

TOWN OF LEWISBORO
Westchester County, New York

Zoning Board of Appeals
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3822
Fax: (914) 533-0097
Email: zoning@Lewisborogov.com

AGENDA

Wednesday, May 26, 2021 7:30 P.M

Via Zoom Videoconferencing

<https://zoom.us/j/95281332919> by clicking “Join a Meeting,” and entering Meeting ID: 952 8133 2919.
You may call in to the Zoom meeting at 1-929-205-6099 when prompted, enter 952 8133 2919.

I. Review and adoption of the Minutes of February and March 2021

II. PUBLIC HEARINGS

CAL. NO. 10-20-BZ

Application of Kenneth Askildsen, [Askildsen, Kenneth, owner of record], 82 Mill River Road, South Salem, NY, for a variance in the matter of a proposed replacement dwelling that will have a southeast front yard setback of 21.3’ whereas 50’ are required per Article IV Section 220-23E, a proposed replacement dwelling overhang that will have a southeast front yard setback of 20’ whereas 50’ are required per Article IV Section 220-23E, a proposed replacement dwelling that will have a southwest side yard setback of 33.5’ whereas 50’ are required per Article IV Section 220-23E, a proposed deck that will have a southeast front yard setback of 26.5’ whereas 50’ are required per Article IV Section 220-23E, a proposed replacement dwelling that will have a northeast side yard setback of 36.5’ whereas 50’ are required per Article IV Section 220-23E, a proposed covered porch that will have a northeast side yard setback of 32.5’ whereas 50’ are required per Article IV Section 220-23E, a proposed covered porch steps that will have a northeast side yard setback of 30.5’ whereas 50’ are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code and a proposed building coverage that will have 14.78% whereas 6% is the maximum per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located at (#82) Mill River Road, South Salem, NY and designated on the Tax Map as Sheet 42 Block 10299 Lot 83 in an R-4A Residential District consisting of approximately .467 acres.

CAL. NO. 13-21-BZ

Application of Pound Ridge Stone-David Moorman [Two West Road LLC., owner of record], 2 West Road, South Salem, NY for a variance in the matter of the proposed 3’ freestanding stonewall topped by a 3’ solid wood fence surrounding the topsoil and sand storage that is located on the eastern side lot line whereas a minimum of 15’ is required per Article III, Section 220-12E(2)C, and 3 freestanding signs whereas only 1 is permitted per Section 185-5(F)(1), a freestanding sign SN-1 that has an area of 19.5 square feet whereas 8 square feet is the maximum permitted per Section 185-5F(1)(a), the bottom edge of freestanding sign SN-1 is 2.5’ above grade whereas a minimum of 7’ is required per Section 185-6D(3), the relocation of freestanding sign SN-1 is 6’ from the lot line whereas no part of any freestanding sign shall be located within 15’ of any property line, except as otherwise permitted by this chapter per Section 185-6D(4), the freestanding sign SN-9 is 8’ from the lot line whereas no part of any freestanding sign shall be located within 15’ of any property line, except as otherwise permitted by this chapter per Section 185-6D(4), 4 canopy signs whereas only 1 is permitted per Section 185-5F(3)(b), the topsoil/sand storage area is open whereas storage of material must be enclosed per Section 220-24(D)(e)(d), and the proposed site coverage is 71.7% whereas 60% is the maximum per Article IV Section 220-24E of the Town of Lewisboro Zoning Code.

The property is located on the south side of (#2) West Road, South Salem, NY designated on the Tax Map as Sheet 049B, Block 09831 Lot 001, in a GB, General Business District consisting of approximately .70 acres.

CAL. NO. 14-21-BZ

Application of Nancy Geary [Geary, Nancy W., owner of record], 146 Post Office Road, South Salem, NY for a variance in the matter of the proposed northern addition that will have a front yard setback of 39.7' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code, the proposed northern addition that will be setback 59.7' from the street centerline whereas 75' are required per Article front yard setback of 38.9' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code, and the proposed southern patio that will be setback 58.9' from the street centerline whereas 75' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#146) Post Office Road, South Salem, NY designated on the Tax Map as Sheet 0026, Block 10803 Lot 026, in an R-2A, Two Acre Residential District consisting of approximately 3.005 acres.

CAL. NO. 15-21-BZ

Application of Gail Ascher [Kola, Keler and Shtjefni, Marjana, owner of record], 14 Boutonville Road, South Salem, NY for a variance in the matter of the proposed legalization of the front porch on a pre-existing non-conforming structure that will have a front yard setback of 13.42' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#14) Boutonville Road, South Salem, NY designated on the Tax Map as Sheet 0030, Block 10540 Lot 035, in an R-1A, One Acre Residential District consisting of approximately .0828 acres.

CAL. NO. 16-21-BZ ADJOURNED

Application of Morgan and Michelle Campbell [DeAngelis, Louis A. and Olga I. Irrevocable Trust, and Campbell, Michelle, Trustee, owner of record], 34 Old Pond Road, South Salem, NY for a variance in the matter of the proposed accessory (garage) structure that will have an area variance of 1081 sq ft, whereas 600 sq ft, is allowed per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the south side of (#34) Old Pond Road, South Salem, NY designated on the Tax Map as Sheet 033C, Block 11368 Lot 001, in an R-1/4A, One Quarter Acre Residential District consisting of approximately 2.016 acres.

III. CORRESPONDENCE & GENERAL BUSINESS

Board to discuss Town of Lewisboro Planning Board, DECLARATION OF INTENT TO BE LEAD AGENCY for the Wolf Conservation Center.

(914) 763-3822
FAX (914) 875-9148
TTY 800-662-1220
Email: zoning@lewisborogov.com
www.lewisborogov.com



TOWN OF LEWISBORO
Zoning Department
79 Bouton Road
South Salem, NY 10590

TOWN OF LEWISBORO, WESTCHESTER COUNTY

ZONING DEPARTMENT

ZONING BOARD OF APPEALS – MAY 26, 2021

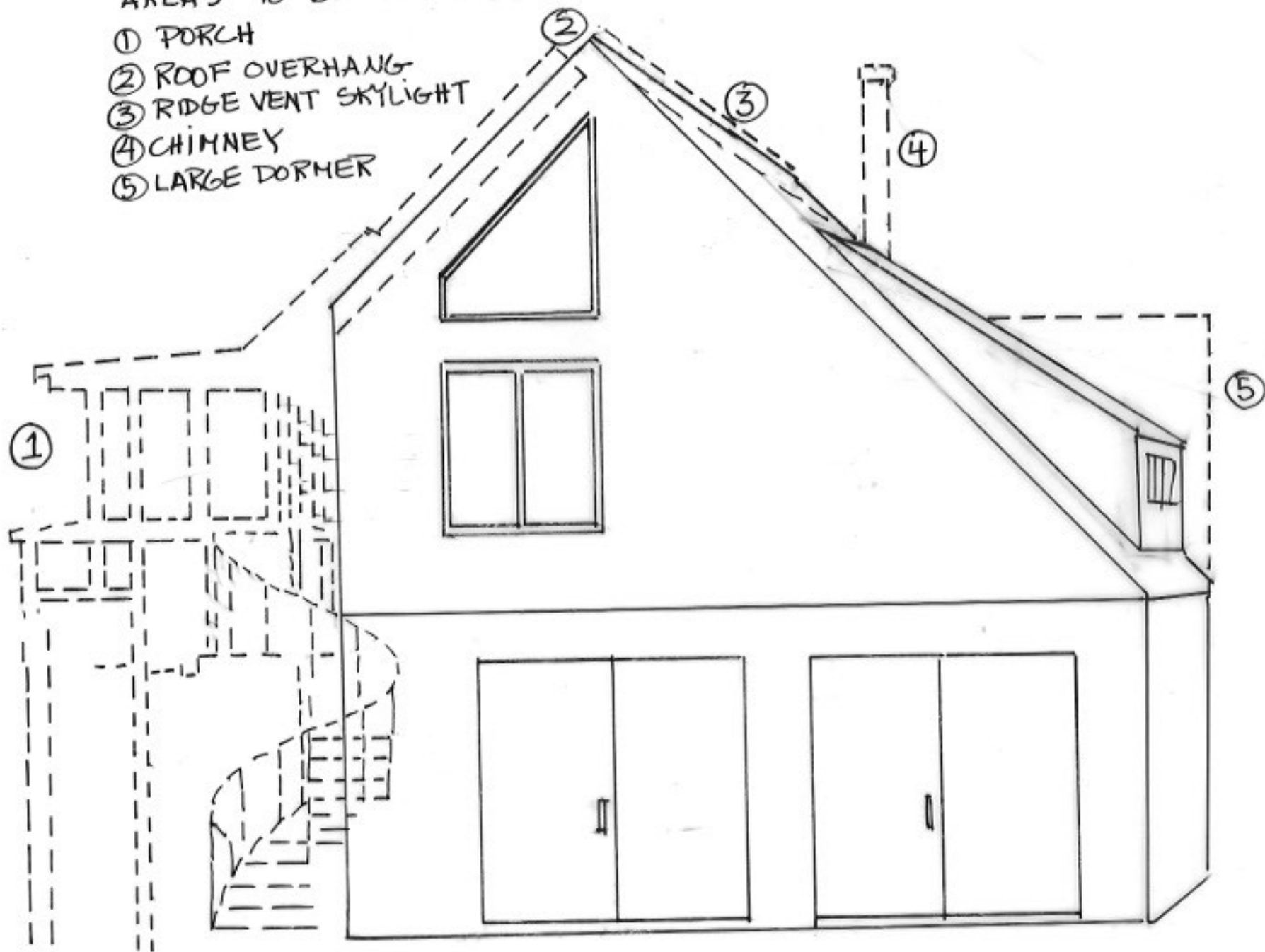
ZONING BOARD OF APPEALS – MAY 26, 2021		
<u>APPLICANT</u>	<u>CAL #</u>	<u>PAGE(S)</u>
Askildsen	10-20-BZ	4 to 13
Pound Ridge Stone	13-21-BZ	14 to 23
Geary	14-21-BZ	24 to 29
Asher/Kola	15-21-BZ	30 to 31
Campbell	16-21-BZ	32 to 35



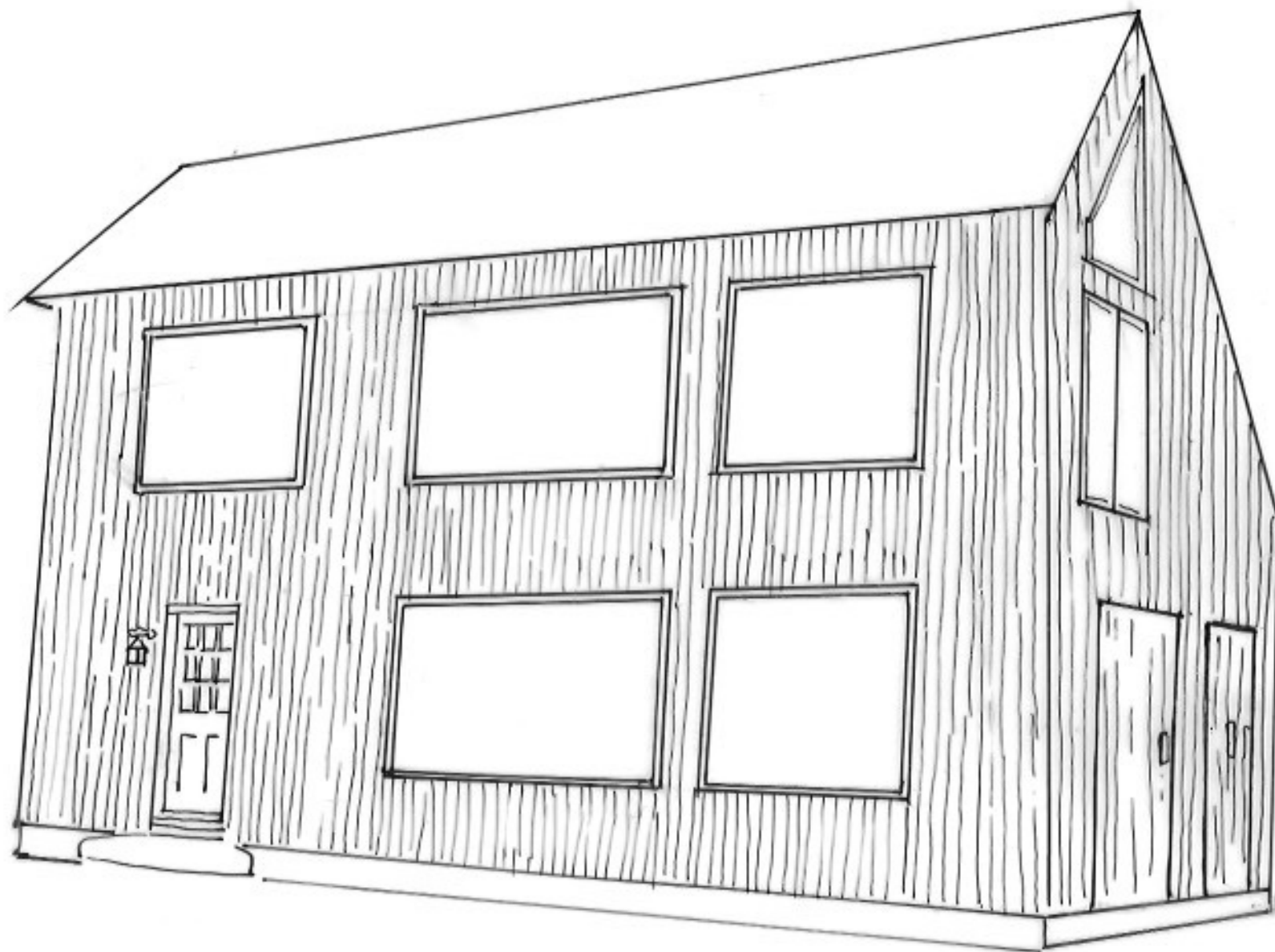
FRONT OF BARN-

DOTTED LINE REPRESENTS
AREAS TO BE REMOVED-

- ① PORCH
- ② ROOF OVERHANG
- ③ RIDGE VENT SKYLIGHT
- ④ CHIMNEY
- ⑤ LARGE DORMER

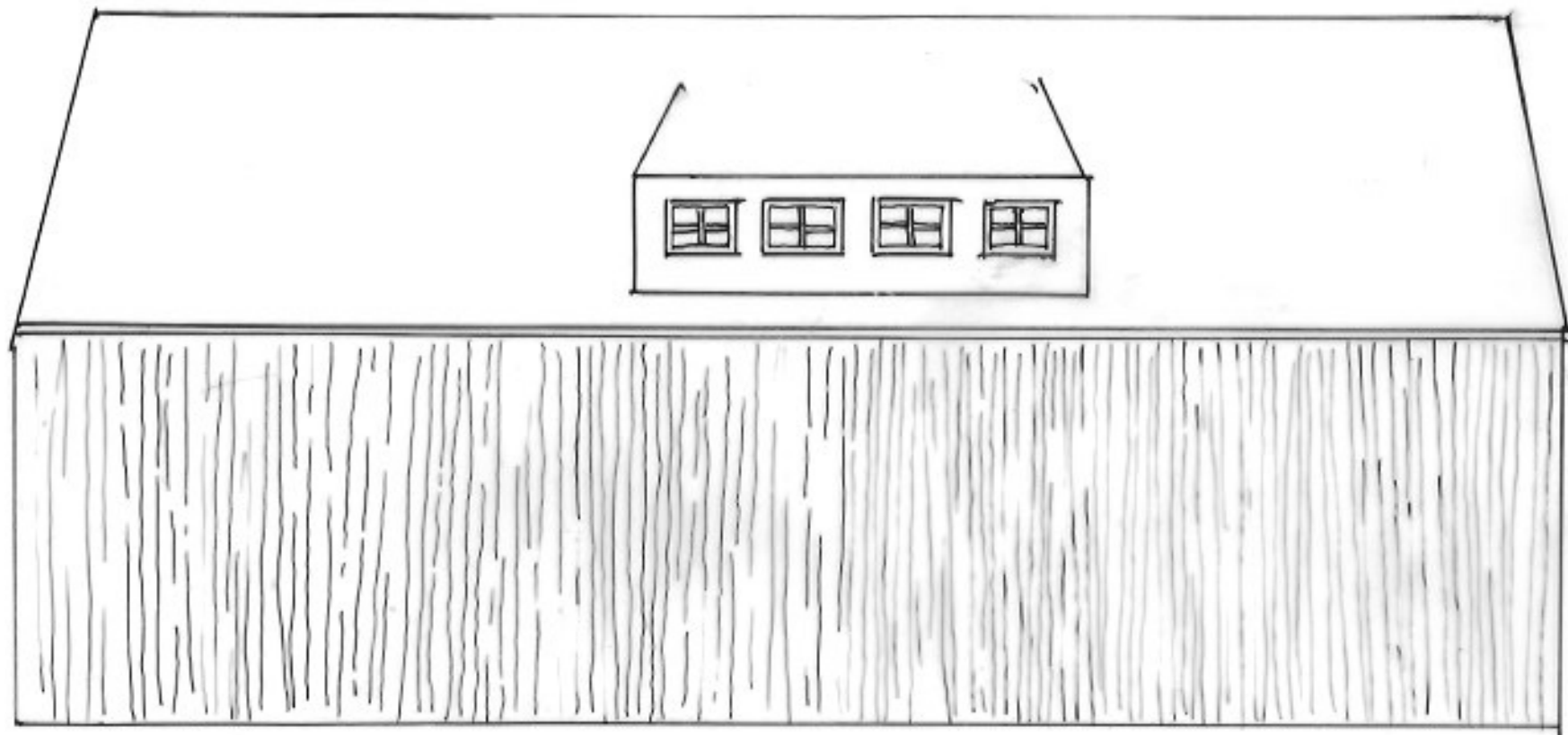


- ① PORCH REMOVED
- ② SPIRAL STAIRCASE REMOVED
- ③ OVER HANG REMOVED



RIGHT SIDE OF BARN

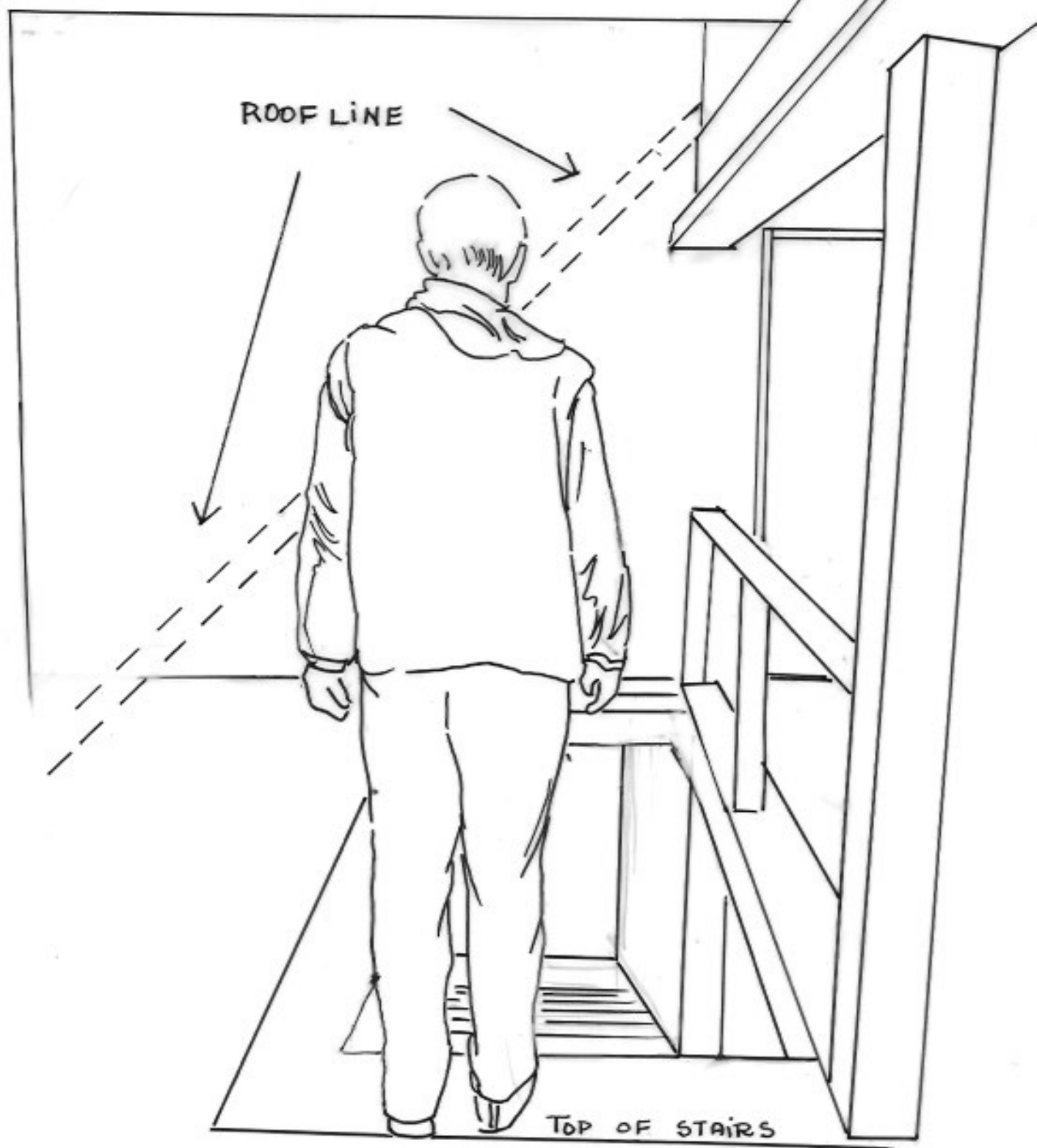
- ① REMOVED 2ND FLOOR DORMER. REPLACED WITH SMALLER DORMER - NECESSARY FOR TOP OF STAIRS HEIGHT ALLOWANCE. (SEE INTERIOR DRAWING)
- ② REMOVE WOOD BURNING CHIMNEY

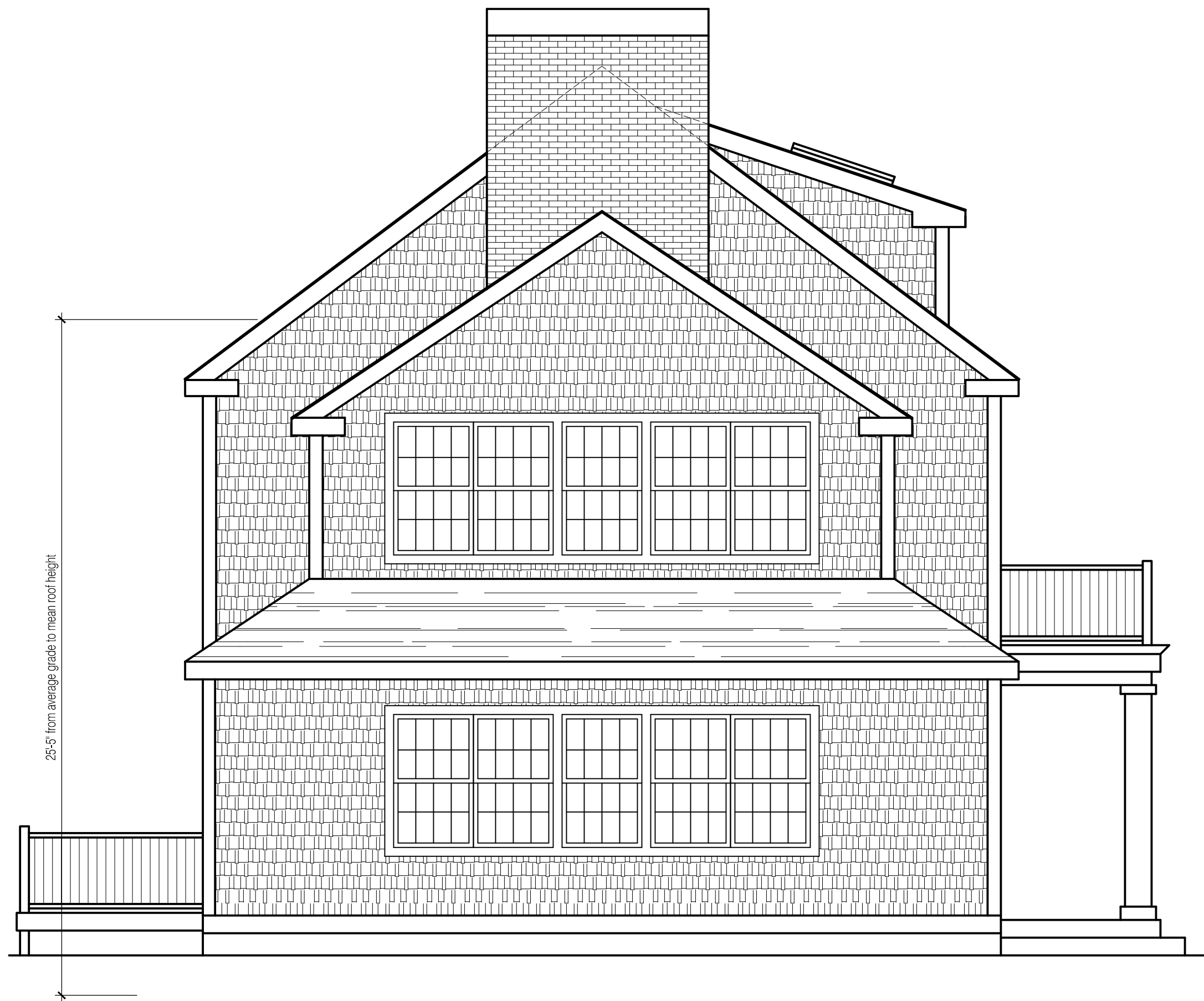


INTERIOR DRAWING

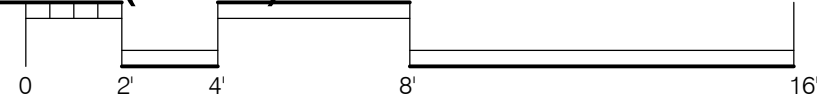
INSIDE OF BARN

2ND FLOOR

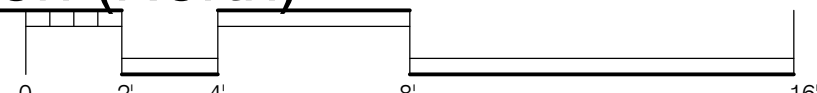




⑤ Front Elevation (East)



⑤ Side Elevation (North)



DO NOT SCALE DRAWINGS, VERIFY ALL DIMENSIONS. IF A DIMENSION IS MISSING OR IN QUESTION, CONTACT THE ARCHITECT FOR CLARIFICATION

Hans P. Hansen
Architectural Design
150 Sycamore Street
Glastonbury, Connecticut 06033
(860) 995-9671



ISSUE DATE	REMARKS
10/23/19	Permit Rvw
03/16/20	Permit Rvw
04/06/20	Permit Rvw
11/17/20	Permit Rvw
01/19/21	Permit Rvw
04/12/21	Permit Rvw

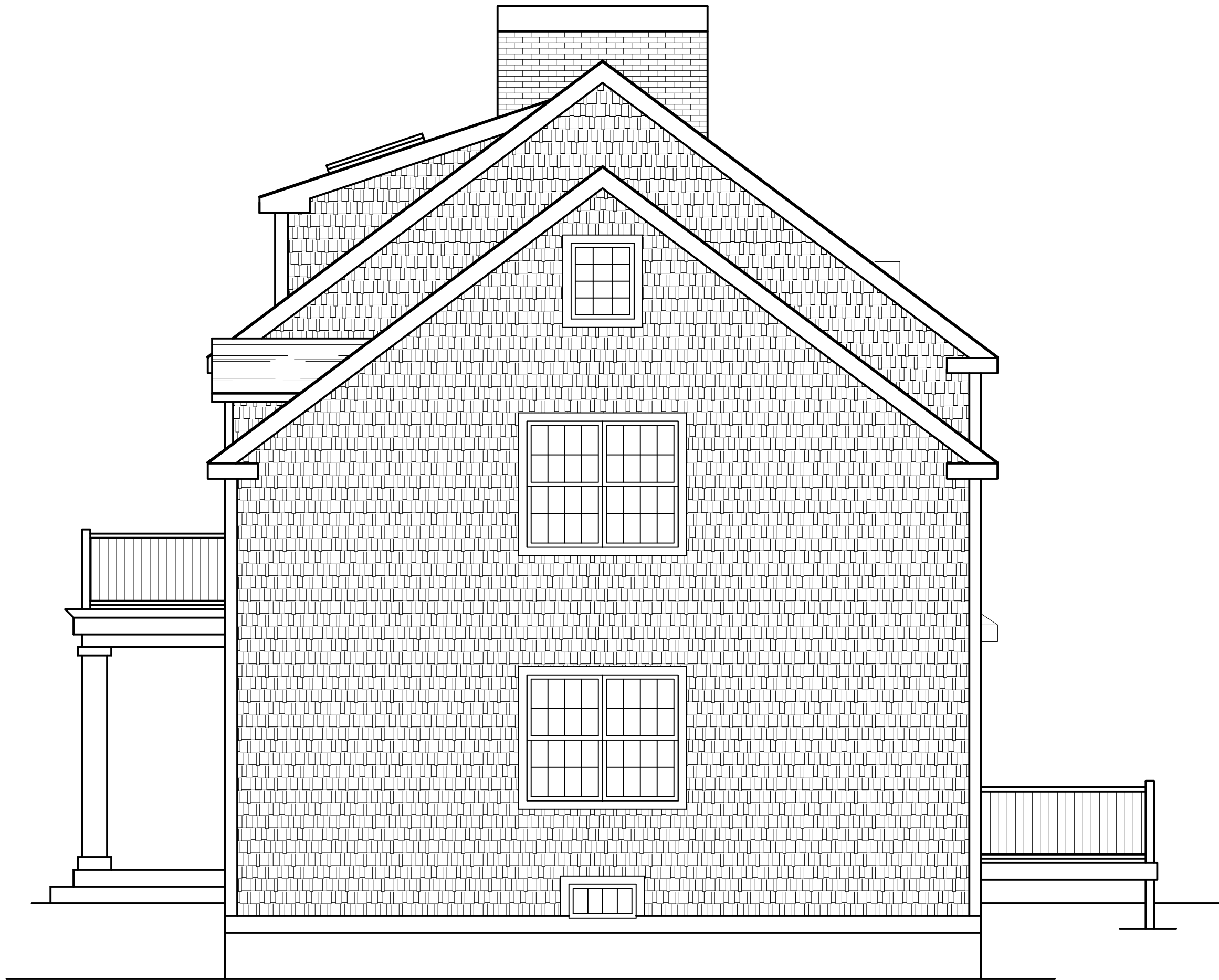
Proj. mgr. HPH
Drawn by HPH

New Residence on Existing Foundation:
Kenneth & Joanne Askildsen
82 Mill River Road
South Salem, NY 10590

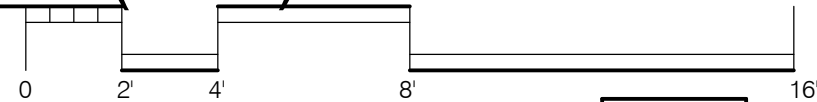
Proposed Elevations
and Sections

A200

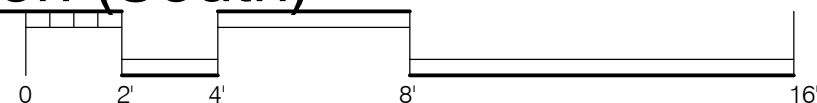
Project #
00916NY



5 Back Elevation (West)



5 Side Elevation (South)



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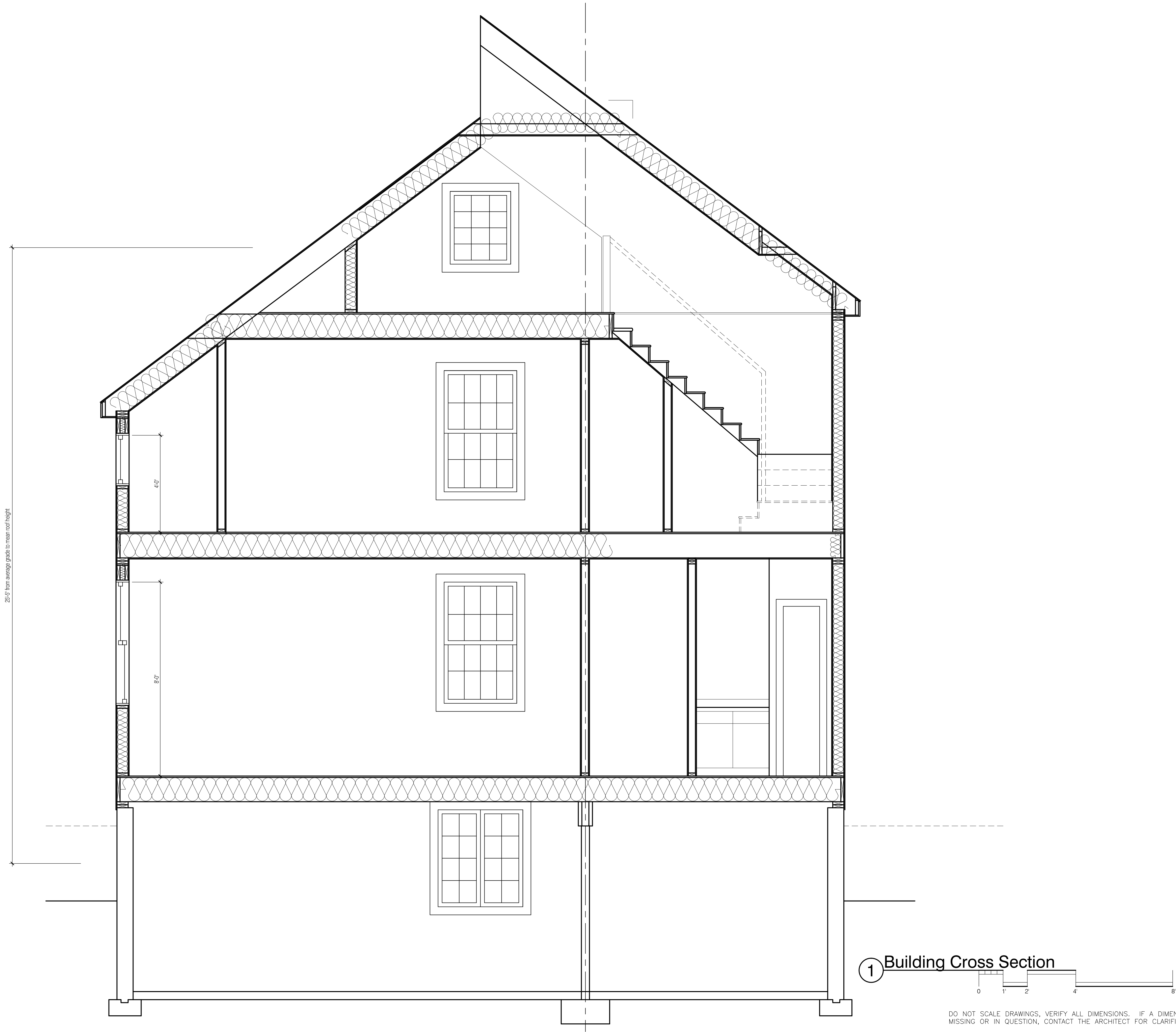
Proj. mgr.	HPH
Drawn by	HPH

New Residence on Existing Foundation:
Kenneth & Joanne Askildsen
82 Mill River Road
South Salem, NY 10590

Proposed Elevations
and Sections

A201

Project #
00916NY



Hans P. Hansen
Architectural Design
150 Sycamore Street
Glastonbury, Connecticut 06033
(860) 995-9671



ISSUE DATE	REMARKS
03/16/20	Permit Rvw
11/17/20	Permit Rvw
01/19/21	Permit Rvw

Proj. mgr.	HPH
Drawn by	HPH

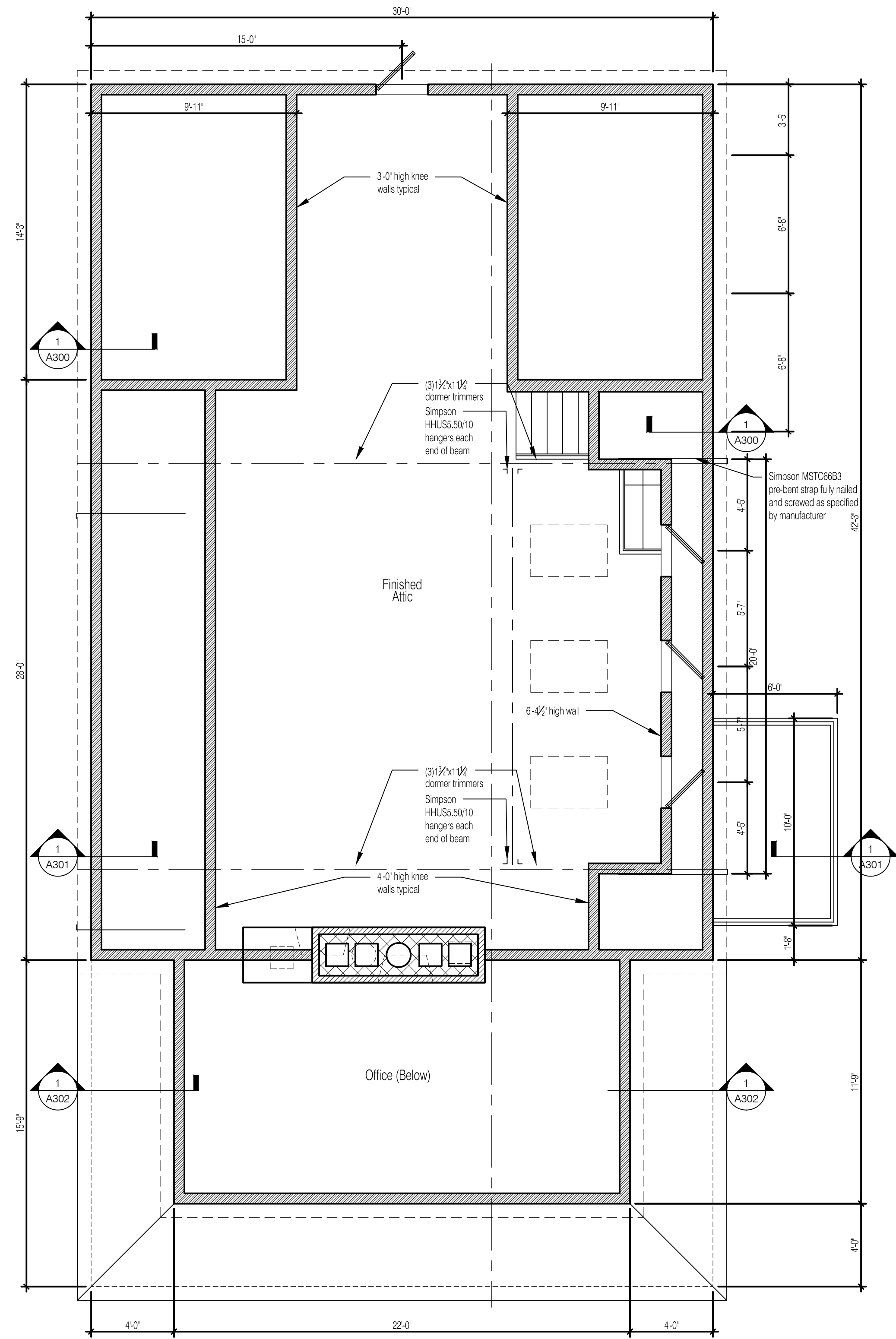
New Residence on Existing Foundation:
Kenneth & Joanne Askildsen

82 Mill River Road
South Salem, NY 10590

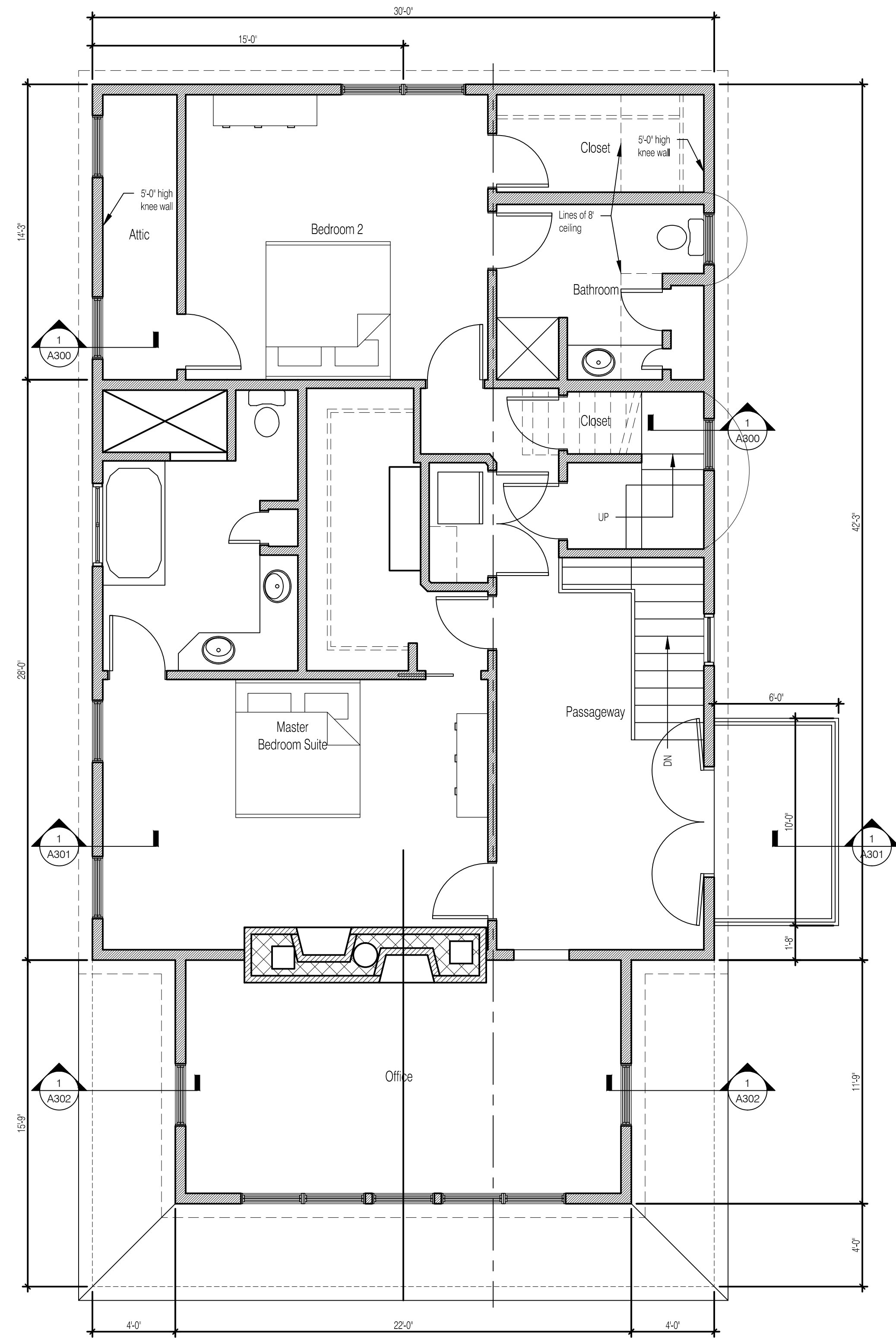
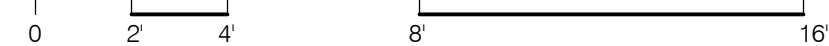
Proposed Cross
Section

A300

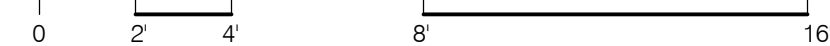
Project #
00916NY



9 Attic Floor Plan 740sq.ft. gross (1891sq.ft. roof)



1 2nd Floor Plan Layout 1526sq.ft. gross



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Hans P. Hansen
Architectural Design
 150 Sycamore Street
 Glastonbury, Connecticut 06033
 (860) 995-9671



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04/12/21 Permit Rvw	

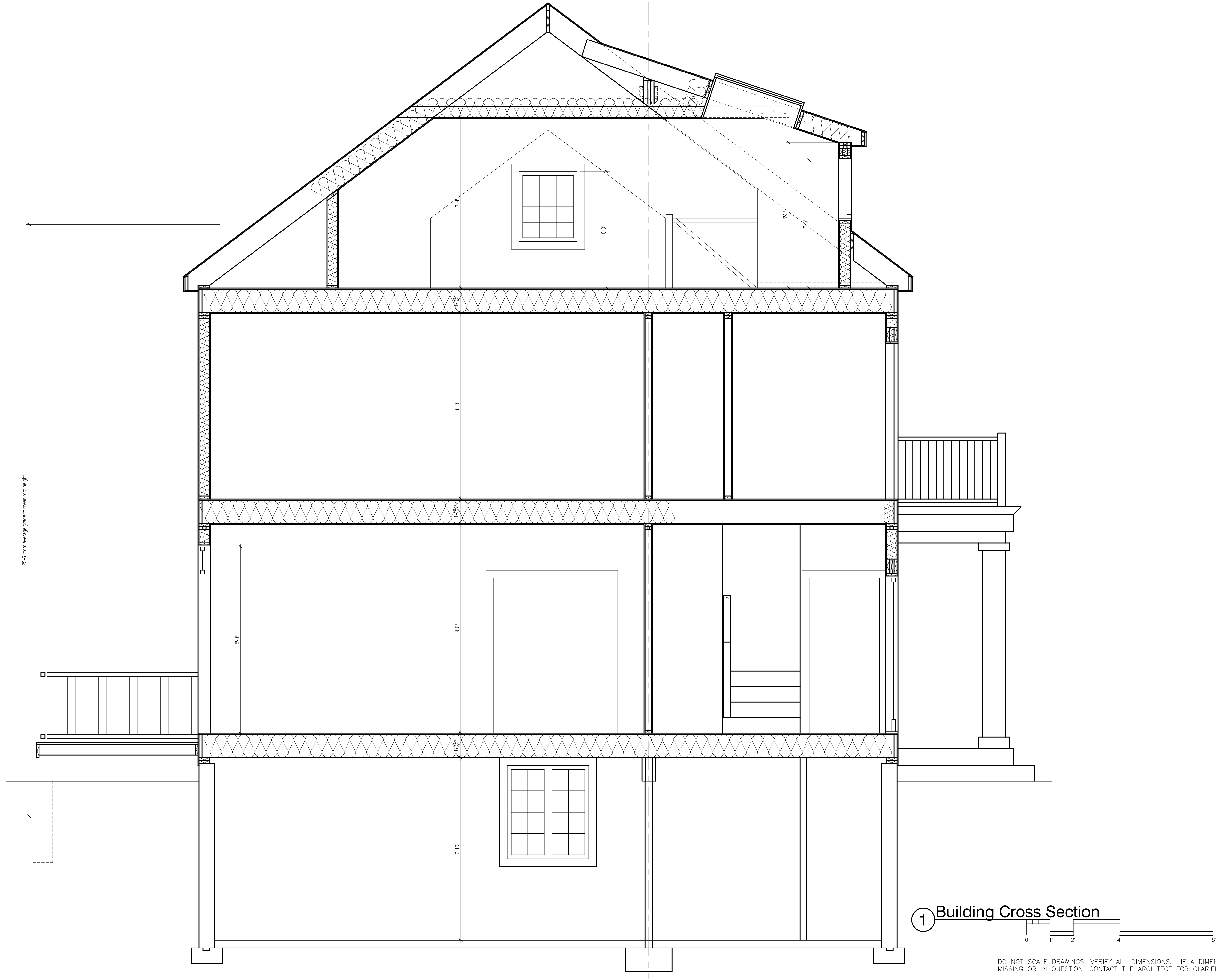
Proj. mngr. HPH
 Drawn by HPH

New Residence on Existing Foundation:
 Kenneth & Joanne Askildsen
 82 Mill River Road
 South Salem, NY 10590

Proposed Plan Layouts

A101

Project #
00916NY



1 Building Cross Section

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS. IF A DIMENSION IS MISSING OR IN QUESTION, CONTACT THE ARCHITECT FOR CLARIFICATION

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150 Sycamore Street
Glastonbury, Connecticut 06033
(860) 995-9671



ISSUE DATE	REMARKS
03/16/20	Permit Rvw
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01/19/21	Permit Rvw

Proj. mngr.	HPH
Drawn by	HPH

New Residence on Existing Foundation:
Kenneth & Joanne Askildsen
82 Mill River Road
South Salem, NY 10590

Proposed Cross
Section

A301
Project #
00916NY

SITE DATA:

OWNER / DEVELOPER:
PROJECT LOCATION

MR. DAVID MOORMAN
2 WEST RD.
SOUTH SALEM, NY, 10590

EXISTING TOWN ZONING:
PROPOSED USE:
TOWN TAX MAP DATA:
SITE AREA :
WATER FACILITIES:

GB, GENERAL BUSINESS
GB, GENERAL BUSINESS
SECTION 77.4, BLOCK 2, LOT 1
0.71 ACRES (30921 SF)
ON-SITE WELL

ZONING SCHEDULE:

ZONING DISTRICT: GB, GENERAL BUSINESS			
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	0.5 AC. (21,780 SF)	0.71 AC. (30,920 SF)	NONE
MINIMUM ROAD FRONTAGE:	100 FT.	422 FT.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK TO ROAD CL:	45 FT.	37.5 (1)	NONE (1)
FRONT SETBACK FROM LOT LINE:	20 FT.	19.6 FT. (1)	NONE (1)
REAR YARD SETBACK:	40 FT. (A)	52.8 FT.	NONE
ONE SIDE YARD SETBACK:	15 FT. (A)	22.2 FT.	NONE
ACCESSORY BUILDINGS:			
FRONT YARD SETBACK:	45 FT.	56.7 FT.	NONE
REAR YARD SETBACK:	15 FT. (A)	15.4 FT.	NONE
ONE SIDE YARD SETBACK:	15 FT. (A)	205.0 FT.	NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET/STORIES:	30 FT / 2-1/2 ST.	<30 FT/ < 2-1/2 ST.	NONE
ACCESSORY BUILDING - FEET/STORIES:	30 FT / 2-1/2 ST.	20 FT/ 1-1/2 ST.	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
TOTAL BUILDING COVERAGE:	20% OF LOT AREA (B)	7.7 % OF LOT AREA	NONE
TOTAL SITE COVERAGE:	60% OF LOT AREA	71.7 % OF LOT AREA (2)	NONE
TOTAL FLOOR AREA RATIO	0.40	0.13	NONE

- (1) PRE-EXISTING NON-CONFORMING
- (2) EXISTING SITE COVERAGE 66.9%
- A. WHERE A LOT LINE ABUTS LAND IN A RESIDENCE DISTRICT, THE SETBACK REQUIREMENTS FOR THAT RESIDENCE DISTRICT SHALL GOVERN.
- B. NO SINGLE STRUCTURE SHALL EXCEED MORE THAN 10,000 SF.
- C. AS SET FORTH IN SEC. 220-28C AND 220-27B(3)(a), NO SITE IMPROVEMENT SHALL BE LOCATED CLOSER THAN 100 FEET TO A RESIDENCE.
- D. AS SET FORTH IN SEC. 220-27B(3)(a), NO SITE IMPROVEMENT SHALL BE LOCATED CLOSER THAN 200 FEET TO A RESIDENCE DISTRICT, EXCEPT AS PROVIDED IN SEC. 220-27B(3)(a).
- E. BASED ON NET LOT AREA AS SET FORTH IN SEC. 220-27B(2).

PARKING SCHEDULE

REQUIRED PARKING:	1 SPACE PER 200 SF RETAIL FLOOR AREA 1 SPACE PER 250 SF OFFICE FLOOR AREA 1 SPACE PER 200 SF EXTERNAL RETAIL AREA
OFFICE: INTERIOR RETAIL: EXTERIOR RETAIL:	1582 S.F. @ 1 SPACES/250 S.F. = 6 SPACES 1582 S.F. @ 1 SPACES/200 S.F. = 8 SPACES 1952 S.F. @ 1 SPACES/200 S.F. = 10 SPACES TOTAL = 25 SPACES
PROVIDED PARKING:	18 STANDARD 4 LANDBANKED 2 HANDICAP
TOTAL PROVIDED PARKING:	24 SPACES
PARKING VARIANCE REQUIRED:	1 SPACES

IMPERVIOUS COVERAGE CALCULATIONS:	EXISTING	EXISTING TO BE REMOVED	NEW	NET
MAIN BUILDING	1,783' SQFT	--	--	1,783 SQFT
STORAGE BUILDING	845 SQFT	--	--	845 SQFT
PAVEMENT	1,296 SQFT	1,296 SQFT	1,791 SQFT	495 SQFT
GRAVEL	9,607 SQFT	0 SQFT	8,155 SQFT	17,762 SQFT
IMPACTED	7,148 SQFT	7,148 SQFT	0 SQFT	0 SQFT
TOTAL:	20,679 SQFT			22,181 SQFT
				NET INCREASE = 1,502 SQFT



VICINITY MAP

SCALE: 1" = 100'

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Janet Andersen, Chairman
Date

Lisa Pisera, Secretary
Date

TOWN ENGINEER'S CERTIFICATION
Reviewed for compliance with the Planning Board Resolution dated _____.

Kellard Sessions Consulting
Town Consulting Engineer
Date

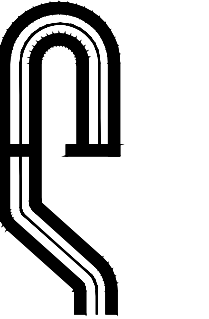
LEGEND

- PROPERTY LINE / RIGHT OF WAY
- =====

PROPOSED CURB
- ~~~~~

EXISTING STONE WALL

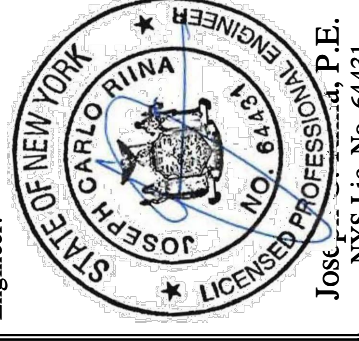
NOTE:
1. SURVEY INFORMATION FROM PLAN ENTITLED "GUARANTEED TO CHICAGO TITLE INSURANCE CO., FRANK AND TERESA CATALLO, SOUTH SALEM, WESTCHESTER COUNTY, NEW YORK" BY KULHANEK & PLAN, LAND SURVEYORS, PC, POUND RIDGE, NEW YORK DATED OCTOBER 11, 2001, REVISED DECEMBER 20, 2001.



PROJECT # 04-04

Site Design Consultants

Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.SiteDesignConsultants.com



Revisions:	No.	Date	Comments
	1.	4-6-18	Town Comm.
	2.	3-1-19	Town Comm.
	3.	8-12-19	Town Comm.
	4.	10-22-20	Town Comm.
	5.	10-20-20	Town Comm.
	6.	06-22-20	Town Comm.
	7.	10-26-20	Mitigation
	8.	12-19-20	Blldg Insp. Comm.

SCALE: 1" = 10'

DRAWN BY: MD

DATE: 03/28/18

TITLE SHEET

PROPOSED SITE PLAN

PREPARED FOR

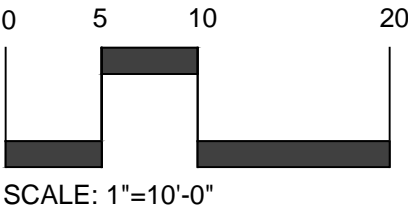
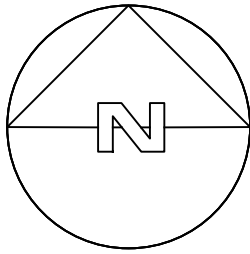
Pound Ridge Stone

2 West Road

Town Of Lewisboro
Westchester Co., New York

Sheet
1

of
10



SCALE: 1"=10'-0"

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Janet Andersen, Chairman

Date

Clorsdan Conran, Secretary

Date

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated

Joseph M. Carmela, P.E.
Kellard Sessions Consulting
Town Consulting Engineer

Date

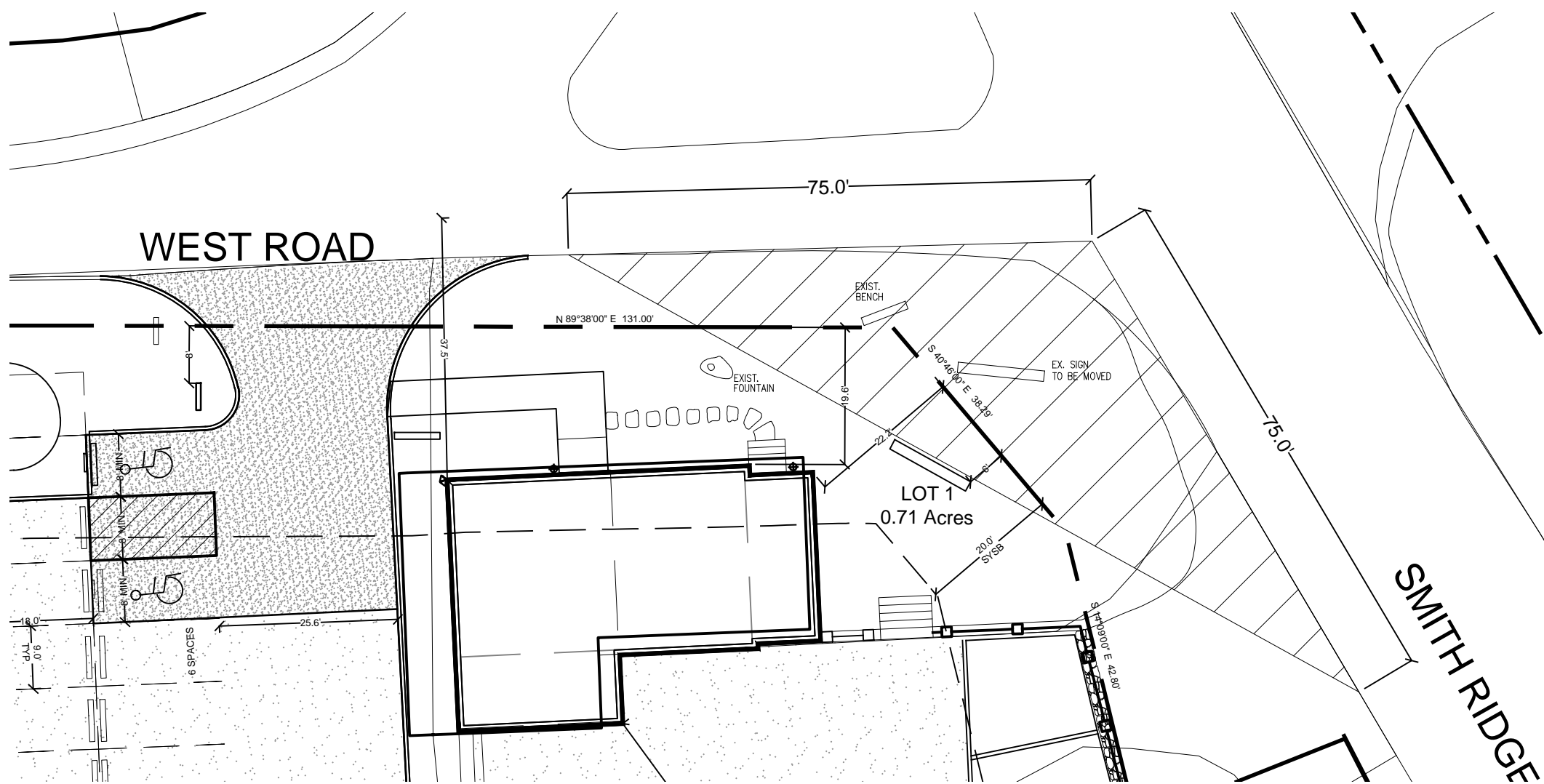
OWNER'S CERTIFICATION

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

David Moorman

Date

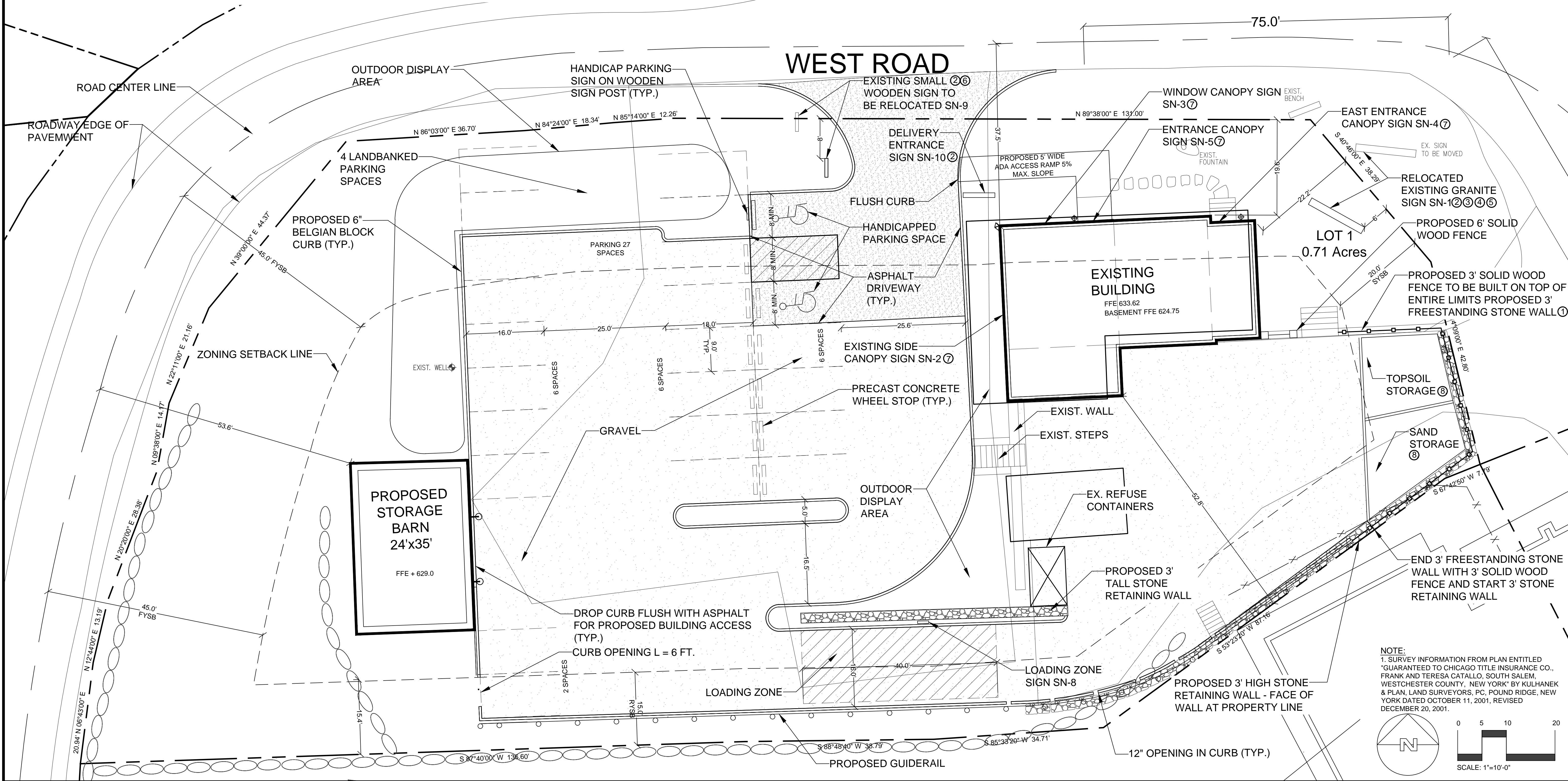
2 West Road, South Salem, NY 10590



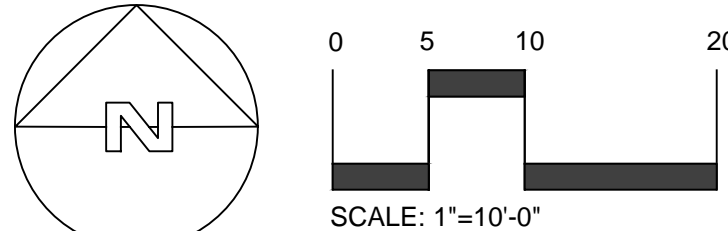
INTERSECTION SITE
LINE VIEW
SCALE: 1" = 20'

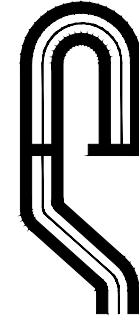
LIST OF VARIANCES:

- THE 3' FREESTANDING STONEWALL TOPPED BY A 3' SOLID WOOD FENCE SURROUNDING THE TOPSOIL AND SAND STORAGE IS LOCATED ON THE EASTERN SIDE LOT LINE WHEREAS MINIMUM OF 15' IS REQUIRED PER ARTICLE III, SECTION 220-12E(2)C.
- THERE ARE 3 FREESTANDING SIGNS WHEREAS ONLY ONE IS PERMITTED PER SECTION 185-5(F)(1).
- THE FREESTANDING SIGN SN-1 HAS AN AREA OF 19.5 SQUARE FEET WHEREAS 8 SQUARE FEET IS THE MAXIMUM PERMITTED PER SECTION 185-5F(1)(a).
- THE BOTTOM EDGE OF FREESTANDING SIGN SN-1 IS 2.5' ABOVE GRADE WHEREAS A MINIMUM OF 7' IS REQUIRED PER SECTION 185-6D(3).
- THE RELOCATION OF FREESTANDING SIGN SN-1 IS 6' FROM THE LOT LINE WHEREAS NO PART OF ANY FREESTANDING SIGN SHALL BE LOCATED WITHIN 15' OF ANY PROPERTY LINE, EXCEPT AS OTHERWISE PERMITTED BY THIS CHAPTER PER SECTION 185-6D(4).
- THE FREESTANDING SIGN SN-9 IS 8'-0" FROM THE LOT LINE WHEREAS NO PART OF ANY FREESTANDING SIGN SHALL BE LOCATED WITHIN 15' OF ANY PROPERTY LINE, EXCEPT AS OTHERWISE PERMITTED BY THIS CHAPTER PER SECTION 185-6D(4).
- THERE ARE A TOTAL OF 4 CANOPY SIGNS WHEREAS ONLY 1 IS PERMITTED PER SECTION 185-5F(3)(b).
- THE TOPSOIL/SAND STORAGE AREA IS OPEN WHEREAS STORAGE OF MATERIAL MUST BE ENCLOSED PER SECTION 220-24(D)(e)(d).
- THE PROPOSED SITE COVERAGE IS 71.7% WHEREAS 60% IS THE MAXIMUM PER ARTICLE IV SECTION 220-24E OF THE TOWN OF LEWISBORO ZONING CODE.



NOTE:
1. SURVEY INFORMATION FROM PLAN ENTITLED
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Engineer:



JOSEPH M. CARMELA
NO. 64431
LICENSED PROFESSIONAL ENGINEER
NYS Lic. No. 64431

Revisions:

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5	06-22-20	Town Comm.
6	10-26-20	Minigation
7	12-19-20	Bldg Insp Comm
8	3-26-21	Var. dates

SCALE: 1" = 10'

DRAWN BY: MD

DATE: 3/28/18

PROPOSED SITE PLAN
PREPARED FOR

Pound Ridge Stone

2 West Road

Town Of Lewisboro

Westchester Co., New York

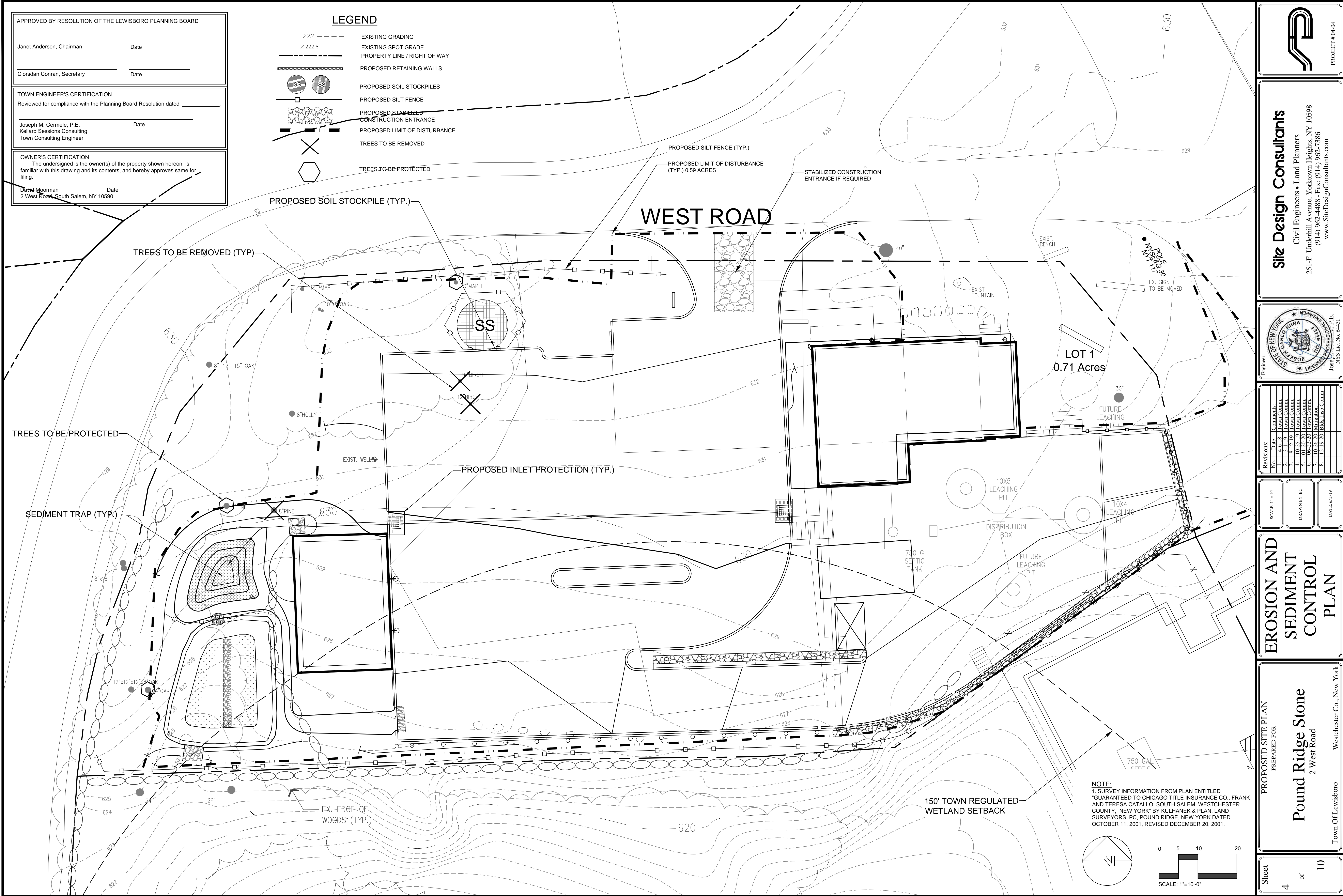
Sheet

2

of

10

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Janet Andersen, Chairman

Date

Ciorsdan Conran, Secretary

Date

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated

Joseph M. Cermele, P.E.

Date

Kellard Sessions Consulting
Town Consulting Engineer

OWNER'S CERTIFICATION

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Dave Moorman

Date

2 West Road, South Salem, NY 10590

LEGEND

- 222 --- EXISTING GRADING
- × 222.8 EXISTING SPOT GRADE
- PROPERTY LINE / RIGHT OF WAY
- PROPOSED RETAINING WALLS
- SS PROPOSED SOIL STOCKPILES
- PROPOSED SILT FENCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED LIMIT OF DISTURBANCE
- × TREES TO BE REMOVED
- TREES TO BE PROTECTED

WEST ROAD

LOT 1
0.71 Acres

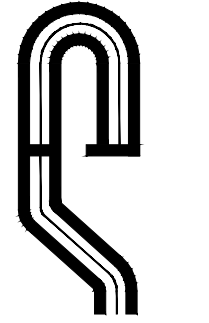
EROSION AND SEDIMENT CONTROL PLAN

PROPOSED SITE PLAN
PREPARED FOR
Pound Ridge Stone
2 West Road
TOWN OF Lewisboro Westchester Co., New York

NOTE:
1. SURVEY INFORMATION FROM PLAN ENTITLED "GUARANTEED TO CHICAGO TITLE INSURANCE CO. FRANK AND TERESA CATALLO, SOUTH SALEM, WESTCHESTER COUNTY, NEW YORK" BY KULHANEK & PLAN, LAND SURVEYORS, P.C., POUND RIDGE, NEW YORK DATED OCTOBER 11, 2001, REVISED DECEMBER 20, 2001.

Scale: 1"=10'-0"

Sheet 4 **of** 10



PROJECT # 04-04

Site Design Consultants


Civil Engineers • Land Planners

251-F Underhill Avenue, Yorktown Heights, NY 10598

(914) 962-4488 - Fax: (914) 962-7386

www.SiteDesignConsultants.com

Engineer:



Revisions:

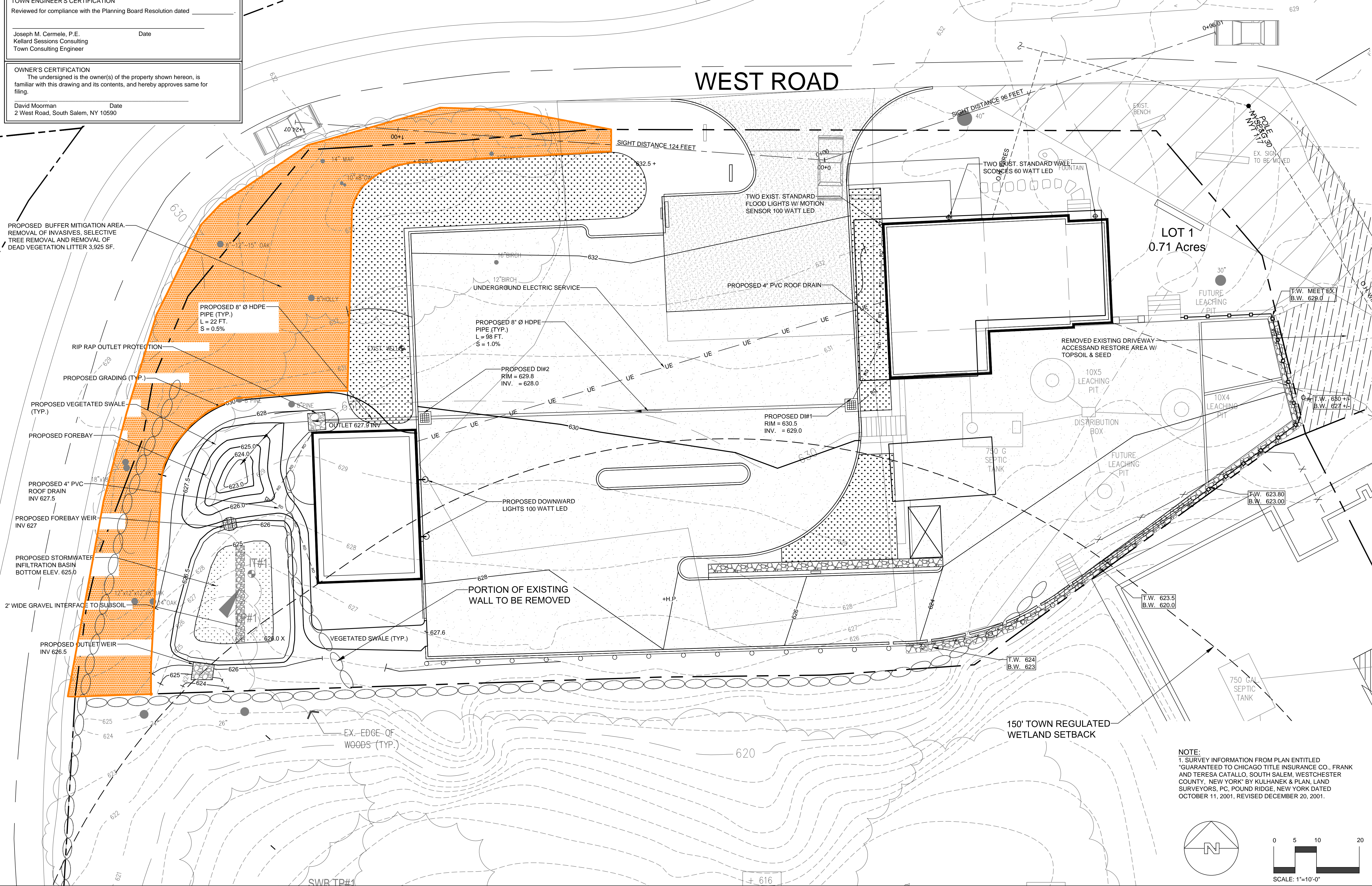
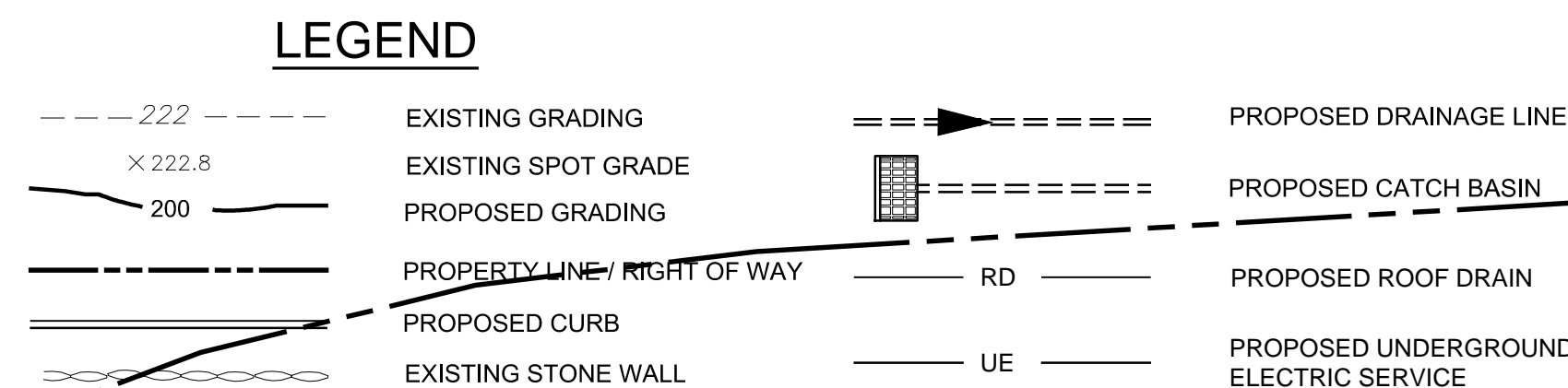
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6.	10-22-20	Town Comm.
7.	10-26-20	Minigation
8.	12-19-20	Blgd. Insp. Comm.



SCALE: 1"=10'

DRAWN BY: BC

DATE: 6/5/19

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD	
Janet Andersen, Chairman	Date
Ciorsdan Conran, Secretary	Date



PROPOSED SITE PLAN PREPARED FOR		Pound Ridge Stone 2 West Road		Westchester Co., New York																																		
Sheet 5		of		10																																		
IMPROVEMENT PLAN																																						
<div style="display: flex; justify-content: space-between;"><div>Revisions:</div><div>SCALE: 1" = 10'</div><div>DATE: 6/5/19</div></div> <table border="1" style="width: 100%; border-collapse: collapse;"><thead><tr><th>No.</th><th>Date</th><th>Comments:</th></tr></thead><tbody><tr><td>1.</td><td>4-6-18</td><td>Town Comm.</td></tr><tr><td>2.</td><td>3-1-19</td><td>Town Comm.</td></tr><tr><td>3.</td><td>4-2-19</td><td>Town Comm.</td></tr><tr><td>4.</td><td>10-25-19</td><td>Town Comm.</td></tr><tr><td>5.</td><td>01-20-20</td><td>Town Comm.</td></tr><tr><td>6.</td><td>06-22-20</td><td>Town Comm.</td></tr><tr><td>7.</td><td>10-26-20</td><td>Mitigation</td></tr><tr><td>8.</td><td>12-19-20</td><td>Bldg Insp Comm.</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></tbody></table> <div style="display: flex; justify-content: space-between; margin-top: 10px;"><div>Engineer: </div><div>JOSEPH P. ROSSI, P.E. NYS Lic. No. 64431</div></div>						No.	Date	Comments:	1.	4-6-18	Town Comm.	2.	3-1-19	Town Comm.	3.	4-2-19	Town Comm.	4.	10-25-19	Town Comm.	5.	01-20-20	Town Comm.	6.	06-22-20	Town Comm.	7.	10-26-20	Mitigation	8.	12-19-20	Bldg Insp Comm.						
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1. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.N.L.A STANDARDS.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
3. ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR, FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE MOVED, WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE, AT HIS OWN EXPENSE.
6. ALL TREE, SHRUB AND HERBACEOUS PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL, 12" DEEP. SEEDED AREAS, 4".
7. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT & ENGINEER TO COORDINATE THEIR INSTALLATION.
8. PLANTINGS WILL BE INSTALLED BETWEEN APRIL AND JUNE OR LATE AUGUST AND OCTOBER.
9. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
10. SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
11. PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
12. WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
13. CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
14. CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE.
15. TOPSOIL AND SEED WITH GENERAL SEED MIX ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT COVERED BY OTHER SITE IMPROVEMENTS. MULCH ALL SEEDED AREAS WITH WEED FREE HAY DIRECTLY AFTER SEED HAS BEEN APPLIED.

1. FERTILIZE ACCORDING TO SOIL TEST OR AT THE RATE OF 1000 LBS. PER ACRE WITH 10-10-10 FERTILIZER. 40% OF THE NITROGEN TO BE A SLOW RELEASE FORM. LIME TO A PH OF 6.5 AT A RATE OF 100 LBS. PER 1000 SF.

2. SEED MIXES WILL BE SOWN WITH A HAND-HELD SPREADER. THINLY RAKE TO ENSURE PROPER SOIL-SEED CONTACT. SEEDING CAN TAKE PLACE ON FROZEN SOIL. AS THE FREEZING AND THAWING WILL WORK THE SEED INTO THE SOIL. WHEN PLANTING IN THE SPRING, AN EARLY SOIL THERE IS SUFFICIENT RAINFALL. IF SPRING CONDITIONS ARE DRIER THAN USUAL, WATERING MAY BE REQUIRED. A NON-INVASIVE ANNUAL SUCH AS WINTER RYE MAY BE ADDED TO THE MIX TO OBTAIN SOIL STABILIZATION COVER IN THE FALL. DO NOT ADD ANNUAL RYEGRASS, KENTUCKY BLUEGRASS OR PERENNIAL RYEGRASS. ALL SEED MIXES SHOULD BE DILUTED WITH FILLER SUCH AS SAND TO ENSURE UNIFORM COVERAGE. THE SEEDED AREA IS TO BE MULCHED.

GENERAL SEED MIX:
CLCC ULTIMATE II TURF TYPE TALL FESCUE MIX
AS SUPPLIED BY METRO TURF SPECIALISTS, OR APPROVED EQUAL.

20% SR8650 2T Tall Fescue
15% Guardian 4T Tall Fescue
15% Sideways Perennial Ryegrass
15% Grande 3T Tall Fescue
15% Mighty Perennial Ryegrass
10% Fieldier Kentucky Bluegrass
10% Arcadia Kentucky Bluegrass

**NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND
WETTEST SITES:**
IS QUOTED BY NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL.

SPECIES: LITTLE BLUE RYE, (ELYMUS VIRGINICUS), CREEPING RED FESCUE,
(FESTUCA RUBRA), VIGOROUS RYEGRASS (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM
(ANDROPOGON GERARDII), FOX SEDGE, (CAREX ULPINOSTIDA), SWITCH GRASS,
(PANICUM VIRGINICUM), ROUGH BENTGRASS, (AGROSTIS SCABRA), NEW ENGLAND
BLUEGRASS, (POA PENNSYLVANICA), CRACK DOCK, (SPARGANNA PERFORATUM), GRASS
LEAVED GOLDENROD, (EUTHAMIA GRAMINEA), GREEN BULRUSH, (SCIRPUS
ATROVIRENS), BLUE VERNAIN, (VERAINA HASTATA), SOFT RUSH, (JUNCUS EFFUSUS),
WOOL GRASS, (SORPUS CYPERINUS).

APPLICATION RATE: 35 LBS/AC OR 1,250 SQ. FT/LB

**FINAL SEED MIX TO BE DETERMINED AFTER DRAINAGE HAS BEEN INSTALLED AND
REGARDING ON SLOPES IS COMPLETE.**

Janet Andersen, Chairman	Date
Clorsdan Conran, Secretary	Date

Reviewed for compliance with the Planning Board Resolution dated _____

Joseph M. Cermele, P.E.
Kellard Sessions Consulting
Town Consulting Engineer

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

David Moorman
2 West Road, South Salem, NY 10590

<u>SYMBOL</u>	<u>QTY.</u>	<u>LATIN NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>REMARKS</u>	<u>TYPE</u>
AR	5	ACER RUBRUM "RED SUNSET"	RED MAPLE	2-1/2"-3" CAL	WELL FORMED, 6' CLEAR TRUNK	TREE
PA	7	PICEA ABIES	NORWAY SPRUCE	6'-7' HT	B&B, FULL TO BOTTOM	TREE
PS	3	PINUS STOBUS	WHITE PINE	6'-7' HT	B&B, FULL TO BOTTOM	TREE
Iga	7	ILEX GLABRA "SHAMROCK"	ILEX GLABRA "SHAMROCK"	6'-7' HT	B&B, FULL TO BOTTOM	TREE
Rm	6	RHODODENDRON MAXIMUM	RHODODENDRON MAXIMUM	2'-3' HT	CONTAINER, FULL	SHRUB
Sj	9	SPIREA JAPONICA "LITTLE PRINCESS"	LITTLE PRINCESS SPIREA	2'-3' HT	CONTAINER, FULL	SHRUB
VI	9	VIBURNUM LENTAGO	NANNYBERRY	2'-3' HT	CONTAINER, FULL	SHRUB
vm	90	VINCA MINOR "BOWLES VARIETY"	PERIWINKLE	BAREROOT		GROUND COVER



WEST ROAD

PROPOSED GROUND COVER

DISPLAY AREA - MULCH COVER (TYP.)

EXISTING TREE

PROPOSED TREE

PROPOSED SHRUB

OUTDOOR DISPLAY AREA MULCH COVER

TREE TO BE REMOVED

TREE TO BE PROTECTED

EXIST. WOODS

MEADOW GRASS MIX

EX-EDGE OF WOODS (TYP.)

LOT 1
0.71 Acres

EX. SIGN TO BE MOVED

EXIST. FOUNTAIN

EXISTING LAWN AND LANDSCAPING TO BE MAINTAINED

AREA OF REMOVED DRIVEWAY ACCESS SHALL BE TOPSOILED AND SEED

LEGEND

- PROPERTY LINE / RIGHT OF WAY
- PROPOSED CURB
- EXISTING STONE WALL
- PROPOSED TREE
- PROPOSED SHRUB
- PROPOSED GROUND COVER

150' TOWN REGULATED WETLAND SETBACK

SCALE: 1"=10'-0"

PROJECT # 04-04

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SCALE: 1" = 10'

DRAWN BY: BC

DATE: 6/5/19

LANDSCAPE PLAN

PROPOSED SITE PLAN
PREPARED FOR

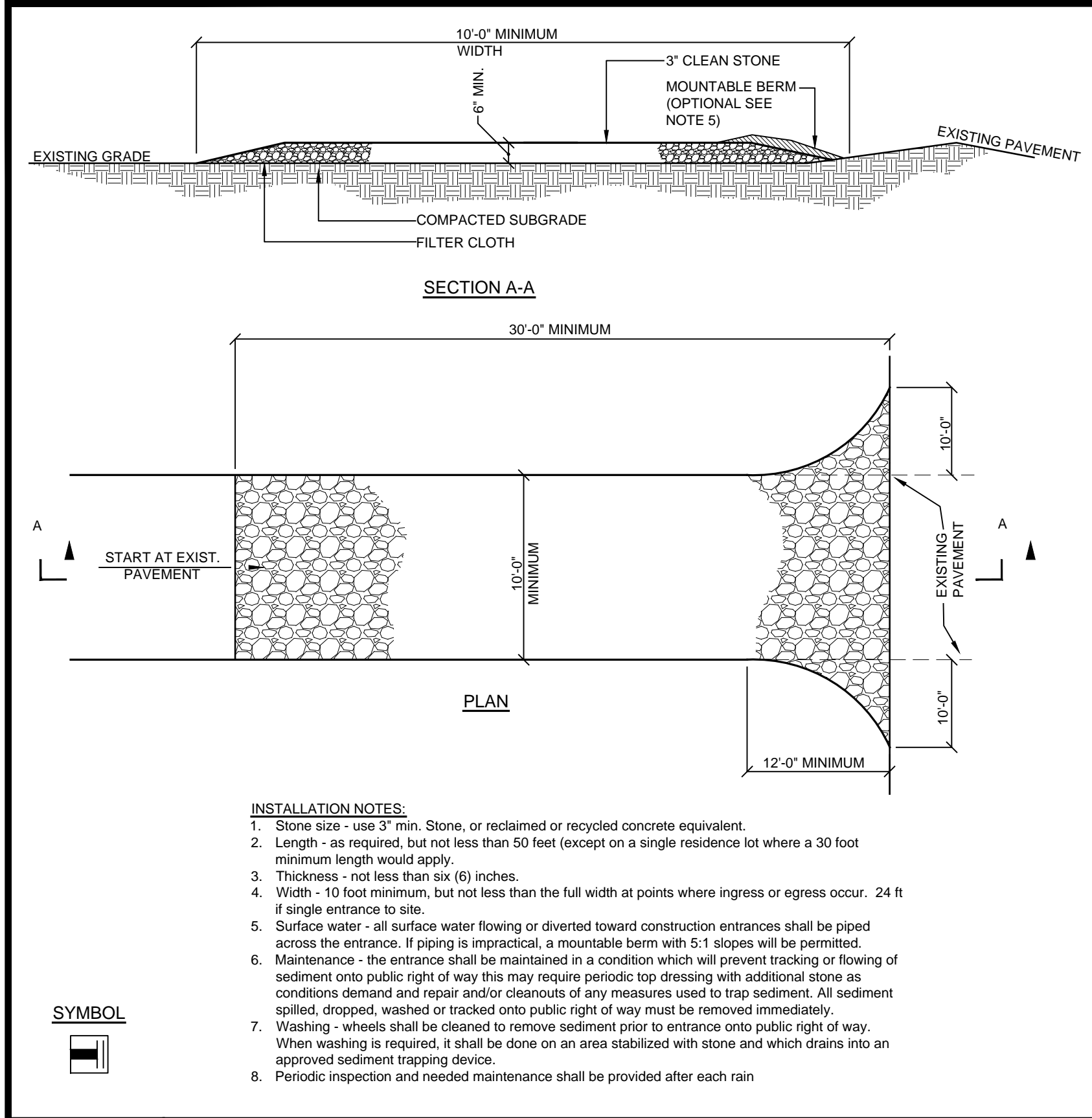
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Pound Ridge Stone
2 West Road

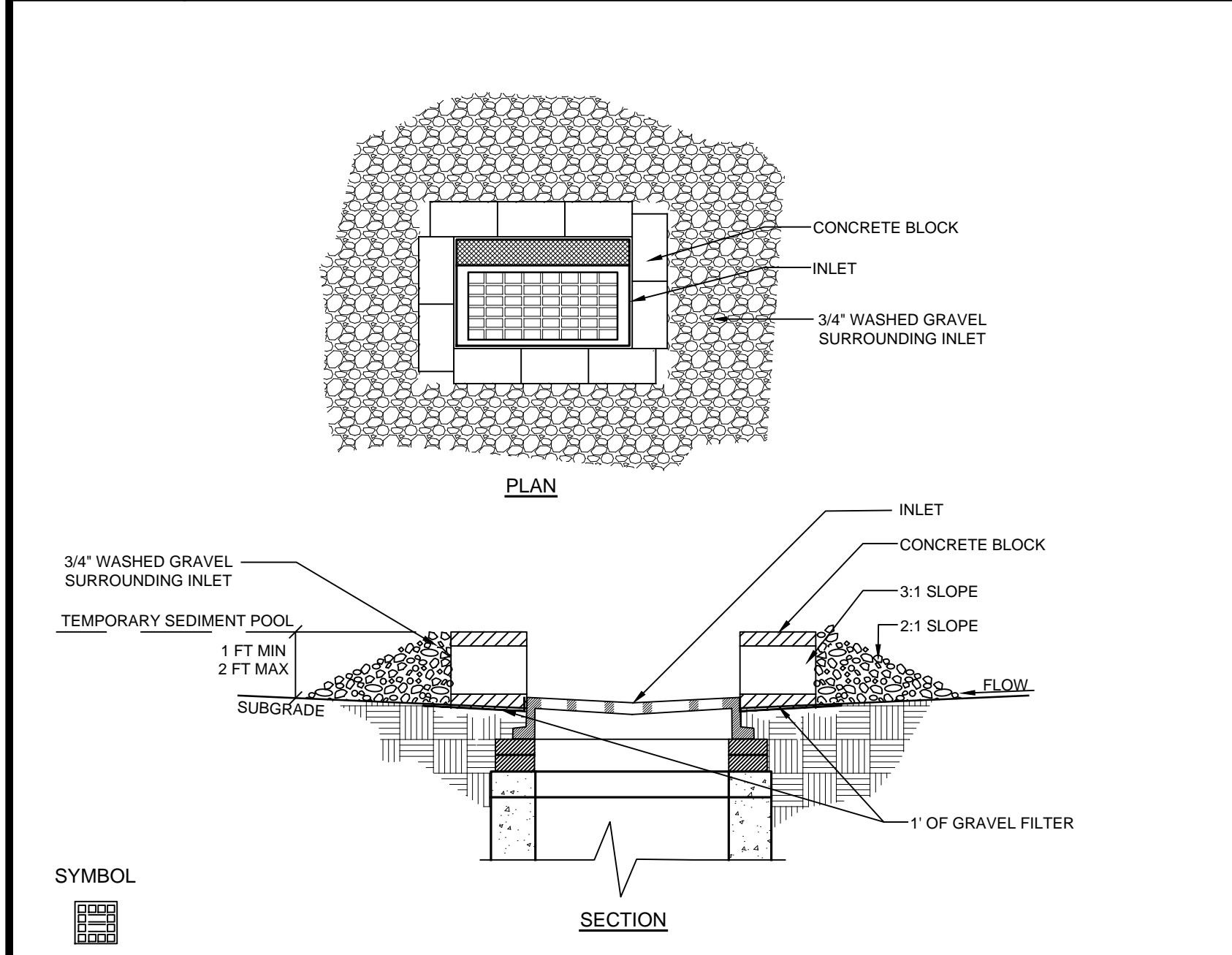
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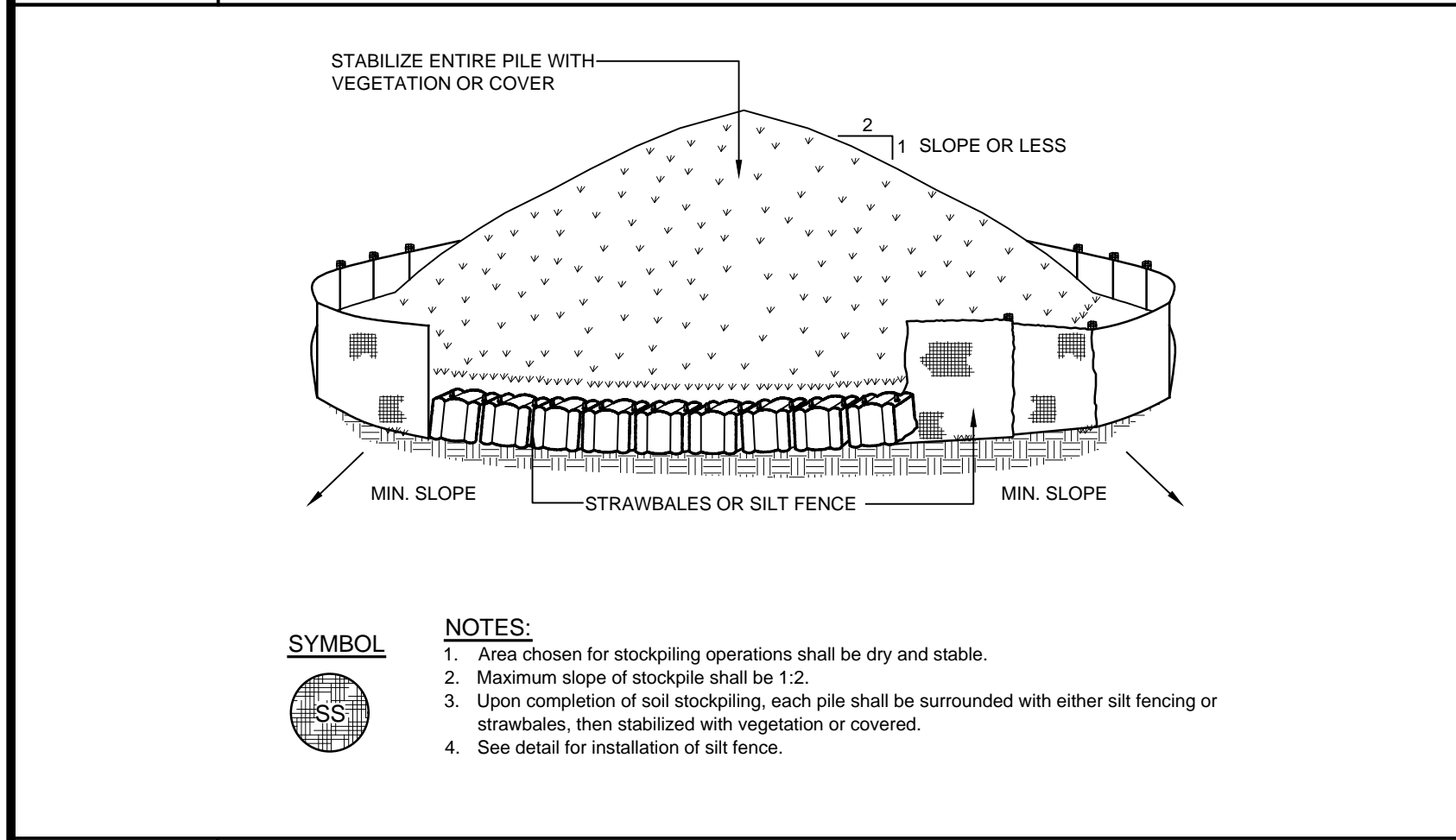
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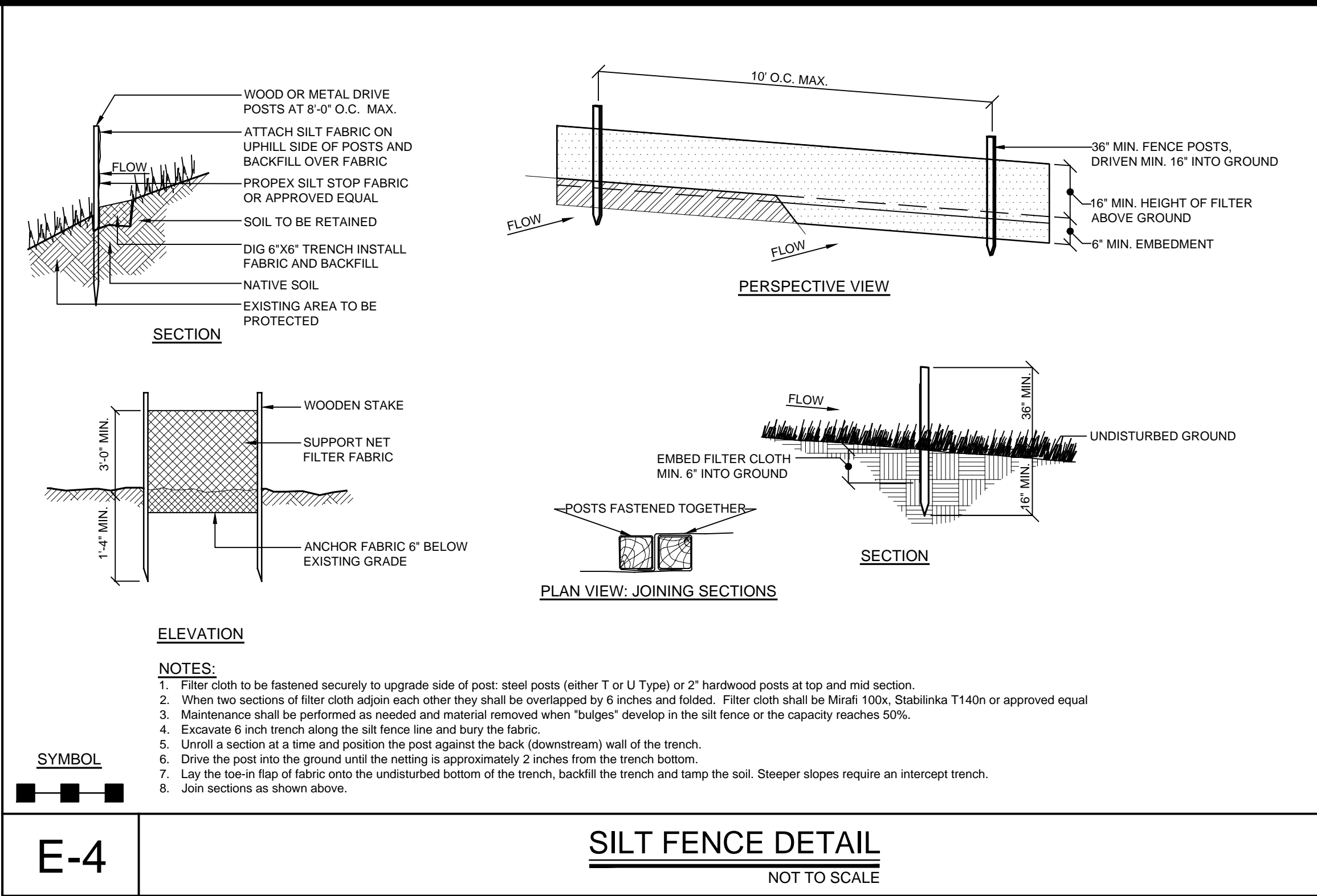
E-1 **STABILIZED CONSTRUCTION ENTRANCE DETAIL**
NOT TO SCALE



E-2 **INLET PROTECTION DETAIL**
NOT TO SCALE



E-3 **SOIL STOCKPILE DETAIL**
NOT TO SCALE



E-4 **SILT FENCE DETAIL**
NOT TO SCALE

GENERAL EROSION CONTROL NOTES:

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
- Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC.
- All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
- All slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufactures requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place all of the volume of seed mix prior to laying net, or as recommended by the manufacturer.
- To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
- Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.
- Contractor shall be responsible for construction inspections as per NYSDEC GP-0-15-002 and Town of Lewisboro Code.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

N.Y.S.D.E.C. GP-0-15-002 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.

- Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
- Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
- Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
- Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or silt fence. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
- For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
- All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
- All sites shall be stabilized with erosion control materials within 7 days of final grading.
- Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	INSP.	INSP.	INSP.	CLEAN/ REPLACE	REMOVE
WHEEL CLEANER	CLEAN	----	----	----	REPLACE	REMOVE
INLET PROTECTION	---	INSP.	INSP.	CLEAN	REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

CONSTRUCTION SEQUENCE:

Refer to the Plan Set for all plans and details which relate to Construction Sequence.

- A licensed surveyor must define infrastructure locations, limits of disturbance, stormwater basin limits, and grades in the field prior to start of any construction. Limits of disturbance shall be marked with the installation of construction fence or approved equal. The extents of the stormwater management system shall be cordoned off to minimize the disturbance on this area.
- Install all perimeter erosion control measures, construction entrance as shown on the Erosion and Sediment Control Plan and the associated Details. Install silt fencing at the bottom of slopes.
- Strip site, clear vegetation, and place topsoil in stockpile locations shown on the plan. Contractor to limit exposure of denuded soils by providing temporary stabilization for work areas that will remain undisturbed for over seven (7) days. Excess material shall be stockpiled in the location shown on the plan as grades allow. Material unable to be stockpiled shall be removed from the site.
- Begin construction of the Infiltration Basin Forebay to be used as a sediment trap. Block lower swale with haybales.
- Once the sediment trap is on place construction of the garage structure foundation can begin as well as the rough grading of the driveway, and parking area.
- Begin construction of building and retaining walls. Walls shall be completed prior to the installation of the proposed driveway and parking area.
- Install curbing and bring parking area and drive to final subgrade.
- Install drainage collection system. Protect trenches and open excavations from erosion. All inlet protection shall be put in place.
- Install base course in all parking and driveway areas. Stabilize all open areas with seed and mulch. During site construction maintain and re-establish as required erosion control and stabilization measures as required by the site plan and details.
- Upon stabilization of a majority of the site and at the direction of the Engineer begin construction of the infiltration basin. Shape and install gravel interface and construct filtered outlet. Prevent un-filtered surface water from reaching the basin by blocking inlets or pipes or by installing sediment control devices as per plan. Once the Engineer feels final stabilization is complete the sediment control devices may be removed.
- Construct remainder of building, driveway and parking areas. Backfill curbs, grade, place final soil topping and put in place permanent vegetative cover over all disturbed areas, landscape beds, slopes, etc.
- Once gravel top course is installed, lower swale and infiltration basin outlet may be unblocked.
- Once site stabilization has taken place (An area shall be considered to have achieved final stabilization when it has a minimum uniform 80% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements), remove all temporary erosion and sediment controls, unplug the drainage system to allow runoff to enter the stormwater management system.

Winter Stabilization Notes:

If construction activities are expected to extend into or occur during the winter season the contractor shall anticipate proper stabilization and sequencing. Construction shall be sequenced such that wherever possible areas of disturbance that can be completed and permanently stabilized shall be done by applying and establishing permanent vegetative cover before the first frost. Areas subject to temporary disturbance that will not be worked for an extended period of time shall be treated with temporary seed, mulch, and/or erosion blankets.

Control to be Inspected	Inspection Frequency	Maintenance Threshold Criteria	Maintenance Procedure
Drain Inlets	Quarterly	3"+ accumulation sediment	Remove debris and sediment
Stormwater Basin	Quarterly	Ponding for more than 48 hours	Remove accumulated sediment and debris; weed and replace plants and mulch as needed

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

- The pH of the material shall be 5.5 to 7.6.
- The organic content shall not be less than 2% or more than 70%.
- Gradation:

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

- Site preparation:
 - Install erosion control measures.
 - Scarify compacted soil areas.
 - Lime as required to pH 6.5.
 - Fertilize with 10-6-4 4 lbs/1,000 S.F.
 - Incorporate amendments into soil with disc harrow.
- Seed mixtures for use on swales and cut and fill areas.

MIXTURE	LBS./ACRE
ALT. A	KENTUCKY BLUE GRASS 20 CREEPING RED FESCUE 28 RYE GRASS OR REDTOP 5
ALT. B	CREEPING RED FESCUE 20 REDDTOP 2 TALL FESCUE/SMOOTH BLOOMGRASS 20

- SEEDING
 - Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
 - Apply soil amendments and integrate into soil.
 - Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
 - Stabilize seeded areas in drainage swales.
 - Irrigate to fully saturate soil layer, but not to dislodge planting soil.
 - Seed between April 1st and May 15th or August 15th and October 15th.
 - Seeding may occur May 15th and August 15th if adequate irrigation is provided.

TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:

- Install erosion control measures.
- Scarify areas of compacted soil.
- Fertilize with 10-10-10 at 400/acre.
- Lime as required to pH 6.5.

SEED SPECIES:

MIXTURE	LBS./ACRE
Rapidly germinating annual ryegrass (or approved equal)	20
Perennial ryegrass	20
Cereal oats	36

SEEDING:

Same as permanent vegetative cover

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD	
Janet Andersen, Chairman	Date
Ciorsdan Conran, Secretary	Date
TOWN ENGINEER'S CERTIFICATION Reviewed for compliance with the Planning Board Resolution dated _____.	
Joseph M. Cermele, P.E. Kellard Sessions Consulting Town Consulting Engineer	Date
OWNER'S CERTIFICATION The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.	
David Moorman 2 West Road, South Salem, NY 10590	Date

PROJECT # 04-04

Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.SiteDesignConsultants.com

Engineer: Joseph M. Cermele, P.E.
NYS Lic. No. 64431

Revisions:	No.	Date	Comments:
	1	4-6-18	Town Comm.
	2	3-1-19	Town Comm.
	3	8-15-19	Town Comm.
	4	10-20-20	Town Comm.
	5	06-22-20	Town Comm.
	6	10-26-20	Mitigation
	7	12-19-20	Blgd Insp Comm.
	8		

SCALE: 1" = 10'

DRAWN BY: BC

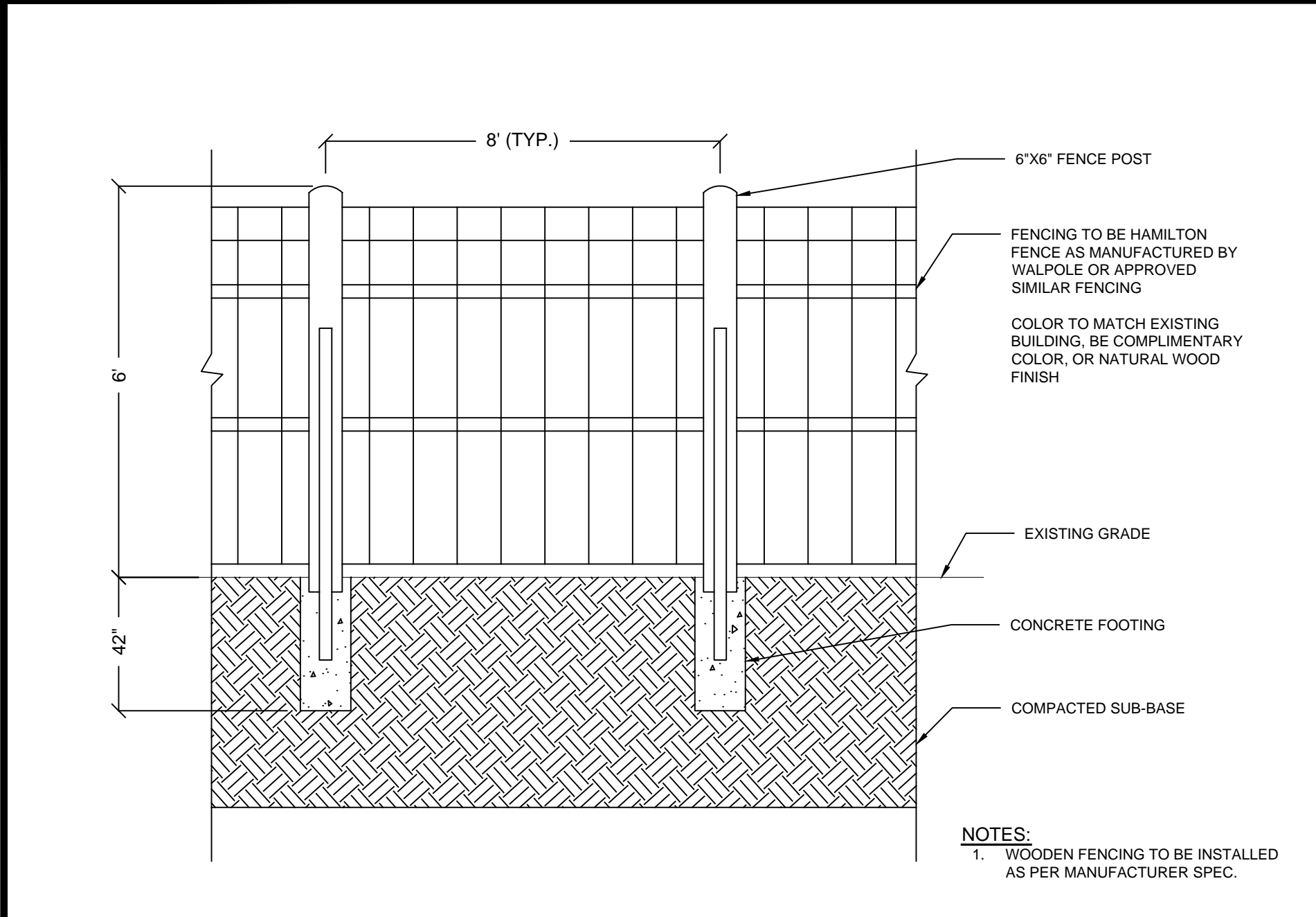
DATE: 6/4/19

ESC NOTES & DETAILS

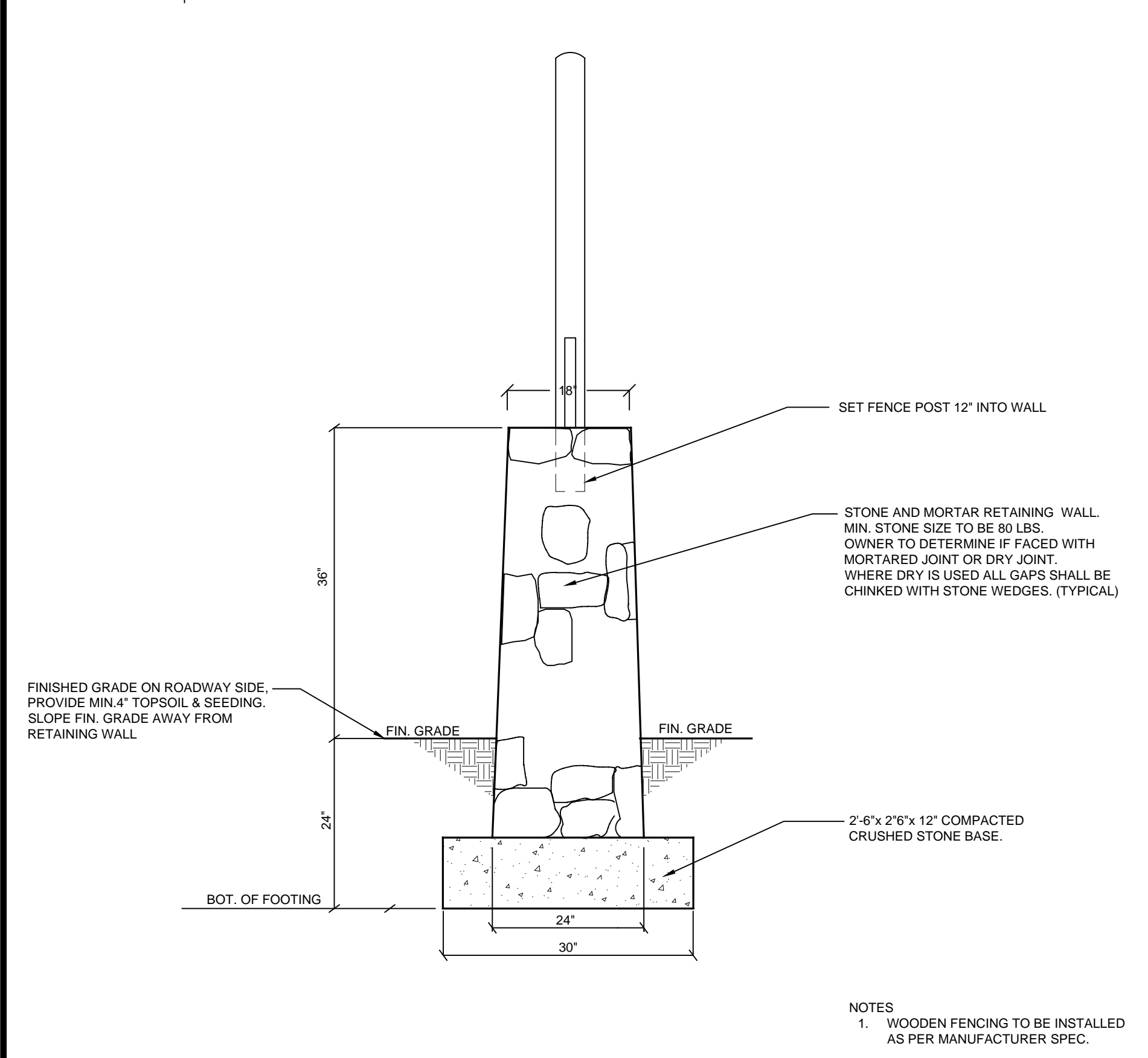
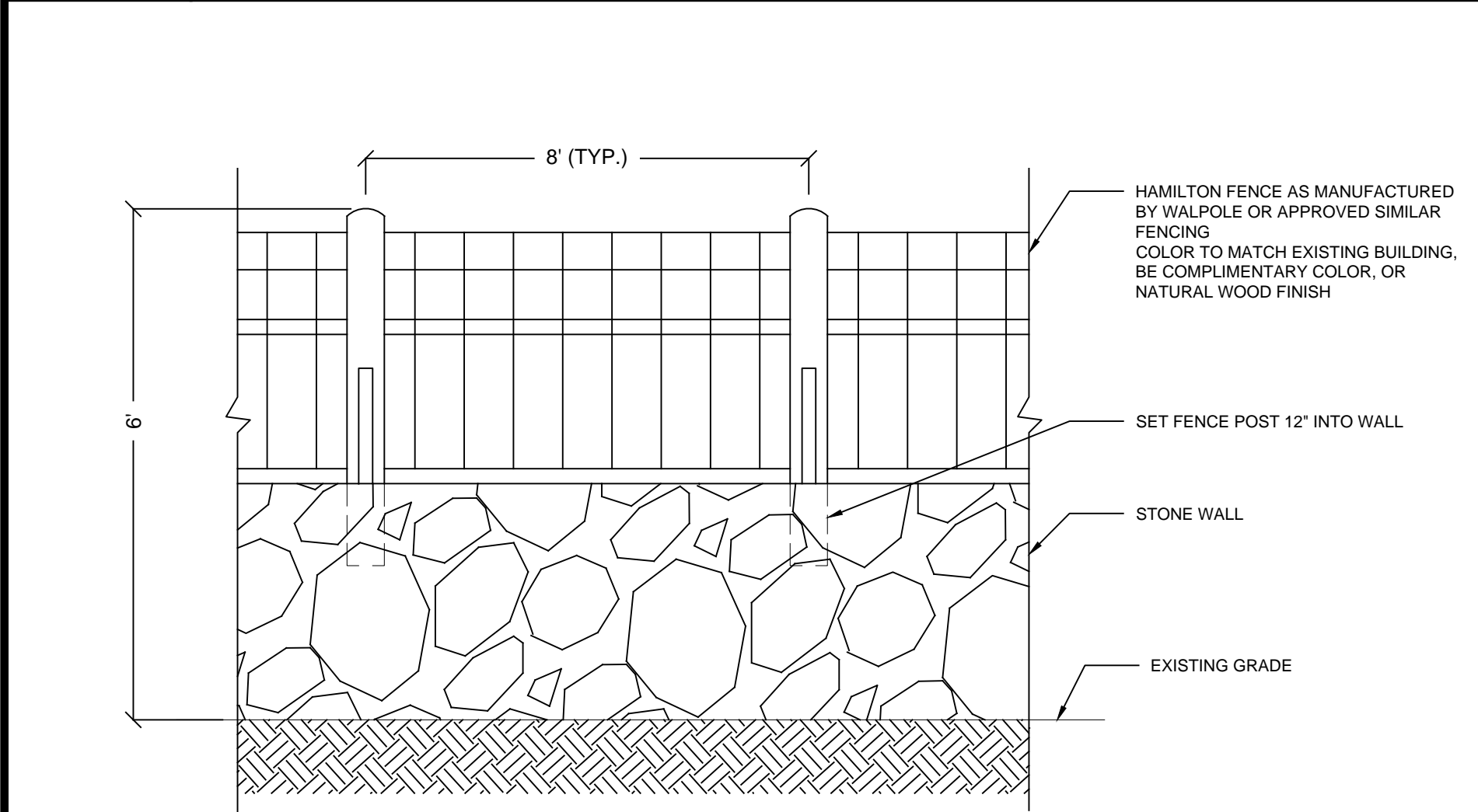
PROPOSED SITE PLAN
PREPARED FOR

Pound Ridge Stone
2 West Road
Westchester Co., New York

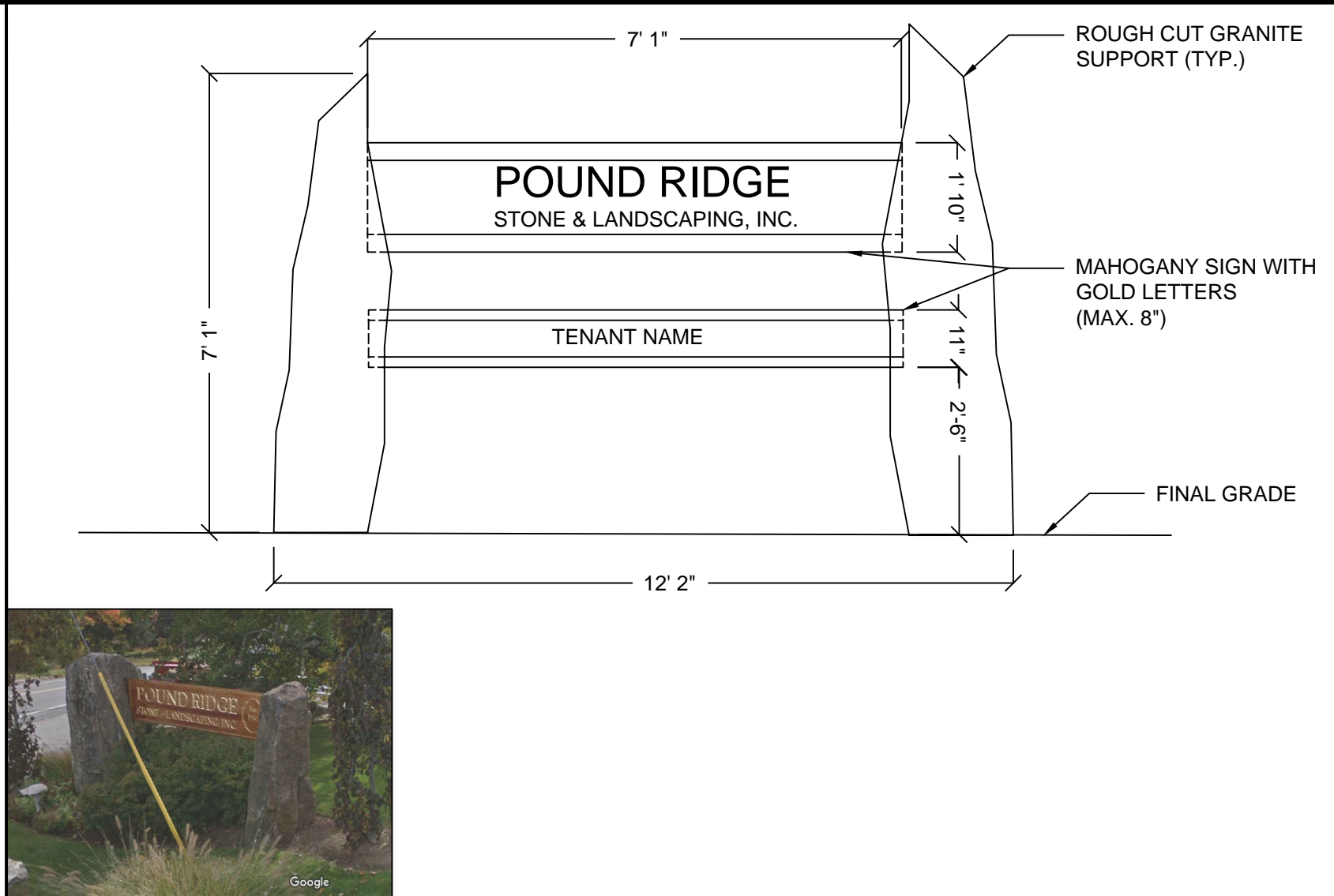
Sheet 7 of 10



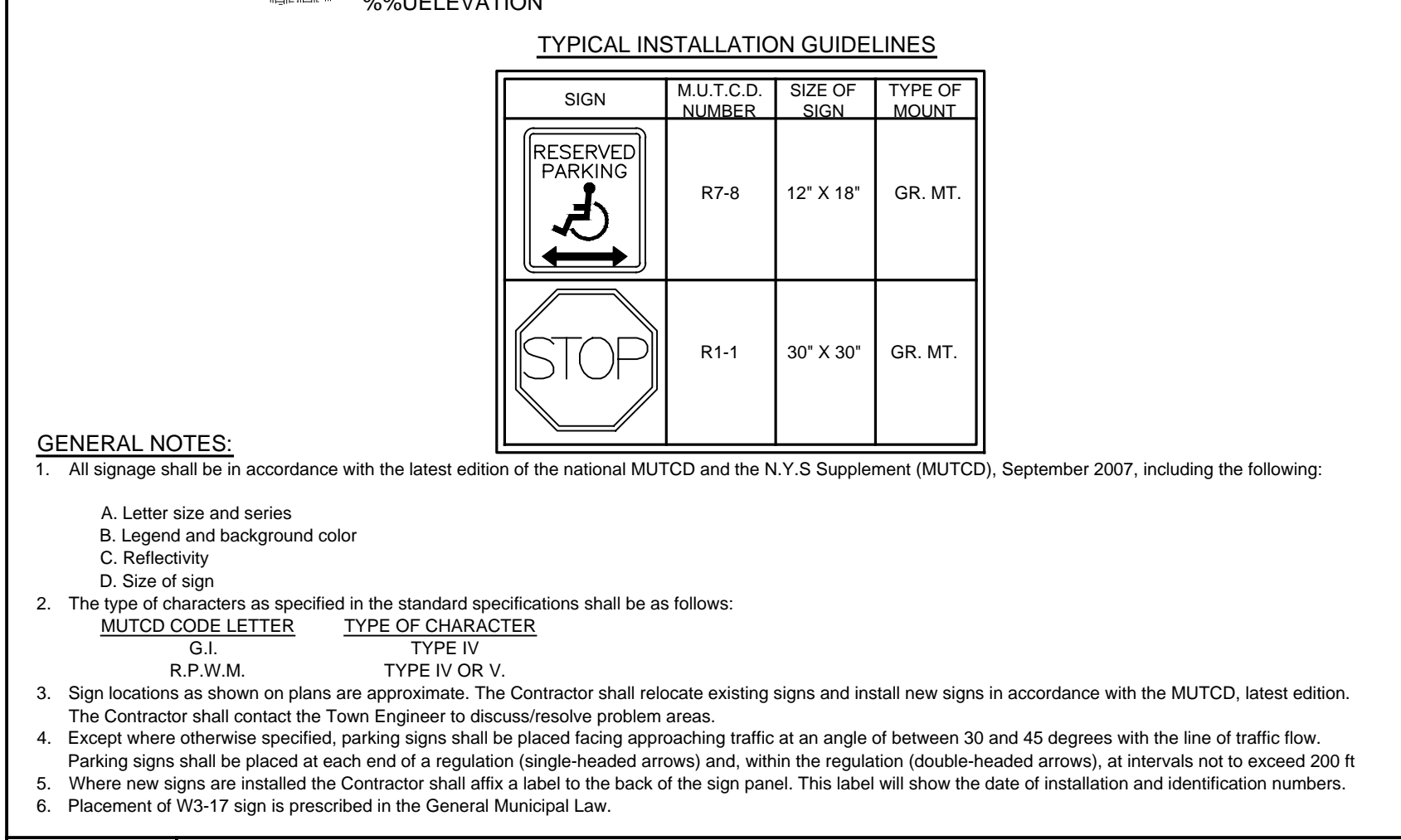
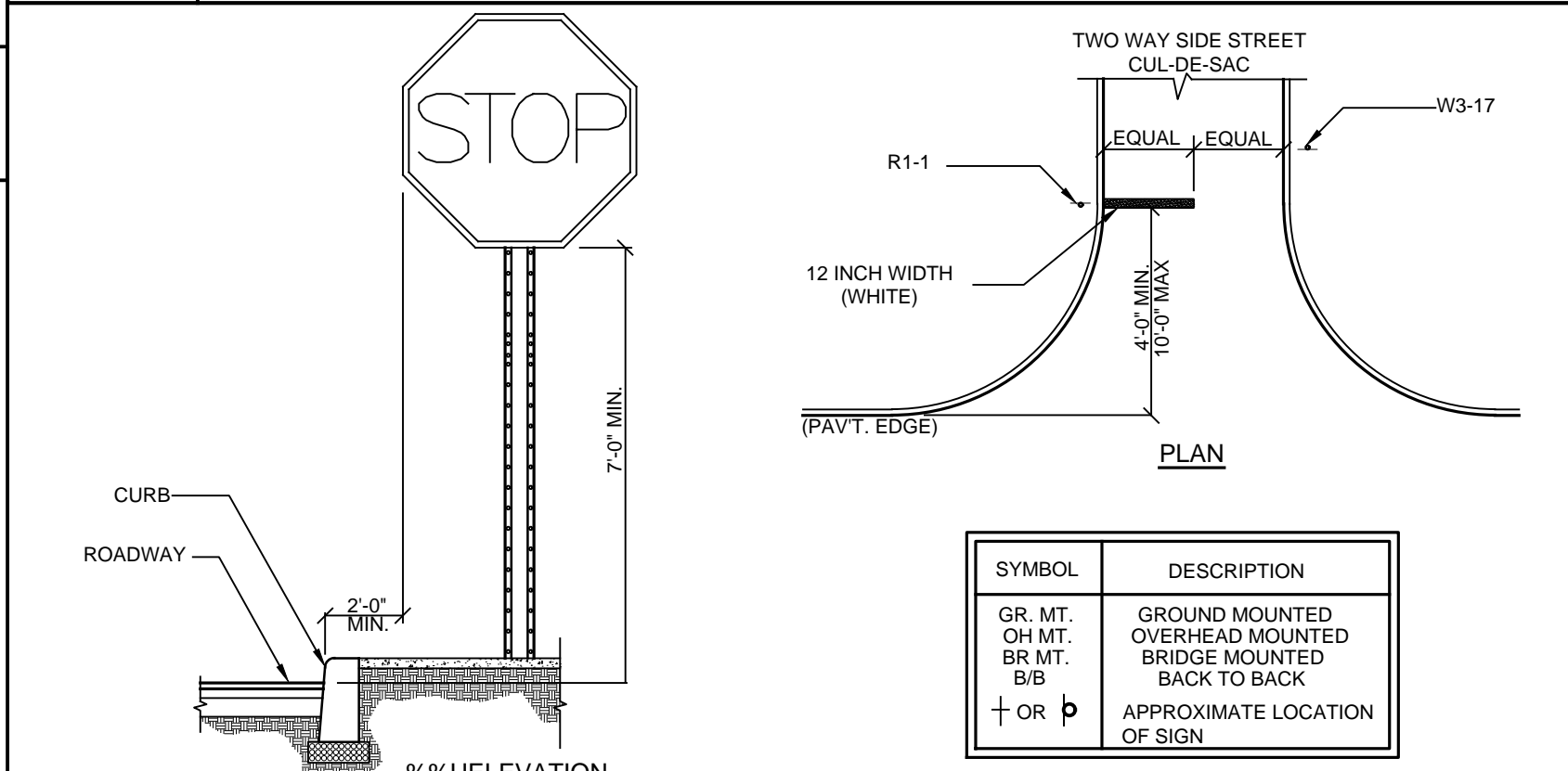
F-1 SOLID WOOD FENCE DETAIL NOT TO SCALE



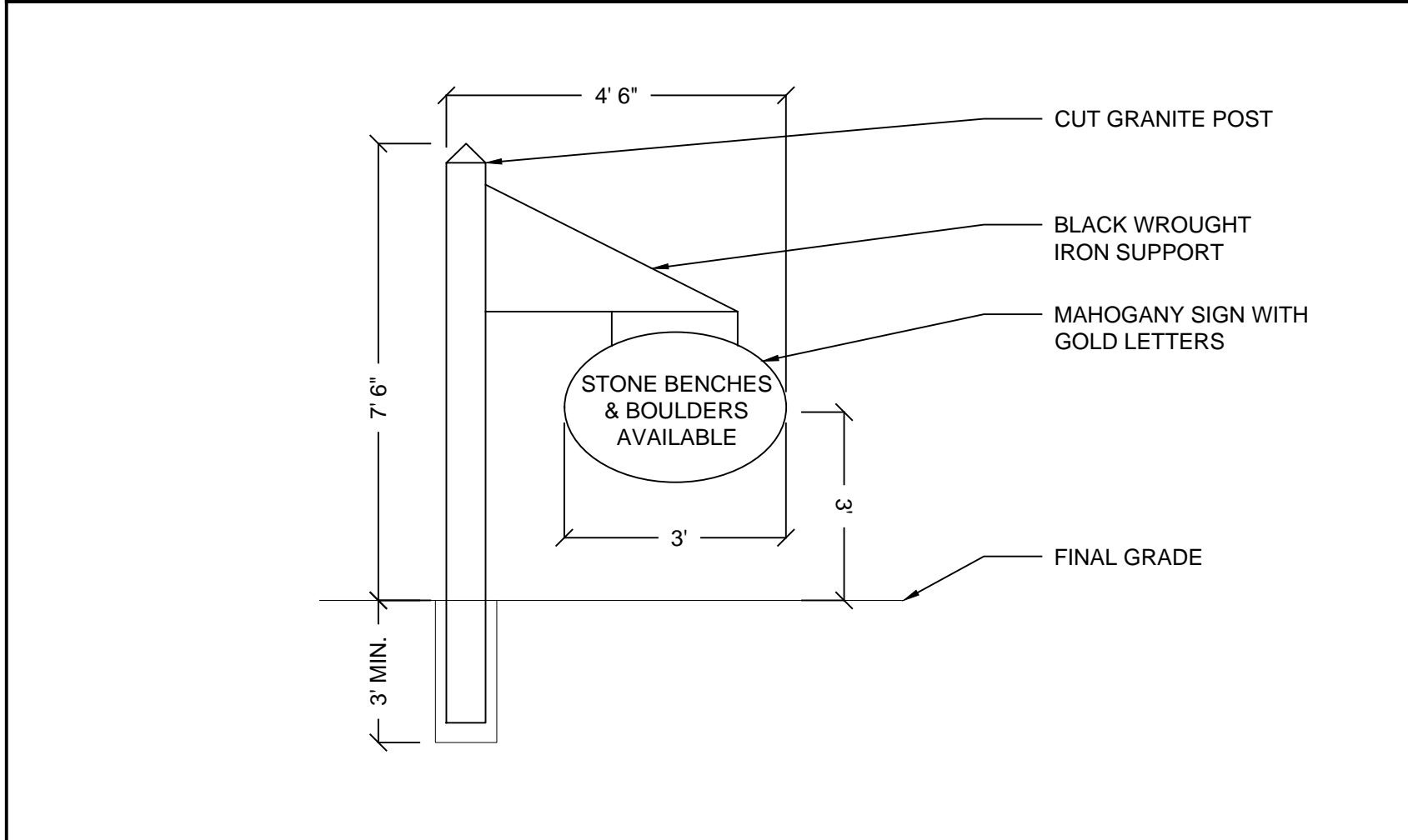
F-2 SOLID WOOD FENCE ON FREESTANDING STONE WALL DETAIL NOT TO SCALE



SN-1 EXISTING GRANITE SIGN DETAIL NOT TO SCALE



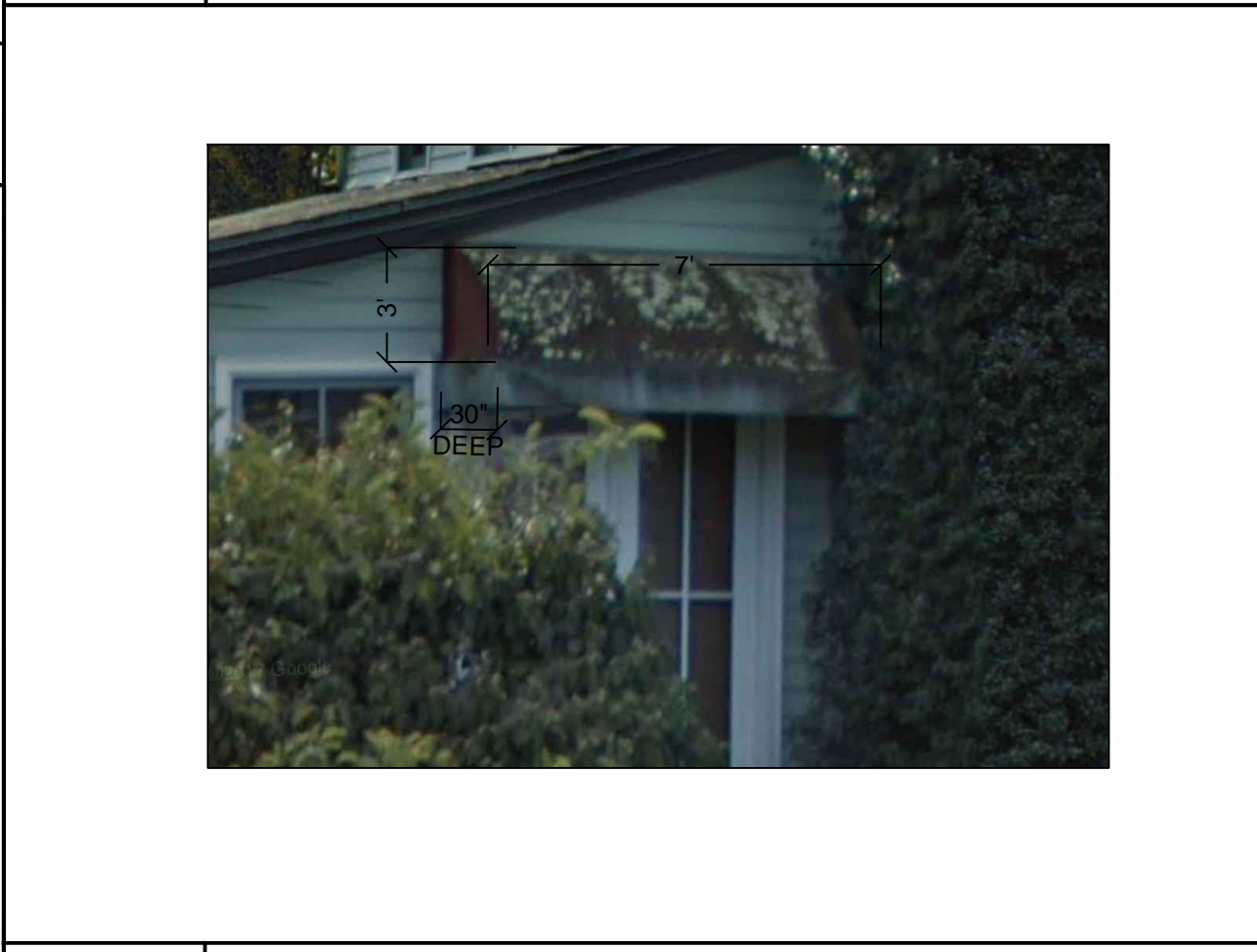
R-2 TRAFFIC SIGN DETAIL NOT TO SCALE



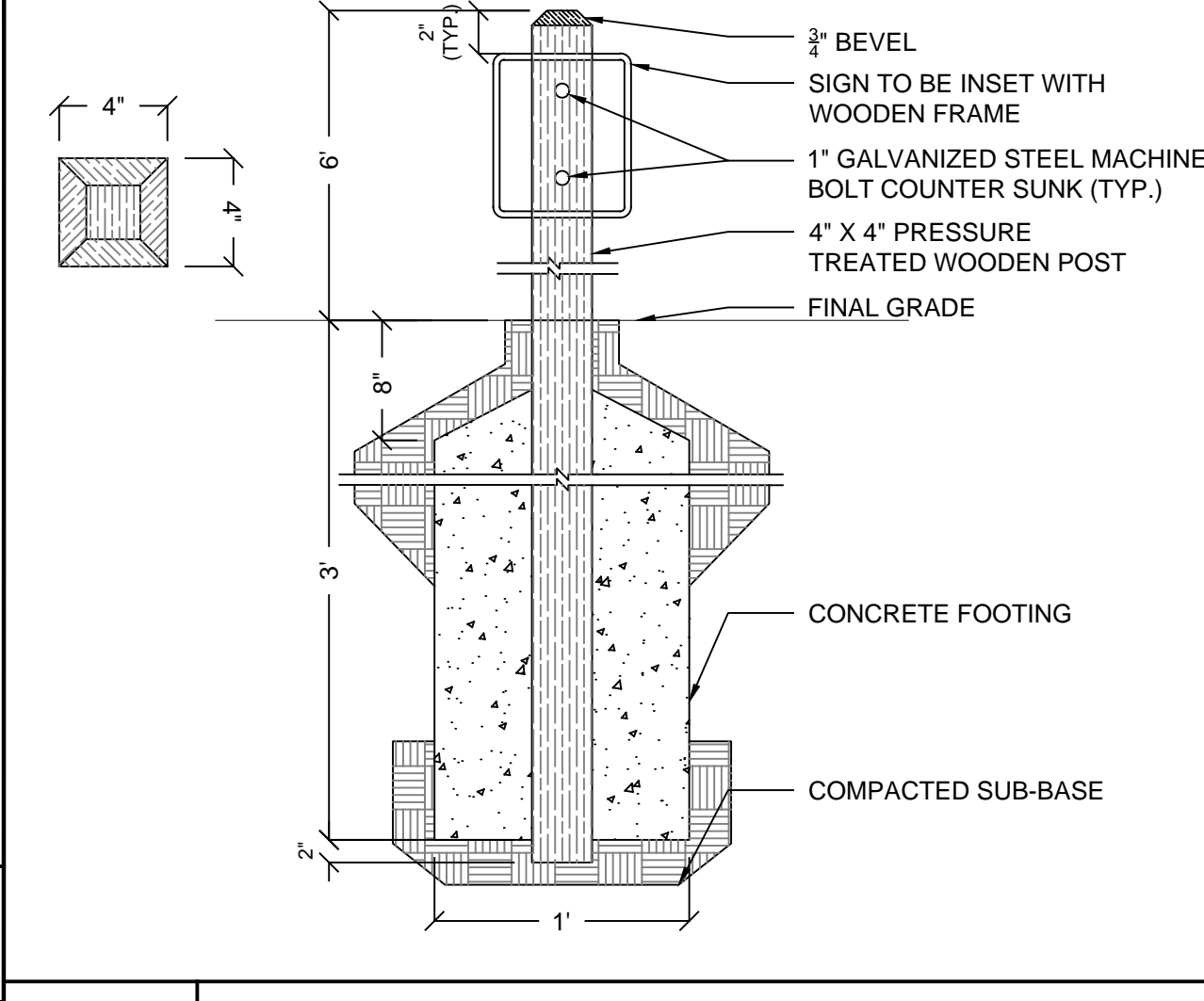
SN-9 EXISTING SMALL WOODEN SIGN DETAIL NOT TO SCALE



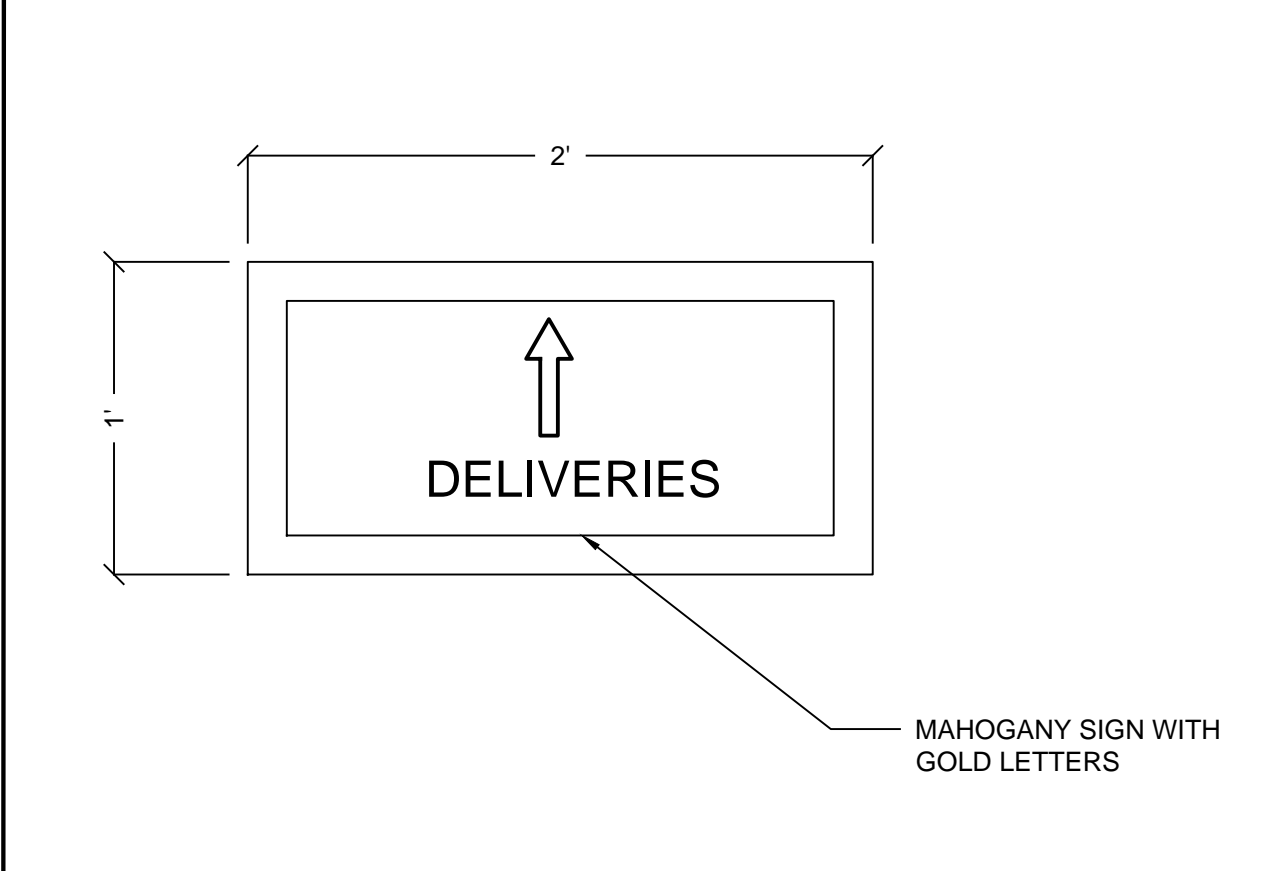
SN-2 EAST SIDE CANOPY SIGN DETAIL NOT TO SCALE



SN-4 EAST ENTRANCE CANOPY SIGN DETAIL NOT TO SCALE



SN-7 WOODEN SIGN POST DETAIL NOT TO SCALE



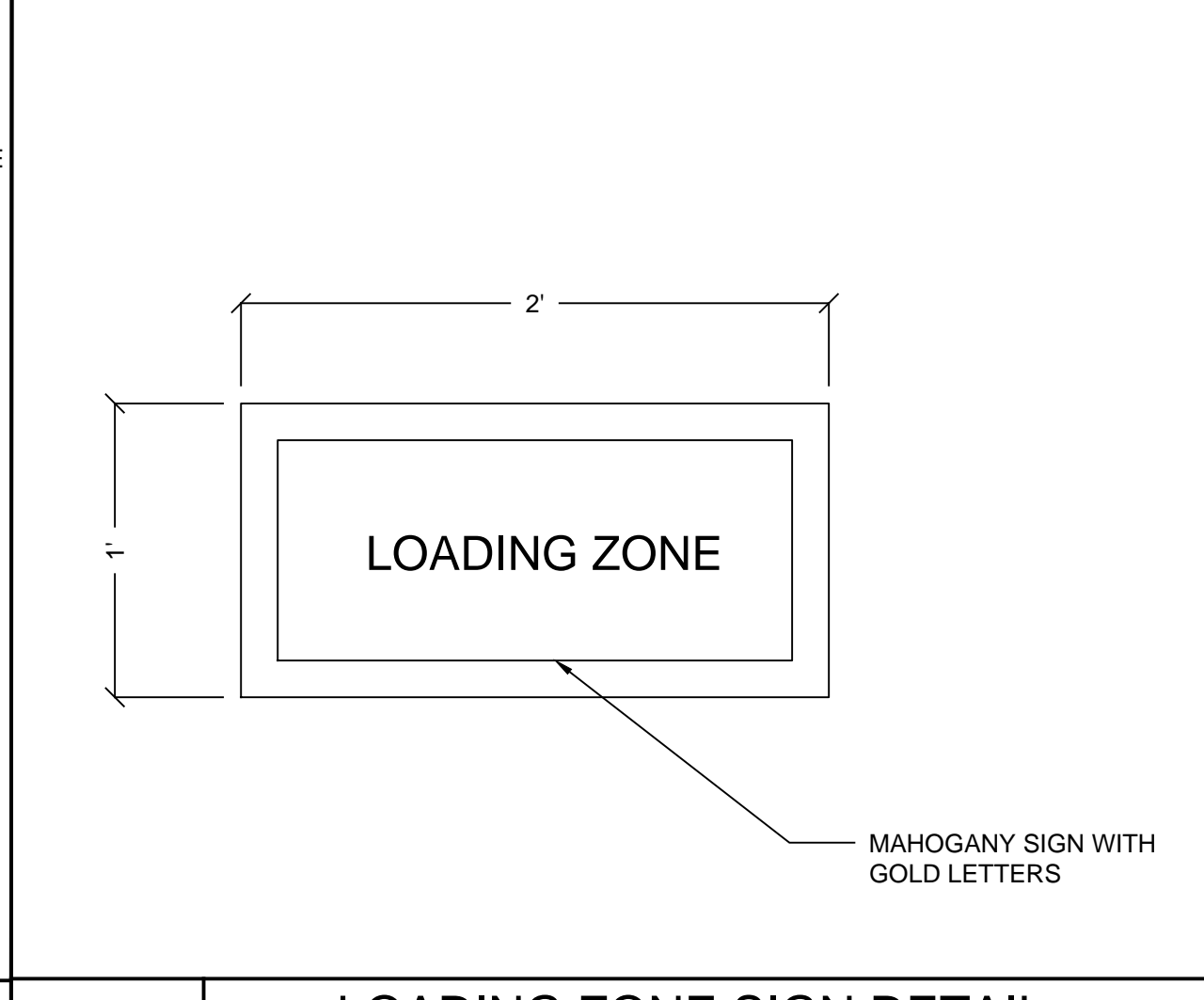
SN-10 DELIVERIES SIGN DETAIL NOT TO SCALE



SN-3 FRONT WINDOW CANOPY SIGN DETAIL NOT TO SCALE



SN-5 MAIN ENTRANCE CANOPY SIGN DETAIL NOT TO SCALE



SN-8 LOADING ZONE SIGN DETAIL NOT TO SCALE

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Janet Andersen, Chairman Date

Clorsdan Conran, Secretary Date

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated _____.

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2 West Road, South Salem, NY 10590

PROJECT # 04-04

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	7	10-26-20	Mitigation
	8	12-19-20	Bldg. Insp. Comm.

SCALE: 1" = 10'

DRAWN BY: BC

DATE: 6/4/19

SITE DETAILS #1

PROPOSED SITE PLAN PREPARED FOR

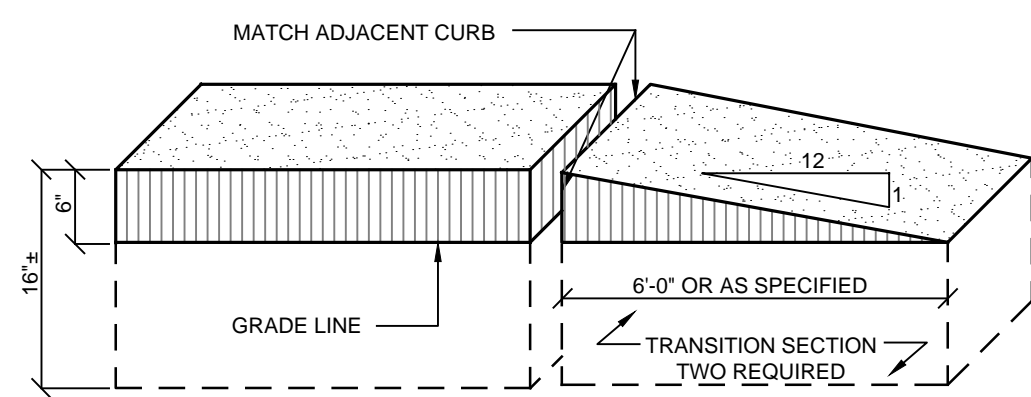
Pound Ridge Stone

2 West Road

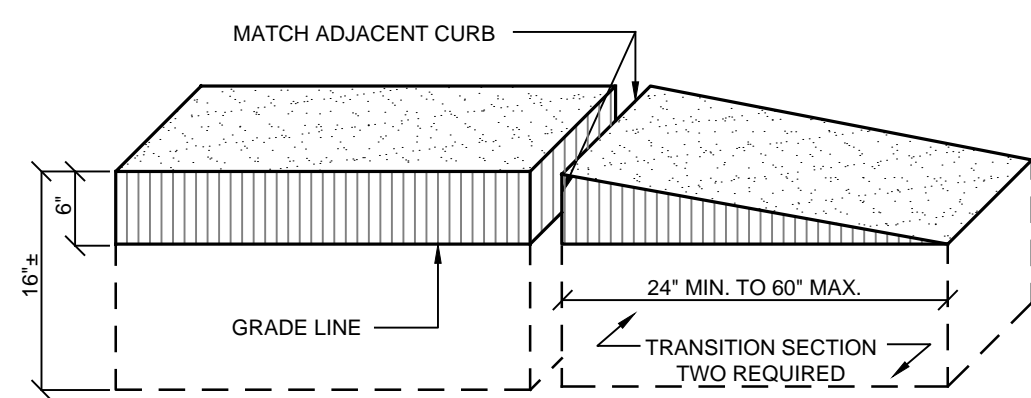
Town Of Lewisboro

Westchester Co., New York

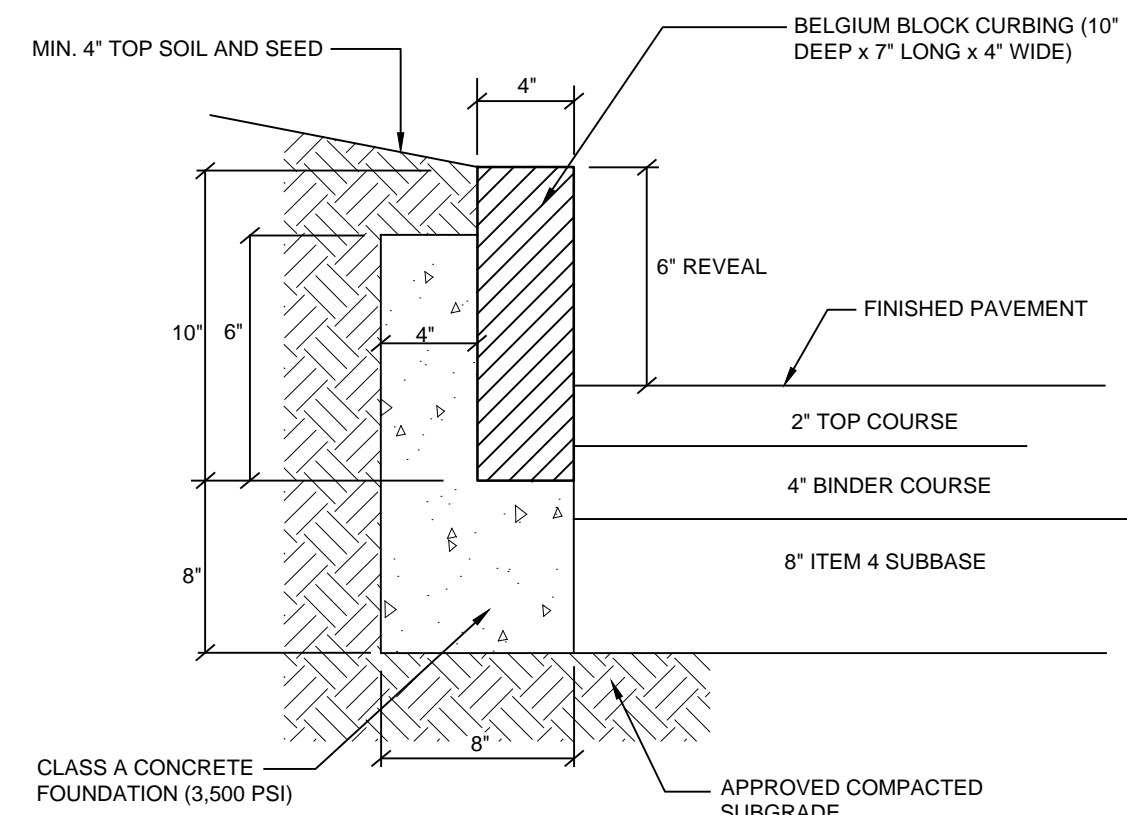
Sheet 8 of 10



DROP CURB ADJACENT TO SIDEWALK



DROP CURB NOT ADJACENT TO SIDEWALK



NOTE:

1. Joints shall be 3/4" or less and fully mortared with 1:2 cement mortar, and cleaned of excess mortar.

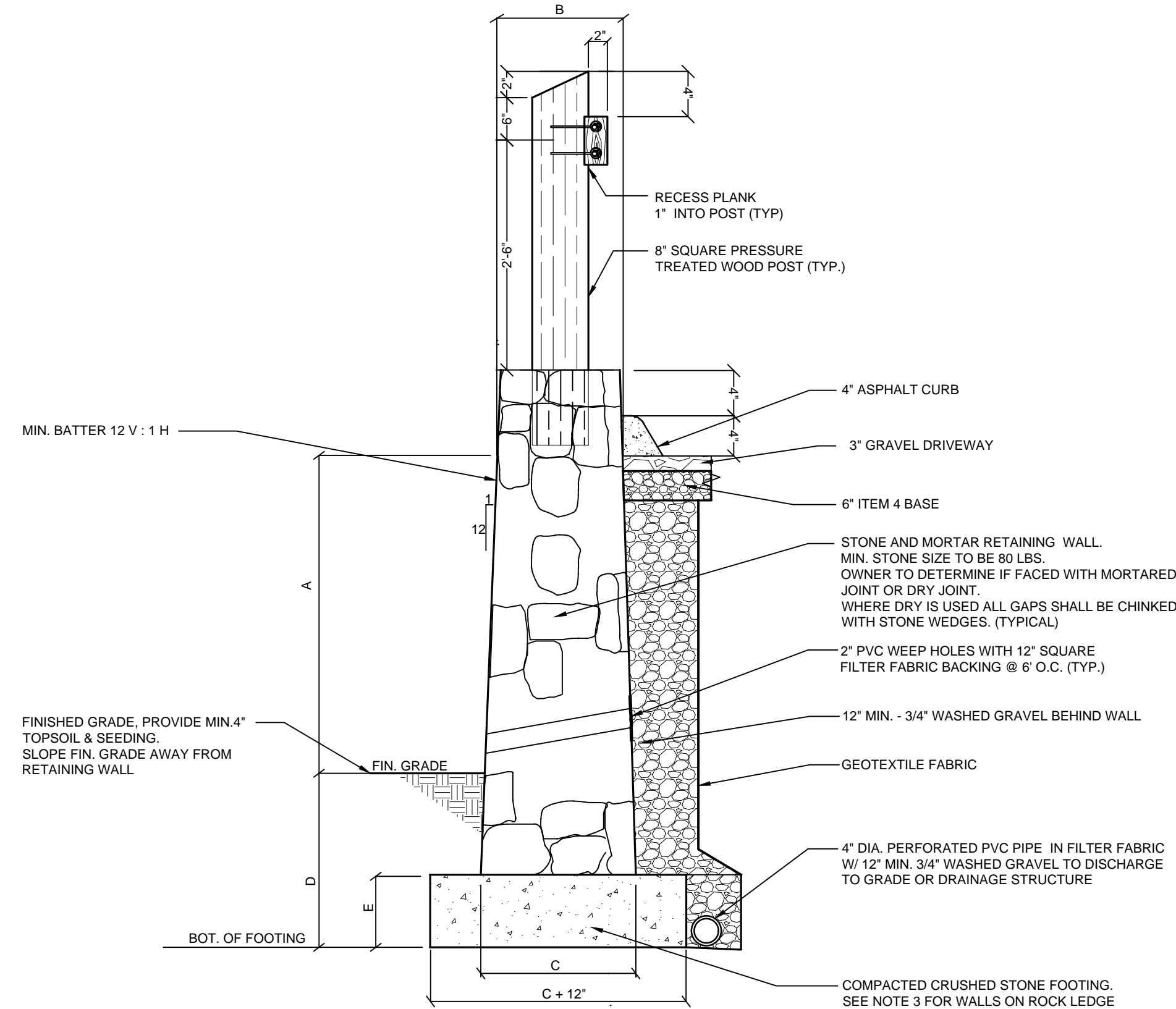
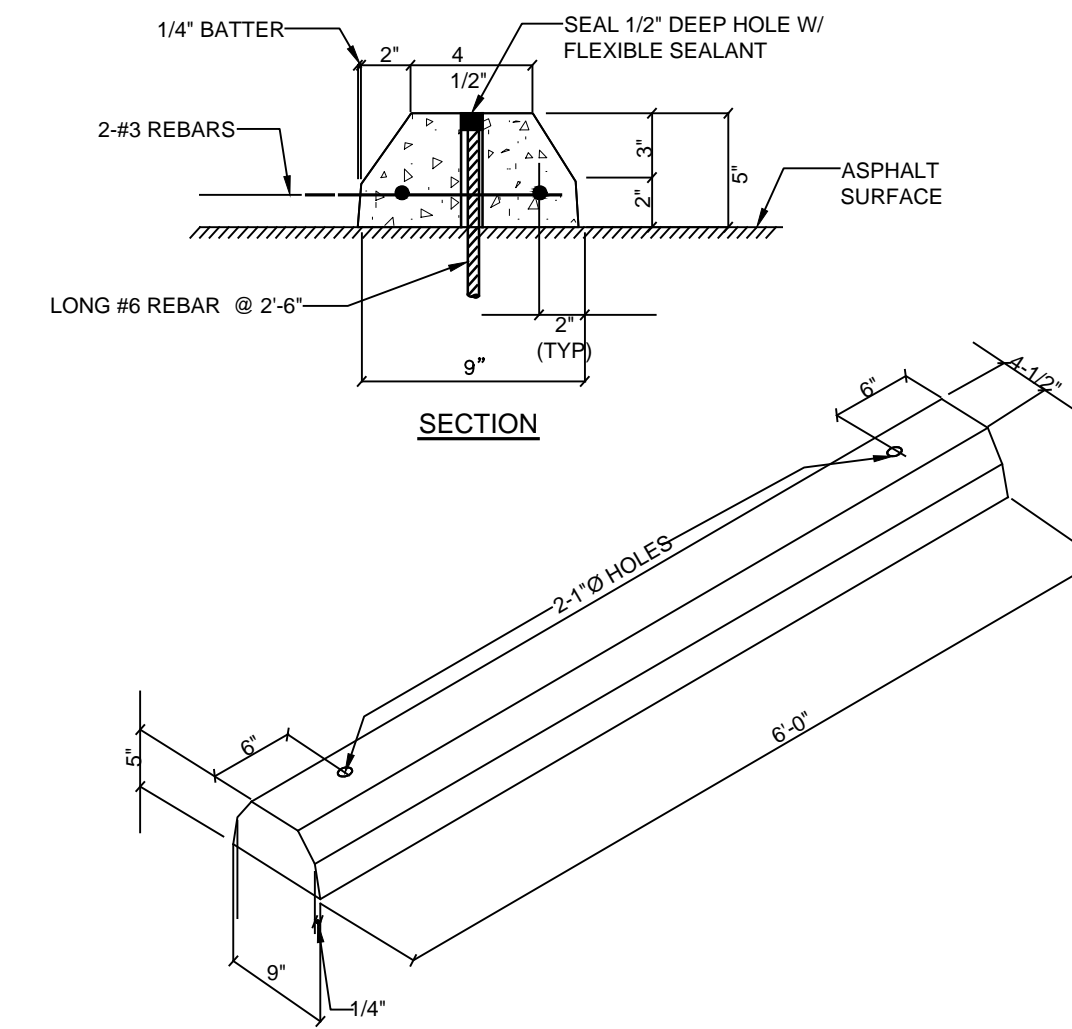


TABLE-1

WALL HEIGHT "A"	TOP OF WALL WIDTH "B"	BOTTOM OF WALL WIDTH "C"	BURIAL DEPTH "D"	FOOTING DEPTH "E"
4'-0"	2'-0"	2'-6"	3'-6"	2'-0"
6'-0"	2'-6"	3'-0"	3'-6"	2'-6"

NOTES:

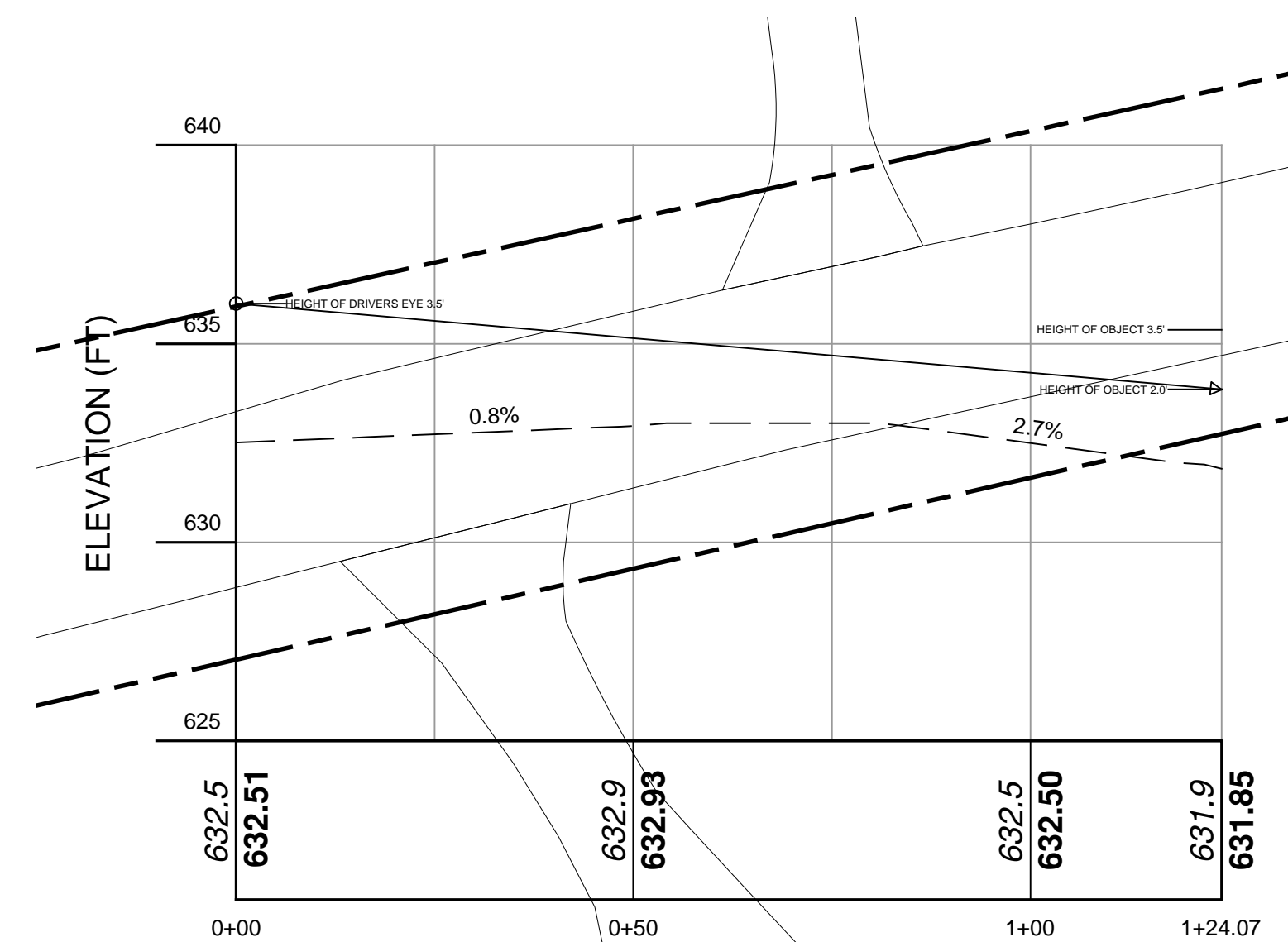
1. Heavy construction equipment shall not be used within 5 ft of the wall.
2. Walls above 4 ft shall have Durowall reinforcement placed at 2' high intervals.
3. When on rock ledge, base of wall shall be anchored to rock using a 3 ft long #8 dowel @ 4' O.C. Dowel shall have a min. rock embedment of 1 ft.



R-16

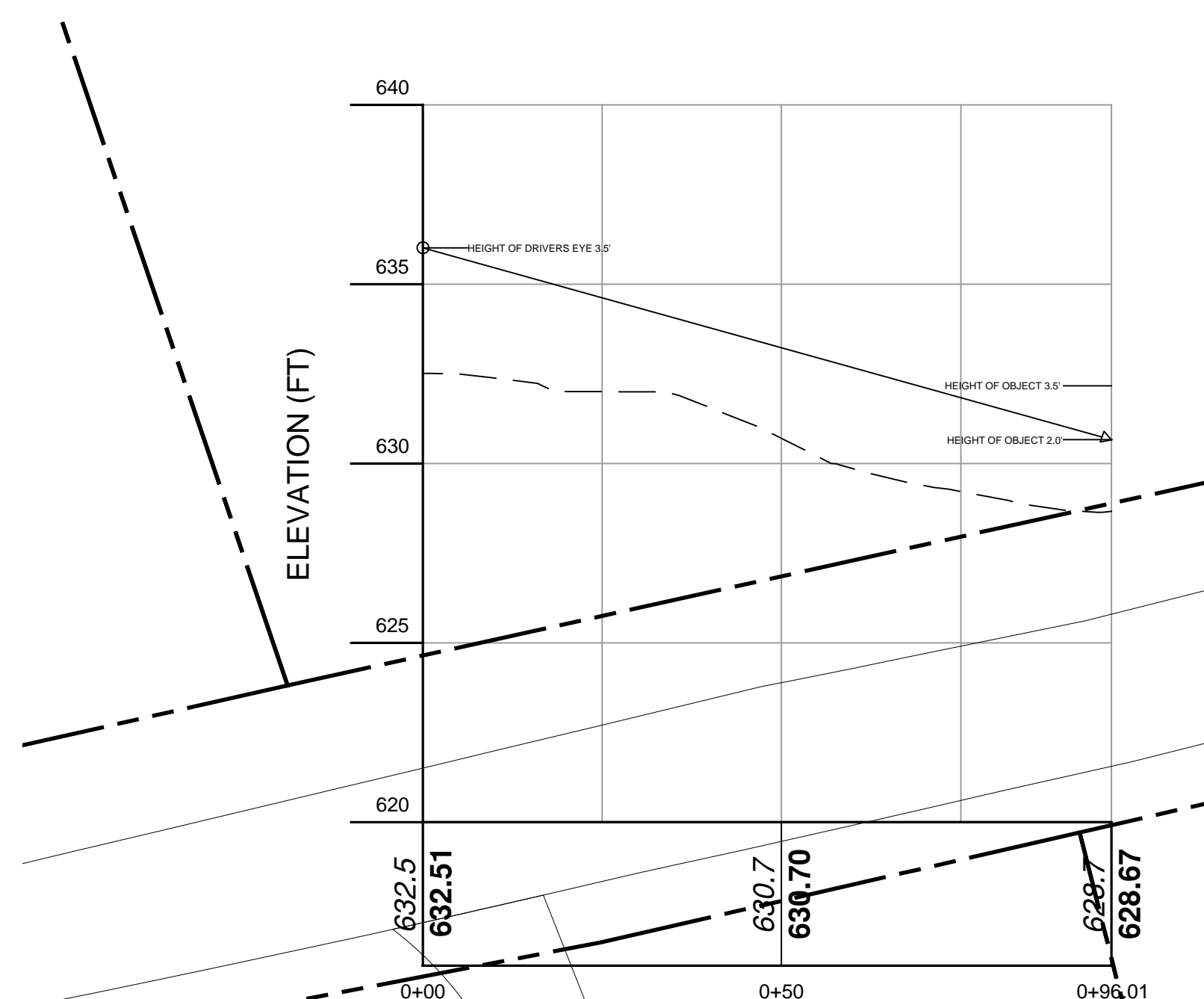
PRECAST CONCRETE WHEEL STOP

NOT TO SCALE



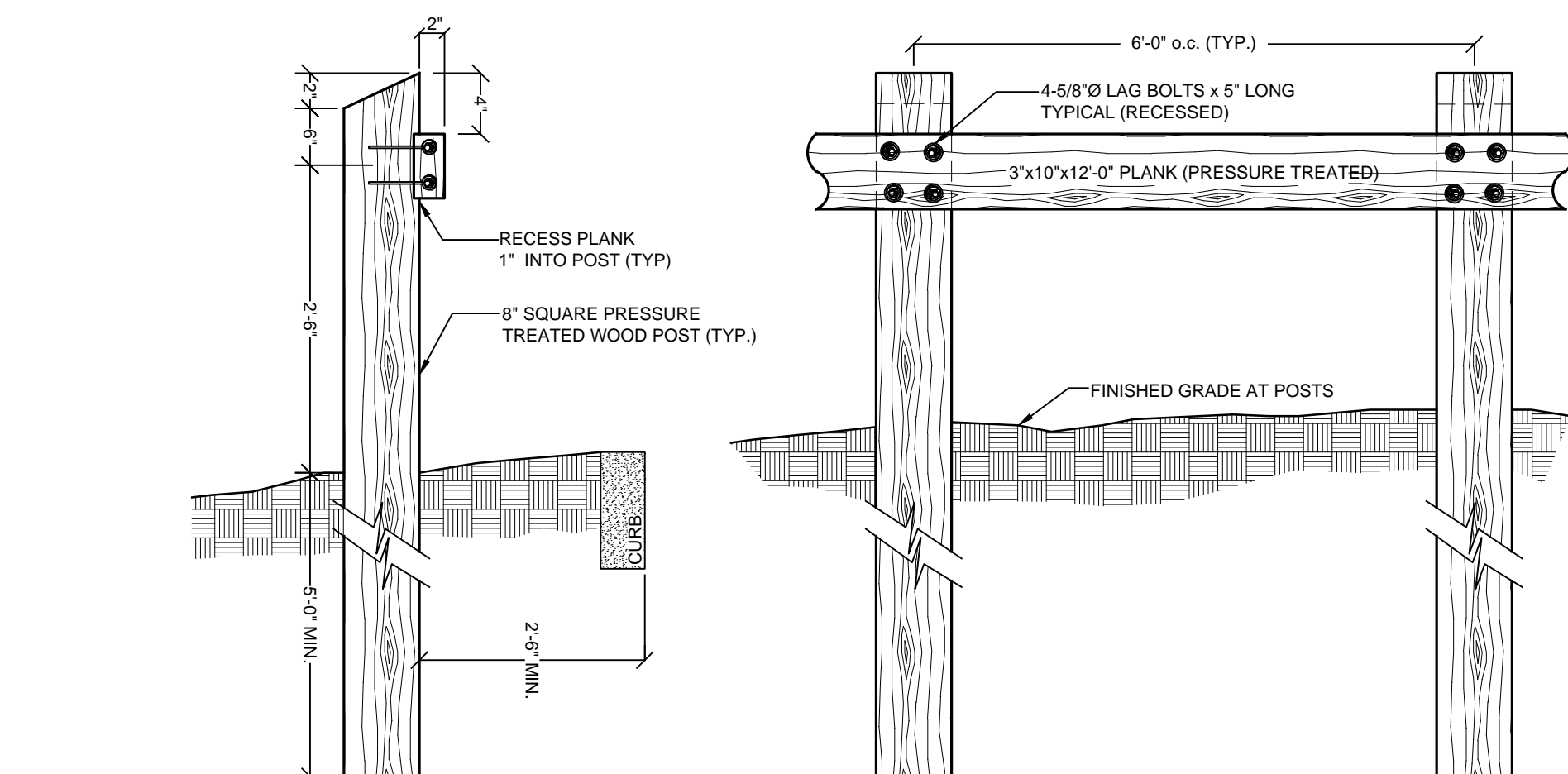
STONE & MORTAR RETAINING WALL WITH TIMBER GUARDRAIL

NOT TO SCALE

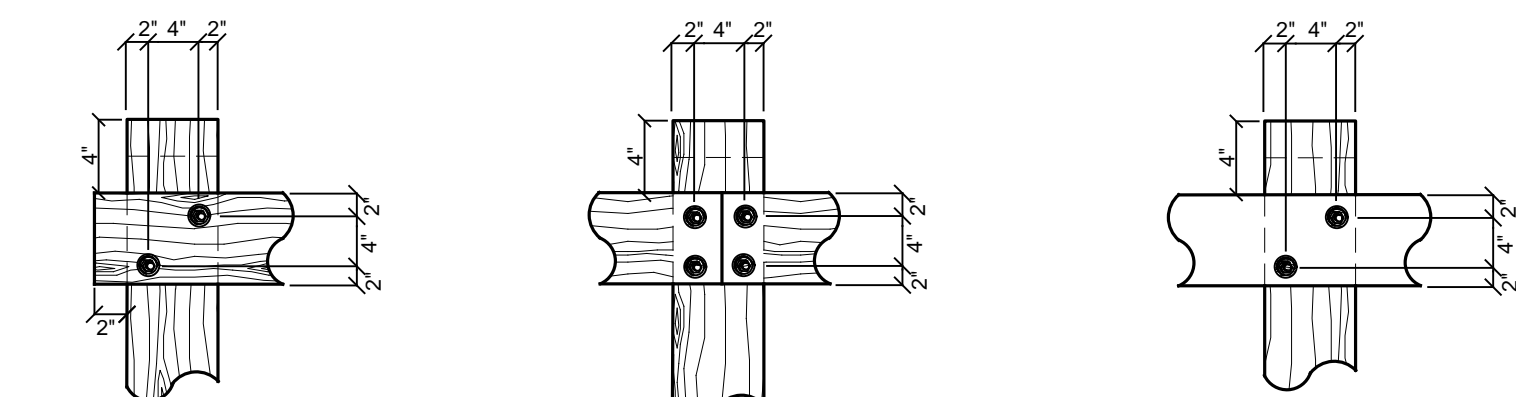


DISTANCE ALONG BASELINE (FT)

SIGHT DISTANCE EAST
VERT. SCALE: 1" = 4
HORIZ. SCALE: 1" = 20



SECTION

ELEVATION

END POST CONNECTION
DETAIL

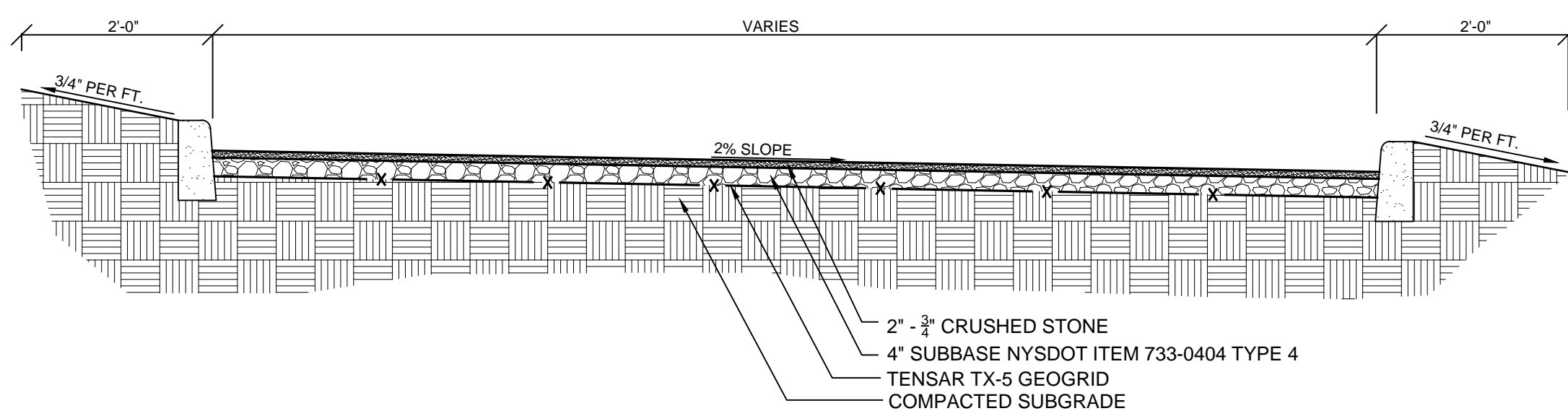
RAIL SPLICE CONNECTION DETAIL

INTERMEDIATE POST
CONNECTION DETAIL

R-14

TIMBER GUARDRAIL DETAIL

NOT TO SCALE



R-15

TYPICAL PARKING LOT SECTION

NOT TO SCALE



GEARY-WALKER RESIDENCE

146 POST OFFICE ROAD

SOUTH SALEM, NY



15 RESEARCH DRIVE, SUITE 5, WOODBRIDGE, CT 06525
WOODBRIDGE: 203-248-1007 · GREENWICH: 203-698-1007
HUESTISTUCKER.COM

DRAWING LIST		
SHEET		ISSUE DATE
D-101	FIRST & SECOND FLOOR DEMOLITION PLAN	3.17.21
A-100	BASEMENT PLAN	3.17.21
A-102	FIRST FLOOR PLAN	3.17.21
A-103	SECOND FLOOR PLAN	3.17.21
A-104	ROOF PLAN	3.17.21
A-201	EXTERIOR ELEVATIONS	3.17.21
A-202	EXTERIOR ELEVATIONS	3.17.21
A-301	BUILDING SECTIONS	3.17.21
A-401	WALL SECTIONS	3.17.21
A-503	STAIR HALL INTERIOR ELEVATIONS	3.17.21
A-601	DOOR & WINDOW SCHEDULES	3.17.21
E-101	ELECTRICAL PLANS	3.17.21
G-001	TITLE SHEET	3.24.21

ZONING INFORMATION: GEARY WALKER RESIDENCE

ZONE: R-2A LOT SIZE: 3.1 Acres, 135,036 SF				
	ALLOW.	EXISTING	PROPOSED	
SETBACKS: (FT.)				
FRONT	50	16.2	16.2	
REAR	50	237.7	237.7	
SIDE	40	167.9	167.9	
SIDE	40	269	260.2	
BUILDING COVERAGE (SF)	9%, 12,153sf	1.6%, 2,289sf	1.8%, 2,525sf	
BUILDING HT: (FT.)	35ft	25'-10"	25'-10"	
FINISHED BASEMENT		0sf	373sf	
1ST FLOOR		1,605sf	1,839sf	
2ND FLOOR		69sf	69sf	
TOTAL		2,296sf	2,905sf	
NEW SQFT			607sf	
TERRACE, PORCH			771sf	
TOTAL AREA DISTURBED			1600sf	

ENERGY CODE COMPLIANCE

THIS BUILDING IS DESIGNED TO MEET THE PRESCRIPTIVE INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT OF THE 2020 ENERGY CONSERVATION CODE OF NYS CLIMATE ZONE 4A

MAIN HOUSE

COMPONENT	REQUIRED	PROPOSED
FENESTRATION (MAX.)	U-0.32	U-0.32
CEILING (MIN.)	R-49	R-49 CLOSED CELL FOAM
WALL (MIN.)	R-20	R-21 BATT
FLOOR (MIN.)	R-19	R-30 BATT
BASEMENT WALL (MIN.)	R-13	R-5 RIGID + R13 BATT

3.24.21	REV. SITE PLAN
3.17.21	PERMIT SET

RENOVATIONS TO THE GEARY-WALKER RESIDENCE

146 Post Office Rd
South Salem, NY 10590



HUESTIS TUCKER ARCHITECTS

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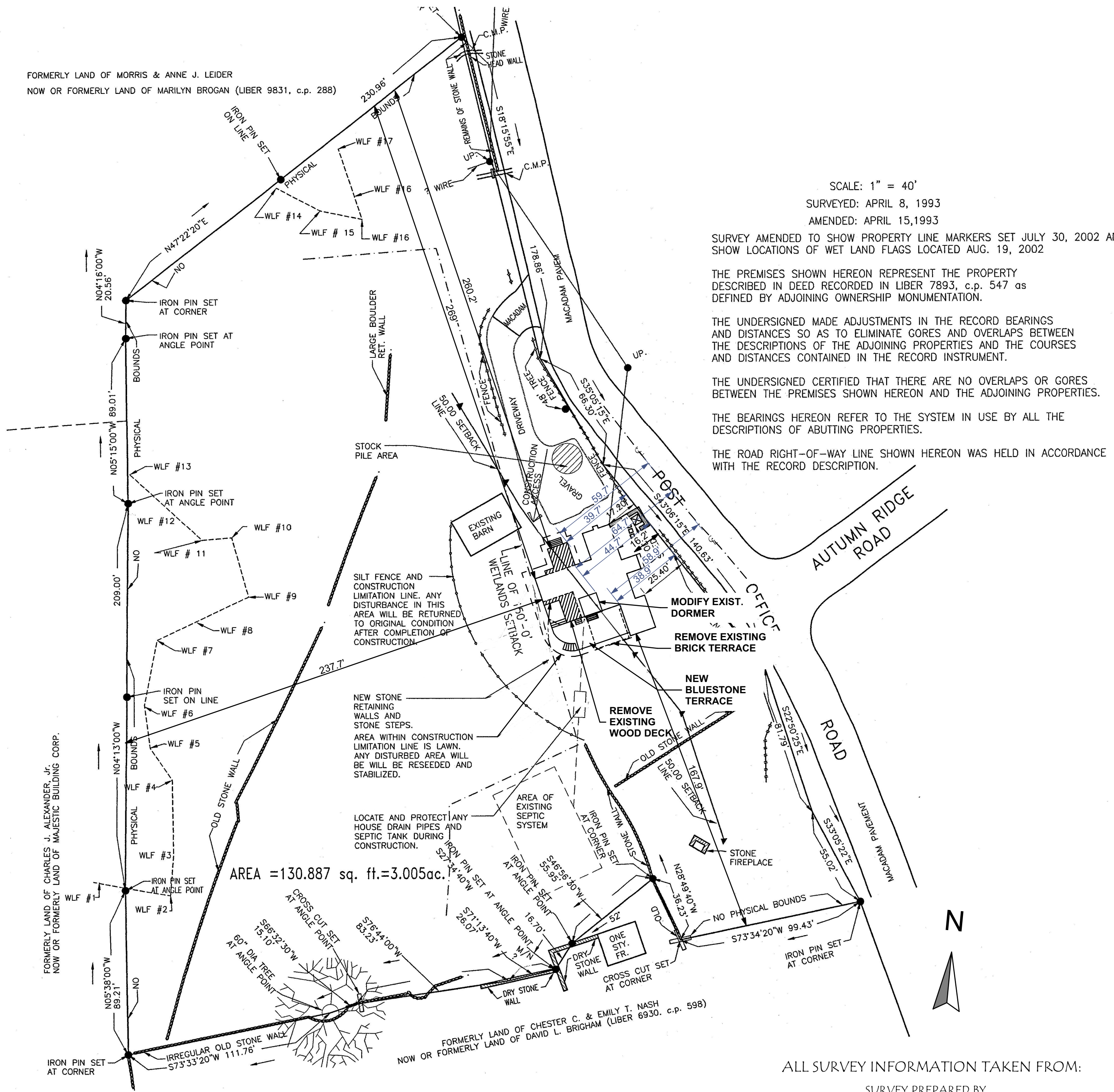
TITLE:
TITLE SHEET

SCALE: AS NOTED

DATE: 3.17.21

G-001

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ALL SURVEY INFORMATION TAKEN FROM:

SURVEY PREPARED BY
ROLAND K. LINK
16 SPRING BROOK DRIVE
MAHOPAC, N.Y. 10541
914-628-5857

AMENDED TO SHOW PROPOSED NEW BARN JAN. 29, 2003
STAKES SET APRIL 4 2003 50.0' SETBACK.

PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE
TOWN OF LEWISBORO AS:
SECTION 26; BLOCK 10803; LOT 26.

ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT
LOCATED OR SHOWN HEREON.

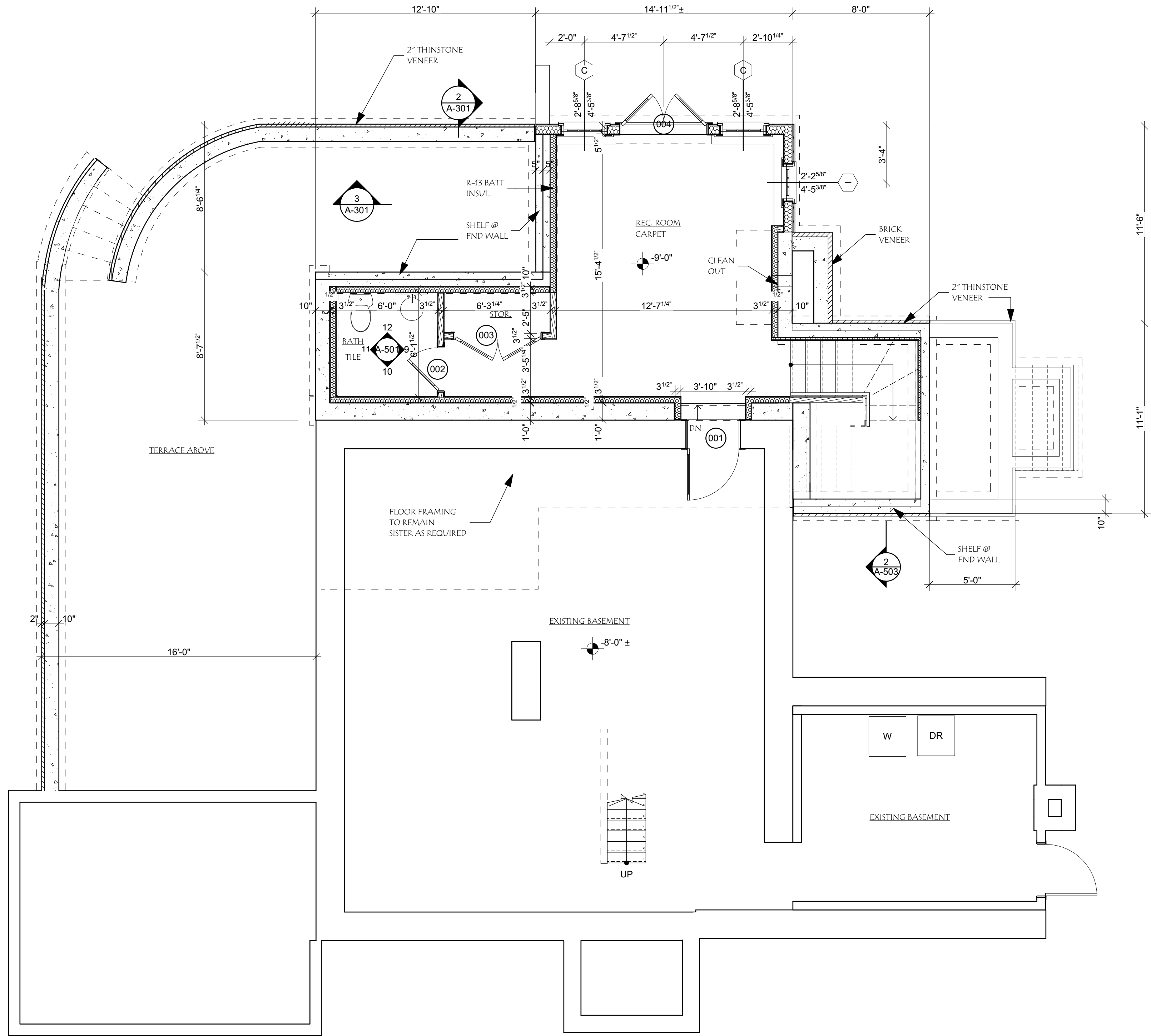
UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED
LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE
NEW YORK STATE EDUCATION LAWS.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF
THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.

1
A-100

NEW BASEMENT

SCALE: 1/4" = 1'-0"



- GENERAL NOTES:
1. ALL DIMENSIONS ARE TO FRAMING UNLESS OTHERWISE NOTED.
 2. VERIFY ALL DIMENSIONS IN FIELD, REPORT DISCREPANCIES TO ARCHITECT BEFORE PROCEEDING.
 3. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TO BE READ. VERIFY ANY MISSING DIMENSIONS WITH ARCHITECT BEFORE PROCEEDING.
 4. CONFLICTS IN THE DRAWINGS ARE TO BE REPORTED TO THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
 5. PROVIDE SOLID BLOCKING FOR ALL PANELING, CHAIR RAILS, BUILT-INS, BATH ACCESSORIES, ETC.
 6. PROVIDE FIRE STOPPING AS REQUIRED BY CODE.
 7. PROVIDE SOUND BATT IN ALL BATHROOM, BEDROOM WALLS AND KITCHEN CEILING.
 8. RELOCATE ANY EXISTING PIPING, WIRING OR DUCTWORK AFFECTED BY THE WORK.
 9. PATCH & REPAIR ALL WALLS, FLOORS AND CEILING AFFECTED BY CONSTRUCTION. MATCH EXISTING FINISHES UNLESS NOTED OTHERWISE.
 10. WINDOW OPENINGS ARE THE MINIMUM ROUGH OPENING DIMENSIONS, TYP., UNLESS NOTED OTHERWISE (U.N.O.)

WALL KEY	
	WALL- EXISTING
	WALL TO BE DEMOLISHED
	WALL-NEW
	CMU FOUNDATION WALL- NEW
	CONCRETE FOUNDATION WALL- NEW
	CONCRETE FOUNDATION WALL- EXISTING
	CONCRETE FOUNDATION WALL- W/ MASONRY SHELF

3.17.21 PERMIT SET

RENOVATIONS TO THE
**GEARY-WALKER
RESIDENCE**
146 Post Office Rd
South Salem, NY 10590



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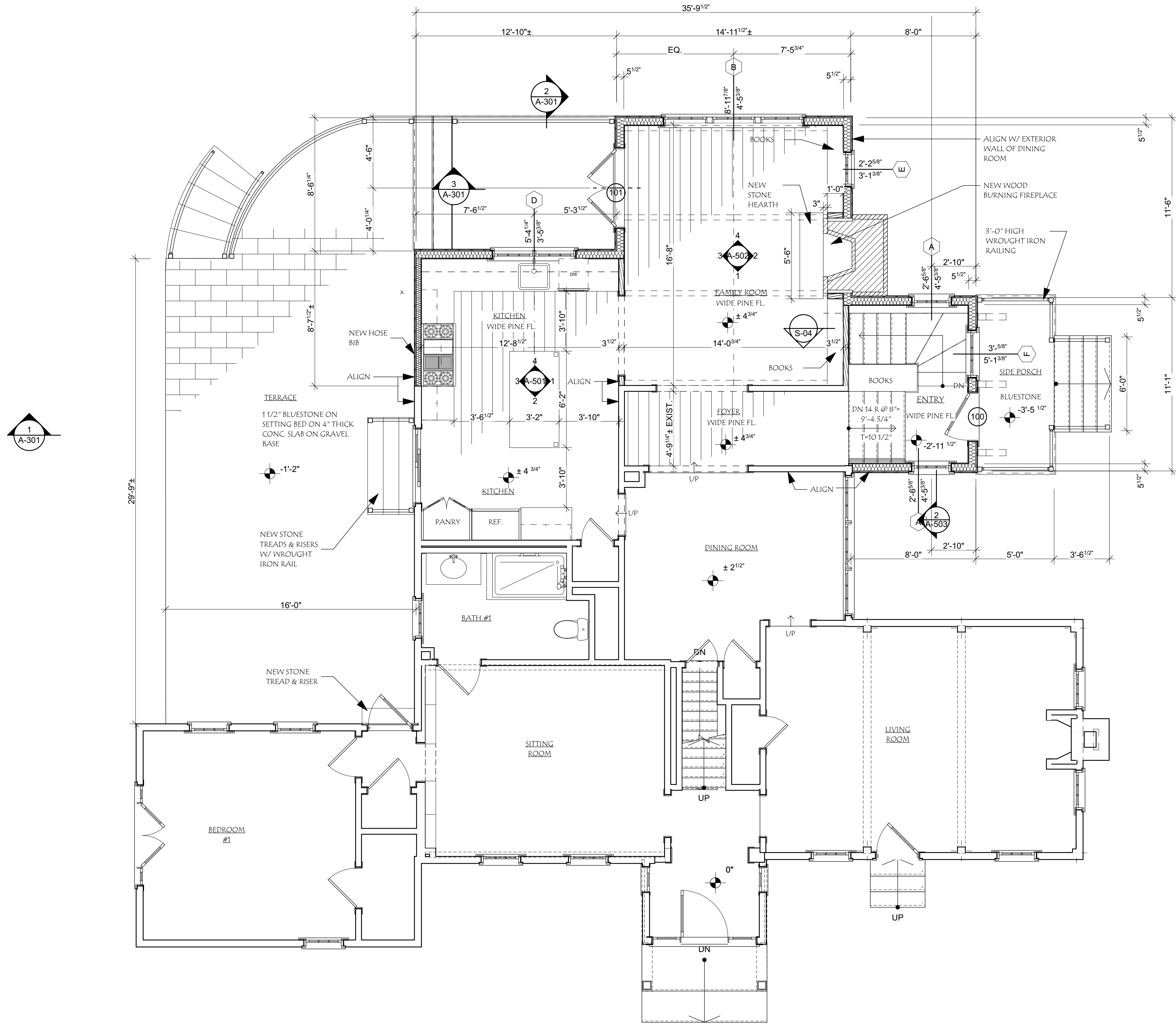
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BASEMENT PLAN

SCALE: AS NOTED

DATE: 3.17.21

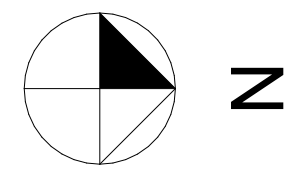
A-100

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	CONCRETE FOUNDATION WALL- W/ MASONRY SHELF



3.17.21 PERMIT SET

RENOVATIONS TO THE
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TITLE:
FIRST FLOOR PLAN

SCALE: AS NOTED

DATE: 3.17.21

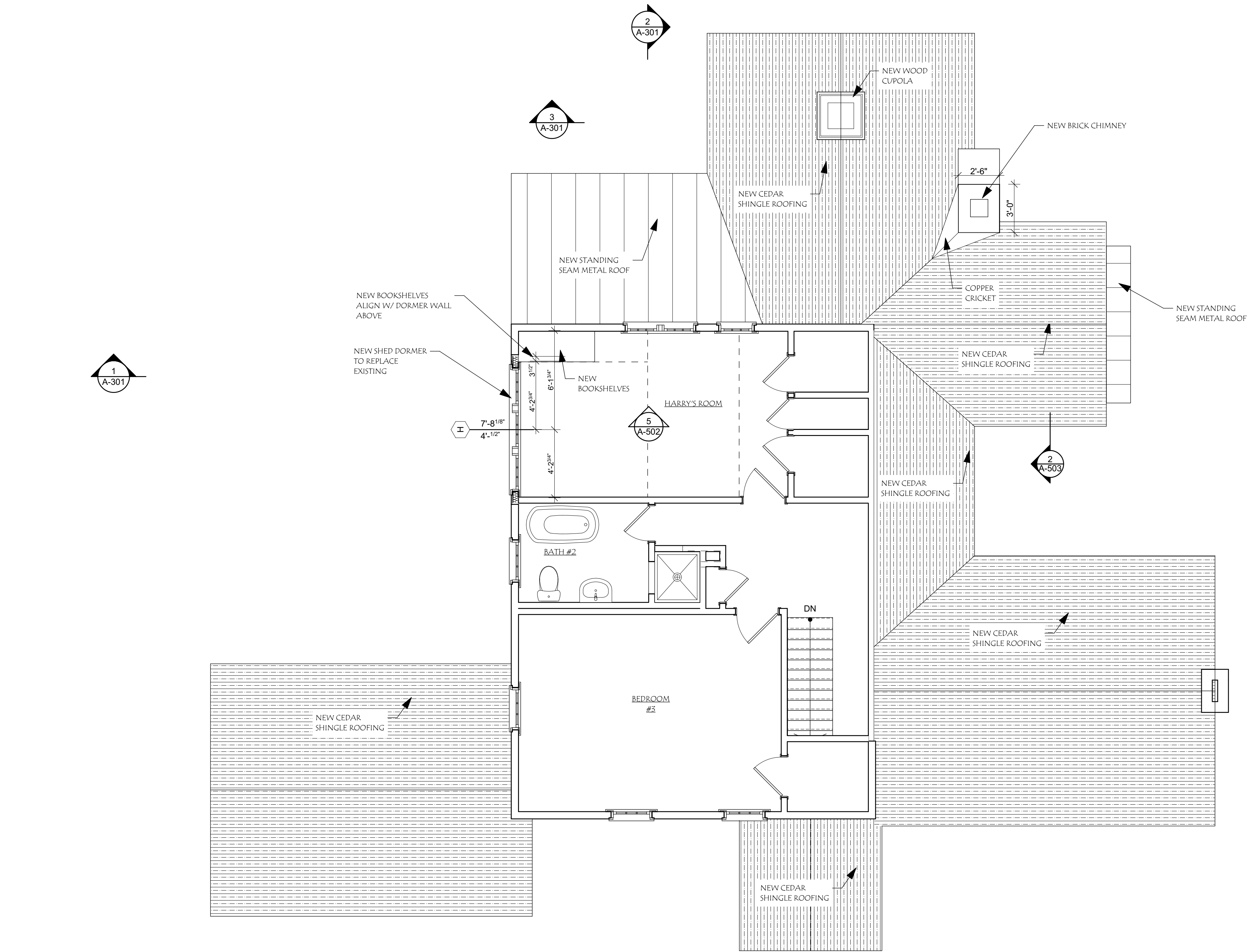
A-102

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1
A-102

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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	CONCRETE FOUNDATION WALL-NEW
	CONCRETE FOUNDATION WALL-EXISTING
	CONCRETE FOUNDATION WALL-W/ MASONRY SHELF

1
A-103
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

3.17.21 PERMIT SET

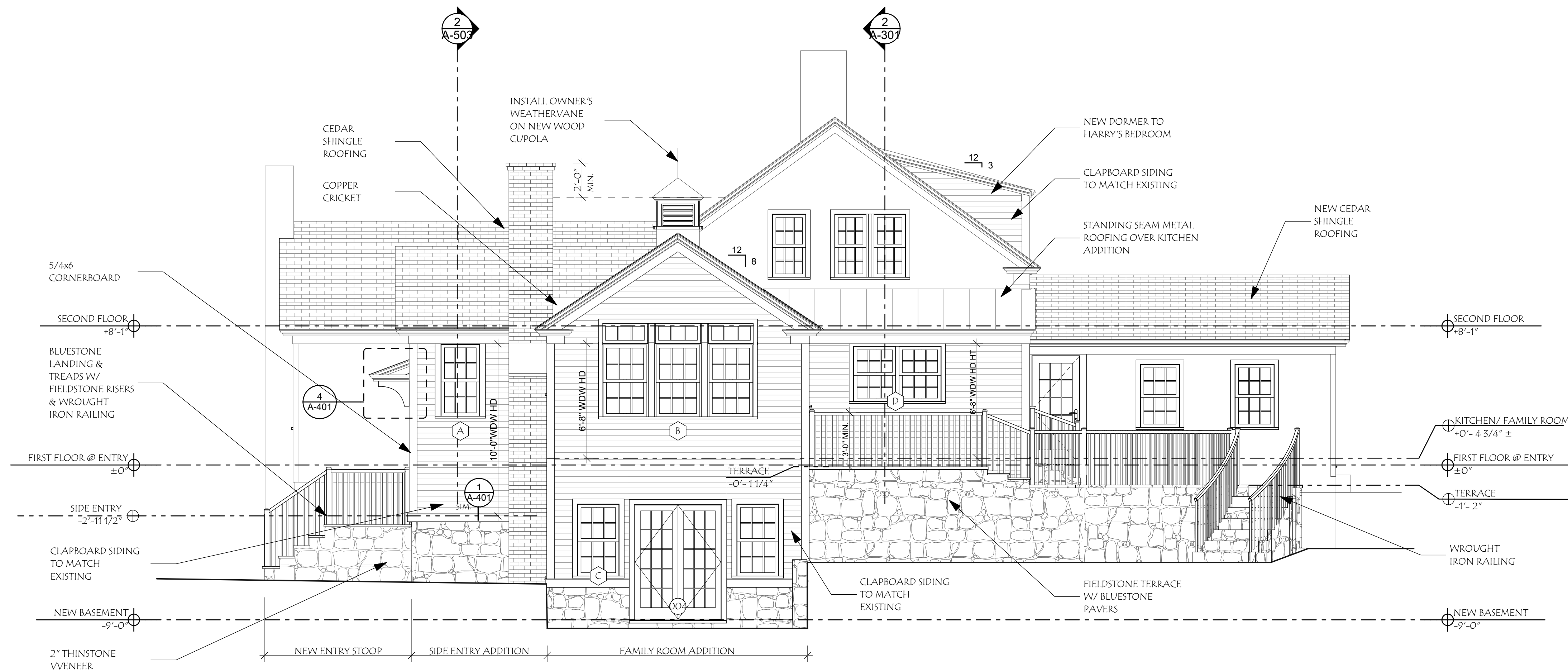
RENOVATIONS TO THE
**GEARY-WALKER
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TITLE:
SECOND FLOOR PLAN

SCALE:	AS NOTED	A-103
DATE:	3.17.21	

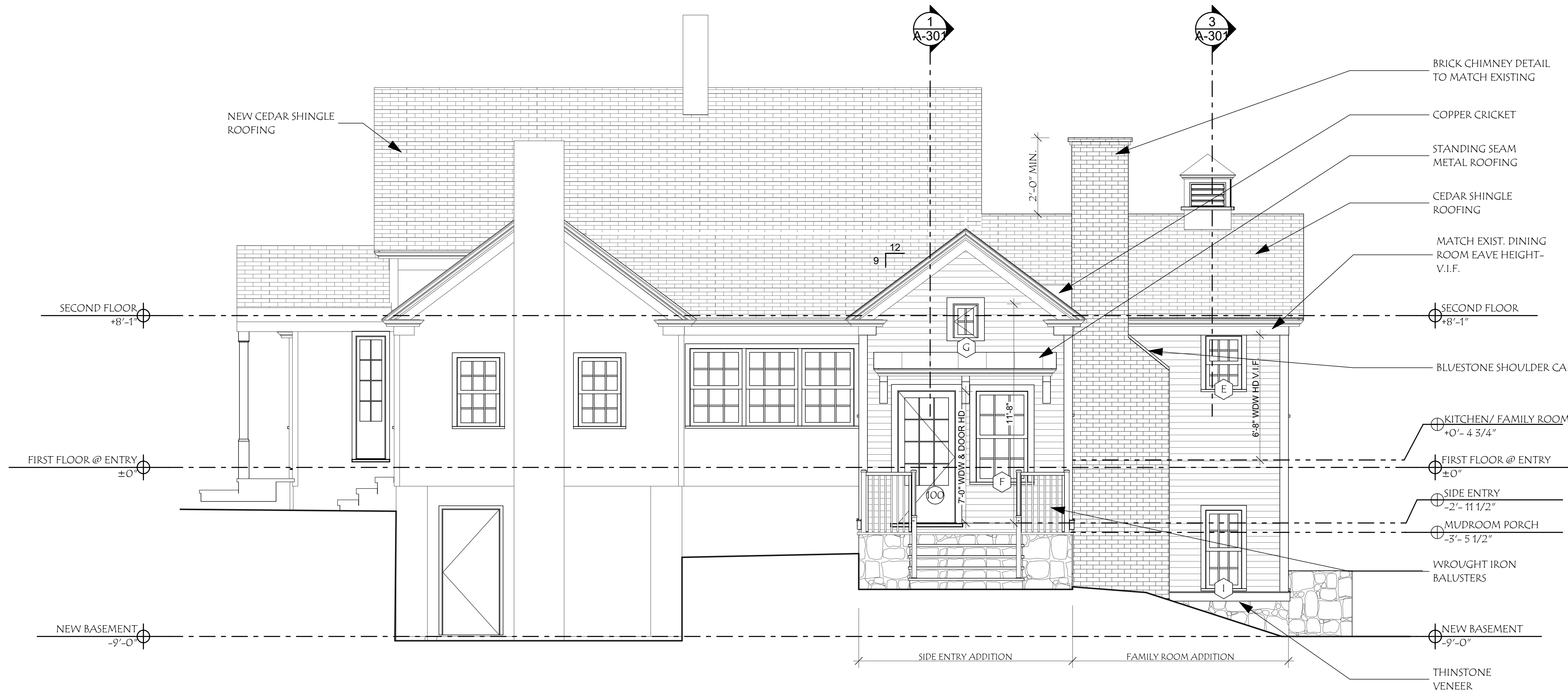
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1
A-201

WEST ELEVATION

SCALE: 1/4" = 1'-0"



2
A-201

NORTH ELEVATION

SCALE: 1/4" = 1'-0"

3.17.21 PERMIT SET

RENOVATIONS TO THE GEARY-WALKER RESIDENCE

146 Post Office Rd
South Salem, NY 10590



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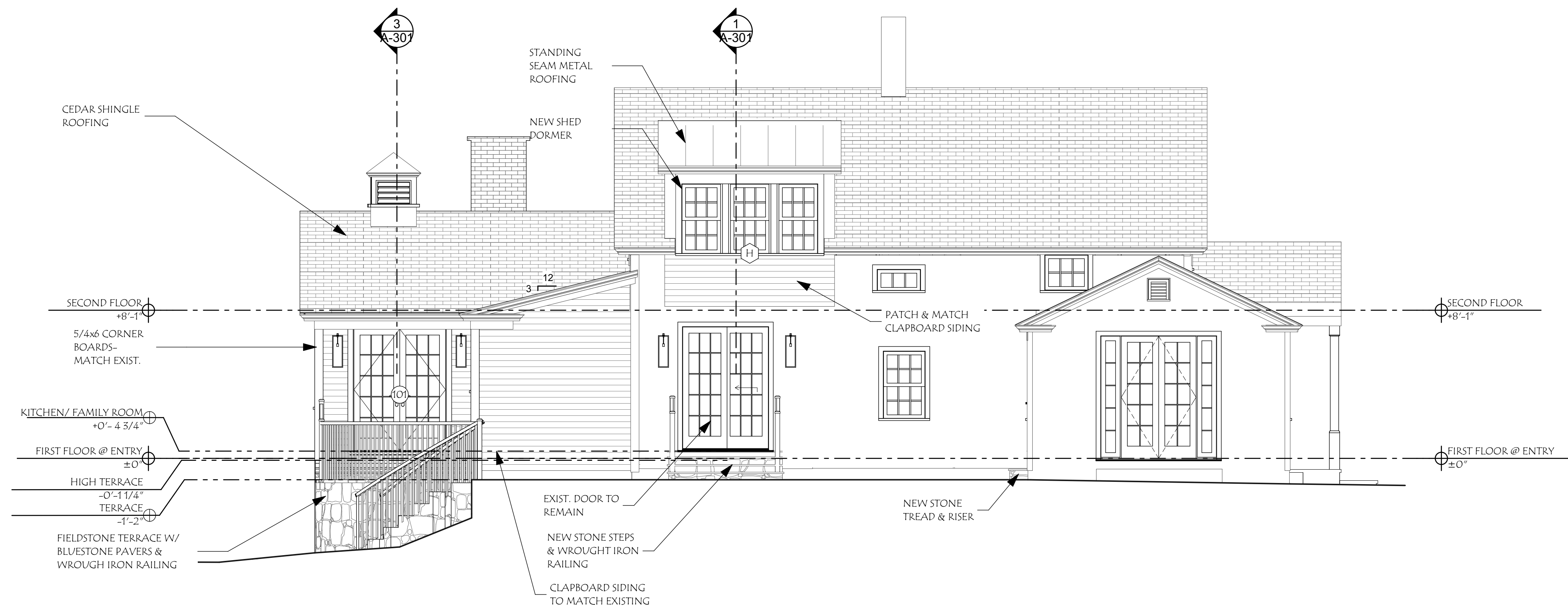
TITLE:
EXTERIOR ELEVATIONS

SCALE: AS NOTED

DATE: 3.17.21

A-201

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1
A-202 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

3.17.21 PERMIT SET

RENOVATIONS TO THE
**GEARY-WALKER
RESIDENCE**
146 Post Office Rd
South Salem, NY 10590



HUESTIS TUCKER
ARCHITECTS
15 RESEARCH DRIVE, SUITE 5, WOODBRIDGE, CT 06525
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TITLE:
EXTERIOR ELEVATIONS

SCALE: AS NOTED

DATE: 3.17.21

A-202

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Only copies from the original of this survey marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Said certifications shall run only to the person for whom this survey is prepared and on his/her behalf to the title company, governmental agency and lending institutions listed herein. Certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

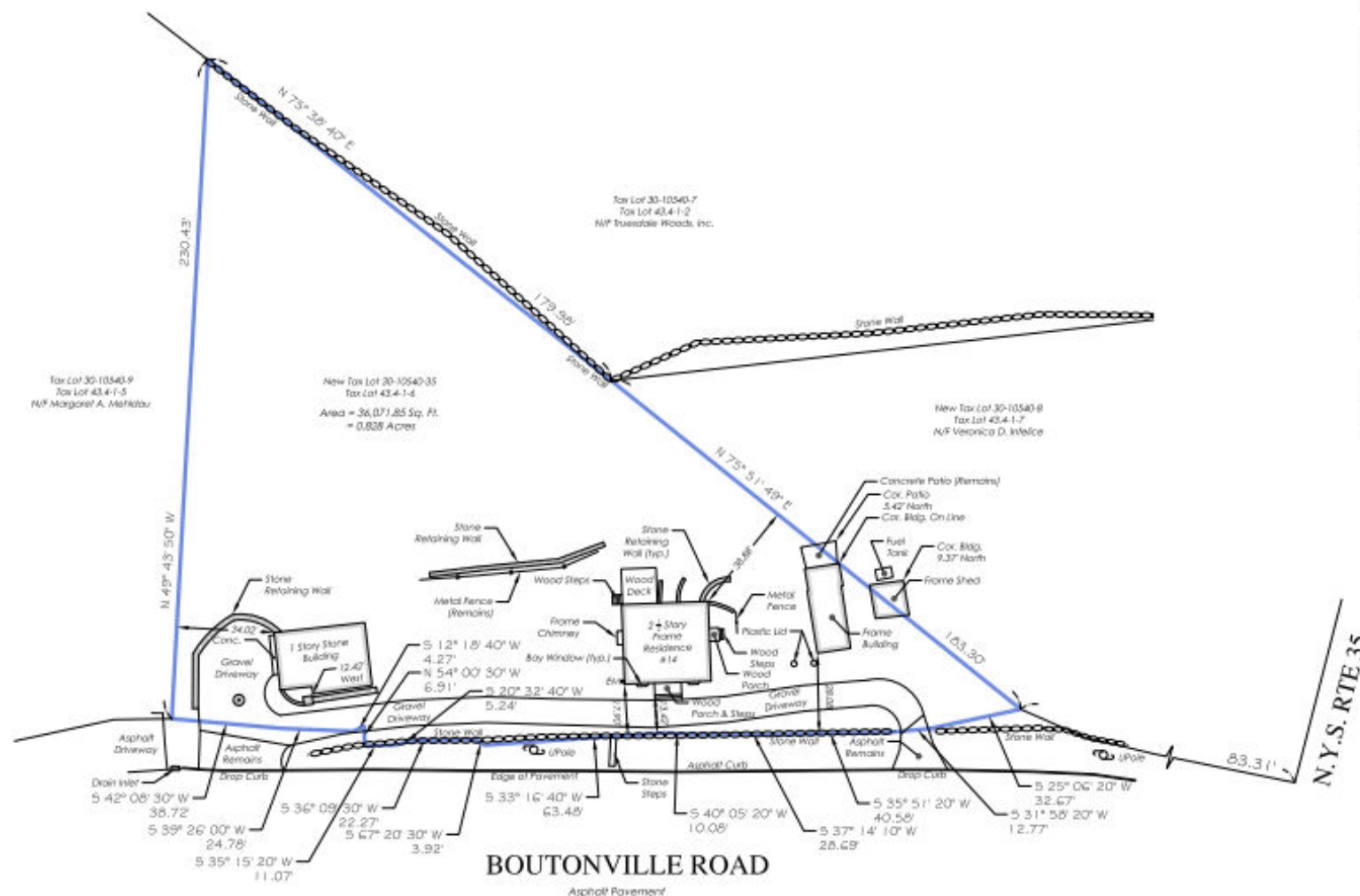
Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

Reference: Deed Control Number 592743229
Deed Control Number 582503158.

Premises shown hereon designated on the Town of Lewisboro
Tax Maps as: Section 30, Block 10540, Lot 35.

Property Address:
14 Boutonville Road
South Salem, NY 10590



**SURVEY OF PROPERTY
PREPARED FOR
KELER KOLA &
MARJANA SHTJEFNI**
SITUATE IN THE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 30'

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

Surveyed: January 3, 2020
Map Prepared: January 10, 2020
Map Revised: May 13, 2020 to show update and certifications
Map Revised: March 24, 2021 dimension added only, not a survey update
Map Revised: March 26, 2021 dimension added only, not a survey update

By: 
Scott B. Gray New York State Licensed Land Surveyor No.050672

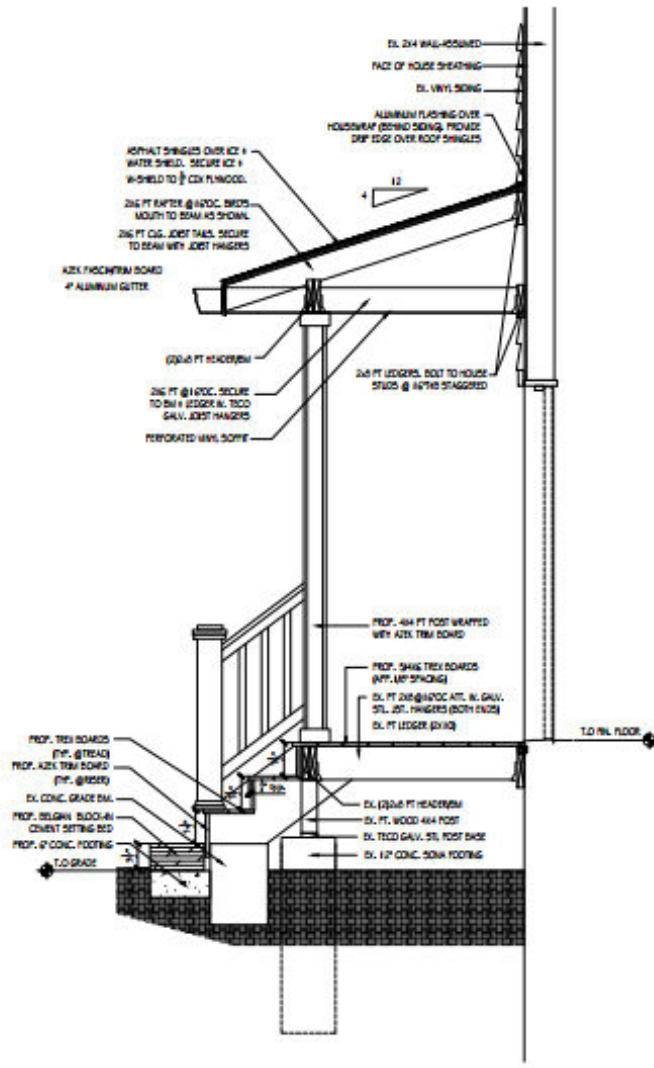
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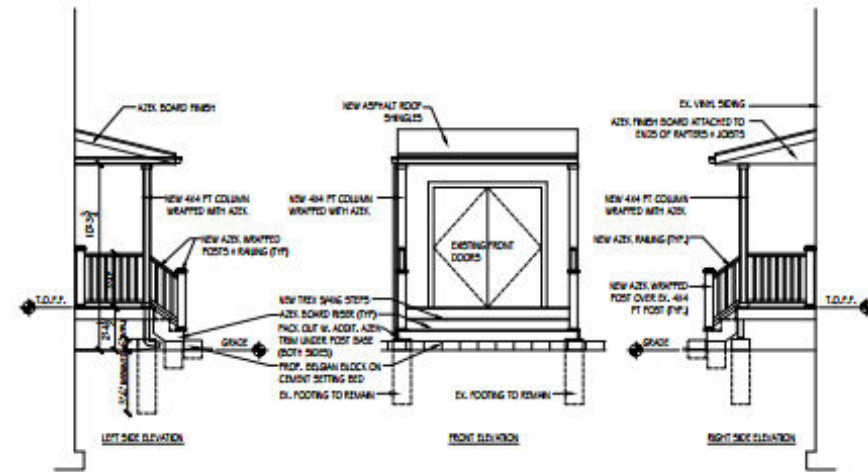
TC MERRITTS LAND SURVEYORS

394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899

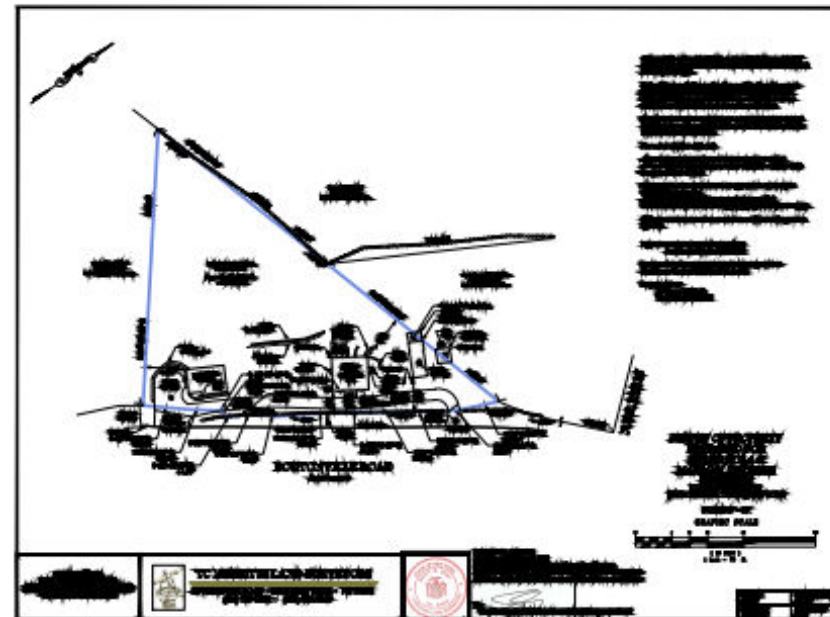




1 PORCH SECTION
SCALE: 3/4"=1'-0"



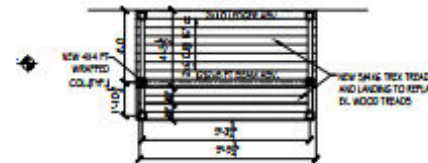
2 FRONT PORCH ELEVATIONS
SCALE: 3/4"=1'-0"



3 SURVEY/SITE PLAN
NOT TO SCALE



4 PORCH ROOF PLAN
SCALE: 3/4"=1'-0"



5 PORCH PLAN
SCALE: 3/4"=1'-0"



6 PORCH FOUNDATION PLAN
SCALE: 3/4"=1'-0"

ALL DRAWINGS & WRITTEN MAT'L. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE COPIED, REPRODUCED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DIMS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DIMS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADPTION OR ALTERATION OF THIS PLAN IS A VIOLATION OF STATE EDUCATION CODE

THE ARCHITECT OWES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS FAILURE TO OBEY AND/OR FOLLOW THE ARCHITECTS GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONVENIENCES, ANOMALIES OR CONFLICTS WHICH ARE ALLEGED.

REV.	DATE	DESCRIPTION
REV. 2	05.11.2021	UPDATED TO NEW ENERGY FOR 2021 BUILDING CODE
REV. 1	02.17.2021	AS PER BUILDING DEPT. COMMENTS
REV. 0		



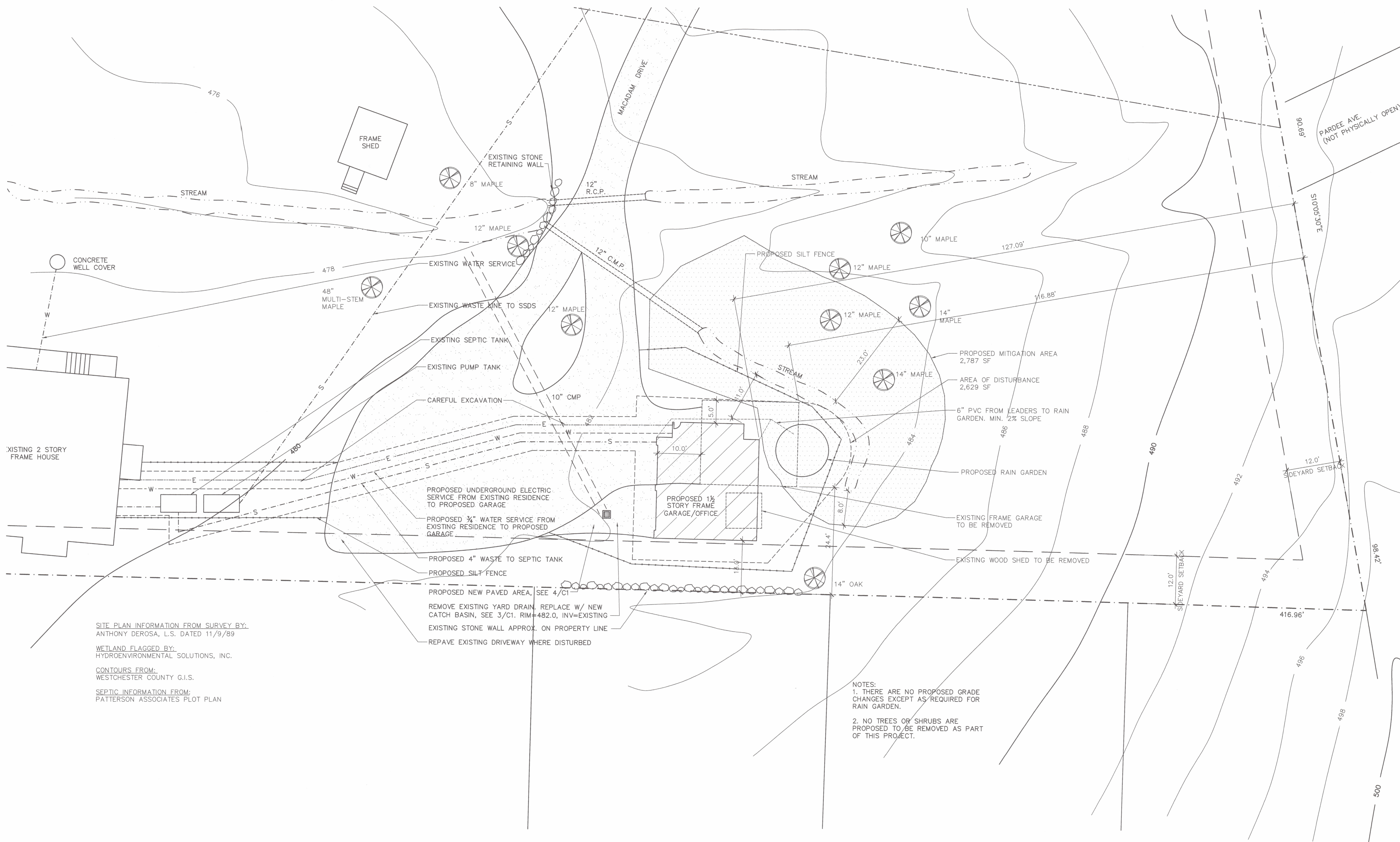
ALL WORK SHALL CONFORM TO THE 2021 IRC WITH 2021 NYS BUILDING CODE SUPPLEMENTS.

Architect:
ASCHER & ASSOCIATES, INC.
87 MILL RIVER ROAD
SOUTH SALEM, NY 10590
914-533-5640
www.ascherandassociates.com

Project:
ALTERATIONS TO FRONT PORCH
14 BOUTONVILLE ROAD
SOUTH SALEM, NY

Drawn:
PLANS, SECTIONS AND ELEVATIONS

Project No:
2021-01
Date:
02-17-2021
Sheet Number:
A-101



SITE PLAN INFORMATION FROM SURVEY BY:
ANTHONY DEROSA, L.S. DATED 11/9/89

WETLAND FLAGGED BY:
HYDROENVIRONMENTAL SOLUTIONS, INC.

CONTOURS FROM:
WESTCHESTER COUNTY G.I.S.

SEPTIC INFORMATION FROM:
PATTERSON ASSOCIATES PLOT PLAN

PROPOSED UNDERGROUND ELECTRIC SERVICE FROM EXISTING RESIDENCE TO PROPOSED GARAGE
PROPOSED 3/4\"/>

NOTES:
1. THERE ARE NO PROPOSED GRADE CHANGES EXCEPT AS REQUIRED FOR RAIN GARDEN.
2. NO TREES OR SHRUBS ARE PROPOSED TO BE REMOVED AS PART OF THIS PROJECT.

1 SITE PLAN
SCALE: 1" = 10'



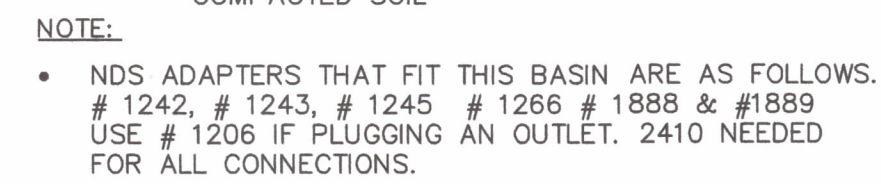
REVISIONS			
No.	Desc.	Date	



CROSS RIVER ARCHITECTS, LLC
ROBERT J. EBERTS R.A., PRINCIPAL
P.O. BOX 384
19 NO. SALEM RD. 2nd FL.
CROSS RIVER, N.Y. 10518
914.763.5887
FAX 914.763.8409

PROJECT
CAMPBELL RESIDENCE GARAGE REPLACEMENT
34 OLD POND ROAD
SOUTH SALEM, NY 10590
DATE
MARCH 30, 2021
TITLE
SITE PLAN
SCALE
1" = 10'
PROJ.#

DRAWING
C / 2



- GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.

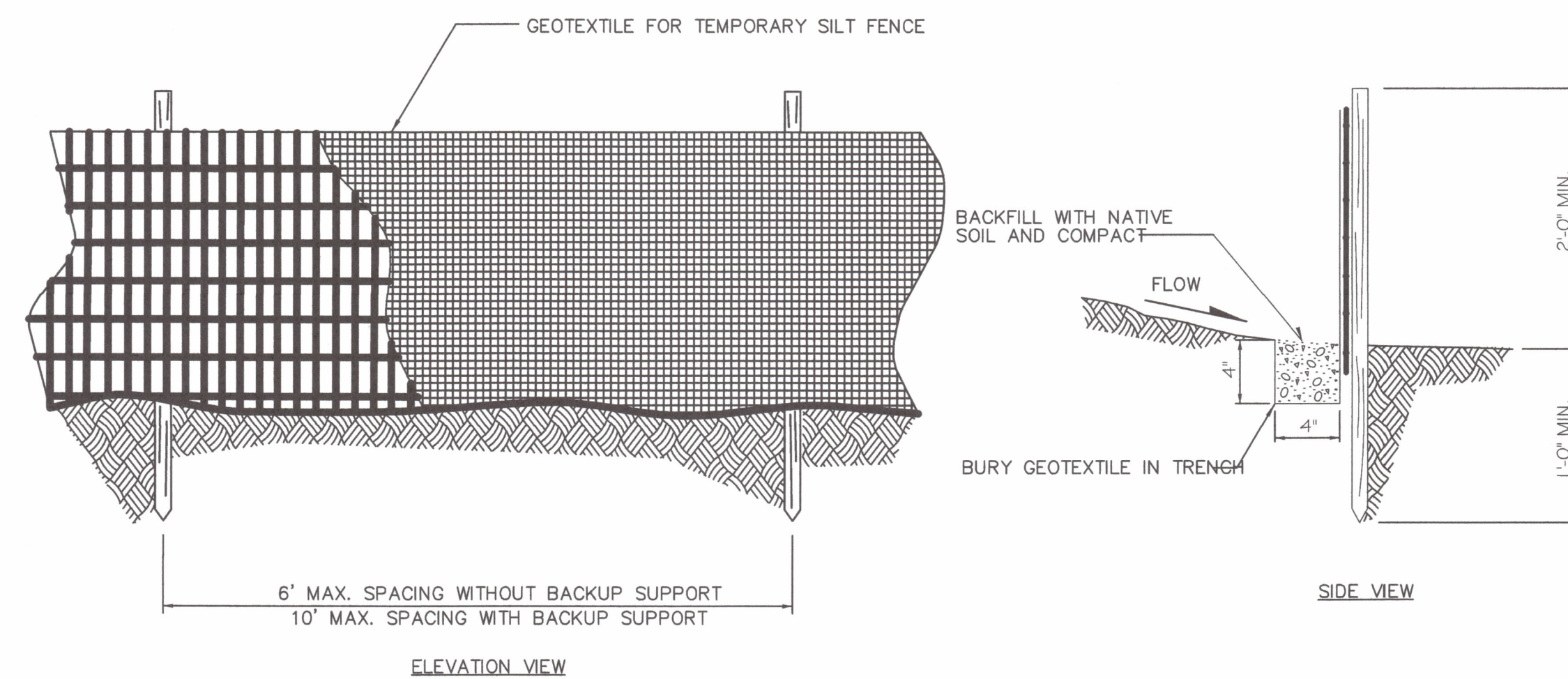
SCALE: NTS



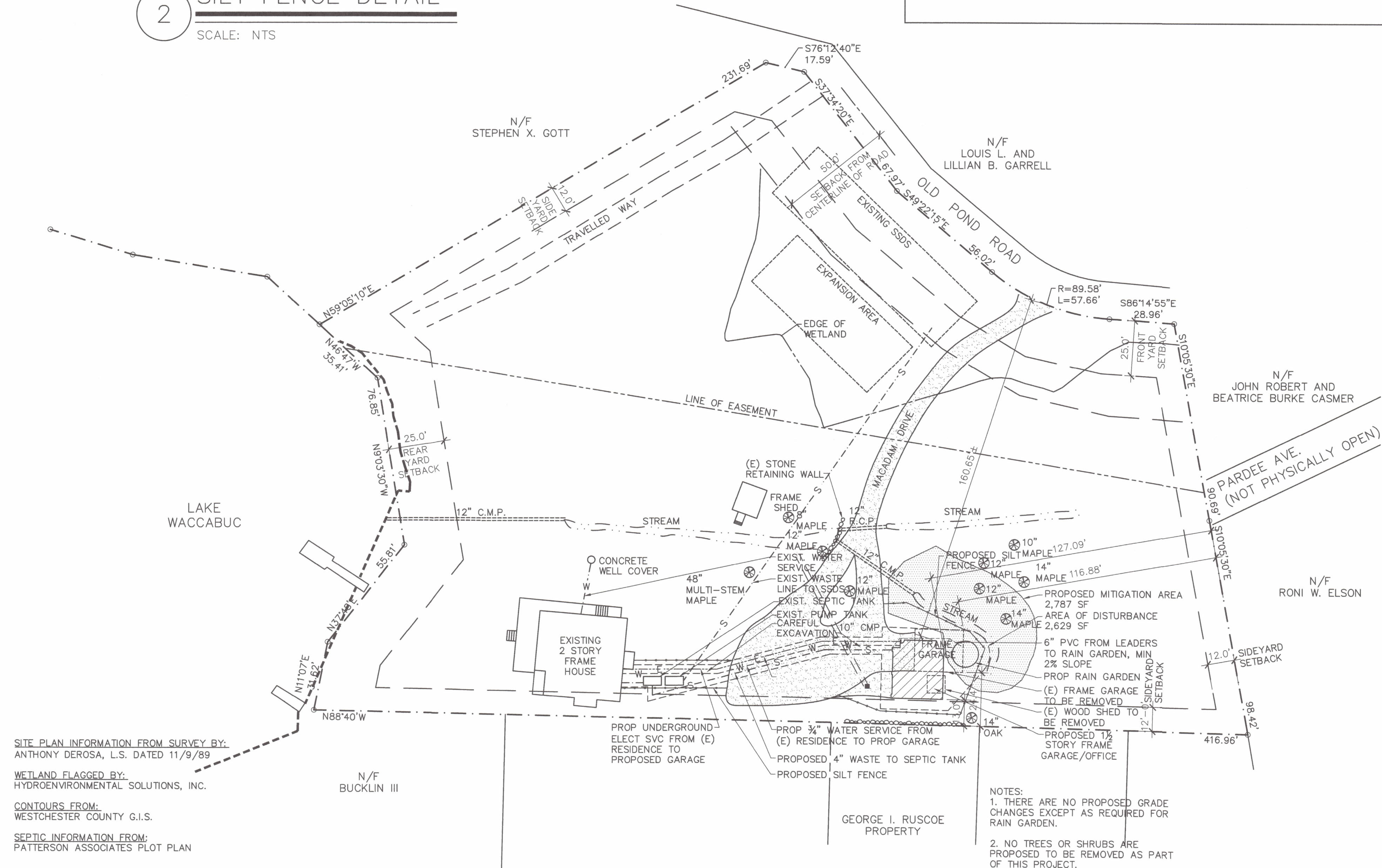
SCALE: NTS

NOTES

1. MAXIMIZE DETENTION OF STORMWATER BY PLACING FENCE AS FAR AWAY FROM THE TOE OF SLOPE AS POSSIBLE WITHOUT ENCRoACHING ON SENSITIVE AREAS OR OUTSIDE OF THE CLEARING BOUNDARIES.
2. INSTALL SILT FENCING ALONG CONTOURS WHENEVER POSSIBLE.
3. INSTALL THE ENDS OF THE SILT FENCE TO POINT SLIGHTLY UP-SLOPE TO PREVENT SEDIMENT FROM FLOWING AROUND THE ENDS OF THE FENCE.



SCALE: NTS



SCALE: 1" = 30'

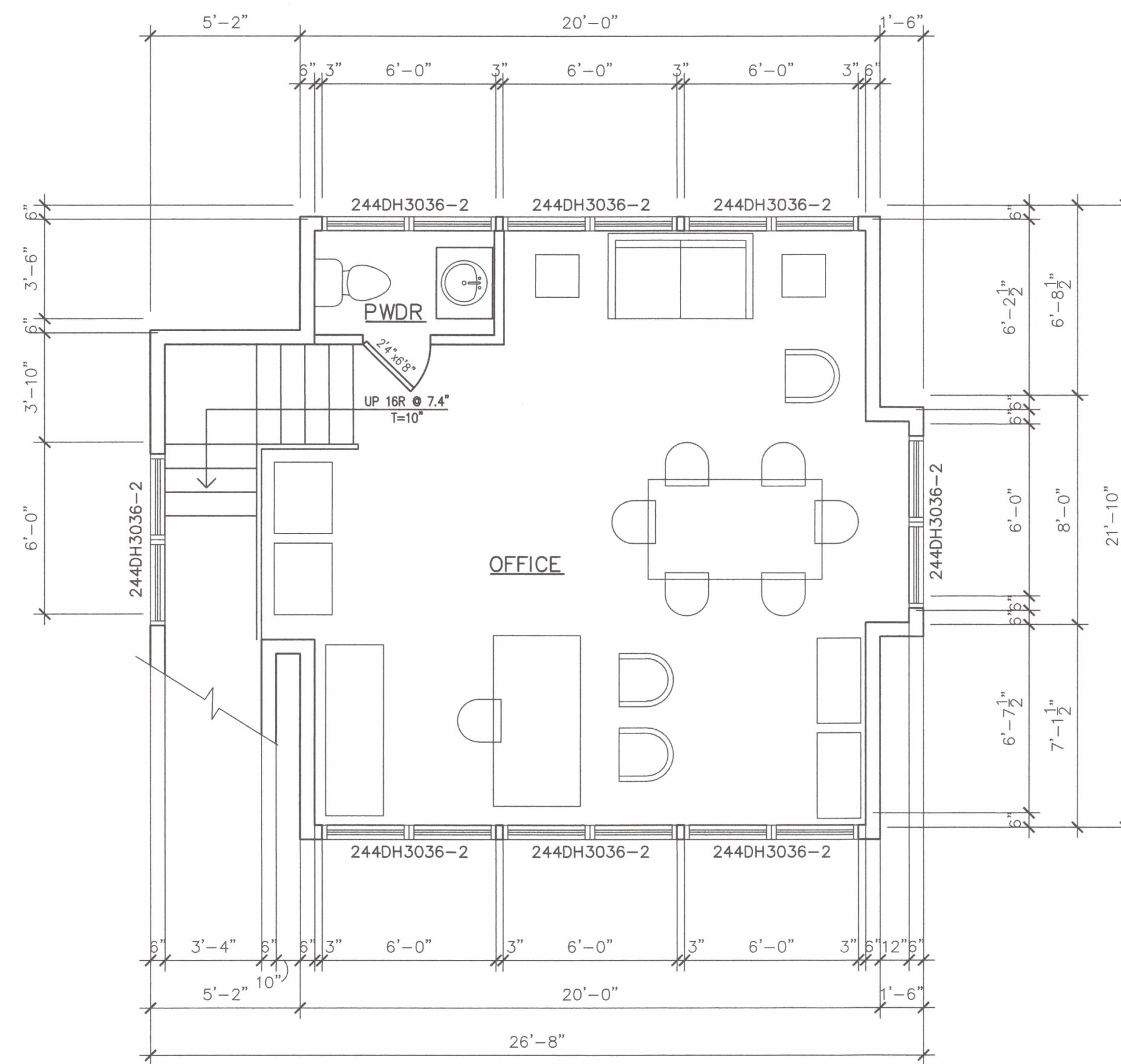
TAX LOT – SECTION 33C BLOCK 11368, LOT 12, 29

ZONE – R1/4A

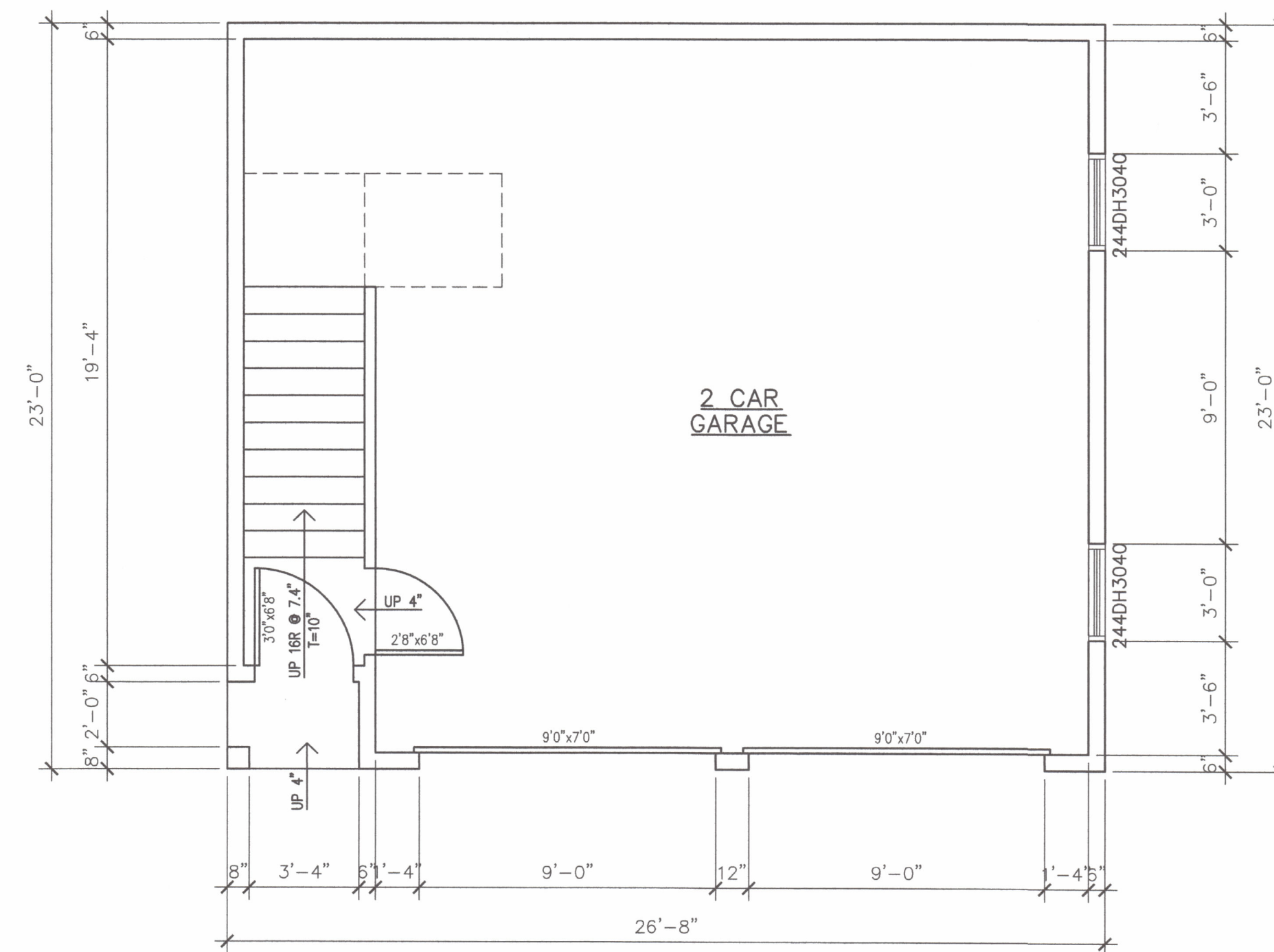
	<u>REQUIRED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
<u>LOT SIZE</u>	¼ AC., 10,890 SF	2.016 AC, 87,817 SF	-
<u>YARDS</u>			
FRONT FROM CL STREET	50'	160'+/-	165'+/-
FRONT	25'	150'+/-	155'+/-
SIDE	12'	24.4' / 116.8'+/-	13' / 127.1' +/-
REAR	25'	135'+/-	125'+/-
MAX HEIGHT	2 ½ / 35'	12'	18'
MAX. BLDG COVERAGE	25%, 21,954 SF	2.5% 2,208 SF	2.7%, 2,368 SF

NOTES: 1. OLD POND ROAD IS ELECTED AS FRONTAGE.

2. ALL DIMENSIONS ARE SHOWN TO THE EXISTING ACCESSORY GARAGE OR THE NEW ACCESSORY GARAGE
3. * = VARIANCE REQUIRED



2 SECOND FLOOR PLAN 481 SF
SCALE: 1/4" = 1'-0"



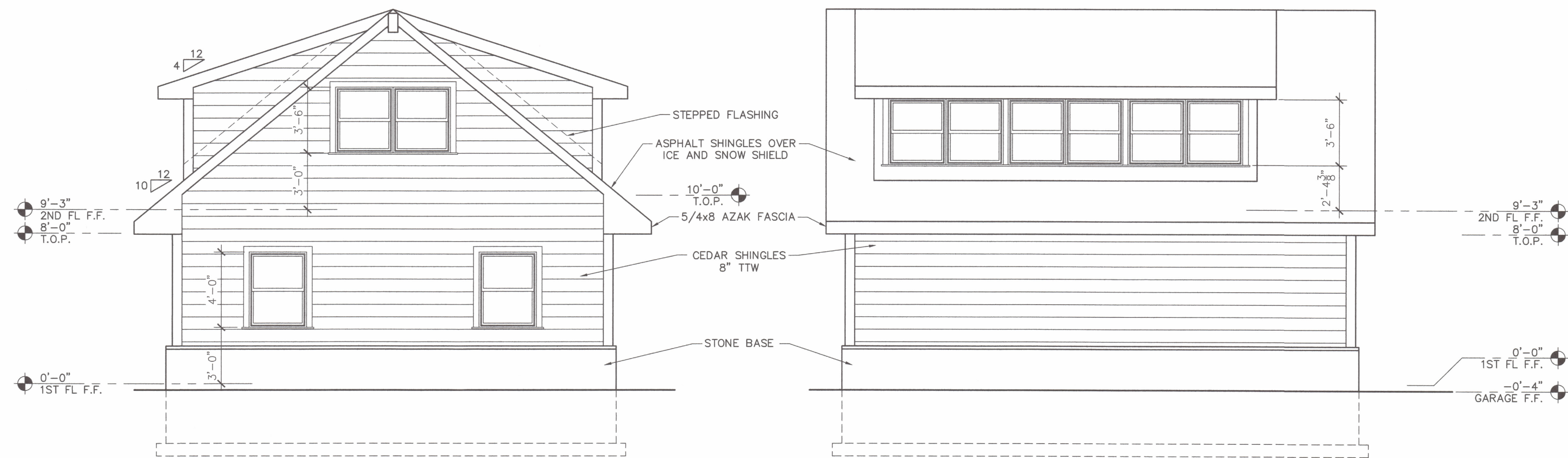
1 FIRST FLOOR PLAN 600 SF
SCALE: 1/4" = 1'-0"

1ST FL = 600 SF
2ND FL = 481 SF
TOTAL AREA = 1,081 SF



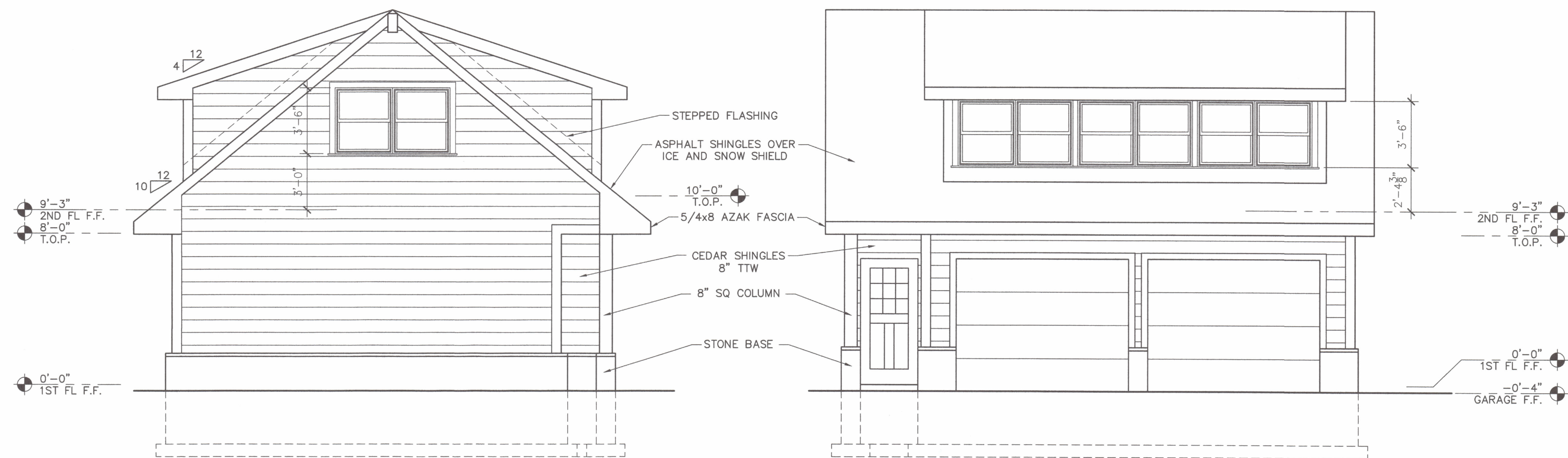
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CROSS RIVER, N.Y. 10518
914.763.5887
FAX 914.763.8409

PROJECT CAMPBELL RESIDENCE GARAGE REPLACEMENT
34 OLD POND ROAD
SOUTH SALEM, NY 10590
TITLE FLOOR PLANS
DATE FEBRUARY 7, 2021 SCALE AS NOTED
PROJ. #



4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

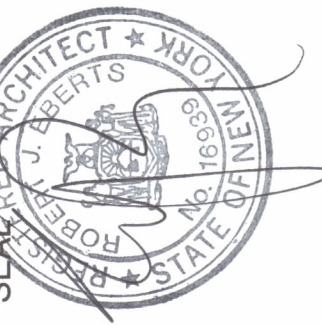
3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS



CROSS RIVER ARCHITECTS, LLC
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FAX 914.763.8409

PROJECT
CAMPBELL RESIDENCE GARAGE REPLACEMENT
34 OLD POND ROAD
SOUTH SALEM, NY 10590

TITLE
EXTERIOR ELEVATIONS
DATE
FEBRUARY 7, 2021 AS NOTED
SCALE
PROJ. #

DRAWING

A / 2