase from three (3) bedrooms to four (4) bedrooms. The applicant will need to provide a copy of the Westchester County Department of Health (WCDH) Approval, including signed plans and permits, related to the revised proposed wastewater treatment system and potable water well.

   The On-Site Wastewater Treatment System (OWTS) has been approved by the WCDH and NYXDEP and a copy is submitted with this resubmission, WCDH Permit #L-2023-15

5. Indicate existing remaining trees to be protected on the Erosion Control Plan.

   The existing remaining trees are shown on the Plans prepared by Tim Miller Associates, Inc. The existing trees within/near the limits of disturbance that are to remain and be protected are shown on the Erosion and Sediment Control Plan.

6. The plan shall note that disturbance limits shall be staked in the field prior to construction.

   A note has been placed on the Site Development Plan, see Sheet SP-2.2.

7. It is understood that a Stormwater Pollution Prevention Plan (SWPPP) was prepared and approved as part of the prior approval and that coverage under the NYSDEC General Permit is in place. If coverage under a prior version of the General Permit is in place and valid, the applicant should coordinate with the NYSDEC to determine how the permit is to be transferred to the new owner. The design engineer should contact this office to discuss any potential changes required to the originally approved SWPPP. At a minimum, the applicant shall provide updated stormwater mitigation and design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour storm event. Provide details of the stormwater mitigation system.

   The project site has valid coverage for the NYSDEC SPDES Stormwater General Permit, permit #NYR10Z303. The permit will be transferred to the new owner prior to the start of construction. A copy of the NYSDEC Letter of Acknowledgement is included in this resubmission.

   The site is currently covered with the NYSDEC Stormwater SPDES Permit as the SWPPP was approved as part of the Subdivision approval. The NYSDEC Letter of Acknowledgement was included in the first submission. There is no need to revise the SWPPP as only erosion and sediment controls are required.

The stormwater calculations and design have been updated for this project using the 25-year, 24-hour design storm which for this site is 6.38" of runoff.

8. Sizing calculations for the stormwater practice shall be provided and shall follow the NYS Stormwater Design Manual, accounting for ponding, soil media and gravel layer volumes. Provide details and planting requirements for the rain garden.

   The sizing calculations for the storm garden are included in the stormwater drainage report.

9. The inverts of the roof leader pipe and driveway drainage pipe at the storm garden discharge point should be added to the Site Plan. Additionally, all stormwater pipe slopes should also be labeled on the Site Plan.

   All inverts are now provided, and the stormwater pipe slopes are also now shown.

10. The plan shall include the size, slope, and material of the footing drainpipe.

    The size, slope and material of the footing drain is now shown on the Site Development Plan. Also, a pipe chart has been added to the plans.

11. The proposed stormwater pipe conveying the proposed driveway runoff to the storm garden, appears to be undersized. This pipe will be handling the runoff from the entire length of the proposed paved driveway. Please provide pipe calculations for confirmation that the 4" pipe shown can handle the flows. Additionally, a small diameter pipe will easily clog causing frequent required maintenance.

    The pipe has been upsized to 6" diameter and calculations are provided in this resubmission.

12. Additional information should be added to the plan which shows how stormwater runoff will drain once flows intercept the 9" berm (i.e., spot shots, swale grading, etc.). Additionally, this runoff should be collected and conveyed to ensure stormwater flows do not enter the neighboring property and bypass the proposed stormwater treatment system.

    The berm has been replaced with a grass swale. Additional proposed grades and spot elevations have been added to the Site Development Plan to ensure the direction of stormwater flow.

13. Proposed grading appears to be missing adjacent to the dwelling. Additionally, the proposed 192 contour is shown tied into the existing 190 contour. Please correct and add proposed contours and/or spot shots as needed to understand the grading around the proposed dwelling.

    Contours have been fixed and spot elevations have been added around the proposed residence.

14. Grading for the swale proposed on the eastern side of the dwelling needs to be depicted on the Grading Plan.

    The grading for the swale has been added to the Grading Plan.

15. It appears that the proposed curtain drain is not intended to collect any driveway drainage. Please

clarify.

The proposed curtain drain is for the On Site Wastewater Treatment System (OWTS) only.

In support of the above, find enclosed the following plans and documents for this resubmission:

1. Four copies of the revised Site Development Plan.
2. Four copies of the Wetland Mitigation & Tree Replacement Plan prepared by Tim Miller Associates.
3. Four copies of the Driveway drainpipe calculations.
4. Four copies of the Stormwater Drainage Report.
5. Four copies of the NYSDEC Letter of Acknowledgement.
6. Four copies of the WCDH OWTS approval permit and site plan.

Kindly place this on the February 20, Planning Board agenda for discussion and approval. Should you have any questions or require additional information, please contact me at the above number. Thank you for your time and consideration in this matter.

Respectfully submitted,

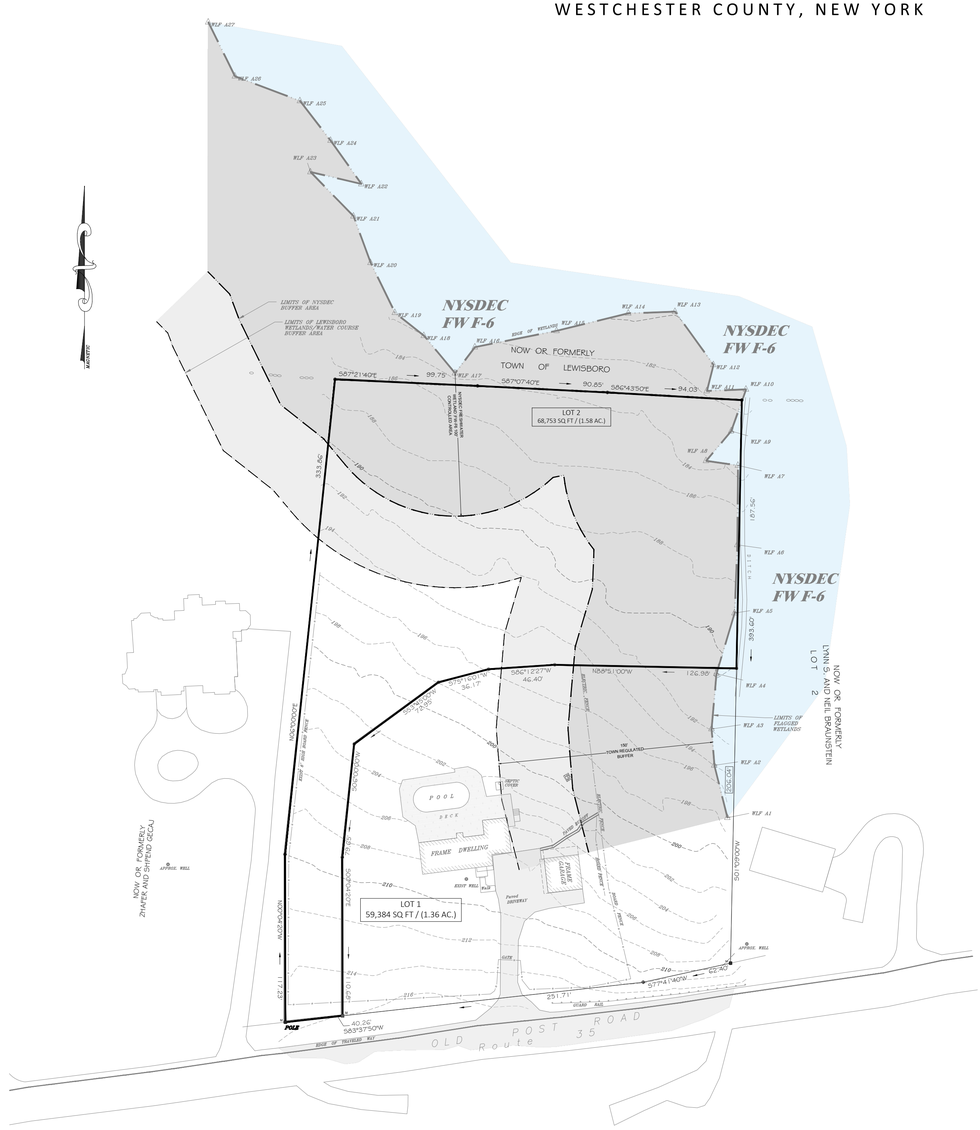
Keith C. Staudohar, CPESC CPSWQ
Cronin Engineering P.E. P.C.

cc: Gecaj w/ encl.
Michael Sirignano, ESQ.
Steve Marino, Tim Miller Associates

pb-lewisboro-gecaj-re submission 1-ks-20240125.doc

SITE DEVELOPMENT PLAN
FOR
926 OLD POST ROAD

TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK



EXISTING CONDITIONS PLAN
SCALE: 1" = 50'

SITE SPECIFIC NOTES

1. THE EXISTING SITE AREA EQUALS 1.58 ACRES.
2. ACCORDING TO THE TAX ASSESSOR, THE EXISTING SITE CONSISTS OF THE FOLLOWING TAX PARCEL IDENTIFICATION NUMBERS: SECTION: 0020, BLOCK: 10801, LOT(S): 156.
3. SURVEY & TOPOGRAPHIC DATA SHOWN HEREON IS TAKEN FROM A PLAN PREPARED BY RKW LAND SURVEYING ENTITLED: "SURVEY OR PROPERTY FOR FERNANDO & MARIA PINHEIRO..." DATED JANUARY 14, 2014.
4. THE SUBJECT SITE IS LOCATED IN THE R-1A ZONING DISTRICT.
5. REFERENCE IS MADE TO THE ARCHITECTURAL PLAN PREPARED BY TOM F. ABILLAMA ARCHITECTURE AND PLANNING DATED SEPTEMBER 14, 2022.
5. THE SUBJECT SITE IS LOCATED IN THE CROTON RIVER BASIN.
6. LOT SHOWN IS LOT 2 OF SUBDIVISION KNOWN AS "SUBDIVISION & SITE DEVELOPMENT PLAN FOR PINHEIRO...", FILED MAP #28871.

CONSTRUCTION SCHEDULE

1. FILE PERTINENT DOCUMENTS WITH THE TOWN BUILDING DEPARTMENT, NYSDOT, NYSDEC & ANY OTHER INVOLVED AGENCY. OBTAIN ON-SITE WASTEWATER TREAT MENT SYSTEM (OWTS)PERMIT FROM THE WCDH.

   PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, A SEPARATE INDEPENDENT APPROVAL FROM THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH FOR THE CONSTRUCTION OF THE OWTS IS REQUIRED.
2. OBTAIN REQUIRED PERMIT(S) (I.E. BUILDING PERMIT, NYSDOT DRIVEWAY OPENING PERMIT, EXCAVATION PERMIT & ANY OTHER PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RESIDENCE). RETAIN THE SERVICES OF A QUALIFIED INSPECTOR. PRIOR TO ANY WORK ON SITE, CONTACT THE UNDERGROUND LINE LOCATION SERVICE.
3. LOCATE THE PROPOSED HOUSE. LOCATION SHALL BE STAKED OUT, WITH OFFSETS, BY A LICENSED LAND SURVEYOR.
4. TREES TO BE PRESERVED, IF ANY, ARE TO BE CLEARLY MARKED & PROTECTED FROM CONSTRUCTION PER THE APPROVED PLAN.
5. PERFORM THE WETLAND MITIGATION PROGRAM AND REMOVE THE INVASIVE SPECIES LISTED. INSTALL ALL REQUIRED EROSION CONTROL MEASURES PER THE APPROVED PLAN.
6. CLEAR AND GRUB AREAS PROPOSED FOR CONSTRUCTION, INCLUDING THE HOUSE SITE AND DRIVEWAY. STUMPS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER. CORDON OFF THE SEPTIC AREA (ON SITE WASTEWATER TREATMENT SYSTEM - OWTS).
7. BEGIN SITE EXCAVATIONS AND FILLING OPERATIONS.
8. CONSTRUCT FOOTING FORMS & CONSTRUCT FOUNDATION WALLS. PROCEED WITH CONSTRUCTION OF RESIDENCE IN ACCORDANCE WITH ALL BUILDING DEPARTMENT REQUIREMENTS.
9. INSTALL ROOF LEADER LINES AND FOOTING DRAIN LINES PER THE APPROVED PLANS.
10. INSTALL THE STORMWATER DRAINAGE SYSTEM PER THE APPROVED PLANS.
11. INSTALL THE ON SITE WASTEWATER TREATMENT SYSTEM (OWTS).
12. INITIATE AND COMPLETE FINAL GRADING OF THE SITE. PROVIDE THE NECESSARY SEEDING AND MULCH TO ALL FINAL GRADED AREAS.
13. CONTINUAL INSPECTION AND MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED THROUGHOUT CONSTRUCTION AND SHALL CONTINUE UNTIL THE SITE HAS A STABILIZED GROUND COVER.
14. PAVE THE DRIVEWAY AND INSTALL PERVIOUS PAVERS.
15. INSTALL THE NECESSARY PLANTINGS AND IMPLEMENT GENERAL CLEAN UP OF THE LOT.
16. OBTAIN A CERTIFICATE OF OCCUPANCY FROM THE BUILDING DEPARTMENT.

REFERENCE NOTES

1. REFERENCE IS MADE TO THE ARCHITECTURAL PLANS PREPARED BY TOM ABILLAMA ARCHITECTURE AND PLANNING
2. REFERENCE IS MADE TO THE WETLAND MITIGATION AND TREE REPLACEMENT PLAN PREPARED BY TIM MILLER ASSOCIATES DATED JANUARY 25, 2024.
3. REFERENCE IS MADE TO THE WCDH OWTS PERMIT FOR THE WASTEWATER AND WELL, WCDH PERMIT #L-2023-15.

LIST OF DRAWINGS

SHEET TITLE	SHEET NUMBER	TITLE	ISSUE DATE	LAST REVISED
EX-1.1	1 OF 4	EXISTING CONDITIONS PLAN	SEPTEMBER 26, 2023	JANUARY 25, 2024
SP-2.1	2 OF 4	SITE LAYOUT AND ZONING PLAN	SEPTEMBER 26, 2023	JANUARY 25, 2024
SP-2.2	3 OF 4	UTILITY, GRADING, SEDIMENT & EROSION CONTROL PLAN	SEPTEMBER 26, 2023	JANUARY 25, 2024
CD-3.1	4 OF 4	CONSTRUCTION DETAILS	SEPTEMBER 26, 2023	JANUARY 25, 2024

SITE INSPECTION NOTES

1. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE FOUNDATION LOCATION SHALL BE SURVEY LOCATED (BY USE OF OFF-SETS) BY A NYS LICENSED LAND SURVEYOR AND SHALL CORRESPOND TO THE APPROVED PLANS; CORRESPONDENCE FROM THE SURVEYOR SHALL BE PROVIDED TO THE BUILDING DEPARTMENT CERTIFYING THE SAME.
2. PRIOR TO COMMENCEMENT OF WORK, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE WITH THE APPLICANT, CONTRACTOR, BUILDING INSPECTOR, TOWN ENGINEER, TOWN PLANNER, AND OTHER RELEVANT PARTIES. AT TIME OF INSPECTION, ALL EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION FENCING SHALL BE INSTALLED AND ALL TREES TO BE REMOVED SHALL BE JOEED WITH A BRIGHT COLORED SURVEYOR'S RIBBON.
3. ALL IMPROVEMENTS ARE SUBJECT TO INSPECTION BY THE TOWN AND ITS AGENTS WITHOUT NOTIFICATION DURING THE APPROVAL AND CONSTRUCTION PROCESS.
4. THE TOWN OF LEWISBORO STORMWATER MANAGEMENT OFFICER MAY REQUIRE SUCH INSPECTIONS AS NECESSARY TO DETERMINE COMPLIANCE WITH CHAPTER 102, STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL, AND MAY EITHER APPROVE THE PORTION OF THE WORK COMPLETED OR NOTIFY THE OWNER/OPERATOR WHEREIN THE WORK FAILS TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 102 AND THE APPROVED SWPPP. TO OBTAIN INSPECTIONS, THE OWNER/OPERATOR SHALL NOTIFY THE TOWN OF LEWISBORO ENFORCEMENT OFFICIAL AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING:
   - START OF CONSTRUCTION.
   - INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES.
   - COMPLETION OF SITE CLEARING.
   - COMPLETION OF ROUGH GRADING.
   - COMPLETION OF FINAL GRADING.
   - CLOSE OF CONSTRUCTION SEASON.
   - COMPLETION OF FINAL LANDSCAPING.
   - SUCCESSFUL ESTABLISHMENT OF LANDSCAPING IN PUBLIC AREAS.
5. IF COVERAGE UNDER THE GENERAL PERMIT IS REQUIRED, THE OWNER/OPERATOR SHALL RETAIN THE SERVICES OF A QUALIFIED INSPECTOR AND THE QUALIFIED INSPECTOR SHALL CONDUCT A SITE INSPECTION AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS. INSPECTION REPORTS SHALL BE PROVIDED TO THE PLANNING BOARD AND BUILDING DEPARTMENT ON A WEEKLY BASIS AND A COPY OF EACH REPORT SHALL BE KEPT ON-SITE.
6. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A FINAL SITE INSPECTION SHALL BE CONDUCTED WITH THE PROPERTY OWNER/APPLICANT, CONTRACTOR, BUILDING DEPARTMENT, TOWN ENGINEER, TOWN PLANNER AND OTHER RELEVANT PARTIES. A CERTIFICATE OF OCCUPANCY SHALL NOT ISSUE UNLESS THE CODE ENFORCEMENT OFFICER HAS FIRST RECEIVED A WRITTEN REPORT FROM THE TOWN ENGINEER, TOWN PLANNER AND TOWN WETLAND INSPECTOR, AS APPLICABLE, STATING THAT ALL LAND DEVELOPMENT ACTIVITIES MEET THEIR SATISFACTION AND THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE APPROVED PLANS.

EROSION AND SEDIMENT CONTROL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY, PRIOR TO EXPECTED RAIN EVENTS, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
3. THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS ORDERED BY THE ENGINEER, AND IN ACCORDANCE WITH ACCEPTED STANDARDS.
4. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED,FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS.
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
6. ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
7. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
8. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
9. SOIL SEEDING AND FERTILIZER AMENDMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".
10. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".

SPECIAL NOTE

THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE MEANS AND METHODS NEEDED TO PERFORM THE CONSTRUCTION/EXCAVATION, ET AL. OPERATIONS SHOWN HEREON. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE A SAFE WORKING ENVIRONMENT AND PROVIDE THE MEANS AND METHODS TO PERFORM THE NECESSARY TASKS. NOTHING ON THESE PLANS SHALL OBLIGATE THE DESIGN ENGINEER AS TO THE MEANS AND METHODS TO PERFORM THE TASKS ASSOCIATED WITH THE APPROVED DESIGN PLANS. THOSE OBLIGATIONS AT ALL TIMES REMAIN WITH THE CONTRACTOR(S).

ENGINEER'S NOTES

1. THERE SHALL BE NO MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT CONTACTING THE DESIGN ENGINEER.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL CODES, RULES & REGULATIONS.
3. THIS PLAN WAS PREPARED FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT. NO REPRESENTATION TO THE SUB-SURFACE SOIL CONDITIONS ON THIS LOT ARE MADE OR IMPLIED BY THIS PLAN. IMPROVEMENTS SHOWN ARE FOR SCHEMATIC PURPOSES.
4. IT IS THE OWNERS RESPONSIBILITY TO INSURE THAT ALL IMPROVEMENTS ARE PLACED ON MATERIAL WITH A SUITABLE BEARING CAPACITY.
5. CONTRACTOR TO VERIFY DEPTH & LOCATION OF ALL UTILITIES INCLUDING WATER, SEWER, DRAINAGE, GAS, TELEPHONE, ELECTRIC & CABLE PRIOR TO START OF WORK.
6. PROPOSED BUILDING IMPROVEMENTS DESIGNED BY OTHERS.
7. CONTRACTOR TO REESTABLISH ORIGINALLY APPROVED SWALES.
8. THE CONSERVATION LINE AND PROPERTY LINES SHALL BE STAKED OUT PRIOR TO CONSTRUCTION.
9. NO DISTURBANCE WITHIN THE CONSERVATION EASEMENT IS PERMITTED.

ENGINEER'S NOTES TO OWNER/CONTRACTOR

1. A PRE-CONSTRUCTION SITE INSPECTION WITH CRONIN ENGINEERING, P.E., P.C. IS REQUIRED W/ THE OWNER AND CONTRACTOR PRESENT TO CONFIRM THE CONSTRUCTION PROCEDURE.
2. THERE SHALL BE NO MODIFICATION TO ANY ASPECT OF THIS PLAN WITHOUT FIRST CONTACTING CRONIN ENGINEERING, P.E., P.C. FOR APPROVAL.
3. PRIOR TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR SHALL CALL THE UNDERGROUND LINE LOCATION SERVICE (CODE 53) AT (800)-962-7962. FOR MORE INFORMATION, VISIT WWW.DIGSAFELYNEWYORK.COM.
4. EROSION & SEDIMENT CONTROL MEASURES AS SHOWN IN THIS PLAN SET SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK. IF UNFORESEEN FIELD CONDITIONS ARE ENCOUNTERED WHICH PROHIBIT THE INSTALLATION OF CERTAIN EROSION & SEDIMENT CONTROL MEASURES AS SHOWN, IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO CONTACT CRONIN ENGINEERING, P.E., P.C. IMMEDIATELY TO DISCUSS ALTERNATIVE METHODS. IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO ENSURE THE INTEGRITY OF ALL EROSION & SEDIMENT CONTROL MEASURES AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT.
5. CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATIONS OR CERTIFICATIONS AS TO THE INTEGRITY, LOCATION OR EXISTENCE OF SUBSURFACE STRUCTURES OR SOIL CONDITIONS WITH RESPECT TO STABILITY AND SUITABILITY FOR THE INTENDED PURPOSE. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY ALL SUBSURFACE CONDITIONS AND INSURE THAT ALL IMPROVEMENTS ARE PLACED ON MATERIAL WITH A SUITABLE BEARING CAPACITY.
6. CRONIN ENGINEERING, P.E., P.C. MAKES NO REPRESENTATION OR CERTIFICATIONS AS TO THE QUANTITY OF MATERIAL NEEDED OR TO BE REMOVED FOR THE SUCCESSFUL CONSTRUCTION OF THE PROJECT. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO VERIFY THE QUANTITY OF MATERIAL NEEDED OR TO BE REMOVED TO SUCCESSFULLY CONSTRUCT THE PROJECT.
7. IN THE EVENT THAT FIELD CONDITIONS ARE DIFFERENT THAN WHAT IS PRESENTED IN THIS PLAN SET, IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO NOTIFY CRONIN ENGINEERING, P.E., P.C. PRIOR TO CONTINUING WITH ANY FURTHER SITE WORK.
8. IF UNFORESEEN SUBSURFACE CONDITIONS ARE ENCOUNTERED (I.E. ROCK, GROUNDWATER, ETC.), THE OWNER AND/OR CONTRACTOR SHALL STOP WORK AND NOTIFY CRONIN ENGINEERING, P.E., P.C. ALL NECESSARY MODIFICATIONS OR CHANGES SHALL BE DISCUSSED WITH AND APPROVED BY CRONIN ENGINEERING, P.E., P.C. PRIOR TO CONTINUING WITH ANY FURTHER SITE WORK. FURTHERMORE, THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
9. IT IS THE OWNER AND/OR CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW OSHA, NYS AND ANY OTHER APPLICABLE CODES OR REQUIREMENTS THROUGHOUT THE DURATION OF THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO PROVIDING ADEQUATE BRACING AND GUARANTEEING THE STABILITY OF EXCAVATIONS AND OTHER VICINITY STRUCTURES.
10. CRONIN ENGINEERING, P.E. P.C. MAKES NO REPRESENTATION AS TO THE QUALITY (I.E. CONTAMINATION), IF ANY, OF THE SOILS ON THIS SITE. THE OWNER AND/OR CONTRACTOR ARE RESPONSIBLE TO CONDUCT ANY AND ALL TESTING AS MAY BE REQUIRED TO ENSURE THE SITE HAS NO CONTAMINATED SOILS.
11. CRONIN ENGINEERING, P.E. P.C. MAKES NO REPRESENTATION AS TO THE SOIL BEARING CAPACITY OF THE SOILS ON SITE. THE OWNER AND/OR ARCHITECT ARE RESPONSIBLE TO CONDUCT ANY AND ALL TESTING AS MAY BE REQUIRED TO ENSURE THE CONSTRUCTION OF THE FOUNDATION MEETS THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE AND THE BUILDING CODE OF THE TOWN OF LEWISBORO. FOUNDATION DESIGN IS NOT PROVIDED BY THIS OFFICE AND IS THE RESPONSIBILITY OF THE OWNER/ARCHITECT/BUILDER.
12. THE OWNER/BUILDER/ARCHITECT ARE RESPONSIBLE TO ENSURE THAT THE BUILDING FOUNDATION MEETS ALL CITY CODES AND THE NEW YORK STATE RESIDENTIAL BUILDING CODE. IF UNSUITABLE MATERIAL IS ENCOUNTERED, THE OWNER SHALL MAKE PROVISIONS (I.E. DEEPER FOOTING, SPREAD FOOTING, GRADE BEAMS, PILES, ETC.) AS NECESSARY TO ENSURE A CODE COMPLIANT FOUNDATION TO THE SATISFACTION OF THE TOWN OF LEWISBORO BUILDING DEPARTMENT.

LOCATION MAP SCALE: 1" = 300'

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- Confirm Utility Response
- Respect the Marks
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50 0 25 50
SCALE: 1" = 50 FT.

OWNER/DEVELOPER

JEFF GECAJ
924 ROUTE 35
CROSS RIVER (TOWN OF LEWISBORO), NY 10518

- UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.
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REVISIONS

#	REASON	DATE
1	PLANNING BOARD AND STAFF COMMENTS	01/25/24

MUNICIPAL TAX IDENTIFICATION:

SECTION:	0020
BLOCK:	10801
LOT:	156
SUBLOT:	-----
DRAWN BY:	AD
CHECKED:	KCS
PROJECT:	GECAJ
DATE:	SEPTEMBER 26, 2023
JOB #:	230315

STATE OF NEW YORK · PATRICK MICHAEL BELL · 087679 · LICENSED PROFESSIONAL ENGINEER

PATRICK M. BELL, PE
LICENSE #087679

CRONIN ENGINEERING
PROFESSIONAL ENGINEERING & CONSULTING
(914) 736-3664

39 Arlo Lane
Cortlandt Manor, New York 10567

EXISTING CONDITIONS PLAN

SITE DEVELOPMENT PLAN
FOR
926 OLD POST ROAD

LOCATION:
926 OLD POST ROAD (ROUTE 35)
CROSS RIVER (TOWN OF LEWISBORO), NEW YORK 10518

SHEET 1 OF 4 | EX-1.1

SITE LAYOUT AND ZONING PLAN

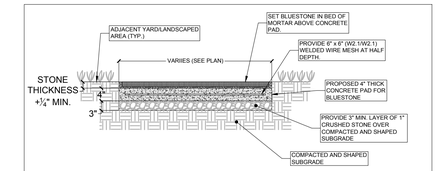
SCALE: 1" = 30'

PROPOSED HOUSE EXTERIOR FRONT ELEVATION

SOURCE: TOM ABILLAMA ARCHITECTURE AND PLANNING N.T.S

ZONING DATA CHART - R-1A
(ONE FAMILY RESIDENCE DISTRICT)

LOT DESCRIPTION	LOT AREA (AC.)	LOT CIRCLE (FT)	BUILDING HEIGHT (FT)	FRONT YARD (FT)	SIDE YARD (FT)	REAR YARD (FT)	BUILDING COVERAGE (%)
MINIMUM REQUIRED	1	150	35	40	30	40	12
PROPOSED	1.58	> 150	< 35'	40.0	106.5	89.8	4.26

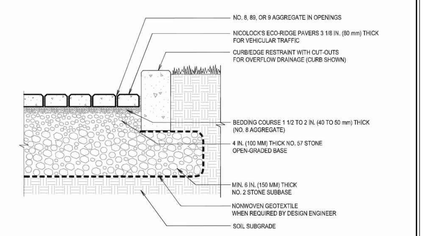


SECTION VIEW

BLUESTONE WALKWAY NOTES

1. **THE CONCRETE PAD SHALL BE PLACED IN ONE COURSE TO THE FULL DEPTH.**
2. **TRANSVERSE EXPANSION JOINTS SHALL BE PLACED TO THE FULL DEPTH IN THE CONCRETE PAD AND SHALL BE SPACED 20 FEET APART.**
3. **CONTRACTOR SHALL PREVENT AGAINST ANY LOW SPOTS WHERE RAIN WATER CAN COLLECT.**

BLUESTONE PATIO/WALKWAY INSTALLATION NTS



NOTES:
1. SUBGRADE MUST HAVE ADEQUATE BEARING CAPACITY AND BE SUITABLE FOR INFILTRATION PRACTICES. DO NOT COMPACT UNLESS SPECIFIED BY DESIGN ENGINEER.
2. PAVERS, AGGREGATE BASE, AND SUBBASE MUST BE PROPERLY COMPACTED.
3. NO. 2 STONE MAY BE REPLACED WITH NO. 3 OR NO. 4 STONE.
4. PAVERS SHALL BE INSTALLED WITH A SURFACE TOLERANCE OF ±3/8" OVER 10 FT. WITH NO PAVER LIPPAGE GREATER THAN 1/8".
5. CONSULT ICPI'S CURRENT PERMEABLE PAVEMENT DESIGN MANUAL FOR DESIGN AND INSTALLATION INFORMATION.

We're paving a whole new way.

TITLE: NICOLOCK'S ECO-RIDGE - PERMEABLE PAVEMENT WITH FULL EXFILTRATION TO SOIL SUBGRADE

SCALE: NOT TO SCALE

PERVIOUS PAVER DETAIL

LOCATION MAP SCALE: 1" = 300'

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- ☐ Confirm Utility Response
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- ☐ Dig With Care

30 0 15 30

SCALE: 1" = 30 FT.

OWNER/DEVELOPER

JEFF GECAJ
924 ROUTE 35
CROSS RIVER (TOWN OF LEWISBORO), NY 10518

- UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.
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REVISIONS

#	REASON	DATE
1	PLANNING BOARD STAFF COMMENTS	01/25/24

MUNICIPAL TAX IDENTIFICATION:

SECTION:	0020
BLOCK:	10801
LOT:	156
SUBLOT:	-----
DRAWN BY:	AD
CHECKED:	KCS
PROJECT:	GECAJ
DATE:	SEPTEMBER 26, 2023
JOB #:	230315

STATE OF NEW YORK · PATRICK MICHAEL BELL · 087679 · LICENSED PROFESSIONAL ENGINEER

PATRICK M. BELL, PE
LICENSE #087679

CRONIN ENGINEERING
PROFESSIONAL ENGINEERING & CONSULTING
(914) 736-3664

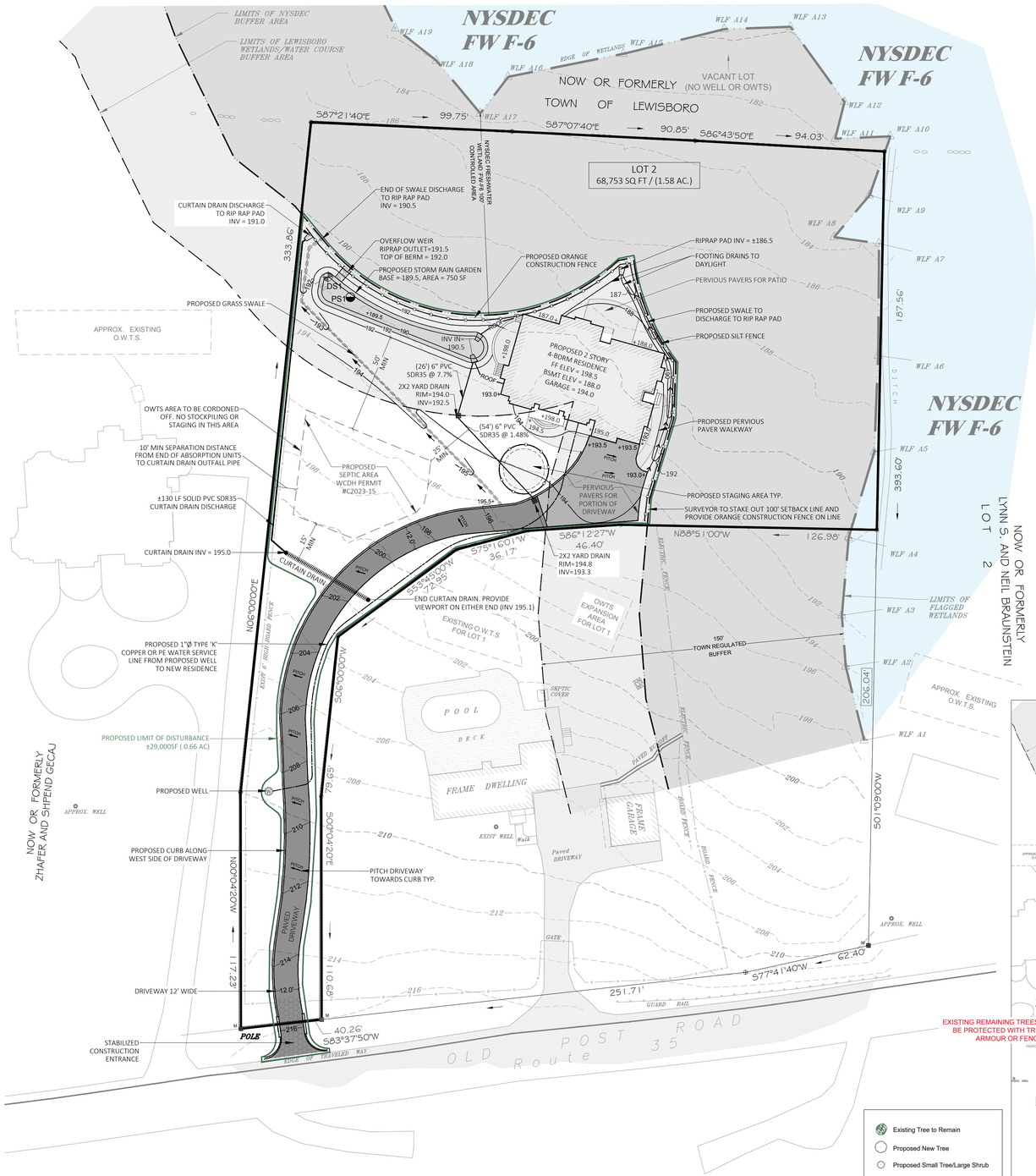
39 Arlo Lane
Cortlandt Manor, New York 10567

SITE LAYOUT AND ZONING PLAN

SITE DEVELOPMENT PLAN
FOR
926 OLD POST ROAD

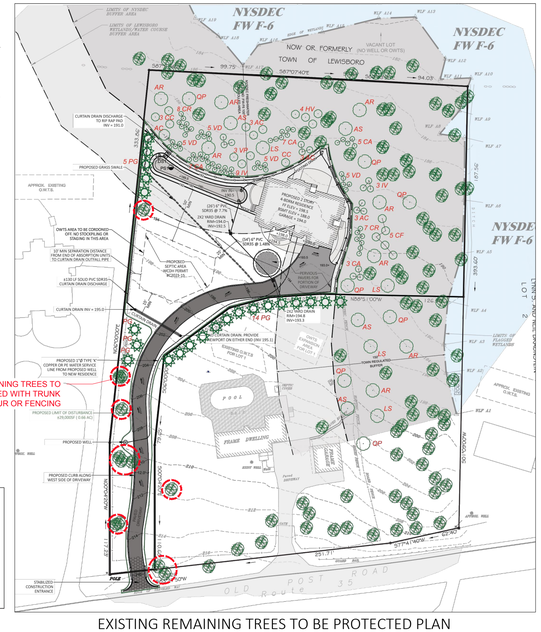
LOCATION:
926 OLD POST ROAD (ROUTE 35)
CROSS RIVER (TOWN OF LEWISBORO), NEW YORK 10518

SHEET 2 OF 4 SP-2.1



UTILITY, GRADING, EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 30'

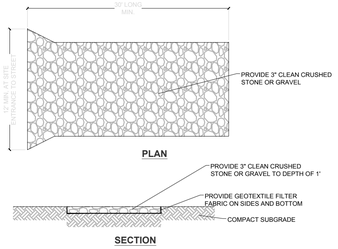


EXISTING REMAINING TREES TO BE PROTECTED PLAN

SCALE: NTS

SOURCE: PLAN PREPARED BY TIM MILLER ASSOCIATES

- Existing Tree to Remain
- Proposed New Tree
- Proposed Small Tree/Large Shrub
- Proposed Shrub Mass



INSTALLATION NOTES:

1. STONE SIZE SHALL BE 3" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT ONLY.
2. LENGTH SHALL BE AS SHOWN BUT NOT LESS THAN 30'
3. THE THICKNESS SHALL BE NO LESS THAN 12" AT THE CONSTRUCTION ENTRANCE.
4. THE WIDTH SHALL BE 12' AT A MINIMUM BUT NOT LESS THAN THE FULL WIDTH OF THE TRAVELED WAY.
5. FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACING OF ANY STONE. FILTER FABRIC WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE CONSTRUCTION.
6. IF SURFACE WATER IS FLOWING TOWARD THE CONSTRUCTION ENTRANCE, IT SHALL BE PIPED UNDERNEATH THE STABILIZED ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SIDE SLOPES SHALL BE PERMITTED.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT FROM CONSTRUCTION INTO THE PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO CAPTURE SEDIMENT. ANY SEDIMENT TRACKED, DROPPED OR WASHED INTO PUBLIC RIGHT OF WAY SHALL BE REMOVED IMMEDIATELY.
8. WHEELS OF CONSTRUCTION VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING ONTO THE PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROPRIATE SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL GRADE IS ACHIEVED.

N.T.S.

STABILIZED CONSTRUCTION ENTRANCE

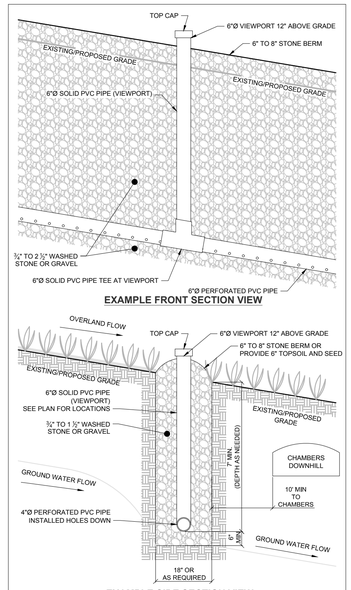
LIMIT OF DISTURBANCE

DESCRIPTION	AREA
WITHIN NYSDEC WETLAND	0.00
WITHIN NYSDEC BUFFER	0.00
WITHIN TOWN BUFFER	13,000 SF (0.30 AC)
OUTSIDE OF ALL BUFFERS	16,000 SF (0.36 AC)
TOTAL ON-SITE	±29,000 SF (0.66 SC)

LIMITS OF DISTURBANCE INCLUDE: THE CONSTRUCTION OF THE NEW RESIDENCE, THE CONSTRUCTION OF THE DECKS, PATIOS, DRIVEWAYS AND WALKWAYS, AND THE INSTALLATION OF DRAINAGE IMPROVEMENTS AND OTHER UTILITIES. PLACE ORANGE CONSTRUCTION FENCE ON LIMITS OF DISTURBANCE.

EROSION CONTROL NOTE:

THE LIMIT OF DISTURBANCE LINE SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION.



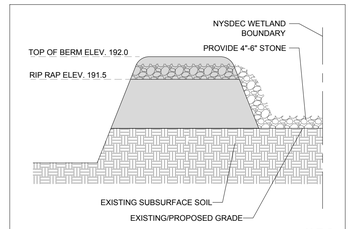
1. PROVIDE A MINIMUM DEPTH AS REQUIRED FROM GROUND SURFACE AT POINT WHICH CURTAIN DRAIN IS INSTALLED.
2. PROVIDE A MINIMUM SEPARATION DISTANCE OF 15' FROM EDGE OF CURTAIN DRAIN TO EDGE OF ANY "DOWNHILL" ABSORPTION TRENCH / CHAMBER.
3. PROVIDE A MINIMUM SEPARATION DISTANCE OF 50' FROM EDGE OF CURTAIN DRAIN TO EDGE OF ANY "UPHILL" ABSORPTION TRENCH / CHAMBER.
4. OUTLET PIPE TO DISCHARGE BELOW EXPANSION SYSTEM AREA.

CURTAIN DRAIN

N.T.S.

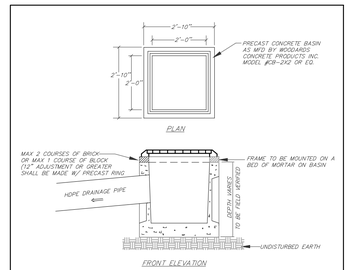
PIPE CHART

PIPE LOCATION	TYPE
ROOF LEADERS	4"Ø SOLID PVC SDR35 AT 1% MIN SLOPE
FOOTING DRAINS	4"Ø PERFORATED HDPE
FOOTING DRAIN DISCHARGE	4"Ø SOLID HDPE AT 1% MIN SLOPE
WATER SERVICE	1"Ø TYPE "K" COPPER OR PE PIPE
STORM PIPE	6"Ø SOLID PVC SDR35
SEPTIC FORCE LINE	1-1/2"Ø PE PIPE
RAW SEPTIC LINE	4"Ø SOLID PVC SDR35 OR CAST IRON



N.T.S.

OVERFLOW WEIR



INSTALLATION NOTES:

1. YARD DRAIN SHALL BE PRECAST CONCRETE STRUCTURE AS MANUFACTURED BY WOODARDS CONCRETE PRODUCTS OR APPROVED EQUIVALENT.
2. PROVIDE CAMPBELL FOUNDRY FRAME AND GRATE MODEL #2815 OR EQUAL
3. YARD DRAIN TO BE CONSTRUCTED OF 4000 PSI CONCRETE.
4. BASINS MUST BE DESIGNED FOR H-20 LOADING
5. ALL BACKFILL AROUND STRUCTURES (I.E. MANHOLES, CATCH BASINS, ETC) MUST BE COMPACTED TO 95% PROCTOR DENSITY TO AVOID SETTLEMENT OF MATERIAL AROUND THE STRUCTURE.
6. SIZE, MATERIAL, PITCH AND INVERT ELEVATIONS OF ALL PIPING TO BE AS SPECIFIED ON SITE DEVELOPMENT PLANS.
7. GRATE INVERTS SHALL BE SET AS SHOWN ON THE SITE DEVELOPMENT PLANS.
8. ALL PIPE ENDS SHALL BE CUT FLUSH WITH INSIDE WALL OF YARD DRAIN AND SEALED WITH GROUT
9. BASINS TO BE CHECKED PERIODICALLY DURING CONSTRUCTION BY A QUALIFIED INSPECTOR AND CLEANED OUT AS NECESSARY DURING CONSTRUCTION.

YARD DRAIN

N.T.S

LOCATION MAP SCALE: 1" = 300'

Dig Safely. New York
800-962-7962
www.digsafelynewyork.org
- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care

30 0 15 30

SCALE: 1" = 30 FT.

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UTILITY, GRADING, SEDIMENT & EROSION CONTROL PLAN

SITE DEVELOPMENT PLAN
FOR
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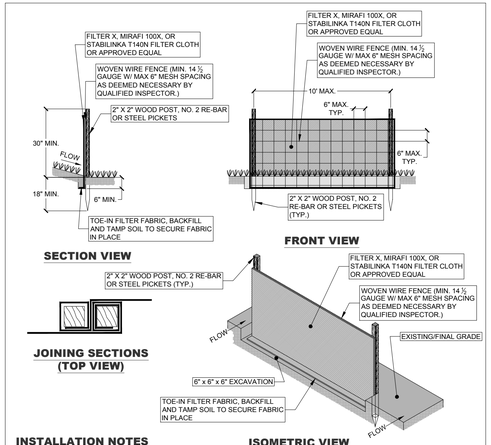
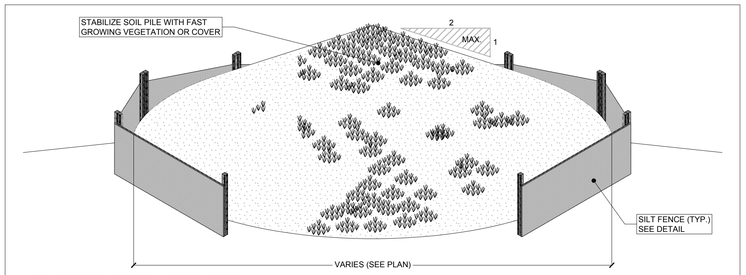
SHEET 3 OF 4 | SP-2.2



INSTALLATION NOTES

1. **EXCAVATE A 4 INCH X 4 INCH TRENCH ALONG THE LOWER SIDE OF A SLOPE AS SPECIFIED ON SITE PLAN.**
2. **UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNHILL) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF STORM WATER FLOW).**
3. **DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.**
4. **LAY THE TOE-IN FLAP OF FABRIC FLAT IN THE BOTTOM OF THE TRENCH AND BACKFILL THE TRENCH AND TAMP THE SOIL OVER THE FLAP TO SECURELY HOLD THE FABRIC IN PLACE. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.**
5. **JOIN SECTIONS AS SHOWN ABOVE.**
6. **PREFABRICATED UNITS SHALL BE OF TYPE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.**

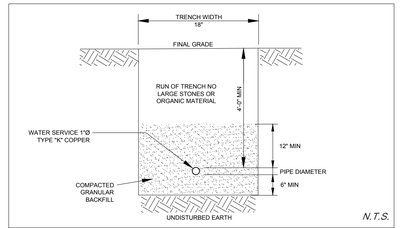
SILT FENCE INSTALLATION NTS



SOIL STOCKPILE INSTALLATION NOTES

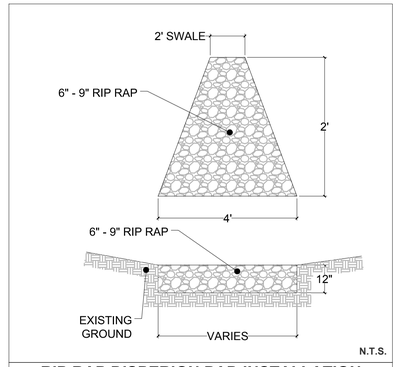
1. **AREA CHOSEN FOR STOCK PILING OPERATIONS TO BE DRY AND STABLE.**
2. **MAXIMUM SLOPE OF PILE TO BE 1 VERTICAL ON 2 HORIZONTAL.**
3. **REFER TO SILT FENCE INSTALLATION DETAILS IN THIS PLAN SET FOR INSTALLATION GUIDELINES.**

SOIL STOCKPILE NTS



N.T.S.

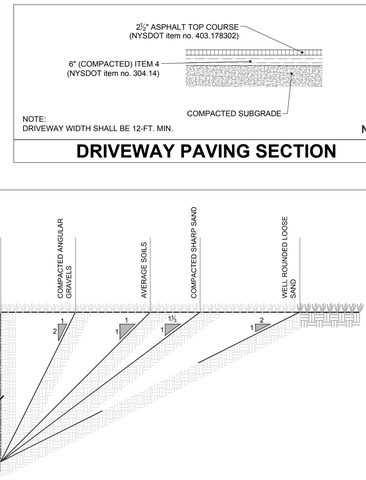
INDIVIDUAL LOT WATER SERVICE TRENCH



N.T.S.

RIP RAP DISPERION PAD INSTALLATION

LOCATION MAP SCALE: 1" = 300'



NOTE:
DRIVEWAY WIDTH SHALL BE 12-FT. MIN.

N.T.S.

DRIVEWAY PAVING SECTION

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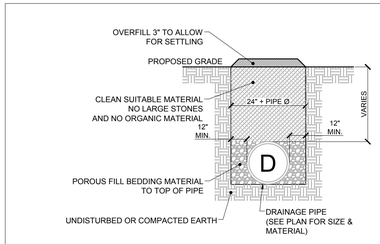
- ☐ Call Before You Dig
- ☐ Wait The Required Time
- ☐ Confirm Utility Response
- ☐ Respect the Marks
- ☐ Dig With Care



SEWER SERVICE INSTALLATION NOTES:

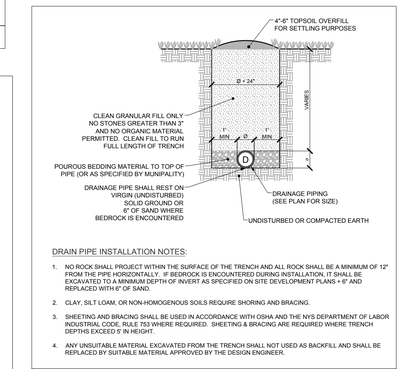
1. THE CONTRACTOR SHALL CALL IN A "CODE 753" PRIOR TO EXCAVATION.
2. ALL DRAINAGE PIPING TO BE AS SPECIFIED ON SITE DEVELOPMENT PLANS.
3. DRAINAGE PIPING SHALL HAVE A MINIMUM OF 1'-0" COVER OVER PIPE. IF THIS IS NOT POSSIBLE THE OWNER/APPLICANT SHALL CONTACT THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
4. DRAINAGE PIPE RUNS SHALL HAVE A MINIMUM SLOPE OF 0.5%.
5. NO ROCK SHALL PROJECT WITHIN THE SURFACE OF THE TRENCH AND ALL ROCK SHALL BE A MINIMUM OF 12" FROM THE PIPE HORIZONTALLY. IF BEDROCK IS ENCOUNTERED DURING INSTALLATION, IT SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 6" BELOW BOTTOM OF PIPE AND REPLACED WITH 6" OF SAND.
6. DEBRIS, FROZEN MATERIAL, LARGE CLODS OR STONES, ORGANIC MATTER OR OTHER UNSUITABLE MATERIALS SHALL NOT BE USED AS BACKFILL.
7. BACKFILL SHALL BE PLACED SO AS NOT TO DISTURB THE PIPE ALIGNMENT.
8. SELECT AND BACKFILL MATERIAL SHALL BE PLACED IN 12" LIFTS (PRIOR TO COMPACTION) AND COMPACTED WITH A MECHANICAL TAMPER.
9. CLAY, SILT LOAM OR NON SOILS REQUIRE SHORING AND BRACING. SHEETING AND BRACING SHALL BE USED IN ACCORDANCE WITH OSHA AND THE NYS DEPARTMENT OF LABOR INDUSTRIAL CODE, RULE 753 WHERE REQUIRED. SHEETING & BRACING ARE REQUIRED WHERE TRENCH DEPTHS EXCEED 5' IN HEIGHT.

DRAINAGE PIPE INSTALLATION N.T.S.

TRENCH EXCAVATION & SLOPING NOTES:

1. SHEETING AND BRACING SHALL BE USED IN ACCORDANCE WITH OSHA AND THE NYS DEPARTMENT OF LABOR INDUSTRIAL CODE, RULE 753 WHERE REQUIRED. SHEETING & BRACING ARE REQUIRED WHERE TRENCH DEPTHS EXCEED 5' IN HEIGHT.
2. CLAY, SILT, LOAM OR NON-HOMOGENOUS SOILS REQUIRE SHORING AND BRACING. PRESENCE OF GROUND WATER REQUIRES SPECIAL TREATMENT
3. SOURCE- U.S. DEPARTMENT OF LABOR (OSHA)

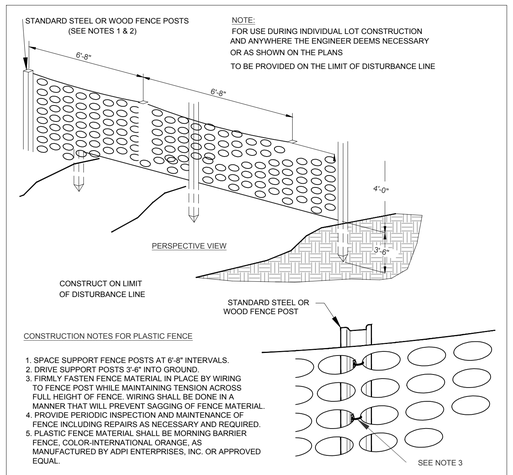
TRENCH EXCAVATION & SLOPING N.T.S.



DRAIN PIPE INSTALLATION NOTES:

1. NO ROCK SHALL PROJECT WITHIN THE SURFACE OF THE TRENCH AND ALL ROCK SHALL BE A MINIMUM OF 12" FROM THE PIPE HORIZONTALLY. IF BEDROCK IS ENCOUNTERED DURING INSTALLATION, IT SHALL BE EXCAVATED TO A MINIMUM DEPTH OF INVERT AS SPECIFIED ON SITE DEVELOPMENT PLANS + 6" AND REPLACED WITH 6" OF SAND.
2. CLAY, SILT LOAM, OR NON-HOMOGENOUS SOILS REQUIRE SHORING AND BRACING.
3. SHEETING AND BRACING SHALL BE USED IN ACCORDANCE WITH OSHA AND THE NYS DEPARTMENT OF LABOR INDUSTRIAL CODE, RULE 753 WHERE REQUIRED. SHEETING & BRACING ARE REQUIRED WHERE TRENCH DEPTHS EXCEED 5' IN HEIGHT.
4. ANY UNSUITABLE MATERIAL EXCAVATED FROM THE TRENCH SHALL NOT USED AS BACKFILL AND SHALL BE REPLACED BY SUITABLE MATERIAL APPROVED BY THE DESIGN ENGINEER.

LEADER AND FOOTING DRAIN PIPE INSTALLATION W/O PAVEMENT RESTORATION N.T.S.



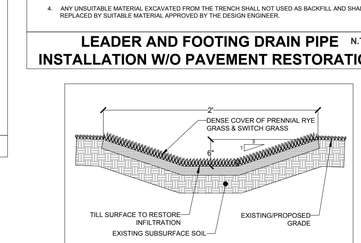
NOTE:
FOR USE DURING INDIVIDUAL LOT CONSTRUCTION AND ANYWHERE THE ENGINEER DEEMS NECESSARY OR AS SHOWN ON THE PLANS
TO BE PROVIDED ON THE LIMIT OF DISTURBANCE LINE

CONSTRUCTION NOTES FOR PLASTIC FENCE

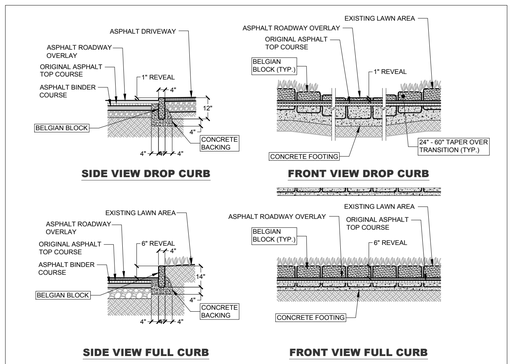
1. SPACE SUPPORT FENCE POSTS AT 6'-8" INTERVALS.
2. DRIVE SUPPORT POSTS 3'-6" INTO GROUND.
3. FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WIRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WIRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
4. PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
5. PLASTIC FENCE MATERIAL SHALL BE MORNING BARRIER FENCE, COLOR-INTERNATIONAL ORANGE, AS MANUFACTURED BY ADPI ENTERPRISES, INC. OR APPROVED EQUAL.

CONSTRUCTION FENCE N.T.S.

PROVIDE AS DEEMED NECESSARY BY THE DESIGN ENGINEER



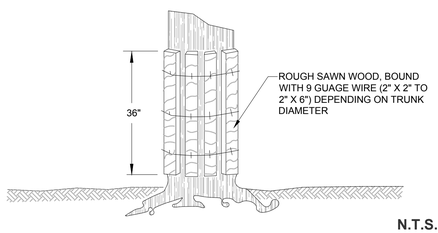
GRASS SWALE CONSTRUCTION N.T.S.



NOTES

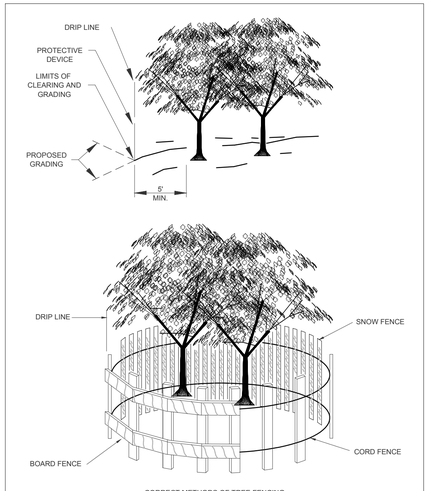
1. ALL CONCRETE FOR FOOTINGS & BACKING TO TEST 3,000 P.S.I. AT 28 DAYS.
2. PROVIDE ⅝" JOINTS BETWEEN BLOCKS AND FILL WITH CONRETE MORTAR.
3. EXTREME CARE SHOULD BE TAKEN DURING EXCAVATION SO THAT THE EXISTING PAVED ROADWAY, PARKING & DRIVEWAY AREAS ARE NOT UNDERMINED. AREAS EXCAVATED BETWEEN PAVEMENT AND THE CURBING SHALL BE PROMPTLY FILLED WITH CONCRETE OR K-CRETE.
4. BELGIAN BLOCKS SHALL BE 14"H x 18"L x 4"W.
5. A 6" REVEAL SHALL BE MAINTAINED ON ALL CURBING EXCEPT FOR AT AREAS OF DRIVEWAY INTERSECTIONS WHICH SHALL BE PROVIDED WITH A 1" REVEAL AS SHOWN.
6. IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING CURB INSTALLATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE AND REPLACE WITH WELL COMPACTED SELECT MATERIAL AT THE DIRECTION OF THE DESIGN ENGINEER.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE WORK ZONE IN A SAFE MANNER IN ACCORDANCE WITH CFR-29-LABOR, PART 1926-OSHA.

BELGIAN BLOCK CURB INSTALLATION NTS



N.T.S.

TREE TRUNK ARMOR INSTALLATION



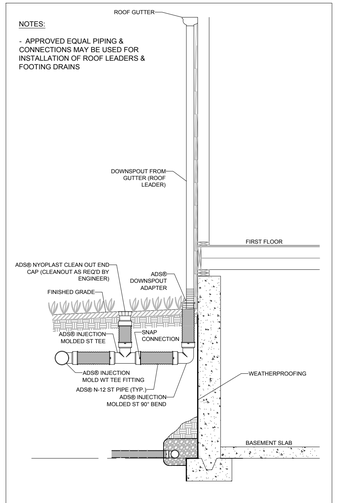
CORRECT METHODS OF TREE FENCING

TREE AND ROOT PROTECTION

1. CONSTRUCTION EQUIPMENT, TRUCKS OR OTHER VEHICLES SHOULD NOT BE PARKED OR OPERATED UNDER THE CANOPY OF TREES TO BE SAVED.
2. PETROLEUM PRODUCTS AND CHEMICALS SHOULD NOT BE STORED, SPILLED, OR DUMPED UNDER PROTECTED TREE CANOPIES.
3. EXCAVATION OR STOCKPILING BENEATH PROTECTED TREES IS NOT ACCEPTABLE.
4. IN NO CASE SHALL BOARDS OR FENCES BE NAILED TO PROTECTED TREES.

N.T.S.

TREE PROTECTION FENCING INSTALLATION



NOTES:

- APPROVED EQUAL PIPING & CONNECTIONS MAY BE USED FOR INSTALLATION OF ROOF LEADERS & FOOTING DRAINS

ROOF LEADERS N.T.S.

30 0 15 30

SCALE: 1" = 30 FT.

OWNER/DEVELOPER

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#	REASON	DATE
1	PLANNING BOARD AND STAFF COMMENTS	01/25/2024

MUNICIPAL TAX IDENTIFICATION:

SECTION:	0020
BLOCK:	10801
LOT:	156
SUBLOT:	-----
DRAWN BY:	AD
CHECKED:	KCS
PROJECT:	GECAJ
DATE:	SEPTEMBER 26, 2023
JOB #:	230315

STATE OF NEW YORK · PATRICK MICHAEL BELL · 087679 · LICENSED PROFESSIONAL ENGINEER

PATRICK M. BELL, PE
LICENSE #087679

CRONIN ENGINEERING
PROFESSIONAL ENGINEERING & CONSULTING
(914) 736-3664

39 Arlo Lane
Cortlandt Manor, New York 10567

CONSTRUCTION DETAILS

SITE DEVELOPMENT PLAN
FOR
926 OLD POST ROAD

LOCATION:
926 OLD POST ROAD (ROUTE 35)
CROSS RIVER (TOWN OF LEWISBORO), NEW YORK 10518

SHEET 4 OF 4 | CD-3.1

UTILITY, GRADING, EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 30'

Existing Tree to Remain

Proposed New Tree

Proposed Small Tree/Large Shrub

Proposed Shrub Mass

Trees removed within previously approved limits of disturbance	24
Trees removed outside of previously approved limits of disturbance	34
New trees to be planted New small trees/shrubs to be planted	48 100

Quantity	Symbol	Common Name	Botanical Name	Size	Root type
8	AR	Red Maple	Acer rubrum	2" - 2-1/2"	N/A
10	QP	Pin Oak	Quercus palustris	2" - 2-1/2"	N/A
4	LS	Sweetgum	Liquidambar styraciflua	2" - 2-1/2"	N/A
4	AS	Sugar maple	Acer saccharum	2" - 2-1/2"	N/A
22	PG	White spruce	Picea glauca	8' - 10'	B&B
12	IV	Winterberry holly	Ilex verticillata		3 gal
22	CA	Summersweet	Clethra alnifolia		3 gal
20	VD	Arrowwood	Viburnum dentatum		5 gal
10	AC	Shadblow	Amelanchier canadensis		15 gal
4	CC	Hornbeam	Carpinus caroliniana		15 gal
5	CF	Flowering dogwood	Cornus florida		15 gal
15	CR	Grey dogwood	Cornus racemosa		3 gal
4	HV	Witch Hazel	Hamamelis virginiana		5 gal
3	VP	Blackhaw viburnum	Viburnum prunifolium		5 gal

Tree Removed within Approved Limits of Disturbance

CC Maple
14 Maple
24 Maple
18 Ash
22 Maple
14 Maple
14 Maple
12 Maple
12 Cherry
14 Maple
14 Maple
16 Maple
18 Maple
10 Oak
14 Maple
14 Maple
8 Maple
16 Maple
8 Maple
22 Maple
10 Maple
12 Maple
12 Maple
8 Birch

Total: 24 Trees

Tree Removed within Wetland Buffer and Outside of Approved Limits of Disturbance

CC Ash
12 Maple
24 Maple
20 Maple
26 Maple
26 Maple
22 Maple
18 Maple
12 Maple
22 Maple
24 Maple
22 Maple
18 Maple
22 Maple
22 Maple
20 Maple
12 Maple
30 Maple
14 Hickory
16 Maple
12 Maple
12 Maple
12 Maple
16 Maple
14 Locust
16 Locust
16 Locust
16 Ash
16 Maple
24 Maple
14 Maple
12 Maple
20 Maple
16 Maple
22 Maple
14 Maple

Total: 34 Trees

Wetland Buffer Enhancement Notes
Gecaj Residence
Route 35, Town of Lewisboro, NY
September 22, 2023
Rev. January 19, 2024

Notes:

1. Nuisance and non-native vegetation will be removed from within the wetland adjacent area, as shown, including phragmites, multi-floral rose, climbing bittersweet, autumn olive and ailanthus. No native species will be removed. Where possible existing native trees will be preserved
2. A minimum of 45 large trees, 27 small trees/large shrubs and 73 shrubs will be planted to enhance the buffer area plant community on site as per the plant list below.

Planting Details

Plant choices for the wetland expansion were made according to existing site conditions and locally common species.

All planting will proceed by hand. Materials will be brought to the site in good condition (see below) and then placed in central drop locations. The materials will then be hand-carried to their planting locations and in turn, planted by hand. Only rounded, shallow planting shovels will be used in this effort.

Criteria for selecting plant material will include (1) the plant's ability to withstand the expected light and saturation conditions; (2) its demonstrated survival on this site and other nearby sites; (3) the plant must be native and non-invasive; and (4) whether the plant material is available at nurseries in the same region as the site. See Table 1 for complete plant species list. Seed mix was chosen based on the species' ability to survive in moist areas adjacent to the road with some sun.

Planting will be done in spring or early summer (between April 1 and July 1). Shrubs may also be planted in the late summer to early fall (September 1 to October 30). In all cases, a hole will be dug twice as deep as the root ball. The only shovels allowed are rounded, shallow spades. The hole will then be backfilled with a thin layer (two to four inches) of rich, organic topsoil, the plant placed inside, the hole backfield to the top and then gently tamped down.

Container-grown plant material delivered to the job site will be inspected to assure moist soil/root masses. Any dry and light weight plants will not be accepted. If not planted immediately the container will be stored out of the sun and wind and kept moist (i.e., a means of watering will be provided and watering will occur daily). When removed from the containers, the plants will be the size of the specified container. If in leaf, the plants will appear healthy with no spots, leaf damage, discoloration, insects or fungus. If not in leaf, the buds will be firm and free of damage, discoloration, insects or fungus. Containers will be a minimum of quart size for shrubs and gallon size for trees.

Plants not having an abundance of well developed terminal buds on the leaders and branches will be rejected. The stems and branches of all plants will be turgid and the cambium healthy or the plants rejected.

Plan Notes

1. Prior to commencement of site work, silt fence is to be placed at limit of disturbance.
2. Trees to remain will be identified prior to the commencement of site grading. These trees will be flagged in the field prior to the commencement of any clearing or excavation. Leave smaller existing trees in assumed area of disturbance to the extent practicable.
3. Trees and shrubs will be planted within the proposed wetland buffer enhancement area as specified on the plan and the table above.
4. Temporary deer fence will be installed around the perimeter of the planting area to minimize deer browsing during plant establishment.

Monitoring and Maintenance

At least one pre-construction meeting will occur between the chosen grading and/or planting contractor/subcontractor and the site environmental systems planner prior to beginning construction on site. The construction monitor will have experience in wetland construction and a Bachelor of Science degree in Natural and/or Physical Resources.

Monitoring and maintenance efforts for the mitigation plantings will take place over a three year period following construction. This will include bi-weekly visits for the first growing season, and then twice a year for the next two years, with additional inspections as required depending on conditions. The applicant's environmental monitor will conduct a survey of the site and site conditions will be noted and adjusted as necessary. An annual report will be provided to the Town of Lewisboro at the end of the growing season for each of the three years. These reports will include the following information:

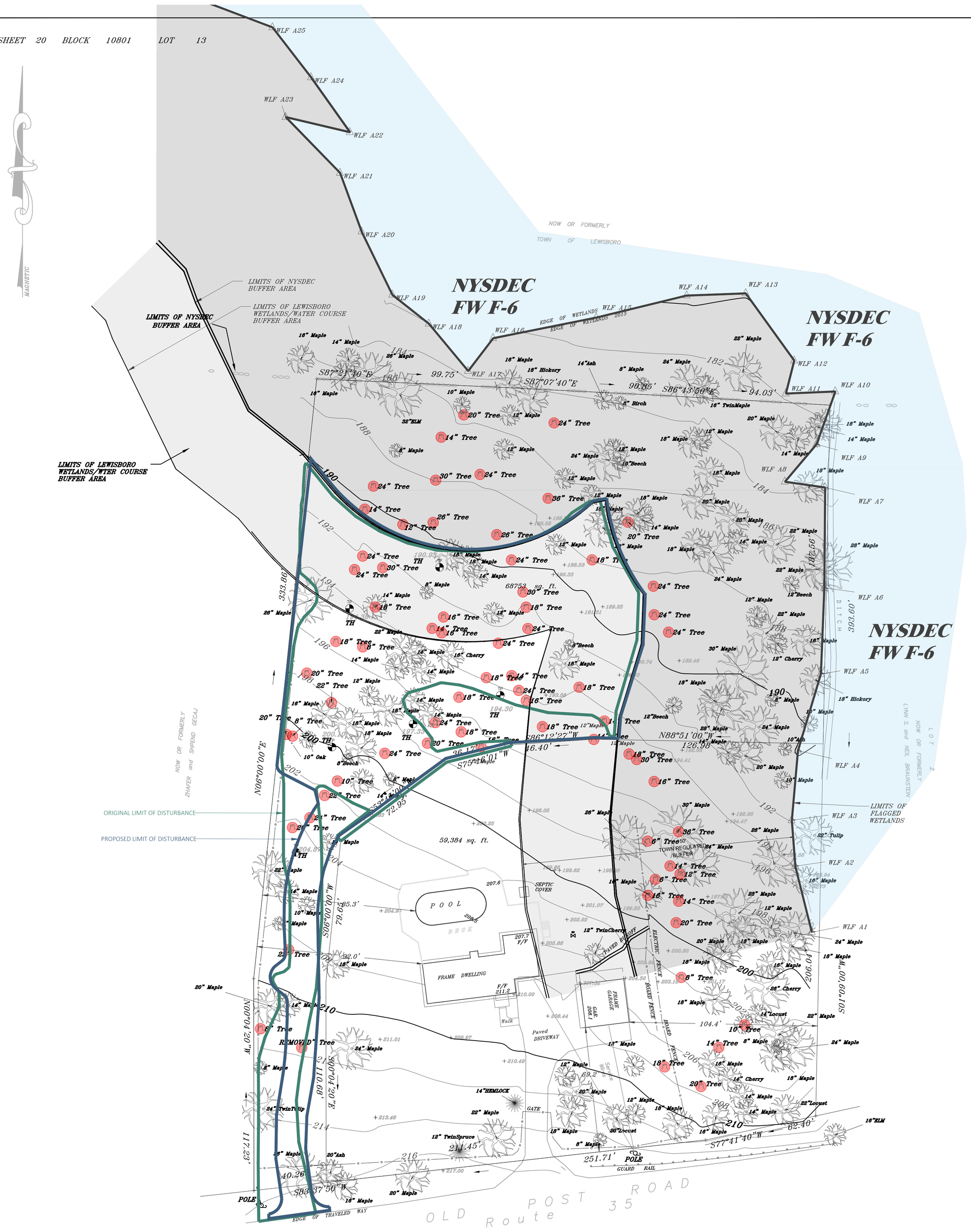
1. All plant species, along with their estimated relative frequency and percent cover, shall be identified by using plots measuring 10 feet by 10 feet, with at least one representative plot located in each of the habitat types within the mitigation site. For this proposal, there are two plots identified on the plan view planting plan.
2. Vegetation cover maps, at a scale of one inch equals 100 or larger, shall be prepared for each growing season.
3. Photographs showing all representative areas of the mitigation site shall be taken at least once each year during the period between 1 June and 15 August.
4. Plantings will meet or exceed and 85 percent survival rate by the end of the second growing season. If this goal is not met, the site will be re-evaluated, and re-grading and/or replanting will be completed as necessary. Invasive species (i.e., Lythrum salicaria and Phragmites australis) will not constitute more than 10 percent of the

Basemap: "Site Development Plan for Gecaj"
prepared by Cronin Engineering, Cortlandt Manor NY
dated September 26, 2023

Wetland Mitigation/Tree Replacement Plan

prepared by
Steve Marino, PWS
Tim Miller Associates
10 North Street, Cold Spering, NY 01516

ASSESSORS SHEET 20 BLOCK 10801 LOT 13



LOT 1
SURVEY
Prepared for
GECAJ

SITUATED IN THE TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK
Area = 2.942 Acres

Block 10801 ~ Sheet 252

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

WETLANDS SHOWN HEREONWERE FIELD DESIGNATED BY STEPHEN COLEMAN NOVEMBER 11, 2013 AND FIELD LOCATED BY R K W LAND SURVEYING ON JANUARY 10, 2014

ALTERATIONS OF THIS MAP OTHER THAN BY A LICENSED LAND SURVEYOR IS ILLEGAL.

UNAUTHORIZED ADDITION OR ALTERATION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYORS SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 , OF THE NEW YORK STATE EDUCATION LAW.

REFERENCE HEREBY MADE TO MAP # 18396
ON FILE IN THE WESTCHESTER COUNTY CLERKS OFFICE.

REFERENCE HEREBY MADE TO LIBER 7913 PAGE 651

USE OF THIS SURVEY BY SUBSEQUENT OWNERS VOIDS SEAL AND CERTIFICATION HEREON.

SUBJECT TO ELECTRIC AND/OR TELEPHONE COMPANY EASEMENTS, IF ANY, FOR OVERHEAD AND/OR UNDERGROUND SERVICE.

SUBSTRUCTURES AND/OR THEIR ENCROACHMENTS BELOW GRADE, IF ANY, NOT SHOWN.

ALL DECLARATIONS ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF THEY BEAR THE EMBOSSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

R K W LAND SURVEYING, THE SURVEYORS WHO MADE THIS MAP, DO HEREBY CERTIFY THAT THE SURVEY OF THE PROPERTY SHOWN HEREON WAS COMPLETED JAN., 1974, NOV. 4 , 1997 AND Jan. 14, 2014 AND THIS MAP WAS COMPLETED ON January 15, 2014.

R K W
LAND SURVEYING

Survey date January 14, 2014

New Canaan , Connecticut
Tel. 203 - 966 - 3501
Fax 203 - 966 - 3503

N.Y. L.S. # 50420

PHILIP E. KNOCHE Sr.

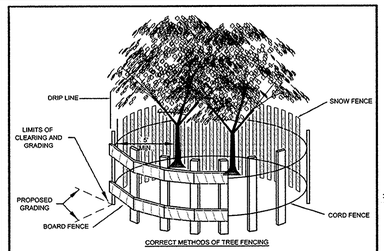
FILE PEDROSA 830 LDD4-14\930-OLD POST RD.DWG

TREE REMOVAL AND PROTECTION NOTES

1. ALL REMOVAL OF TREES ON PROPERTY ARE TO BE MINIMIZED AND SHOULD BE TAGGED BY THE APPLICANT AND INSPECTED BY THE TOWN OF LEWISBORO PRIOR TO CUTTING. TREE WELLS SHOULD BE CONSTRUCTED AROUND ALL TREES THAT COULD BE IMPACTED AS A RESULT OF CUTTING AND FILLING.
2. ALL TREES DESIGNATED FOR PRESERVATION SHALL BE CLEARLY MARKED WITH A BRIGHT COLORED RIBBON OR OTHER EASILY DISCERNIBLE METHOD.
3. TREES TO BE PROTECTED SHALL BE PROVIDED WITH FENCING OR TRUNK ARMOR AS DETAILED ON THIS PLAN. ALL TREE PROTECTION METHODS SHALL CONFORM TO CHAPTER 5.190 OF THE WESTCHESTER COUNTY " BEST MANAGEMENT PRACTICES MANUAL SERIES FOR EROSION AND SEDIMENT CONTROL", 1991. THESE GUIDELINES SHALL BE IMPLEMENTED FOR ALL TREES DESIGNATED FOR PROTECTION.
4. ALL TREES WITHIN 10' OF THE SEPTIC AREA SHALL BE REMOVED AS REQUIRED BY W.C.D.H.
5. ALL TREE STUMPS SHALL BE REMOVED FROM THE SITE IN A LAWFUL MANNER OR GRINDED ON SITE AND USED FOR LANDSCAPING PURPOSES ONLY.
6. WOOD CHIPS SHALL BE STOCKPILED ONLY FOR USE IN LANDSCAPING AND DECORATIVE PURPOSES. WOOD CHIPS NOT FOR THESE PURPOSES SHALL BE REMOVED FROM THE SITE IN A LAWFUL MANNER.
7. WOOD CHIPS AND STUMP CHIPS SHALL NOT BE USED FOR ANY FILLING OR BACKFILLING OPERATION.
8. ALL CUT LOGS SHALL BE REMOVED FROM THE SITE IN A LAWFUL MANNER OR USED FOR DECORATIVE PURPOSES ONLY. CUT LOGS SHALL NOT BE STOCKPILED FOR MORE THAN 30 DAYS NOR USED FOR FILLING OR OR BACKFILLING PURPOSES.
9. ALL TREES TO BE REMOVED SHALL BE TAGGED BY THE APPLICANT AND INSPECTED BY THE TOWN OF LEWISBORO PRIOR TO CUTTING AND A BUILDING PERMIT BEING ISSUED

MITIGATION PLANTING SCHEDULE

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE CAL. (IN.)	SIZE HT. (FT.)	SIZE SPREAD (FT.)	NOTES
PG	5	PICEA GLAUCA	WHITE SPRUCE	-	8' - 12'	-	-
AR	3	ACER RUBRUM "OCTOBER GLORY"	RED MAPLE	2"	-	-	-
AC	15	AMELANCHIER CANADENSIS	SHADLOW SERVICEBERRY	-	7' - 8'	-	-
CF	8	CORNUS FLORIDA	WHITE DOGWOOD CHEROKEE PRINCESS	-	8' - 10'	-	-
CC	3	CERCIS CANADENSIS	REDBUD	15 GAL.	-	-	-
MD	3	MALUS SPP.	CRABAPPLE PRAIRIEFIRE	-	10' - 12'	-	-
CV	3	CRAETEGUS VIRIDIS	HAWTHORN WINTERKING	15 GAL.	-	-	-
MP	19	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	2 GAL.	-	-	-
CA	8	CLETHRA ALNIFOLIA	SUMMERSWEET	2 GAL.	-	-	-
IV	16	ILLEX VERTICILLATA	WINTERBERRY (MALE & FEMALE)	2-GAL.	-	-	-
MS	15	MISCANTHUS SINENSUS	MORNING LIGHT MAIDEN GRASS	2-GAL.	-	-	-
IV	16	CORNUS SERICEA	RED-OISER DOGWOOD	2-GAL.	-	-	-



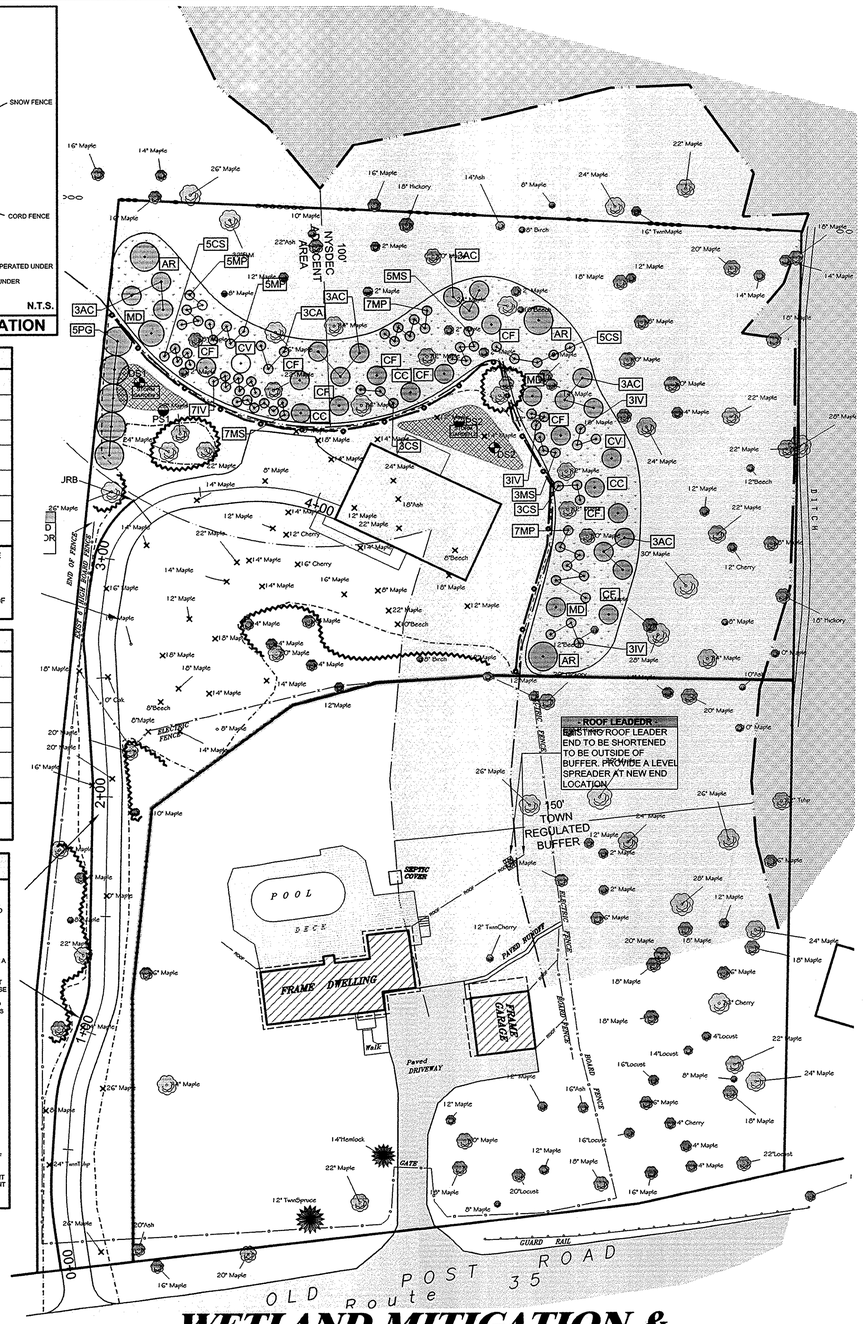
CORRECT METHODS OF TREE FENCING

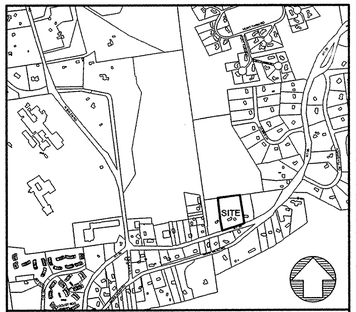
TREE AND ROOT PROTECTION

1. CONSTRUCTION EQUIPMENT, TRUCKS OR OTHER VEHICLES SHOULD NOT BE PARKED OR OPERATED UNDER THE CANOPY OF TREES TO BE SAVED.
2. PETROLEUM PRODUCTS AND CHEMICALS SHOULD NOT BE STORED, SPILLED, OR DUMPED UNDER PROTECTED TREE CANOPIES.
3. EXCAVATION OR STOCKPILING BENEATH PROTECTED TREES IS NOT ACCEPTABLE.
4. IN NO CASE SHALL BOARDS OR FENCES BE NAILED TO PROTECTED TREES.

N.T.S.

TREE PROTECTION FENCING INSTALLATION





LOCATION MAP SCALE: 1" = 500'

LIMIT OF DISTURBANCE

DESCRIPTION	AREA (ACRES)
WITHIN NYSDEC WETLAND	0.00
WITHIN NYSDEC BUFFER	0.00
WITHIN TOWN BUFFER	0.28
OUTSIDE OF ALL BUFFERS	0.31
TOTAL ON-SITE	0.57
BUFFER ENHANCEMENT	0.28

LIMITS OF DISTURBANCE INCLUDE: THE CONSTRUCTION OF THE NEW RESIDENCE, THE CONSTRUCTION OF THE DECKS, PATIOS, DRIVEWAYS AND WALKWAYS, THE PLACEMENT OF EROSION CONTROL MEASURES, THE REMOVAL OF TREES AND THE INSTALLATION OF DRAINAGE IMPROVEMENTS AND OTHER UTILITIES. PLACE ORANGE CONSTRUCTION FENCE ON LIMITS OF DISTURBANCE.

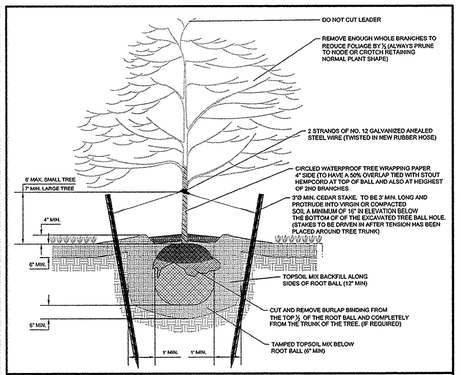
TREE REMOVAL

DESCRIPTION	#
TOTAL TREES TO BE REMOVED	50
WETLAND MITIGATION PLANTS (NOT TREES)	80 OF 114
WETLAND MITIGATION TREES	34 OF 114
STORM GARDEN PLANTS	68
TOTAL NEW PLANTS / TREES	182

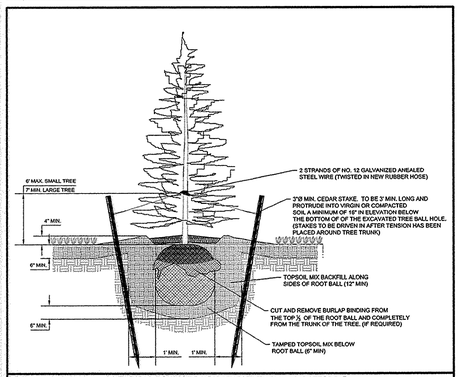
IN ADDITION TO THE NEW MITIGATION PLANTINGS PROPOSED, INVASIVE SPECIES WITHIN THE WETLAND BUFFER AREA SHALL ALSO BE REMOVED.

WETLAND BUFFER MITIGATION PLAN

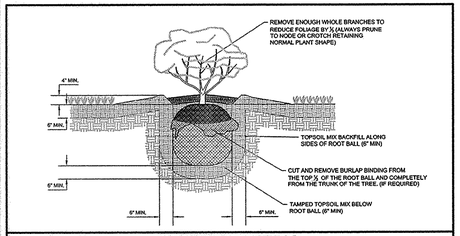
1. THE PRIMARY TARGET INVASIVE PLANT THAT WILL BE REMOVED IS MULTI-FLORA ROSE (THE MAJORITY OF THE INVASIVE SPECIES PRESENT). OTHER INVASIVE PLANTS THAT ARE LESS DOMINANT THAT WILL BE REMOVED IS JAPANESE BARBERRY, THE SECOND MOST ABUNDANT INVASIVE PLANT.
2. WHERE FEASIBLE, GARLIC MUSTARD AND JAPANESE STILT GRASS WILL BE REMOVED (SCATTERED AND NOT AS AGGRESSIVE AND WILL NOT COMPETE WITH MITIGATION PLANTINGS).
3. THE INVASIVE SPECIES STARTING AT THE 100' NYSDEC ADJACENT AREA FOR A WIDTH OF 35' INTO THE BUFFER SHALL BE REMOVED. INVASIVE SPECIES REMOVAL METHODS INCLUDE MECHANICAL REMOVAL OF THE PLANT AND P ROOT SYSTEM. MULTI-FLORA ROSE AND JAPANESE MBARBERRY WILL BE CUT 6-12 INCHES ABOVE GROUND, THEN THE ROOT SYSTEM PULLED OUT WITH USE OF EQUIPMENT. THE BRANCHES AND ROOTS SHALL BE COLLECTED AND HAULED OFF SITE AND DISPOSED OF PROPERLY. ALTERNATIVE METHODS TO THE ABOVE FOR PLANT REMOVAL INCLUDE REMOVAL OF THE ROOT SYSTEMS BY HAND OR THE KILLING OF THE PLANTS WITH APPROPRIATE, NON-TOXIC HERBICIDES.
4. PRIOR TO REMOVAL, AN ANEVIRONMENTAL CONSULTANT WILL TAG THE MULTI-FLORA ROSA NAD JAPANESE BARBERRY TO BE REMOVED. ANY SIGNIFICANT STANDS OF GARLIC MUSTARD OR JAPANESE STILT GRASS WILL ALSO BE MARKED FOR REMOVAL.
5. ALL PLANT DENRIS WILL BE COLLECTED IN A DUMPSTER AND HAULED OFF SITE AND DISPOSED OF PROPERLY, TO AN APPROVED FACILITY FOR BURIAL OR INCINERATION.
6. THE MITIGATION AREA SHALL BE RE-PLANTED WITH NATIVE SHRUBS SHOWN ON THESE PLANS THROUGHOUT THE PLANTING STRIP. TEMPORARY DEER FENCING TO BE INSTALLED AROUND PERIMETER OF PLANTING TO PROTECT PLANTS FROM DEER BROWSING.
7. REFER TO THE "WETLAND BUFFER MONITORING AND MAINTENANCE PLAN" DATED SPETEMBER 24, 2014 ON FILE WITH THE TOWN OF LEWISBORO. THE PLAN IDENTIFIES THE MONITORING AND MAINTENANCE RESPONSIBILITIES OF THE HOMEOWNER.
8. A SPLIT RAIL FENCE SHALL BE INSTALLED ALONG THE 100 NYSDEC ADJACENT REA LINE AND SHALL SERVE AS A PERMANENT BARRIER FOR ENCROACHMENT FROM FUTURE RESIDENTIAL ACTIVITIES.



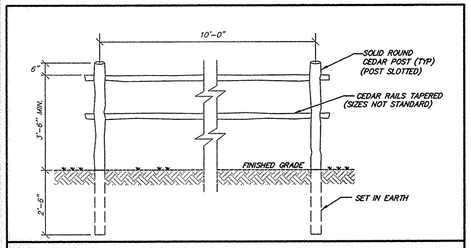
DECIDUOUS TREE PLANTING N.T.S.



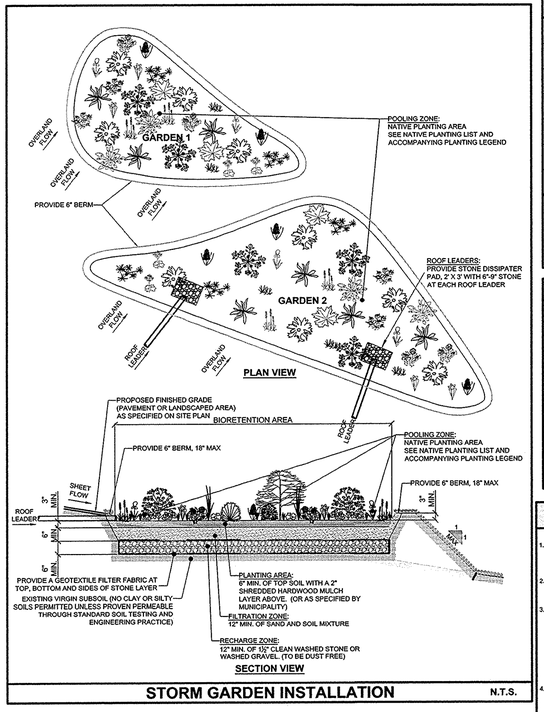
CONIFIEROUS TREE PLANTING N.T.S.



SHRUB PLANTING N.T.S.



SPLIT RAIL WOOD FENCE N.T.S.



STORM GARDEN INSTALLATION N.T.S.

STORM GARDEN PLANTING SCHEDULE

SYM.	QTY. SG1, SG2	BOTANICAL NAME	COMMON NAME	SIZE
	8, 16	OSMUNDA CINNAMOMEA	CINNAMON FERN	1 GAL.
	12, 24	AQUILEGIO CANADENSIS	COLUMBINE	1 QT.
	8, 16	PANICUM VIRGATUM	SWITCH GRASS	1 GAL.
	8, 16	SOLIDAGO RUGOSA	ROUGH GOLDENROD	1 QT.
	8, 16	PHYSOSTEGIA VIRGINIANA	OBEDIENT PLANT	1 QT.
	10, 20	ONOCLEA SENSIBILIS	SENSITIVE FERN	1 GAL.
	7, 14	IRIS VERSICOLOR	BLUE-FLAG IRIS	1 GAL.
	7, 14	EUPATORIUM SPP.	JOE-PYE WEED	1 GAL.
	7, 14	LOBELIA SIPHILITICA	GREAT BLUE LOBELIA	1 GAL.
	7, 14	RUDBECKIA HIRTA	BLACK-EYED SUSAN	1 GAL.
	7, 14	RUDBECKIA SUBTOMENTOSA	SWEET BLACK-EYED SUSAN	1 GAL.
	7, 14	ASTER UMBELLATUS	FLAT-TOPPED ASTER	1 GAL.
	7, 14	VERBENA HASTATA	BLUE VERVAIN	1 GAL.
	7, 14	ECHINACEA PURPURUA	PURPLE CONE FLOWER	1 GAL.

STORM GARDEN NOTES:

1. STORM GARDEN 1 - 110 TOTAL PLANTS, STORM GARDEN 2 - 220 TOTAL PLANTS.
2. FOOTING DRAINS SHALL NOT DISCHARGE INTO THE STORM GARDENS.

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- NYSDEC WETLAND
- NYSDEC REGULATED BUFFER
- TOWN REGULATED BUFFER
- WETLAND BUFFER ENHANCEMENT ZONE
- EXISTING FENCES
- PROPOSED WETLAND PROTECTION FENCE
- PROPOSED LIMIT OF DISTURBANCE
- 22" Maple, 14"Hemlock — EXISTING TREE TO REMAIN
- TEMPORARY TREE PROTECTION FENCIN
- 12" Maple, 12" Cherry, 4MP, AR — EXISTING TREE TO BE REMOVED
- PROPOSED PLANTING LOCATION

Dig Safely. New York
800-962-7962
www.digsafelynewyork.org
☐ Call Before You Dig
☐ Wait The Required Time
☐ Confirm Utility Response
☐ Respect the Marks
☐ Dig With Care

30 0 15 30
SCALE: 1" = 30 FT.

OWNER/DEVELOPER

FERNANDO & MARIA PINHEIRO

P.O. BOX 445
CROSS RIVER, NY 10518

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REVISIONS

#	REASON	DATE
4	WCDH COMMENTS	FEBRUARY 20, 2015
3	FINAL PLANNING BOARD APPROVAL	JANUARY 30, 2015
2	PLANNING BOARD AND CONSULTANT COMMENTS	OCTOBER 24, 2014
1	PLANNING BOARD AND CONSULTANT COMMENTS	SEPTEMBER 26, 2014

MUNICIPAL TAX IDENTIFICATION:

SECTION:	0020
BLOCK:	10801
LOT:	13
SUBLOT:	—
DRAWN BY:	JWT/KCS
CHECKED:	KCS/JWT
PROJECT:	PINHEIRO
DATE:	JULY 22, 2014
JOB #:	131010

STATE OF NEW YORK · TIMOTHY L. CRONIN III · 62980 · LICENSED PROFESSIONAL ENGINEER

TIMOTHY L. CRONIN III, P.E.
LICENSE #062980

WETLAND MITIGATION & TREE PRESERVATION PLAN

SCALE: 1" = 30'

TOWN ENGINEER'S CERTIFICATION

REVIEWED FOR COMPLIANCE WITH THE PLANNING BOARD RESOLUTION DATED NOVEMBER 18, 2014.

JOSEPH M. CARMELE, P.E. — DATE 4/20/15
KELLARD SESSIONS CONSULTING, P.C.
TOWN CONSULTING ENGINEER

OWNER'S CERTIFICATION

THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREON, IS FAMILIAR WITH THIS DRAWING AND ITS CONTENTS, AND HEREBY APPROVES THE SAME FOR FILING.

FERNANDO PINHEIRO — DATE
930 OLD POST ROAD, TOWN OF LEWISBORO NEW YORK

MARIA PINHEIRO — DATE
930 OLD POST ROAD, TOWN OF LEWISBORO, NEW YORK

PLANNING BOARD APPROVAL

APPROVED BY RESOLUTION OF THE LEWISBORO TOWN PLANNING BOARD DATED NOVEMBER 18, 2014.

JEROME KERNER, CHAIRMAN — DATE 4/21/15

LISA PISERA, SECRETARY — DATE 4-22-15

CRONIN ENGINEERING
PROFESSIONAL ENGINEERING & CONSULTING
(914) 736-3664

39 Arlo Lane
Cortlandt Manor, New York 10567

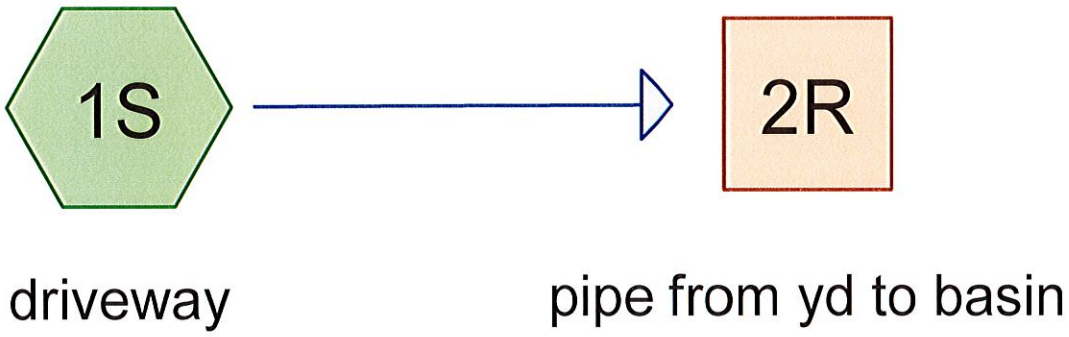
WETLAND MITIGATION & TREE PLAN

SUBDIVISION & SITE DEVELOPMENT PLAN FOR PINHEIRO

LOCATION:
930 OLD POST ROAD (ROUTE 35)
CROSS RIVER (TOWN OF LEWISBORO), NEW YORK 10518

SHEET 5 OF 7 | WMTP-4.1

926 ROUTE 35
DRIVEWAY DRAINAGE CALCULATIONS
JANUARY 25, 2024



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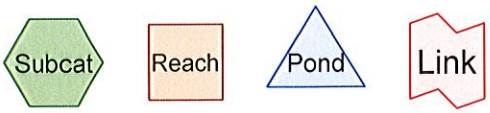


Routing Diagram for ~3-Gecaj-driveway pipe-20240125
Prepared by HP Inc., Printed 1/12/2024
HydroCAD® 10.00 s/n 00826 © 2011 HydroCAD Software Solutions LLC

Summary for Subcatchment 1S: driveway

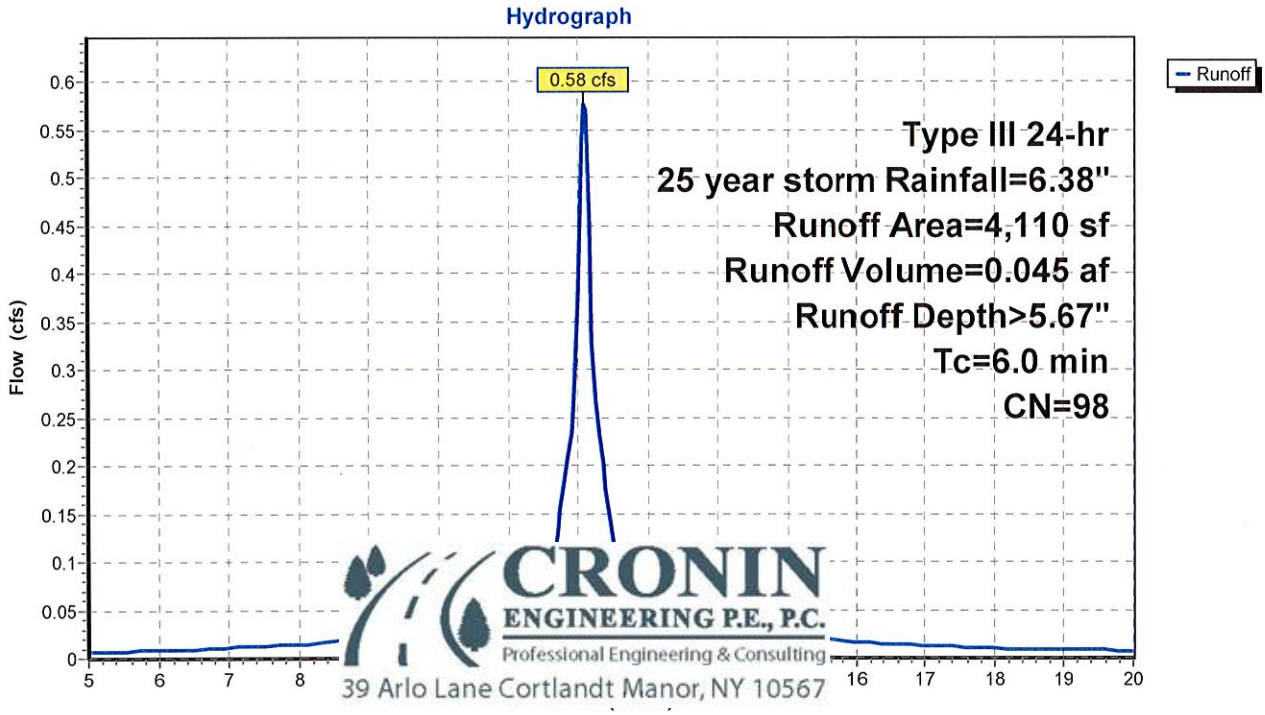
Runoff = 0.58 cfs @ 12.09 hrs, Volume= 0.045 af, Depth> 5.67"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 25 year storm Rainfall=6.38"

	Area (sf)	CN	Description
*	4,110	98	drivway
	4,110		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					**Direct Entry,**

Subcatchment 1S: driveway



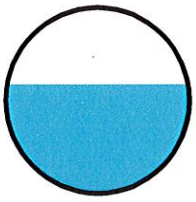
Summary for Reach 2R: pipe from yd to basin

Inflow Area = 0.094 ac,100.00% Impervious, Inflow Depth > 5.67" for 25 year storm event
Inflow = 0.58 cfs @ 12.09 hrs, Volume= 0.045 af
Outflow = 0.57 cfs @ 12.09 hrs, Volume= 0.045 af, Atten= 1%, Lag= 0.3 min

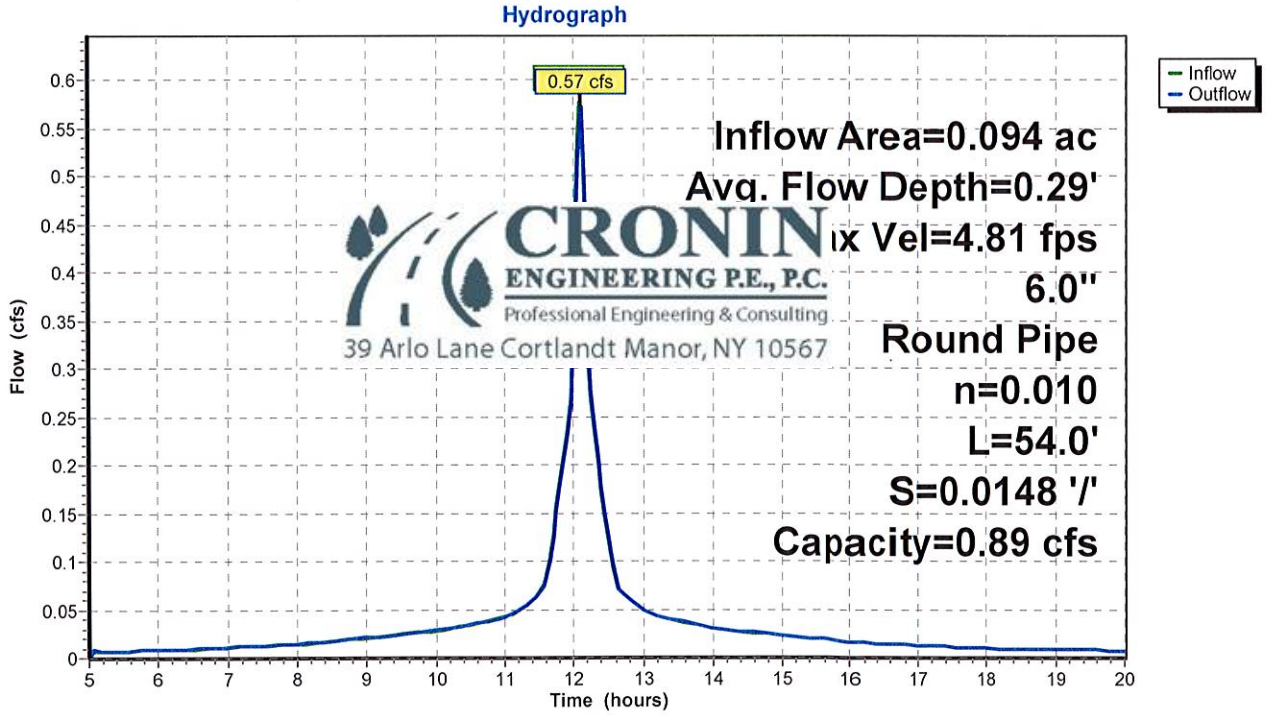
Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Max. Velocity= 4.81 fps, Min. Travel Time= 0.2 min
Avg. Velocity = 1.94 fps, Avg. Travel Time= 0.5 min

Peak Storage= 6 cf @ 12.09 hrs
Average Depth at Peak Storage= 0.29'
Bank-Full Depth= 0.50' Flow Area= 0.2 sf, Capacity= 0.89 cfs

6.0" Round Pipe
n= 0.010 PVC, smooth interior
Length= 54.0' Slope= 0.0148 '/'
Inlet Invert= 193.30', Outlet Invert= 192.50'



Reach 2R: pipe from yd to basin



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E: civil@croninengineering.net

DRAINAGE REPORT

INFILTRATION SIZING

FOR

Gecaj Residence
926 Old Post Road, Town of Lewisboro
Westchester County, NY

DATED: July 11, 2014, rev September 26, 2014, rev January 25, 2024

BACKGROUND INFORMATION

This drainage report has been prepared in accordance with the Town of Lewisboro requirements for stormwater management.

The original project was a two-lot residential subdivision resulting in the creation of one new building lot, lot 2. Lot 1 contains an existing residence, detached garage, asphalt driveway and an above ground swimming pool with a deck surround. Lot 2 will be developed with a new residence and an impervious driveway. The total pre-subdivision lot area is 2.942 acres. The proposed disturbance will occur in lot 2 only. The disturbance consists of approximately 0.6 acres or 29,000 square feet, which is comprised of the construction of the proposed residence and driveway, the installation of the septic system and stormwater treatment facilities and wetland and tree mitigation planting.

The Town of Lewisboro requires mitigation for the peak rate of discharge for the 25-year recurrence storm generated by the net increase in impervious surfaces from the new development.

For this project and due to site constraints, the mitigation will be in the form of a storm garden. The storm garden will primarily receive stormwater from a new lawn area, the driveway from station 0+00 to station +- 3+45, the roof and walkways. The total tributary area to the storm garden is 11,530 square feet and has a pre-development Runoff Curve Number (CN) of 75 and a post-development CN of 90. See **Figure 1**.

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The analysis has been broken down into the stormwater to be received at the storm garden. The storm garden has a total volume available of 1,500 cubic feet. Soils testing was conducted in the area of the proposed storm garden on September 11, 2014 with the Town Consulting Engineer and revealed sandy loam soils to a depth of 7'. No rock or groundwater was encountered, and the percolation tests revealed a percolation rate of 2 minutes per inch drop.

For the 25-year storm event, the Northeast Regional Climate Center (NRCC) precipitation estimate for this area is 6.38" of rain over a 24-hour period, See Table below. Except for the removal of several trees since the original approval, the areas proposed for development are in similar shape.

Extreme Precipitation Tables

Northeast Regional Climate Center

Data represents point estimates calculated from partial duration series. All precipitation amounts are displayed in inches.

Metadata for Point

Smoothing	Yes
State	New York
Location	New York, United States
Latitude	41.270 degrees North
Longitude	73.601 degrees West
Elevation	140 feet
Date/Time	Mon Jul 31 2023 11:33:27 GMT-0400 (Eastern Daylight Time)

Extreme Precipitation Estimates

	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr		1day	2day	4day	7day	10day	
1yr	0.33	0.51	0.63	0.83	1.04	1.30	**1yr**	0.90	1.22	1.49	1.85	2.28	2.82	3.18	**1yr**	2.50	3.06	3.53	4.23	4.87	**1yr**
2yr	0.40	0.61	0.76	1.00	1.26	1.57	**2yr**	1.08	1.47	1.81	2.24	2.76	3.40	3.81	**2yr**	3.01	3.67	4.21	4.97	5.63	**2yr**
5yr	0.46	0.72	0.90	1.21	1.55	1.96	**5yr**	1.34	1.81	2.26	2.81	3.47	4.27	4.82	**5yr**	3.78	4.64	5.35	6.22	6.99	**5yr**
10yr	0.52	0.81	1.03	1.40	1.81	2.31	**10yr**	1.56	2.12	2.68	3.34	4.13	5.08	5.76	**10yr**	4.49	5.54	6.42	7.38	8.24	**10yr**
25yr	0.60	0.96	1.22	1.68	2.24	2.89	**25yr**	1.93	2.61	3.37	4.22	5.22	6.38	7.28	**25yr**	5.65	7.00	8.17	9.24	10.25	**25yr**
50yr	0.68	1.09	1.40	1.96	2.64	3.43	**50yr**	2.27	3.07	4.01	5.02	6.21	7.59	8.71	**50yr**	6.72	8.37	9.81	10.95	12.08	**50yr**
100yr	0.77	1.25	1.61	2.28	3.10	4.07	**100yr**	2.68	3.60	4.77	5.99	7.40	9.04	10.41	**100yr**	8.00	10.01	11.79	12.99	14.26	**100yr**
200yr	0.87	1.42	1.85	2.65	3.66	4.83	**200yr**	3.16	4.23	5.68	7.14	8.82	10.76	12.46	**200yr**	9.52	11.98	14.17	15.41	16.82	**200yr**
500yr	1.04	1.72	2.24	3.25	4.56	6.06	**500yr**	3.94	5.24	7.14	9.00	11.13	13.57	15.80	**500yr**	12.01	15.19	18.09	19.33	20.95	**500yr**

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FIGURE 1:
STORM GARDEN WATERSHED BOUNDARIES

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The following figures, Figures 2 through 3 represent the runoff values produced for the portions of the property that are anticipated to be new impervious surfaces, both in the pre and post developed condition for a 6.38”/24-hour Type III (25 Year Storm) rainfall event tributary to the storm garden.

FIGURE 2:
STORM GARDEN PRE-DEVELOPMENT SUMMARY & HYDROGRAPH

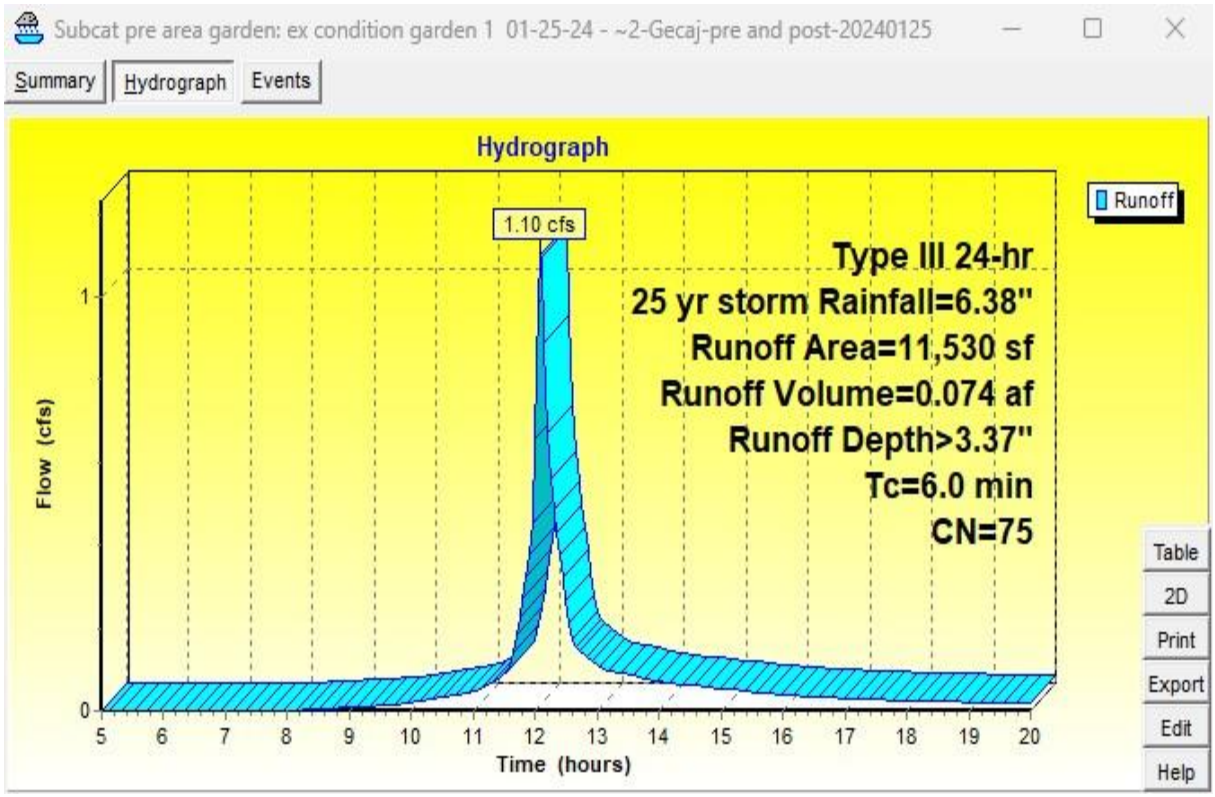
pre-development ground cover in the location of the proposed driveway, house and walkway

Runoff = 1.10 cfs @ 12.09 hrs, Volume= 0.074 af, Depth> 3.37"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 25 yr storm Rainfall=6.38"

Area (sf)	CN	Description
4,215	79	50-75% Grass cover, Fair, HSG C
7,315	73	Woods, Fair, HSG C
11,530	75	Weighted Average
11,530		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					**Direct Entry, pre development tc**



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Source: Cronin Engineering P.E. P.C., HydroCad Stormwater Modeling System

FIGURE 3:
STORM GARDEN POST-DEVELOPMENT SUMMARY & HYDROGRAPH

post-development location of the proposed driveway, house and walkway

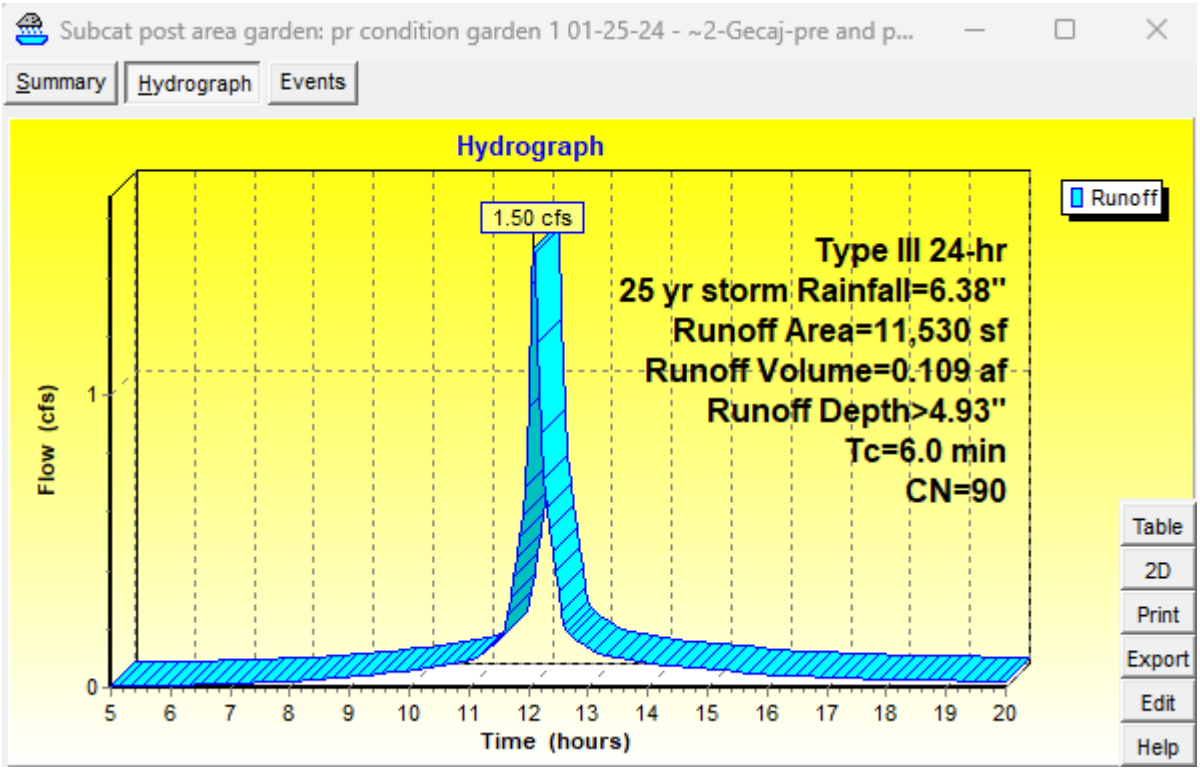
Runoff = 1.50 cfs @ 12.09 hrs, Volume= 0.109 af, Depth> 4.93"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 25 yr storm Rainfall=6.38"

	Area (sf)	CN	Description
*	7,495	98	Impervious-house/drive, HSG C
	4,035	74	>75% Grass cover, Good, HSG C
	11,530	90	Weighted Average
	4,035		35.00% Pervious Area
	7,495		65.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					**Direct Entry, post development tc**

Source: Cronin Engineering P.E. P.C., HydroCad Stormwater Modeling System



Source: Cronin Engineering P.E. P.C., HydroCad Stormwater Modeling System

ANALYSIS

This analysis was prepared to design a facility that will treat and infiltrate the net increase in runoff produced in the 6.38”/24-hour Type III (25 Year Storm) rainfall event over the new impervious areas.

Based on the hydrologic analysis above, the total volume that must be captured shall be the net increase from the existing condition.

For the storm garden, pre-development runoff = 3.37” and post development = 4.93”, therefore, the runoff volume to be mitigated is 4.93” – 3.37” = 1.56” x 1/12 x 11,530 square feet = 1,500 cubic feet.

Deep soils testing was performed in the location of the proposed infiltration areas on September 11, 2014, with the Town Consulting Engineer and the excavation revealed a general soil profile of brown sandy loams to grey sand and gravels to depths of 7’-0”. Groundwater was not encountered; however, groundwater levels on the lot ranged from 4’ to 7’ deep during soils testing for the sewage treatment system. Soil Percolation testing yielded results of 2 and 5 min./in. The percolation rate at the storm garden is 2 minutes / inch.

The following drainage calculations have been performed in accordance with the standards set forth by the “Westchester County – Best Management Practices Manual Series for Stormwater Management”.

STORM GARDEN SIZING CALCULATIONS

1) Design based on 6.38”/24-hour Type III Rain Storm (25 Year Storm) (Total tributary area for the increase in impervious areas to be treated is 11,530 ft^2) and total volume to be treated is 1,500 cu. ft.

2) The selected practice to treat stormwater runoff will be a shallow infiltration storm garden.

3) Volume of Infiltration basin (Storage Only)

   Volume = 750 sq ft base x 2 feet deep = 1,500 cubic feet

4) The following chart provides the calculations to determine the adequate sizing for the storm garden:

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STORM GARDEN CAPACITY

11,530	ft^2	Treatment design area
6.38	in.	Design Storm 25-year 24-hour rainfall
75		CN Pre
90		CN Post
3.37	in.	Pre-Runoff
4.93	in.	Post-Runoff
1.56	in.	Δ
1,499	ft^3	Design Volume (Proposed runoff depth x design area)

Soil Percolation

5	min/in.	Percolation rate
12	in	Diameter of hole
8	in	Depth of water
2.09	ft^2	Side Area (3.14 x diameter x depth)
0.79	ft^2	Bottom Area (3.14 x radius of hole^2)
2.88	ft^2	Total percolation area (Side + Bottom Area)
0.07	ft^3	Volume of 1" of percolation (1" x Bottom Area)
6.55	$ft^3/ft^2/day$	Soil percolation rate (Vol. of 1" percolation / Total perc. Area / 1" perc. Rate
25	%	Clogging factor
4.91	$ft^3/ft^2/day$	Percolation rate minus clogging factor

Treatment Capacity

1,500	ft^3	Storage Volume of Pond
750	ft^2	Base Area of Pond
3,682	ft^3/day	Percolation volume under Pond (Base Area x percolation rate)
5,182	ft^3/day	Pond Capacity (Storage Volume + Percolation Volume)

Reference: Westchester County Best Management Practices Manual on Stormwater Management prepared by the Westchester County Department of Planning dated Spring 1984

5) Volume Required and provided for the storm garden:

Net increase in runoff volume	= 1,500 cubic feet
Storage volume provided in storm garden	= 1,500 cubic feet
Total 24-hour volume	= 5,182 cubic feet / day

This provides a factor of safety of 5,182/1,500 = +-3.4

DESIGN CONSIDERATIONS

There will be one (1) small, shallow infiltration basin, storm garden required to accommodate the net increase in runoff produced by the proposed driveway, house and walkways for the storm condition described above.

The majority of the runoff from the proposed driveway shall be directed to the proposed shallow infiltration basin storm garden. In addition, the runoff from the driveway turnaround area will be infiltrated into the pervious pavers. In the event that the runoff volume being directed to the infiltration system exceeds the system's capacity, the infiltration basin will have a rip rap overflow weir and a rock outlet dissipation pad to prevent scour and dissipate the overland flows into the wooded areas down gradient.

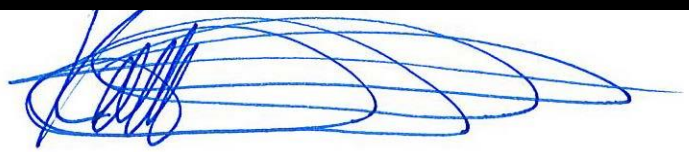
CONCLUSIONS

For a 25 Year Type III Storm event, it is not anticipated that there will be an increase in the peak rate of runoff in the proposed condition as compared to the pre-development condition. This conclusion is based on the fact that the runoff from the proposed driveway, house and walkways is being directed to the infiltration system which will mitigate the net increase in runoff as a result of the new impervious surfaces.

Since the infiltration system has been over-sized (with a factor of safety of 3.3 to accommodate more than just the proposed impervious areas described in this report, the effective drainage area has been reduced to below pre-development conditions. Overflow drainage from the infiltrator basin shall flow in the same direction as the natural drainage pattern for the lot.

Refer to plans prepared by this office entitled: "Subdivision and Site Development for 926 Old Post Road", dated as revised **January 25, 2024** for additional information regarding the installation of the infiltration and pre-treatment devices.

ENGINEER'S CERTIFICATION



DATE: 01-25-24

Prepared by: Keith Staudohar, CPESC CPSWQ

DATE: 01-25-24

Certified by: Patrick Bell, PE
NYS License #: 087679

New York State Department of Environmental Conservation
Division of Water
Bureau of Water Permits, 4th Floor
625 Broadway, Albany, New York 12233-3505
Phone: (518) 402-8111 • **Fax:** (518) 402-9029
Website: www.dec.ny.gov

Joe Martens
Commissioner

4/27/2015

FERNANDO PINHEIRO
FERNANDO PINHEIRO
930 OLD POST ROAD
CROSS RIVER, NY 10518-

Re: ACKNOWLEDGMENT of NOTICE of INTENT for Coverage Under SPDES General Permit for Storm Water Discharges from CONSTRUCTION ACTIVITY General Permit No. GP-0-15-002

Dear Prospective Permittee:

This is to acknowledge that the New York State Department of Environmental Conservation (Department) has received a complete Notice of Intent (NOI) for coverage under General Permit No. GP-0-15-002 for the construction activities located at:

SUBDIVISION FOR PINHEIRO
930 OLD POST ROAD
LEWISBORO, NY 10518- **County: WESTCHESTER**

Pursuant to Environmental Conservation Law (ECL) Article 17, Titles 7 and 8, ECL Article 70, discharges in accordance with GP-0-15-002 from the above construction site will be authorized **10** business days from **04/24/2015** which is the date we received your final NOI, unless notified differently by the Department.

The permit identification number for this site is: **NYR10Z303** . Be sure to include this permit identification number on any forms or correspondence you send us. When coverage under the permit is no longer needed, you must submit a Notice of Termination to the Department.

This authorization is conditioned upon the following:

1. The information submitted in the NOI received by the Department on **04/24/2015** is accurate and complete.

2. You have developed a Stormwater Pollution Prevention Plan (SWPPP) that complies with GP-0-15-002 which must be implemented as the first element of construction at the above-noted construction site.

3. Activities related to the above construction site comply with all other requirements of GP-0-15-002.

4. Payment of the annual $100 regulatory fee, which is billed separately by the Department in the late fall. The regulatory fee covers a period of one calendar year. In addition, since September 1, 2004, construction stormwater permittees have been assessed an initial authorization fee which is now $100 per acre of land disturbed and $600 per acre of future impervious area. The initial authorization fee covers the duration of the authorized disturbance.

5. Your SWPPP has been reviewed by the regulated, traditional land use control MS4 where your project is located and has been determined to be in substantive conformance with the requirements in the SPDES General Permit for Stormwater Discharges from MS4s.

6. When applicable, project review pursuant to the State Environmental Quality Review Act (SEQRA) has been satisfied.

7. You have obtained all necessary Department permits subject to the Uniform Procedures Act (UPA). You should check with your Regional Permit Administrator for further information.

***Note: Construction activities cannot commence until project review pursuant to SEQRA has been satisfied, when SEQRA is applicable; and, where required, all necessary Department permits subject to the UPA have been obtained.**

Please be advised that the Department may request a copy of your SWPPP for review.

Should you have any questions regarding any aspect of the requirements specified in GP-0-15-002, please contact Dave Gasper at (518) 402-8114 or the undersigned at (518) 402-8109.

Sincerely,

Toni Cioffi

Toni Cioffi
Environmental Program Specialist 1

cc: RWE - 3
SWPPP Preparer

CRONIN ENGINEERING PE PC
STAUDOHAR KEITH
39 ARLO LANE
CORTLANDT MANOR, NY 10567-

Westchester gov.com

Westchester County Department of Health
Bureau of Environmental Quality
CONSTRUCTION APPROVAL APPLICATION

(WCDOH OFFICE USE ONLY)

WCDH File # L2023-15 Municipality: Lewisboro Fee Amount: _____

Watershed Basin Name: Croton River If NYCDEP Watershed: Joint Review ☐ Delegated Review ☐

■ On-site Wastewater Treatment System ■ Private Water Supply ■ Residential ☐ Commercial

Is property in a Water District: Y☐ N ■ Name: N/A Is property in a Sewer District: Y☐ N ■ Name: N/A

Property Information:

Property Name Gecaj Residence

Property Address 0 Route 35 Cross River NY Zip Code 10518

TMD: Section 0020 Block 10801 Lot 156 R.S. Lot - Lot Area 1.58 Acres

Realty Subdivision: Subdivision Plat for Pinheiro Map # 28871 Date Filed 4/28/2015

Owner Name: Jeff Gecaj Owner Email: jeffgecaj@yahoo.com

Address: 924 Route 35, Cross River State NY Zip Code: 10518

Building Type: SINGLE FAMILY RESIDENTIAL # of Bedrooms: 4 Total Habitable Space: +/-5,000 Sq. Ft.

On-site Wastewater Treatment System (OWTS) Information:

Design Flow: 440 gpd Soil Percolation Rate: 6-7 min./in Slope of OWTS Area: 7.5 % Septic Tank Size: 1,500 Gallons

Absorption Trench(es): Length: 220 Lin. Ft. Trench Width: 2 Ft. Area: 550 Sq. Ft.

Absorption Pit(s): # Pits - Diameter: - Ft. Depth: - Ft. Area: - Sq. Ft.

Other (circle or specify): Tri-Galleys 4X4 Galleys Flow Diffusers Other: _____

Number_____ Length: _____ Lin. Ft. Width: _____ Ft. Area: _____ Sq.Ft./Lin Ft.

ETU/ATU Make & Model -

Other Requirements:

Pump System: Pump/Siphon Chamber: Size: 1,250 Gal. Dose Draw and Volume 4-5/8 inches 122.7 Gal.

Curtain Drain: Depth: 7-0 Ft. Width: 2-0 Ft. R.O.B. Sand and Gravel Fill Section: Depth: N/A Ft.

Separate Sewage Contractor (SSC): Name: TBD LICENSED CONTRACTORS ONLY WCDH SSC License # TBD

Water Supply System Information: ■ Private Water Supply ☐ Public Water Supply Name: _____

Well Driller Name: TBD REGISTERED WELL DRILLER ONLY NYSDEC Reg # -

Other Requirements/Conditions: None NYCDEP Log # 2006-CR-0406-DTS.2

I represent that I am wholly and completely responsible for the design and location of the proposed system(s): 1] that the on-site wastewater treatment system above described will be constructed as shown on the approved plan or approved amendments thereto and in accordance with the standards, rules and regulations of the Westchester County Department of Heath; that on completion thereof, a "Certificate of Construction Compliance" satisfactory to the Commissioner of Health will be submitted to the Department and a written guarantee will be furnished the owner, his successors, heirs or assigns, by the builder that said builder will place in good operating condition any part of said OWTS which fails to operate for a period of two (2) years immediately following the date of the issuance of the approval of the Certificate of Construction Compliance of the OWTS or any repairs thereto; 2] that the drilled well described above will be located as shown on the approved plan and that said well will be installed in accordance with the standards, rules and regulations of the Westchester County Department of Health and requirements of the WCDOH Private Well Testing Law..

Date: 6/11/23 Signed: _____ P.E./R.A.Seal _____

STATE OF NEW YORK LICENSED PROFESSIONAL ENGINEER 087679

APPROVED FOR CONSTRUCTION

This approval expires one (1) year from the date issued unless construction of the building has been undertaken, and is revocable for cause or may be amended or modified when considered necessary by the Commissioner of Health. Any change or alteration of construction requires a new permit.

Date: 11/6/2023 Approved By: _____

Commissioner, Westchester County Department of Health

Rev. 1/2022

SITE SPECIFIC NOTES

1. THE EXISTING SITE AREA EQUALS 1.58 ACRES.
2. ACCORDING TO THE TAX ASSESSOR, THE EXISTING SITE CONSISTS OF THE FOLLOWING TAX PARCEL IDENTIFICATION NUMBERS: SECTION: 0020, BLOCK: 10801, LOT(S): 156.
3. SURVEY & TOPOGRAPHIC DATA SHOWN HEREON IS TAKEN FROM A PLAN PREPARED BY RKW LAND SURVEYING ENTITTLED: "SURVEY OR PROPERTY FOR FERNANDO & MARIA PINHEIRO..." DATED JANUARY 14, 2014.
4. THE SUBJECT SITE IS LOCATED IN THE R-1A ZONING DISTRICT.
5. REFERENCE IS MADE TO THE ARCHITECTURAL PLAN PREPARED BY TOM F. ABILLAMA ARCHITECTURE AND PLANNING DATED SEPTEMBER 14, 2022.
5. THE SUBJECT SITE IS LOCATED IN THE CROTON RIVER BASIN.
6. LOT SHOWN IS LOT 2 OF SUBDIVISION KNOWN AS "SUBDIVISION & SITE DEVELOPMENT PLAN FOR PINHEIRO..", FILED MAP #28871.

WESTCHESTER COUNTY HEALTH DEPARTMENT NOTES

1. THERE SHALL BE NO TREES WITHIN 10 FEET OF THE ON-SITE WASTEWATER TREATMENT SYSTEM (OWTS).
2. THERE ARE NO WELLS WITHIN 200' OF THE OWTS UNLESS OTHERWISE SHOWN ON THIS PLAN.
3. THE PROPOSED OWTS MUST BE ISOLATED AND EFFECTIVELY PROTECTED AGAINST DAMAGE BY EROSION, STORAGE OF EARTH OR MATERIALS, DISPLACEMENT, COMPACTION OR OTHER ADVERSE PHYSICAL CHANGE IN THE CHARACTERISTICS OF THE SOIL OR IN THE DRAINAGE AREA.
4. IF FOR ANY REASON THE APPROVED CONSTRUCTION PLAN CAN NOT BE FOLLOWED, A REVISED PLAN MUST BE PREPARED, SUBMITTED, AND APPROVED BY THE WCDH.
5. THE DESIGN PROFESSIONAL SHALL SUPERVISE THE CONSTRUCTION OF THE OWTS AND MAKE AN OPEN WORKS INSPECTION.
6. WITHIN 24 HOURS OF COMPLETION OF THE OWTS, THE DESIGN PROFESSIONAL MUST NOTIFY THE DEPARTMENT THAT THE OWTS IS READY FOR INSPECTION BY SUBMITTING A COMPLETED REQUEST FOR AN OPEN WORKS INSPECTION ON THE APPROPRIATE DEPARTMENTAL FORM.
7. NO BACKFILLING OF A COMPLETED OWTS CAN OCCUR UNTIL AFTER IT HAS BEEN INSPECTED AND ACCEPTED BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH.
8. AFTER BACKFILLING, THE AREA SHALL BE COVERED WITH A MINIMUM OF 4 INCHES OF CLEAN TOP SOIL, SEEDED AND MULCHED.
9. THE INSTALLATION OF THE OWTS SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE DESIGN AND CONSTRUCTION OF RESIDENTIAL SUBSURFACE SEWAGE TREATMENT SYSTEMS AND DRILLED WELLS IN WESTCHESTER COUNTY, NY.
10. ALL PIPES CONECTING TO TANKS AND BOXES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE BOX.
11. THE PROPOSED OWTS SHALL BE INSTALLED BY A WESTCHESTER COUNTY LICENSED CONTRACTOR.
12. PRIOR TO EXCAVATION, ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL 1-800-962-7962 (CODE 53).
13. THE WESTCHESTER COUNTY HEALTH DEPARTMENT APPROVAL EXPIRES ONE YEAR FROM THE DATE ON THE APPROVAL STAMP AND IS REQUIRED TO BE RENEWED ON OR BEFORE THE EXPIRATION DATE. THE APPROVAL IS REVOCABLE FOR CAUSE OR MAY BE AMENDED OR MODIFIED WHEN CONSIDERED NECESSARY BY THE DEPARTMENT.
14. THERE ARE NO RESERVOIRS, RESERVOIR STEMS OR CONTROLLED LAKE WITHIN 500 FEET OF THE PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN.
15. THERE ARE NO NYSDEC WETLANDS OR WATERCOURSES WITHIN 200 FEET OF THE PROPOSED OWTS EXCEPT AS SHOWN ON THIS PLAN.
16. THERE ARE NO EXISTING OR PROPOSED WELLS LOCATED WITHIN 200 FEET AT A LOWER ELEVATION AND IN A DIRECT LINE WITH THE GROUNDWATER FLOW OR WITHIN 100 FEET IN ANY DIRECTION TO THE PROPOSED OWTS AREA UNLESS OTHERWISE SHOWN HEREON.
17. ALL COMPONENTS OF THE OWTS AND CONSTRUCTION TECHNIQUES OF SAME ARE TO BE IN ACCORDANCE WITH THE LATEST WESTCHESTER COUNTY DEPARTMENT OF HEALTH "RULES AND REGULATIONS FOR THE DESIGN AND CONSTRUCTION OF RESIDENTIAL SUBSURFACE TREATMENT SYSTEMS AND DRILLED WELLS IN WESTCHESTER COUNTY, NY" AND ANY OTHER RULES AND REGULATIONS THAT MAY APPLY.
18. THE OWTS AREAS MUST BE ISOLATED AND EFFECTIVELY PROTECTED AGAINST DAMAGE BY EROSION, STORAGE OF EARTH OR MATERIALS OR COMPACTION BY MACHINES AND HEAVY EQUIPMENT. DAMAGE TO ANY PORTION OF AN OWTS AREA SHALL BE REPAIRED BEFORE APPROVAL IS GRANTED.
19. EXPANSION AREAS FOR ALL LOTS SHALL REMAIN UNDISTURBED AS MUCH AS IS PRACTICABLE.
20. THE EXISTING ON-SITE WASTEWATER TREATMENT SYSTEM FOR LOT 1 WAS INSPECTED BY THIS OFFICE AND APPEARED TO BE OPERATING SATISFACTORILY AT THE TIME OF INSPECTION. NO IMPROVEMENTS OR CHANGES PROPOSED.
21. REFERENCE IS MADE TO THE SUBDIVISION PLAT PREPARED BY RKW LAND SURVEYING, DATED AS REVISED FEBRUARY 20, 2015.
22. REFERENCE IS MADE TO THE SUBDIVISION IMPROVEMENT PLANS PREPARED BY THIS OFFICE ON FILE WITH THE TOWN OF LEWISBORO, DATED AS REVISED FEBRUARY 20, 2015.
23. THE PROPERTY IS SUBJECT TO LOCAL WETLAND REGULATIONS.
24. WELL SHALL BE INSTALLED BY A NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION REGISTERED WELL DRILLER.
25. DRILLED WELL TO BE SAMPLED AND TESTED IN ACCORDANCE WITH THE WCDOH PRIVATE WELL TESTING LAW.

WCDH REQUIRED INFORMATION

OWNER/DEVELOPER

JEFF GECAJ

SEWAGE TREATMENT SYSTEM DESIGN INFORMATION:

BUILDING TYPE	SINGLE FAMILY RESIDENCE
# OF BEDROOMS	4
ACRES	1.58 AC (±68,753 SF)
DESIGN FLOW	110 GPD/BR = 440 GPD
SOIL PERCOLATION RATE	6-7 MIN./IN.
TRENCH AREA	440 SF
APPLICATION RATE	1.0 GPD/SF (P)
ABSORPTION FIELDS REQUIRED	220 LF
ABSORPTION FIELDS PROPOSED	220 LF
SEPTIC TANK SIZE & MATERIAL	1,500 GALLON CONCRETE
FILL PROPOSED	N/A
SLOPE IN PRIMARY SYSTEM	7.5%
SLOPE IN EXPANSION AREA	8.5%
DOSING SYSTEM	1,250 GALLON PUMP CHAMBER
CURTAIN DRAIN	YES (7' DEEP MIN)

WATER SUPPLY:
PROPOSED WELL

WATERSHED BASIN:
CROTON RIVER

ESTIMATED CONSTRUCTION SCHEDULE
APRIL 2024 - APRIL 2025

PERCOLATION TESTING

#	DEPTH	PERCOLATION RATE
P1	24"	6-7
P2	24"	6-7
P3	25"	6-7
P4	25"	6-7

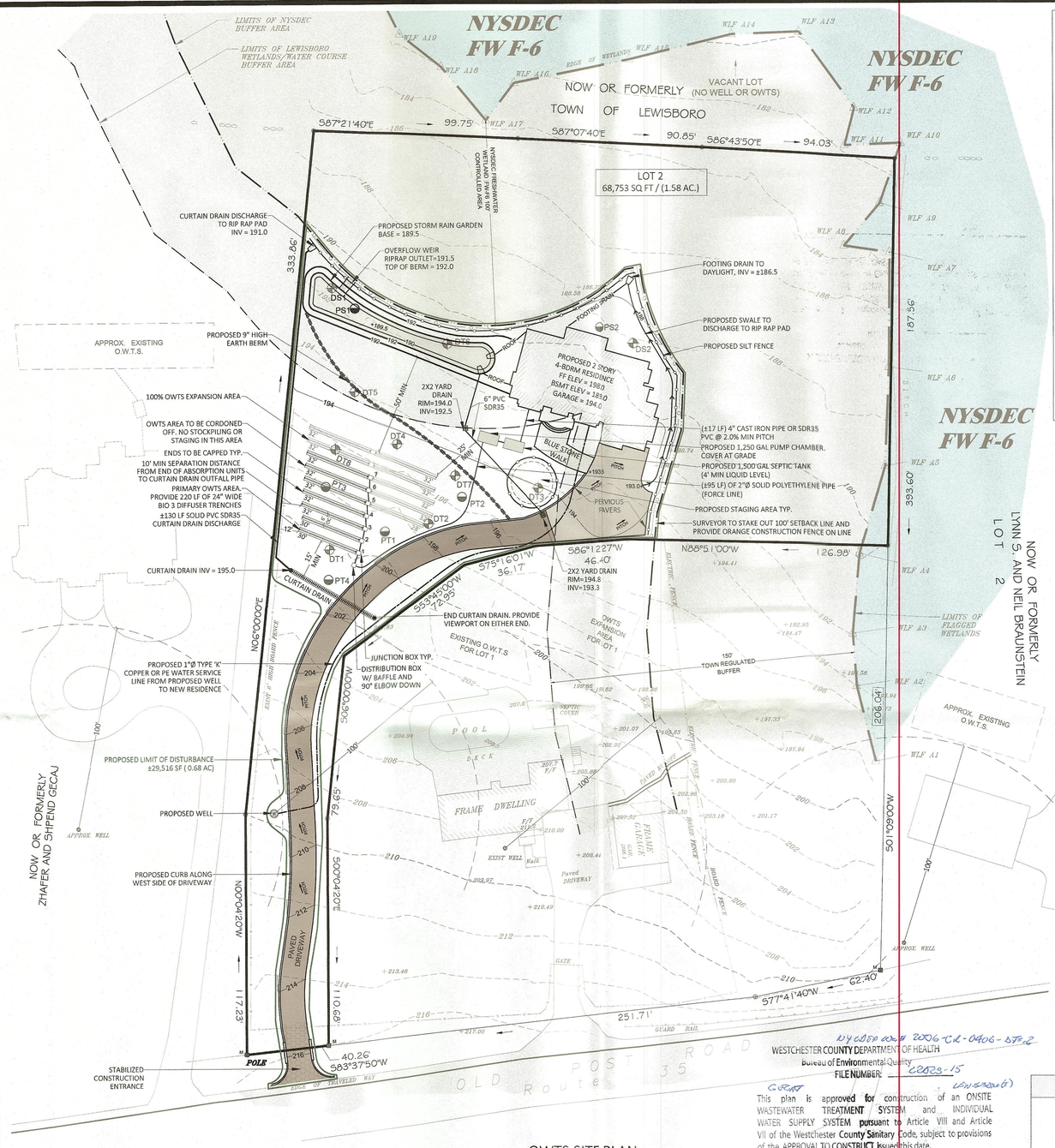
PERCOLATION TESTING WAS CONDUCTED ON JUNE 18, 2014 & JUNE 19, 2014.

SOIL INVESTIGATION RESULTS

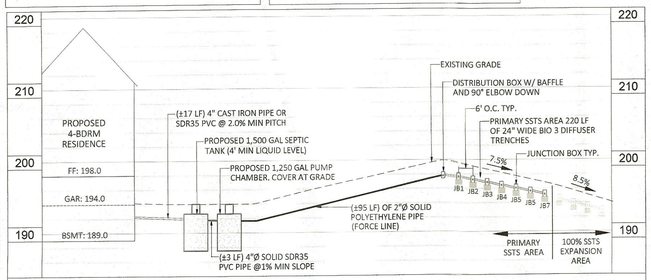
DEEP TEST DESCRIPTION

TEST HOLE NUMBER	DEPTH	SOIL CLASSIFICATION
DT1,2,4,7,8	0" TO 4"	TOPSOIL
	4" TO 16"	BROWN SANDY LOAM
	16" TO 30"	LIGHT BROWN SANDY LOAM
	30" TO 84"	GREY SANDY LOAM
	FOR DT2:	GROUNDWATER AT 54"
	FOR DT4:	MOTTLING AT 42" & GROUNDWATER AT 60"
	FOR DT7:	GROUNDWATER AT 42"
	FOR DT8:	GROUNDWATER AT 66"

NOTE: SOILS TESTING WAS CONDUCTED BY CRONIN ENGINEERING, P.E., P.C. AND WITNESS BY THE WCDH. DEEP TESTING WAS CONDUCTED ON MAY 15, 2014 & MAY 18, 2014.



OWTS SITE PLAN
SCALE: 1" = 30'



OWTS INSTALLATION PROFILE
SCALE: HORIZ: 1'=30', VERT: 1"=10'

INVERT ELEVATIONS	
OUT OF HOUSE (MIN. RAW INVERT)	192.0
INTO TANK	191.8
OUT OF TANK	191.6
INTO PUMP CHAMBER	191.5
OUT OF PUMP	191.1
INTO DISTRIBUTION BOX W/ BAFFLE	197.75
INTO JUNCTION BOX 1	197.45
INTO JUNCTION BOX 2	197.10
INTO JUNCTION BOX 3	196.75
INTO JUNCTION BOX 4	196.40
INTO JUNCTION BOX 5	196.10
INTO JUNCTION BOX 6	195.75
INTO JUNCTION BOX 7	195.40

SOIL DATA CHART

SYMBOL	DESCRIPTION	PERCENT
PnB	PAXTON FINE SANDY LOAM, 2 TO 8% SLOPES	4% OF SITE
RhB	RIVERHEAD LOAM, 8 TO 15% SLOPES	1% OF SITE
WdB	WOODBRIDGE LOAM, 3 TO 8% SLOPES	95% OF SITE

SOURCE: USDA WEBSOIL SURVEY

NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION

The freshwater wetland boundary as represented on these plans accurately depicts the limits of freshwater Wetland F-6 as delineated by Steve Mason on 4/12/23.

DEC Staff: [signature] 6/15/23 Surveyor/Engineer: [signature]

Date Valid: 6/15/23 Expiration Date: 6/15/28 SEAL: STATE OF NEW YORK · PATRICK M. BELL · JUNE 1, 2023

Wetland boundary delineations as validated by the New York State Department of Environmental Conservation remain valid for five (5) years **unless** existing exempt activities, area hydrology, or land use practices change (e.g., agricultural to residential). **After five (5) years the boundary must be revalidated by DEC staff.** Revalidation may include a new delineation and survey of the wetland boundary.

Any proposed construction, grading, filling, excavating, clearing or other regulated activity in the freshwater wetland or within 100 feet of the wetland boundary as depicted on this plan requires a permit from the NYS Department of Environmental Conservation under Article 24 of the Environmental Conservation Law (Freshwater Wetlands Act) prior to commencement of work.

NYSDEC FW F-6 BOUNDARY VALIDATION, SEE FULL MAP ON FILE WITH THE WCDH AND TOWN OF LEWISBORO

DY 6050 DOC # 2006-CR-0406-DT#12

WESTCHESTER COUNTY DEPARTMENT OF HEALTH
Bureau of Environmental Quality
FILE NUMBER: C2023-15

C2023 (DY 5050 DOC)

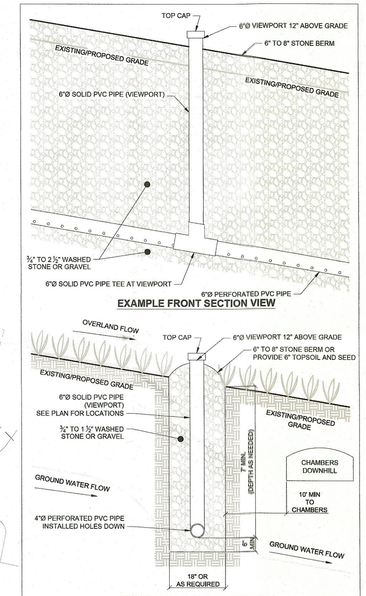
This plan is approved for construction of an ONSITE WASTEWATER TREATMENT SYSTEM and INDIVIDUAL WATER SUPPLY SYSTEM pursuant to Article VIII and Article VII of the Westchester County Sanitary Code, subject to provisions of the APPROVAL TO CONSTRUCT issued this date.

Approved by: [signature] 11/6/2023 Date 1/3

ASL OWTS - 1500 GL SEPTIC TANK
220 LF OF TRENCH - PUMP SYSTEM

EROSION AND SEDIMENT CONTROL NOTES

1) CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2) TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY, PRIOR TO EXPECTED RAIN EVENTS, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
3) THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS ORDERED BY THE ENGINEER, AND IN ACCORDANCE WITH ACCEPTED STANDARDS.
4) ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS.
5) ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
6) ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
7) THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT AREA CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
8) SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
9) SOIL SEEDING AND FERTILIZER AMENDMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".
10) ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".



EXAMPLE FRONT SECTION VIEW

EXAMPLE SIDE SECTION VIEW

1. PROVIDE A MINIMUM DEPTH AS REQUIRED FROM GROUND SURFACE AT POINT WHICH CURTAIN DRAIN IS INSTALLED.
2. PROVIDE A MINIMUM SEPARATION DISTANCE OF 15' FROM EDGE OF CURTAIN DRAIN TO EDGE OF ANY "DOWNHILL" ABSORPTION TRENCH / CHAMBER.
3. PROVIDE A MINIMUM SEPARATION DISTANCE OF 50' FROM EDGE OF CURTAIN DRAIN TO EDGE OF ANY "UPHILL" ABSORPTION TRENCH / CHAMBER.
4. OUTLET PIPE TO DISCHARGE BELOW EXPANSION SYSTEM AREA.

CURTAIN DRAIN N.T.S.

WCDH APPROVAL

LOCATION MAP SCALE: 1" = 300'

Dig Safely. New York
800-962-7962
www.digsafelynewyork.org
☐ Call Before You Dig
☐ Wait The Required Time
☐ Confirm Utility Response
☐ Respect the Marks
☐ Dig With Care

30 0 15 30
SCALE: 1" = 30 FT.

OWNER/DEVELOPER

JEFF GECAJ
924 ROUTE 35
CROSS RIVER (TOWN OF LEWISBORO), NY 10518

• UNDER NEW YORK STATE EDUCATIONAL LAW ARTICLE 145, SECTION 7209 (2), IT IS UNLAWFUL FOR ANY PERSON TO ALTER ANY ITEM ON THIS DRAWING, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.
• COPYRIGHT "2023" BY CRONIN ENGINEERING, P.E., P.C. ALL RIGHTS RESERVED.

REVISIONS

#	REASON	DATE
3	MOVED SEPTIC TANK / PUMP CHAMBER	11/10/2023
2	NYCDEP COMMENTS	10/02/2023
1	WCDH COMMENTS	07/10/2023

MUNICIPAL TAX IDENTIFICATION:

SECTION:	0020
BLOCK:	10801
LOT:	156
SUBLOT:	-----
DRAWN BY:	AD
CHECKED:	KCS
PROJECT:	GECAJ
DATE:	JUNE 12, 2023
JOB #:	230315

STATE OF NEW YORK · PATRICK MICHAEL BELL · 087679 · LICENSED PROFESSIONAL ENGINEER

PATRICK M. BELL, PE
LICENSE #087679

CRONIN ENGINEERING
PROFESSIONAL ENGINEERING & CONSULTING
(914) 736-3664

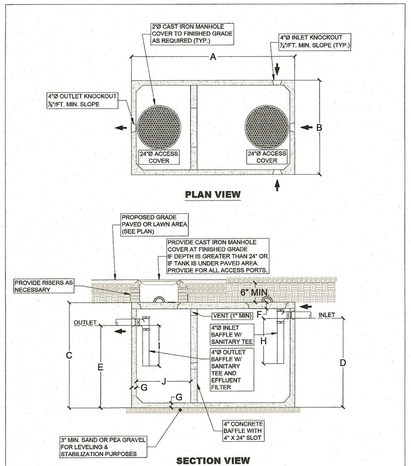
39 Arlo Lane
Cortlandt Manor, New York 10567

OWTS SITE PLAN

ON-SITE WASTEWATER TREATMENT PLAN FOR GECAJ

LOCATION:
926 OLD POST ROAD (ROUTE 35)
CROSS RIVER (TOWN OF LEWISBORO), NEW YORK 10518

SHEET 1 OF 3 | OWTS-1.1



DIMENSIONS										
MODEL	A	B	C	D	E	F	G	H	I	J
ST-750 H20	6'-4"	4'-4"	6'-11"	51"	48"	8"	6"	34"	31"	34"
ST-1000 H20	8'-0"	6'-0"	8'-7"	59"	54"	8"	6"	38"	35"	34"
ST-1250 H20	10'-0"	8'-0"	7'-2"	61"	54"	8"	6"	32"	29"	34"
ST-1500 H20	11'-8"	8'-8"	7'-2"	61"	54"	8"	6"	32"	29"	46"
ST-2000 H20	12'-6"	8'-6"	7'-4"	61"	54"	8"	6"	32"	29"	46"
ST-2500 H20	14'-0"	8'-6"	7'-0"	61"	54"	8"	6"	32"	29"	46"
ST-3000 H20	16'-6"	7'-0"	7'-0"	61"	54"	8"	6"	32"	29"	46"

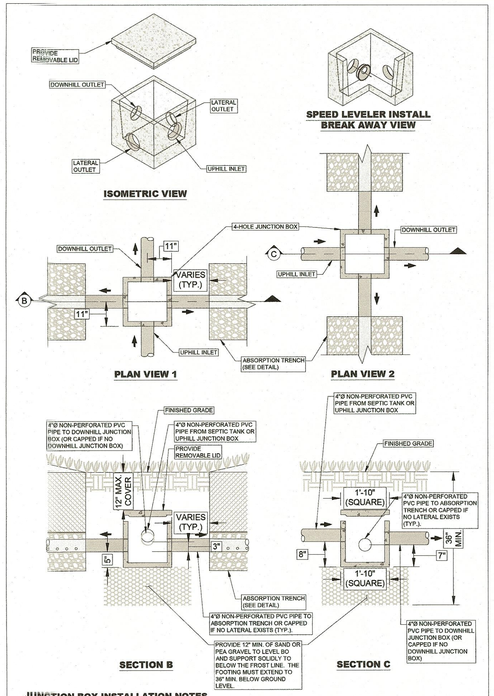
PRECAST SEPTIC TANK AS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC. IF A MODEL BY A DIFFERENT MANUFACTURER IS DESIRED, IT SHALL FIRST BE APPROVED BY THE DESIGN ENGINEER & THE HEALTH DEPARTMENT.

NOTES

1. THERE SHALL BE A MINIMUM OF 6" OF COVER ABOVE THE SEPTIC TANK. IF MORE THAN 24" OF COVER IS PROPOSED OVER THE SEPTIC TANK, A RISER TO GRADE MUST BE INSTALLED ON ALL ACCESS PORTS. RISERS MUST ALSO BE INSTALLED WHERE THE TANK IS PROPOSED TO BE LOCATED UNDER A PAVED AREA.
2. ALL COMPONENTS AS SPECIFIED IN THIS DETAIL ARE AS MANUFACTURED OR SPECIFIED BY WOODARD'S CONCRETE PRODUCTS, INC. IF AN ALTERNATIVE TANK IS DESIRED, IT SHALL FIRST BE APPROVED BY THE HEALTH DEPARTMENT AND THE DESIGN ENGINEER PRIOR TO INSTALLATION.

SEPTIC TANK INSTALLATION

NTS



JUNCTION BOX INSTALLATION NOTES

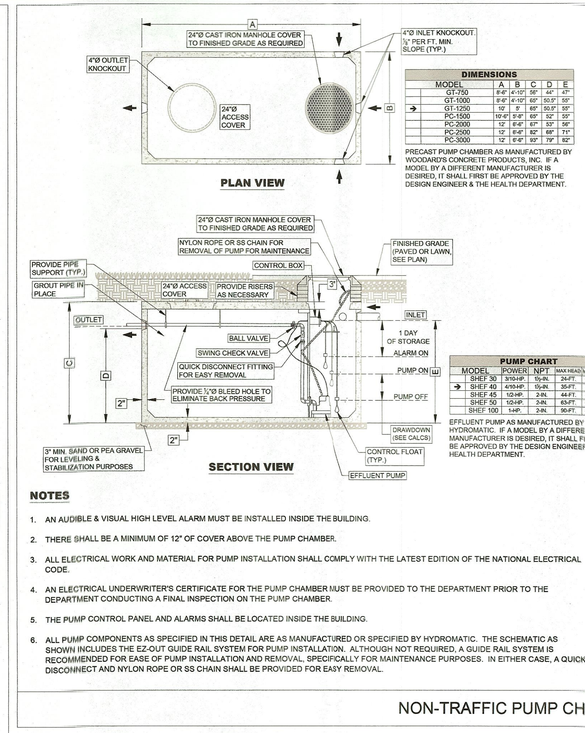
1. ALL JUNCTION BOXES SHALL BE INSTALLED LEVEL & SUPPORTED SOLIDLY TO BELOW FROST LEVEL.
2. SPEED LEVELERS SHALL BE PLACED AS SHOWN IN ORDER TO MAINTAIN EQUAL FLOW TO ABSORPTION FIELDS / CHAMBERS.
3. ALL PIPING SHALL BE CUT FLUSH WITH THE INTERIOR WALL OF EACH JUNCTION BOX.

BAFFLE JUNCTION BOX INSTALLATION NOTE

4. IF A JUNCTION BOX IS REQUIRED FOR BAFFLING PURPOSES, THE 2 OUTLETS WHICH WOULD NORMALLY BE USED FOR ABSORPTION LATERALS SHALL BE PLUGGED AND CAPPED.

JUNCTION BOX INSTALLATION

NTS



DIMENSIONS						
MODEL	A	B	C	D	E
GT-750	8'-6"	4'-10"	58"	44"	47"
GT-1000	9'-6"	4'-10"	60"	50.5"	55"
GT-1250	10'	5'	65"	50.5"	55"
PC-1500	10'-6"	5'-6"	69"	52"	55"
PC-2000	12'	6'-6"	67"	53"	56"
PC-2500	13'	6'-6"	82"	68"	71"
PC-3000	12'	6'-6"	93"	79"	82"

PRECAST PUMP CHAMBER AS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC. IF A MODEL BY A DIFFERENT MANUFACTURER IS DESIRED, IT SHALL FIRST BE APPROVED BY THE DESIGN ENGINEER & THE HEALTH DEPARTMENT.

PUMP CHART					
MODEL	POWER	NPT	MAX HEAD	MAX FLOW
SHEF 30	3/10-HP.	1½-IN.	24-FT	44-GPM
SHEF 40	4/10-HP.	1½-IN	35-FT	70-GPM
SHEF 45	1/2-HP.	2-IN.	44-FT	87-GPM
SHEF 50	1/2-HP.	2-IN.	63-FT.	83-GPM
SHEF 100	1-HP.	2-IN.	90-FT.	88-GPM

EFFLUENT PUMP AS MANUFACTURED BY HYDROMATIC. IF A MODEL BY A DIFFERENT MANUFACTURER IS DESIRED, IT SHALL FIRST BE APPROVED BY THE DESIGN ENGINEER & THE HEALTH DEPARTMENT.

NOTES

1. AN AUDIBLE & VISUAL HIGH LEVEL ALARM MUST BE INSTALLED INSIDE THE BUILDING.
2. THERE SHALL BE A MINIMUM OF 12" OF COVER ABOVE THE PUMP CHAMBER.
3. ALL ELECTRICAL WORK AND MATERIAL FOR PUMP INSTALLATION SHALL COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
4. AN ELECTRICAL UNDERWRITER'S CERTIFICATE FOR THE PUMP CHAMBER MUST BE PROVIDED TO THE DEPARTMENT PRIOR TO THE DEPARTMENT CONDUCTING A FINAL INSPECTION ON THE PUMP CHAMBER.
5. THE PUMP CONTROL PANEL AND ALARMS SHALL BE LOCATED INSIDE THE BUILDING.
6. ALL PUMP COMPONENTS AS SPECIFIED IN THIS DETAIL ARE AS MANUFACTURED OR SPECIFIED BY HYDROMATIC. THE SCHEMATIC AS SHOWN INCLUDES THE EZ-OUT GUIDE RAIL SYSTEM FOR PUMP INSTALLATION. ALTHOUGH NOT REQUIRED, A GUIDE RAIL SYSTEM IS RECOMMENDED FOR EASE OF PUMP INSTALLATION AND REMOVAL, SPECIFICALLY FOR MAINTENANCE PURPOSES. IN EITHER CASE, A QUICK DISCONNECT AND NYLON ROPE OR SS CHAIN SHALL BE PROVIDED FOR EASY REMOVAL.

NON-TRAFFIC PUMP CHAMBER & PUMP INSTALLATION

NTS

Pump Chamber Sizing Calculations

Dose Calculation		
O.W.T.S. Pipe Network Length:	220	LF.
Pipe Diameter:	4	In.
Volume Factor:	75	%
Drawback Volume:	16	Gal.
Set Dose Volume to:	123.7	Gal.
Drawdown Calculation		
Woodards Pump Chamber Model:	GT-1250	
Interior Length of Chamber:	9.5	Ft.
Interior Width of Chamber:	4.5	Ft.
Interior Depth to Outlet Invert:	4.0	Ft.
Interior Area of Tank:	42.8	Sq. Ft.
Drawdown Required:	4 5/8	In.
Additional Storage Calculation		
Proposed Number of Bedrooms:	4	Br.
Flow Rate per Bedroom:	110	Gpd./Br.
Minimum Additional Storage Required Above Alarm:	440	Gal.
or:	1.4	Ft.
Pump Chamber Installation Settings		
Proposed Inlet Elevation:	191.5	
Set Outside Bottom of Tank at:	186.9	
Set Pump off at:	187.8	
Set Pump on at:	188.2	
Set Alarm on at:	188.5	
Set Outlet at:	191.1	

DRAWBACK VOLUME CALCULATION:

VOLUME = AREA x LENGTH OF PIPE
2"Ø PIPE, RADIUS(R)=1", LENGTH=98'

AREA = $\Pi(R)^2$
AREA = $3.14(1)^2$
AREA = 3.14 SQ IN (0.0218 SQ FT)

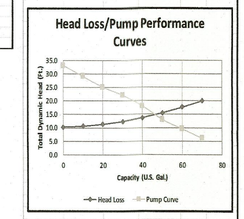
VOLUME = AREA x LENGTH OF PIPE
VOLUME = (0.0218 SQ FT) x (95 LF)
VOLUME = 2.07 FT CU FT (16 GALLONS)

DRAWBACK VOLUME = < 16 GALLONS

Pump Sizing Calculations

Static Head		
Pump Chamber Pump Elevation:	187.5	
Junction Box/Distribution Box Inlet Elevation:	197.75	
Total Static Head:	10.3	ft.
Friction Loss		
Equivalent Length (Inside Tank):	36	ft.
Equivalent Length (Piping):	95	ft.
Total Equivalent Length:	131	ft.
System Curve		
Pipe Diameter:	2.00	in.

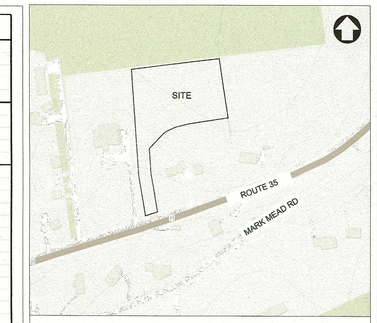
Q	hf	Static Head	T.D.H.
(GPM)	(Ft./100Ft.)	(Ft.)	(Ft.)
0	0.00	10.3	10.3
10	0.28	10.3	10.5
20	0.97	10.3	11.2
30	2.03	10.3	12.3
40	3.45	10.3	13.7
50	5.24	10.3	15.5
60	7.34	10.3	17.6
70	9.69	10.3	19.0



Pump Sizing Calculation:

Dose Volume:	123.7	Gal.		
Choose Hydromatic:	SHEF 40	Pump		
Pump will operate at:	47	gpm. @	15	Ft. of head
Pump operation time:	2.6	min.		

(See Manufacturer Specs for: SHEF 40 4/10 HP Pump)



LOCATION MAP SCALE: 1" = 300'

Dig Safely. New York
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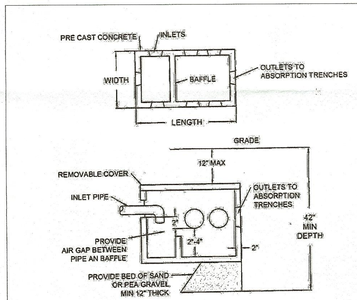
www.digsafelynewyork.org
☐ Call Before You Dig
☐ Wait The Required Time
☐ Confirm Utility Response
☐ Respect the Marks
☐ Dig With Care

30 0 15 30

SCALE: 1" = 30 FT.

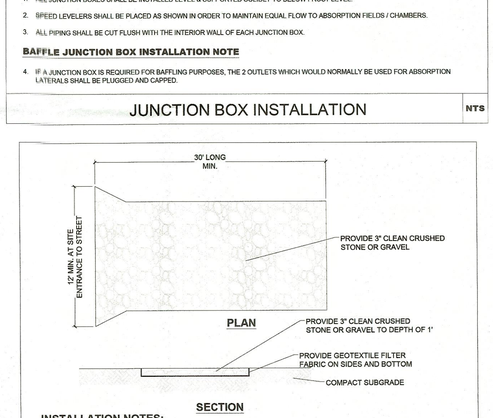
OWNER/DEVELOPER

JEFF GECAJ
924 ROUTE 35
CROSS RIVER (TOWN OF LEWISBORO), NY 10518



1. BOTTOM OF BOX MUST BE LEVEL AND FIRMLY SUPPORTED TO BELOW FROST LINE. FOOTING TO EXTEND TO 42" BELOW GROUND LEVEL.
2. WATERPROOF MASONRY CONSTRUCTION.
3. TIGHT JOINT PIPE FROM SEPTIC TANK, DISCHARGE LINE FROM DOSE CHAMBER, OR FORCE MAIN FROM PUMP CHAMBER TO INLET SIDE OF DISTRIBUTION BOX.
4. TIGHT JOINT PIPE BETWEEN ALL BOXES.
5. OUTLET PIPES TO BE CUT FLUSH WITH INSIDE OF DISTRIBUTION BOX.

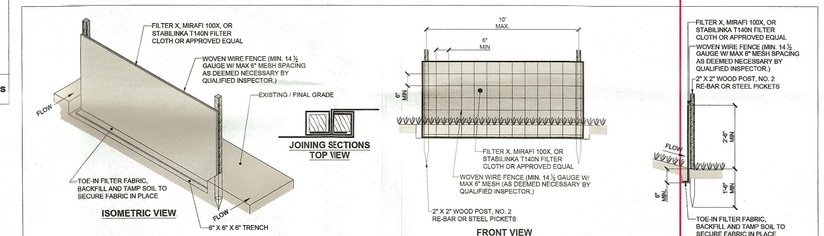
DISTRIBUTION BOX W/ BAFFLE



INSTALLATION NOTES:

1. STONE SIZE SHALL BE 3" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT ONLY.
2. LENGTH SHALL BE AS SHOWN BUT NOT LESS THAN 30'
3. THE THICKNESS SHALL BE NO LESS THAN 12" AT THE CONSTRUCTION ENTRANCE.
4. THE WIDTH SHALL BE 12' AT A MINIMUM BUT NOT LESS THAN THE FULL WIDTH OF THE TRAVELED WAY.
5. FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACING OF ANY STONE. FILTER FABRIC WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE CONSTRUCTION.
6. IF SURFACE WATER IS FLOWING TOWARD THE CONSTRUCTION ENTRANCE, IT SHALL BE PIPED UNDERNEATH THE STABILIZED ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SIDE SLOPES SHALL BE PERMITTED.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT FROM CONSTRUCTION INTO THE PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO CAPTURE SEDIMENT. ANY SEDIMENT TRACKED, DROPPED OR WASHED INTO PUBLIC RIGHT OF WAY SHALL BE REMOVED IMMEDIATELY.
8. WHEELS OF CONSTRUCTION VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING ONTO THE PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROPRIATE SEDIMENT TRAPPING DEVICE.
9. PERIODIC INPECTION AND MAINTENANCE SHALL BE PROVIDED FOR THE DURATION OF CONSTRUCTION OR UNTIL FINAL GRADE IS ACHIEVED.

STABILIZED CONSTRUCTION ENTRANCE

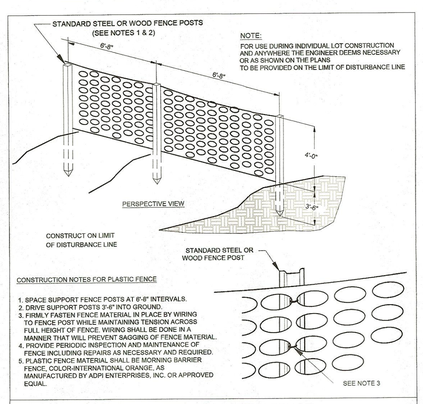


INSTALLATION NOTES:

1. EXCAVATE A 4 INCH X 4 INCH TRENCH ALONG THE LOWER SIDE OF A SLOPE AS SPECIFIED ON SITE PLAN.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNHILL) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF STORM WATER FLOW).
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF FABRIC FLAT IN THE BOTTOM OF THE TRENCH AND BACKFILL THE TRENCH AND TAMP THE SOIL OVER THE FLAP TO SECURELY HOLD THE FABRIC IN PLACE. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
5. JOIN SECTIONS AS SHOWN ABOVE.
6. PREFABRICATED UNITS SHALL BE OF TYPE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.

N.T.S.

SILT FENCE INSTALLATION



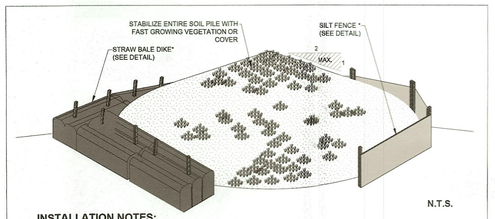
NOTE:
FOR USE DURING INDIVIDUAL LOT CONSTRUCTION AND ANYWHERE THE ENGINEER DEEMS NECESSARY OR AS SHOWN ON THE PLANS
TO BE PROVIDED ON THE LIMIT OF DISTURBANCE LINE

CONSTRUCTION NOTES FOR PLASTIC FENCE

1. SPACE SUPPORT FENCE POSTS AT 6'-0" INTERVALS.
2. DRIVE SUPPORT POSTS 3'-0" INTO GROUND.
3. FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WIRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WIRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
4. PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
5. PLASTIC FENCE MATERIAL SHALL BE MORNING BARRIER FENCE, COLOR-INTERNATIONAL ORANGE, AS MANUFACTURED BY ADPI ENTERPRISES, INC. OR APPROVED EQUAL.

ORANGE CONSTRUCTION FENCE

N.T.S.



N.T.S.

INSTALLATION NOTES:

1. AREA CHOSEN FOR STOCK PILING OPERATIONS TO BE DRY AND STABLE.
2. MAXIMUM SLOPE OF PILE TO BE 1 VERTICAL ON 2 HORIZONTAL.
3. REFER TO STRAW BALE DIKE AND SILT FENCE INSTALLATION DETAILS IN THIS PLAN SET FOR INSTALLATION GUIDELINES.

* EITHER A STRAW BALE DIKE OR SILT FENCE MAY BE USED FOR STOCKPILE PROTECTION AS SPECIFIED BY QUALIFIED INSPECTOR.

SOIL STOCKPILING CONSTRUCTION

WCDH APPROVAL

NYCDOH Log # 2006-CA-0406-DT45.2

L2023-15

APPROVED FOR CONSTRUCTION
NOV - 6 2023
WESTCHESTER DEPT OF HEALTH
(See Plan Sheet for Approved Signature)

2/3

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REVISIONS

#	REASON	DATE
3	MOVED SEPTIC TANK / PUMP CHAMBER	11/10/2023
2	NYCDEP COMMENTS	10/02/2023
1	WCDH COMMENTS	07/10/2023

MUNICIPAL TAX IDENTIFICATION:

SECTION:	0020
BLOCK:	10801
LOT:	156
SUBLOT:	-----
DRAWN BY:	AD
CHECKED:	KCS
PROJECT:	GECAJ
DATE:	JUNE 12, 2023
JOB #:	230315

STATE OF NEW YORK · PATRICK MICHAEL BELL · 087679 · LICENSED PROFESSIONAL ENGINEER

PATRICK M. BELL, PE
LICENSE #087679

CRONIN ENGINEERING
PROFESSIONAL ENGINEERING & CONSULTING
(914) 736-3664

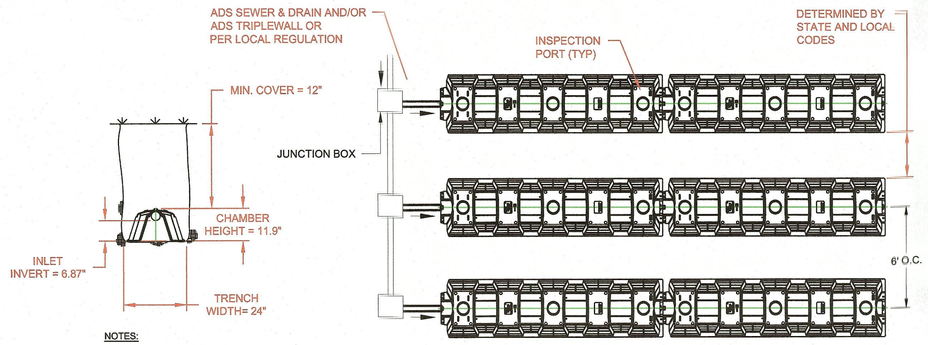
39 Arlo Lane
Cortlandt Manor, New York 10567

OWTS CONSTRUCTION DETAILS

ON-SITE WASTEWATER TREATMENT PLAN FOR GECAJ

LOCATION:
926 OLD POST ROAD (ROUTE 35)
CROSS RIVER (TOWN OF LEWISBORO), NEW YORK 10518

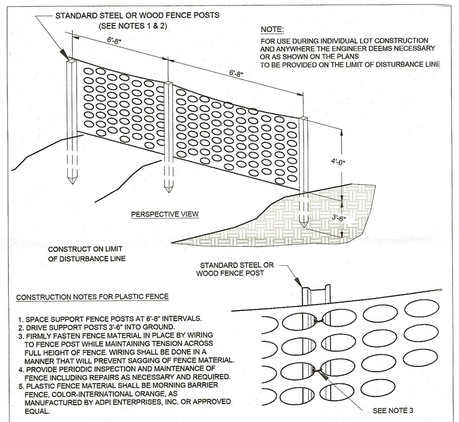
SHEET 2 OF 3 | OWTS-1.2



NOTES:

1. EXCAVATE TRENCHES TO PROPER WIDTH, AND PROPER DEPTH AS REQUIRED BY STATE AND LOCAL CODES.
2. SMOOTH IRREGULARITIES IN THE EXCAVATION. A LEVEL, FLAT SURFACE IS REQUIRED.
3. ASSEMBLE BIODIFFUSER LEACHING CHAMBERS AND UNIVERSAL ENDPLATES TOGETHER IN TRENCH(ES).
4. INSTALL UNIVERSAL END CAP AND SECURE IN PLACE WITH BACKFILL.
5. PUNCH OUT PIPE HOLE OPENINGS IN THE END PLATES AS NEEDED AND CONNECT INLET PIPES.
6. FILL SIDEWALL AREA TO TOP CHAMBERS WITH NATIVE SOIL (COARSE SAND OR FINE GRAVEL, MAY ALSO BE USED: NO HEAVY CLAY, SILT, OR DEBRIS SHALL BE INCLUDED.)
7. "WALK IN" FILL TO COMPACT SOIL ALONG SIDES OF BIODIFFUSER. THIS IS VERY IMPORTANT TO ACHIEVE LOAD RATING.
8. COVER BIODIFFUSER LEACHING CHAMBERS TO A MINIMUM OF 12" OF GRANULAR COVER AFTER CONSOLIDATION FOR H-10 APPLICATIONS. AVOID LARGE ROCKS OR DEBRIS IN COVER MATERIAL. COVER HEIGHTS AND LIVE LOADING LIMITS ARE IMPACTED BY BOTH SOIL TYPE AND COMPACTION REQUIREMENTS. CONTACT ADS WHEN POOR SOILS ARE ENCOUNTERED AND FOR MAXIMUM FILL HEIGHTS.

BIO 3 DIFFUSER TRENCH INSTALLATION



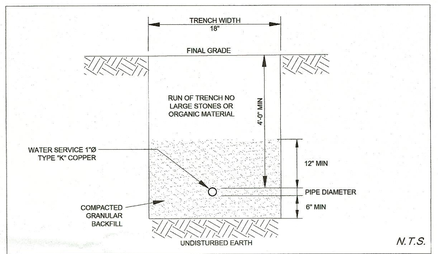
NOTE:
FOR USE DURING INDIVIDUAL LOT CONSTRUCTION AND ANYWHERE THE ENGINEER DEEMS NECESSARY OR AS SHOWN ON THE PLANS TO BE PROVIDED ON THE LIMIT OF DISTURBANCE LINE

CONSTRUCTION NOTES FOR PLASTIC FENCE

1. SPACE SUPPORT FENCE POSTS AT 6'-8" INTERVALS.
2. DRIVE SUPPORT POSTS 3'-6" INTO GROUND.
3. FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WIRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WIRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
4. PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
5. PLASTIC FENCE MATERIAL SHALL BE MORNING BARRIER FENCE, COLOR-INTERNATIONAL ORANGE, AS MANUFACTURED BY ADPI ENTERPRISES, INC. OR APPROVED EQUAL.

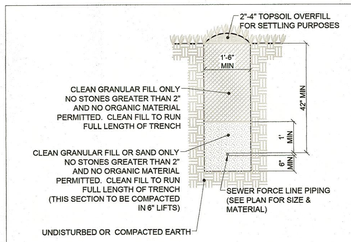
ORANGE CONSTRUCTION FENCE

N.T.S.



N.T.S.

WATER SERVICE TRENCH

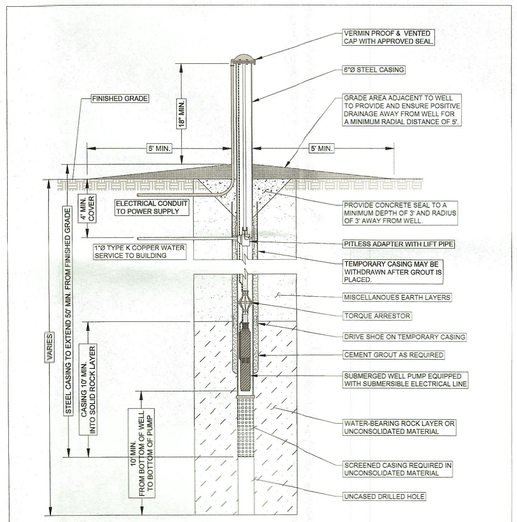


SEWER FORCE LINE INSTALLATION NOTES:

1. NO ROCK SHALL PROJECT WITHIN THE SURFACE OF THE TRENCH AND ALL ROCK SHALL BE A MINIMUM OF 12" FROM THE PIPE HORIZONTALLY. IF BEDROCK IS ENCOUNTERED DURING INSTALLATION, IT SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 3'-6" + PIPE ø + 6" AND REPLACED WITH 6" OF SAND.
2. CLAY, SILT LOAM, OR NON-HOMOGENOUS SOILS REQUIRE SHORING AND BRACING.
3. SHEETING AND BRACING SHALL BE USED IN ACCORDANCE WITH OSHA AND THE NYS DEPARTMENT OF LABOR INDUSTRIAL CODE, RULE 753 WHERE REQUIRED. SHEETING & BRACING ARE REQUIRED WHERE TRENCH DEPTHS EXCEED 5' IN HEIGHT.
4. ANY UNSUITABLE MATERIAL EXCAVATED FROM THE TRENCH SHALL NOT USED AS BACKFILL AND SHALL BE REPLACED BY SUITABLE MATERIAL APPROVED BY THE DESIGN ENGINEER.
5. IF THE REQUIRED DEPTH CANNOT BE ACHIEVED WITHOUT REMOVING LEDGE ROCK, FILL OVER THE TRENCH MAY BE USED TO ACHIEVE THE MINIMUM 42" OF COVER, ONLY AT THE DIRECTION AND APPROVAL OF THE DESIGN ENGINEER.

SEWER FORCE LINE INSTALLATION

N.T.S.



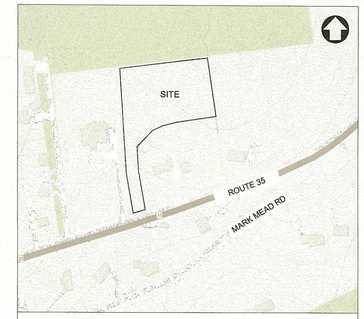
SECTION VIEW

DRILLED WELL NOTES

1. THE GROUND SURFACE SHALL BE GRADED AWAY FROM THE WELL AS SHOWN TO PREVENT SURFACE CONTAMINENTS FROM REACHING THE GROUNDWATER.
2. THE WELL SHALL BE ACCESSIBLE FOR THE PLACEMENT AND INSTALLATION OF THE WATER SERVICE, MAINTENANCE & REPAIR OF THE WELL.
3. SANITARY SEALS SHALL BE PROVIDED WHERE APPLICABLE.
4. THE CASING SHALL EXTEND TO A MINIMUM OF 18" ABOVE GRADE.

DRILLED WELL INSTALLATION

NTS



LOCATION MAP SCALE: 1" = 300'

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- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect the Marks
- Dig With Care

30 0 15 30

SCALE: 1" = 30 FT.

OWNER/DEVELOPER

JEFF GECAJ
924 ROUTE 35
CROSS RIVER (TOWN OF LEWISBORO), NY 10518

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REVISIONS

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1	WCDH COMMENTS	07/10/2023

MUNICIPAL TAX IDENTIFICATION:

SECTION:	0020
BLOCK:	10801
LOT:	156
SUBLOT:	-----
DRAWN BY:	AD
CHECKED:	KCS
PROJECT:	GECAJ
DATE:	JUNE 12, 2023
JOB #:	230315

STATE OF NEW YORK · PATRICK MICHAEL BELL · 087676 · LICENSED PROFESSIONAL ENGINEER

PATRICK M. BELL, PE
LICENSE #087679

CRONIN ENGINEERING
PROFESSIONAL ENGINEERING & CONSULTING
(914) 736-3664

39 Arlo Lane
Cortlandt Manor, New York 10567

WCDH APPROVAL

NYCDOH Log # 2006-CR-0406-OTS.2

C 2023-15
APPROVED FOR CONSTRUCTION
NOV - 6 2023
WESTCHESTER COUNTY DEPT. OF HEALTH
(Environmental Health Services Division)

3/3

OWTS CONSTRUCTION DETAILS

ON-SITE WASTEWATER TREATMENT PLAN FOR GECAJ

LOCATION:
926 OLD POST ROAD (ROUTE 35)
CROSS RIVER (TOWN OF LEWISBORO), NEW YORK 10518

SHEET 3 OF 3 OWTS-1.3

KSCJ CONSULTING

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP JKJ
Joseph M. Cermele, P.E., CFM JMC
Town Consulting Professionals

DATE: February 16, 2024

RE: Susan & Christopher Wilson
55 Benedict Road
Sheet 33, Block 11155, Lot 87

PROJECT DESCRIPTION

The subject property consists of ±1.9 acres of land and is located at 55 Benedict Road within the R-2A Residential Zoning District. The subject property is developed with an existing one (1) family dwelling, a barn and a gravel driveway. The applicant is proposing two (2) additions to the existing dwelling, both of which are located within the Town's regulated wetland buffer. The applicant is proposing a rain garden to mitigate the stormwater runoff from the increased impervious surface from these proposed additions.

REQUIRED APPROVALS

1. A Wetland Activity Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

2. If land disturbance exceeds 5,000 s.f., a Town Stormwater Permit will be required as will coverage under the NYSDEC SPEDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001).

COMMENTS

1. Submit Architectural floor plans and elevations, prepared by a New York State Design Professional.

2. The name of the wetland delineator and date of delineation should be noted on Sheet S-1. Please add the Town's 150-foot wetland buffer line to the plan.

3. The Building Department shall determine the need to refer the application to the Westchester County Department of Health (WCDH) for review of the proposed bedroom count and whether modifications or upgrades to the existing septic system are required.

4. The Tax Parcel Identification Number shall be identified on the plan, as well as the owner/applicant's name and address.

5. The plan shall illustrate existing topography (2-foot contours) and any proposed grading, including spot grades, as appropriate. The finished floor elevation of all existing and proposed buildings shall be identified on the plan. For the purposes of these plans, Westchester County GIS topography may be utilized if deemed appropriate by the Design Professional.

6. The plan shall illustrate the location of the existing septic areas (primary and expansion). The plan shall show this area to be cordoned off during construction.

7. The limit of disturbance shown on the plan appears to be too tight to properly construct the rain garden. Adjust the disturbance limits accordingly.

8. Soil stockpiles should be included on the plan and located within the limits of disturbance. Include a soil stockpile detail, in conformance with the most recent version of the New York State Standards and Specifications for Erosion and Sediment Control.

9. Once the limit of disturbance is adjusted as noted above, it appears land disturbance will exceed ≥5,000 s.f. and will therefore require conformance with New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit (GP-0-20-001) and filing of a Notice of Intent (NOI) and MS4 Acceptance Form with the NYSDEC. Submit draft copies to this office for review.

10. The applicant shall perform deep soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer to verify that no underdrains are required for the rain garden. The test locations and results shall be shown on the plan. Contact this office to schedule the testing.

11. Rain garden sizing calculations shall follow the New York State Stormwater Management Design Manual (NYS SMDM), accounting for ponding, soil media and gravel layer volumes for the 25-year, 24-hour storm event.

12. Provide rim and invert elevations along with the size and materials of all drainage facilities. Additionally, the proposed stormwater practice shall include an emergency overflow to a stabilized outfall. The emergency overflow should be designed in a way to not impact the adjacent property owners. Provide details of the drainage pipe trench, emergency overflow, stabilized outlet, etc.

13. The plan shall illustrate the footing drain location on the site plan. Include the size, slope, and material of drainage pipe and provide outlet protection details.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLAN REVIEWED, PREPARED BY BENEDEK & TICEHURST, DATED JANUARY 17, 2024:

- Proposed Rain Garden Plan (S-1)

DOCUMENTS REVIEWED:

- Wetland Permit Application
- Existing Conditions Report, prepared by Two Tall Trees Designs, dated January 3, 2024

JKJ/dc

TO: The Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: Wilson Residence

DATE: February 6, 2024

The Conservation Advisory Council (CAC) has reviewed the materials submitted by the applicant for addition and rain garden.

The additions have a total area of 861 ft within the wetland buffer. The applicant needs to provide a stormwater management plan (the rain garden being part of that) and a mitigation plan that meets the one-to-one criteria..

Application No.: 01-24 WP
Fee: $255 Date: 1/17/24
pd

TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION

79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 875-9148

Project Address: 55 Benedict Rd, South Salem, NY, 10590

Sheet: 33 Block: 11155 Lot(s): 87

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): First floor master bedroom and bath addition and rain water garden.

Owner's Name: Susan & Christopher Wilson Phone: 914-763-3878

Owner's Address: 55 Benedict Rd Email: cwilson@alternatedesignsinc.com

Applicant's Name (if different): _____ Phone: _____

Applicant's Address: _____ Email: _____

Agent's Name (if applicable): _____ Phone: _____

Agent's Address: _____ Email: _____

TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

☐ Administrative ☒ Planning Board

Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No

Total area of proposed disturbance: ☒ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☐ ≥1 acre

Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: _____

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: _____ Date: 1/16/24

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592
Fax: (914) 875-9148

Affidavit of Ownership

State of : New York

County of: Westchester

Christopher Wilson, being duly sworn, deposes and says that he/she

resides at 55 Benedict Rd, South Salem, NY, 10590.

in the County of Westchester, State of New York

and that he/she is (check one) ✓ the owner, or ____ the _____
Title

of Christopher and Susan Wilson
Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of Lewisboro as:

Block ~~087~~ 11155, Lot ~~0033~~ 87, on Sheet ~~11155~~ 33.

Owner's Signature

Sworn to before me this

16th **day of** January, 2024

Frank Lagana
Notary Public-Connecticut
My Commission Expires
August 31, 2026

Notary Public – affix stamp

Revised 2-2019

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant
(Please type or print)

Christopher Wilson
Name of Applicant

Wilson Addition.
Project Name

Property Description

Tax Block(s): 087

Tax Lot(s): 0033

Tax Sheet(s): 11155

Property Assessed to:

Christopher P. & Susan Wilson
Name

55 Benedict Rd
Address

South Salem NY 10590
City State Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes: [signature] 1/17/2024
Date

Sworn to before me this

17th **day of** January, 2024

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2020

[signature]
Signature - Notary Public (affix stamp)

Fee: $50.00 Date: 12/21/2023

TOWN OF LEWISBORO
ENVIRONMENTAL QUESTIONNAIRE

The purpose of this Questionnaire is to determine whether a Town Wetland Permit, a Town Stormwater Permit and/or coverage under the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity is required. This form does not provide authorization to commence work.

Project Address: 55 BENEDICT RD

S/B/L: 11155-087-0033

Project Description: Master bedroom addition as per the approved plans, the 2020 residential code of NYS & the Lewisboro Town Code

This questionnaire must be accompanied with a Site Plan or, at a minimum, a Plot Plan which clearly illustrates the location and dimensions of the proposed activity. Said plans must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). Failure to submit these items will delay review.

Owner's Name: WILSON, CHRISTOPHER P. & SUSAN Phone:

Owner's Address: P.O.BOX 85 SOUTH SALEM, NY Email:

Agent's Name (if applicable): Frank Lagana Phone: (914)763-3711

Agent's Address: 2 west road, south salem NY Email: flagana@alternatedesignsinc.com

I hereby grant permission to the Town's professional consultants to enter onto my property to conduct a site inspection.
Owner (Signature): WILSON, CHRISTOPHER P. & SUSAN Date: 11/14/2023

FOR TOWN USE – PLEASE DO NOT WRITE BELOW THIS LINE

1. The use of the property is?

2. Is a Town Wetland Permit required? **Yes**
   If Yes, what type of Wetland Permit is required? **Planning Board**

3. Is the project located within the NYCDEP Watershed? **Yes**

4. Area of proposed disturbance: **TBD**

5. Is a Town Stormwater Permit required? **TBD**
   If Yes, the approval authority will be? **TBD**

6. Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity?

Application Fee (if required): **Wetland Permit** $: 255 PLUS ESCROW
Stormwater Permit $: TBD

Notes: **Designer to schedule meeting with Town Wetland Consultant**

Signature: Jan K. Johannessen Date: 12/21/2023
Wetland Inspector/Consultant

T W O T A L L T R E E S D E S I G N
One Front Street P.O. Box 637 Croton Falls, New York 10519
914.669.0014 ttt@twotalltreesdesign.com

To: Town of Lewisboro
From: Rick O'Leary
Re: Wilson Residence Existing Conditions Photos
Date: January 3, 2024

E X I S T I N G C O N D I T I O N S

SIDE / REAR OF HOUSE: KITCHEN ADDITION WITHIN AREA OF DECK, 125 SQ FT

WETLAND FEATURE ON OPPOSITE SIDE OF HOUSE – NO IMPACT TO WETLAND FEATURE

SIDE / FRONT OF HOUSE: ADDITION WITHIN AREA OF RAISED LAWN, 736 SQ FT

WETLAND FEATURE LOCATED BEHIND CAMERA VIEWPOINT – NO IMPACT TO WETLAND FEATURE

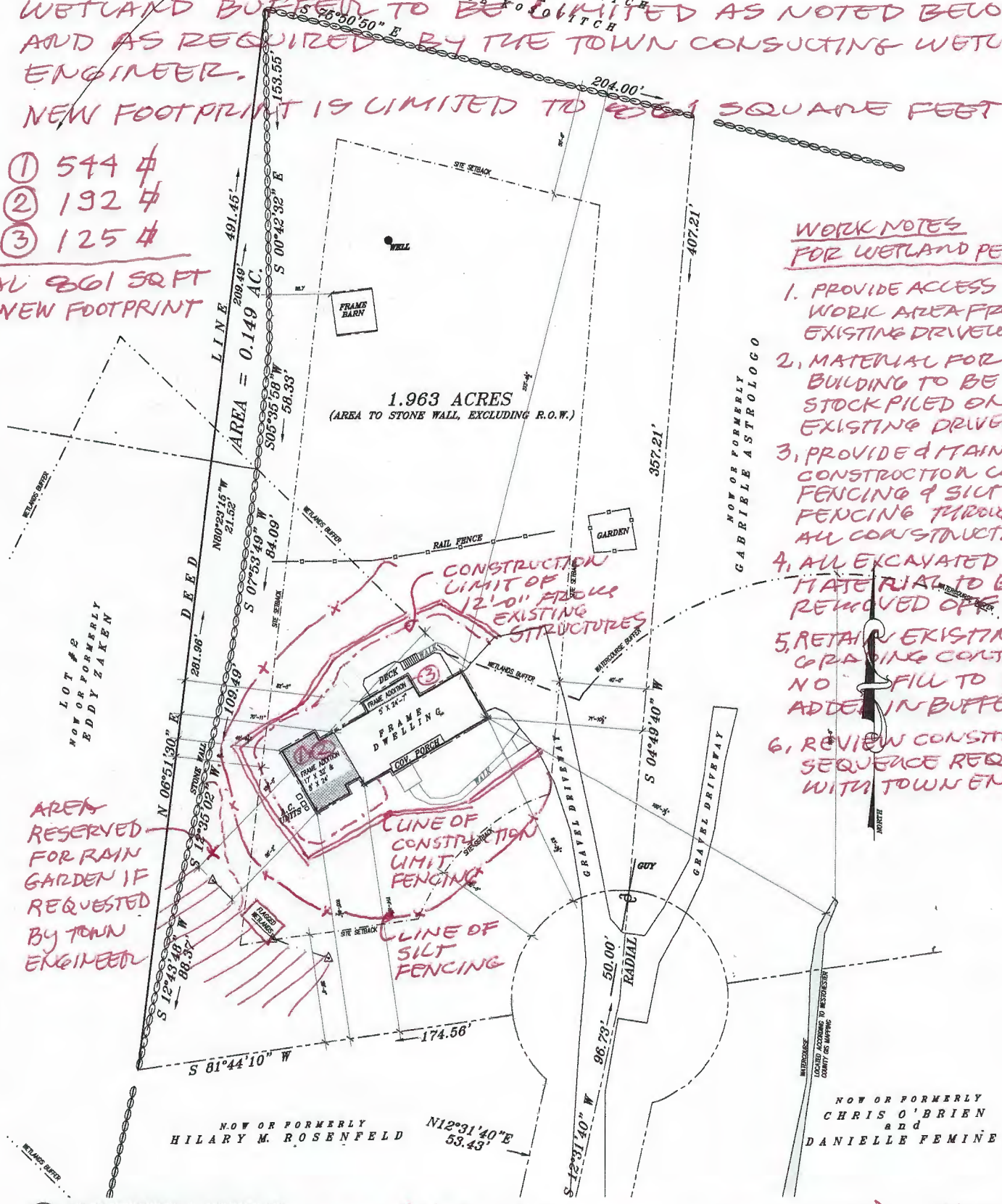
WILSON RESIDENCE ADDITION

55 BENEDICT ROAD
SOUTH SALEM, NEW YORK 10590

SEE PHOTOS OF EXISTING CONDITIONS-
ALL PROPOSED WORK TO BE PERFORMED ON EXISTING LAWN ~~AREAS~~ WITHOUT DISTURBANCE TO THE FLAGGED WETLAND. WORK WITHIN THE WETLAND BUFFER TO BE LIMITED AS NOTED BELOW AND AS REQUIRED BY THE TOWN CONSULTING WETLAND ENGINEER.
NEW FOOTPRINT IS LIMITED TO 861 SQUARE FEET

① 544 #
② 192 #
③ 125 #

TOTAL 861 SQ FT NEW FOOTPRINT



WORK NOTES FOR WETLAND PERMIT

1. PROVIDE ACCESS TO WORK AREA FROM EXISTING DRIVEWAY.
2. MATERIAL FOR BUILDING TO BE STOCKPILED ON EXISTING DRIVEWAY
3. PROVIDE & MAINTAIN CONSTRUCTION LIMIT FENCING & SILT FENCING THROUGHOUT ALL CONSTRUCTION
4. ALL EXCAVATED MATERIAL TO BE REMOVED OFF SITE
5. RETAIN EXISTING GRADING CONTOURS NO FILL TO BE ADDED IN BUFFER
6. REVIEW CONSTRUCTION SEQUENCE REQ. WITH TOWN ENGINEER.

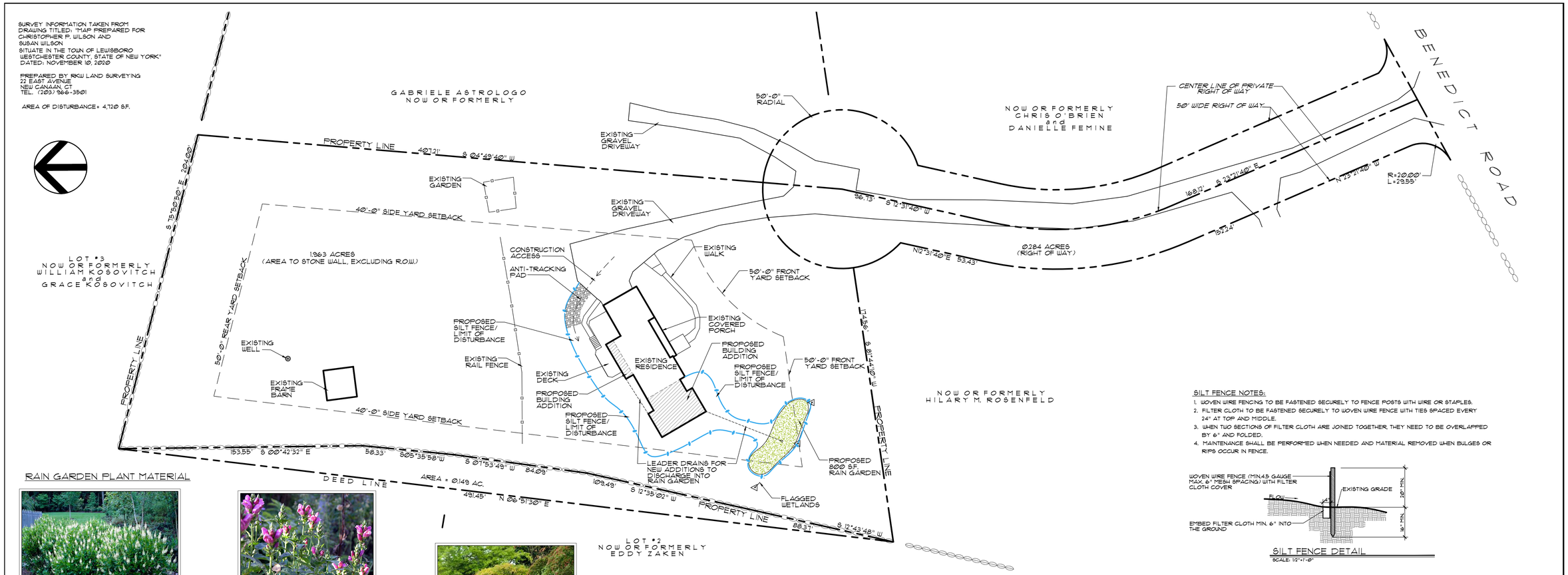
1 C1.0 ARCHITECTURAL SITE PLAN
1/32" = 1'-0"

WITH WETLAND NOTES ADDED JAN 3, 2024 (1/16" = 4'-0" AS PRINTED HALF SIZED) T1.0W

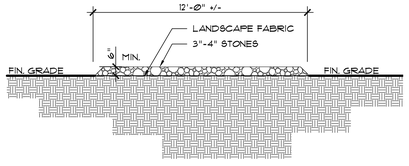
SURVEY INFORMATION TAKEN FROM
DRAWING TITLED: "MAP PREPARED FOR
CHRISTOPHER P. WILSON AND
SUSAN WILSON
SITUATE IN THE TOWN OF LEWISBORO
WESTCHESTER COUNTY, STATE OF NEW YORK"
DATED: NOVEMBER 10, 2010

PREPARED BY RKW LAND SURVEYING
22 EAST AVENUE
NEW CANAAN, CT
TEL. (203) 966-3501

AREA OF DISTURBANCE= 4,720 S.F.



STABILIZED CONSTRUCTION ACCESS (ANTI-TRACKING PAD) IS TO BE A MINIMUM OF 12'-0" IN WIDTH IN ACCORDANCE WITH THE NYSDEC STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.



ANTI-TRACKING PAD DETAIL
SCALE: 1/4"=1'-0"

SILT FENCE NOTES:

1. WOVEN WIRE FENCING TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MIDDLE.
3. WHEN TWO SECTIONS OF FILTER CLOTH ARE JOINED TOGETHER, THEY NEED TO BE OVERLAPPED BY 6" AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED WHEN NEEDED AND MATERIAL REMOVED WHEN BULGES OR RIPS OCCUR IN FENCE.

SILT FENCE DETAIL
SCALE: 1/2"=1'-0"

RAIN GARDEN
WILSON RESIDENCE
55 BENEDICT ROAD
SOUTH SALEM, NY

The proposed additions to the residence is approximately 972.6 s.f. As mitigation for the increase in impervious area, a rain garden will be installed to capture and treat the new building additions. The roof leaders for the new additions will discharge into the new rain garden.

Volume Generated By 25 year storm= 6.51" (.5425 feet) of rain for a 24 hour period.
New impervious area (building additions)= 972.6 S.F.
972.6 S.F. X .5425 FT.= 527.6 C.F. of water generated for a 25 year storm.
For an 8" (.666 FT.) deep rain garden, a footprint of 791.4 S.F. is required.

Inspection and Maintenance Schedule During Construction
The following delineates the maintenance that is required for the temporary erosion and sediment control measures and permanent measures specified on the design plans. For the purpose of this section, immediately shall be by end of working day.

Silt Fence
Inspect silt fence immediately prior to any major storms and after each significant rainfall event, and at least daily during a prolonged rainfall event. All necessary repairs are to be made immediately. Inspection for physical damage shall be made weekly. If filter fabric shows signs of decomposing or is damaged, it shall be repaired/ replaced immediately.

Soil Stockpiling
Stockpiles and fill areas shall be inspected at least weekly for signs of erosion. Reseed and mulch as necessary to maintain a vegetative cover.

RAIN GARDEN PLANT MATERIAL

SWEET PEPPERBUSH

TURTLEHEAD

RED OSIER DOGWOOD

FOAMFLOWER

TUSSOCK SEDGE

WINTERBERRY

JOE PYE WEED

CARDINAL FLOWER

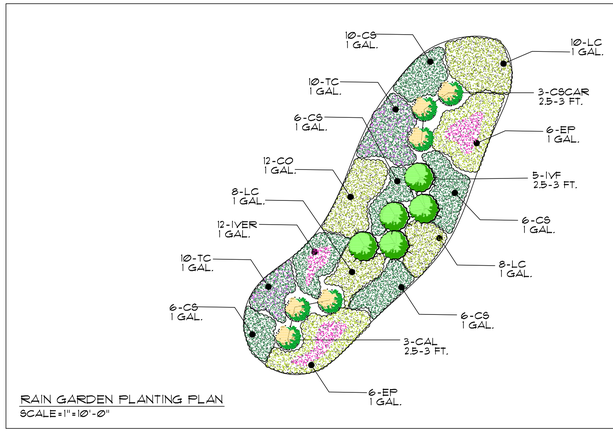
BLUE FLAG IRIS

RAIN GARDEN PLANT LIST

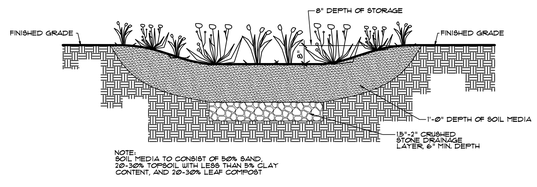
INITIALS	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
SHRUBS				
CAL	3	Clethra alnifolia	Sweet Pepperbush	2.5-3 FT.
CSCAR	3	Cornus sericea 'Cardinal'	Red Osier Dogwood	2.5-3 FT.
IVF	5	Ilex verticillata	Winterberry	2.5-3 FT.
PERENNIALS AND GROUND COVERS				
CS	34	Carex stricta	Tussock Sedge	1 GAL.
CO	12	Chelone obliqua	Turtlehead	1 GAL.
EP	12	Eupatorium purpureum	Joe Pye Weed	1 GAL.
LC	26	Lobelia cardinalis	Cardinal Flower	1 GAL.
IVER	12	Iris versicolor	Blue Flag Iris	1 GAL.
TC	20	Tiarella cordifolia	Foamflower	1 GAL.

NOTES

1. Landscape Architect to approve all plant locations prior to installation.



RAIN GARDEN PLANTING PLAN
SCALE=1"=10'-0"



RAIN GARDEN DETAIL
N.T.S.

RAIN GARDEN MAINTENANCE

RAIN GARDENS ARE INTENDED TO BE RELATIVELY LOW MAINTENANCE. WEEDING AND WATERING ARE ESSENTIAL THE FIRST YEAR, AND CAN BE MINIMIZED WITH THE USE OF A WEED FREE MULCH LAYER. RAIN GARDENS SHOULD BE TREATED AS A COMPONENT OF THE LANDSCAPING, WITH ROUTINE MAINTENANCE PROVIDED BY THE HOMEOWNER , INCLUDING THE OCCASIONAL REPLACEMENT OF PLANTS, MULCHING, WEEDING AND THINNING TO MAINTAIN THE DESIRED APPEARANCE. HOMEOWNERS AND LANDSCAPERS SHOULD BE EDUCATED REGARDING THE PURPOSE OF THE RAIN GARDEN, SO THE DESIRABLE ASPECTS OF PONDED WATER ARE RECOGNIZED AND MAINTAINED.

PROPOSED RAIN GARDEN PLAN
FOR
WILSON RESIDENCE
55 BENEDICT ROAD SOUTH SALEM, NY

Scale: 1"=30'-0"
Drawn: S.T.
Date: 1/17/24

Revisions:
Date Item

BENEDEK & TICEHURST
LANDSCAPE ARCHITECTS & SITE PLANNERS, P.C.
448H Old Post Road, Bedford Village, New York 10506
P. 914.234.9666 / F. 914.234.6882
www.btlandarch.com
Members-American Society of Landscape Architects

Drawing Number:
S-1

TOWN OF LEWISBORO
Westchester County, New York

Planning Board
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-5592
Fax: (914) 875-9148
Email: planning@lewisborogov.com

November 18, 2022

Honorable Tony Goncalves, Supervisor and
Members of the Town Board
Town of Lewisboro
11 Main Street
South Salem, New York 10590

Re: Application of Smith Ridge Associates
920 Oakridge Commons -
"Villas at Vista"
(P.B. Cal. #12-22 PB & #36-22 WP)

Dear Supervisor Goncalves and Members of the Town Board:

The Planning Board has received a formal application from Smith Ridge Associates, owner of Oakridge Commons, seeking site development plan approval and a wetland permit for proposed modifications to these premises. In sum, the application proposes the conversion of existing commercial space into eight (8) new dwelling units and the construction of six (6) new townhouses on the Oakridge Commons site.

A prior application, which was granted by the Planning Board, authorizes the conversion of commercial space within Oakridge Commons into four (4) new dwelling units. Consequently, the application now before the Planning Board, coupled with this prior approval, entails eighteen (18) new dwellings (comprised of two (2) two-bedroom units and sixteen (16) three-bedroom units). These residential units are located within and are proposed to be serviced by the Oakridge Water District.

The Planning Board will, as it must, evaluate this application under the Town Code and SEQRA. As it undertakes this review process, a threshold question is presented – namely, will the Oakridge Water District extend service connections to these new residential units? This question likewise applies to potential connections to Oakridge Sewer District wastewater services. If an impediment to these service connections exists, the Planning Board and the applicant may, in fact, be embarking upon an empty exercise.

Accordingly, the Planning Board has authorized me, as its Chair, to submit this letter to the Town Board, which is responsible for management, maintenance, operation and repair of Oakridge Water District and Oakridge Sewer District facilities. Specifically, I have been authorized to solicit the Town Board's position as to whether service connections for these units will be provided by the Oakridge Water and Sewer Districts.

In making this inquiry, the Planning Board is mindful of the November 10, 2022 Memorandum prepared by Joseph M. Cermele, P.E., CFM of Kellard Sessions, which addresses the capacity of the Oakridge Water District Treatment Plant. Moreover, the Planning Board has received written comments from Town residents expressing concerns as to the impact of the proposed residential units upon both water capacity and the quality of water supplied by the Oakridge Water District to its consumers.

Again, the Planning Board seeks a response from the Town Board to facilitate its review of this application and avoid a commitment of resources toward a project that, absent these service connections, will not go forward.

On behalf of the Planning Board, I thank the Town Board for its consideration of this request.

Respectfully submitted,

Janet Andersen CC

Janet Andersen, Chair

cc: Gregory Folchetti, Esq.

TOWN OF LEWISBORO
OFFICE OF THE SUPERVISOR

SUPERVISOR@LEWISBOROGOV.COM
(914) 763-3151
WWW.LEWISBOROGOV.COM

TOWN OF LEWISBORO
11 MAIN STREET
P.O. BOX 500
SOUTH SALEM, NEW YORK 10590

ANTONIO GONÇALVES, SUPERVISOR

December 1, 2023

Janet Andersen, Chair
Town of Lewisboro Planning Board
79 Bouton Road
South Salem, New York 10590

Re: Application of Smith Ridge Associates
920 Oakridge Commons – Villas at Vista
(P.B. Cal. #12-22 PB & #36-22 WP)

Dear Janet,

The Town Board is in receipt of the correspondence from the Planning Board dated 11/18/2022 with respect to the application of Smith Ridge Associates. Any issues or questions which are presented with respect to the capacity of the Oakridge Water District and Sewer District, to either provide the supply of potable water and/or for the treatment of wastewater and generated by the proposed application are strictly within the purview of the Planning Board.

As stated in the Planning Board correspondence dated 11/18/22, the Planning Board is mindful of the November 10, 2022 Memorandum prepared by Joseph M. Cermele of Kellard Sessions where it was concluded that there is adequate capacity in the water treatment facility to serve the project as proposed. Any additional professional guidance desired on these issues may be provided by a consultant engaged by the Planning Board. The Town Board will be taking no action with respect to this matter.

Sincerely,

Tony Goncalves, Town Supervisor

Cc: Gregory Folchetti, Esq
Members of the Town Board

Westchester County Department of Health

Bureau of Environmental Quality

George Latimer
County Executive
Department of Health
Sherlita Amler, M.D.
Commissioner of Health

Permit to Operate A Public Water Supply

Facility Name:	OAKRIDGE WATER DISTRICT	**WCDH Facility Number:**	00055
Owner:	TOWN OF LEWISBORO	**Facility Type:**	
Attention:	THE HONORABLE TONY GONCALVES, SUPERVISOR	**NYS Facility No.:**	5918395
Mailing Address:	PO BOX 500		

Municipality: SOUTH SALEM **State:** NY **Zip Code:** 10590

Water Supply Description:

An unfiltered groundwater supply consisting of five (5) wells with a total producton capacity of 282,000 gpd, an average daily consumption of 55,000 gallons, a water distribution storage capacity of 95,000 gallons, and with treatment that includes permanganate and green sand filtration and liquid chlorine disinfection, serving a population of 892.

This Permit supersedes any earlier Permit to Operate issued for this supply by the Department.

That the operation of this supply shall be in accordance with the supply description, approved plans, and any special conditions for this supply on file with the Department.

This public water supply shall be operated in compliance with the Provisions of Chapter 873, Article VII of the Laws of Westchester County and Part 5 of the New York State Sanitary Code.

This Permit shall be suspended or revoked as provided by the Laws of Westchester County, if this public water supply is maintained or operated other than in compliance with the above.

FOR THE COMMISSIONER

Sherlita Amler MD

SHERLITA AMLER, M.D.

By: _____
Sherlita Amler, M.D. Commissioner of Health

Permit Issued: 01/01/2024

Permit Expires: 12/31/2024

By: _____
Delroy Taylor, P.E., Assistant Commissioner
Bureau of Environmental Quality

THIS PERMIT MUST BE POSTED CONSPICUOUSLY

Annual Drinking Water Quality Report for 2022
Oakridge Water System
11 Main Street South Salem, NY
(Public Water Supply ID# 5918395)

INTRODUCTION

To comply with State regulations, Oakridge Water, will be annually issuing a report describing the quality of your drinking water. The purpose of this report is to raise your understanding of drinking water and awareness of the need to protect our drinking water sources. Last year, your tap water had MCL violations for PFOA/PFOS for Well 2, 4, 6, and 7. This report provides an overview of last year's water quality. Included are details about where your water comes from, what it contains, and how it compares to State standards.

If you have any questions about this report or concerning your drinking water, please contact VRI Environmental Services at (845) 677-3839. We want you to be informed about your drinking water. If you want to learn more, please attend any of our regularly scheduled town board meetings held on the second and fourth Monday of the month at 7:30 pm at the Town House.

WHERE DOES OUR WATER COME FROM?

In general, the sources of drinking water (both tap water and bottled water) include rivers, lakes, streams, ponds, reservoirs, springs, and wells. As water travels over the surface of the land or through the ground, it dissolves naturally occurring minerals and, in some cases, radioactive material, and can pick up substances resulting from the presence of animals or from human activities. Contaminants that may be present in source water include: microbial contaminants; inorganic contaminants; pesticides and herbicides; organic chemical contaminants; and radioactive contaminants. In order to ensure that tap water is safe to drink, the State and the EPA prescribe regulations which limit the amount of certain contaminants in water provided by public water systems. The State Health Department's and the FDA's regulations establish limits for contaminants in bottled water which must provide the same protection for public health.

Our water system serves approximately 895 people with approximately 328 service connections. Our water source is groundwater drawn from five drilled wells located within the property boundaries of the Oakridge community along Oakridge Drive. The water is pumped from the wells and passes through two mixed media pressure filters then through two greensand filters to reduce iron and manganese. The water is then disinfected with sodium hypochlorite (a 15 % chlorine solution) and fills the 95,000-gallon storage tank. The system is automated to run a booster pump on variable speed that fluctuates with usage. As the water is consumed, the pressure in the system drops, and in turn, ramps up the speed of a booster pump that replenishes the pressure in the distribution system. Automatic controls maintain the proper levels within the storage and pressurized distribution systems.

The NYS DOH has completed a source water assessment for this system, based on available information. Possible and actual threats to this drinking water source were evaluated. The state source water assessment includes a susceptibility rating based on the risk posed by each potential source of contamination and how easily contaminants can move through the subsurface to the wells. The source water assessments provide resource managers with additional information for protecting source waters into the future.

As mentioned before, our water is derived from five drilled wells. The source water assessment has rated these wells as having a medium-high susceptibility to microbials, nitrates, industrial solvents, and other industrial contaminants. These ratings are due primarily to the close proximity of permitted discharge facilities (industrial/commercial facilities that discharge wastewater into the environment and are regulated by the state and/or federal government) to the wells and the associated industrial and low intensity residential activity in the assessment area. In addition, the wells draw from unconfined aquifers of unknown hydraulic conductivity and the overlying soils are not known to provide adequate protection for potential contamination. Please note that, while the source water assessment rates our wells as being susceptible to microbials, our water is disinfected to ensure that the finished water delivered to you meets New York State's drinking water standards for microbial contamination.

A copy of the assessment, including the map of the assessment area, can be obtained by contacting us, as noted below.

Are there contaminants in our drinking water?

As the State regulations require, we routinely test your drinking water for numerous contaminants. These contaminants include: total coliform, inorganic compounds, nitrate, nitrite, lead and copper, volatile organic compounds, total trihalomethanes, haloacetic acids, synthetic organic compounds, and radiologicals. The table presented below depicts which compounds were detected in your drinking water. The State allows us to test for some contaminants less than once per year because the concentrations of these contaminants do not change frequently. Some of our data, though representative, are more than one year old.

It should be noted that all drinking water, including bottled drinking water, may be reasonably expected to contain at least small amounts of some contaminants. The presence of contaminants does not necessarily indicate that water poses a health risk. More information about contaminants and potential health effects can be obtained by calling the EPA's Safe Drinking Water Hotline (800-426-4791) or the Westchester County Health Department at (914) 864-7332.

Table of Detected Contaminants

Contaminant	Violation Yes/No	Date of Sample	Level Detected (Max)	Unit Measure-ment	MCLG	Regulatory Limit (MCL, TT or AL)	Likely Source of Contamination
Beta particle and photon activity from man-made radionuclides Entry Point	No	4/12/2022	5.54	pCi/L	0	50 *	Decay of natural deposits and man-made emissions
Uranium Entry Point	No	4/12/2022	5.04	ug/L	0	30	Erosion of natural deposits
Combined radium - 226 and 228 Entry Point	No	4/12/2022	2.44	pCi/L	0	5	Erosion of natural deposits

Contaminant	Violation Yes/No	Date of Sample	Level Detected (Max)	Unit Measure-ment	MCLG	Regulatory Limit (MCL, TT or AL)	Likely Source of Contamination
Gross Alpha activity (including radium 226 but excluding radon and uranium) Entry Point	No	4/12/2022	1.02	pCi/L	0	15	Erosion of natural deposits.

Footnotes:

* The State considers 50 pCi/L to be the level of concern for beta particles.

Table of Detected Contaminants							
Contaminant	**Violation Yes/No**	**Date of Sample**	**Level Detected (Max)**	**Unit Measure-ment**	**MCLG**	**Regulatory Limit (MCL, TT or AL)**	**Likely Source of Contamination**
Chloride	No	5/11/2021	235	mg/L	n/a	250	Naturally occurring or indicative of road salt contamination
Sulfate	No	5/11/2021	36.3	mg/L	n/a	250	Naturally occurring
Sodium	No	5/11/2021	146	mg/L	n/a	See Health Effects ***	Naturally occurring; Road salt; Water softeners; Animal wastes;
Barium	No	5/11/2021	0.0127	mg/L	2	2	Erosion of natural deposits.
Manganese	No	5/11/2021	13.1	ug/L	n/a	300	Naturally occurring; Indicative of landfill contamination.
Nickel	No	5/11/2021	0.00285	mg/L	n/a	n/a	
Odor	No	5/11/2021	1.00	T.O.N.	n/a	3	Organic or inorganic pollutants originating from municipal and industrial waste discharges; natural sources.

Contaminant	Violation Yes/No	Date of Sample	Level Detected (Max)	Unit Measure-ment	MCLG	Regulatory Limit (MCL, TT or AL)	Likely Source of Contamination
Color	No	5/11/2021	5.00	Units	n/a	15	Large quantities of organic chemicals, inadequate treatment, high disinfectant demand and the potential for production of excess amounts of disinfectant by-products such as trihalomethanes, the presence of metals such as copper, iron and manganese; Natural color may be caused by decaying leaves, plants and soil organic matter.
Nitrate	No	6/14/2022	0.312	mg/L	10	10	Runoff from fertilizer use; Leaching from septic tanks; sewage; Erosion of natural deposits.
Total Organic Carbon	No	2022	Avg = 4.26 (Range = ND - 12)	mg/L	n/a	TT	Naturally present in the environment.
Chlorine Residual	No	2022	Avg = 1.06 (Range = 0.7 – 1.9)	mg/L	n/a	MRDL = 4	Water additive used to control microbes.

Footnotes:

*** Water containing more than 20 mg/l of sodium should not be used for drinking by people on severely restricted sodium diets. Water containing more than 270 mg/l should not be used for drinking by people on moderately restricted sodium diets.

Table of Detected Contaminants								
Contaminant	**Violation Yes/No**	**Date of Sample**	**Level Detected (90th Percentile) (Range)**	**# of sites tested / # of sites exceeded AL (Range)**	**Unit Measure-ment**	**MCLG**	**Regulatory Limit (AL)**	**Likely Source of Contamination**
Lead *	No	June 2021	2.64 (Range = ND – 5.60)	10 sites tested / 0 sites exceeded	ug/L	0	AL = 15	Corrosion of household plumbing systems; Erosion of natural deposits
Copper **	No	June 2021	0.321 (Range = 0.0565 – 0.446)	10 sites tested / 0 sites exceeded	mg/L	1.3	AL = 1.3	Corrosion of household plumbing systems; Erosion of natural deposits; leaching from wood preservatives;

Footnotes:

* The level presented represents the 90th percentile of the 10 sites tested. A percentile is a value on a scale of 100 that indicates the percent of a distribution that is equal to or below it. The 90th percentile is equal to or greater than 90% of the lead values detected at your water system. In this case, 10 samples were collected at your water system and the 90th percentile value was the second highest reported value (2.64 ug/L). The action level for lead was not exceeded at any of the sites tested.

** The level presented represents the 90th percentile of the 10 sites tested. A percentile is a value on a scale of 100 that indicates the percent of a distribution that is equal to or below it. The 90th percentile is equal to or greater than 90% of the copper values detected at your water system. In this case, 10 samples were collected at your water system and the 90th percentile value was the second highest reported value (0.321 mg/L). The action level for copper was not exceeded at any of the sites tested.

Lead can cause serious health problems, especially for pregnant women and young children. Lead in drinking water is primarily from materials and components associated with service lines and home plumbing. *Oakridge* is responsible for providing high quality drinking water and removing lead pipes, but cannot control the variety of materials used in plumbing components in your home. You share the responsibility for protecting yourself and your family from the lead in your home plumbing. You can take responsibility by identifying and removing lead materials within your home plumbing and taking steps to reduce your family's risk. Before drinking tap water, flush your pipes for several minutes by running your tap, taking a shower, doing laundry or a load of dishes. You can also use a filter certified by an American National Standards Institute accredited certifier to reduce lead in drinking water. If you are concerned about lead in your water and wish to have your water tested, contact *VRI Environmental Services for Oakridge 845-677-3839*. Information on lead in drinking water, testing methods, and steps you can take to minimize exposure is available at *http://www.epa.gov/safewater/lead*.

Table of Detected Contaminants							
Contaminant	**Violation Yes/No**	**Date of Sample**	**Level Detected (Highest LRAA) (Range)**	**Unit Measure-ment**	**MCLG**	**Regulatory Limit (MCL, TT or AL)**	**Likely Source of Contamination**
Total Trihalomethanes (TTHMs - chloroform, bromodichloromethane, dibromochloromethane and bromoform) (LRAA)	No	Quarterly 2022	5.21 * (34 - 92)	ug/L	n/a	80	By-product of drinking water chlorination needed to kill harmful organisms. TTHMs are formed when source water contains large amounts of organic matter.
Haloacetic Acids (mono-, di-, and trichloroacetic acid and mono- and dibromoacetic acid) (LRAA)	No	Quarterly 2022	15.43 * (8.4 – 22.2)	ug/L	n/a	60	By-product of drinking water disinfection needed to kill harmful organisms.

Footnotes:
* This level represents the highest locational running annual average calculated from the data collected.

Table of Detected Contaminants							
Contaminant	**Violation Yes/No**	**Date of Sample**	**Level Detected (Avg) (Range)**	**Unit Measure-ment**	**MCLG**	**Regulatory Limit (MCL, TT or AL)**	**Likely Source of Contamination**
Perfluorooctanoic Acid (PFOA) Well 2	No	Quarterly 2022	7.31 (Range = 6.12 – 8.7)	ng/L	n/a	10	Released into the environment from widespread use in commercial and industrial applications.

Contaminant	Violation Yes/No	Date of Sample	Level Detected (Avg) (Range)	Unit Measure-ment	MCLG	Regulatory Limit (MCL, TT or AL)	Likely Source of Contamination
Perfluorooctane Sulfonic Acid (PFOS) Well 2	Yes	Quarterly 2022	10.46 (Range = 6.08 – 13)	ng/L	n/a	10	Released into the environment from widespread use in commercial and industrial applications.
Perfluorooctanoic Acid (PFOA) Well 4	No	Quarterly 2022	8.03 (Range = 6.6 – 10)	ng/L	n/a	10	Released into the environment from widespread use in commercial and industrial applications.
Perfluorooctane Sulfonic Acid (PFOS) Well 4	No	Quarterly 2022	5.06 (Range = 4.7 – 5.2)	ng/L	n/a	10	Released into the environment from widespread use in commercial and industrial applications.
Perfluorooctanoic Acid (PFOA) Well 5	No	Quarterly 2022	8.26 (Range = 7.8 – 9.76)	ng/L	n/a	10	Released into the environment from widespread use in commercial and industrial applications.
Perfluorooctane Sulfonic Acid (PFOS) Well 5	No	Quarterly 2022	5.05 (Range = 4.4 – 5.47)	ng/L	n/a	10	Released into the environment from widespread use in commercial and industrial applications.
Perfluorooctanoic Acid (PFOA) Well 6	Yes	Quarterly 2022	8.65 (Range = 7.3 – 10.5)	ng/L	n/a	10	Released into the environment from widespread use in commercial and industrial applications.
Perfluorooctane Sulfonic Acid (PFOS) Well 6	Yes	Quarterly 2022	12.9 (Range = 10.8 – 15)	ng/L	n/a	10	Released into the environment from widespread use in commercial and industrial applications.
Perfluorooctanoic Acid (PFOA) Well 7	Yes	Quarterly 2021	9.48 (Range = 7.6 – 12.5)	ng/L	n/a	10	Released into the environment from widespread use in commercial and industrial applications.
Perfluorooctane Sulfonic Acid (PFOS) Well 7	No	Quarterly 2022	4.44 (Range = 3.81 – 5.3)	ng/L	n/a	10	Released into the environment from widespread use in commercial and industrial applications.

Table of Unregulated Detected Contaminants				
Contaminant	**Date of Sample**	**Level Detected (Max) (Range)**	**Unit Measurement**	**Likely Source of Contamination**
Perfluorobutanesulfonic Acid (PFBS) All Wells	Quarterly 2022	2.1 – 10.2	ng/L	Released into the environment from widespread use in commercial and industrial applications.
Pefluorohexanoic Acid (PFHxA) All Wells	Quarterly 2022	1.15 – 4.87	ng/L	Released into the environment from widespread use in commercial and industrial applications.
Perfluoroheptanoic Acid (PFHpA) All Wells	Quarterly 2022	1.15 – 4.6	ng/L	Released into the environment from widespread use in commercial and industrial applications.
Perfluorohexanesulfonic Acid (PFHxS) All Wells	Quarterly 2022	1.33 – 6.94	ng/L	Released into the environment from widespread use in commercial and industrial applications.
Perfluorononanoic Acid (PFNA) All Wells	Quarterly 2022	ND – 1.52	ng/L	Released into the environment from widespread use in commercial and industrial applications.

Definitions:
Non - Detects (ND) - Laboratory analysis indicates that the constituent is not present.
Milligrams per liter (mg/l) – Corresponds to one part of liquid in one million parts of liquid (parts per million – ppm).
Micrograms per liter (ug/l) – Corresponds to one part of liquid in one billion parts of liquid (parts per billion – ppb).
Action Level (AL) - The concentrations of a contaminant, which, if exceeded, triggers treatment, or other requirements, which a water system must follow.
Maximum Contaminant Level (MCL) - The highest level of a contaminant that is allowed in drinking water. MCL's are set as close to the MCLG's as feasible.
Maximum Contaminant Level Goal (MCLG) - The level of a contaminant in drinking water below which there is no known or expected risk to health. MCLG's allow for a margin of safety.
Maximum Residual Disinfectant Level (MRDL) – The highest level of a disinfectant allowed in drinking water. There is convincing evidence that addition of a disinfectant is necessary for control of microbial contaminants.

Maximum Residual Disinfectant Level Goal (MRDLG) – The level of a drinking water disinfectant below which there is no known or expected risk to health. MRDLGs do not reflect the benefits of the use of disinfectants to control microbial contamination.
Treatment Technique (TT) – A required process intended to reduce the level of a contaminant in drinking water.
Picocuries per liter (pCi/L) – A measure of the radioactivity in water.
LRAA – Locational Running Annual Average
Nanograms per liter (ng/L) – Corresponds to one part of liquid to one trillion parts of liquid (parts per trillion – ppt).

WHAT DOES THIS INFORMATION MEAN?

As you can see by the table, our system had MCL violations for PFOA/PFOS for Well 2, 4, 6 and 7 in 2022. Please see the public notification that was provided and copied below for more information on health effects and what we are doing to resolve the issue. A design has been submitted by Delaware engineering for review by the local and State Health Departments for a plant upgrade including Granular Activated Carbon (GAC) Treatment Filters. As of May 5, 2023an updated drawing set and engineering report was sent to the Westchester County Health Department for review.

We have learned through our testing that some other contaminants have been detected; however, these contaminants were detected below New York State Requirements.

It should be noted that the action level for lead was not exceeded in any of the samples collected. We are required to present the following information on lead in drinking water:

Lead can cause serious health problems, especially for pregnant women and young children. Lead in drinking water is primarily from materials and components associated with service lines and home plumbing. *Oakridge* is responsible for providing high quality drinking water and removing lead pipes, but cannot control the variety of materials used in plumbing components in your home. You share the responsibility for protecting yourself and your family from the lead in your home plumbing. You can take responsibility by identifying and removing lead materials within your home plumbing and taking steps to reduce your family's risk. Before drinking tap water, flush your pipes for several minutes by running your tap, taking a shower, doing laundry or a load of dishes. You can also use a filter certified by an American National Standards Institute accredited certifier to reduce lead in drinking water. If you are concerned about lead in your water and wish to have your water tested, contact *VRI Environmental Services for Oakridge 845-677-3839*. Information on lead in drinking water, testing methods, and steps you can take to minimize exposure is available at *http://www.epa.gov/safewater/lead*.

IMPORTANT INFORMATION ABOUT YOUR DRINKING WATER

PFOS MCL Exceedance at Oakridge Public Water District

Why are you receiving this notice/information?

You are receiving this notice because testing of our public water system found the chemical perfluorooctanesulfonic acid (PFOS) at 12.8 ppt at Well #6 during 1st quarter, 2022 monitoring period. This is above New York State's maximum contaminant level (MCL) of 10 ppt for PFOS in public drinking water systems. The MCL is set well below levels known or estimated to cause health effects. Consuming drinking water with PFOS at or somewhat above the MCL does not pose a significant health risk. Your water continues to be acceptable for all uses. The Oakridge Water District is working on a strict timetable to reduce levels below the MCL.

What are the health effects of PFOS?

The available information on the health effects associated with PFOS, like many chemicals, comes from studies of high-level exposure in animals or humans. Less is known about the chances of health effects occurring from lower levels of exposure, such as those that might occur in drinking water. As a result, finding lower levels of chemicals in drinking water prompts water suppliers and regulators to take precautions that include notifying consumers and steps to reduce exposure.

PFOS have caused a wide range of health effects when studied in animals that were exposed to high levels. Additional studies of high-level exposures of PFOS in people provide evidence that some of the health effects seen in animals may also occur in humans. The most consistent findings in animals were effects on the liver and immune system and impaired fetal growth and development. The United States Environmental Protection Agency considers PFOS as having suggestive evidence for causing cancer based on studies of animals exposed to high levels of this chemical over their entire lifetimes.

At the levels of PFOS detected in your water, exposure from drinking water and food preparation is well below PFOS exposures associated with health effects.

What is New York State doing about PFOS in public drinking water?

The New York State Department of Health (NYS DOH) has adopted a drinking water regulation that requires all public water systems to test for PFOS. If found above the MCL of 10 ppt, the water supplier must take steps to lower the level to meet the standard. Exceedances of the MCL signal that steps should be taken by the water system to reduce contaminant levels.

What is being done to meet the MCL?

Oakridge Water District is working with the Westchester County and New York State Health Departments on a compliance schedule that includes steps to reduce levels of PFOS.

The immediate corrective action for this exceedance is utilizing as little water from the contaminated wells as possible by alternating usage with other approved wells in the Oakridge water system. With all of the wells in use, the combined treated water entering the distribution system is below the MCL. These wells will still be sampled quarterly for PFOS, as per the Westchester County Department of Health. The alternation of wells will not affect water production within the facility. Designs have been drafted by Delaware engineering for review by the local and State Health Departments for a plant upgrade including Granular Activated Carbon (GAC) Treatment Filters.

PFOS will continue to be sampled quarterly so the MCL's can be observed & controlled.

Additional information will be shared as further testing and progress occurs. This process is similar for any chemical detected in public drinking water that requires mitigation due to exceedance of an MCL. The compliance timetable will ensure that your drinking water will meet the MCL as rapidly as possible.

Where can I get more information?

For more information, please contact VRI Environmental Services at 845-677-3839 or 1847 Route 55 Lagrangeville NY, 12540. You can also contact the Westchester County Health Department at 1-914-813-5000.

If you have additional questions about these contaminants and your health, talk to your health care provider who is most familiar with your health history and can provide advice and assistance about understanding how drinking water may affect your personal health.

Public Water System ID# NY 5918395
Date 7/20/22

IMPORTANT INFORMATION ABOUT YOUR DRINKING WATER

PFOS MCL Exceedance at Oakridge Public Water District

Why are you receiving this notice/information?

You are receiving this notice because testing of our public water system found the chemical perfluorooctanesulfonic acid (PFOS) at 11.9 ppt at Well #6 during 3rd quarter, 2022 monitoring period. This is above New York State's maximum contaminant level (MCL) of 10 ppt for PFOS in public drinking water systems. The MCL is set well below levels known or estimated to cause health effects. Consuming drinking water with PFOS at or somewhat above the MCL does not pose a significant health risk. Your water continues to be acceptable for all uses. The Oakridge Water District is working on a strict timetable to reduce levels below the MCL.

What are the health effects of PFOS?

The available information on the health effects associated with PFOS, like many chemicals, comes from studies of high-level exposure in animals or humans. Less is known about the chances of health effects occurring from lower levels of exposure, such as those that might occur in drinking water. As a result, finding lower levels of chemicals in drinking water prompts water suppliers and regulators to take precautions that include notifying consumers and steps to reduce exposure.

PFOS have caused a wide range of health effects when studied in animals that were exposed to high levels. Additional studies of high-level exposures of PFOS in people provide evidence that some of the health effects seen in animals may also occur in humans. The most consistent findings in animals were effects on the liver and immune system and impaired fetal growth and development. The United States Environmental Protection Agency considers PFOS as having suggestive evidence for causing cancer based on studies of animals exposed to high levels of this chemical over their entire lifetimes.

At the levels of PFOS detected in your water, exposure from drinking water and food preparation is well below PFOS exposures associated with health effects.

What is New York State doing about PFOS in public drinking water?

The New York State Department of Health (NYS DOH) has adopted a drinking water regulation that requires all public water systems to test for PFOS. If found above the MCL of 10 ppt, the water supplier must take steps to lower the level to meet the standard. Exceedances of the MCL signal that steps should be taken by the water system to reduce contaminant levels.

What is being done to meet the MCL?

Oakridge Water District is working with the Westchester County and New York State Health Departments on a compliance schedule that includes steps to reduce levels of PFOS.

The immediate corrective action for this exceedance is utilizing as little water from the contaminated wells as possible by alternating usage with other approved wells in the Oakridge water system. With all of the wells in use, the combined treated water entering the distribution system is below the MCL. These wells will still be sampled quarterly for PFOS, as per the Westchester County Department of Health. The alternation of wells will not affect water production within the facility. A design has been

submitted by Delaware engineering for review by the local and State Health Departments for a plant upgrade including Granular Activated Carbon (GAC) Treatment Filters. As of October 2022, a revised drawing set and engineering report was sent to the Westchester County Health Department for review. Isotherm testing was conducted on the raw water that will be entering the proposed GAC Filters. Once these results are available to the Oakridge Water District, they will be submitted to the Westchester County Health Department for review.

PFOS will continue to be sampled quarterly so the MCL's can be observed & controlled.

Additional information will be shared as further testing and progress occurs. This process is similar for any chemical detected in public drinking water that requires mitigation due to exceedance of an MCL. The compliance timetable will ensure that your drinking water will meet the MCL as rapidly as possible.

Where can I get more information?

For more information, please contact VRI Environmental Services at 845-677-3839 or 1847 Route 55 Lagrangeville NY, 12540. You can also contact the Westchester County Health Department at 1-914-813-5000.

If you have additional questions about these contaminants and your health, talk to your health care provider who is most familiar with your health history and can provide advice and assistance about understanding how drinking water may affect your personal health.

Public Water System ID# NY 5918395
Date 11/7/22

IMPORTANT INFORMATION ABOUT YOUR DRINKING WATER

PFOS & PFOA MCL Exceedance at Oakridge Public Water District

Why are you receiving this notice/information?

You are receiving this notice because testing of our public water system found the chemicals perfluorooctanoic acid (PFOA) at 10.5 ppt at Well #7 and perfluorooctanesulfonic acid (PFOS) at 12.5 ppt at Well #2 and 12.0 ppt at Well #6 during 4th quarter, 2022 monitoring period. This is above New York State's maximum contaminant level (MCL) of 10 ppt for PFOS and PFOA in public drinking water systems. The MCL is set well below levels known or estimated to cause health effects. Consuming drinking water with PFOS and/or PFOA at or somewhat above the MCL does not pose a significant health risk. Your water continues to be acceptable for all uses. The Oakridge Water District is working on a strict timetable to reduce levels below the MCL.

What are the health effects of PFOS and PFOA?

The available information on the health effects associated with PFOS and PFOA, like many chemicals, comes from studies of high-level exposure in animals or humans. Less is known about the chances of health effects occurring from lower levels of exposure, such as those that might occur in drinking water. As a result, finding lower levels of chemicals in drinking water prompts water suppliers and regulators to take precautions that include notifying consumers and steps to reduce exposure.

PFOS and PFOA have caused a wide range of health effects when studied in animals that were exposed to high levels. Additional studies of high-level exposures of PFOS and PFOA in people provide evidence that some of the health effects seen in animals may also occur in humans. The most consistent findings in animals were effects on the liver and immune system and impaired fetal growth

and development. The United States Environmental Protection Agency considers PFOS and PFOA as having suggestive evidence for causing cancer based on studies of animals exposed to high levels of this chemical over their entire lifetimes.

At the levels of PFOS and PFOA detected in your water, exposure from drinking water and food preparation is well below PFOS and PFOA exposures associated with health effects.

What is New York State doing about PFOS and PFOA in public drinking water?

The New York State Department of Health (NYS DOH) has adopted a drinking water regulation that requires all public water systems to test for PFOS and PFOA. If found above the MCL of 10 ppt, the water supplier must take steps to lower the level to meet the standard. Exceedances of the MCL signal that steps should be taken by the water system to reduce contaminant levels.

What is being done to meet the MCL?

Oakridge Water District is working with the Westchester County and New York State Health Departments on a compliance schedule that includes steps to reduce levels of PFOS and PFOA.

> The immediate corrective action for this exceedance is utilizing as little water from the contaminated wells as possible by alternating usage with other approved wells in the Oakridge water system. These wells will still be sampled quarterly for PFOS and PFOA, as per the Westchester County Department of Health. The alternation of wells will not affect water production within the facility. A design has been submitted by Delaware engineering for review by the local and State Health Departments for a plant upgrade including Granular Activated Carbon (GAC) Treatment Filters. As of February 2023, a revised drawing set and engineering report was sent to the Westchester County Health Department for review. Isotherm testing was conducted on the raw water that will be entering the proposed GAC Filters. The results are under review by Delaware Engineering and the Westchester County Health Department.

PFOS and PFOA will continue to be sampled quarterly so the MCL's can be observed & controlled.

Additional information will be shared as further testing and progress occurs. This process is similar for any chemical detected in public drinking water that requires mitigation due to exceedance of an MCL. The compliance timetable will ensure that your drinking water will meet the MCL as rapidly as possible.

Where can I get more information?

For more information, please contact VRI Environmental Services at 845-677-3839 or 1847 Route 55 Lagrangeville NY, 12540. You can also contact the Westchester County Health Department at 1-914-813-5000.

If you have additional questions about these contaminants and your health, talk to your health care provider who is most familiar with your health history and can provide advice and assistance about understanding how drinking water may affect your personal health.

Public Water System ID# NY 5918395
Date 2/16/23

Is our water system meeting other rules that govern operations?

During 2022, our water system had a MCL exceedance violation for PFAS in the 3rd quarter.

Do I Need to Take Special Precautions?

Some people may be more vulnerable to disease causing microorganisms or pathogens in drinking water than the general population. Immuno-compromised persons such as persons with cancer undergoing chemotherapy, persons who have undergone organ transplants, people with HIV/AIDS or other immune system disorders, some elderly, and infants can be particularly at risk from infections. These people should seek advice from their health care provider about their drinking water. EPA/CDC guidelines on appropriate means to lessen the risk of infection by Cryptosporidium, Giardia and other microbial pathogens are available from the Safe Drinking Water Hotline (800-426-4791).

Why Save Water and How to Avoid Wasting It?

Although our system has an adequate amount of water to meet present and future demands, there are a number of reasons why it is important to conserve water:

- Saving water saves energy and some of the costs associated with both of these necessities of life;
- Saving water reduces the cost of energy required to pump water and the need to construct costly new wells, pumping systems and water towers; and
- Saving water lessens the strain on the water system during a dry spell or drought, helping to avoid severe water use restrictions so that essential fire fighting needs are met.

You can play a role in conserving water by becoming conscious of the amount of water your household is using, and by looking for ways to use less whenever you can. It is not hard to conserve water. Conservation tips include:

- Automatic dishwashers use 15 gallons for every cycle, regardless of how many dishes are loaded. So get a run for your money and load it to capacity.
- Turn off the tap when brushing your teeth.
- Check every faucet in your home for leaks. Just a slow drip can waste 15 to 20 gallons a day. Fix it up and you can save almost 6,000 gallons per year.
- Check your toilets for leaks by putting a few drops of food coloring in the tank, watch for a few minutes to see if the color shows up in the bowl. It is not uncommon to lose up to 100 gallons a day from one of these otherwise invisible toilet leaks. Fix it and you save more than 30,000 gallons a year.

Closing

Thank you for allowing us to continue to provide your family with quality drinking water this year. In order to maintain a safe and dependable water supply we sometimes need to make improvements that will benefit all of our customers. The costs of these improvements may be reflected in the rate structure. Rate adjustments may be necessary in order to address these improvements. We ask that all our customers help us protect our water sources, which are the heart of our community. Please call our office if you have any questions.

Analysis of Water & Sewer Systems Capacity with 18 Three Bedroom Units

1/16/2024

GIVEN:

NYSDEC Water Taking Permit for 80,000 gpd for Oakridge Water District
Existing SPDES Permit allows for 80,000 gpd discharge from the Oakridge Sewer Treatment System

RE: Availablity of Water Supply from Oakridge Water and Sewer District

Memo to Lewisboro Town Board Prepared by Kellard Sessions

Proposed Usage by 16 (3 Br) units and 2 (2 Br) Units = 52 Bedrooms

(Includes 4 units (12 BR) previously approved = 1,320 gpd)

110 gpd/Br x 52BR= 5,720 gpd

(Actual Usuage based on Laurel Ridge Townhomes is 51 gal / day per BR or approx 54% less that allowed.)

Avg Annual flows in gallons per day based on 2021 and 2022 Actual Usage

53,822 gpd actual consumption

WCHD Permit to Operate for 2024 list 55,000 gpd as average daily consumption

(Corrolates with Kellard Memo)

Average Flow Available

80,000 gpd - 53,822 gpd = 26,178 gpd available

KELLARD SESSIONS

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Lewisboro Town Board
Ciorsdan Conran
Judson Siebert, Esq.
Jeff Farrell

FROM: Joseph M. Cermele, P.E., CFM JMC
Consulting Town Engineer

DATE: November 10, 2022

RE: Villas at Vista (at Oakridge Commons)
Smith Ridge Associates
450 Oakridge Commons

PROJECT DESCRIPTION

The subject property consists of ±10.3 acres of land and is located on Smith Ridge Road within the RB Zoning District. The property is developed with the Oakridge Commons Shopping Center, which includes a number of mixed-use buildings. The applicant was previously granted an Amended Site Development Plan Approval for the conversion of the existing ±6,000 s.f., 250 seat restaurant, located within Building 9B, to four (4), two (2) bedroom apartment units.

The applicant is now proposing to remove the ten (10) foot wide connection between Buildings 9A and 9B, modify and convert Building 9A, which is currently occupied by a ±11,450 s.f. Fitness/Karate Facility, into six (6) residential units and convert the lower level of Building 9B into two (2) residential units. In addition, the applicant is proposing the construction of six (6) new townhouses located adjacent to and to the south of Buildings 9A and 9B. After completion of the proposed project, the Oakridge Commons site would result in the removal of the restaurant and fitness center in exchange for a total of eighteen (18) residential units, including those four (4) units that were previously approved. The resulting unit mix would include a total of two (2) two-bedroom units and sixteen (16) three-bedroom units.

At the request the Planning Board, this office has reviewed and performed an evaluation of the existing and proposed water usage for the above-referenced project to determine whether water capacity from the Oakridge Water District Treatment Plant is adequate to serve the redevelopment as proposed. We note

that this evaluation in no way considered or evaluated treatment processes, overall operations of the water treatment plant or current water quality.

EXISTING CONDITIONS

The property is supplied treated water from the Oakridge Water District (District), owned by the Town of Lewisboro and operated by VRI Environmental Services, Inc., under Public Water Supply Permit No. 5918395, with a permitted monthly average plant capacity of 80,000 gallons per day (GPD). The distribution area for the District includes 278 condominiums, 22 single-family residences, 46 townhomes and varied commercial uses. The water treatment system is comprised of five (5) raw water supply wells, a water treatment facility and a 95,000 gallon storage tank.

This office was provided water usage records from the Town of Lewisboro for reporting year 2021 and for January through September of reporting year 2022. The data was used to evaluate the actual water demand for the development as it exists and compare it to the design hydraulic loading rates provided by the New York State Department of Environmental Conservation (NYSDEC) New York State Design Standards for Intermediate Sized Wastewater Treatment Facilities, March 2014 (Design Guidelines). We note that the volumes reported below are metered prior to discharge to the water storage tank and are not based on any metering that may occur within the distribution system after the storage tank. A summary of the total monthly average treated water volume is provided below.

OAKRIDGE WATER DISTRICT
WATER TREATMENT SUMMARY

REPORTING YEAR	2021	2022
MONTH	AVERAGE MONTHLY TREATED FLOW (GPD) (1)	
January	54,203	51,175
February	50,326	42,298
March	48,145	49,911
April	51,188	49,245
May	63,560	52,900
June	64,410	57,671
July	60,610	62,263
August	67,027	59,736
September	57,637	39,530
October	56,628	
November	51,651	
December	50,483	

ANNUAL AVERAGE FLOW	**53,822**	**52,414**
AVAILABLE AVERAGE ANNUAL FLOW (2)	**26,178**	**27,586**
MINIMUM AVERAGE FLOW	**48,145**	**39,530**
PEAK AVAILABLE MONTHLY FLOW (2)	**31,855**	**40,470**
MAXIMUM AVERAGE FLOW	**67,027**	**62,263**
MINIMUM AVAILABLE MONTHLY FLOW (2)	**12,973**	**17,737**

(1) Treated water summary includes additional flows required for daily backwashing and periodic flushing of the treatment plant for normal operations as well as limited irrigation use for a portion of the property.
(2) Based upon a permitted monthly average plant capacity of 80,000 gallons per day.

As can be seen from the above summary, the average annual monthly flow for 2021 was 53,822 GPD with a minimum average monthly flow of 48,145 GPD and a maximum average monthly flow of 67,027 GPD. The average annual monthly flow for 2022 through September of this year was 52,414 GPD with a minimum average monthly flow of 39,530 GPD and a maximum average monthly flow of 62,263 GPD. Further, in 2021, the minimum available average annual capacity of the plant was 26,178 GPD, the peak available monthly flow was 31,855 GPD, and the minimum available monthly flow was 12,973 GPD. Also noteworthy is the spike in flow during the summer months (May through August). This increase in treated water volume is likely attributable to added water usage for irrigation purposes.

PROPOSED CONDITIONS

As previously noted, the project proposes the conversion of an existing restaurant and Fitness/Karate Facility in exchange for a total of eighteen (18) residential units, including two (2) two-bedroom units and sixteen (16) three-bedroom units. The hydraulic loading rates provided within the Design Guidelines typically result in higher usage rates then what is actually recorded. However, for the purpose of this evaluation, it is a conservative approach.

The hydraulic loading rate for residential bedroom units in new construction is 110 GPD per bedroom (post 1994 plumbing code fixtures). The proposal will result in a total of fifty-two (52) bedrooms which would equate to a total water demand of 5,720 GPD.

The hydraulic design loading rate for a restaurant is equivalent to 35 GPD per seat. The existing restaurant is permitted for 250 seats which equates to a water demand of 8,750 GPD (250 seats x 35 GPD per seat).

The water usage for the Fitness/Karate Facility most closely equates to the hydraulic design loading rate for a health club which is equivalent 20 GPD per patron. While the Fitness/Karate Facility was closed during the COVID-19 Pandemic and for the duration of the provided water usage reporting, it is our understanding that the Fitness/Karate Facility had a total membership of approximately 500 members. For the purpose of this evaluation, we assumed that 250 patrons utilized this space per day. This would result in a total water demand of 5,000 GPD (250 patrons x 20 GPD per patron).

Based on the above, the current combined water demand for the restaurant and Fitness/Karate Facility is approximately 13,750 GPD. The proposed residential use results in a water demand of 5,720 GPD, a reduction of approximately 60%.

CONCLUSION AND RECOMMENDATION

As can be seen from the above data, when comparing the existing restaurant and fitness center uses to the proposed conversion to residential use, based upon the Design Guidelines, the resulting total flow rate as a result of the project will be reduced by approximately 60%.

It is our understanding that additional metering capabilities exist throughout the distribution system. However, we were not privy to the data associated with the individual meters as part of this evaluation. Regardless, we find that typically the hydraulic design loading rates provided in the Design Guidelines are higher than what is actually recorded. For comparison, the Town provided water usage rates for the townhomes on Boulder Ridge for further evaluation of potential impact. The average water usage in 2021 for a two-bedroom unit was reported to be 98 GPD per unit (as opposed to 220 GPD per the Design Guidelines) and the average water usage for a three-bedroom unit was 82 GPD per unit (as opposed to 330 GPD per the Design Guidelines). If the same average flows from Boulder Ridge were applied to the proposed development the resulting flows would equate to 1,312 GPD (two (2) two-bedroom units x 98 GPD per unit + sixteen (16) three-bedroom units x 82 GPD per unit). This projected flow is significantly less that the 5,720 GPD based upon the Design Guidelines.

Upon review of the above, it is the opinion of this office that there is adequate capacity in the water treatment facility to serve the project as proposed. We would recommend the continued monitoring of water usage within the District and, if needed, consider water restrictions during summer months for irrigation use when water demands are at their peak. In addition, the Town may wish to consider additional metering both at the discharge of the plant and at various locations throughout the distribution system to isolate and better understand the water usage for the multiple components of the development (i.e., townhomes, condominiums, single family residences, commercial/retail uses and irrigation). This would not only provide a better accounting of the water usage but would also offer a means to monitor the overall system for and leakage or areas of excessive use.

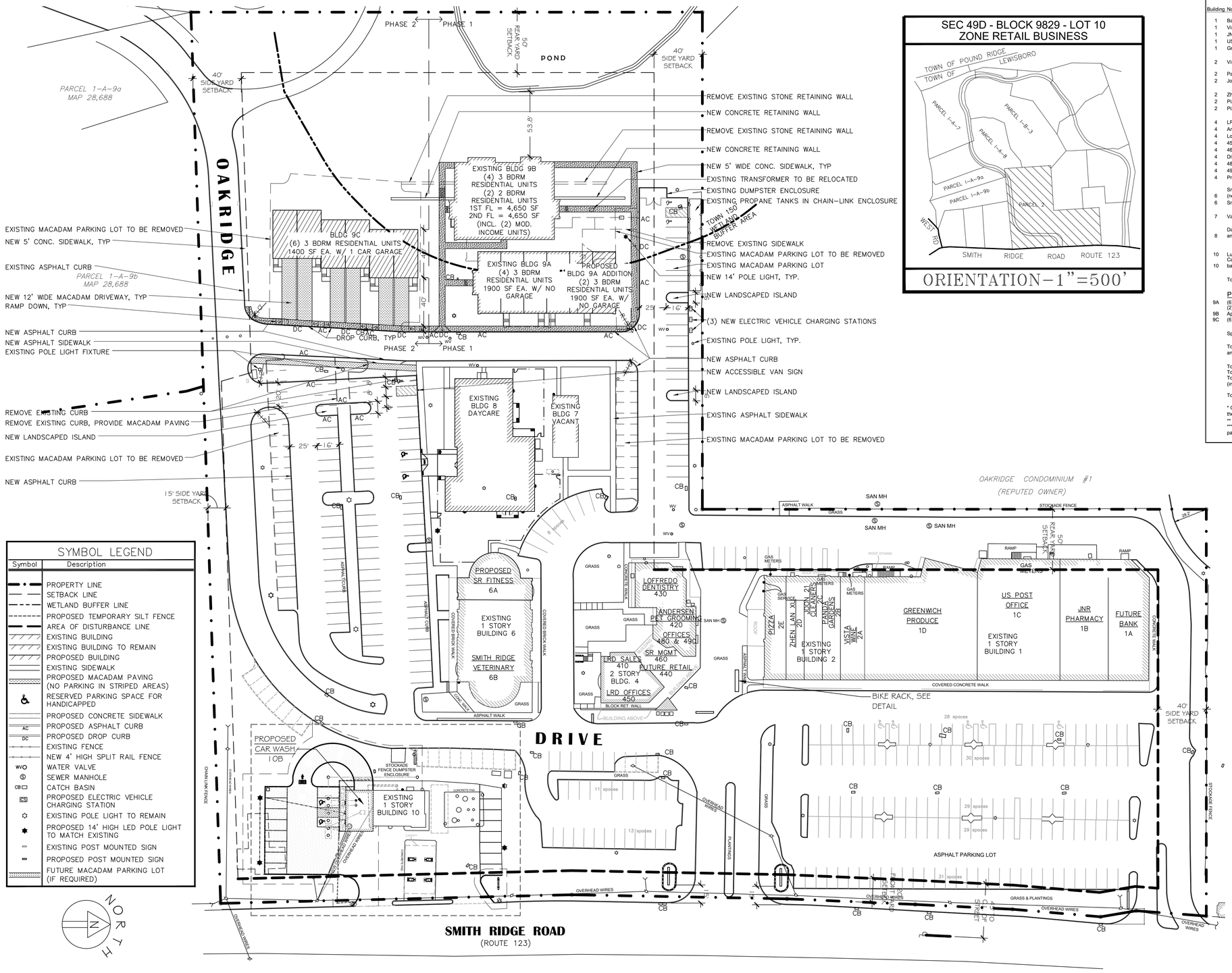
PLANS REVIEWED, PREPARED BY CROSS RIVER ARCHITECTS, LLC, DATED OCTOBER 7, 2022:

- Site Plan (SP/1)
- Enlarged Site Plan (SP/2)
- Site Details (SP/3)
- Site Details (SP/4)

DOCUMENTS REVIEWED:

- Letter, prepared by Cross River Architects, LLC, dated October 11, 2022
- Planning Board Application, dated October 7, 2022
- Wetland Permit Application, dated October 7, 2022
- Water System Operation Report – January 2021 through September 2022

JMC/dc



SEC 49D - BLOCK 9829 - LOT 10
ZONE RETAIL BUSINESS

ORIENTATION–1"=500'

SYMBOL LEGEND

Symbol	Description
	PROPERTY LINE
	SETBACK LINE
	WETLAND BUFFER LINE
	PROPOSED TEMPORARY SILT FENCE
	AREA OF DISTURBANCE LINE
	EXISTING BUILDING
	EXISTING BUILDING TO REMAIN
	PROPOSED BUILDING
	EXISTING SIDEWALK
	PROPOSED MACADAM PAVING (NO PARKING IN STRIPED AREAS)
♿	RESERVED PARKING SPACE FOR HANDICAPPED
	PROPOSED CONCRETE SIDEWALK
AC	PROPOSED ASPHALT CURB
DC	PROPOSED DROP CURB
	EXISTING FENCE
	NEW 4' HIGH SPLIT RAIL FENCE
WV	WATER VALVE
S	SEWER MANHOLE
CB	CATCH BASIN
	PROPOSED ELECTRIC VEHICLE CHARGING STATION
	EXISTING POLE LIGHT TO REMAIN
	PROPOSED 14' HIGH LED POLE LIGHT TO MATCH EXISTING
	EXISTING POST MOUNTED SIGN
	PROPOSED POST MOUNTED SIGN
	FUTURE MACADAM PARKING LOT (IF REQUIRED)

OAKRIDGE COMMONS PARKING CALCULATIONS AND HOURS OF OPERATION

July 26, 2022

Building	Name of Existing Tenants	Area (sf)	Use	Seats	Parking Calculation	Required Parking	Hours of Operation
1	Bank	2600	Bank		1/150	18	9am-3pm M-F, 9am-1pm Sat
1	Vista Beverage Inc.	2800	Retail		1/200 GFA	14	11am-7:30pm
1	JNR Pharmacy	4000	Retail		1/200 GFA	20	9am-7pm
1	US Post Office	4400	Retail		1/200 GFA	22	8am-4pm
1	Greenwich Produce	6000	Grocery		1/125 GFA	48	9am-7:30pm
2	Vista Wine	1700	Retail		1/200 GFA	9	10am - 7pm
2	Panda Gardens	1100	Restaurant	10 1/2 Seats		5	11am-9:30pm
2	Joon 21 Cleaners Corp	1630	Retail		1/200 GFA	9	9am-6pm M-Sat
2	Zhen Lan Xu	1350	Retail		1/200 GFA	7	10am-7pm M-F, 10am-6pm Sat
2	Pizza Interior Seating	2500	Restaurant	45 1/2 Seats		23	6am-8pm
2	Pizza Outdoor Seating		Restaurant	12 0		0 *	6am-9pm
4	LRD Sales	1900	Office		1/250 GFA	8	9am-5pm M-F
4	Anderson Pet Grooming	1250	Retail		1/200 GFA	7	by appt
4	Loffredo DDS (1 practitioner)	1500	Dental Office		5/ practioner	5	M 9am-7pm, Tu &W 9-5
4	450 - SR Management LLC	950	Office		1/250 GFA	4	9am-5pm M-F
4	460 - LR Dev LLC	950	Office		1/250 GFA	4	8am-4pm M-Sat
4	Divies Offices	550	Office		1/250 GFA	3	9am-5pm M-F
4	480 - Office	550	Office		1/250 GFA	3	9am-5pm M-F
4	490 - Office	1400	Office		1/250 GFA	6	9am-5pm M-F
4	Proposed Retail	1600	Retail		1/200 GFA	8	9am-6pm
6	Smith Ridge Fitness Center (no employees)	1600	Recreation		1/200 GFA + 1 / employee	8	6:30am-8pm M-F
6	Smith Ridge Veterinarian	4900	Veterinary		5 practioners	25	8pm Tu & Th
7	Vacant Office	1100	Office		1/250 GFA	5	6:30am-5pm M-F
8	Day Care Center (7 classrooms and 15 employees)	6600	Nursery School		1 per Employee + 1 per Classrm	22	7am-7pm M-F
10	Lukoil - (3 employees, 2 bays)	1275	Gasoline Service		1/ employee + 3/bay	9	6am-10pm
10	Car Wash (no employees, 1 bay)	480	Gasoline Service		1/ employee + 3/bay	3	7am-10pm
	Total Required Spaces	54685				295 **	
	PROPOSED						
9A	(6) - 3 Bdr Apts	11720	Residences		3 / Residence	18	24 Hours / Day
	(2) - 2 Bdr Apts and (4) 3 Bdr						
9B	Apts	9300	Residences		3 / Residence	18	24 Hours / Day
9C	(6) - 3 Bdr Apts	9600	Residences		3 / Residence	18	24 Hours / Day
	Spaces	30620				54	
	Total Required Spaces Existing and Proposed					349 ***	
	Total Existing Spaces					387	
	Total Spaces To Be Eliminated					(94)	
	Total (future) Proposed (including 10 Garage Spaces)					20	
	Total Parking Spaces Existing					313	

* Outdoor seating may not increase the approved seating capacity for the restaurant per Lewisboro Zoning Ordinance 220-16.J
** Heights Caberet and Premeir Fitness required 187 spaces.
*** The hours of operation among the tenants varies. No additional parking is required.

ZONING COMPLIANCE TABLE

TAX DESIGNATION - SECTION 49D, BLOCK 9829 , LOT 10 ZONE - RB
EXISTING USE- CABARET / RESTAURANT
PROPOSED USE - MULTI FAMILY RESIDENTIAL (SUBJECT TO REQUIREMENTS OF 220-26 OF LEWISBORO ZONING ORDINANCE

	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE –	1/2 Ac	10.059 A, 438,170 SF	NO CHANGE
MIN FRONTAGE	100'	816.78'	NO CHANGE
YARDS			
MIN. FRONT FROM CL ST	45'	84.7'	NO CHANGE
MIN. FRONT FROM PROP LINE	20'	58.7'	NO CHANGE
MIN. SIDE	15' / 40' at MF	128.1' / 47.8'	60.0' / 67.0'
MIN. REAR	50'	117.8' +/-	NO CHANGE
MAX BLDG HEIGHT STORIES / FT	2 / 30'	2 / 29'	2 / 30'
MAX. BLDG COVERAGE	20% / 87,634 SF	14.7% / 64,804 SF	16.2% / 70,904 SF
MAX SITE COVERAGE	60% / 262,902 SF	58.9% / 258,097 SF	56.8% / 248,838 SF
MAX FLOOR AREA RATIO	30% / 131,451 SF	16.5% / 72,135 SF	18.7% / 81,835 SF

REQUIREMENTS OF 220-26			
MIN LOT SIZE	15,000 SF (WHEN SERVED BY PUBLIC WATER AND SEWER	418,895 NET LOT AREA*	NO CHANGE
DEVELOPMENT DENSITY	418,895 SF NET LOT AREA X 2 DENSITY UNITS PER ACRE = 19.2 DENSITY UNITS**	0 DENSITY UNITS (2.75 DU PREVIOUSLY APPROVED BY PL. BD.)	13 DENSITY UNITS***
DENSITY TRANSITION AREA	MIN. LOT WIDTH OF ADJ. 1 FAMILY RESIDENTIAL DISTRICT.	THIS SITE IS NOT ADJ. TO 1 FAMILY RESIDENCIAL DISTRICT	NO CHANGE
WATER AND SEWER CONNECTION REQMTS	PLANNING BOARD MAY REQUIRE CONNECTION	BLDGS 9A AND 9B CURRENTLY CONNECTED	BLDGS 9C AND 9D ARE PROPOSED TO BE CONNECTED TO WATER AND SEWER
OPEN SPACE	50% OF LOT AREA = SF 219,085 SF	41.1% = 180,073 SF	43.2% = 189,332 SF****
RECREATION	300 SF / UNIT OR PAY PER UNIT RECREATION FEE	300 SF / UNIT (OR REQUIRED FEE)	REQ'D REC FEE WILL BE PAID UPON APPROVAL
PARKING	2 SPACES/UNIT + 1 SPACE FOR EACH UNIT WITH TWO OR MORE BEDROOMS	18 UNITS X 3 SPACES = 54 SPACES	SEE PARKING TABLE DWG SP1
AFFORDABLE RESIDENTIAL UNITS	10% =3 UNITS	NOT APPLICABLE	3 UNITS IN BUILDING 9A

* 438,170 SF - (10,700 SF WETLANDS +15000 SF STEEP SLOPES X 0.75) = 418,895 SF NET TOTAL LOT AREA
** PLANNING BOARD MAY AUTHORIZE UP TO 40% INCREASE IN DENSITY IF APPLICANT CONSTRUCTS AT LEAST 1/3 OF THE ADDITIONAL DENSITY UNITS AS MIDDLE INCOME DWELLING UNITS.
*** 16 - 3 BDR ATTACHED RESIDENCES + 2 - 2 BDR ATTACHED RESIDENCES = 13 DENSITY UNITS
**** DEMO AREAS - 1550 SF BLDG, 20,114 SF PKG LOT, 1495 SF SIDEWALK. ADDED AREAS - 6100 SF BLDG, 3200 SF DRIVEWAYS, 4600 SIDEWALKS. COVERAGE DIFFERENCE = 9259 SF REDUCTION

VILLAS AT VISTA WATER USE CALCULATIONS

Calculations per NYSDEC "Design Standards for Intermediate sized Wastewater Treatment Systems" dated March 4, 2014

EXISTING USES -
CABARET / RESTAURANT WITH 250 SEATS
250 SEATS X 35 GAL / DAY = **8,750 GPD**

FITNESS CENTER – BASED ON 250 MEMBERS
250 PATRONS X 20 GAL / DAY = **5,000 GPD**

TOTAL EXISTING USAGE PERMITTED-13,750 GPD

PROPOSED USE –
16– THREE BDR APTS AND 2 –TWO BDR APTS (INCLUDES 4 APTS PREVIOUSLY APPROVED)

52 BEDROOMS X 110 GAL / DAY = **5,720 GPD**

TOTAL WATER SAVINGS = 8,030 GPD (INCLUDES 4 APTS PREVIOUSLY APPROVED)

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Chairman DATE

Secretary DATE

TOWN ENGINEER'S CERTIFICATION
Reviewed for compliance with the Planning Board Resolution dated_____.

Joseph M. Cermele, P.E. Date

Kellard Sessions Consulting, P.C.
Town Consulting Engineer

OWNER'S CERTIFICATION
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name: Smith Ridge Associates, LLC – Philip Pine, Managing Partner Date
Owners Address: 450 Oakridge Common, South Salem, NY 10590

REVISIONS

No.	Desc.	Date

SEAL

CROSS RIVER ARCHITECTS, LLC
ROBERT J. EBERTS R.A., PRINCIPAL
110 PINESBRIDGE RD.
KATONAH, N.Y. 10536
914.494.7691

PROJECT
VILLAS AT VISTA
OAKRIDGE DRIVE
SOUTH SALEM, NY

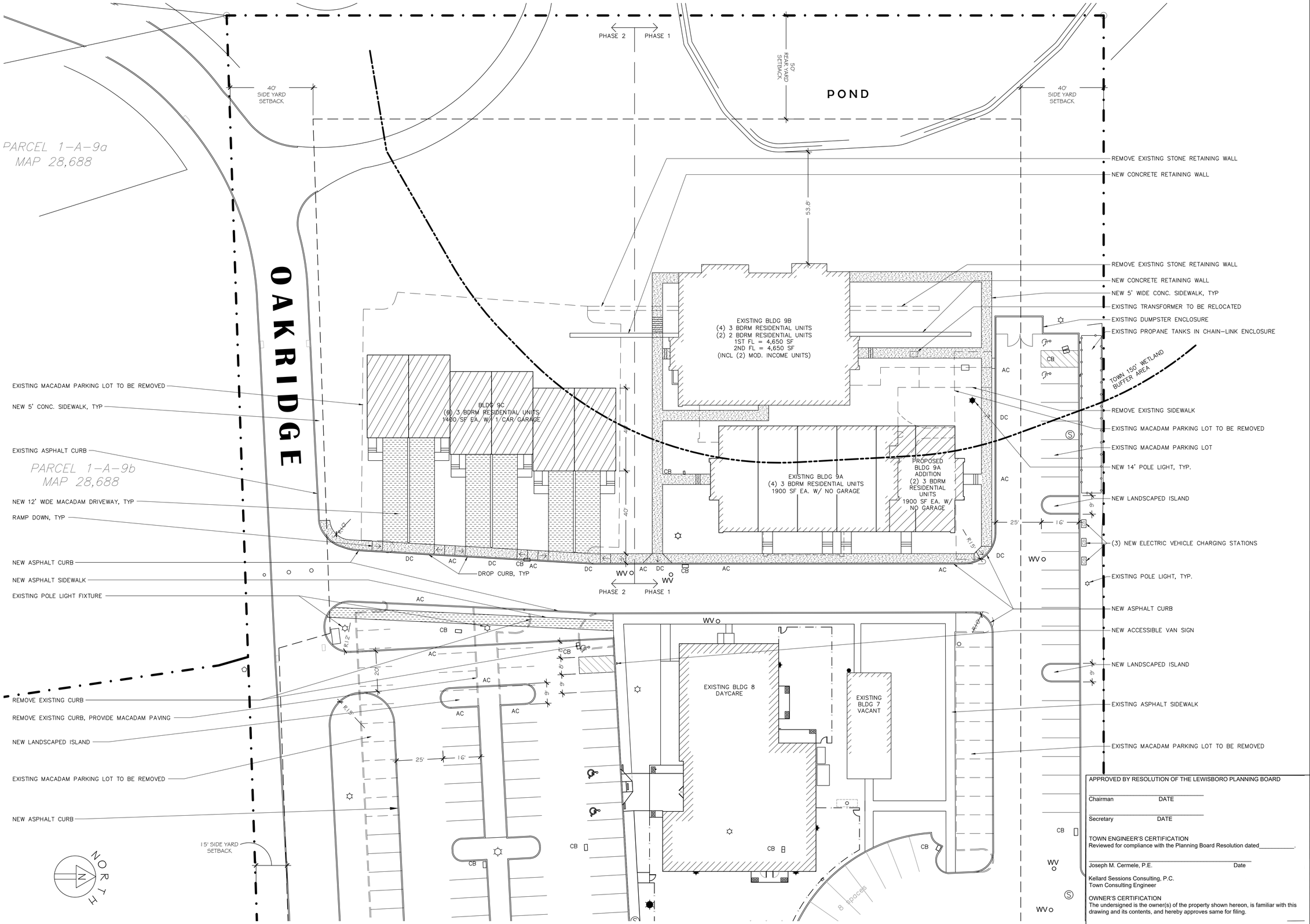
TITLE
SITE PLAN

DATE
JUNE 27, 2022

SCALE
1" = 40'

PROJ. #

DRAWING
SP/1



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KATONAH, N.Y. 10536
914.494.7691

PROJECT
VILLAS AT VISTA
OAKRIDGE DRIVE
SOUTH SALEM, NY

TITLE
ENLARGED SITE PLAN

DATE
JUNE 27, 2022

SCALE
1" = 40'

PROJ. #

DRAWING
SP/2

Water Rules and Regulations

Town of Lewisboro Water Districts

1. GENERAL PROVISIONS

The Rules and Regulations of the Water Districts of the Town of Lewisboro, including the water tariff rates, are established under authority of the Town Board of the Town of Lewisboro, New York. Nothing contained in these Rules and Regulations shall be construed so as to interfere with the duties and powers of the Town Board, officers, employees or agents of the Town of Lewisboro.

A. PURPOSE

The purpose of the Rules and Regulations is to provide procedures for the construction and use of the water districts of the Town of Lewisboro. All inquiries should be directed to the administrator of the Water district.

B. SCOPE

The Rules and Regulations shall apply to any person who is directly or indirectly a user of the water districts of the Town of Lewisboro. Water service requirements and procedures are delineated in Section 2. Plumbers and excavators responsibilities are listed in Section 4.

2. WATER SERVICE RULES AND REGULATIONS

A. GENERAL INFORMATION - WATER

Employees of the Town of Lewisboro or agents in possession of proper identification shall be permitted access to the customer's premises for the purpose of determining where and how water is used, inspecting pipes, maintaining and reading the water meter or any other reasonable purpose related to water consumption or water delivery.

B. DEFINITIONS - WATER

(1) "Backflow": Reversal of flow within the water distribution system potentially causing a contamination of the water quality within the delivery system.

(2) "Casual Water": Water obtained in bulk (volume), on a case-by-case basis. Water may be provided to water haulers, sewer cleaners, etc., at current commercial rates for the specific district.

(3) “Construction Water”: Water used through a service during new construction prior to setting the water meter. Such water is normally used for mixing mortar, construction activity, et cetera, but not for landscape watering.

(4) “Cross Connection”: Any connection or condition allowing actual or potential reversal of flow in a service and/or contamination of the potable plumbing systems and water system distribution system.

(5) “Curb Stop”: A shut-off valve on the service for control of water to the customer normally located between the curb and property line.

(6) “Customer”: Any and all owners of any property having access to, using or permitted to use the water service. The customer’s responsibilities under the Rules and Regulations cannot be transferred, assigned or otherwise diminished for water service whether or not such property owner or governmental jurisdiction actually consumed or used the water. Owners of commercial or residential rental units are responsible for all water usage charges and the upkeep of all water service pipes, meters, shut offs and all obligations of the customer as described in this document. Specifically, payments for water usage shall be the sole responsibility of the property owner(s) as listed on the tax rolls and said bills shall be delivered to the property owners.

(7) “Excavator”: Any person, corporation or entity authorized by the Town of Lewisboro to perform service work in connection with the installation, operation and maintenance of any part of the Water distribution system.

(8) “Main Extension”: The construction of additional public water main to serve Customers. Construction normally occurs in public right-of-way or easements.

(9) “Plumber”: A master plumber licensed in the County of Westchester to do plumbing or service work.

(10) “Service”: A pipe used to convey water to the Customer from a water main.

(11) “Street Valve”: A shut-off valve on larger services and water mains.

(12) “Tap”: Opening in the water main allowing water to be passed into the customer’s service.

(13) ‘Water Distribution System”: The network of water mains, service lines, hydrants and related appurtenances.

(14) ‘Water Main”: Large pipe used to convey water from the source through the distribution system to normally more than one Customer.

(15) ‘Water Service”: The availability of water through Service.

C. MAIN EXTENSIONS AND SERVICE CONNECTIONS

(1) To have a water main extended in the Town of Lewisboro, the Customer shall contact the Town of Lewisboro for current or estimated costs and procedures.

(2) The Town of Lewisboro makes all taps except as provided in contractual agreements. To have a tap made in an available water main and the service extended to the property line, the Customer shall contract with a Plumber or Excavator authorized by the Town of Lewisboro. The contractor shall contact the Town of Lewisboro for procedures.
A water main shall be considered “available” for tapping for water service if the service extended perpendicular from the water main is able to enter the customer’s property. Contact the Town of Lewisboro offices for exceptions such as cul-de-sacs and other transmission main restrictions and details.
A plumber or excavator approved by the Town of Lewisboro shall also comply with Section 4 of these Rules and Regulations. Certain portions of service installations may be done by the Town of Lewisboro and are billed to the plumber or excavator at current prices as determined by the Town of Lewisboro. Costs billed by the Town of Lewisboro are updated periodically and are based on current cost of labor, material and equipment plus reasonable overhead. Approval of plans, securing permits, and payment of applicable fees are required prior to any service work being started.

(3) Every new or newly improved individual residential unit within a water district’s boundaries must be provided with an individual service line, shut off valve; accessible to the Town of Lewisboro and meter in a location accessible and acceptable to the Town of Lewisboro.

(4) The minimum permitted diameter of water main and related appurtenances is to be determined on a case-by-case basis by the water district engineer.

(5) Large transmission mains constructed through un-served areas at the expense of the water district shall not be available for service to adjacent properties until reimbursement is made to the Town of Lewisboro.

(6) Each separate building or condominium unit shall have a separate service and meter and each residential unit shall have its own service and shut off valve

and meter located in a common area available to Town of Lewisboro personnel. The Town of Lewisboro will consider written requests for waiver of this rule that are to be submitted to the Town of Lewisboro. All newly constructed residential and commercial units within a water district's boundaries must be served with an individual service line, with an individual shut off, and an individual meter easily accessible to the Town of Lewisboro.

D. APPLICATION FOR WATER SERVICE AND METERS

(1) To have a meter installed for a new Service or to resume water service or to change the size of a meter, the Customer shall make proper application at the Town of Lewisboro. Proper application shall consist of furnishing meter size, service address, lot number, customer name, phone number and address where the bill is to be sent. Payment of meter set fees and compliance with these Rules and Regulation are required.

The meter installation charge will reflect the actual cost for installation as billed to the Town of Lewisboro by the Town of Lewisboro installer plus a 15% administrative fee.

(2) Upon installation of a service, water shall not be used until the plumbing is properly inspected and the correct address is posted on the property. Meters shall be set in approved accessible locations; and since meters are the property of the Town of Lewisboro, only representatives of the Town of Lewisboro are authorized to install, disconnect or remove them from service. The cost of any meters improperly removed, damaged or otherwise not recoverable shall be charged to the customer.

(3) Customers must protect meters from theft, damage and freezing. Meters damaged, frozen or lost shall be charged to the Customer at the actual cost of repairs, including labor, overhead & administrative fees. Customers are cautioned that in very cold weather, services, meters and plumbing may freeze even though installed in accordance with accepted practice. Additional protection from freezing may be necessary, such as the use of insulation, heat tape, and heat lamps. The Customer shall keep meters accessible for reading and maintenance, ensure that meter pits remain in good repair, are free from ground water and debris, all lids are in place and operable and the top of the pits are at finished grade.

(4) All meters shall be read by the Town of Lewisboro at least once every year. Meters not read once per year or those in hazardous or filthy locations shall be considered "inaccessible". The Town of Lewisboro shall determine if a meter is inaccessible. Such determination is final and the customer shall be notified to

correct the inaccessible condition within 30 days. Corrective action shall include but is not limited to making the necessary arrangements for the installation of an outside meter box or remote reading apparatus. Failure to correct an inaccessible condition within 30 days is cause for discontinuing service. The cost of outside meter box installation may be included with the quarterly water bill in equal installments over a period of up to one *(1)* year upon the Customer's request. The cost of remote reader installation may be prorated on the water bill for a period of up to one (1) year. In the event a customer transfers or abandons a service, all charges become due and payable immediately.

(5) The Town of Lewisboro guarantees its meters to be accurate within two percent (2%). The Customer may request a meter test at any time; however, should the test confirm accuracy within two percent (2%), the actual cost of said meter test will be assessed on the Customer's next water bill:
If the meter is inaccurate, the water bill shall be adjusted to the two (2%) guarantee limit and no charge for the test shall be assessed. Said adjustment shall be for the current bill in question only.

(6) The Town of Lewisboro has the right to repair or replace any meters. The Customer shall be notified in writing if adjacent piping needs repair prior to changing the meter. The Customer shall be notified in writing of a noncompliance shut-off date.

(7) No customer shall install manifold or multiple meters served from the same service without prior approval by the Town of Lewisboro. In such approved locations, the Customer is responsible for each water bill. The service may be shut-off if one (1) or more metered accounts are delinquent, if individual lock stops are not available or are inaccessible.

(8) A fee of $25.00 per read shall be charged for each private meter read for Customer convenience or special billing. The Town of Lewisboro may sell meters for private use if deemed in the best interest of the Town of Lewisboro. Cost of sold meters will be based on depreciated value plus handling for used meters, and replacement cost plus handling for new meters.

E. WATER DISTRIBUTION SYSTEM GENERAL

(1) The Town of Lewisboro maintains all public water mains in dedicated streets and easements. Water may be shut off for system maintenance; however, the Town of Lewisboro shall not be liable for any accidents or damages resulting from such a shut off.

(2) During an emergency repair, notification of a shut-off may not be possible;

therefore, customers using equipment such as boilers and water-cooled compressors should provide sufficient reserve in storage.

(3) All valves on the water distribution system shall only be operated by the Town of Lewisboro. No person shall operate fire hydrants and street valves 2 inches and larger without proper authorization. A fine of $100.00 shall be assessed for each violation of this section. Fire hydrants and branch valves may be operated by persons authorized by the Town of Lewisboro.

F. BACKFLOW PREVENTION AND CROSS CONNECTION CONTROL

(1) As a condition for water service, the Town of Lewisboro water distribution systems shall be protected from Backflow. The Town of Lewisboro requires all services connected to the Town of Lewisboro water distribution systems to conform to the standards of the NYS Sanitary Code and the Westchester County Sanitary Code as well as the standards of the Town of Lewisboro. All plumbing installed after the meter shall conform to the State of New York Plumbing Code as well as County of Westchester Plumbing Code. Fire lines shall conform to the current NFPA standards. In addition to the above, all cross connections to auxiliary potable or non-potable or hazardous water systems as determined by the Town of Lewisboro, shall be protected from Backflow by a method approved by the Town of Lewisboro. Further, if in the judgment of the Town of Lewisboro, the Customer's premises are deemed an actual or potential hazard to the safety of the water distribution system, such customer shall be ordered to protect the service from backflow in an approved manner. If the hazard is deemed to be of a serious nature or the customer refuses to cooperate with the Town of Lewisboro, the service shall be shut off immediately and remain off until the customer's premises is in compliance. The Town of Lewisboro may require a backflow prevention device at the meter for any service at the discretion of the Town of Lewisboro.

(2) Backflow prevention devices shall be tested at the expense of the Customer every 12 months by a certified tester and rebuilt on a schedule of every 5 years, if requested by the Town of Lewisboro. Proof of certified testing must be provided to the Town of Lewisboro within 30 days of completion of said test. The Customer shall be responsible to notify the Town of Lewisboro within 30 days of the date that the backflow prevention devices on the Customer's premises will be tested. The Town of Lewisboro reserves the right to be present or to appoint an approved agent to be present during said test. At the end of one year and 30 days if the Customer does not submit proof that backflow prevention devices have been tested, a $100.00 fine for each untested device shall be assessed on the next water bill. If the backflow prevention devices are not tested within the next 30 days and certified operational, the service will be shut off and service not

resumed until all devices are tested, and all fees paid. Temporary connections to any Town of Lewisboro water distribution system, such as, but not limited to, water haulers, lawn care, pest control and contractors, shall be protected against backflow by means of an air gap or other means approved by the Town of Lewisboro.

G. SERVICE AND PLUMBING MAINTENANCE

(1) Water services pipes from the water main to the curb stop, property line or easement line, as determined by the Town of Lewisboro, shall be maintained by the Town of Lewisboro. No person shall operate street valves other than authorized Town of Lewisboro personnel.

(2) Where possible all residential living units will be provided with an individual service line, individual shutoff accessible to the Town of Lewisboro and a meter in a location that is acceptable and accessible to the Town of Lewisboro.

(3) The Customer shall maintain the curb box, keeping them accessible, free of debris and at finished grade. The Town of Lewisboro may perform minor adjustments on the curb box upon request. The Town of Lewisboro shall not be held liable for accidents or damages resulting from boxes being above or below grade. Boxes made inaccessible by neglect of or abuse by the customer shall be repaired by the Town of Lewisboro and the cost shall be added to the customer's water bill. Repeated violations or unauthorized turning of the curb stop may be cause for the Town of Lewisboro to sever the service. Water service shall not be restored until all outstanding charges are paid.

(4) Maintenance of the service and plumbing on the customer's property or on the Customer's side of the curb stop is the responsibility of the customer. Maintenance of the internal workings of the meter is the responsibility of the Town of Lewisboro. The Customer shall be notified in writing if adjacent piping needs repair prior to changing the meter including non-compliance shut off date. Any leakage between the curb stop of property line or easement line and the meter or premises shall be promptly repaired. The Customer shall be notified in writing to repair the leak and said notice shall include a shut-off date for noncompliance. The Town of Lewisboro may shut off the curb stop in case of an emergency if a Plumber is unavailable, but shall not be held liable for any damages resulting from such an emergency. Routine operation of curb stops by the Town of Lewisboro personnel either for customer convenience or noncompliance shall be charged at a rate of $200.00 per trip.

(5) Low pressure problems are normally caused by faulty on premises plumbing

or corroded service piping on the Customer's side of the curb stop. Low pressure investigations on the Customer's premises may be requested of the Town of Lewisboro; however, should the check by the Town of Lewisboro indicate the problem to be on the Customer's side of the curb stop or on private property, a fee of $200.00 shall be charged.

H. BILLING AND DELINQUENT ACCOUNTS

(1) After reading the meter or estimating consumption, a statement of water charges due shall be sent to the property owner.

(2) Should a bill remain unpaid for thirty (30) days after the payment date, the account shall be considered delinquent and a penalty in the amount of five (5%) percent of the amount due shall be billed to the customer. Should a bill remain unpaid for a period of sixty (60) days after the payment date, a penalty in the amount of ten (10%) percent of the amount due shall be billed to the customer. For each subsequent thirty (30) day period an account is delinquent, a penalty in the amount of ten (10%) percent of the amount due shall be billed to the customer.

(3) If an account is delinquent for a period of one hundred eighty (180) days, the water supply to such customer's property may be cut off by the Town of Lewisboro. At least thirty (30) days prior to turning off the water supply pursuant to this Section, the Town of Lewisboro shall deliver to the customer by regular first class mail a notice that the water supply will be cut off unless all outstanding bills are paid in full, including penalties and any other applicable charges. Once the water supply is cut off, the water will not be turned on again until all outstanding bills are paid in full, including penalties and any other applicable charges.

(4) If all charges are not paid within 14 days from the date the water is scheduled for shut off, the meter shall be removed. One attempt will be made to remove the meter during the next 14 day period. If the meter has not been removed at the end of the second 14 day period, the account shall be considered abandoned. All abandoned accounts that are not resumed within 60 days from the gross payment date shall be considered as "lost meter accounts" and charged to the Customer for all amounts due.

(5) Delinquent customers shall be charged a $200.00 fee for each trip to turn off water service. Once water service has been turned off and is turned on again by anyone other than authorized Town of Lewisboro personnel, a $200.00 fee shall be charged for each additional trip to the property to shut off the service. Unauthorized operation of the shut off may result in severing the service.

(6) In cases where industrial, commercial or governmental accounts become delinquent, the Town of Lewisboro shall determine the course of action, using the guidelines outlined for residential customers.

(7) Customer's checks that are not honored by the bank shall result in a charge of $20.00 each.

(8) Services shall be shut off only if declared delinquent or otherwise requested by the Customer occupying the premises. No person shall shut off service upon the request of a landlord as a means to evict a tenant.

(9) The addresses of occupied premises that are shut off for delinquency shall be forwarded to the Town of Lewisboro.

(10) In the event that the water shut off has not been properly maintained by the Customer thus preventing the Town of Lewisboro from enforcing the shut off, the Town of Lewisboro shall take whatever action is necessary to repair or replace the water shut off in question. All costs associated with the repair and or replacement of water shut off improperly maintained by the Customer shall be the responsibility of the said Customer. Once said shut off valve has been repaired and service shut off said service shall not be continued until all past due balances are paid in full and said repair of water shut off is also paid in full.

I. ESTIMATED CONSUMPTION

(1) Any Customer found to be improperly taking un-metered water shall have the consumption estimated and charged accordingly. In addition to the estimated consumption charges, a fee equal to the actual cost of determining the estimated consumption or $100.00, whichever is greater, shall also be charged. A theft of service charge may also be reported to local law enforcement in which case the prosecution of said charge shall be determined by the Town Board of Lewisboro.

(2) If a meter has failed to register the amount of water consumed, or the meter was not read, the consumption for the period shall be estimated. Any such estimate may be adjusted if the customer makes a request within 10 days after the gross payment date and presents satisfactory evidence to the Town of Lewisboro.

(3) The Town of Lewisboro may consider past usage patterns and type of service in order to generate estimates.

(4) Remote reads are estimates and are subject to the provisions in paragraph

J. WATER RATES - GENERAL INFORMATION

(1) Any Customer connected to the Town of Lewisboro's water system and billed quarterly (or as otherwise approved by the Town of Lewisboro, shall be charged a minimum usage fee. Each water service and meter is considered to be a separate Customer.

(2) Minimum charges may be avoided if water service is not needed. Contact the Town of Lewisboro for the particulars.

(3) Usages obtained from special reads shall be billed in proportion to the period elapsed since the regular read as compared to the normal billing period between regular reads.

(4) The Town of Lewisboro may render bills at regular rates for extended periods beyond three months. Bills may be issued to customers for shorter periods than three (3) months provided the total number of billings is no more than the total number of revenue billings normally issued in a one (1) year period.

(5) Town of Lewisboro shall issue delinquent billing statements in the form of a letter to said delinquent Customer.

(6) Remote readers are installed only with individual agreements with Customers and charged as stipulated in said agreements.

K. WATER SERVICE RATE SCHEDULES

The rates set from time to time by the Town of Lewisboro shall apply.

L. FIRE LINES AND PRIVATE FIRE HYDRANTS

(1) To have a fire line service installed in any premises requires an engineering report with plans and specifications be submitted for approval to the Town of Lewisboro. Said submittal must be stamped and certified by a New York State licensed professional engineer. Upon approval the customer shall contract with a plumber or pipe laying contractor/excavator authorized by the Town of Lewisboro and also licensed by the State of New York as a sprinkler contractor. The fire line service shall be installed in accordance with these Rules and Regulations. It must be noted that the Town of Lewisboro takes no responsibility for providing fire flow services to any of the Town of Lewisboro owned water districts unless said design is specifically designed for said fire flow service, and is certified by a

qualified fire inspector.

Cost for fire line services shall be the responsibility of the applicant plus the costs of inspections fees that shall reflect the actual cost for said inspections. All water MUST be metered regardless of its use and said customer is responsible for all costs associated with the use. Billing shall follow the billing procedures outlined in this document.

(2) Customers may install their own fire line meters, of a design approved by the Town of Lewisboro, at their expense. The charge shall be for the water consumed, plus $100.00 per year per meter for inspection. Customers shall maintain the meter in proper operating condition. Repairs to privately owned meters may be made by the Town of Lewisboro and charged to the customer. If the customer fails to comply with a request to repair or replace said meter the fire line service shall be billed in accordance with established rates based on the size of the fire line.

(3) There shall be a charge of $100.00 per quarter for each private fire hydrant connected to the Town of Lewisboro mains, unless the supply to the hydrant is metered.

(4) Any leaks in fire line services inside private property shall be repaired by the customer as soon as detected. The Town of Lewisboro has the authority to shut off fire line service if the Customer fails to repair such a leak. The Town of Lewisboro shall not be held responsible for any damages resulting from any such action

(5) Fire flow tests of the Town of Lewisboro water distribution system for building sprinkler design systems shall be charged as fire hydrant use. A permit is required and fee shall be charged for each hydrant involved.

(6) Customers misusing a private fire line or private fire hydrant shall be charged in accordance with the rules as outlined in these regulations. The Town of Lewisboro reserves the right to discontinue service to any private hydrant for any reason.

N. CONSTRUCTION WATER

(1) The Customer or general contractor shall pay for the installation of a temporary meter and RPZ backflow prevention device at the same time application is made for a building permit. A deposit of $500 towards the water charges shall be made. Water billing shall be based on actual usage and billed at commercial rates and any amounts less than the deposit amount shall be

returned to the payee.

(2) Construction water fee may be waived under the following conditions:

a. In cases of additions, alterations repairs where metered water is used from services located on the same premises.

b. The service is metered when tapped or resumed.

c. The water used for construction is obtained from an existing metered service or a private source (e.g. private well). In this case, written documentation shall be submitted and approved prior to obtaining a building permit. The documentation shall indicate the exact source of the construction water and contain the written consent of the owner or person responsible for paying for the water service if an existing metered service is used.

Waivers shall be accompanied with plans submitted for building permits.

If, after the construction, water fee has been waived, no metered Town of Lewisboro water is used, the waiver shall be void and the full construction water fees will be due and payable. This shall apply even if construction is partially or wholly complete.

(3) The use of construction water includes the right to use water for normal construction purposes. No person shall use construction water beyond the time of occupancy of the premises, final plumbing inspection, or cessation of normal building activities when the construction is completed or purposely held incomplete, whichever is earliest.

0. FIRE HYDRANT USE

(1) Water may be drawn from fire hydrants for approved uses at the sole discretion of the Town of Lewisboro. The charge for the use of a fire hydrant shall be $1 00.00 per day plus the normal commercial water rate. The customer shall be required to use a meter on the fire hydrant if the period of use exceeds one (1) week.

(2) The customer shall be held responsible for loss or damage of the meter, hydrant and related fittings. The customer shall pay for all water consumed at the commercial rates. The meter installed on one fire hydrant shall not be moved to another fire hydrant by the customer without the approval of the Town of Lewisboro. Fees for violation shall be assessed in accordance with Section 2.1.

(3) Special conditions for use of a fire hydrant shall be evaluated by the Town of Lewisboro on an individual basis and charged accordingly. Application for said use is to be made to the Town of Lewisboro.

(4) Use of any hydrant may require the installation and use of a back-flow prevention device. The determination of requirements for said back-flow device shall be the responsibility of the Town of Lewisboro. All costs associated with the installation and use of said device shall be the responsibility of the customer requesting the use of said hydrant. A deposit of $500.00 shall be made for the use of any meter and backflow equipment. Said deposit shall be returned when all charges associated with the use of said hydrant have been paid and all equipment is returned to the Town of Lewisboro in the same condition it was in when installed.

P. WELLFIELD PROTECTION

The groundwater in the aquifer underlying the Town of Lewisboro is the sole practical source of drinking water for the residents in this area. Therefore, the Town of Lewisboro desires to protect the public water supply wells, well fields and recharge areas by controlling and regulating hazardous or toxic substances, hereinafter referred to as Regulated Substances, and other contaminants or pollutants.

Therefore:

(1) Changes in occupancy, use or ownership of an existing industrial, commercial or governmental site and expansions of existing activities shall be subject to thorough evaluation by the Town of Lewisboro under the provisions of these Rules and Regulations. Said changes and expansions shall be submitted to the Town of Lewisboro as part of the normal plan review and permitting routine.

(2) The Town of Lewisboro shall protect the existing and future of potential public water supply wells, well- field(s) and recharge lagoons, from risks of pollution as deemed necessary by the Town of Lewisboro.

S. COMPLAINTS AND APPEALS

(1) Customers with water and/or sewer billing complaints may contact the water district administrator

T. CONCLUSIONS

(1) The purpose and intent of these Rules and Regulations is to establish guide-lines and conditions for obtaining water service from the Town of Lewisboro water main to the meter, fire line, fire hydrant or backflow prevention device. Details include material specifications, methods of installation, plans and permits required prior to installation. The Town of Lewisboro as the purveyor, reserves

the right to specify, implement and enforce the terms and conditions mentioned herein. The role of the plumber and/or excavator in the process of providing water service is to act as the customer's agent and install service and plumbing materials in accordance with accepted practice and these Rules and Regulations. Customers are required to contract with licensed plumbers and/or approved excavators to obtain service and are obliged to conform to these Rules and Regulations of the Town of Lewisboro as a condition of service. Plumbers and/or excavators are required to do all service work in a dedicated street, alley or easement.

(2) LICENSE AND PERFORMANCE BOND

All Plumbers shall be licensed and both plumbers and excavators must be authorized by the Town of Lewisboro in order to perform work for Customers and all new work shall be guaranteed against defects in materials and workmanship for one year after final inspection. Plumbers and excavators are obligated to resolve Customer or Town of Lewisboro complaints concerning materials or workmanship in a timely manner. Recourse for non-performance or not resolving problems may include but is not limited to: revoking permits, assessing violation fees, enforcing bond by making repairs or bringing charges before the appropriate licensing authority, banning the contractor from any further work within the Town of Lewisboro Water Districts for a time period of up to one year for the first offense. Future offenses shall be enforced at the sole discretion of the Town of Lewisboro.

(3). PERMITS AND INSPECTION

Service permits and inspection are required for all new or repair work on any portion of the service. This also includes work on piping up to the check valve or fire hydrant. Plumbers and excavators shall obtain permits prior to commencing work. Violations shall be brought to the attention of the Water superintendent for the appropriate actions.

(4). STANDARDS FOR TAPS, SERVICES AND METERS

Standards for all taps, services and meters shall follow the plumbing codes for the State of New York and Westchester County as well as all applicable AWWA Standards.

(5). All taps on the Town of Lewisboro maintained water distribution system shall be made or supervised by personnel of the Town of Lewisboro. Service taps shall also be made by the Town of Lewisboro in areas metered or billed by the Town of Lewisboro.

(6). MAIN EXTENSIONS

These Rules and Regulations are applicable provided water is available to the customer property (i.e., a water main available for tapping). If no water main is available refer customer to the Town of Lewisboro Engineering Offices for procedures to follow.

(7). VALVE AND CURB STOP OPERATION
Plumbers and Excavators authorized by the Town of Lewisboro are permitted to operate curb stops 1-1/2 inch diameter and smaller in the course of performing maintenance and repair work. Valves 2" and larger are to be operated solely by personnel of the Town of Lewisboro. The fine for a violation of this provision is $100.00 for each occurrence.

(8). PRESSURE/LEAKAGE TEST
New services for fire and/or domestic use require testing. During the test all joints shall be exposed and no leakage shall be allowed unless waived by the Town of Lewisboro. Test specifications are as follows:

SERVICE PROPERTY LINE (PL) BUILDINGS
K copper Line Pressure 150 psi or 1.5 times the working pressure whichever is greater.
Ductile Cl. Tested to tap value at 150 psi or 1.5 times the working pressure whichever is greater. The duration of the pressure/leakage test shall be as required to ascertain a leak-free service as deemed necessary by the inspecting agency.

(9) DISINFECTION
Purity tests are required on all underground piping installed in rigid lengths. New copper pipe from a sealed coil shall be thoroughly flushed prior to use for either fire or domestic use. The required test may be performed by the Town of Lewisboro as part of service work done by the Town of Lewisboro. Plumbers and Excavators shall provide two consecutive purity tests 24 hours apart from a hose bib at the metering location or fire line check valve of hydrant as appropriate, in accordance with NYS Sanitary Code, Part-5. AWWA procedure. Purity tests beyond the purveyor's jurisdiction shall be required as needed by Plumbing Inspection of the Town of Lewisboro. Chlorine dosages shall meet or exceed applicable NYS Sanitary code, Westchester County Sanitary code and AWWA standards.

(10) SEPARATION OF WATER SERVICES AND BUILDING LATERALS
Westchester Co. Sanitary Code applies.

(11) COVER
Minimum cover on water services from the main to the property or easement line

is 48”.

(12) METERED/UNMETERED WATER

Plumbers and Excavators shall ensure that no water is used for other than testing without a meter, construction water or fire line charges having been paid. Fees for violation shall be assessed in accordance with these Rules and Regulations. Jumpers for testing purposes shall be removed immediately after testing unless a construction water fee has been paid. Jumpers for construction water shall be removed after the final plumbing inspection or upon occupancy. Violators of this paragraph shall be assessed $100.00 plus cost of estimated water used.

(13) METERING
Metering concepts shall be approved prior to installation of new or resumed water service for meters *1-112”* and larger. Plans shall be submitted to the Water Town of Lewisboro for approval. Openings are prohibited ahead of the meter except for 1/4” outlets for pressure gauges.

(14) BACKFLOW PREVENTION CROSS CONNECTION CONTROL
All water services whether new or resumed shall be investigated and analyzed for backflow prevention and cross connection control. Cross connections are prohibited and all installations must conform to the backflow prevention portion of the Rules and Regulations of the Town of Lewisboro. Plumbers shall be held accountable for this activity. All backflow prevention devices conforming to ASSE Standards 1013, 1015, and 1020 must be approved for installation by the Town of Lewisboro.

(15) PAYMENT OF ACCOUNTS
All bills for materials, labor and equipment rendered by the Town of Lewisboro in connection with service work or main extensions are payable within 30 days. Procedures for non-payment may include assessing the bonding company, revoking future permits or prosecution.

(16) PENALTIES
Plumbers and Excavators shall follow proper procedures, including plan approval and permits, inspections and fees, using proper materials and methods, removal of bypasses, purity tests, etc., and in general conducting business in a professionally skilled manner. Penalties shall be assessed as detailed in accordance with these Rules and Regulations.

(17) EMPLOYEES
Plumbers and Excavators shall be held accountable for the action of their

employees.

Oakridge Water Rates effective 7/1/04

	Flat Charge per quarter	Usage Charge per 1000 gallons
Residential condo	$ 55	plus gallon usage
Residential house	$ 125	plus gallon usage
Residential 1st 27,000 gallons		$ 7
Residential 2nd 27,000 gallons		$ 8
Residential over 54,000 gallons		$ 9
Commercial 4000 gallons or less	$ 75	plus gallon usage
Commercial over 4000 gallons	$ 150	plus gallon usage
Commercial 1st 27,000 gallons		$ 7
Commercial 2nd 27,000 gallons		$ 8
Commercial over 54,000 gallons		$ 9
External common area spigots (57 spigots as of 7/1/04)		
zero water usage / $27/spigot		

Ciorsdan Conran

From: Jeff Holbrook <jholb1@gmail.com>
Sent: Monday, November 14, 2022 8:03 PM
To: planning@lewisborogov.com
Subject: Cal #12-22PB, Cal #36-22WP

Lewisboro Planning Board,

I live at 17 Split Rock Rd and I'm not able to attend the meeting tomorrow night in person.

I strongly encourage you **not** to approve the additional 18 housing units "Villas at Vista" for the following reasons:

- The Town Board has not conducted a proper engineering study around the capacity and sustainability of the Oakridge Water and Sewer District "OWD"
    - Kellar Sessions nas no expertise in this field
    - Note the disclaimer in the Kellard Sessions Presentation " ***We note that this evaluation in no way considered or evaluated treatment processes, overall operations of the water treatment plant or current water quality."***
    - The town is unwilling to challenge the developer and is hiding behind this cursory analysis rather than make a difficult decision
- The Town Board is relying strictly on usage data provided by the developer. From the perspective of the OWD, the developer has everything to gain financially and almost nothing to lose. If the OWD fails, the owners of the individual units and houses are responsible for whatever repairs are necessary (not the developer).
- This summer, we had to bring in water trucks when the wells ran dry
- We continue to have issues with dangerous levels of PFAS in the water which have yet to be properly addressed

The Town Board is failing the residents who rely on the OWD. I implore each of you to please do the right thing and reject this proposal until such time as a proper engineering study (capacity analysis, water quality testing, etc).

The OWD has been in peril for many years. It defies all logic to continue to allow the developer to increase the demands on the water and sewer system.

Thank you for your consideration, Jeff

Note: I pay approximately $8000/year for water and sewer. Due to water quality issues, I had to purchase a charcoal filter in order to ensure safe drinking/bathing water (in addition to water softener, radon mitigation, etc.). There seems to be no end in sight between increasing cost and issues with the water quality.

Ciorsdan Conran

From: Jean McDonough <mcdonoughjean0@gmail.com>
Sent: Tuesday, November 15, 2022 8:05 PM
To: planning@lewisborogov.com
Cc: supervisor@lewisborogov.com
Subject: Villas at Vista

Hi All -

I am very disappointed that tonight's Planning Board Meeting did not have a Zoom link. It is incredibly disturbing that such an important meeting over the Villas at Vista is not being held via Zoom. I feel like something is being hidden from the current residents of Oakridge. The water issue is pressing and urgent and no additional building should be done prior to receiving in depth information regarding the water usage from an Engineering Firm. The water issue is dire as we are still under drought conditions and adding that many more units would adversely impact the current resident.

In addition, I would like to know if any sort of traffic study has been done as well. The current 3 way stop sign in front of the Commons is a problem. As it is, many people do not even stop. We're lucky if they slow down and I can foresee many accidents occurring there. There is also the quality of life issue. With that many units being added, it increases the number of cars and air pollution.

I am asking on my behalf and behalf of the residents of Oakridge to judiciously look at this application to ensure that the integrity of our water and our quality of life are not impacted.

Regards,
Jean McDonough
Oakridge

189 Laurel Ridge
So. Salem, NY

SIMONE O'CONNOR

3 ROBINS CT

SOUTH SALEM, NY 10590

November 15, 2022

Planning Board – Town of Lewisboro

Dear Planning Board Members,

I am writing this letter to you, to be read into the record at today's meeting, in regards to the new construction being contemplated at Oak Ridge Condominiums. It has been well documented that the drinking water in the entire development has been of poor and undrinkable quality. This has been the case for decades, with little to no attempts to rectify the abhorrent situation by the Town.

This has caused the residents, many of whom are elderly like my mother, to have to buy bottled water to drink and cook and to bear the dirty water for a shower. This has been an additional tax on all residents of the complex. While Mr. Pine's utter disregard continued for decades, the Town paid lip service to the matter. The Town has now indicated they have been awarded a grant to fix the water issue by the Federal Government, which has not yet been received. The work is projected to be completed in the next couple of years with no guarantee of what the water quality will be upon completion.

Before you is another expansion of the Oak Ridge Complex by Mr. Pine, which will further tax the water system servicing the complex. It is beyond rational thought that the Planning Board would consider any expansion of the complex until the water system issues have been resolved. Should the Board approve this without the proper due diligence, they will bring the Town into the chain of liability in this matter. It is incumbent on this Board and is frankly common sense for any approval to expand the complex be postponed until the water system has been completely rectified.

Thank you,

Simone O'Connor

Simone O'Connor

Ciorsdan Conran

From: Vincent G. Paolicelli <vincentp981@aol.com>
Sent: Thursday, November 17, 2022 12:49 PM
To: Ciorsdan Conran; epaolicelli@verizon.net; Tony Goncalves
Subject: Re: TB and PB question

Thank you very much for your reply I'm going to have a phone call with Tony this evening.

I sincerely hope the Planning Board did listen to the minutes of the Town Hall meeting as well as read my letter in regard to Mr. Pines usage numbers of the current water supply/system.

The restaurant definitely was not open on a daily basis and I understand they used to send out their utensils and plates to be cleaned. Also the gym never had 600 members on a daily basis using it.

Now do I know if the current system can handle a restaurant that was open seven days a week and a gym that has 600 members daily I have no idea?

Basically myself and all the residents of Oakridge Commons are not concerned with the expansion of Mr Pine's project if the water is a good quality which at the present time it most certainly is not.

Respectfully,
Vincent G Paolicelli

Sent from the all new AOL app for iOS

On Thursday, November 17, 2022, 12:05 PM, Ciorsdan Conran <Planning@lewisborogov.onmicrosoft.com> wrote:

Hi Mr. Paolicelli-

Thank you for your call. The Town Board as the water and sewer authority will determine if additional connections to the water and sewer plants can be made. The Planning Board does the site plan review. The PB will ask the TB if the connections can be made via a letter to be sent out today or tomorrow.

Ciorsdan

Ciorsdan Conran

From: Pj Jacke
To: planning@lewisborogov.com
Subject: Fw: Failure Notice
Date: Monday, December 18, 2023 10:14:46 PM

Sent from Yahoo Mail on Android

> ----- Forwarded Message -----
> **From:** "MAILER-DAEMON@yahoo.com" <MAILER-DAEMON@yahoo.com>
> **To:** "pjjacke@yahoo.com" <pjjacke@yahoo.com>
> **Sent:** Mon, Dec 18, 2023 at 6:23 PM
> **Subject:** Failure Notice
> Sorry, we were unable to deliver your message to the following address.
>
> <planning@lewisboro.gov>:
> No mx record found for domain=lewisboro.gov
>
> ---------- Forwarded message ----------
> I respectfully request the Planning Board delay any approval for beginning construction of the Villas at Vista until AFTER completion of the planned OWD expansion/renovation to begin Spring of '24 to complete Spring of '25.
>
> Our Town Supervisor, Tony Goncalves, attended the Annual Meeting of Oakridge Condominium Association in October to update OWD consumers about the most recent plans for the proposed work.
>
> Based upon my personal experience of having clear water for years until a few months after beginning of construction of Laurel Ridge Townhomes when my unit started to spew suity water of a variety of grey, brown, orange, pink colors and receipt of VRIs and Westchester County's Department of Health Quarterly reports of Lead and PFAS/PFOS in our water beyond acceptable limits, forcing me to invest in a Water Filtration System and continuing to buy bottled water!
>
> How can these additional 14-18 Condominiums be connected to the already fragile OWD BEFORE the planned expansion/renovation without causing additional safety quality of water issues for OWD consumers?
>
> Please consider all of the existing OWD consumers of Oakridge, Laurel Ridge and Conant Valley and the future consumers of Villas at Vista. We all deserve to receive Department of Health acceptable safe water.
>
> Thank you.
> Patti Jean Jacke
> 102 Fox Run
>
> Sent from Yahoo Mail on Android

#12-22 PB

From: Jeff Holbrook
To: Ciorsdan Conran; planning@lewisborogov.com
Subject: Planning Board Meeting - 12/19
Date: Sunday, December 17, 2023 7:53:08 PM
Attachments: Planning Board Letter 18NOV2022.pdf
Response to 18NOV2022 PB Letter - Smith Ridge Assoc.pdf

You don't often get email from jholb1@gmail.com. Learn why this is important

Hello,

I'm not able to attend the meeting scheduled for 12/19 but wanted to share my thoughts on Discussion item IV, "Villas at Vista".

The position taken by the Town Board on this matter is incredibly disappointing to me and my neighbors. I'm shocked and disappointed that, as the owner and operator of the OWD, the Town Board, continues to turn a blind eye to the potential issues that may be caused by expanding the number of water and sewer users.

It is disingenuous to report to the Planning Board that Kellard Sessions concluded that there was adequate capacity in the water treatment facility. I remind you, Kellard Sessions provided the following disclaimer in their report: ***"We note that this evaluation in no way considered or evaluated treatment processes, overall operations of the water treatment plant or current water quality."*** Kellard Sessions only reviewed the water usage reports and some additional information provided by the developer (who has a clear self interest in the outcome). Kellard Sessions **did not**:

- Visit the water treatment facility or the wells
- Evaluate the viability of the water treatment facility or the wells
- Provide an opinion on the additional strain these new units would cause to the system now or in the future

Please do not be persuaded by the statement put forth by the developer that these 14 additional residential dwellings will somehow use less water and create less sewage than a restaurant that was empty most of the time. This is a ludicrous argument based on a flawed and biased estimate which presupposes that the restaurant was literally full 7 days per week. There is a reason that no restaurant has been able to survive in this location - no customers (not to mention it was never open 7 days per week).

A study by a qualified, unbiased engineer must be completed to ensure ongoing development at Oakridge can be accommodated by the current system. This must include a holistic analysis of all aspects of "capacity" with a focus on the potential incremental costs associated with increased demand (and wear and tear) on the water and sewer system. The cost of the engineering study should be funded by the developer. Based on the findings of the study, the owner/operators of the OWD must establish a fee schedule, paid by the developer, to be applied to any further expansion to create an infrastructure support fund to offset future infrastructure repairs and improvements. **Otherwise, once again, we run the risk of the majority of these costs trickling down to the homeowners when we face our next infrastructure crisis.**

Thanks, Jeff

Jeff Holbrook
17 Split Rock Road

From: crotoncath@aol.com
To: planning@lewisborogov.com
Subject: Re Meeting Tuesday 12/19
Date: Monday, December 18, 2023 12:53:55 PM

> You don't often get email from crotoncath@aol.com. Learn why this is important

Committee members,

We are owners in Oakridge Commons and am deeply concerned with further development of residential or commercial businesses as it pertains to our already compromised water district . Although we have received numerous grants to fund a new effective water treatment facility I also know that it will take some time to have it up and running and proven effective.

My husband and I firmly believe that any new development must be paused until we are operating the new system and that it proves a full and complete solution. As it stands we are regularly shutting down numerous contaminated wells to serve the already taxed system. Oakridge and Conant Valley owners are justifiably frustrated and concerned with what impact more usage might have on the already strained system.

Not only do I, and countless others ,pay our water bills, have had home filtration systems installed at great expense and purchase bottled water but now have the worry that we will be further at risk.

I firmly encourage the Planning Board to deny the development of additional condos and or businesses until the problem is remedied. Please enter this correspondence into the formal record.

Respectfully,
Cathy Deutsch/John Brown
144 Stone Meadow Rd.

December 18, 2023

Dear Planning Board Members:

I'm not sure why, when this request was sent to the Town Board, it got bounced back to you, however, it seems like a game of hot potato and the only losers in this game are the residents of Oakridge. Years ago, the owner of Oakridge handed off his very big water problem to the Town of Lewisboro, who accepted. I am not sure if there was a financial component to the exchange, as I have heard things, but I digress. In all the years my 85 year old mother has lived there, nothing has ever been done to correct this problem. People made due and are still doing so, whether that means lugging cases of water up flights of stairs every week, over and over, or in the newer built sections, paying more monies to the owner to put in high end filtration systems, all, to have the honor of drinking clean water from their faucets in their new, expensive homes. Sadly, in the older sections, people like my mother, don't even have that option.

Imagine that you live in one of the highest taxed areas in the country and you cannot drink your water for fear of getting sick like my mother, who was rushed to the emergency room last year and in March of this year due to bacteria in the water? 2023 and it's incredulous to believe I am begging for clean and safe drinking water for hundreds of people; a non-partisan human issue. The Dept of Health in Westchester County contacted me In April of this year asking me about my mother's travels to other countries. My mother has not left the county. It is a disgrace and all of the environmental groups I am speaking to are very interested. The River Keepers have put me in touch with leaders of very strong groups, who are willing and anxious to get involved. I also went to Senator Harkham and Assemblyman Burdick, who actually just moved near my mother. He said that he and his wife have been drinking the water for the last few months and nothing has happened to them YET. Shocking! My mother has been suffering for the last 21 years, as have others. When your representatives feel there is no issue to contend with, but have applied for grants totalling over a million dollars, what does that say? Should those monies be

accepted, if in fact, they ever come? What is the fiduciary duty to our residents? It is not just PFAS, but bacteria. Is the water poisoned? I don't know, but the fact remains, neither do you.

I do not think it is a lot to ask to wait on future building, especially in the environmentally beautiful area the owner wants to build in. Weather permitting, I walk the property every day and have for years. The geese and wildlife in that area are beautiful, but the issue for the humans residing there is that the water fails the testing again and again and there is an obligation for the Town to protect its residents, before building more and more and taxing our tainted water system. My proposal is to wait, see if we get the grant money to fix the problem our representatives don't believe we have and only then to begin the requisite testing for the potential of additional building.

It is my hope that you will take this letter very seriously, as I am not going to give up. I have spoken to so many frustrated residents, who need your help. This isn't a favor, it is a legal obligation and the right thing to do. Building can wait, but the lives and quality of those lives cannot.

Yours truly,
Simne O'Connor
Vista

Simone O'Connor
3 Robins Court
South Salem

Ciorsdan Conran

From: Lewis, Erika {PEP} <Erika.Lewis@pepsico.com>
Sent: Friday, January 12, 2024 3:56 PM
To: Ciorsdan Conran
Subject: FW: OWD WTP Upgrades Project
Attachments: OWD Public Hearing Notice.pdf; Lewisboro - Oakridge WTP - Recommendation to Award Bids.pdf; Agro Remarks 26Sep23.pdf

> You don't often get email from erika.lewis@pepsico.com. Learn why this is important

From: Lewis, Erika {PEP}
Sent: Friday, January 12, 2024 3:51 PM
To: Planning@lewisborogov.onmicrosoft.com.
Subject: FW: OWD WTP Upgrades Project

Dear planning board,

I am supportive the investing in the water system and appreciate the work of the town and our community volunteers.

Understanding that the tax payer will have to bear some burden of this cost, I'm sensitive that the single family home owners of the Conant Value HOA do not bear a disproportionate share as our tax burden is already enormous.
I would like to propose that the costs should be allocated and based on water usage would be a fairer allocation basis, vs. our current tax burden which is extremely high relative to the condo owners at Oakridge.

Sincerely,

Erika Lewis
29 Split Rock Rd, Pound Ridge, NY

From: Jeff Holbrook <jholb1@gmail.com>
Sent: Friday, January 12, 2024 3:40 PM
To: Connie Khan <cbkhan59@gmail.com>; Kim, Christopher <ckim@barnumfg.com>; The Rosens <alr2608@yahoo.com>; Bootsie <eileenwilliams2@aol.com>; Scott Kantro <skantro@mac.com>; Chris Rotolo <ctr2@nyu.edu>; Lewis, Erika {PEP} <Erika.Lewis@pepsico.com>; Gpantore1@gmail.com; Kpantore1@gmail.com; The Frys <fryinusa@aol.com>; M Pa <pags68@gmail.com>; Jordan Neumann <jsnhockey@aol.com>; Stacey Neumann <sjnnyr@aol.com>; Tian Tian <tiantian217@hotmail.com>; Yun Zhai <zhaiyun@hotmail.com>; Tom Healy (tomhealy456@gmail.com) <tomhealy456@gmail.com>; Richard Feil <rfeil@rgfelectric.com>; Nicole K <nkalish16@gmail.com>; Christine Jedlicka <cbjedlicka@gmail.com>; Shaun <sjedlicka1029@gmail.com>; Jo-Ellen <joellenholbrook@gmail.com>
Subject: OWD WTP Upgrades Project

WARNING: Email originated outside of PepsiCo.

All,

February 16, 2024

Re: Cal#12-22PB, Cal#36-22WP
Villas at Vista

Dear Planning Board,

Thank you for accepting my letter of continued concern regarding the above issue, involving building 14 more additional units at Oakridge. Although the town board members have told us we will be moving forward with addressing the water issues at Oakridge, nothing has begun. I have begged them for a second opinion to no avail. I don't know anyone that would not get one. I think it is reckless, however, who am I in all this? My mom, God willing, is turning 86 on Feb 22 and she has owned and lived in Oakridge now for 22 years and cannot drink her water. She actually used it unbeknownst to me and wound up in the hospital twice. The second time, we were contacted by the Westchester Health Dept wanting to know what country she may have traveled to. Of course, she had not left the county, much less the country. They told us she had some bacteria that they see in water in third world countries. So, as much as our town supervisor has done more than prior town supervisors in attempting to address the water issue, his focus is only on Pfas. The Delaware company he is using is the only one they have ever used and nothing has ever been done.

I do not wish to begrudge the owner of profits and his desire to build yet another 14 units. All I am asking for is to wait a little longer. The residents of Oakridge have waited many years and I do not think it is a lot to ask that he wait a little longer. Let's start the project in addressing the water issue first, the one the owner was initially a part of, until the town took it over and then go back and deal with further expansion. As an aside, I walk the property most days with my mother. It is beautiful and we get to see all the geese that reside exactly where he wants to build and other little animals that have made that area their home. I have pics I can provide. I feel this permission to build will tax the already taxed water, however, I also feel that in this town, where I also reside, we have environmental concerns that we all live by and I am hoping that applies in this case as well.

Finally, I am speaking on behalf of many residents who have asked me to speak on their behalf, not just my mom, but it would be awfully nice if my mother, along with young moms, kids, other elderly people,...can one day drink the water without fear they will wind up in the hospital. I truly don't think it is a big ask. Patience certainly is a virtue and the people of Oakridge are holding on and hoping that although now they will be required to foot a $1,000,000.00 loan that the town will be taking out, that your board will at a minimum, take their time in doing due diligence and that the owner can be patient, knowing full well what each person is dealing with in a place he built.
I Thank you for your time, consideration and anticipated cooperation in this matter.
Yours truly,
Simone O'Connor

State Liquor Authority

OFFICE USE ONLY
○ Original ○ Amended Date _____

Standardized NOTICE FORM for Providing 30-Day Advance Notice to a Local Municipality or Community Board

1. Date Notice was Sent: _____ 1a. Delivered by: _____

2. Select the type of Application that will be filed with the Authority for an On-Premises Alcoholic Beverage License:

● New Application ○ Renewal ○ Alteration ○ Corporate Change ○ Removal ○ Class Change ○ Method of Operation Change

For New applicants, answer each question below using all information known to date
For Renewal applicants, answer all questions
For Alteration applicants, attach a complete written description and diagrams depicting the proposed alteration(s)
For Corporate Change applicants, attach a list of the current and proposed corporate principals
For Removal applicants, attach a statement of your current and proposed addresses with the reason(s) for the relocation
For Class Change applicants, attach a statement detailing your current license type and your proposed license type
For Method of Operation Change applicants, although not required, if you choose to submit, attach an explanation detailing those changes

This 30-Day Advance Notice is Being Provided to the Clerk of the Following Local Municipality or Community Board:

3. Name of Municipality or Community Board: TOWN OF LEWISBORO

Applicant/Licensee Information:

4. Licensee Serial Number (if applicable): _____ Expiration Date (if applicable): _____

5. Applicant or Licensee Name: The BORO CAFE LLC

6. Trade Name (if any): _____

7. Street Address of Establishment: 873 ROUTE 35

8. City, Town or Village: LEWISBORO , NY Zip Code: _____

9. Business Telephone Number of Applicant/Licensee: _____

10. Business E-mail of Applicant/Licensee: _____

11. Type(s) of alcohol sold or to be sold: ○ Beer & Cider ● Wine, Beer & Cider ○ Liquor, Wine, Beer & Cider

12. Extent of Food Service:

○ Full food menu; full kitchen run by a chef or cook ● Menu meets legal minimum food availability requirements; food prep area at minimum

13. Type of Establishment: CAFE

14. Method of Operation: (check all that apply)

☐ Seasonal Establishment ☐ Juke Box ☐ Disc Jockey ☒ Recorded Music ☐ Karaoke
☐ Live Music (give details i.e., rock bands, acoustic, jazz, etc.): _____
☐ Patron Dancing ☐ Employee Dancing ☐ Exotic Dancing ☐ Topless Entertainment
☐ Video/Arcade Games ☐ Third Party Promoters ☐ Security Personnel
☐ Other (specify): _____

15. Licensed Outdoor Area: (check all that apply)

☐ None ☒ Patio or Deck ☐ Rooftop ☐ Garden/Grounds ☐ Freestanding Covered Structure
☐ Sidewalk Cafe ☐ Other (specify): _____

RECEIVED BY
JAN 18 2024
Town Clerk
Town of Lewisboro

OFFICE USE ONLY
○ Original ○ Amended Date _____

16. List the floor(s) of the building that the establishment is located on: BASEMENT & GROUND

17. List the room number(s) the establishment is located in within the building, if appropriate:

18. Is the premises located within 500 feet of three or more on-premises liquor establishments? ○ Yes ● No

19. Will the license holder or a manager be physically present within the establishment during all hours of operation? ● Yes ○ No

20. If this is a transfer application (an existing licensed business is being purchased) provide the name and serial number of the licensee:

Name: _____ Serial Number: _____

21. Does the applicant or licensee own the building in which the establishment is located? ○ Yes (if YES, SKIP 23-26) ● No

Owner of the Building in Which the Licensed Establishment is Located

22. Building Owner's Full Name: SWERTFAGER REALTY LLC & GRCAJ ASSOCIATES HOLDING LLC

23. Building Owner's Street Address: P.O. BOX 376

24. City, Town or Village: CROSS RIVER State: NY Zip Code: 10518

25. Business Telephone Number of Building Owner: (917) 774-9324

Representative or Attorney Representing the Applicant in Connection with the Application for a License to Traffic in Alcohol at the Establishment Identified in this Notice

26. Representative/Attorney's Full Name: Guy PARISI

27. Representative/Attorney's Street Address: 4 MARINE AVE. SUITE 1119

28. City, Town or Village: White Plains State: NY Zip Code: 10606

29. Business Telephone Number of Representative/Attorney: (914) 484-2006

30. Business E-mail Address of Representative/Attorney: guyparisi@aol.com

I am the applicant or licensee holder or a principal of the legal entity that holds or is applying for the license. Representations in this form are in conformity with representations made in submitted documents relied upon by the Authority when granting the license. I understand that representations made in this form will also be relied upon, and that false representations may result in disapproval of the application or revocation of the license.

By my signature, I affirm - under Penalty of Perjury - that the representations made in this form are true.

31. Printed Principal Name: JOHN D. SWERTFAGER Title: MANAGING MEMBER

Principal Signature: _____

RECEIVED BY
JAN 18 2024
Town Clerk
Town of Lewisboro

RECEIVED BY

JAN 22 2024

Town Clerk
Town of Lewisboro

NOTICE OF PUBLIC HEARING

The Town of North Salem Planning Board hereby gives notice of a public hearing to be held in person and electronically on Wednesday, February 7, 2024 at 7:30pm or as soon thereafter as may be heard at 66 June Road, North Salem, NY and via Zoom (see *Electronic Zoom Meeting Sign-On Information* below), to consider a Preliminary Subdivision application from 234 Hawley Road LLC [applicant] for their property located at 234 Hawley Road in an R-4 residential zoning district. The subject property is designated on the Tax Assessment Map as Sheet 48, Block 1155, Lot 7.

The application proposes a two lot subdivision pursuant to the standards and procedures in the Town of North Salem Code, Chapter 200, Subdivision of Land and Chapter 250, Zoning. The property consists of 29.882 acres with 26.745 acres in the Town of North Salem and 3.137 acres in the Town of Lewisboro with frontage on Hawley Road, a North Salem town road.

A copy of the application may be reviewed in the office of the Planning Board, 270 Titicus Road, North Salem, New York.

Electronic Zoom Meeting Sign-On Information:

Zoom Meeting URL	929-205-6099
ID	645-841-7162
Web Address	https://zoom.us/j/6458417162

Dated at North Salem, NY, January 12, 2024

Cynthia M. Curtis
Planning Board Chair

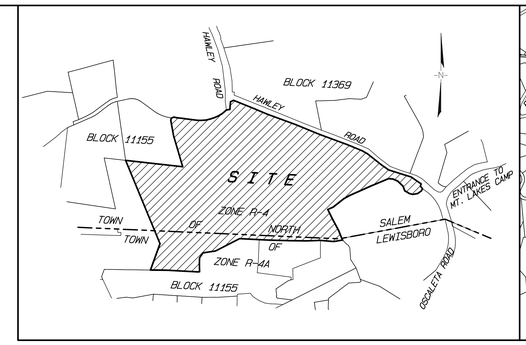
WESTCHESTER COUNTY DEPARTMENT OF HEALTH

New Rochelle, New York

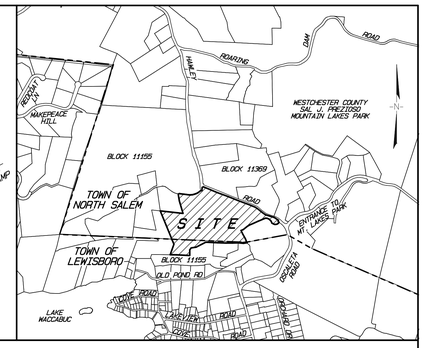
Approved pursuant to Chapter 873, Article X, Sections 873.951, 873.1001 and 873.1021 and Articles VII and VIII of the Westchester County Sanitary Code subject to the provision of individual well water supply and separate sewage treatment facilities to serve each habitable building hereafter constructed. These facilities are to be installed in accordance with land improvement plans and specifications approved by and filed in this office prior to the construction of such building.

Each purchaser of property shown hereon shall be furnished a true copy of this plat showing this endorsement. Any erasures, changes, additions or alterations of any kind except the addition of signatures of other approving authority and the date thereof made on this plan after this approval, shall invalidate this approval.

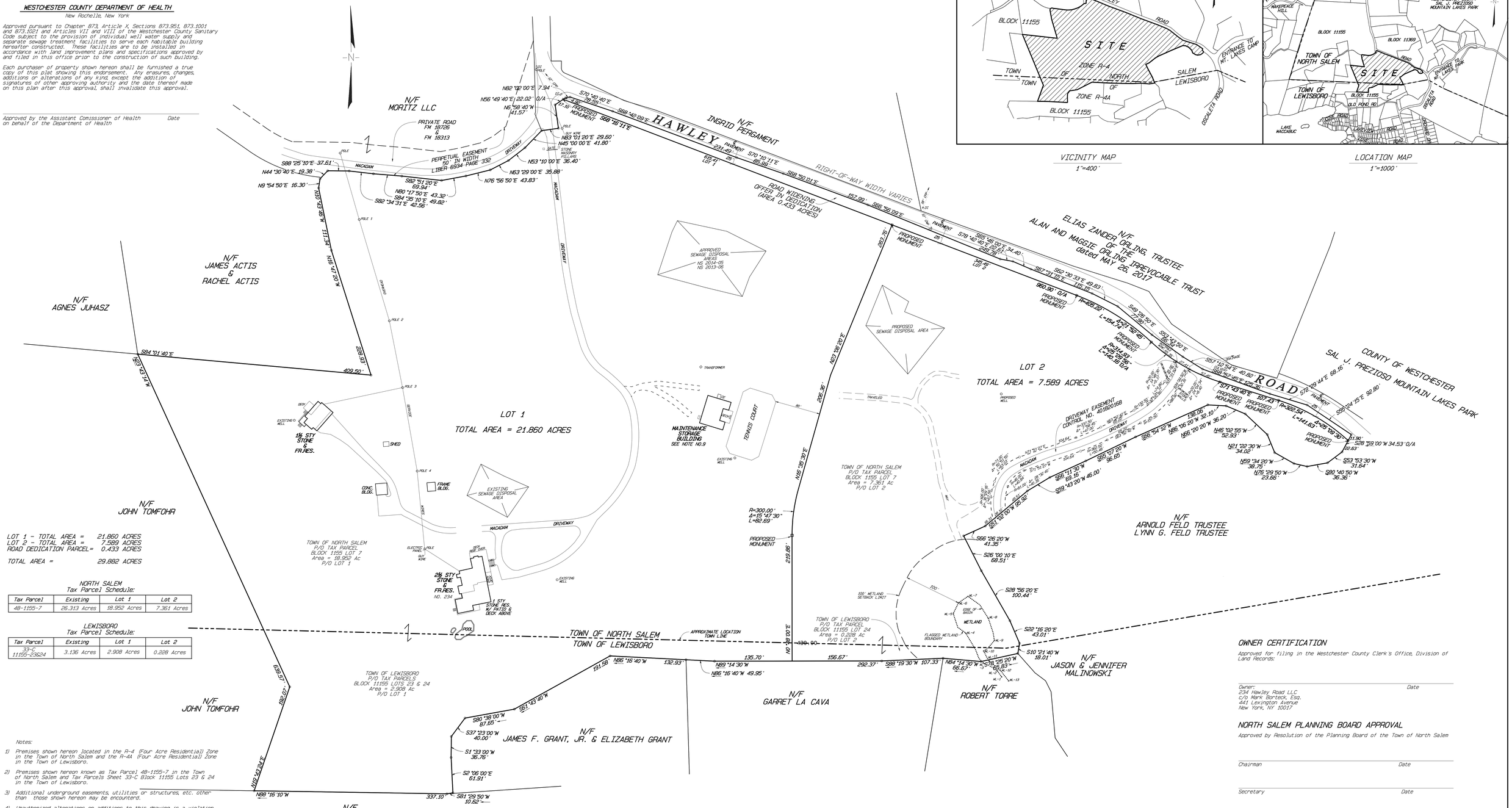
Approved by the Assistant Comissioner of Health on behalf of the Department of Health — Date



VICINITY MAP
1"=400'



LOCATION MAP
1"=1000'



LOT 1 - TOTAL AREA = 21.860 ACRES
LOT 2 - TOTAL AREA = 7.589 ACRES
ROAD DEDICATION PARCEL = 0.433 ACRES

TOTAL AREA = 29.882 ACRES

NORTH SALEM
Tax Parcel Schedule:

Tax Parcel	Existing	Lot 1	Lot 2
48-1155-7	26.313 Acres	18.952 Acres	7.361 Acres

LEWISBORO
Tax Parcel Schedule:

Tax Parcel	Existing	Lot 1	Lot 2
33-C 11155-23&24	3.136 Acres	2.908 Acres	0.228 Acres

Notes:

1) Premises shown hereon located in the R-4 (Four Acre Residential) Zone in the Town of North Salem and the R-4A (Four Acre Residential) Zone in the Town of Lewisboro.

2) Premises shown hereon known as Tax Parcel 48-1155-7 in the Town of North Salem and Tax Parcels Sheet 33-C Block 11155 Lots 23 & 24 in the Town of Lewisboro.

3) Additional underground easements, utilities or structures, etc. other than those shown hereon may be encountered.

4) Unauthorized alterations or additions to this drawing is a violation of Section 7209 (2) of the New York State Education Law.

5) Property shown hereon is subject to the "Rules and Regulations" for the protection from contamination of the New York City Water Supply and its sources.

6) Wetland shown hereon delineated by Mary Jaehnig, Soil Scientist, Pfizer-Jaehnig, 17 Fairview Ave., Ridgefield, CT, September 21, 2018

7) Reference Filed Map No. 24745.

8) Reference Deed Control No. 542733563. Deed has pages 4 & 5 reversed.

9) The Maintenance Storage Building is not approved for living quarters as a residential, principle or accessory dwelling or apartment.

10) Monuments shall be set on all right-of-way lines of streets at all street intersections, angle points, points of curve and subdivision corners. There shall be clear foresight and backsight to adjacent monuments on the right-of-way line or lines on which a monument is set. Monuments shall be constructed in accordance with the Minimum Specifications for Road Improvements in Chapter 195, Streets and Sidewalks of the Code of the Town of North Salem. Monuments shall be set so that the top is flush with the finished grade, and shall be set and tamped as to prevent settlement and shifting.

11) All property corners sall be marked with three-fourths-inch-diameter by eighteen-inch-long iron pipes installed by a Licensed New York State surveyor, and a certified survey showing these property corners shall be furnished to the Building Inspector prior to the issuance of a certificate of occupancy.

HEALTH DEPARTMENT SEPTIC SCHEDULE													
LOT NO.	LOT AREA (AC)	TEST PIT DESCRIPTION	S.D.S. AREA S.F.	% SLOPE OF S.D.A.	PERC RATE MIN/IN	G.W. ELEV.	IMPERV. LAYER ELEV.	LF OF FIELDS		BANK RUN FILL		CURTAIN DRAIN		REMARKS
								5 BDRM	ADD'L BDRM	DEPTH (FT)	VOLUME (CY)	DEPTH (FT)	LINEAL (FT)	
1	21.860	7' DRY, NO ROCK 8"TS OVER SANDY LOAMS	6,000 +/-	10+/-%	3-5	>7'	>7'	———		———	———	———	———	EXPANSION AREA FOR EXISTING BUILDINGS SEE NS 2014-05
2	7.589	7' DRY, NO ROCK 12"TS OVER SANDY LOAMS	5,000 +/-	10+/-%	3-5	>7'	>7'	230 L.F.	125 L.F.	———	———	———	———	0-2' R.O.B. FILL FOR GRADING ONLY

Preliminary Revised: November 27, 2023
We, H. Stanley Johnson and Company, Land Surveyors, P.C., the surveyors who made this map, do hereby certify that the survey upon which this map is based was completed: July 14, 2022 and that this map was completed: January 11, 2023

BY: _____
NEW YORK STATE LICENSED LAND SURVEYOR NO. 49749
STEPHEN T. JOHNSON, P.L.S.

H. STANLEY JOHNSON AND COMPANY
LAND SURVEYORS, P.C.
42 SMITH AVENUE P.O. BOX 93
MT. KISCO, N.Y. 10549
TEL. 914-241-3872
FAX. 914-241-0438

Engineer: Timothy S. Allen, P.E. License No. 073434 — Date
Bibbo Associates, LLP
293 Route 100 Somers
Suite 203
Somers, NY 10589

OWNER CERTIFICATION

Approved for filing in the Westchester County Clerk's Office, Division of Land Records:

Owner: — Date
234 Hawley Road LLC
c/o Mark Borteck, Esq.
441 Lexington Avenue
New York, NY 10017

NORTH SALEM PLANNING BOARD APPROVAL

Approved by Resolution of the Planning Board of the Town of North Salem

Chairman — Date

Secretary — Date

LEWISBORO PLANNING BOARD CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated

Joseph Cermele, P.E. Town Consulting Engineer — Date
Kellard Sessions Consulting
Town Consulting Engineer

LEWISBORO PLANNING BOARD APPROVAL

Approved by Resolution of the Town of Lewisboro Planning Board

Chair, Janet Andersen — Date

PRELIMINARY SUBDIVISION PLAT
PREPARED FOR
234 HAWLEY ROAD LLC

SITUATE IN THE
TOWN OF NORTH SALEM
AND THE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK
SCALE: 1" = 60'

0 60 120 180

SHEET 288 BLOCK 11155 COUNTY INDEX SYSTEM

DATA: F97-103

PREPARED BY: STJ CHECKED BY: STJ

JOB No. F22-086.01

MATTHEW D. RUDIKOFF ASSOCIATES, INC.
Offices in New York and Connecticut
Tel: 914.490.9632 – www.rudikoff.com

MEMORANDUM

TO: Town of North Salem Planning Board

FROM: Matthew D. Rudikoff Associates, Inc.

DATE: December 29, 2023

RE: 234 HAWLEY ROAD SUBDIVISION
Two-Lot Subdivision – R-4A – Map 48, Block 1155, Lot 7
R-4A – 29.882 acres (26.745 acres North Salem, 3.137 acres Lewisboro)
NS21002

APPLICATION and PROJECT PLANS

- Preliminary Subdivision Application;
- Response to Comments from Bibbo Associates, 04/12/23;
- Survey of Property, WSP-Sells, 01/16/12;

NEW / REVISED MATERIALS

- Response to Comments from Bibbo Associates, 12/13/23;
- Full EAF, 04/11/23, revised 12/11/23;
- Wetland Delineation Report, Mary Jaehnig, 09/11/23;
- Phase IA/IB Archeological Investigation, STRATA Cultural Resource Management, LLC, August, 2023
- SWPPP, Bibbo Associates, 04/12/23, revised 12/13/23;
- DRAFT Offer in Dedication (to Town of North Salem – Road Widening;
- Preliminary Subdivision Plat, H. Stanley Johnson and Company, 01/11/23, revised 11/27/23;
- A-1 – Aerial (1/6), Bibbo Associates, 08/23/21, revised 12/13/23;
- EX-1 – Existing Condition Plan (2/6), Bibbo Associates, 08/23/21, revised 12/13/23;
- PS-1 – Preliminary Subdivision Plan (3/6), Bibbo Associates, 08/23/21, revised 12/13/23;
- C-1 – Construction Plan Lot 2 (4/6), Bibbo Associates, 08/23/21, revised 12/13/23;
- D-1 – Details (5/6), Bibbo Associates, 08/23/21, revised 12/13/23; and
- D-2 – Details (6/6), Bibbo Associates, 08/23/21, revised 12/13/23.

WETLANDS

1. The applicant's wetland delineation was field confirmed as substantially accurate on September 6, 2023 by this office. It is noted that the proposed lot layout and the depicted house development for proposed Lot 2 (as currently presented) fully avoids wetlands and associated regulated 100-foot buffer areas of the property. As such, no immediate or direct wetland or buffer area activities are proposed or needed to support the subdivision of the subject property or development of proposed Lot 2 (no activity is proposed on Lot 1). The above should be reflected in any subsequent approval of the proposed subdivision.

OPEN SPACE

2. The applicant is proposing a fee in lieu of the reservation of park land. Should the Planning Board agree based its evaluation of the surrounding lands (or lack thereof to be expanded), consistent with Subdivision §200-32, then a fee in lieu of would be appropriate and should be reflected in any subsequent approval of the proposed subdivision.

PROPOSED LOT 2 ACCESS DRIVEWAY

3. Based on responses to prior comments of the Town Engineer, a revised access easement and maintenance agreement will need to be completed and recorded on the land records to replace an existing agreement (to acknowledge proposed Lot 2) associated with a neighboring property and proposed Lot 2. A DRAFT of the proposed amended agreement should be provided for review and approval (submission and acceptance of such could be a condition of Preliminary Subdivision Plat Approval and required with submission of a subsequent application for Final Subdivision Plat Approval unless the Planning Board wants to review such now as part of its consideration of preliminary and the yet to be scheduled required preliminary plat application public hearing per Subdivision §200-8B).

PRELIMINARY SUBDIVISION PLAT

4. **Road Widening** – A road widening strip is shown on the proposed Plat and a DRAFT Offer of Dedication has been provided for review.

    a. Clause 1 should be expanded to also state: ***…and related road improvements including but not limited to installation of public utilities, drainage, road widening, repaving, and sight line maintenance and control.***

    b. Clause 2 should be something that occurs with the recording of the Plat, not later – meaning the road widening strip should be conveyed (via an accepted Warranty Deed) with the recording of the Plat and the deeds for proposed Lots 1 and 2 should be drafted accordingly with their metes and bounds descriptions without inclusion of the lands within the road widening strip. A DRAFT Warranty Deed should be provided for review and approval.

CONSTRUCTION PLANS

5. Contrary to the response, the "General Note" on Sheet C-1 has not been revised as previously commented: Expand the "General Note" to also specifically reference the ***North Salem Planning Board*** and ***SMO***.

EAF – SEQR

6. **Archeological Sensitivity** – No significant archeological resources were identified within the identified Limits of Disturbance for proposed Lot 2 on Sheet C-1. However, "*the remains of a stone chimney located near the pond, as well as the lands surrounding the pond have been identified as the Hawley Road Historic Site lying alongside a former colonial road*." The applicant's archeology consultant recommends "*protection of this area unless additional archeological investigations are undertaken to better characterize the resource*."

    a. Sign-off from SHPO should be provided regarding acceptance of the completed Phase IA/IB Archeological Investigation and its findings.

    b. Regarding the protection of the resources noted above, such should be a condition of any subsequent approval and referenced on the future property deeds for proposed Lot 2, or some other legal protection overlay established.

JAMES J. HAHN ENGINEERING, P.C.
Putnam Business Park
1689 Route 22
Brewster, NY 10509
Tel: 845-279-2220
Fax: 845-279-8909
jhahn@hahn-eng.com

MEMORANDUM

To : North Salem Planning Board

From : James J. Hahn, P.E.
Town Consulting Engineer

Dated : January 31, 2024

Subject : Subdivision Review
234 Hawley Road (234 Hawley Road, LLC)
Section 48, Block 1155, Lot 7

Drawings Reviewed : Prepared by Bibbo Associates:
"Aerial", Revised 1/17/24, Sheet A-1.
"Existing Conditions Plan", Revised 1/17/24, Sheet EX-1.
"Preliminary Subdivision Plan", Revised 1/17/24, Sheet PS-1.
"Construction Plan Lot 2", Revised 1/17/24, Sheet C-1.
"Details", Revised 1/17/24, Sheet D-1.
"Details", Revised 1/17/24, Sheet D-2.

Documents Reviewed : Response Letter from Ed Delaney, Jr., Dated 1/17/24.
Stormwater Pollution Prevention Plan, Revised 1/17/24.

At the request of the Town of North Salem, the referenced plans and documents have been reviewed for general compliance with Town Code, SPDES General Permit for Stormwater Discharge from Construction Activity (GP-0-20-001) and our previous memorandum dated December 22, 2023. The applicant is proposing to subdivide an existing 29.882 acre parcel in the R-4A zoning district which extends into the Town of Lewisboro. Proposed Lot 1 will be 21.860 acres and have the existing single-family residence and cottage and proposed Lot 2 will be 7.589 acres and will be improved with a single-family residence. The remaining 0.433 acre portion of the lot is proposed to be dedicated to the Town for possible future road widening.

The amount of disturbance for the project is proposed to be 0.92 acres. Therefore, the project must obtain coverage under SPDES GP-20-001. A Notice of Intent (NOI) must be filed with the New York State Department of Environmental Conservation (NYSDEC) and a Stormwater Pollution Prevention Plan (SWPPP) prepared. Pursuant to Town Code §193-7 C., mitigation is required for disturbances greater than 5,000 sf that involves new impervious areas. Maintenance agreements are not required.

When the project is complete, pursuant to §193-16 B. of the Town Code, "As-Built" plans are required with a certification of construction compliance, and the applicant must file a Notice of Termination (NOT) with NYSDEC.

Pursuant to our review, the applicant has satisfactorily addressed the comments from our previous memorandum. A final plat should be prepared in accordance with Town Code §§200-38 and 200-39.

Any questions that the applicant may have should be direct to the Planning Board.

JH:WJA:ay

P:\Town of North Salem\PLANNING Board\234 Hawley Rd\234 Hawley Rd Subdivision Review 2024-01-31.docx