

**AGENDA PACKET**

**MAY 19, 2020 MEETING**

	<b><u>CAL#</u></b>	<b><u>PAGE</u></b>
<b><u>AGENDA</u></b>		<b>3</b>
<b><u>JJE33 HOLDINGS TO JJE33 LOT LINE CHANGE, OLD OSCALETA ROAD, SOUTH SALEM</u></b>	<b>Cal #07-19PB</b>	
Extension Request Email; Michael Sirignano, Esq.; dated April 17, 2020		<b>4</b>
<b><u>SAPIENTIA ASSOCIATION, 111 SMITH REIDGE ROAD, SOUTH SALEM</u></b>	<b>Cal# 5-16PB</b>	
Kellard Sessions Review Memo, dated May 14, 2020		<b>5</b>
Application materials, dated April 20, 2020		<b>7</b>
Comment emails from the Building Inspector (4/22/20), Police Chief (4/22/20) and Highway Superintendent (4/29/20)		<b>38</b>
<b><u>OAKRIDGE COMMONS, 450 OAKRIDGE COMMON, SOUTH SALEM- Car Wash</u></b>	<b>Cal #08-17PB</b>	
Kellard Sessions Review Memo, dated May 14, 2020		<b>41</b>
Cover letter; Bob Eberts, RA; dated April 22, 2020		<b>44</b>
Architectural drawings and details; Cross River Architects; dated April 20, 2020		<b>45</b>
Site Plans and details; Cross River Architects; dated April 28, 2020		<b>48</b>
<b><u>INSITE WIRELESS AT VISTA FIRE DEPT., 377 SMITH RIDGE ROAD, SOUTH SALEM</u></b>	<b>Cal #3-09PB</b>	
Public hearing materials		<b>54</b>
<b><u>MANDIA RESIDENCES, 65 OLD BEDFORD ROAD, GOLDENS BRIDGE</u></b>	<b>Cal #02-20PB</b>	<b>Cal #04-20SW</b>
Kellard Sessions Review Memo, dated May 14, 2020		<b>64</b>
Cover letter, Ed Delaney, dated May 8, 2020		<b>68</b>
Site Plans, Bibbo Associates, dated April 28, 2020		<b>71</b>
Landscape and Lighting Plans, Tracey Chalifoux, dated March 16, 2020		<b>74</b>

Survey, H. Stanley Johnson & Co., dated February 5, 2020		<b>76</b>
Comment Memo, Building Inspector, dated May 8, 2020		<b>77</b>
SWPPPP and NOI, Bibbo Associates, dated April 28, 2020		<b>78</b>
Stormwater Application, dated May 1, 2020		<b>122</b>
Public hearing materials		<b>123</b>
Public hearing notice referral to Somers Town Clerk, dated May 1, 2020		<b>135</b>

**TOWN OF LEWISBORO**  
**Westchester County, New York**



**Planning Board**  
**79 Bouton Road**  
**South Salem, New York 10590**

**Tel: (914) 763-5592**  
**Fax: (914) 875-9148**  
**Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)**

**AGENDA**

**Tuesday, May 19, 2020**

**Via Zoom videoconferencing**

**<https://zoom.us/j/99426059447> by clicking “Join a Meeting,” and entering Meeting ID: 994 2605 9447.  
You may call in to the Zoom meeting at 1-929-205-6099 when prompted, enter 994 2605 9447.**

Note: Meeting will start at **7:00 p.m.** and end at or before 11:00 p.m.

**I. EXTENSION OF TIME REQUEST**

**Cal #07-19PB**

**JJE33 Holdings to JJE33 Lot line change, Old Oscaleta Road, South Salem, NY 10590 Sheet 35, Block 11164, Lot 1 and Sheet 35, Block 11826, Lot 4 (JJE33 owner of record) and Sheet 35, Block 11164, Lot 2; Sheet 35, Block 11826, Lots 3 & 10 (JJE33 Holdings – owner of record) - Application for lot line change.**

**II. SPECIAL USE PERMIT RENEWAL**

**Cal #05-16PB**

**Sapientia Association, 111 Smith Ridge Road, South Salem NY 10590, Sheet 43 Block 10551, Lot 4 (Sapientia Association, Inc., owner of record) - Application for a Special Use Permit renewal for a house of worship.**

**III. SITE DEVELOPMENT PLAN REVIEW**

**Cal #08-17PB**

**Oakridge Commons, 450 Oakridge Common, South Salem, NY 10590, Sheet 49D, Block 9829, Lot 10 (Smith Ridge Associates, owner of record) – Revised application for Site Plan Review for installation of a car wash bay at an existing gas station.**

**IV. PUBLIC HEARINGS – to begin at 7:30 p.m.**

**Cal #3-09PB**

**InSite Wireless at Vista Fire Dept., 377 Smith Ridge Road, South Salem, NY 10590, Sheet 50A, Block 9834, Lots 84, 88 & 94 (Vista Fire District, owner of record) - Application for Special Use Permit renewal.**

**Cal #02-20PB**

**Mandia Residences, 65 Old Bedford Road, Goldens Bridge, NY 10526 Sheet 4A, Block 11112, Lot 2 (Town of Lewisboro, owner of record) - Application to convert former Goldens Bridge Community House into four 1-bedroom apartments.**

**V. MINUTES OF April 21, 2020.**

**VI. NEXT MEETING DATE: June 16, 2020.**

## Ciorsdan Conran

---

**From:** Michael Sirignano <michael@sirignano.us>  
**Sent:** Friday, April 17, 2020 11:18 AM  
**To:** Ciorsdan Conran  
**Subject:** Re: JJE33

Ciorsdan,  
Request is made for an additional extension of this approval.  
Thank you.

Michael Fuller Sirignano, Esq.  
Attorney & Counselor at Law  
Old Post Road Professional Building  
892 Route 35, PO Box 784  
Cross River, NY 10518  
Telephone: (914) 763-5500  
Fax: (914) 763-9589

On Apr 17, 2020, at 9:14 AM, "Planning@lewisborogov.onmicrosoft.com"  
<Planning@lewisborogov.onmicrosoft.com> wrote:

Good morning Michael-

Since the extension expires today could you please send me another ext request.

Thanks,

Ciorsdan

Ciorsdan Conran  
Town of Lewisboro  
Planning Board Administrator  
email: [Planning@lewisborogov.com](mailto:Planning@lewisborogov.com)  
tel # 914-763-5592, facsimile # 914-875-9148  
address: 79 Bouton Road, South Salem, NY 10590  
**Building is closed to the public beginning March 16, 2020**  
**See Planning tab on lewisborogov.com for current submission requirements**  
Usual hours: 8:30 a.m. – 1 p.m. and 2 p.m. - 4:30 p.m.

---

**From:** Michael Sirignano <michael@sirignano.us>  
**Sent:** Thursday, April 16, 2020 4:00 PM  
**To:** Ciorsdan Conran <Planning@lewisborogov.onmicrosoft.com>  
**Subject:** Re: JJE33

I'll check with my title company. They filed the plat and ordered the copies.

## MEMORANDUM

TO: Chairperson Janet Andersen and  
Members of Lewisboro Planning Board

CC: Ciorsdan Conran  
Judson Siebert, Esq.  
Joseph Angiello

FROM: Jan K. Johannessen, AICP   
Joseph M. Cermele, P.E., CFM   
Town Consulting Professionals

DATE: May 14, 2020

RE: Special Use Permit  
Sapientia Association, Inc.  
111 Smith Ridge Road  
Sheet 43, Block 10551, Lot 4 and 7

---

### PROJECT DESCRIPTION

The subject property consists of ±10 acres of land and is located at the corner of Smith Ridge Road (NYS Route 123) and West Lane within the R-2A Zoning District; the subject property was formerly occupied by the Jewish Family Congregation (JFC). The applicant, Sapientia Association, Inc., purchased the property in 2017 and was granted a Special Use Permit by the Planning Board on September 14, 2017, in order to occupy the space as a place of worship, specifically to promulgate the Christian Faith through spiritual guidance, mass, conferences, counseling, education, training, and hosting ceremonies and events. The applicant is requesting waiver of the submission requirements and renewal of the Special Use Permit without expiration and without any requirement to apply for further renewals. No physical changes to the site are proposed.

### SEQRA

The proposed action is an Unlisted Action under the State Environmental Quality Review Act (SEQRA) and a coordinated review is not required. The Planning Board issued a Negative Declaration of Significance along with the September 14, 2017 Resolution.

**REQUIRED APPROVALS**

1. Renewal of the Special Use Permit is required by the Planning Board; a public hearing is required.

**COMMENTS**

1. The applicant has provided attendance and parking data, as required by the approving Resolution; however, the applicant must also submit proof of monitoring its water usage on an annual basis.
2. The applicant has requested renewal of its Special Use Permit without expiration. There is no statutory requirement to renew the Special Use Permit and the Planning Board has the ability to impose or forgo a renewal at its discretion.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

**DOCUMENT REVIEWED:**

- Town of Lewisboro Planning Board Site Development Plan Application
- Letter prepared by Hogan & Rossi, dated April 20, 2020
- Deed
- Letter prepared by Hogan & Rossi, dated September 21, 2017
- Resolution Cal. #5-16 P.B., dated September 19, 2017
- Notice of Determination of Non-Significance, dated September 19, 2017
- Revised Statement of Use for Sapiaientia Association, Inc., dated August 30, 2017
- Sapiaientia Association Inc. Attendance/Car Data 2017
- Sapiaientia Association Inc. Attendance/Car Data 2018
- Sapiaientia Association Inc. Attendance/Car Data 2019

JKJ/JMC/dc

**TOWN OF LEWISBORO PLANNING BOARD**

79 Bouton Road, South Salem, NY 10590 Tel: (914) 763-5592 Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)

**Site Development Plan/Subdivision Plat Application - Check all that apply:**

Waiver of Site Development Plan Procedures	<input checked="" type="checkbox"/>			
Site Development Plan Approval	Step I <input type="checkbox"/>	Step II <input type="checkbox"/>		
Special Use Permit Approval	Step I <input type="checkbox"/>	Step II <input type="checkbox"/>		
Subdivision Plat Approval	Step I <input type="checkbox"/>	Step II <input type="checkbox"/>	Step III <input type="checkbox"/>	

**Project Information**

Project Name: Sapientia Association, Inc.

Project Address: 111 Smith Ridge Road, Lewisboro, NY

Gross Parcel Area: 10 acres Zoning District: R-2A Sheet(s): 43 Block (s): \_\_\_\_\_ Lot(s): \_\_\_\_\_

Project Description: Renewal of Special Use Permit for indefinite time period; permit expires 09/19/2020.

Is the site located within 500 feet of any Town boundary?	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>
Is the site located within the New York City Watershed?	YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>
Is the site located on a State or County Highway?	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>

Does the proposed action require any other permits/approvals from other agencies/departments?

Town Board	<input type="checkbox"/>	ZBA	<input type="checkbox"/>	Building Dept.	<input type="checkbox"/>	Town Highway	<input type="checkbox"/>
ACARC	<input type="checkbox"/>	NYSDEC	<input type="checkbox"/>	NYCDEP	<input type="checkbox"/>	WCDH	<input type="checkbox"/>
NYSDOT	<input type="checkbox"/>	Town Wetland	<input type="checkbox"/>	Town Stormwater	<input type="checkbox"/>		

Other \_\_\_\_\_

**Owner's Information**

Name: Sapientia Association, Inc. - Frank Corso Email: SEAParish@outlook.com

Address: 111 Smith Ridge Road, Lewisboro, NY Phone: 203-451-1861

**Applicant's Information (if different)**

Name: Hogan & Rossi Email: bfeinzig@hoganandrossi.com

Address: 3 Starr Ridge Road, Suite 200, Brewster, NY 10509 Phone: 845-279-2986

**Authorized Agent's Information**

Name: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

THE APPLICANT understands that any application is considered complete only when all information and documents required have been submitted and received by the Planning Board. The applicant further understands that the applicant is responsible for the payment of all application and review fees incurred by the Planning Board.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief, and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

APPLICANT'S SIGNATURE Bonnie M. Feinzig DATE 4-20-2020

OWNER'S SIGNATURE Frank Corso DATE 7/20/2020

# HOGAN & ROSSI

Attorneys At Law  
3 Starr Ridge Road - Suite 200  
Brewster, New York 10509

John J. Hogan  
Donald M. Rossi  
Michael T. Liguori\*  
Jamie Spillane\*\*  
Courtney J. Day\*\*  
\* Also Admitted in CT  
\*\* Also Admitted in NJ

Telephone: (845) 279-2986  
Facsimile: (845) 279-6425  
(845) 278-6135

Of Counsel  
Nancy Tagliaferro\*  
Mary Jane MacCrae  
Scott J. Steiner  
Bonnie N. Feinzig

April 20, 2020

Ciorsdan Conran, Secretary  
Town of Lewisboro Planning Board  
79 Bouton Road  
South Salem, New York 10590

Re: Application for Renewal of Special Permit  
Sapientia Association, Inc.  
111 Smith Ridge Road, Lewisboro, NY  
Block 10551, Lot 4, Sheet 43

Dear Secretary Conran:

We represent Sapientia Association, Inc. ("Sapientia"), which is a New York corporation incorporated under Section 180 of the Religious Corporations Law for the purpose of founding and operating a Free Church. Sapientia, which is also IRC 501(c)3 entity, has organized its church to promulgate the Christian faith through spiritual guidance, mass, conferences, counseling, education, training and the hosting of ceremonies and events.

Sapientia purchased 111 Smith Ridge Road, the site of the former Jewish Family Congregation of South Salem's ("JFC") synagogue, to operate its church and consistent with the requirements of Zoning Code Section 220-35 applied for and received a Special Use Permit to operate a place of worship on September 19, 2017. The existing permit expires on September 19, 2020. We are requesting the Special Use Permit be renewed without an expiration date and without any requirement to apply for further renewals.

It is our understanding that pursuant to Section 220-44(D)(3) of the Town of Lewisboro Code, an application in connection with an already approved special permit use is excluded from the requirements of Article VI for site plan development approval. We are requesting that the board waive, pursuant to Condition #26 of the Special Use Permit, the application submission requirements.

It is also our understanding that the Town granted the predecessor in use Jewish Family Congregation renewal of its Special Use Permit without an expiration date and without any requirement to apply for further renewals.

Requirements of Special Use Permit Approval dated September 19, 2017.

1. Use. The approved use for the premises has not changed; it continues to be used as a house of worship, furthering the promulgation of the Christian faith through spiritual guidance, mass, conferences, counseling, education, training and the hosting of ceremonies and events. The schedule of operations as set forth on the Revised Statement of Use dated August 30, 2017 in support of the original application for a Special Use Permit, provided a detailed Statement of Use for the property. The use has not expanded and remains the same or less as Sunday Mass is no longer performed at the premises. (Copies of the Special Use Permit and Revised Statement of Use are attached).
2. The work required to be initiated within one year was completed, use of the premises has continued and not ceased for more than one year, all required improvements were completed within two years and are maintained, and all conditions and standards have been complied with throughout the duration of the use.
3. Conditions #1 through #10 were fulfilled within the required time as set by the Planning Board. Conditions #11 through 12 have been completed.
4. The applicant is in full compliance with Special Use Permit conditions #13 through #28, including submission of monthly records of attendance and cars (copies of reports are attached).

Application for Renewal.

On September 19, 2017 the Planning Board granted Sapiaentia Association Inc. a Special Use Permit containing specified terms and conditions. Sapiaentia Association Inc. has fully complied with those terms and conditions.

The Special Use Permit provided the submission requirements of the Planning Board may be waived on application for renewal of the permit. Town Code Section 220-44(d)(3) excludes this application from the requirements for site plan development approval.

SEQR does not require further consideration upon the renewal of an existing permit.

The use of the premises has not changed or expanded since the approval of the Special Use Permit, there are no open building, fire or health code violations at the premises.

Accordingly, Sapiaentia respectfully requests the board waive the submission requirements and grant a renewal of the special use permit without expiration and without any requirement to apply for further renewals.

Also enclosed is the Affidavit of Ownership. We will provide the Tax Payment Affidavit as soon as practicable given the Covid-19 restrictions.

Kindly review this application, advise if any additional submissions and/or fees are required and if this matter will be placed on the Planning Board Agenda for their next meeting

We thank you in advance for your consideration of our requests and look forward to meeting with the Planning Board.

Very truly yours,

HOGAN & ROSSI

By: Bonnie N. Feinzig  
Bonnie N. Feinzig

/BNF

Enc.

# TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590

Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)

Tel: (914) 763-5592

Fax: (914) 875-9148

## Affidavit of Ownership

State of: New York

County of: Westchester

Frank Corso, being duly sworn, deposes and says that he/she

resides at 271 FLAX HILL RD, NORWALK CT.

in the County of Fairfield, State of Connecticut

and that he/she is (check one)  the owner, or  the President (Trustee)

of Sapientia Association Inc Title

Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the

Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of

Lewisboro as:

Block 10551, Lot 4, on Sheet 43

Frank Corso

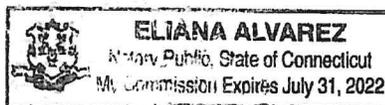
Owner's Signature

Sworn to before me this

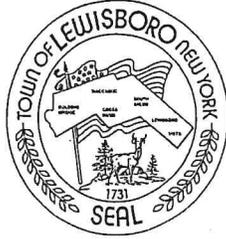
13<sup>th</sup> day of March, 2020

[Signature]

Notary Public - affix stamp



TOWN OF LEWISBORO  
Westchester County, New York



Planning Board  
79 Bouton Road  
South Salem, New York 10590

Tel: (914) 763-5592  
Fax: (914) 763-3637  
Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)

Michael Liguori, Esq.  
Hogan & Rossi  
3 Starr Ridge Road, Suite 200  
Brewster, NY 10590

September 21, 2017

Re: Sapientia Association  
111 Smith Ridge Road, South Salem, NY 10590  
Cal # 5-16PB  
Sheet 43, Block 10551, Lot 4

Dear Mr. Liguori,

Please find enclosed a certified copy of the Resolution for the above-referenced matter adopted by the Planning Board at the September 19, 2017 Planning Board meeting.

Sincerely,

Ciorsdan Conran  
Planning Board Secretary

cc (via email): Planning Board Members  
Jud Siebert, Esq., Planning Board Counsel  
Jan Johannessen, AICP, Town Planning/Wetland Consultant  
Peter Barrett, Building Inspector  
Janet Donohue, Town Clerk

**RESOLUTION  
LEWISBORO PLANNING BOARD**

**NEGATIVE DECLARATION OF SIGNIFICANCE  
SPECIAL USE PERMIT APPROVAL**

**SAPIENTIA ASSOCIATION, INC.  
111 SMITH RIDGE ROAD  
Sheet 43, Block 10551, Lot 4  
Cal. #5-16 P.B**

**September 19, 2017**

**WHEREAS**, Sapientia Association, Inc. (hereafter referred to as “the applicant”), is a New York religious corporation organized and existing under Section 180 of the Religious Corporations Law for the purpose of founding and operating a Free Church; and

**WHEREAS**, the applicant owns property located at 111 Smith Ridge Road, at the corner of Smith Ridge Road (NYS Route 123) and West Lane (hereafter referred to as “the subject property”); and

**WHEREAS**, the applicant has applied to the Planning Board for Special Use Permit to operate a church on the subject property, including furthering the promulgation of Christian faith through spiritual guidance, mass, conferences, counseling, education, training and the hosting of ceremonies and events (hereafter referred to as “the proposed action”); and

**WHEREAS**, the subject property consists of ±10 acres of land, is located within the R-2A Zoning District, and has access to Smith Ridge Road and West Lane; and

**WHEREAS**, the subject property is developed with an existing house of worship, interior driveways, parking, a playground, a septic system, potable water well, and other ancillary improvements; and

**WHEREAS**, the undeveloped portions of the subject property include lawn, meadow, and woodlands; and

**WHEREAS**, reference is made to an existing conditions survey entitled “Survey of Property prepared for Sapientia Associates, Inc.”, prepared by Terry Bergendorff Collins, dated December 22, 2016; and

**WHEREAS**, the subject property was previously owned and operated by the Jewish Family Congregation of South Salem (hereafter referred to as “JFC”), which previously operated a temple on the subject property; and

**WHEREAS**, JFC was granted a Special Use Permit by the Planning Board via Resolution dated November 4, 1992, amended February 1, 1994, and renewed indefinitely on November 21, 1995 (see Cal. #7-92 P.B.); and

**WHEREAS**, the applicant is proposing to re-occupy the subject property and is proposing no exterior building or site modifications; and

**WHEREAS**, the parish house use located on the subject property will be occupied as a traditional rectory and its occupancy will be limited to priests, church leaders and visitors on a traditional basis; the parish house will not be used for family occupancy; and

**WHEREAS**, places of worship or religious instruction, including parish houses, is a permitted use within the underlying R-2A Zoning District, subject to the issuance of a Special Use Permit by the Planning Board; and

**WHEREAS**, the proposed action is not considered a change of use, but rather a re-occupancy of use, subject to the issuance of a Special Use Permit; and

**WHEREAS**, the applicant has submitted a "Revised Statement of Use for Sapientia Association, Inc.", dated August 30, 2017, and has submitted a chart which analyzes various historical and proposed components of the use and compares same to the JFC Special Use Permit, the actual operation and historical use of JFC, and as currently proposed by the applicant; and

**WHEREAS**, the applicant has demonstrated that the intensity of the proposed use will equal or be less than the former JFC use; and

**WHEREAS**, the applicant has demonstrated that the existing parking accommodations are compliant with the Town's minimum off-street parking requirements for the proposed use; and

**WHEREAS**, the Planning Board has compared the proposed action to the Special Use Permit conditions specified under Section 220-35 of the Zoning Code, specifically:

- A. Location. The proposed action involves the re-occupancy of the subject property with a different organization but the same use (house of worship). The subject property is located in a residential zoning district (R-2A) and abuts and has direct access to a major road (Smith Ridge Road-NYS Route 123). All access will be from NYS Route 123, with emergency access only provided via West Lane; and
- B. Coverage. While no site improvements are proposed, the applicant has demonstrated that the existing building and site coverage is zoning complaint, as follows:

	Required	Existing/Proposed
Building Coverage	20%	1.6%
Site Development Coverage	50%	11.8%

\*As calculated by Bibbo Associates, LLP - See Sapientia Special Use Permit Plans

- C. Setbacks. While no site improvements or changes are proposed, the applicant has demonstrated that the existing building complies with setback requirements as they apply to the underlying R-2A Zoning District; and
- D. Buffer. While no site improvements or changes are proposed, the applicant has demonstrated compliance with the applicable landscape buffer requirements; and
- E. Other Requirements. As further set forth in this Resolution, the Planning Board is imposing additional conditions and requirements, as deemed appropriate to ensure that the proposed use will conform to all applicable standards and requirements of the Zoning Code and will not negatively impact the environment or neighborhood; and

**WHEREAS**, the subject property contains wetlands that are jurisdictional to the Town of Lewisboro; however, as no land disturbance or development is proposed, no disturbance within the wetland or wetland buffer will occur; and

**WHEREAS**, the application has been referred to and reviewed by the Conservation Advisory Council (CAC); and

**WHEREAS**, the application was referred to the Westchester County Planning Board under Section 239-m of the General Municipal Law (“notification-only referral”); and

**WHEREAS**, the proposed action is an Unlisted Action, pursuant to the New York State Environmental Quality Review Act (SEQRA), 6 NYCRR Part 617.4; and

**WHEREAS**, the applicant has prepared the Short Environmental Assessment Form (EAF) pursuant to SEQRA; and

**WHEREAS**, the Planning Board conducted a duly noticed public hearing which was opened and closed on September 19, 2017, at which time all interested parties were afforded an opportunity to be heard; and

**WHEREAS**, the Planning Board has considered the submitted Special Use Permit Application; other materials submitted by the applicant in support of its proposal; the written and verbal comments from the Board’s professional consultants; the verbal commentary and written submissions made during Planning Board meetings and the public hearing; and recommendations of the CAC.

**NOW THEREFORE BE RESOLVED THAT**, the Planning Board hereby makes the following findings in connection with the Special Use Permit:

1. The location and size of the use, the nature and intensity of the operations involved in it or conducted in connection with it, the size of the site in relation to it, and the location of the site with respect to streets giving access to it, are such that it will be in harmony with the appropriate and orderly development of the district in which it is located and that the proposed action complies with all special requirements for such use established in Section 220-32, Zoning. Specifically:

The subject property consists of ±10 acres of land, has access to a major road (Smith Ridge Road-NYS Route 123), has emergency access to West Lane, and is developed with a house of worship that has operated as a temple since 1992. The Planning Board is unaware of any negative impacts generated by the prior JFC use and the applicant has demonstrated, via submission of its Statement of Use and the Sapientia Comparison Chart, that the proposed use will be equal or less intense than the prior JFC use. For instance, Sapientia Association, Inc. will consist of a smaller congregation and will result in fewer persons attending special events and services (150 persons compared to upwards of 600 persons). The intensity of the use will be periodic with peak demand being during mass hours, holy days, conferences and special events. There will be a few times per year where attendance at the subject property will be significant; however, adequate parking is provided on-site, with provisions made for overflow lawn parking, if needed on occasion.

2. The location, nature and height of buildings, walls and fences and the nature and extent of existing or proposed planting on the site are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings. Specifically:

The subject property is developed with a house of worship, interior driveways, parking, a playground, a septic system, potable water well, and other ancillary improvements. As mentioned above, no land disturbance, site modifications, or changes to the exterior of the buildings is proposed. The subject property contains mature landscaping, which will remain and be maintained by the applicant. As no new development is proposed, the proposed action will not hinder or discourage the appropriate development and use of adjacent land and buildings.

3. Operations in connection with the Special Use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would be the operation of any permitted use not requiring a Special Permit. Specifically:

As stated above, the proposed action is a re-occupancy of the existing house of worship, essentially changing from the Jewish faith to the Christian faith, except that the new congregation is presently much smaller and the intensity of the proposed use will be less than the former JFC use. The subject property is located within the R-2A Zoning District where public schools and Town of Lewisboro municipal uses are identified as principally permitted uses. The Planning Board finds that the operation of a public school on the subject property would be a more intense use when compared to the proposed house of worship. Operation of a public school would include significant numbers of children and staff coming to the site on a daily regular basis; school buses would also frequent the subject property and the outdoor recreation area would likely be expanded and be used more frequently by children. Schools also tend to be used during the evenings and on weekends for special events. Likewise, Town of Lewisboro municipal uses could include a municipal office building, utilities, transfer stations, machine and maintenance yards, and like uses.

4. Parking areas will be of adequate size for the particular use, properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum and adequate safety. Specifically:

The primary access driveway is off Smith Ridge Road (NYS Route 123), a major road, with emergency access provided via West Lane. The existing access driveways are adequate for the proposed use and are not proposed to be altered. The number and size of the existing parking spaces are compliant with the Town of Lewisboro off-street parking regulations for the subject use and the existing parking layout and internal driveways are not proposed to change. The subject property contains approximately 53 improved parking spaces and overflow lawn parking has been evaluated and illustrated on the Sapientia Special Use Permit Plans. The existing parking provisions were adequate for the former JFC use and it is anticipated, given the less intense proposed use with smaller congregation, that existing parking will remain suitable for the proposed use. In the event that additional permanent parking is required, it has been demonstrated that additional code compliant parking could be developed on the ±10 acre site. The existing improved parking spaces are not located proximate to any street and are suitably screened via landscaping and the existing building. While the original JFC approved site plan illustrated a total of 94 improved parking spaces, only 53 paces were constructed. As stated in the Planning Board's November 21, 1995 Resolution for JFC, "...the Planning Board has reviewed the current parking conditions and determined that the existing 53 improved parking spaces adequately serve the site and the Special Permit Use"; and

**BE IT FURTHER RESOLVED THAT,** the proposed action is an Unlisted Action under the SEQRA and the Planning Board hereby issues the attached Negative Declaration of Significance; and

**BE IT FURTHER RESOLVED THAT,** the Planning Board hereby approves a Special Use Permit, subject to the below conditions and compliance with the Special Use Permit Conditions specified below; and

**BE IT FURTHER RESOLVED THAT,** given the fact that no land disturbance or development is proposed and as the site conditions will remain the same, the Site Development Plans of Record shall remain in full force and effect, unless specifically amended herein; and

**BE IT FURTHER RESOLVED THAT,** the Planning Board hereby approves the following plans, which shall be referred to as "The Sapientia Association Special Use Permit Plans", prepared by Bibbo Associates, LLP, dated July 6, 2017, subject to the conditions enumerated below:

- Existing Conditions Plan (EX-1)
- Site Plan Parking (SP-1)

**BE IT FURTHER RESOLVED THAT,** the Planning Board hereby approves the existing as-built location of the playground as shown on the Sapientia Association Special Use Permit Plans approved herein; and

**BE IT FURTHER RESOLVED THAT,** this Special Use Permit shall be deemed to authorize only the particular Special Permit Use described herein and illustrated on the Sapientia Special Use Permit Plans and shall expire if work is not initiated pursuant thereto within one (1) year of this Resolution, or if said use or uses shall cease for more than one (1) year for any reason, or if all required improvements are not completed within two (2) years from the date of this Resolution, or if all such required improvements are not maintained and all conditions and standards complied with throughout the duration of the use, except that the Planning Board may, upon request, extend the above time periods as determined appropriate; and

**BE IT FURTHER RESOLVED THAT,** Conditions #1 through #10 must be fulfilled within six (6) months of the date of this Resolution (by March 19, 2018). Should the below-listed conditions not be completed within the allotted time frame, this Resolution shall become null and void unless an extension is requested by the applicant (in writing) within said six (6) month period and granted by the Planning Board.

**Conditions to be Satisfied Prior to the Signing of the Sipientia Special Use Permit Plans by the Secretary and Chairman:**

1. Each and every sheet of the Sipientia Special Use Permit Plans shall contain a common revision date with notation stating "Planning Board Approval", shall contain an original seal and signature of the design professional and shall contain an original signature of the owner(s).
2. The Sipientia Special Use Permit Plans, the Revised Statement of Use for Sipientia Associates, Inc. and the Sipientia Comparison Chart shall be submitted to the Building Inspector and the Vista Fire Department for review and comment; any comments shall be provided within 30 days of submission and shall be reviewed and addressed, as deemed applicable, by the Town's consultants. DONE
3. The applicant shall obtain all necessary approvals from the Westchester County Department of Health, as required. DONE
4. The applicant shall satisfy any outstanding written comments provided by the Town's consultants. ✓ ✓
5. The Sipientia Special Use Permit Plans shall be revised to illustrate the temporary tent location as shown on the Site Development Plans of Record. Further, the overflow parking layout shall be revised to be consistent with existing site conditions and existing internal driveway locations, to the satisfaction of the Town's consultants. DES ✓ ✓
6. The number of existing parking spaces referenced on the Sipientia Special Use Permit Plans shall be revised to 53 spaces. DES ✓
7. The applicant shall submit a "check set" of the Final Sipientia Special Use Permit Plans (two (2) sets), prepared in final form and in accordance with the conditions of this Resolution, for review by the Planning Board's consultants. DES
8. Following review and revision (if necessary) of the final plans, the applicant shall furnish the Planning Board with two (2) complete mylar sets of the final Sipientia Special Use Permit Plans for final review by the Town's consultants and endorsement by the Town Engineer, Planning Board Chairman and Secretary.
9. The applicant shall provide a written statement to the Planning Board Secretary acknowledging that they have read and will abide by all conditions of this Resolution.

10. The applicant shall pay to the Town of Lewisboro, by certified check, all outstanding professional review fees.

**Conditions to be Satisfied Subsequent to the Signing of the Sapientia Special Use Permit Plans:**

11. Following the endorsement of the Sapientia Special Use Permit Plans by the Town Engineer, Planning Board Chairman and Secretary, one (1) mylar set will be returned to the applicant for copying and the second mylar set will be retained by the Planning Board as a record copy.
12. Within 10 days after endorsement of the Sapientia Special Use Permit Plans by the Town Engineer, Planning Board Chairman and Planning Board Secretary, the applicant shall deliver to the Planning Board Secretary nine (9) printed sets of the signed plans, collated and folded.

**Special Use Permit Conditions:**

13. The house of worship shall be restricted to use by Sapientia Association, Inc. for use as a church and may not be used by or leased to any other organization.
14. The intensity of the use shall comply with the submitted "Revised Statement of Use for Sapientia Association, Inc.", dated August 30, 2017.
15. The parish house use shall be occupied as a traditional rectory and its occupancy shall be limited to priests, church leaders and visitors on a transitional basis; the parish house shall not be used for full-time family occupancy.
16. Receptions, social events, conferences, and religious services shall be held indoors. When required for religious service, when attendance is expected to exceed indoor building/seating capacity. A tent may be erected on the subject property in the location designated on the Sapientia Special Use Permit Plans, but not more than five (5) times per year. The tent shall be installed no more than 48 hours before the event and must be removed no more than 48 hours after the event.
17. The applicant shall notify the State and Town police whenever an event or service is scheduled with an expected attendance over 150 persons. The applicant shall provide appropriate parking and internal site traffic controls, at its own expense, for each such event.
18. The applicant shall accurately monitor its water use, congregation size, and attendance at mass, holy days, and special events; records shall be submitted to

the Planning Board on an annual basis, by February 1<sup>st</sup> of each year (for the prior year's records).

19. The applicant shall monitor the number of vehicles parked on the subject property during weekly mass, holy days and special events; records shall be submitted to the Planning Board on an annual basis, by February 1<sup>st</sup> of each year (for the prior year's records).
20. Any failure of the septic system shall be reported to the Town Building Inspector and Westchester County Department of Health.
21. The driveway accessing West Lane shall be used for emergency access only. The use to the emergency entrance and exit shall be restricted by a gate and appropriate signage and will thereby be prohibited from use by the public. The gate shall remain closed but unlocked.
22. There shall be no additional curb cuts on any road other than those shown on the Site Development Plans of Record.
23. There shall be no off-site parking on West Lane or Smith Ridge Road (NYS Route 123).
24. The applicant shall be responsible for maintaining the appearance of the subject property in good order, including all existing structures, driveway and parking surfaces, landscaping, lighting, and other ancillary improvements.
25. With the exception of security lights, all exterior lights shall be turned off during non-operating hours.
26. This Special Use Permit shall be valid for a period not to exceed three (3) years from the date of the filing of this Resolution with the Town Clerk, except as may be extended by the Planning Board pursuant to the review and approval of an application for renewal. Any subsequent renewal application shall be subject to the same procedure, rules and regulations applicable to an original application; however, the Planning Board may waive, upon the request of the applicant and subject to appropriate circumstances, the application submission requirements.
27. The continued validity of a Certificate of Occupancy shall be subject to continued conformance with the Site Development Plans of Record, the Sapientia Special Use Permit Plans, and the conditions of this Resolution.
28. This Special Use Permit shall be void with any intensification of use beyond that permitted, any change of use, or with any change in ownership.

**ADOPTION OF RESOLUTION**

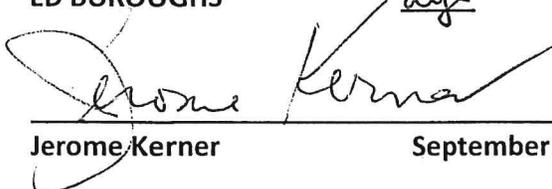
**WHEREUPON**, the Resolution herein was declared adopted by the Planning Board of the Town of Lewisboro as follows:

The motion was moved by: Ron Tetelman

The motion was seconded by: Greg La Sorsa

The vote was as follows:

JEROME KERNER	<u>aye</u>
JOHN O'DONNELL	<u>aye</u>
RON TETELMAN	<u>aye</u>
GREG LASORSA	<u>aye</u>
ED BOROUGHS	<u>aye</u>

  
\_\_\_\_\_  
Jerome Kerner                      September 19, 2017

**STATE OF NEW YORK  
COUNTY OF WESTCHESTER  
TOWN OF LEWISBORO**

I, Ciorsdan Conran, Secretary to the Planning Board of the Town of Lewisboro, County of Westchester, State of New York, do hereby certify that I have compared the preceding copy of a resolution adopted by the Planning Board of the Town Lewisboro, County Westchester at a meeting held on the 19<sup>th</sup> day of September, 2017 and that the same is a true and correct copy of said original and of the whole thereof.

**State Environmental Quality Review  
NEGATIVE DECLARATION  
Notice of Determination of Non-Significance**

**Date:** September 19, 2017

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Town of Lewisboro Planning Board has determined that the proposed action described below will not have a significant environmental impact and a Draft Environmental Impact Statement will not be prepared.

**Name of Action:** Special Use Permit for Sapientia Association, Inc.

**SEQRA Status:**           Type 1  
                                      Unlisted

**Conditioned Negative Declaration:**       Yes  
      No

**Coordinated Review:**                       Yes  
      No

**Description of Action:** Sapientia Association, Inc. (hereafter referred to as “the applicant”), is a New York religious corporation organized and existing under Section 180 of the Religious Corporations Law for the purpose of founding and operating a Free Church. The applicant has applied to the Planning Board for Special Use Permit to operate a church on property located at 111 Smith Ridge Road, at the corner of Smith Ridge Road (NYS Route 123) and West Lane (hereafter referred to as “the subject property”). The applicant intends to utilize the subject property to further the promulgation of Christian faith through spiritual guidance, mass, conferences, counseling, education, training and the hosting of ceremonies and events (hereafter referred to as “the proposed action”). The subject property consists of ±10 acres of land, is located within the R-2A Zoning District, and has access to Smith Ridge Road and West Lane. The subject property is developed with an existing house of worship, interior driveways, parking, a playground, a septic system, potable water well, and other ancillary improvements. The subject property was previously owned and operated by the Jewish Family Congregation of South Salem (hereafter referred to as “JFC”), which previously operated a temple on the subject property. JFC was granted a Special Use

Permit by the Planning Board via resolution dated November 4, 1992, amended February 1, 1994, and renewed indefinitely on November 21, 1995 (see Cal. #7-92 P.B.).

**Location:** 111 Smith Ridge Road (NYS Route 123), Town of Lewisboro, Westchester County, New York.

**Reasons Supporting This Determination:** The Planning Board has compared the proposed action with the Criteria for Determining Significance in 6 NYCRR 617.7 (c). Specifically:

1. The proposed action will not result in a substantial adverse change in the existing air quality, ground or surface water quality or quantity, traffic or noise levels; a substantial increase in solid waste production.

*No land disturbance or development is proposed and the proposed action involves the re-occupancy of the subject property with a different organization but the same use (house of worship). The subject property is located in a residential zoning district (R-2A) and abuts and has direct access to a major road (Smith Ridge Road-NYS Route 123). All access will be from NYS Route 123, with emergency access only provided via West Lane. As Sapientia Association, Inc. presently has a substantially smaller congregation when compared to the former JFC use, the proposed use will be equal to or less intense than JFC. Therefore, the existing condition will essentially remain the same or impacts will be reduced.*

2. The proposed action will not result in the removal or destruction of large quantities of vegetation or fauna; substantial interference with the movement of any resident or migratory fish or wildlife species; impact a significant habitat area; result in substantial adverse impacts on a threatened or endangered species of animal or plant, or the habitat of such species; and will not result in other significant adverse impacts to natural resources.

*The proposed action involves no land disturbance, development, or removal of vegetation; the existing condition will remain the same; therefore, no impacts will result.*

3. The proposed action will not result in the impairment of the environmental characteristics of a Critical Environmental Area as designated pursuant to 6 NYCRR Part 617.14(g).

*The subject property is not located within or adjacent to a Critical Environmental Area.*

4. The proposed action will not result in a material conflict with the Town's officially approved or adopted plans or goals.

*The proposed action is a re-occupancy of use and the subject use is a permitted use within the underlying R-2A Zoning District, subject to the issuance of a Special Use Permit. The applicant has demonstrated that the proposed action is compliant with the Special Use Permit conditions specified under Section 220-35 of the Zoning Code.*

5. The proposed action will not result in the impairment of the character or quality of important historical, archaeological, architectural, aesthetic resources or the existing character of the community or neighborhood.

*No land disturbance, development or exterior building modification are proposed; therefore, no impacts will result.*

6. The proposed action will not result in a major change in the use of either the quantity or type of energy.

*Given the reduction in intensity of use, electricity usage is expected to be reduced or remain the same.*

7. The proposed action will not create a hazard to human health.
8. The proposed action will not create a substantial change in the use, or intensity of use, of land including agricultural, open space or recreational resources, or in its capacity to support existing uses.
9. The proposed action will not encourage or attract a large number of people to a place or place for more than a few days, compared to the number of people who would come to such place absent the action.
10. The proposed action will not create a material demand for other actions that would result in one of the above consequences.
11. The proposed action will not result in changes in two (2) or more elements of the environment, no one of which has a significant impact on the environment, but when considered together result in a substantial adverse impact on the environment.
12. When analyzed with two (2) or more related actions, the proposed action will not have a significant impact on the environment and when considered cumulatively, will not meet one or more of the criteria under 6 NYCRR 617.7(c).
13. The Planning Board has considered reasonably related long-term, short-term, direct, indirect and cumulative impacts, including other simultaneous or subsequent actions.

**For further information contact:**

Ciorsdan Conran, Planning Board Secretary  
79 Bouton Road  
South Salem, NY 10590  
Phone: 763-5592

**This notice is being filed with:**

Ciorsdan Conran, Planning Board Secretary  
79 Bouton Road  
South Salem, NY 10590

**REVISED STATEMENT OF USE  
FOR  
SAPIENTIA ASSOCIATION, INC.<sup>1</sup>**

**August 30, 2017**

Sapientia Association, Inc. (“Sapientia”), is a New York corporation incorporated under Section 180 of the Religious Corporations Law for the purpose of founding and operating a Free Church. Recently, it purchased 111 Smith Ridge Road, Lewisboro, New York (the “Property”) from The Jewish Family Congregation of South Salem (“JFC”), which operated a temple on the Property since 1992. The Property consists of 10 acres and is fully developed with a house of worship, parking and interior roads, mature landscaping and related improvements. JFC’s occupancy of the Property was based on an approved Site Development Plan and a Special Permit for its use.

Sapientia has applied to the Planning Board for a (i) Special Permit to operate its church on the Property which includes the following activities: furthering the promulgation of the Christian faith through spiritual guidance, mass, conferences, counseling, education, training and the hosting of ceremonies and events.

The following schedule of operation is anticipated for the next thirty-six (36) months, with the hopes of a more robust schedule in the future if the congregation grows. Importantly, we note that the “Present” schedule is a good faith estimate of the immediate use, but is not intended as a limitation on the use.

Sapientia’s schedule of operations consists of the following:

<u>Activity:</u>	<u>Present:</u>	<u>Future:</u>
Office hours:	2-3 days per wk at business hrs	Full time
Mass hours:	Sundays 7am to 12pm	Weekly Am and Sun
Confession:	As needed	As needed
Conferences:	2xs per month	4xs per month
Counseling:	As needed	As needed
*Education:	Between Sunday Masses	Undetermined
Training:	As needed	Undetermined
Ceremonies:	As needed	Undetermined
Outdoor Events:	**5x’s Per Year	Same
Parish House Occupancy	24/7	24/7
High Holy Days	4x (Christmas, Easter, Palm Sunday, Good Friday)	Same

\*Education Activity at present is intended as instruction for parents who homeschool their children with a faith based emphasis. Children are anticipated accompany parents to congregate with each other while the parents receive instruction.

\*\* Tent over rear parking lot identical to prior JFC use.

---

<sup>1</sup> Revised to remove reference to Waiver of Site Plan Approval

**PURSUANT TO THE REQUEST OF THE PLANNING BOARD, A SAPIENTIA / JFC COMPARISON CHART IS ANNEXED HERETO.**

According to Section 220-32 of the Zoning Code, the Planning Board shall review, consider and make reference to all previous records that may exist on the proposed special permit use prior to taking action and shall find that all of the following conditions and standards have been met prior to issuance of the special permit. The support for why a Special Permit and a Waiver of Site Plan Approval should be granted are set forth below each item in italics.

(1) The location and size of the use, the nature and intensity of the operations involved in it or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it, are such that it will be in harmony with the appropriate and orderly development of the district in which it is located and that it complies with all special requirements for such use established in this chapter.

*First, it must be recognized that this is a re-occupancy as opposed to a new construction, therefore, the prior occupancy, its site plan approval and special permit and the development of the property therewith since 1992 has contributed to the historical development of the community. Based thereon, the review for whether the new use is harmonious should consist of a review against the prior use given the similarities in use. Essentially, we are going from the Jewish faith to the Christian faith, except the new congregation is presently much smaller.*

*Second, the site is 10 acres and has **APPROXIMATELY 53** existing parking spaces. Presently, the parking is completely adequate for the use given that not every parking space will be necessary for the bulk of the activities that will take place on the site. In the event of growth, additional parking can be located on site. If additional regular parking is necessary (other than for high holy days), the Site Plan could be reexamined during a review a future Special Permit review. Access is from NYS Route 123, which is a major thoroughfare, as opposed to a local or side road. No impacts to surrounding properties are predicted related to access.*

(2) The location, nature and height of buildings, walls and fences and the nature and extent of existing or proposed plantings on the site are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings.

*Given the mature landscaping that exists along all of the Property's frontage, the use of the site will not hinder or discourage the appropriate development and use of adjacent land and buildings.*

(3) Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would be the operations of any permitted use not requiring a special permit.

*Comparatively and similar to the findings in the JFC Special Permit, a public school would have much greater impacts than a house of worship due to noise, intensity of use on a regular basis, fumes and other characteristics.*

(4) Parking areas will be of adequate size for the particular use, properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum and adequate safety.

***NOT ALL OF THE PARKING SHOWN ON THE EXISTING SITE PLAN WAS CONSTRUCTED, HOWEVER, 55 PARKING SPACES EXIST, WHICH ARE SUFFICIENT FOR THE SIZE OF THE EXISTING CONGREGATION.***

We ask the Board to note that it made the following findings when it approved the JFC Special Permit in 1992:

“The Planning Board hereby finds that the location, nature and height of buildings, walls and fences and the nature and extent of existing or proposed plantings on the site are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings. As indicated above, there are existing improvements on the site including buildings, stone walls and fences. These existing improvements are not proposed to be changed. Existing plantings on the site are of both significant size and number and additional plantings, as further set forth in this decision will be required. Based upon the location of existing improvements and proposed improvements (including overflow parking areas which will only be necessary a few times a year) the proposed use will not hinder or discourage the appropriate development and use of adjacent land and buildings.

The Planning Board hereby finds that operations in connection with the proposed use will not be more objectionable to nearby properties by reason of noise, fumes, vibration, or other characteristics than would be the operations of any permitted use not requiring a special permit. The proposed use is located in an R-2A zoning district. Principal permitted uses in this district, as set forth in section 220-23 of the Zoning Ordinance, include public schools and Town of Lewisboro municipal uses.

The Board finds that operation of a public school on the site would be a much more intensive use than the proposed use. Operation of a public school would include significant numbers of children and adults coming up on to the site on a daily basis including regular bus traffic. A public school site would also generally include outdoor playground and recreation area improvements, with attendant increase in noise and disruption. Additionally, schools are not infrequently used for night and weekend events. Likewise, Town of Lewisboro municipal uses could include such things as a municipal building, recreation center, and municipal utility structures (including water and sewage treatment plants).

The proposed use will not be more objectionable by reason of the characteristics listed in Section 220-32(D) (3) than would principal permitted uses. As set forth above, and otherwise herein, concerns with respect to traffic have been addressed by the imposition of relevant conditions. Concerns with respect to noise have been addressed by limiting the applicant’s usage of outdoor areas, including the requirement that no outdoor receptions are permitted.

The Planning Board finds that parking areas will be of adequate size for the proposed use, properly located and suitably screened from adjoining residential uses, and the entrance and exit drive is laid out so as to achieve maximum and adequate safety. Pursuant to Section 220-56 of the Zoning Ordinance, a total of 40 parking spaces are required for the proposed regular services, 67 spaces are required for occasional special events or services and 200 spaces are required for holy day special

observances. The applicant has provided 94 permanent parking spaces, as further set forth on its plan. Additionally, the applicant has designated areas for 106 parking spaces in lawn areas. The parking spaces are suitably screened from adjoining residential uses by the 30' buffer, existing vegetation, and additional evergreen plantings within the southern buffer area.

The entrance and exit drive is located on NYS Route 123, Smith Ridge Road. The impact of this access drive has been studied and reviewed by professional traffic engineers, by the Town Engineer and by DOT. The access will be improved as noted on Site Plan, Sheet L-2 Grading Plan, and sight line improvements, including brush removal, will occur along the east side of NYS Route 123, as required, to result in slight line visibility of 500; on NYS Route 123.

The applicant has provided an emergency entrance and exit located on West Lane. The use of the emergency entrance and exit will be restricted by a gate and appropriate signage and will thereby be prohibited from use as an ordinary entrance or exit. Pursuant to Section 220-32(E) of the Zoning Ordinance, the planning Board has included conditions and safeguards, as further set forth in this decision, as are necessary to insure initial and continual conformance to all applicable standards and requirements. “

-End of Statement of Use-

SAPIENTIA ASSOCIATION INC.  
 111 Smitn Ridge Rd      South Salem, NY  
 Attendance              2017

Day	Month	Date	Cars					
			7:15	8:15	Total	7:15	8:15	Total
Sunday	October	29	35	92	127	20	31	51
Sunday	November	5	65	60	125	30	27	57
Sunday	November	12	62	45	107	27	24	51
Sunday	November	19	47	57	104	23	32	55
Sunday	November	26	45	42	87	23	21	44
Sunday	December	3	50	36	86	27	10	37
Sunday	December	10	57	45	102	28	22	50
Sunday	December	17	Off site			Off site		
Sunday	December	24	42	65	107	22	31	53
Christmas	December	25	95	40	135	45	15	60
Sunday	December	31		62	62		29	29
Grand Total					1042			487

At the Sept. 19, 2017 Planning Board Public Hearing, it was requested that periodically an attendance and car count be submitted to the town. There was no direction were to filed the request.



SAPIENTIA ASSOCIATION INC.  
 111 Smith Ridge Rd South Salem, NY  
 Attendance 2018

Day	Month	Date	7:00	8:30	Total	Cars		Total
						7:00	8:30	
Sunday	April	8	42	95	137	10	47	57
Sunday	April	15	47	79	126	16	29	45
Sunday	April	22	50	41	91	17	13	30
Sunday	May	29	50	60	110	17	20	37
Sunday	May	6	41	66	107	12	16	28
Sunday	May	13	47	71	118	16	22	38
Sunday	May	20	25	No Mass	25	7		7
Sunday	May	27	45	62	107	17	29	46
Sunday	June	3	40	77	117	12	22	34
Sunday	June	10	59	48	107	19	16	35
Sunday	June	17	54	85	139	18	27	45
Sunday	June	24	48	69	117	14	18	32
Sunday	July	1	59	78	78	15	21	36
Sunday	July	8	OFF	SITE				
			Grand Total		1379			470

SAPIENTIA ASSOCIATION INC.  
 111 Smith Ridge Rd      South Salem, NY  
 Attendance                      2018

Day	Month	Date	Cars					
			7:00	8:30	Total	7:00	8:30	Total
Sunday	July	15	60	58	118	18	17	35
Sunday	July	22	58	60	118	22	17	39
Sunday	July	29	58	60	118	20	18	38
Sunday	August	5	59	67	126	23	22	45
Sunday	August	12	49	58	107	20	21	41
Sunday	August	19	43	75	118	19	23	42
Sunday	August	26	45	78	123	18	25	43
Sunday	September	4	69	68	137	24	22	46
Sunday	September	9	51	61	112	16	20	36
Sunday	September	16	43	79	122	16	22	38
Sunday	September	23	55	71	126	22	25	47
Sunday	September	30	57	69	126	23	27	50
Sunday	October	7	55	57	112	22	24	46
Sunday	October	14	60	56	116	17	22	39
			Grand Total		1486			585

SAPIENTIA ASSOCIATION INC.  
 111 Smith Ridge Rd      South Salem, NY  
 Attendance                      2018

Day	Month	Date	Cars					
			7:00	8:30	Total	7:00	8:30	Total
Sunday	October	21	48	72	120	192	15	26
Sunday	October	28	37	75	112	187	14	24
Sunday	November	4	53	67	120	187	18	22
Sunday	November	11	34	81	115	196	12	29
Sunday	November	18	45	76	121	197	14	28
Sunday	November	25	55	58	113	171	18	20
Sunday	December	2	43	68	43	111	14	24
Sunday	December	9	35	130	165	295	15	45
Sunday	December	16	32	72	104	176	11	26
Sunday	December	23	21		21	10		10
Christmas	December		No More Sunday Masses as of Dec. 23. 8:30am					
Will be Daily Masses. No more than 10-20 persons and 10-12 cars.								
			Grand Total		1034			254

Attendance 2019

	January		February		March		April		May		June		July		August		Sept.		Oct.		Nov.		Dec.	
	# Pers	Cars	# Pers	Cars	# Pers	Cars	# Pers	Cars	# Pers	Cars	# Pers	Cars	# Pers	Cars	# Pers	Cars	# Pers	Cars	# Pers	Cars	# Pers	Cars	# Pers	Cars
1	10	6	22	11	22	11	0	0	0	0	10	5	32	14	18	9	25	10	22	10	38	27	9	7
2	15	8	27	13	26	12	0	0	0	0	0	0	20	9	20	11	21	9	23	12	40	31	21	13
3	11	5	0	0	0	0	0	0	0	0	0	0	23	11	32	16	33	19	25	13	9	6	30	22
4	12	7	0	0	0	0	0	0	21	16	0	0	20	12	37	15	15	8	21	8	22	10	33	21
5	22	11	0	0	0	0	0	0	0	0	0	0	21	9	15	5	10	7	34	29	18	7	29	17
6	27	13	0	0	0	0	14	8	0	0	11	6	35	15	21	8	24	9	10	7	19	8	31	20
7	0	0	0	0	0	0	0	0	0	0	15	7	37	16	23	11	22	13	22	10	31	16	40	34
8	0	0	0	0	0	0	0	0	0	0	10	6	21	9	25	11	29	19	21	9	25	11	10	7
9	0	0	20	10	21	10	0	0	0	0	0	0	24	10	21	12	25	10	25	13	15	10	18	11
10	0	0	0	0	0	0	0	0	0	0	0	0	22	10	21	10	35	21	22	10	11	9	21	15
11	0	0	0	0	0	0	0	0	16	11	12	7	21	9	18	9	27	17	26	13	22	10	20	12
12	22	11	0	0	0	0	0	0	0	0	9	5	22	10	19	9	21	9	28	15	24	12	30	18
13	0	0	0	0	0	0	25	19	0	0	15	9	25	11	15	6	22	12	29	17	19	11	25	14
14	0	0	0	0	0	0	0	0	0	0	5	5	12	8	18	9	22	13	11	8	20	10	22	15
15	0	0	0	0	0	0	0	0	30	15	0	0	21	10	85	32	25	11	18	9	31	15	9	7
16	0	0	22	11	15	10	0	0	0	0	0	0	25	11	12	7	12	7	22	9	18	7	18	11
17	0	0	0	0	0	0	0	0	0	0	0	0	22	10	14	6	31	18	20	10	9	6	26	15
18	0	0	0	0	0	0	94	32	13	8	0	0	23	10	15	7	24	11	26	12	22	11	30	23
19	21	10	0	0	0	0	101	37	0	0	0	0	21	9	16	9	27	15	23	11	21	10	37	28
20	0	0	0	0	0	0	40	27	0	0	15	9	35	13	12	7	21	13	27	15	27	14	40	36
21	0	0	0	0	0	0	0	0	7	5	0	0	95	37	11	9	22	12	9	6	20	16	42	35
22	0	0	0	0	0	0	0	0	12	8	9	5	21	9	15	12	34	27	20	9	30	22	11	9
23	0	0	20	9	17	11	0	0	15	9	0	0	25	10	31	15	10	6	19	8	25	14	39	35
24	0	0	0	0	0	0	0	0	14	10	0	0	24	10	33	14	22	11	22	10	9	7	24	22
25	0	0	0	0	0	0	0	0	27	20	0	0	21	9	18	8	21	9	22	10	8	6	5	5
26	25	12	0	0	0	0	0	0	0	0	0	0	22	9	21	9	19	8	23	11	25	17	22	18
27	0	0	0	0	0	0	13	9	9	8	0	0	21	9	29	17	25	13	55	39	19	15	29	25
28	0	0	0	0	0	0	0	0	14	7	0	0	18	7	37	19	29	18	26	12	10	7	21	14
29	0	0	0	0	0	0	0	0	10	8	11	7	27	12	24	8	11	9	30	18	31	25	11	9
30	0	0	0	0	25	15	0	0	78	31	0	0	25	11	48	18	29	17	25	12	35	26	21	13
31	0	0	0	0	0	0	0	0	0	0	0	0	22	10	11	7	0	0	27	14	0	0	25	17

Total	165	83	111	54	126	69	287	132	266	156	127	71	803	349	735	345	693	381	733	389	653	396	749	548
-------	-----	----	-----	----	-----	----	-----	-----	-----	-----	-----	----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----

Total Pers. 5448      Total Cars 2973

# TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590  
Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)  
Tel: (914) 763-5592 Fax: (914) 875-9148

## Tax Payment Affidavit Requirement

*This form must accompany all applications to the Planning Board.*

**Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.**

**Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.**

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

### To Be Completed by Applicant (Please type or print)

SAPIENTIA

Name of Applicant

SPECIAL USE PERMIT RENEWAL

Project Name

#### Property Description

Tax Block(s): 10551

Tax Lot(s): 4

Tax Sheet(s): 43

#### Property Assessed to:

SAPIENTIA ASSOC. INC

Name 111 SMITH RIDGE

Address SO. SALEM NY 10518

City State Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes:

Date

Sworn to before me this

28

day of

April

2020

JANET L. DONOHUE  
NOTARY PUBLIC, STATE OF NEW YORK  
No. 01DO6259627  
Qualified in Westchester County  
Commission Expires April 16, 2020

Signature - Notary Public (affix stamp)

## Ciorsdan Conran

---

**From:** Joseph Angiello  
**Sent:** Wednesday, April 22, 2020 12:22 PM  
**To:** Ciorsdan Conran; Peter Ripperger; Joseph Angiello (jangiello@lewisborogov.com); Dave Alfano  
**Subject:** RE: Application for Renewal of Special Use Permit for Sapientia Association Inc. 111 Smith Ridge Road

Hi Ciorsdan,

There are no complaints on this property. They are overdue for a fire/safety inspection. Jeff was scheduled to perform the inspection, then covid hit and he had to cancel.

Joe

---

**From:** Ciorsdan Conran <Planning@lewisborogov.onmicrosoft.com>  
**Sent:** Wednesday, April 22, 2020 10:30 AM  
**To:** Peter Ripperger <highway@lewisborogov.onmicrosoft.com>; Joseph Angiello (jangiello@lewisborogov.com) <jangiello@lewisborogov.com>; Dave Alfano <dalfano@lewisboropd.com>  
**Subject:** Fw: Application for Renewal of Special Use Permit for Sapientia Association Inc. 111 Smith Ridge Road

Good morning gentlemen-

As part of Sapientia's (111 Smith Ridge Road) Special Use permit renewal, the Planning Board would like to know if there have been any complaints to your respective departments.

Thank you,

Ciorsdan

---

**From:** Bonnie Feinzig <[bfeinzig@hoganandrossi.com](mailto:bfeinzig@hoganandrossi.com)>  
**Sent:** Tuesday, April 21, 2020 2:50 PM  
**To:** [planning@lewisborogov.com](mailto:planning@lewisborogov.com) <[planning@lewisborogov.com](mailto:planning@lewisborogov.com)>  
**Cc:** Michael Liguori <[mtliguori@hoganandrossi.com](mailto:mtliguori@hoganandrossi.com)>; SEA Parish office <[SEAParish@outlook.com](mailto:SEAParish@outlook.com)>  
**Subject:** Application for Renewal of Special Use Permit for Sapientia Association Inc. 111 Smith Ridge Road

Ms. Conran:

Attached please find the following:

1. Application for waiver of site development plan procedures
2. Copy of check for fees (\$505) (original being delivered by the owner to the town)
3. Letter from applicant
4. Affidavit of Ownership
5. Resolution of Planning Board dated September 19, 2017 granting special use permit
6. Statement of Use
7. Records of attendance and cars

## Ciorsdan Conran

---

**From:** David Alfano <dalfano@lewisboropd.com>  
**Sent:** Wednesday, April 22, 2020 10:54 AM  
**To:** Ciorsdan Conran  
**Cc:** Joseph Angiello (jangiello@lewisborogov.com); Peter Ripperger  
**Subject:** Re: Fw: Application for Renewal of Special Use Permit for Sapientia Association Inc. 111 Smith Ridge Road

No complaints here.

On Wed, Apr 22, 2020 at 10:30 Ciorsdan Conran <[Planning@lewisborogov.onmicrosoft.com](mailto:Planning@lewisborogov.onmicrosoft.com)> wrote:

Good morning gentlemen-

As part of Sapientia's ([111 Smith Ridge Road](#)) Special Use permit renewal, the Planning Board would like to know if there have been any complaints to your respective departments.

Thank you,

Ciorsdan

---

**From:** Bonnie Feinzig <[bfeinzig@hoganandrossi.com](mailto:bfeinzig@hoganandrossi.com)>  
**Sent:** Tuesday, April 21, 2020 2:50 PM  
**To:** [planning@lewisborogov.com](mailto:planning@lewisborogov.com) <[planning@lewisborogov.com](mailto:planning@lewisborogov.com)>  
**Cc:** Michael Liguori <[mtliguori@hoganandrossi.com](mailto:mtliguori@hoganandrossi.com)>; SEA Parish office <[SEAParish@outlook.com](mailto:SEAParish@outlook.com)>  
**Subject:** Application for Renewal of Special Use Permit for Sapientia Association Inc. [111 Smith Ridge Road](#)

Ms. Conran:

Attached please find the following:

1. Application for waiver of site development plan procedures
2. Copy of check for fees (\$505) (original being delivered by the owner to the town)
3. Letter from applicant
4. Affidavit of Ownership
5. Resolution of Planning Board dated September 19, 2017 granting special use permit
6. Statement of Use
7. Records of attendance and cars

We understand that due to the Covid-19 restrictions, you will obtain the required affidavit from the tax receiver and verify with the police and health departments that no complaints were filed.

Thank you for your courtesies and assistance with this application. Please let us know if you require any further or supplemental information and kindly advise when this matter is scheduled on the planning board agenda.

*Bonnie N. Feinzig*  
Hogan & Rossi  
[3 Starr Ridge Road – Suite 200](#)  
[Brewster, New York 10509](#)

## Ciorsdan Conran

---

**From:** Peter Ripperger  
**Sent:** Wednesday, April 29, 2020 7:44 AM  
**To:** Cheryl Blamires; Ciorsdan Conran  
**Cc:** Peter Ripperger  
**Subject:** RE: Application for Renewal of Special Use Permit for Sapientia Association Inc. 111 Smith Ridge Road

Morning ciorsdan,

I have no complaints on 111 Smith Ridge Rd,  
Thank You,  
Pete

---

**From:** Cheryl Blamires <[finance3@lewisborogov.onmicrosoft.com](mailto:finance3@lewisborogov.onmicrosoft.com)>  
**Sent:** Tuesday, April 28, 2020 4:48 PM  
**To:** Ciorsdan Conran <[Planning@lewisborogov.onmicrosoft.com](mailto:Planning@lewisborogov.onmicrosoft.com)>  
**Cc:** Peter Ripperger <[highway@lewisborogov.com](mailto:highway@lewisborogov.com)>  
**Subject:** RE: Application for Renewal of Special Use Permit for Sapientia Association Inc. 111 Smith Ridge Road

Hi Ciorsdan,

Not that I am aware of, but I have cc's Pete on this to see if he knows of any. Pete see below/attached

Take care,  
*Cheryl*

---

**From:** Ciorsdan Conran <[Planning@lewisborogov.onmicrosoft.com](mailto:Planning@lewisborogov.onmicrosoft.com)>  
**Sent:** Tuesday, April 28, 2020 4:03 PM  
**To:** Cheryl Blamires <[finance3@lewisborogov.onmicrosoft.com](mailto:finance3@lewisborogov.onmicrosoft.com)>  
**Subject:** FW: Application for Renewal of Special Use Permit for Sapientia Association Inc. 111 Smith Ridge Road

Hi Cheryl-

Has Hwy rec'd any complaints re: Sapientia Association Inc. 111 Smith Ridge Road?

Thanks,

Ciorsdan

---

**From:** Ciorsdan Conran <[Planning@lewisborogov.onmicrosoft.com](mailto:Planning@lewisborogov.onmicrosoft.com)>  
**Sent:** Wednesday, April 22, 2020 10:30 AM  
**To:** Peter Ripperger <[highway@lewisborogov.onmicrosoft.com](mailto:highway@lewisborogov.onmicrosoft.com)>; Joseph Angiello ([jangiello@lewisborogov.com](mailto:jangiello@lewisborogov.com)) <[jangiello@lewisborogov.com](mailto:jangiello@lewisborogov.com)>; Dave Alfano <[dalfano@lewisboropd.com](mailto:dalfano@lewisboropd.com)>  
**Subject:** Fw: Application for Renewal of Special Use Permit for Sapientia Association Inc. 111 Smith Ridge Road

Good morning gentlemen-

## MEMORANDUM

TO: Chairperson Janet Andersen and  
Members of Lewisboro Planning Board

CC: Ciorsdan Conran  
Judson Siebert, Esq.  
Joseph Angiello

FROM: Jan K. Johannessen, AICP   
Joseph M. Cermele, P.E., CFM   
Town Consulting Professionals

DATE: May 14, 2020

RE: Site Development Plan Approval  
Oakridge Commons Car Wash & Day Care  
450 Oakridge Commons  
Sheet 49D, Block 9829, Lot 10

---

### PROJECT DESCRIPTION

The subject property contains a shopping center, known as Oakridge Commons Shopping Center, consisting of ±10.3 acres of land and is located at 450 Oakridge Commons, proximate to Smith Ridge Road, and within the Retail Business (RB) Zoning District. Via Resolution dated March 19, 2019, the Planning Board Approved Amended Site Development Plan Approval and a Town Stormwater Permit for a proposed car wash known as Phase 3. The Resolution required that the applicant satisfy certain conditions within a six (6) month period, which the applicant failed to complete and which no extension was requested or granted. Site Development Plan Approval had expired and the applicant had reapplied to the Planning Board, being granted approval via Resolution, dated January 21, 2020. The applicant is now applying to amend the Site Development Plan Approval and proposing to shift the proposed car wash addition to the east, screen the rear of the building with evergreen trees, as well as changes to the building's exterior façade and signage.

### SEQRA

Phases 3 and 4 of the project were collectively reviewed by the Planning Board under SEQRA and the Planning Board issued a Negative Declaration on February 27, 2018.

**REQUIRED APPROVALS/REFERRALS**

1. Site Development Plan Approval and a Town Stormwater Permit are required from the Planning Board; unless waived by the Planning Board, a public hearing is required to be held on the Site Development Plan.
2. The proposed action must be referred to the Architectural and Community Appearance Review Council (ACARC).

**COMMENTS**

1. The applicant has made the following changes on the Site Development Plan:
  - The addition has been moved east, so that the backside of the addition aligns with the back of the existing structure.
  - Ten (10) arborvitae trees have been added to the plan to screen the addition from Oakridge Drive.
  - The pylon sign has been reduced in size to 12', conforming to the previous Zoning Board of Appeals (ZBA) approval. This will reduce the area of the sign from  $\pm 72.27$  s.f. to  $\pm 40.4$  s.f.
  - The sign on the canopy has been eliminated from the plan.
  - The building facade has been changed to white from yellow and red.
2. It is our opinion that the proposed modifications are not significant and will not impact the overall design and functionality of the site. Further, the proposed changes do not have an impact on the previously approved drainage design.
3. There is an inconsistency with regards to the proposed trash enclosure depicted on the plans by Cross River Architects, LLC and those submitted by Redniss & Mead, P.C. This discrepancy shall be resolved and a construction detail shall be provided, if proposed.
4. The Architectural Plans, provided by Cross River Architects, LLC shall be signed/sealed by the Design Professional.
5. All previously approved Plan sheets shall become part of the amended Plan Set.
6. The plan shall include a Bulk Zoning Table comparing the requirements of the underlying zoning district to the existing and proposed condition.

Chairperson Janet Andersen  
May 14, 2020  
Page 3 of 3

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

**PLANS REVIEWED, PREPARED BY REDNISS & MEAD, P.C., DATED APRIL 28, 2020:**

- Grading & Erosion Control Plan and Utility Plan (SE-1C)

**PLANS REVIEWED, PREPARED BY CROSS RIVER ARCHITECTS, LLC:**

- Carwash Existing Floor Plan and Elevations (Drawing C/1), dated (last revised) December 19, 2019
- Carwash Proposed Floor Plan (Drawing C/2), dated (last revised) April 20, 2020
- Carwash Proposed Floor Plan and Elevations (Drawing C/3), dated (last revised) April 20, 2020
- Site Plan Phase 3 – Car Wash (Drawing SP/1C), dated (last revised) April 20, 2020
- Enlarged Car Wash Site & Landscape Plans (Drawing SP/2C), dated (last revised) March 20, 2020
- Signage (Drawing SP/3C), dated (last revised) April 20, 2020
- Site Details (Drawing SP/4C), dated (last revised) December 19, 2019
- Carwash Lighting Plan and Details (Drawing SP/5C), dated (last revised) April 20, 2020

**DOCUMENT REVIEWED:**

- Letter, prepared by Cross River Architects, LLC, dated April 22, 2020

JKJ/JMC/dc

T:\Lewisboro\Correspondence\2020-05-14\_LWPB\_Oakridge Commons Car Wash Amended\_Review Memo.docx

CROSS  
RIVER  
ARCHITECTS,  
LLC

ROBERT J. EBERTS, R.A.  
PRINCIPAL

TRANSMITTAL

DATE: 4/22/2020  
TO: Janet Andersen, Chair  
Lewisboro Planning Board  
FROM: Bob Eberts  
Cross River Architects, LLC  
RE: Oakridge Commons  
Carwash  
CAL# - 15-17 ACARC / PB

Planning Board Members:

Thank you for hearing our proposal during this challenging time.

We would like to amend the Site Plan Approval the proposed Oakridge Commons Carwash located at 380 Smith Ridge Rd., South Salem, NY. We realized that in the previous approval, the back (west side) of the existing Service Station Building and proposed carwash would become visible from Oakridge Drive. Since there are existing oil tanks behind the building, we would like to have them screened from view from Oakridge Drive. Toward this end, we are proposing to slide the addition forward (east) so that the west side of addition will align with the back of the existing structure. The front of the building will then project 4'-4" beyond the front of the existing structure. That allows space between the access loop and Oakridge Drive to add 10 arborvitae trees to screen both the addition and the back of the existing building.

Further, we are proposing a change to the proposed pylon sign that will reduce the height to 12', conforming to the previous ZBA approval. This will also reduce the area of the sign from 72.26 sf to 40.4 sf.

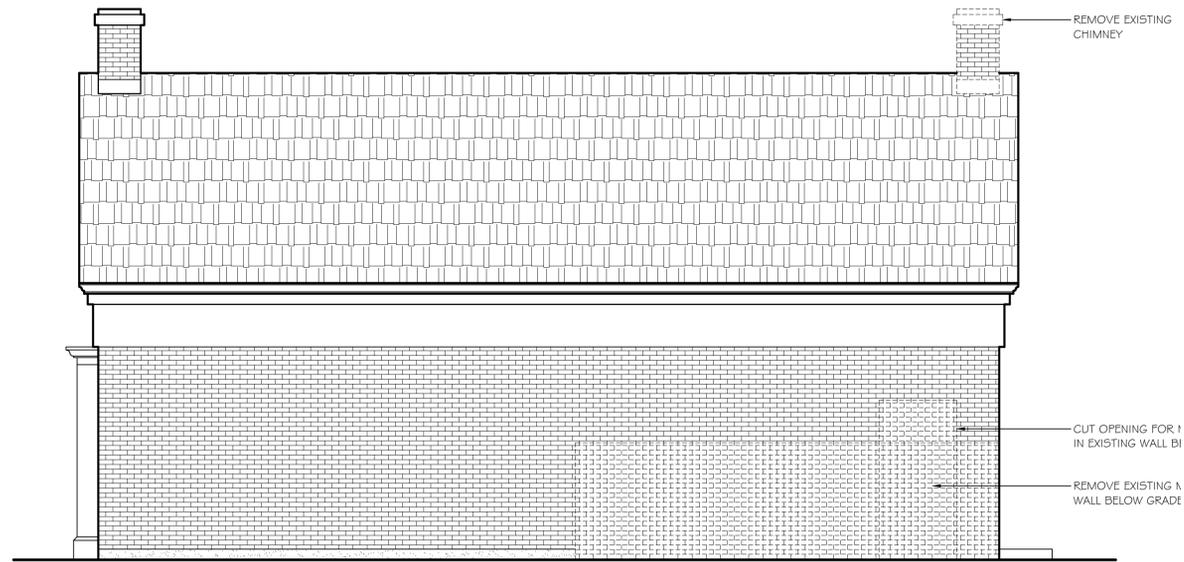
The proposed tenant (Shell) would also like to eliminate the sign on the canopy and paint the building fascia white, not the yellow and red version previously proposed. We feel both these proposals are an improvement.

Lastly, the tenant will be replacing both the underground fuel storage tanks and the multifuel product dispensers. Although these do not require Site Plan approval, we are notifying the board of the proposed work.

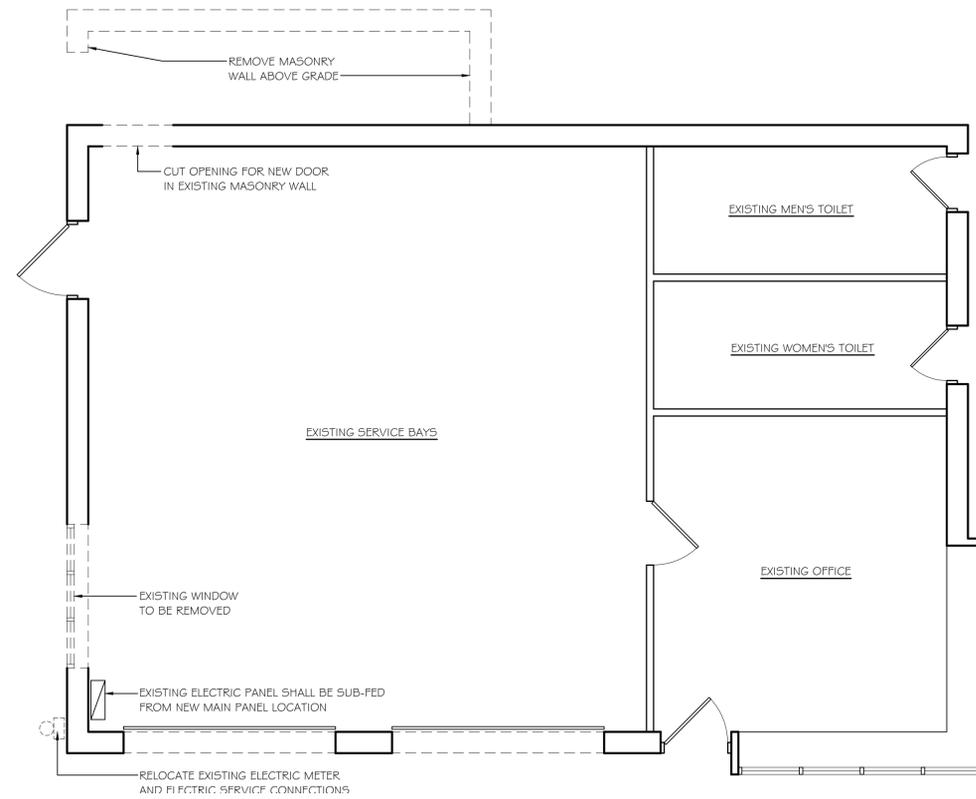
We will also be making application to ACARC for the building elevation changes, signage revisions and the dispensers.

We appreciate all the time and effort the board has taken to address this proposal and wish you all the best of health.

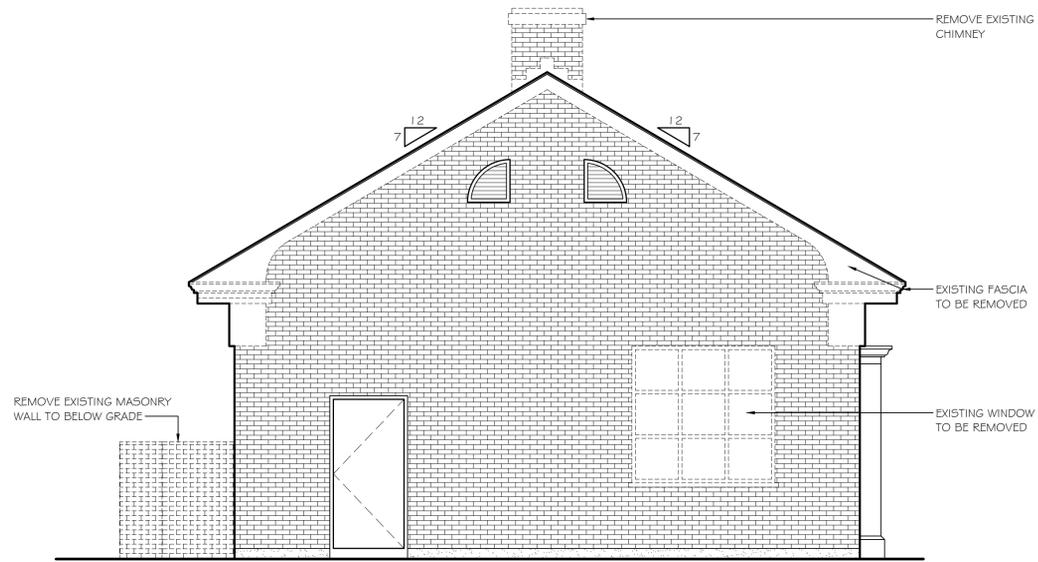
PO Box 384  
19 NO. SALEM RD. 2<sup>nd</sup> FL.  
CROSS RIVER, NY 10518  
914.763.5887  
Email RJE@CRARCH.com



④ EXISTING REAR (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



① EXISTING FLOOR PLAN  
SCALE: 1/4" = 1'-0"



③ EXISTING LEFT (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"



② EXISTING FRONT (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Chairman \_\_\_\_\_ DATE \_\_\_\_\_

Secretary \_\_\_\_\_ DATE \_\_\_\_\_

TOWN ENGINEER'S CERTIFICATION  
Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_

Joseph M. Cermele, P.E. \_\_\_\_\_ Date \_\_\_\_\_  
Town Consulting Engineer

Kellard Sessions Consulting, P.C.  
Town Consulting Engineer

OWNER'S CERTIFICATION  
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name: Smith Ridge Associates, LLC – Philip Pine, Managing Partner Date \_\_\_\_\_  
Owners Address: 450 Oakridge Common, South Salem, NY 10590

REVISIONS	
No.	Date
1	DEC. 19, 2019

SEAL

**CROSS RIVER ARCHITECTS, LLC**  
ROBERT J. EBERTS R.A., PRINCIPAL

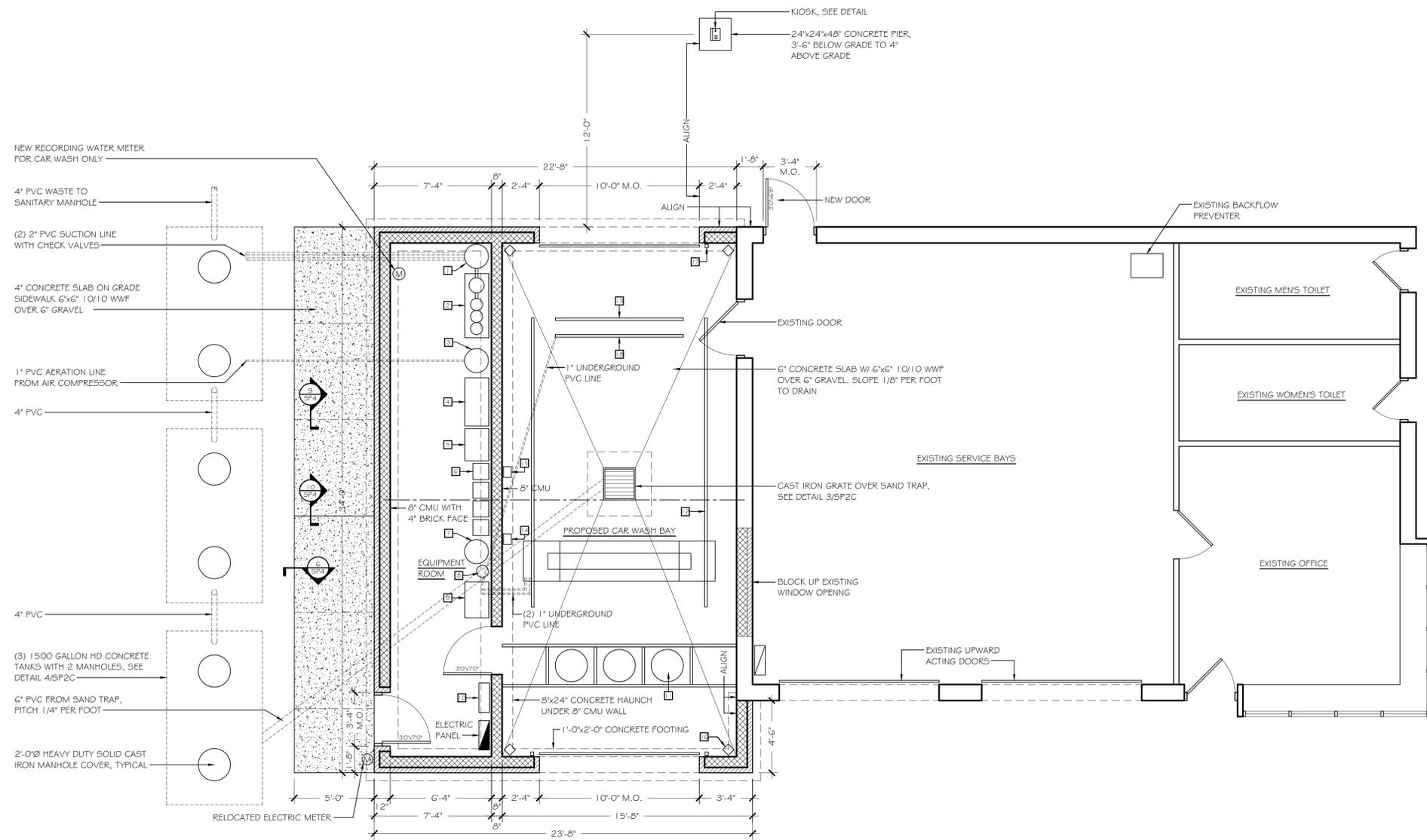
P.O. BOX 384  
19 NO. SALEM RD., 2ND FL.,  
CROSS RIVER, N.Y. 10518  
914.763.5887  
FAX 914.763.8409

PROJECT  
OAKRIDGE COMMONS SHOPPING CENTER  
380 SMITH RIDGE ROAD  
SOUTH SALEM, NY 10590

TITLE  
CARWASH EXISTING FLOOR PLAN AND ELEVATIONS  
DATE  
FEB. 03, 2018  
SCALE  
1/4" = 1'-0"  
PROJ. #

DRAWING





1 PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**EQUIPMENT LIST**

**KEY DESCRIPTION**

- 1 RECLAIM FILTER UNIT
- 2 EV ULTRACLEAR RECLAIM SYSTEM
- 3 AIR COMPRESSOR
- 4 PUMP STAND
- 5 CHEMICAL PUMP
- 6 CHEMICAL TANKS ON SHELF
- 7 100 GAL R.O. WATER STORAGE
- 8 CARBON FILTER
- 9 RAINMAKER III R.O. SYSTEM
- 10 CONTROL BOX
- 11 OVERHEAD DRYER FANS
- 12 WASH GANTRY
- 13 TRENCH UNDERCARRIAGE MANIFOLD
- 14 TERMINAL CONTROL BOX
- 15 FROST ALARM CONTROL BOX
- 16 OSCILLATION ROCKER PANEL PEDESTALS
- 17 AUTO DOOR CONTROLS
- 18 TIRE CHEMICAL MANIFOLD

**REVISIONS**

No.	Date	Address	Size and Location of Building Addition
2	APR. 20, 2020		
1	DEC. 19, 2019		

**SEAL**

**CROSS RIVER ARCHITECTS, LLC**  
 ROBERT J. EBERTS R.A., PRINCIPAL  
 P.O. BOX 384  
 19 NO. SALEM RD., 2ND FL.  
 CROSS RIVER, N.Y. 10518  
 914.763.5887  
 FAX 914.763.8409

**PROJECT**  
 OAKRIDGE COMMONS SHOPPING CENTER  
 380 SMITH RIDGE ROAD  
 SOUTH SALEM, NY 10590

**TITLE**  
 CARWASH PROPOSED FLOOR PLAN

**DATE**  
 FEB. 03, 2018

**SCALE**  
 1/4" = 1'-0"

**PROJ. #**

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Chairman \_\_\_\_\_ DATE \_\_\_\_\_

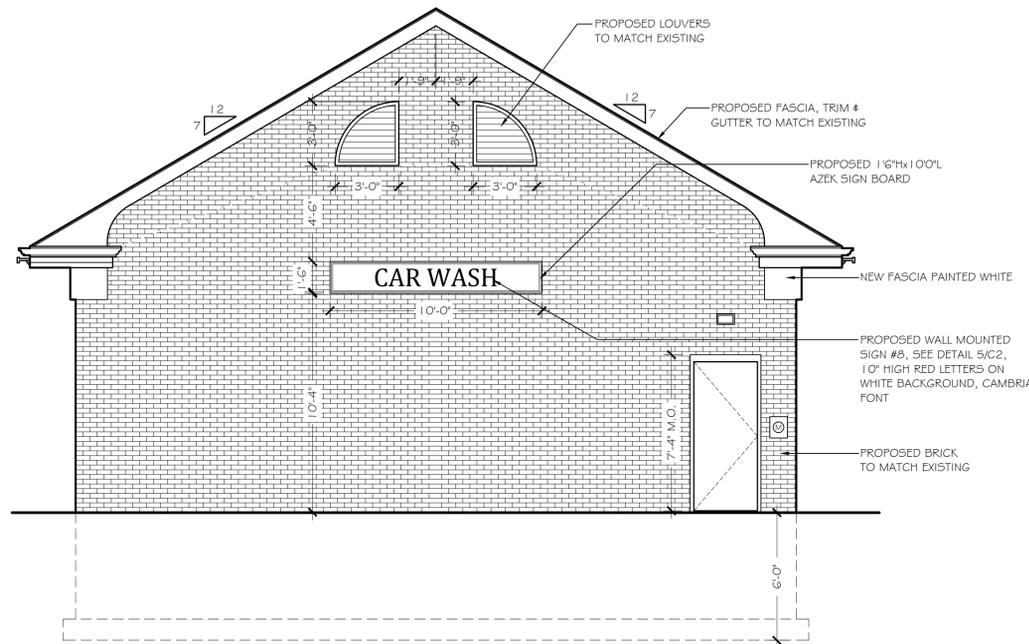
Secretary \_\_\_\_\_ DATE \_\_\_\_\_

TOWN ENGINEER'S CERTIFICATION  
 Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_

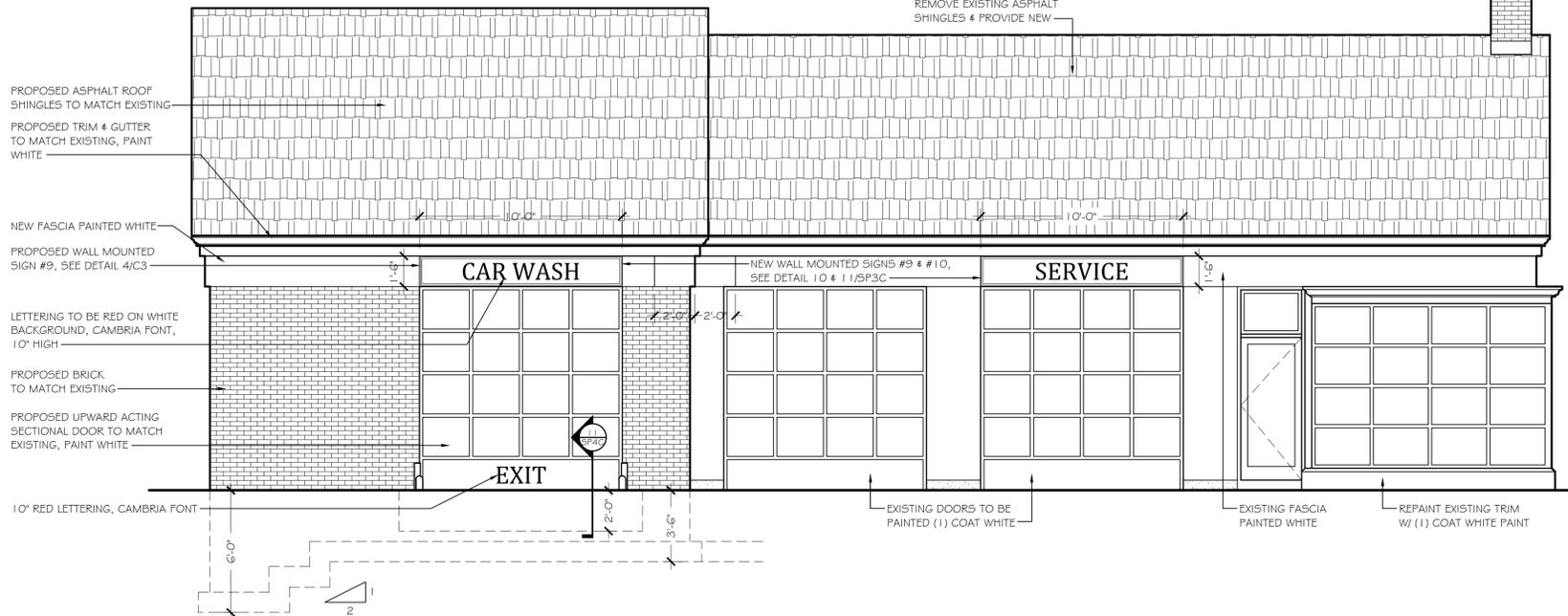
Joseph M. Cermele, P.E. \_\_\_\_\_ Date \_\_\_\_\_  
 Kellard Sessions Consulting, P.C.  
 Town Consulting Engineer

OWNER'S CERTIFICATION  
 The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

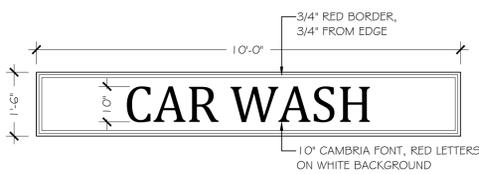
Owners Name: Smith Ridge Associates, LLC - Philip Pine, Managing Partner Date \_\_\_\_\_  
 Owners Address: 450 Oakridge Common, South Salem, NY 10590



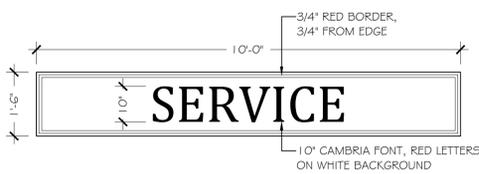
2 PROPOSED LEFT (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"



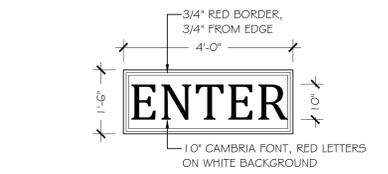
1 PROPOSED FRONT (EAST) ELEVATION  
SCALE: 1/4" = 1'-0"



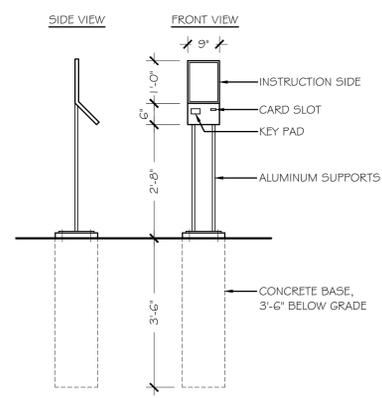
4 WALL MOUNTED SIGN #8 & #9  
SCALE: 1/2" = 1'-0"



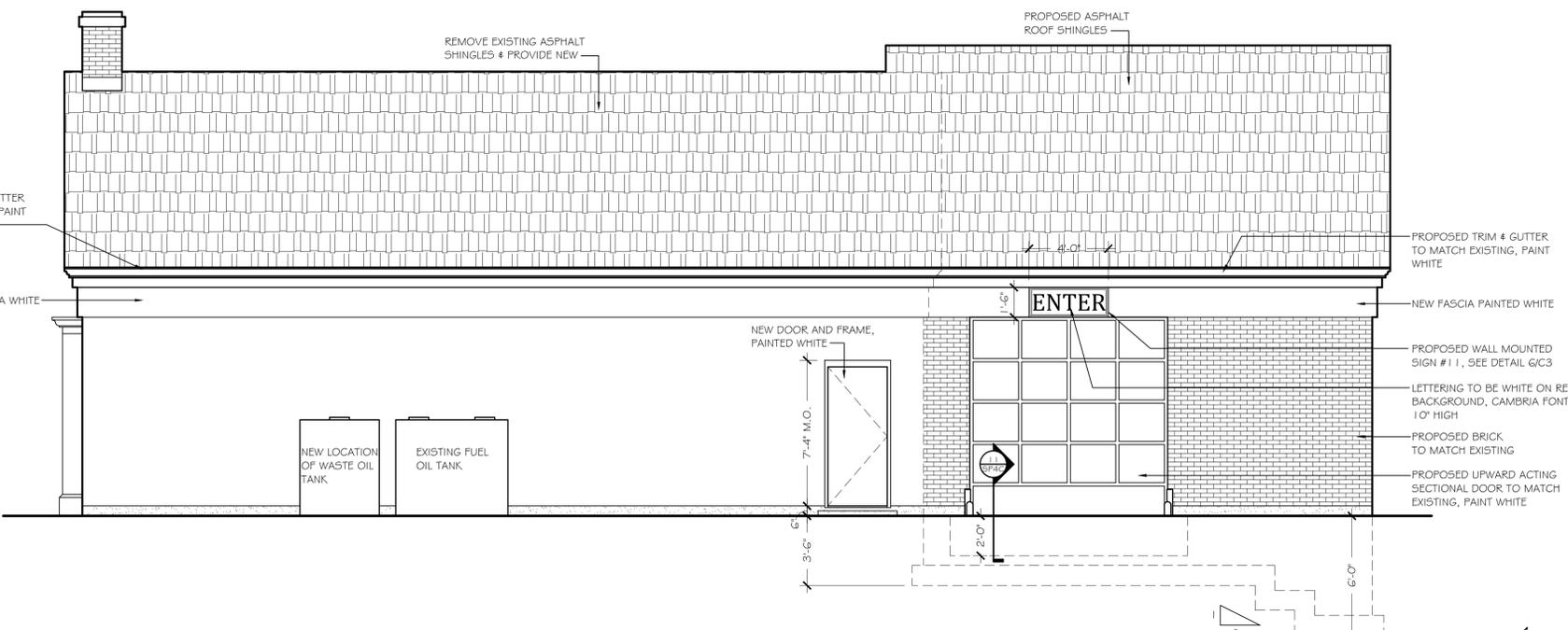
5 WALL MOUNTED SIGN #10  
SCALE: 1/2" = 1'-0"



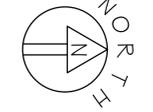
6 WALL MOUNTED SIGN #11  
SCALE: 1/2" = 1'-0"



8 KIOSK DETAIL  
SCALE: 1/2" = 1'-0"



3 PROPOSED REAR (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD	
Chairman _____	DATE _____
Secretary _____	DATE _____
TOWN ENGINEER'S CERTIFICATION Reviewed for compliance with the Planning Board Resolution dated _____	
Joseph M. Cermele, P.E.	Date _____
Kellard Sessions Consulting, P.C. Town Consulting Engineer	
OWNER'S CERTIFICATION The undersigned is the owner(s) of the property shown herein, is familiar with this drawing and its contents, and hereby approves same for filing.	
Owners Name: Smith Ridge Associates, LLC - Philip Pine, Managing Partner Date _____ Owners Address: 450 Oakridge Common, South Salem, NY 10590	

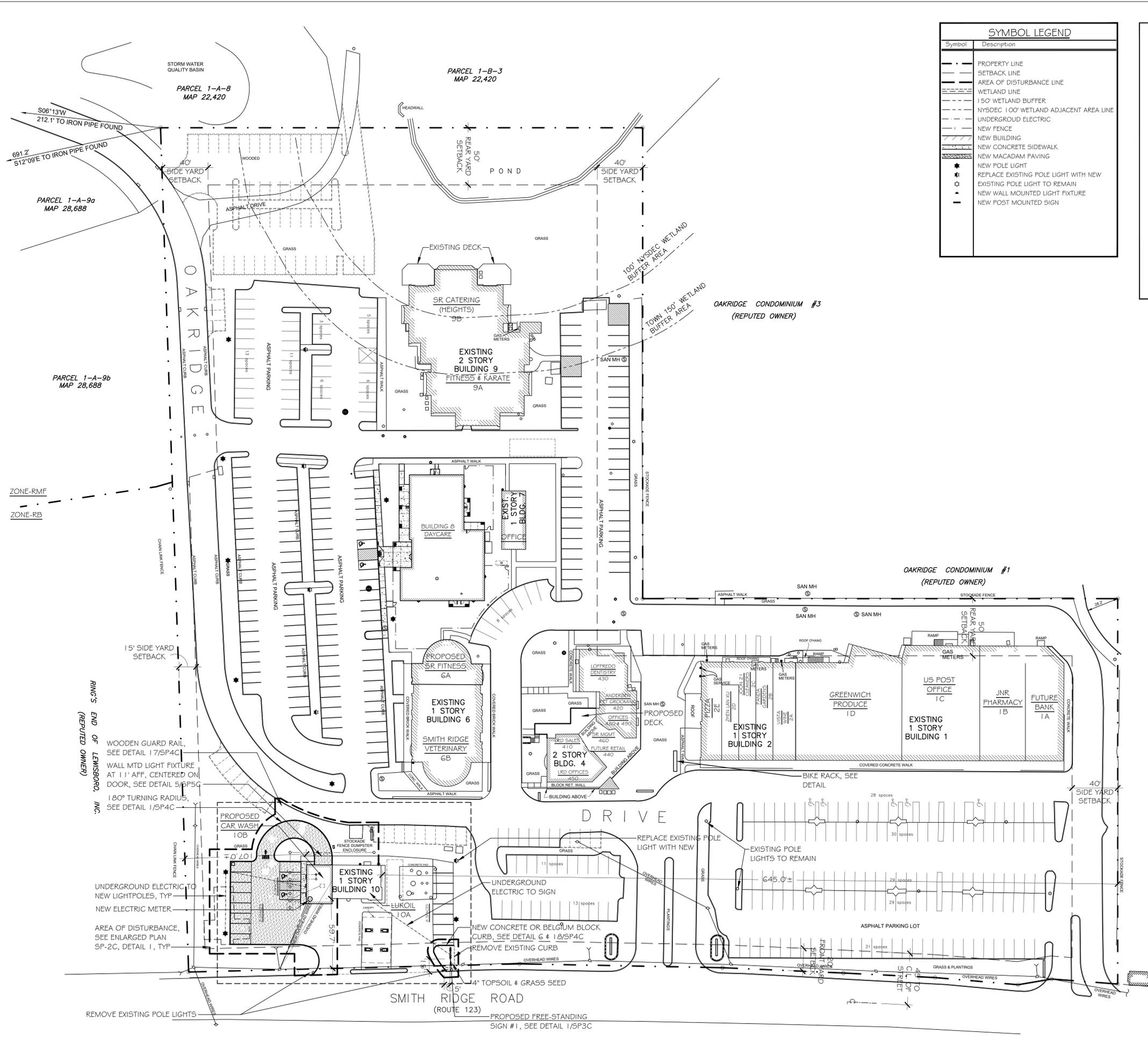
REVISIONS	
No.	Date
2	APR. 20, 2020
1	DEC. 19, 2019

SEAL

**CROSS RIVER ARCHITECTS, LLC**  
ROBERT J. EBERTS R.A., PRINCIPAL  
P.O. BOX 384  
19 NO. SALEM RD., 2ND FL.  
CROSS RIVER, N.Y. 10518  
914.763.5887  
FAX 914.763.8409

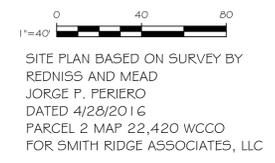
PROJECT  
OAKRIDGE COMMONS SHOPPING CENTER  
380 SMITH RIDGE ROAD  
SOUTH SALEM, NY 10590  
TITLE  
CARWASH PROPOSED FLOOR PLAN AND ELEVATIONS  
DATE  
FEB. 03, 2018  
SCALE  
1/4" = 1'-0"  
PROJ. #





SYMBOL LEGEND	
Symbol	Description
---	PROPERTY LINE
---	SETBACK LINE
---	AREA OF DISTURBANCE LINE
---	WETLAND LINE
---	150' WETLAND BUFFER
---	NYSDEC 100' WETLAND ADJACENT AREA LINE
---	UNDERGROUND ELECTRIC
---	NEW FENCE
---	NEW BUILDING
---	NEW CONCRETE SIDEWALK
---	NEW MACADAM PAVING
●	NEW POLE LIGHT
○	REPLACE EXISTING POLE LIGHT WITH NEW
○	EXISTING POLE LIGHT TO REMAIN
▲	NEW WALL MOUNTED LIGHT FIXTURE
■	NEW POST MOUNTED SIGN

- SEQUENCE OF CONSTRUCTION**
- NO WORK SHALL BEGIN ON SITE UNTIL A BUILDING PERMIT FROM THE TOWN OF LEWISBORO BUILDING DEPT. HAS BEEN ISSUED AND POSTERED ON SITE. CALL 811 CALL BEFORE YOU DIG. MAP ALL UNDERGROUND UTILITIES IN AREA OF DISTURBANCE.
  - EROSION CONTROL WORK AS DESCRIBED IN THE APPROVED PLANS SHALL BE IN PLACE PRIOR TO DISTURBANCE OF ANY EARTH.
  - INSTALL ALL NECESSARY TEMPORARY BARRICADES AND FENCING FOR PROTECTION OF THE PUBLIC. PROTECT ALL LANDSCAPING TO REMAIN IN THE AREA OF DISTURBANCE.
  - REMOVE TREES, SHRUBS AND OTHER PLANTINGS AS INDICATED IN THE DRAWINGS COMPLETELY FROM SITE IN ACCORDANCE WITH TOWN REGULATIONS. REMOVE PAVED SIDEWALKS AND OTHER PAVED AREAS AS REQUIRED.
  - STRIP AND STOCKPILE ALL TOPSOIL FROM THE AREA OF DISTURBANCE. SURROUND THE STOCKPILE WITH HAY BALES. ROUGH GRADE THE SITE TO THE APPROXIMATE GRADES INDICATED ON THE DRAWINGS.
  - LOCATE CONSTRUCTION DUMPSTER IN LOCATION APPROVED IN ADVANCE BY THE OWNER.
  - EXCAVATE FOR THE FOUNDATION OF THE BUILDING TO LEVELS INDICATED. BACKFILL AFTER FOUNDATION HAS BEEN COMPLETED.
  - EXCAVATE FOR AND INSTALL ALL STORM DRAINAGE BASINS, YARD DRAINS AND PIPING AS INDICATED ON THE DRAWINGS.
  - EXCAVATE FOR AND INSTALL ALL UNDERGROUND UTILITIES.
  - AFTER BUILDING EXTERIOR OF BUILDING HAS BEEN CONSTRUCTED, INSTALL SIDEWALKS AND OTHER SITE PAVING. INSTALL LIGHT POLES ON CONCRETE BASES. CONSTRUCT DUMPSTER ENCLOSURE.
  - COMPLETE BUILDING CONSTRUCTION.
  - SPREAD STOCKPILED TOPSOIL TO DEPTHS INDICATED ON DRAWINGS. AFTER SIDING AND ROOFING HAS BEEN COMPLETED, INSTALL LANDSCAPING AND OTHER PLANTINGS PER DRAWINGS. WATER DAILY FOR A MINIMUM OF 60 DAYS.
  - PAVE NEW PORTION OF PARKING LOT AND RESURFACE EXISTING PORTION OF PARKING LOT. STRIPE AND INSTALL SIGNAGE.
  - CLEAN ALL STORM DRAINAGE BASINS AND YARD DRAINS.
  - BROOM CLEAN PARKING LOT AND REMOVE ALL TEMPORARY CONSTRUCTION BARRIERS. REMOVE DUMPSTER.



SEAL

REVISIONS	
No.	Date
2	APR. 20, 2020
1	DEC. 12, 2019

**CROSS RIVER ARCHITECTS, LLC**  
ROBERT J. EBERTS R.A., PRINCIPAL

**PROJECT**  
OAKRIDGE COMMONS SHOPPING CENTER  
330 SMITH RIDGE ROAD  
SOUTH SALEM, NY 10590

**TITLE**  
SITE PLAN PHASE 3 - CAR WASH

**DATE**  
JUNE 27, 2018

**SCALE**  
1" = 40'-0"

**PROJ. #**

P.O. BOX 384  
19 NO. SALEM RD., 2ND FL.  
CROSS RIVER, N.Y. 10518  
914.763.5887  
FAX 914.763.8409

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Chairman \_\_\_\_\_ DATE \_\_\_\_\_

Secretary \_\_\_\_\_ DATE \_\_\_\_\_

TOWN ENGINEER'S CERTIFICATION  
Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_

Joseph M. Cermele, P.E. \_\_\_\_\_ Date \_\_\_\_\_

Kellard Sessions Consulting, P.C.  
Town Consulting Engineer

OWNER'S CERTIFICATION  
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name: Smith Ridge Associates, LLC - Philip Pine, Managing Partner Date  
Owners Address: 450 Oakridge Common, South Salem, NY 10590

PROJECT OAKRIDGE COMMONS SHOPPING CENTER  
330 SMITH RIDGE ROAD  
SOUTH SALEM, NY 10590

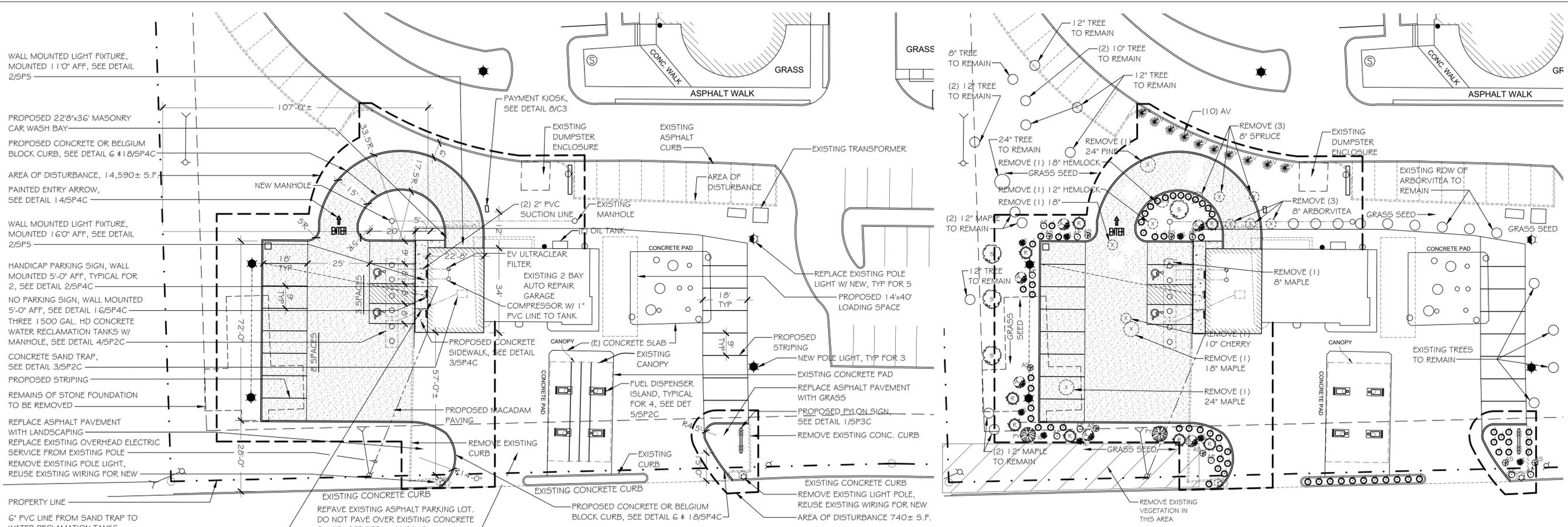
TITLE SITE PLAN PHASE 3 - CAR WASH

DATE JUNE 27, 2018

SCALE 1" = 40'-0"

PROJ. #

DRAWING



WALL MOUNTED LIGHT FIXTURE, MOUNTED 11'0" AFF, SEE DETAIL 2/SP5

PROPOSED 22'8"x36" MASONRY CAR WASH BAY

PROPOSED CONCRETE OR BELGIUM BLOCK CURB, SEE DETAIL 6 # 1/8/SP4C

AREA OF DISTURBANCE, 14,590 ± 5.F.

PAINTED ENTRY ARROW, SEE DETAIL 14/SP4C

WALL MOUNTED LIGHT FIXTURE, MOUNTED 16'0" AFF, SEE DETAIL 2/SP5

HANDICAP PARKING SIGN, WALL MOUNTED 5'-0" AFF, TYPICAL FOR 2, SEE DETAIL 2/SP4C

NO PARKING SIGN, WALL MOUNTED 5'-0" AFF, SEE DETAIL 16/SP4C

THREE 1500 GAL. HD CONCRETE WATER RECLAMATION TANKS W/ MANHOLE, SEE DETAIL 4/SP2C

CONCRETE SAND TRAP, SEE DETAIL 3/SP2C

PROPOSED STRIPING

REMAINS OF STONE FOUNDATION TO BE REMOVED

REPLACE ASPHALT PAVEMENT WITH LANDSCAPING

REPLACE EXISTING OVERHEAD ELECTRIC SERVICE FROM EXISTING POLE

REMOVE EXISTING POLE LIGHT, REUSE EXISTING WIRING FOR NEW

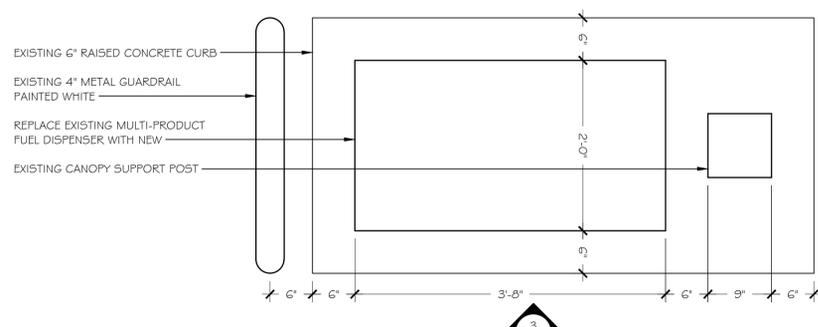
PROPERTY LINE

6" PVC LINE FROM SAND TRAP TO WATER RECLAMATION TANKS

NOTE:  
PROVIDE NEW RECORDING WATER METER DEDICATED TO THE CAR WASH.  
APPLICANT SHALL SUBMIT A WATER USAGE REPORT TO THE TOWN OF LEWISBORO ON A BI-ANNUAL BASIS.

1 ENLARGED GAS STATION PLAN  
SCALE: 1"=20'-0"

2 CAR WASH LANDSCAPE PLAN  
SCALE: 1"=20'-0"

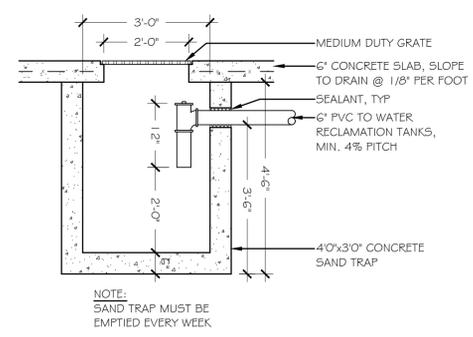


5 PLAN OF FUEL DISPENSER ISLAND  
SCALE: 1"=1'-0"

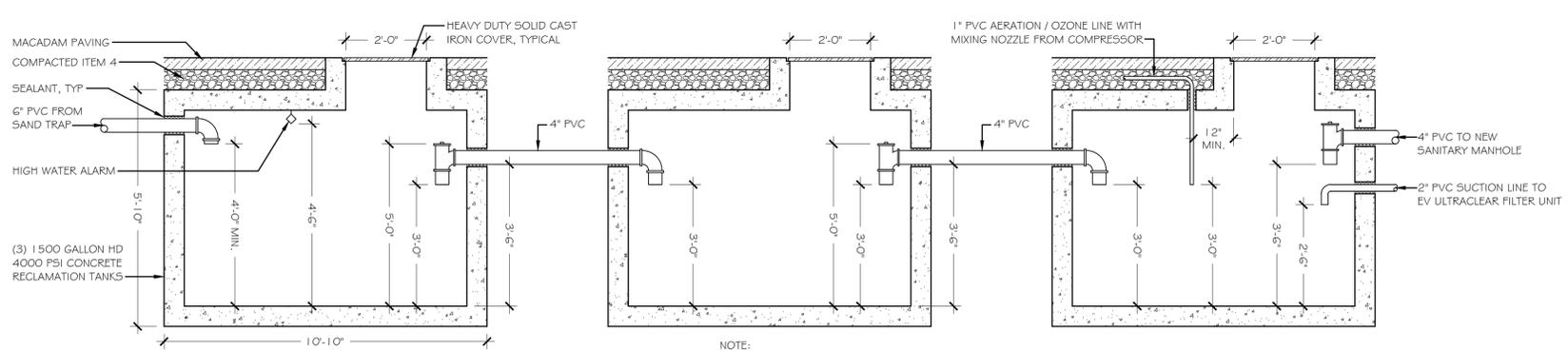
SYMBOL LEGEND	
Symbol	Description
---	PROPERTY LINE
---	SETBACK LINE
---	AREA OF DISTURBANCE LINE
---	WETLAND LINE
---	150' WETLAND BUFFER
---	NYSDDEC 100' WETLAND ADJACENT AREA LINE
---	UNDERGROUND ELECTRIC
---	NEW FENCE
---	NEW BUILDING
---	NEW CONCRETE SIDEWALK
---	NEW MACADAM PAVING
---	NEW POLE LIGHT
---	REPLACE EXISTING POLE LIGHT WITH NEW
---	EXISTING POLE LIGHT TO REMAIN
---	NEW WALL MOUNTED LIGHT FIXTURE
---	NEW POST MOUNTED SIGN

LANDSCAPING SCHEDULE				
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
S	PICEA PUNGENS "HOOPSII"	COLORADO BLUE SPRUCE	4'-5"	4
PY	PRUNUS YEDOENSIS	YOSHINO CHERRY	3' CAL, B&B	2
A	PIERIS JAPONICA	JAPANESE ANDROMEDA	3 GAL	7
R	RHODODENDRON PJM	RHODODENDRON PJM	3 GAL	9
IL	ILEX GLABRA COMPACTA	COMPACT INKBERRY	2 GAL	8
J	JUNIPERUS HORIZONTALIS	CREeping JUNIPER	2 GAL	62
AP	AZALEA PLEASANT WHITE	WHITE AZALEA	2 GAL	8
AS	RHODODENDRON BLUJAW'S PINK HYBRID AZALEA	BLUJAW'S AZALEA, RED FLOWER	2 GAL	8
X	TREE OR SHRUB TO BE REMOVED			14
AV	THUJA OCCIDENTALIS	'EMERALD GREEN'	2'-3'	10

NOTES:  
1. ALL BEDS SHALL RECEIVE 4" CEDAR MULCH.  
2. PROVIDE 6" OF CLEAN, LOOSE TOPSOIL IN ALL AREAS TO RECEIVE TREES OR SHRUBS.  
3. PROVIDE 3" OF CLEAN LOOSE TOPSOIL IN ALL AREAS BE SEEDED WITH GRASS. GRASS SEED SHALL BE A MIX OF 50% BLUEGRASS, 25% RED FESCUE AND 25% RYE.  
4. ALL PLANT SUBSTITUTIONS REQUIRE PRIOR APPROVAL BY THE LEWISBORO PLANNING BD. OR ITS AUTHORIZED AGENT.  
5. BE AWARE OF ALL UNDERGROUND UTILITIES PRIOR TO PLANTING OPERATION. CONTACT "CALL BEFORE YOU DIG" PRIOR TO EXCAVATION.  
6. ALL PLANTINGS SHALL BE OF NURSERY STOCK, VIGOROUS AND ROBUST WHEN PLANTED AND SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION AND FREE OF DEBRIS.  
7. ALL PLANT MATERIAL INCLUDING TREES AND SHRUBS SHALL BE GUARANTEED BY THE CONTRACTOR TO BE GOOD, HEALTHY, FLOURISHING CONDITION FOR 1 YEAR AFTER PLANTING. THE CONTRACTOR SHALL REPLACE ALL DEAD PLANTS AND THOSE IN POOR CONDITION AT NO COST TO THE OWNER, INCLUDING LABOR AND MATERIALS.  
8. ALL SHRUBS AND TREES SHALL BE PLANTED TO MATCH DETAILS 3 AND 4 / SP2D.  
9. ALL TREES AND SHRUBS OUTSIDE OF AREA OF DISTURBANCE SHALL REMAIN.  
10. ALL WOODY DEBRIS AND INVASIVE PLANT MATERIAL SHALL BE REMOVED FROM THE AREA OF DISTURBANCE.



3 SAND TRAP DETAIL  
SCALE: 1/2"=1'-0"



4 WATER RECLAMATION TANK DETAIL  
SCALE: 1/2"=1'-0"

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Chairman \_\_\_\_\_ DATE \_\_\_\_\_

Secretary \_\_\_\_\_ DATE \_\_\_\_\_

TOWN ENGINEER'S CERTIFICATION  
Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_

Joseph M. Cermele, P.E. \_\_\_\_\_ Date \_\_\_\_\_  
Town Consulting Engineer

OWNER'S CERTIFICATION  
The undersigned is the owner(s) of the property shown herein, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name: Smith Ridge Associates, LLC - Philip Pine, Managing Partner Date  
Owners Address: 450 Oakridge Common, South Salem, NY 10590

REVISIONS	
No.	Date
2	REVISED GARWASH ADDITION AND LANDSCAPING
1	PLYCON SIGN

SEAL

CROSS RIVER ARCHITECTS, LLC  
ROBERT J. EBERTS R.A., PRINCIPAL

PROJECT  
OAKRIDGE COMMONS SHOPPING CENTER  
380 SMITH RIDGE ROAD  
SOUTH SALEM, NY 10590

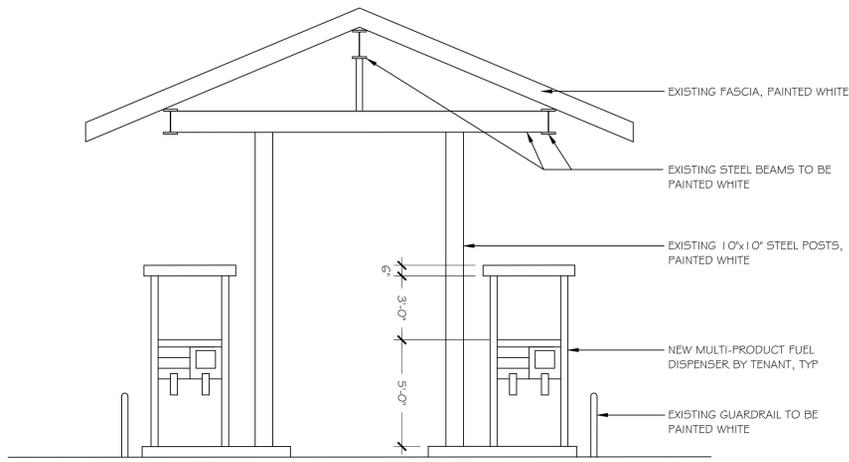
TITLE  
ENLARGED CAR WASH SITE # LANDSCAPE PLANS  
DATE  
JUNE 27, 2018  
SCALE  
1"=20'-0"  
PROJ. #

DATE  
MAR. 20, 2020  
DEC. 12, 2019

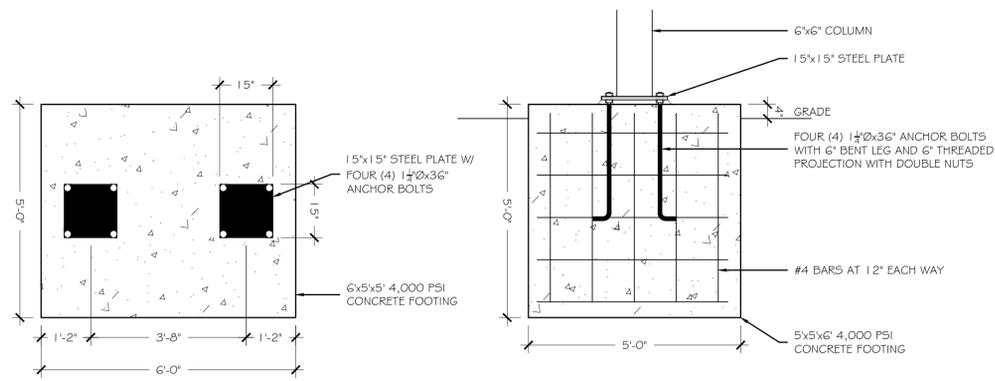
914.763.5887  
FAX 914.763.8409

P.O. BOX 384  
19 NO. SALEM RD., 2nd FL.  
CROSS RIVER, N.Y. 10518

SP/2C



**3 MARQUIS SIGN ON EXISTING CANOPY**  
SCALE: 1/4"=1'-0" TOTAL SIGN FACE = 5.3 SF



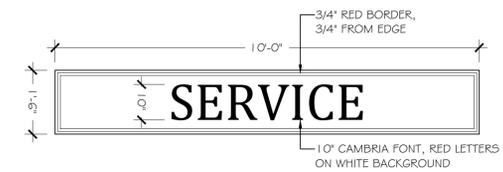
**2 CONCRETE FOOTING DETAIL**  
SCALE: 1/2"=1'-0"

SIGNAGE TABLE	EXISTING SIZE	PERMITTED SIZE	PROPOSED SIZE	LIGHTING*	NOTES
SIGN 1 FREESTANDING	-	8 SF	72.26 SF per side	INTERNAL	Variance Granted
SIGN 8 WALL	-	20' x 2'	10' x 1.5' / 15 sf	NONE	Bldg length = 120'
SIGN 9 WALL	-	6 SF	10' x 1.5' / 15 sf	NONE	Variance Granted
SIGN 10 WALL	-	-	10' x 1.5' / 15 sf	NONE	-
SIGN 11 WALL	-	-	10' x 1.5' / 1.25 sf	NONE	-

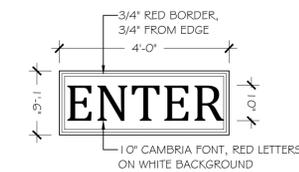
\*SIGNS SHALL NOT BE ILLUMINATED BETWEEN THE HOURS OF 10:00PM AND 6:00AM.



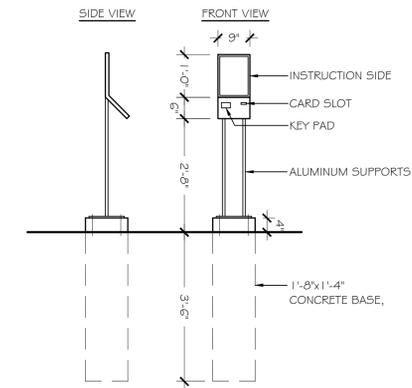
**10 MOUNTED SIGN #8 & #9**  
SCALE: 1/2"=1'-0"



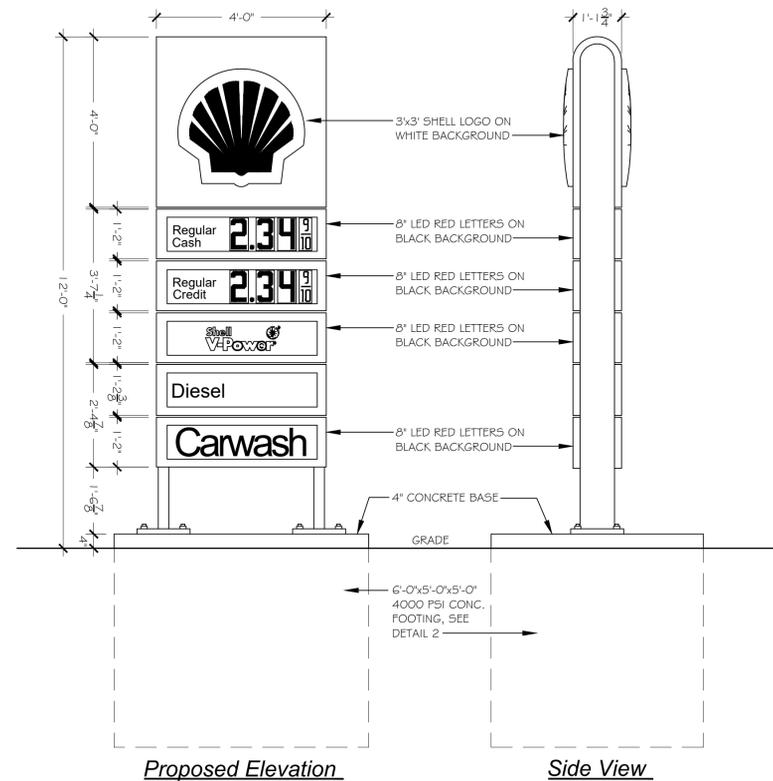
**11 MOUNTED SIGN #10**  
SCALE: 1/2"=1'-0"



**12 MOUNTED SIGN #11**  
SCALE: 1/2"=1'-0"



**13 PROPOSED KIOSK DETAIL**  
SCALE: 1/2"=1'-0"



**1 PROPOSED FREESTANDING SIGN #1 (DOUBLE SIDED)**  
SCALE: 1/2"=1'-0" TOTAL SIGN FACE = 40.4 SF (EACH SIDE)

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Chairman \_\_\_\_\_ DATE \_\_\_\_\_

Secretary \_\_\_\_\_ DATE \_\_\_\_\_

TOWN ENGINEER'S CERTIFICATION  
Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_

Joseph M. Cermele, P.E. \_\_\_\_\_ Date \_\_\_\_\_  
Town Consulting Engineer

OWNER'S CERTIFICATION  
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name: Smith Ridge Associates, LLC - Philip Pine, Managing Partner Date \_\_\_\_\_  
Owners Address: 450 Oakridge Common, South Salem, NY 10590

NO.	REVISIONS	DATE
3	PYLON SIGN, GAS DISPENSERS, CANOPY	APR. 20, 2020
2	DETAILS 1, 2 & 3 SIGNAGE	DEC. 19, 2019
1	PLANNING BOARD APPROVAL	MAR. 15, 2018

SEAL

**CROSS RIVER ARCHITECTS, LLC**  
ROBERT J. EBERTS R.A., PRINCIPAL  
P.O. BOX 384  
19 NO. SALEM RD., 2ND FL.,  
CROSS RIVER, N.Y. 10518  
914.763.5887  
FAX 914.763.8409

PROJECT  
OAKRIDGE COMMONS SHOPPING CENTER  
380 SMITH RIDGE ROAD  
SOUTH SALEM, NY 10590

TITLE  
SIGNAGE

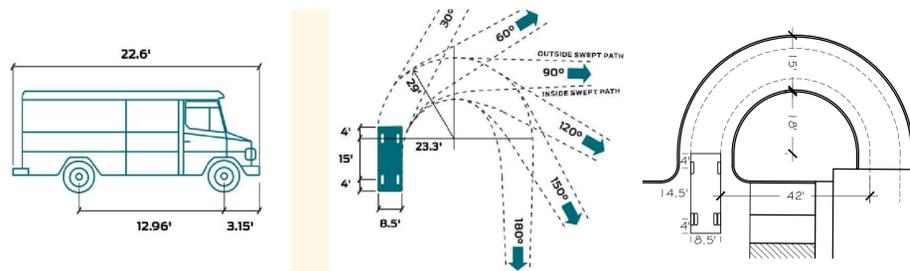
DATE  
JUNE 27, 2018

SCALE  
AS NOTED

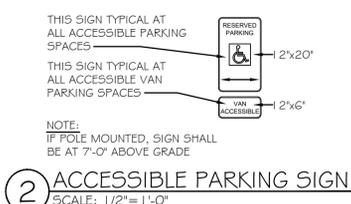
PROJ. #

DRAWING

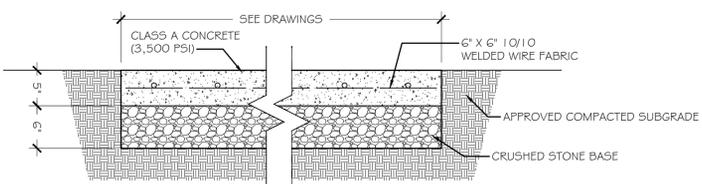
SP/3C



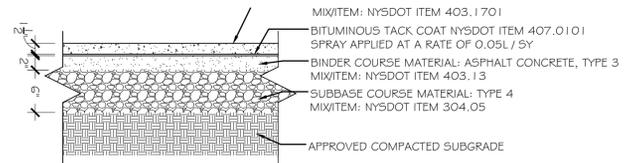
**1 TURNING RADIUS OF LARGEST VEHICLE FOR CAR WASH**  
SCALE: NOT TO SCALE 180° TURNING RADIUS APPLIES



**2 ACCESSIBLE PARKING SIGN**  
SCALE: 1/2"=1'-0"



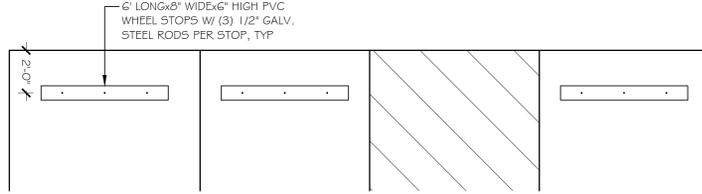
**3 CONCRETE SIDEWALK SECTION**  
SCALE: 1"=1'-0"



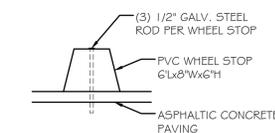
**4 NEW SITE PAVING SECTION**  
SCALE: 1"=1'-0"



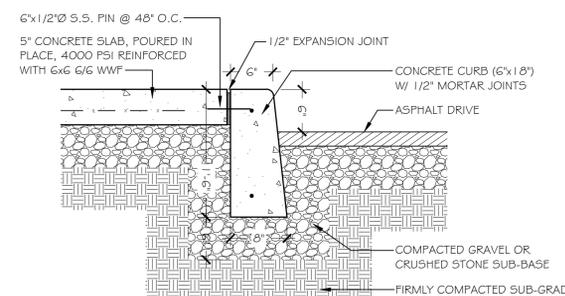
**4A REPAVING SECTION**  
SCALE: 1"=1'-0"



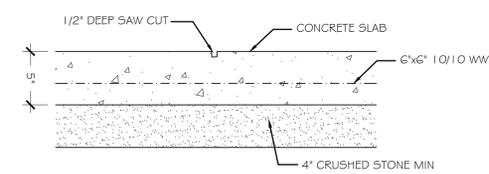
**5 DETAIL OF PARKING SPACES @ SLAB ON GRADE**  
SCALE: 1/4"=1'-0"



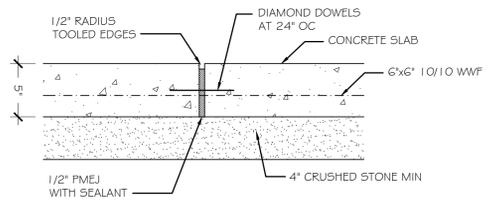
**5a WHEEL STOP DETAIL**  
SCALE: 1"=1'-0"



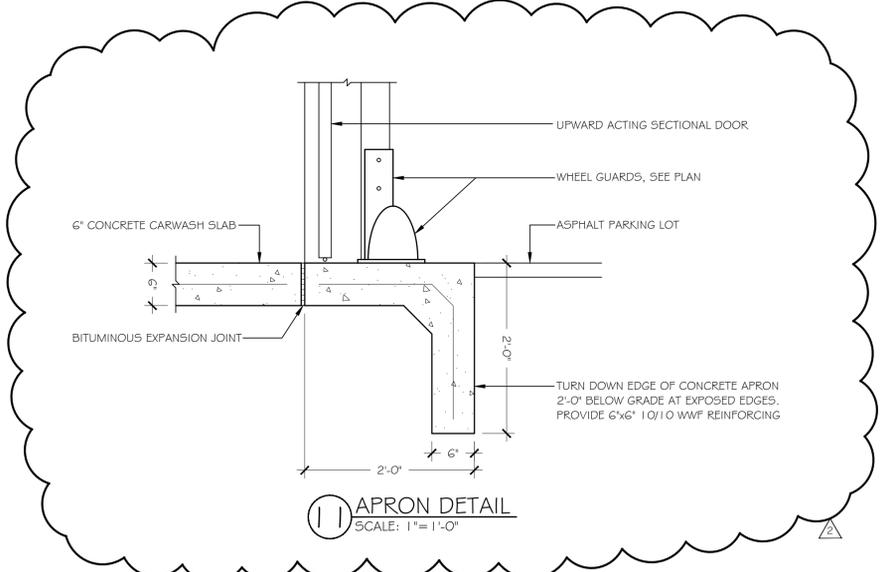
**6 CONCRETE CURB DETAIL**  
SCALE: 1"=1'-0"



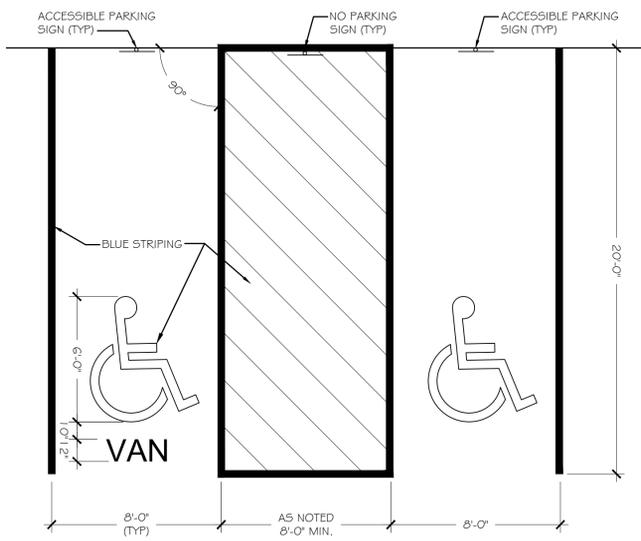
**9 CONTROL JOINT DETAIL**  
SCALE: 1"=1'-0"



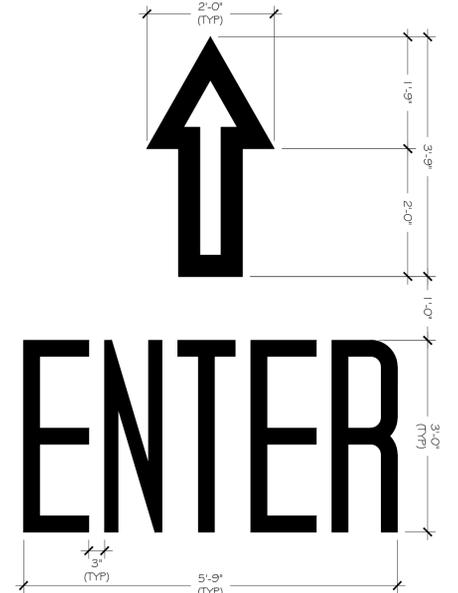
**10 EXPANSION JOINT DETAIL**  
SCALE: 1"=1'-0"



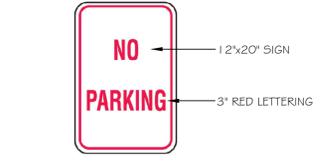
**11 APRON DETAIL**  
SCALE: 1"=1'-0"



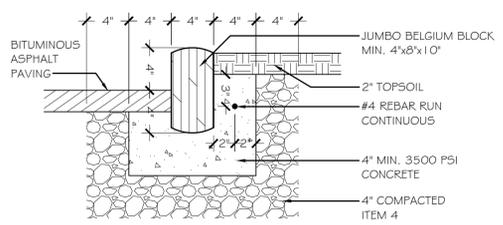
**13 DETAIL OF ACCESSIBLE PARKING SPACES**  
SCALE: 1/4"=1'-0"



**14 ENTRANCE ONLY ARROW DETAIL**  
SCALE: 3/4"=1'-0"



**16 NO PARKING SIGN**  
SCALE: NOT TO SCALE



**18 BELGIUM BLOCK CURB**  
SCALE: 1 1/2"=1'-0"

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD	
Chairman	DATE
Secretary	DATE
TOWN ENGINEER'S CERTIFICATION Reviewed for compliance with the Planning Board Resolution dated _____	
Joseph M. Cermele, P.E.	Date
Kellard Sessions Consulting, P.C. Town Consulting Engineer	
OWNER'S CERTIFICATION The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.	
Owners Name: Smith Ridge Associates, LLC - Philip Pine, Managing Partner Date Owners Address: 450 Oakridge Common, South Salem, NY 10590	

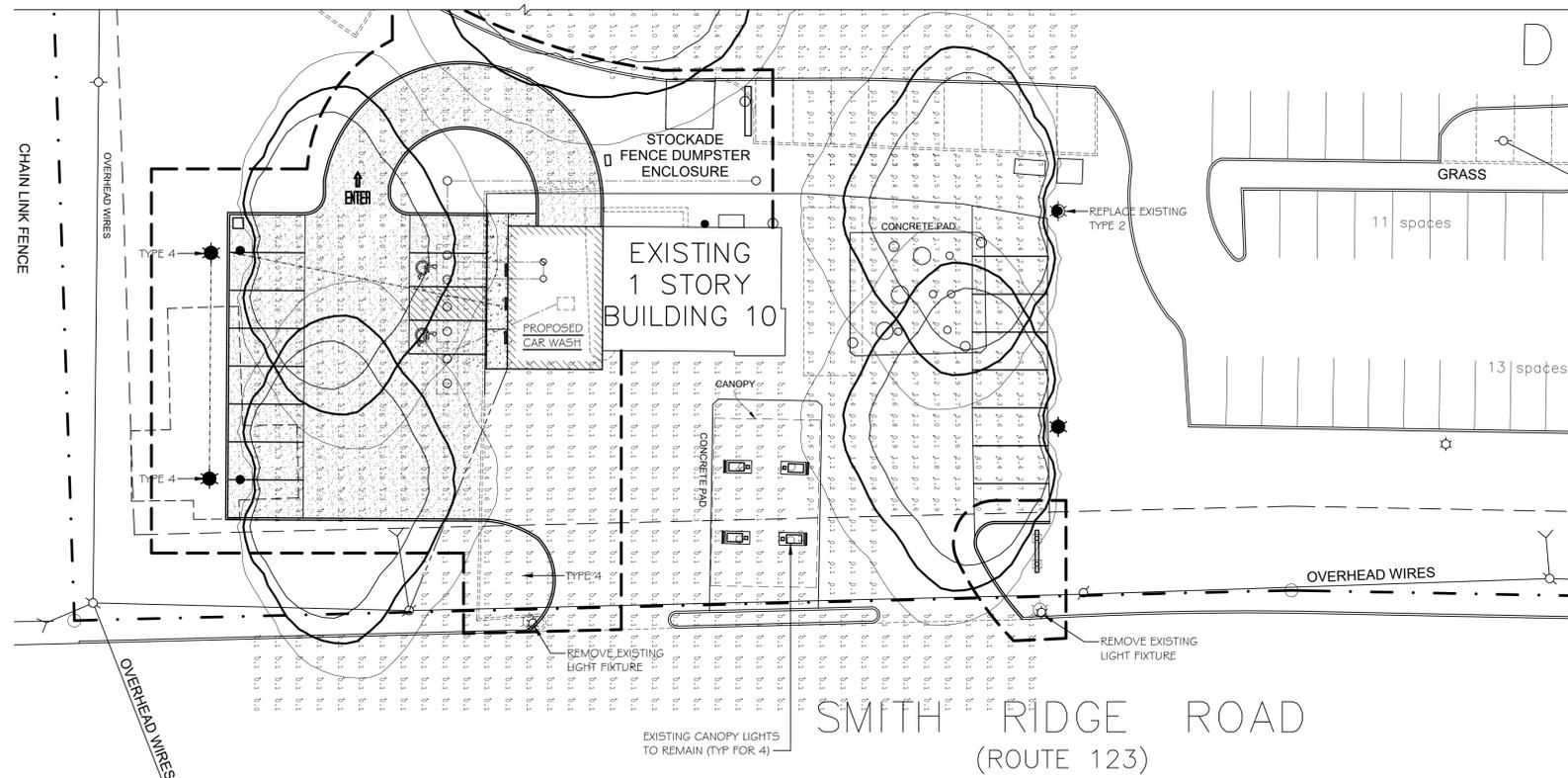
NO.	DATE	DESCRIPTION
2	DEC. 19, 2019	ADDED APRON DETAIL
1	DEC. 19, 2019	ADDRESS

SEAL

**CROSS RIVER ARCHITECTS, LLC**  
ROBERT J. EBERTS R.A., PRINCIPAL  
P.O. BOX 384  
19 NO. SALEM RD., 2ND FL.  
CROSS RIVER, N.Y. 10518  
914.763.5887  
FAX 914.763.8409

PROJECT: OAKRIDGE COMMONS SHOPPING CENTER  
380 SMITH RIDGE ROAD  
SOUTH SALEM, NY 10590  
TITLE: SITE DETAILS  
DATE: JUNE 27, 2018  
SCALE: AS NOTED  
PROJ. #

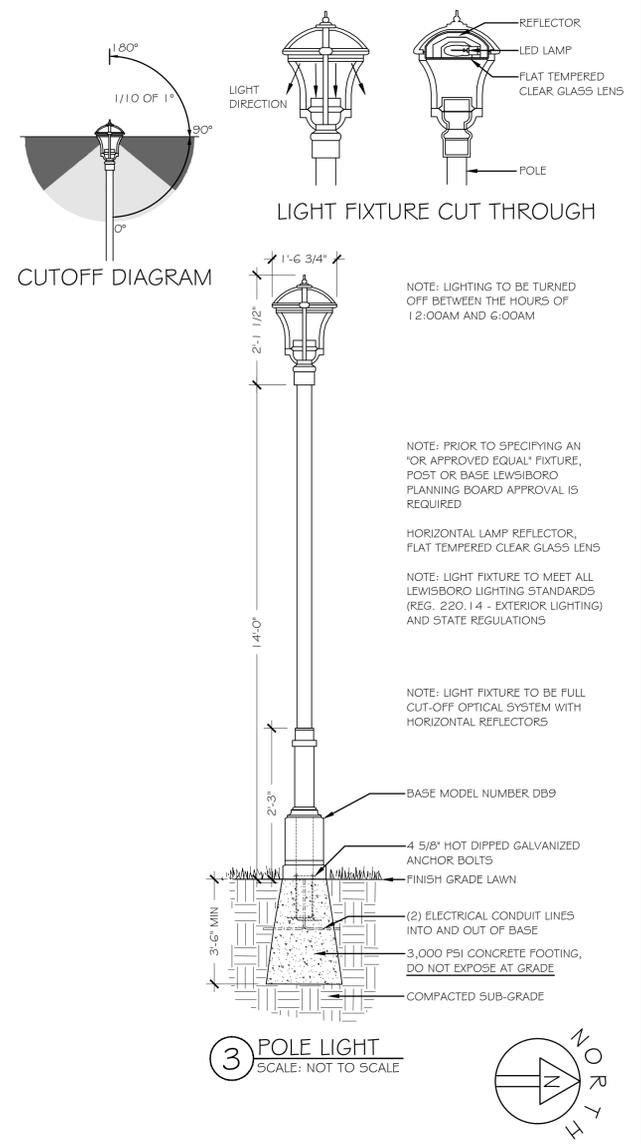




1 LIGHTING PLAN  
SCALE: 1"=20'-0"

PROPOSED ILLUMINANCE LEVELS			
	Min	Ave.	Max.
At Property Line (Street)	0.0 fc	0.1 fc	2.7 fc
At Property Line (South)	0.0 fc	0.0 fc	0.0 fc
In Parking Lot	0.0 fc	1.2 fc	5.6 fc
At Building Entrance	0.1 fc	0.1 fc	0.1 fc

- EXTERIOR LIGHTING NOTES**
- ALL EXTERIOR LIGHTS MUST BE CONTROLLED BY TIMECLOCK AND PHOTOCELL.
  - ALL EXTERIOR LIGHTS MUST BE OFF BETWEEN 12:00 MIDNIGHT AND 6:00AM.
  - ALL EXTERIOR LIGHTS SHALL BE LED, 3500K- 4000 K.
  - POLE LIGHTS SHALL BE ARCHITECTURAL AREA LIGHTING PROVIDENCE SERIES PROV- (LIGHT SPREAD TYPE AS INDICATED ON PLAN) CCT-700-DB-DF-LDL-PCAT-32LED 4000K-700 WITH CLEAR TEMPERED LENS. POST SHALL BE 4" DIA. ROUND 14' HEIGHT WITH BASE # D89. SET POLE WITH 1 2" DIA. CONCRETE PIER, 3'6" BELOW GRADE.



3 POLE LIGHT  
SCALE: NOT TO SCALE

NOTE: LIGHTING TO BE TURNED OFF BETWEEN THE HOURS OF 12:00AM AND 6:00AM

NOTE: PRIOR TO SPECIFYING AN "OR APPROVED EQUAL" FIXTURE, POST OR BASE LEWISBORO PLANNING BOARD APPROVAL IS REQUIRED

HORIZONTAL LAMP REFLECTOR, FLAT TEMPERED CLEAR GLASS LENS

NOTE: LIGHT FIXTURE TO MEET ALL LEWISBORO LIGHTING STANDARDS (REG. 220.14 - EXTERIOR LIGHTING) AND STATE REGULATIONS

NOTE: LIGHT FIXTURE TO BE FULL CUT-OFF OPTICAL SYSTEM WITH HORIZONTAL REFLECTORS

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Chairman \_\_\_\_\_ DATE \_\_\_\_\_

Secretary \_\_\_\_\_ DATE \_\_\_\_\_

TOWN ENGINEER'S CERTIFICATION  
Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_

Joseph M. Cermele, P.E. \_\_\_\_\_ Date \_\_\_\_\_

Kellard Sessions Consulting, P.C.  
Town Consulting Engineer

OWNER'S CERTIFICATION  
The undersigned is the owner(s) of the property shown herein, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name: Smith Ridge Associates, LLC - Philip Pine, Managing Partner Date  
Owners Address: 450 Oakridge Common, South Salem, NY 10590

REVISIONS

No.	Address	Date
2	ELIMINATED WALL MOUNTED LIGHT FIXTURE	APR. 20, 2020
1	ADDRESS	DEC. 19, 2019

SEAL

**CROSS RIVER ARCHITECTS, LLC**  
ROBERT J. EBERTS R.A., PRINCIPAL  
P.O. BOX 384  
19 NO. SALEM RD., 2ND FL.,  
CROSS RIVER, N.Y. 10518  
914.763.5887  
FAX 914.763.8409

PROJECT  
**OAKRIDGE COMMONS SHOPPING CENTER**  
380 SMITH RIDGE ROAD  
SOUTH SALEM, NY 10590

TITLE  
CARWASH LIGHTING PLAN AND DETAILS

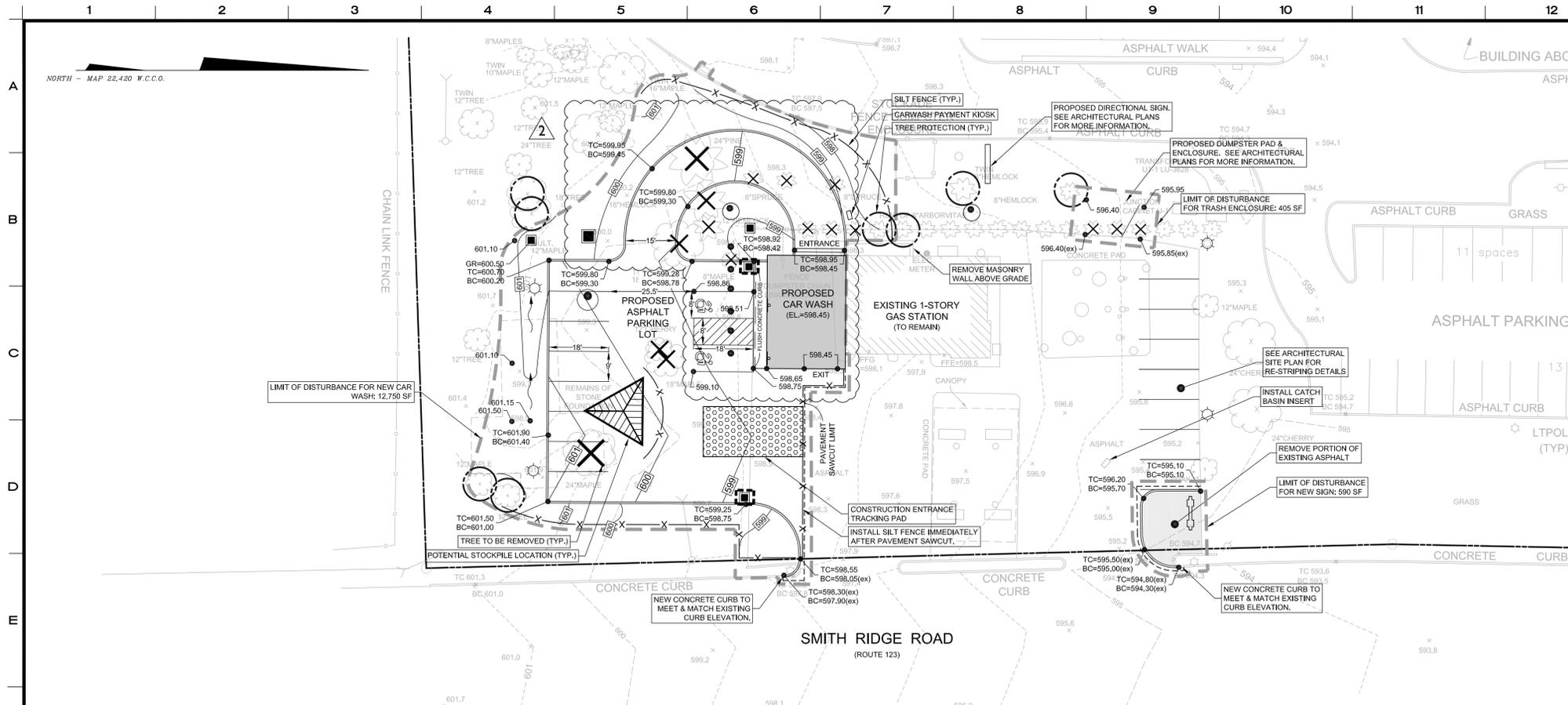
DATE  
JUNE 27, 2018

SCALE  
AS NOTED

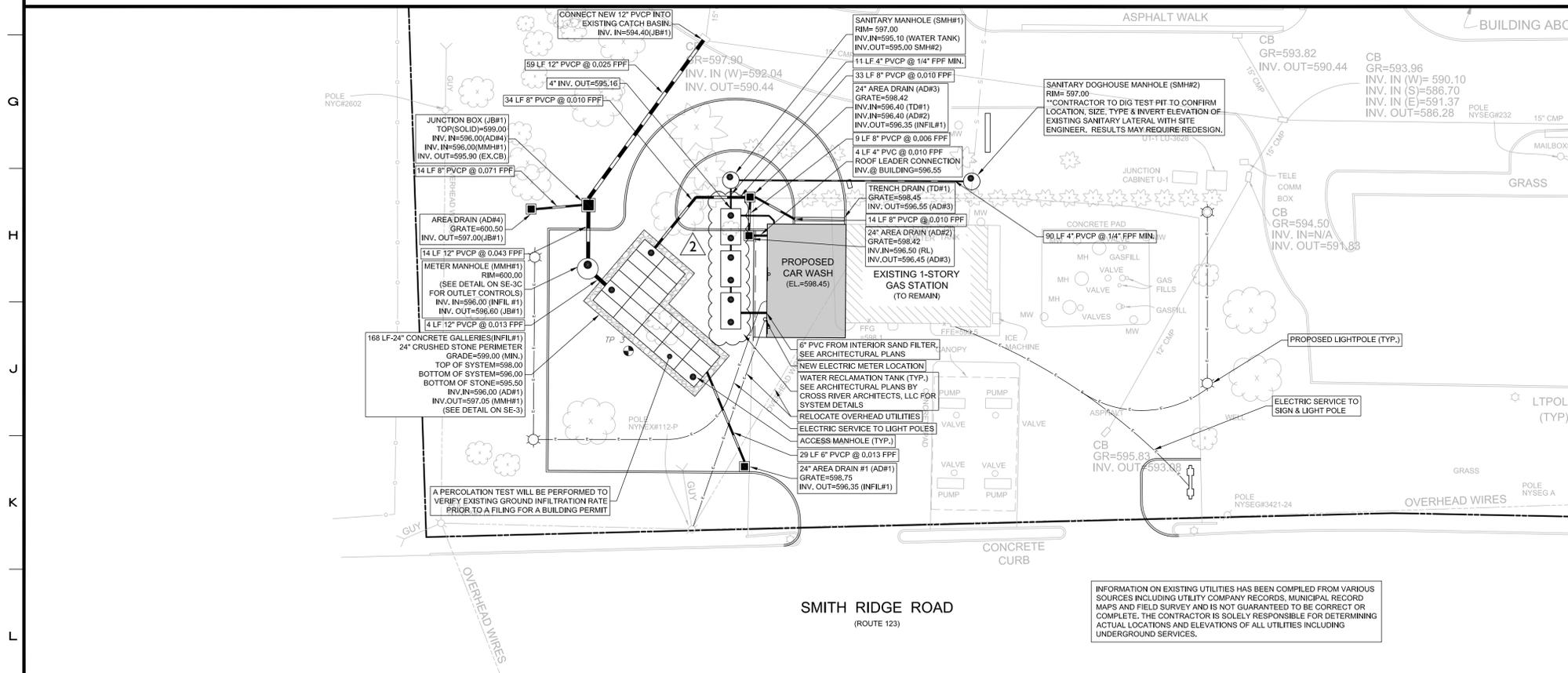
PROJ. #

DRAWING

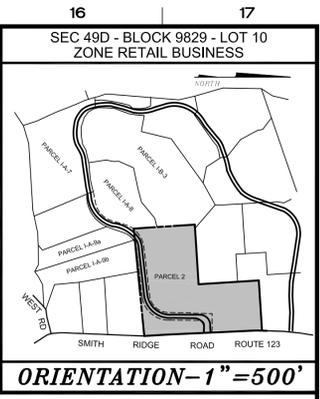
**SP/5C**



**GRADING & EROSION CONTROL PLAN**



**UTILITY SITE PLAN**



**NOTE:**

- REFER TO PLANS BY CROSS RIVER ARCHITECTS, LLC DATED 4/20/2020 FOR INFORMATION RELATED TO ZONING COMPLIANCE TABLE, PARKING COUNT, CONSTRUCTION PHASING, REMOVALS PLAN, BUILDING DESIGN, SITE LIGHTING, LANDSCAPING AND TRASH MANAGEMENT PLAN.
- WATER SUPPLY FOR CAR WASH WILL COME FROM SERVICE LINE IN ADJACENT GAS STATION STRUCTURE.

**APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD**

Chairman \_\_\_\_\_ DATE \_\_\_\_\_  
Secretary \_\_\_\_\_ DATE \_\_\_\_\_

**TOWN ENGINEER'S CERTIFICATION**  
Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_  
Joseph M. Cermele, P.E. \_\_\_\_\_ Date \_\_\_\_\_

**OWNER'S CERTIFICATION**  
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.  
Owners Name: Smith Ridge Associates, LLC - Philip Pine, Owner's rep Date \_\_\_\_\_  
Owners Address: 450 Oakridge Common, South Salem, NY 10590

4/28/2020	UPDATED CAR WASH FOOTPRINT PER ARCHITECT	
2/7/2018	ORIGINAL ISSUE DATE	
No.	Date	Revision

**SITE DEVELOPMENT PLAN**  
DEPICTING  
**OAKRIDGE COMMONS**  
**PHASE III - CAR WASH**  
LEWISBORO, NY  
**PREPARED FOR**  
**SMITH RIDGE ASSOCIATES, LLC**

SCALE: 0 20 40  
1"=20'  
DRAWN BY: TMM CHECKED BY: AMK  
DATE  
**REDNISS & MEAD**  
PROFESSIONAL ENGINEERS AND LAND SURVEYORS, P.C.  
22 First Street | Stamford, CT 06905  
Tel: 203.327.0500 | Fax: 203.327.1118  
www.rednissmead.com

SHEET No:  
**SE-IC**  
Comm. No. 2212

TOWN OF LEWISBORO

NOTICE OF PUBLIC HEARING

**NOTICE IS HEREBY GIVEN** that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on Tuesday, May 19, 2020 at 7:30 p.m., or soon thereafter, using the videoconferencing app Zoom, regarding the following:

**Cal #3-09PB**

Application for Special Use Permit renewal to InSite Wireless at Vista Fire Dept., 377 Smith Ridge Road, South Salem, NY 10590, Sheet 50A, Block 9834, Lots 84, 88 & 94 (Vista Fire District, owner of record) for existing Sprint/Nextel and AT&T Wireless telecommunication equipment. The subject property consists of approx. 5.94 acres and is located in a One-Acre Residential (R-1A) Zoning District.

Public health and safety concerns related to the COVID-19 virus mean that the Planning Board will not be meeting in person. Per Governor Cuomo's Executive Order No. 202.1, this meeting will be held via Zoom and a transcript will be provided at a later date. The public will have the opportunity to review digital copies of materials and proposed site documents at <https://www.lewisborogov.com/planningboard>

Interested members of the public are encouraged to provide written comments prior to the virtual meeting by emailing Ciorsdan Conran, Planning Board Administrator, at [planning@lewisborogov.com](mailto:planning@lewisborogov.com) Please check the meeting agenda posted on the Board's web page for additional instructions and updates.

The public may view or participate through the Zoom app at <https://zoom.us/j/99426059447> by clicking "Join a Meeting," and entering Meeting ID: 994 2605 9447. You may call in to the Zoom meeting at 1-929-205-6099 when prompted, enter 994 2605 9447.

Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to view the Public Hearing and all will be provided an opportunity to be heard.

PLANNING BOARD  
TOWN OF LEWISBORO  
By: Janet Andersen  
Chair

Dated: April 30, 2020

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to view or participate in this meeting is encouraged to notify the Administrator to the Planning Board in advance.

AFFIDAVIT OF POSTING

State of New York            )  
  )  
County of Westchester        )        ss:

Robert D. Gaudio, being duly sworn, deposes and says that he is over twenty-one years of age and works at 94 White Plains Road, Tarrytown, in the State of New York; that he is a attorney at Snyder & Snyder, LLP the attorney for Insite Wireless Group, LLC, regarding a renewal request for a wireless telecommunications facility located at 377 Smith Ridge Road, Town of Lewisboro, New York. That on the April 28, 2020, he posted notice at the property.



Robert D. Gaudio

Sworn to and subscribed before me  
this 28<sup>th</sup> day of April 2020

  
NOTARY PUBLIC

David James Kenny  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 02KE6343903  
Qualified in Westchester County  
Commission Expires June 20, 2020



NOTICE

This property is the subject of an application before the  
Lewisburg Planning Board.  
A Public Hearing has been scheduled at which time all interested parties  
will be afforded an opportunity to be heard.

Please contact the Planning Board Secretary at  
914.763.5592  
or visit  
[www.lewisburgpa.gov](http://www.lewisburgpa.gov)  
for additional information



**NOTICE**

The property is the subject of an application before the  
Lewistown Planning Board.  
A Public Hearing has been scheduled at which time all interested parties  
will be afforded an opportunity to be heard.

**Please contact the Planning Board Secretary at  
914-763-3592**

or visit  
[www.lewistownpa.gov](http://www.lewistownpa.gov)  
for additional information



**NOTICE**

This property is the subject of an application before the  
Lewisboro Planning Board.  
A Public Hearing has been scheduled at which time all interested parties  
will be afforded an opportunity to be heard.

*Please contact the Planning Board Secretary at  
914-763-5592*

or visit

[www.lewisborogov.com](http://www.lewisborogov.com)  
*for additional information*

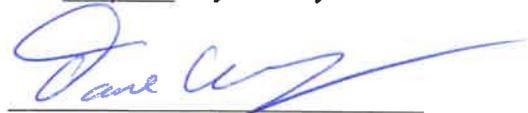
AFFIDAVIT OF POSTING

State of New York            )  
  )  
County of Westchester        )        ss:

Erica Atzl, being duly sworn, deposes and says that she is over twenty-one years of age and works at 94 White Plains Road, Tarrytown, in the State of New York; that she is a paralegal at Snyder & Snyder, LLP the attorney for Insite Wireless Group, LLC, regarding a renewal request for a wireless telecommunications facility located at 377 Smith Ridge Road, Town of Lewisboro, New York. On May 1<sup>st</sup>, she served notice, a copy of which is attached hereto, upon the following named persons at the addresses set forth, as shown on the attached list, by mailing true copies of the same via certified mail, enclosed and properly sealed in postpaid envelopes, which she entrusted to the exclusive care and custody of the United States Postal Service within the State of New York.

  
Erica Atzl

Sworn to and subscribed before me  
this 1<sup>st</sup> day of May 2020

  
NOTARY PUBLIC

David James Kenny  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 02KE6343903  
Qualified in Westchester County  
Commission Expires June 20, 2020

**TOWN OF LEWISBORO**

**NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on Tuesday, May 19, 2020 at 7:30 p.m., or soon thereafter, using the videoconferencing app Zoom, regarding the following:

**Cal #3-09PB**

Application for Special Use Permit renewal to InSite Wireless at Vista Fire Dept., 377 Smith Ridge Road, South Salem, NY 10590, Sheet 50A, Block 9834, Lots 84, 88 & 94 (Vista Fire District, owner of record) for existing Sprint/Nextel and AT&T Wireless telecommunication equipment. The subject property consists of approx. 5.94 acres and is located in a One-Acre Residential (R-1A) Zoning District.

Public health and safety concerns related to the COVID-19 virus mean that the Planning Board will not be meeting in person. Per Governor Cuomo's Executive Order No. 202.1, this meeting will be held via Zoom and a transcript will be provided at a later date. The public will have the opportunity to review digital copies of materials and proposed site documents at <https://www.lewisborogov.com/planningboard>

Interested members of the public are encouraged to provide written comments prior to the virtual meeting by emailing Ciorsdan Conran, Planning Board Administrator, at [planning@lewisborogov.com](mailto:planning@lewisborogov.com) Please check the meeting agenda posted on the Board's web page for additional instructions and updates.

The public may view or participate through the Zoom app at <https://zoom.us/j/99426059447> by clicking "Join a Meeting," and entering Meeting ID: 994 2605 9447. You may call in to the Zoom meeting at 1-929-205-6099 when prompted, enter 994 2605 9447.

Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to view the Public Hearing and all will be provided an opportunity to be heard.

**PLANNING BOARD  
TOWN OF LEWISBORO  
By: Janet Andersen  
Chair**

**Dated: April 30, 2020**

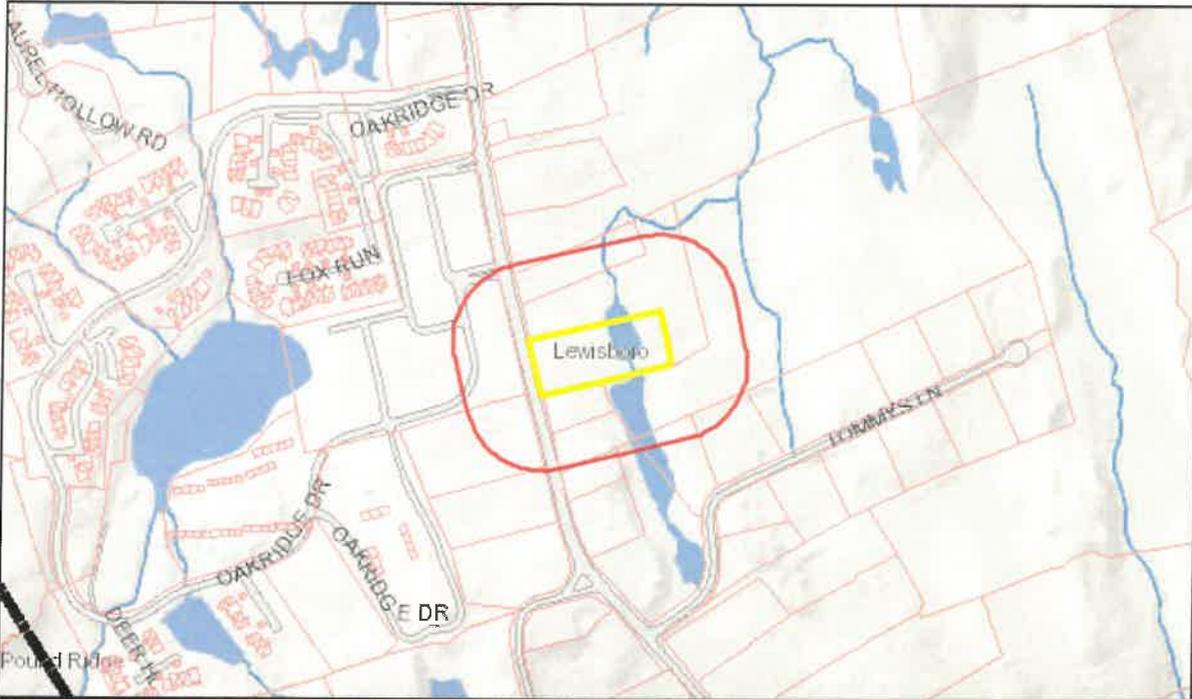
The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to view or participate in this meeting is encouraged to notify the Administrator to the Planning Board in advance.

# Tax Parcel Maps

Address: 377 SMITH RIDGE RD

Print Key: 77.11-2-9

SBL: 07701100020090000000



**Disclaimer:**

This tax parcel map is provided as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should **NOT** be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact the assessor's office of the municipality.

OWNERNAME	PROPADDRESS	PROPCITY	PROPZIP	TOLBLK	TOLLLOT	CTY	MAILINGADDRESS
LEWISBORO SUPPLY CO INC RINGS END OF LEWISBORO	382 SMITH RIDGE RD	SOUTH SALEM	10590	9827	79	77.11-1-7	382 SMITH RIDGE RD, SOUTH SALEM, NY 10590
VISTA FIRE DISTRICT	377 SMITH RIDGE RD	SOUTH SALEM	10590	9834	94	77.11-2-8	377 SMITH RIDGE RD, SOUTH SALEM, NY 10590
LEWISBORO SUPPLY CO INC RINGS END OF LEWISBORO	382 SMITH RIDGE RD	SOUTH SALEM	10590	9827	23	77.11-1-6	382 SMITH RIDGE RD, SOUTH SALEM, NY 10590
GRANT, JAMES F.JR. & ELIZABETH	389 SMITH RIDGE RD	SOUTH SALEM	10590	9834	71	77.11-2-12	6 STUART LAKE ROAD, SOUTH SALEM, NY 10590
SMITH RIDGE ASSOC.LLC	SMITH RIDGE RD	SOUTH SALEM	10590	9829	10	77.11-1-5	450 OAKRIDGE COMMONS, SOUTH SALEM, NY 10590
FOUR HUNDRED ONE STORAGE CORP.	401 SMITH RIDGE RD	SOUTH SALEM	10590	9848	1	77.11-2-15	PO BOX 751, SOUTH SALEM, NY 10590
SAMUELSON, RANDY S.	5 TOMMY'S LANE	SOUTH SALEM	10590	9848	4	77.11-2-16	5 TOMMY'S LANE, SOUTH SALEM, NY 10590
RITCHEY, ARLENE L.	7 TOMMY'S LANE	SOUTH SALEM	10590	9848	5	77.11-2-17	WILMINGTON SAVINGS FUND SOCIETY, FSB, 14405 WALTERS RD., STE 200, HOUSTON, TX 77014
FIVE NEPPERHAN AVENUE LLC	SMITH RIDGE RD	SOUTH SALEM	10590	9834	19	77.11-2-10	44 ALGONQUIN RD, CHAPPAQUA, NY 10514
387 SMITH RIDGE ROAD LLC	387 SMITH RIDGE RD	SOUTH SALEM	10590	9834	81	77.11-2-11	475 SMITH RIDGE RD, SOUTH SALEM, NY 10590
VISTA FIRE DISTRICT	377 SMITH RIDGE RD	SOUTH SALEM	10590	9834	84	77.11-2-7	377 SMITH RIDGE RD, SOUTH SALEM, NY 10590
E B TREES, INC.	391 SMITH RIDGE RD	SOUTH SALEM	10590	9848	3	77.11-2-13	20 WAKEMAN ROAD, SOUTH SALEM, NY 10590
VISTA FIRE DISTRICT	377 SMITH RIDGE RD	SOUTH SALEM	10590	9834	88	77.11-2-9	377 SMITH RIDGE RD, SOUTH SALEM, NY 10590
HABERNY, JOSEPH A. & JEANINE M.	371 SMITH RIDGE RD	SOUTH SALEM	10590	9834	18	77.11-2-5	371 SMITH RIDGE RD, SOUTH SALEM, NY 10590

RECEIPT  
9290 9944 6683 1300 1461 30

FROM:  
Snyder & Snyder, LLP  
RE: Insite Vista

DP:  
PB:

SEND TO:  
Arlene L. Ritchey  
Wilmington Savings  
Fund Society, FSB  
14405 Walters Road, Ste 200  
Houston, TX 77014

FEES:  
Postage 0.39  
Certified Fee 2.40  
Return Receipt 1.85  
Restricted

TOTAL \$ 4.64

POSTMARK OR DATE

RECEIPT  
9290 9944 6683 1300 1461 54

FROM:  
Snyder & Snyder, LLP  
RE: Insite Vista

DP:  
PB:

SEND TO:  
387 Smith Ridge Road LLC  
475 Smith Ridge Road  
South Salem, NY 10590

FEES:  
Postage 0.39  
Certified Fee 2.40  
Return Receipt 1.85  
Restricted

TOTAL \$ 4.64

POSTMARK OR DATE

RECEIPT  
9290 9944 6683 1300 1461 47

FROM:  
Snyder & Snyder, LLP  
RE: Insite Vista

DP:  
PB:

SEND TO:  
Five Nepperhan Avenue LLC  
44 Algonquin Road  
Chappaqua, NY 10514

FEES:  
Postage 0.39  
Certified Fee 2.40  
Return Receipt 1.85  
Restricted

TOTAL \$ 4.64

POSTMARK OR DATE

RECEIPT  
9290 9944 6683 1300 1461 61

FROM:  
Snyder & Snyder, LLP  
RE: Insite Vista

DP:  
PB:

SEND TO:  
E B Trees, Inc.  
20 Wakeman Road  
South Salem, NY 10590

FEES:  
Postage 0.39  
Certified Fee 2.40  
Return Receipt 1.85  
Restricted

TOTAL \$ 4.64

POSTMARK OR DATE

RECEIPT  
9290 9944 6683 1300 1461 78

FROM:  
Snyder & Snyder, LLP  
RE: Insite Vista

DP:  
PB:

SEND TO:  
Joseph A. & Jeanine M. Haberny  
371 Smith Ridge Road  
South Salem, NY 10590

FEES:  
Postage 0.39  
Certified Fee 2.40  
Return Receipt 1.85  
Restricted

TOTAL \$ 4.64

POSTMARK OR DATE

RECEIPT  
9290 9944 6683 1300 1460 86

FROM:  
Snyder & Snyder, LLP  
RE: Insite Vista

DP:  
PB:

SEND TO:  
Vista Fire District  
377 Smith Ridge Road  
South Salem, NY 10590

FEES:  
Postage 0.39  
Certified Fee 2.40  
Return Receipt 1.85  
Restricted

TOTAL \$ 4.64

POSTMARK OR DATE

RECEIPT  
9290 9944 6683 1300 1460 93

FROM:  
Snyder & Snyder, LLP  
RE: Insite Vista

DP:  
PB:

SEND TO:  
James F. Jr. & Elizabeth Grant  
6 Stuart Lake Road  
South Salem, NY 10590

FEES:  
Postage 0.39  
Certified Fee 2.40  
Return Receipt 1.85  
Restricted

TOTAL \$ 4.64

POSTMARK OR DATE

RECEIPT  
9290 9944 6683 1300 1461 09

FROM:  
Snyder & Snyder, LLP  
RE: Insite Vista

DP:  
PB:

SEND TO:  
Smith Ridge Assoc. LLC  
450 Oakridge Commons  
South Salem, NY 10590

FEES:  
Postage 0.39  
Certified Fee 2.40  
Return Receipt 1.85  
Restricted

TOTAL \$ 4.64

POSTMARK OR DATE

RECEIPT  
9290 9944 6683 1300 1461 16

FROM:  
Snyder & Snyder, LLP  
RE: Insite Vista

DP:  
PB:

SEND TO:  
Four Hundred One  
Storage Corp.  
PO Box 751  
South Salem, NY 10590

FEES:  
Postage 0.39  
Certified Fee 2.40  
Return Receipt 1.85  
Restricted

TOTAL \$ 4.64

POSTMARK OR DATE

RECEIPT  
9290 9944 6683 1300 1461 23

FROM:  
Snyder & Snyder, LLP  
RE: Insite Vista

DP:  
PB:

SEND TO:  
Randy S. Samuelson  
5 Tommy's Lane  
South Salem, NY 10590

FEES:  
Postage 0.39  
Certified Fee 2.40  
Return Receipt 1.85  
Restricted

TOTAL \$ 4.64

POSTMARK OR DATE

RECEIPT  
9290 9944 6683 1300 1460 79

FROM:  
Snyder & Snyder, LLP  
RE: Insite Vista

DP:  
PB:

SEND TO:  
Lewisboro Supply Co. Inc. Rings  
End of Lewisboro  
382 Smith Ridge Road  
South Salem, NY 10590

FEES:  
Postage 0.39  
Certified Fee 2.40  
Return Receipt 1.85  
Restricted

TOTAL \$ 4.64

POSTMARK OR DATE

## MEMORANDUM

TO: Chairperson Janet Andersen and  
Members of Lewisboro Planning Board

CC: Ciorsdan Conran  
Judson Siebert, Esq.  
Joseph Angiello

FROM: Jan K. Johannessen, AICP   
Joseph M. Cermele, P.E., CFM   
Town Consulting Professionals

DATE: May 14, 2020

RE: Site Development Plan Approval (Formal), Special Use Permit, and Stormwater Permit  
Goldens Bridge Community House (65 Old Bedford Rd., LLC)  
65 Old Bedford Road  
Sheet 4A, Block 1112, Lot 2

---

### PROJECT DESCRIPTION

The subject property consists of ±0.723 acres of land and is located at 65 Old Bedford Road, within the R-2F-7.5 Zoning District. The subject property is currently owned by the Town of Lewisboro and contains the Goldens Bridge Community House. The property is developed with a 2½-story building, paved driveway, parking area, potable well, cesspools, and other ancillary improvements. The application involves the conversion of the existing building into four (4), 1-bedroom apartments and the sale of the property to a private party. The majority of the alterations will be internal to the building; however, the applicant is proposing the construction of a new septic system to replace the two (2) existing cesspools, improvements to the driveway and on-site parking area, drainage, and landscape and hardscaping improvements. The proposed use is allowable within the underlying Zoning District, subject to the issuance of a Special Use Permit from the Planning Board and compliance with Section 220-43.8, Multifamily dwellings, of the Town Zoning Code.

### SEQRA

The proposed action has been preliminarily identified as an Unlisted Action under the State Environmental Quality Review Act (SEQRA). Prior to taking action on this pending application, the Planning Board must issue a determination of significance.

**CIVIL ENGINEERING | LANDSCAPE ARCHITECTURE | SITE & ENVIRONMENTAL PLANNING**

---

**REQUIRED APPROVALS/REFERRALS**

1. Site Development Plan Approval, a Special Use Permit, and a Town Stormwater Permit are required from the Planning Board; unless waived by the Planning Board, a public hearing is required to be held on the Site Development Plan and the Special Use Permit.
2. The proposed action must be referred to and reviewed by the Architectural and Community Appearance Review Council (ACARC).
3. Any work proposed within the Town of Lewisboro right-of-way will require approval from the Town Highway Superintendent.
4. The proposed sanitary sewage treatment system requires approval from the Westchester County Department of Health (WCDH).
5. It is our understanding that the subject property is located within the New York City Department of Environmental Protection (NYCDEP) Designated Main Street Area. If new impervious cover is proposed, NYCDEP SWPPP approval may be required.
6. The subject property is located within the NYC East of Hudson Watershed and proposed land disturbance exceeds 5,000 s.f. Coverage under New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001) will be required.

**COMMENTS**

1. As previously requested, on behalf of the Planning Board, the applicant shall prepare and submit Part 2 of the Short EAF for consideration.
2. As previously requested, the applicant shall submit an updated Existing Conditions Survey (boundary and 2-foot contours), signed and sealed by a NYS Licensed Land Surveyor.
3. As previously requested, the Existing Conditions Plan shall also identify all proposed removals.
4. As previously indicated, we note that a portion of the off-street parking area located along Old Bedford Road extends onto the subject property. An easement may be required if the parking area is intended to remain in its current configuration.
5. If the existing pavement is in poor condition, it is recommended that it be repaved.

Chairperson Janet Andersen

May 14, 2020

Page 3 of 4

6. As previously requested, in accordance with Section 220-55D of the Zoning Code, the width of a driveway serving less than 15 parking spaces shall be at least 16 feet wide; the site plan identifies at 15-foot wide driveway. The plan shall be revised accordingly or a variance will be required.
7. The accessible parking space and loading area is consistently shown on Sheets SP-1 and L-1. Due to the location of the accessible walkway to the front of the building, it is recommended that the accessible space as shown on Sheet L-1 be utilized.
8. As previously requested, the pitch (direction and grade) of accessible parking spaces shall be identified on the plan to demonstrate compliance with ADA regulations.
9. As previously requested, the Erosion and Sediment Control Plan shall be revised, as follows:
  - Quantify the limits of disturbance (s.f.), including any areas within the Town right-of-way.
  - Identify existing trees to be removed, if any. If no trees to be removed, a note to this effect shall be added to the plan.
10. We note that the applicant has scheduled deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The plans and SWPPP shall be revised to include the test results.
11. We note that, under the current design, only the roof is being treated. The plan should be revised to collect the parking and drive areas since the infiltration system appears to be appropriately sized for the entire Water Quality Volume from these areas; provide rim and invert elevations along with the size and materials of all drainage facilities. Provide details.
12. As previously requested, manufacturer cut sheets for all proposed light fixtures shall be provided. The details provided on the plan do not provide sufficient information for review.
13. As previously requested, provide construction details for all proposed improvements, including, but not limited to, driveway restoration, pavement, pavement markings, lighting, curbing, pavement restoration, walkways, trash enclosure, etc.
14. As previously requested, the proposed stormwater practice shall include an emergency overflow to a stabilized outfall. The infiltration system detail proposes a gravel overflow strip to serve this purpose. The plan, however, shall illustrate the limits and dimensions of this measure. Provide finished grades to ensure the overflow is level and adequately distributes flow to avoid concentrated discharge. Care must be taken to locate the emergency overflow in a way that will not impact the adjacent property. Provide details.

Chairperson Janet Andersen  
May 14, 2020  
Page 4 of 4

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

**PLANS REVIEWED, PREPARED BY BIBBO ASSOCIATES, LLP, DATED (LAST REVISED) APRIL 28, 2020:**

- Existing Conditions Plan (Drawing EX-1)
- Site Plan (Drawing SP-1)
- Erosion Control Plan & Details (Drawing EC-1)

**PLANS REVIEWED, PREPARED BY TRACY CHALIXFOUX, LLC, DATED (LAST REVISED) APRIL 28, 2020:**

- Preliminary Landscape & Lighting Plan (Drawing L-1)
- Preliminary Lighting Schedule, Site Images & Details (Drawing L-2)

**DOCUMENTS REVIEWED:**

- Letter, prepared by Bibbo Associates, LLP, dated May 8, 2020
- Stormwater Permit Application
- *Stormwater Pollution Prevention Plan* Report, dated April 28, 2020

JKJ/JMC/dc

T:\Lewisboro\Correspondence\2020-05-14\_LWPB\_Goldens Bridge Community House - 65 Old Bedford Road\_Review Memo.docx

May 8, 2020

Town of Lewisboro Planning Board  
79 Bouton Road  
South Salem, New York 10590-1430

Attn: Ms. Janet Andersen, Chair

Re: Conversion of the Goldens Bridge  
Community House  
65 Old Bedford Road  
T.M.# 4A-11112-2

Dear Chair Andersen and Members of the Board:

This letter will serve to respond to the town's consulting professionals review letter of April 16, 2020. These comments will be keyed to this letter. Overall this project is an interior renovation project with the emphasis by the new owners to "soften" the current building into a more residential look, by removing over 1,000 square ft. of pavement and replacement there and throughout the site of new planting of trees, bushes etc.

1. The building department has been supplied with both a set of the current site plans but also an initial floor plan of the new four (4) one-bedroom apartments.
2. We have done that in our submission to the board dated April 28, 2020.
3. Please find attached a new 1' contour survey we needed for the new septic area. (Lot is flat)
4. We have added property line dimensions to the existing conditions plan. All proposed removals are shown hatched on our Site Plans.
5. All existing spot grades are shown. There is no proposed regrading.
6. Setbacks have been provided.
7. We do not intend to touch this existing parking area. I am not clear what the town's intent is going forward.
8. We may repave what is left of the pavement after planting etc. We have identified on our site plan what is staying and what is being removed. We have also provide a chart that shows both that there will be a decrease in impervious surfaces and that there will be no placement of any impervious surface on current pervious surfaces.
9. We will ask the board to relax the requirement of a 1' extension to the existing 15' (In most places) driveway as this may impact some of the planting area.

*Site Design ♦ Environmental*

10. We believe we meet these ADA grades on the reuse of the town's current ADA parking spot.
11. Our Architect has been in contact with the building inspector.
12. We have provided a van accessible ADA parking space with dimensions recommended
13. We are intending to reuse the town's current ADA space and leave the current signage attached to the building.
14. The trash enclosure proposed cannot be seen from the adjacent properties. Note the solid existing 5'- 7' fencing on the three (3)sides of the property. We ask that the board consider this location in approval process.
15. Landscaping plans (L-1) and Details (L-2) have been provided along with a plant schedule.
16. The erosion and sediment plan (EC-1) has been revised. We will not be providing a stabilized construction entrance as no real earth movement is anticipated that would track dirt off site.
17. We have arranged for witnessed soil testing with the town engineer.
18. With a total disturbance at approximate 6,000 square ft. we have provided in our last submission a NOI and MS4 for review.
19. We have also provided a town and NYSDEC standard SWPPP report in our last submission.
20. As previously mentioned there will not be 1 square ft. of impervious surface placed on any now pervious surface. Note the gravel driveway connection and gravel walkway.
21. We are not proposing any regrading at the site. We are continuing to allow run off from the existing paved areas onto the adjacent lawn areas. We are however capturing the existing roof run off that now spills onto/into the ground and conveying that run-off to a new subsurface infiltration system, see the SWPPP for sizing calculations.
22. There are no proposed drainage basins, manholes etc. see EC-1 plan for Cultec details.
23. We are proposing that the infiltration system when full will simply bubble out of the gravel brought to the surface and then onto/into the existing lawn area. Note also that this lot and most adjacent properties sits on underlying deep sand and gravel formations that are very conducive to vertical storm water movement (as verified by the test pits not only in the infiltration area but also several test pits witnessed in adjacent properties over the years).
24. Septic plan and permit approvals by both the WCDH and the NYCDEP are expected shortly. Copies of the approvals will be forwarded to your offices when received.
25. We are removing from this building the current roof located spot/flood lights. The landscape plans and details (L-1 and L-2) now show all low-level lighting.
26. We believe the current set of plans show sufficient details to demonstrate our proposed activities.

27. Note added.

We believe the above responses should satisfy your inquiries. If you require any further special info please contact me directly at 914-277-5805.

Very truly yours,

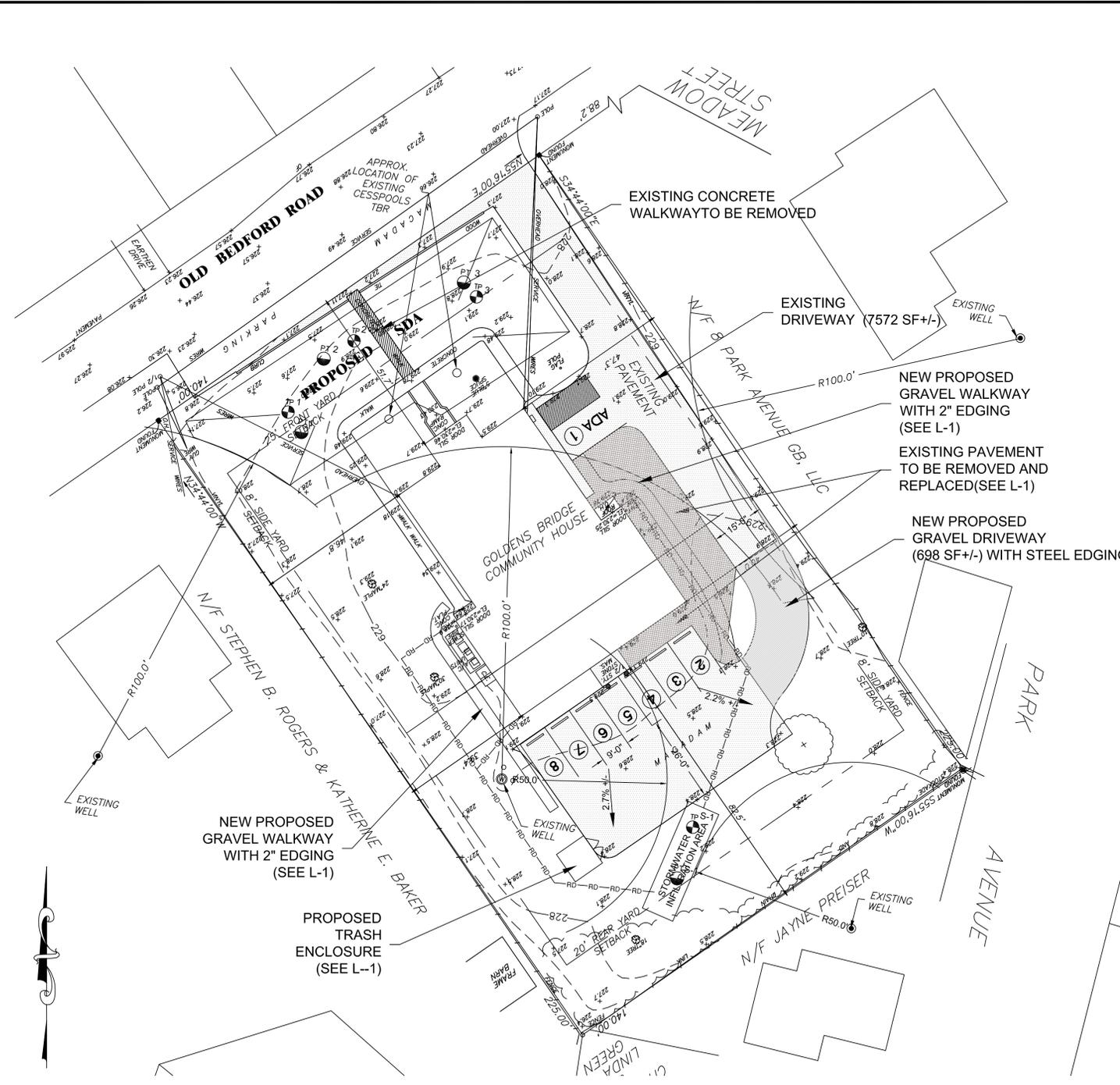
A handwritten signature in blue ink, appearing to read "Edward J. Delaney".

Edward J. Delaney  
Project Manager

EJD/dk

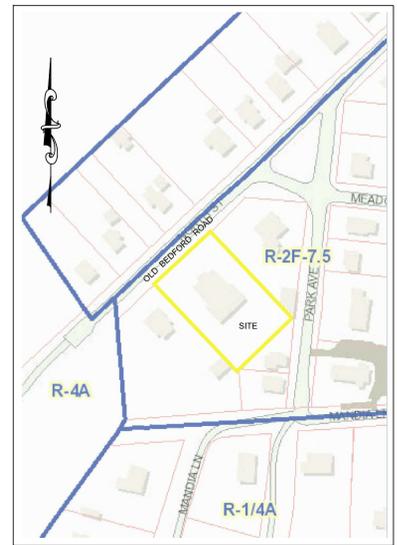
Enclosures

cc: 65 Old Bedford Road, LLC (Mandia & Carey)  
Sam Gardiner, AIA  
Tracy Chalifoux, RLA  
Peter Parsons, Supervisor  
Jan Johannessen (w/ Enclosures new topo survey)  
File



ZONING SCHEDULE R-2F-7.5			
	REQUIRED / PERMITTED	EXISTING	PROPOSED
MIN. LOT AREA	10,000 SF	35,500 SF	35,500 SF
MIN. EFFECTIVE SQUARE	60'	60'	60'
FRONT YARD SETBACK	25'	51.7'	51.7'
SIDE YARD SETBACK: LESSER / BOTH	8'	39.4'	39.4'
REAR YARD SETBACK	20'	82.5'	82.5'
MAX. BLDG. HEIGHT	3 STORIES (35')	< 35'	< 35'
MAX. BUILDING COVERAGE	35 %	36 %	33 %

IMPERVIOUS COVER CALCULATIONS	
EXISTING IMPERVIOUS AREA	12,927 SF
PROPOSED IMPERVIOUS AREA	11,870SF
CHANGE IN IMPERVIOUS AREA	-1,057 SF
AREA OF PROPOSED IMPERVIOUS ON UNDISTURBED SOILS	0 SF



**LOCATION MAP**  
NTS

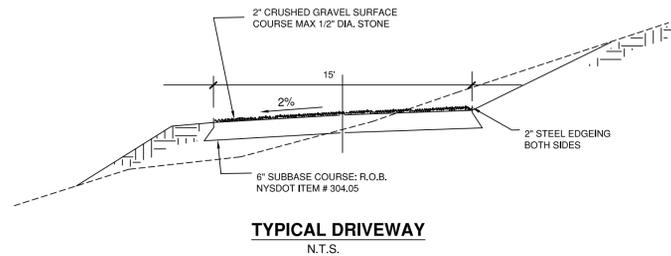
APPROVED FOR FILING  
OWNER OF RECORD:  
  
65 OLD BEDFORD ROAD LLC

PLANNING BOARD ENDORSEMENT OF APPROVED PLANS  
  
PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE: \_\_\_\_\_  
  
PLANNING BOARD SECRETARY \_\_\_\_\_ DATE: \_\_\_\_\_

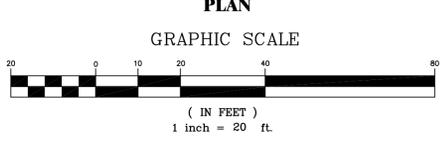
REVIEWED FOR COMPLIANCE WITH THE PLANNING BOARD RESOLUTION, DATED \_\_\_\_\_  
  
DATE: \_\_\_\_\_  
  
JOSEPH M. CERMELE, P.E.  
KELLARD SESSIONS CONSULTING, P.C.  
CONSULTING TOWN ENGINEERS

**NOTES**

- EXISTING CESSPOOLS TO BE PUMPED DRY FILLED WITH INERT MATERIAL.
- THIS PROPERTY REQUIRED A SPECIAL PERMIT UNDER THE TOWN OF LEWISBORO TOWN CODE SECTION 220-43.8 (B)(7). THE SPECIAL PERMIT IS FOR A MULTIFAMILY DWELLING AND IT IS SUBJECT TO PERIODIC INSPECTIONS BY THE BUILDING INSPECTOR AND FIRE INSPECTOR TO ENSURE CONTINUED COMPLIANCE WITH ALL APPLICABLE CODES INCLUDING THE NEW YORK STATE FIRE PREVENTION AND BUILDING CODE. THE REQUIREMENTS OF THIS SECTION AND THE PROVISIONS OF THE ORIGINAL SPECIAL PERMIT APPROVAL. SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ANNUALLY, AND MAY BE CONDUCTED MORE FREQUENTLY IF THE BUILDING INSPECTOR OR FIRE INSPECTOR REASONABLY SUSPECTS THAT MORE FREQUENT INSPECTIONS ARE NECESSARY TO ENSURE THE SAFETY OF THE MULTIFAMILY DWELLING.



- LEGEND :**
- ABSORPTION TRENCH WITH JUNCTION BOX
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - EXISTING DRILLED WELL
  - DEEP TEST HOLE
  - PERCOLATION TEST
  - PROPOSED ROOF DRAIN



**CALL BEFORE YOU DIG 1-800-962-7962**

UNDER THE NY STATE LAW PROTECTING UNDERGROUND FACILITIES, THE FOLLOWING RULES AND REGULATIONS ARE IN EFFECT FOR ALL EXCAVATORS:  
 \* THEY MUST CALL FOR A UTILITY STAKE-OUT (2) TWO FULL WORKING DAYS PRIOR TO AN EXCAVATION.  
 \* THEY MUST CONFIRM PRECISE LOCATIONS OF UNDERGROUND FACILITIES.  
 \* THEY MUST PRESERVE STAKES AND MARKINGS UNTIL NO LONGER NEEDED AT SITE.  
 \* THEY MUST CONTACT NON-UFPO MEMBER UTILITY OWNERS FOR STAKE-OUTS.

**SEC NO: 4A      BLOCK NO: 11112      LOT NO: 2**

REVISIONS	DATE	DESCRIPTION	BY/CK	DATE	DESCRIPTION	BY/CK
1/28/2020		TOWN COMMENTS	DK/ED			

**TIMOTHY S. ALLEN, P.E.**

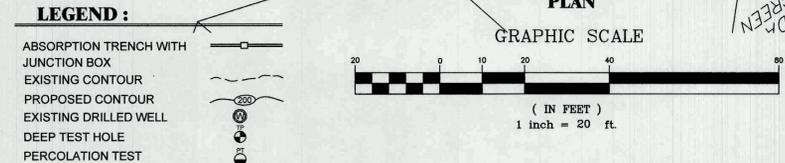
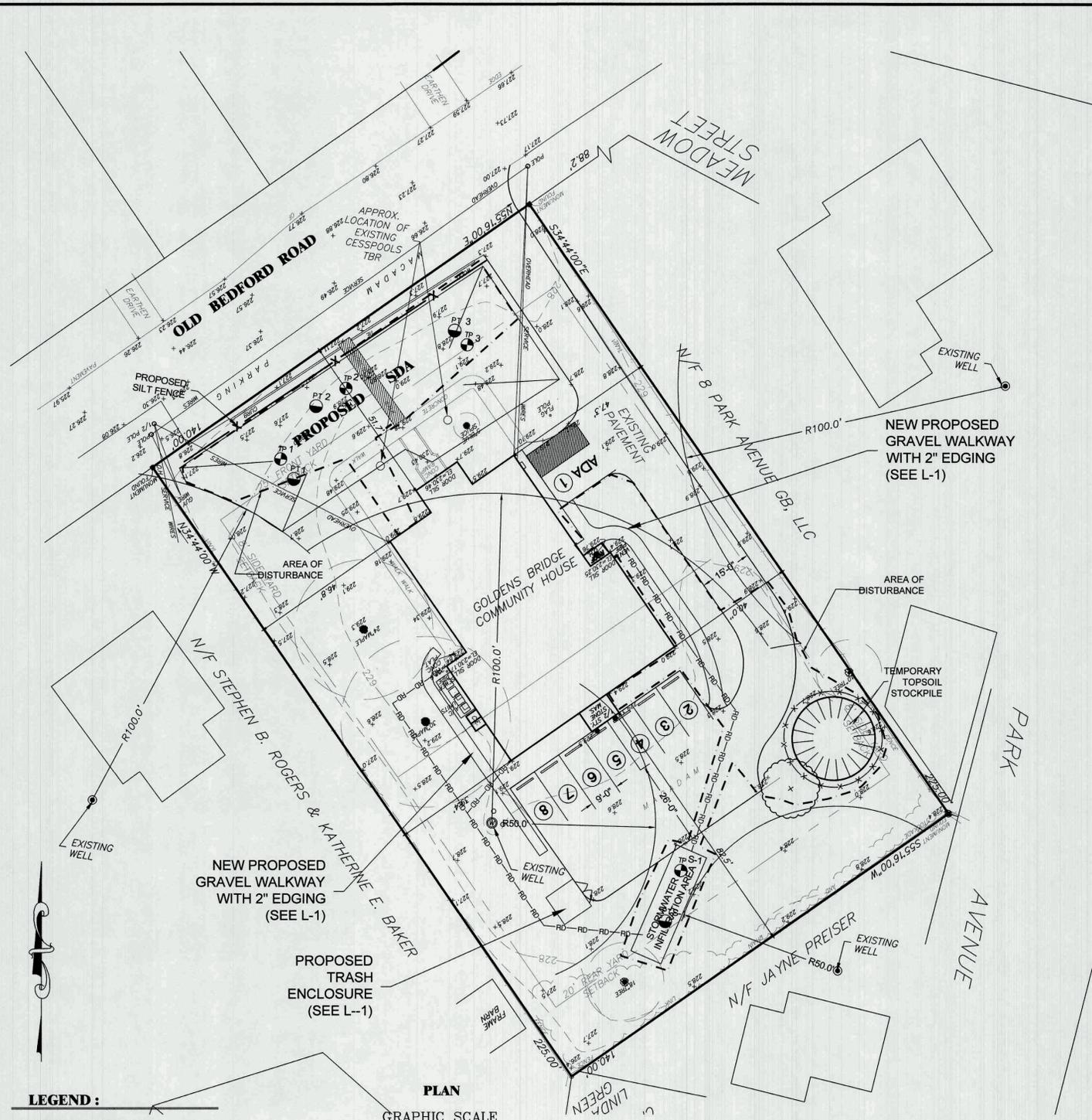
**SITE PLAN**

**65 OLD BEDFORD ROAD LLC**  
65 OLD BEDFORD ROAD  
TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY

**BIBBO ASSOCIATES, LLP**  
293 ROUTE 100 SUITE 203  
SOMERS, NEW YORK 10589  
TEL. 914 277 5805

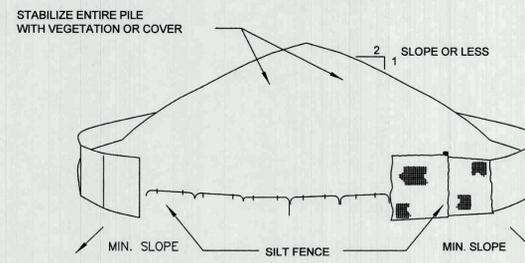
DATE: 3-16-2020  
SCALE: 1" = 20'  
FILE: DSGN / CHK: ED/TSA  
DRN. BY: DK  
SHT NO. 2 OF 5  
DWG NO. **SP-1**

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2009 (2) OF THE NEW YORK STATE EDUCATION LAW.  
 COPYRIGHT © 2020 BIBBO ASSOCIATES, LLP ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION IS A VIOLATION OF APPLICABLE LAW.



UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2004 (2) OF THE NEW YORK STATE EDUCATION LAW.

COPYRIGHT © 2020 BIBBO ASSOCIATES, LLP ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR REPRODUCTION OF ANY PART OF THIS DRAWING IS PROHIBITED.



**INSTALLATION NOTES:**

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE
2. MAXIMUM SLOPE OF STOCKPILING SHALL BE 1:2
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SILTATION FENCE DETAIL.

**SOIL STOCKPILE DETAIL**

N. T. S.

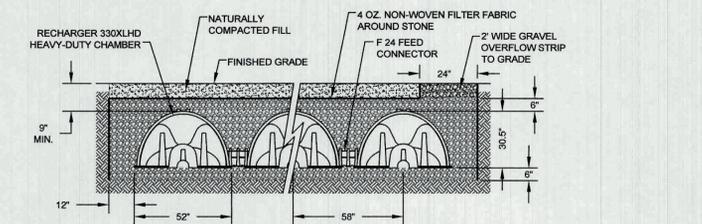
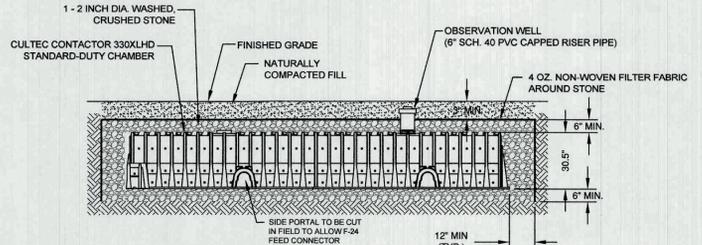
**EROSION CONTROL PROGRAM**

**PURPOSE**

ALL CONSTRUCTION ACTIVITIES INVOLVING THE REMOVAL OR DEPOSITION OF SOILS ARE TO BE PROVIDED WITH APPROPRIATE PROTECTIVE MEASURES TO INHIBIT EROSION AND TO CONTAIN SEDIMENT DEPOSITION WITHIN THE AREA UNDER DEVELOPMENT. THOSE METHODS DEEMED HIGHLY EFFECTIVE ARE DESCRIBED BELOW AND SHOWN ON THIS DRAWING.

**REQUIRED PROCEDURES**

1. ALL TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL REMAIN IN PLACE MAINTAINED REGULARLY IN PROPER FUNCTIONING CONDITION, UNTIL ALL AREAS EXPOSED DURING SITE CONSTRUCTION HAVE BEEN SUITABLY STABILIZED WITH PAVEMENT, PERMANENT STRUCTURES AND/OR FINAL VEGETATION COVER. CONSTRUCTION GUIDELINES
  - A. WHEREVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED (BY FLAGGING OR OTHER EFFECTIVE MEANS)
  - B. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME DURING CONSTRUCTION.
  - C. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE PERIOD OF EXPOSURE SHALL BE KEPT TO A MINIMUM, INSTALLING PERMANENT AND FINAL VEGETATION, PAVING, STRUCTURES, ETC., AT THE EARLIEST POSSIBLE OPPORTUNITY.
  - D. NOTES ON SITE STABILIZATION
    1. ALL TOPSOIL TO BE STRIPPED FROM THE AREA BEING DEVELOPED, SHALL BE STOCKPILED NOT LESS THAN 50 FEET FROM ANY BODY OF SURFACE WATER AND SHALL BE IMMEDIATELY SEEDED TO MANHATTAN RYE GRASS.
      - A. TOPSOILED WITH NOT LESS THAN FOUR (4) INCHES OF SUITABLE TOPSOIL MATERIAL.
      - B. SEEDED WITH FOLLOWING GRASS MIXTURE (BY WEIGHT) OR APPROVED EQUAL:
        - 45% KENTUCKY BLUE GRASS
        - 45% CREEPING RED FESCUE
        - 10% PERENNIAL RYE GRASS
      - C. MULCHED WITH NOT LESS THAN ONE (1) INCH AND NOT MORE THAN THREE (3) INCHES OF STRAW AT TWO (2) TONS/ACRE AND ANCHORED IN A SUITABLE MANNER. WHERE SLOPES EXCEED 1:3, SUITABLY ANCHORED NETTING SUCH AS TENEX N030 OR APPROVED EQUAL SHALL BE UTILIZED.



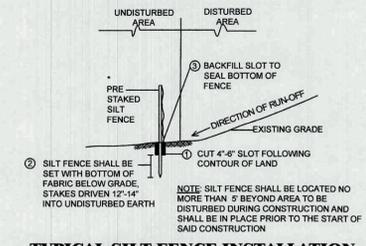
**GENERAL NOTES**

RECHARGER 330XLHD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT. INSTALLED LENGTH = 7 FEET. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XLHD HEAVY DUTY FOR TRAFFIC AND/OR H2O APPLICATIONS.

ALL RECHARGER 330XLHD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XLHD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

**CULTEC RECHARGER 330XLHD**

N.T.S.



**TYPICAL SILT FENCE INSTALLATION**

N. T. S.  
\* USE "KONTROL FENCE" AS MANUFACTURED BY NICOLON (OR APPROVED EQUAL)

**CONSTRUCTION SEQUENCE:**

1. STAKE LIMITS OF DISTURBANCE IN FIELD PRIOR TO CONSTRUCTION.
2. MAINTAIN ALL EROSION CONTROLS IN PROPER WORKING ORDER THROUGH THE DURATION OF CONSTRUCTION. EROSION CONTROLS TO BE REMOVED AT THE DIRECTION OF THE TOWN ENGINEER OR BUILDING INSPECTOR.

APPROVED FOR FILING  
OWNER OF RECORD:  
  
65 OLD BEDFORD ROAD LLC

PLANNING BOARD ENDORSEMENT OF APPROVED PLANS

PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE: \_\_\_\_\_

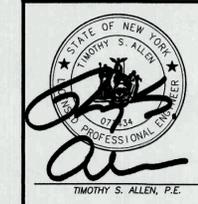
PLANNING BOARD SECRETARY \_\_\_\_\_ DATE: \_\_\_\_\_

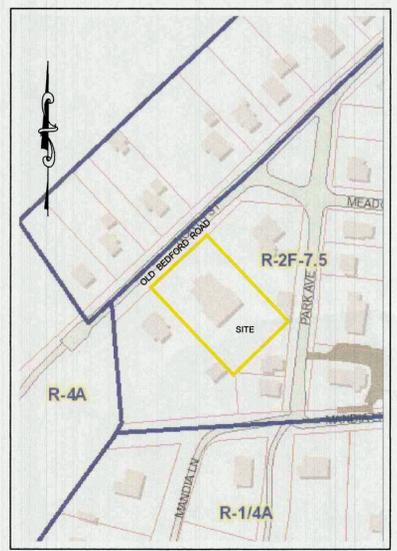
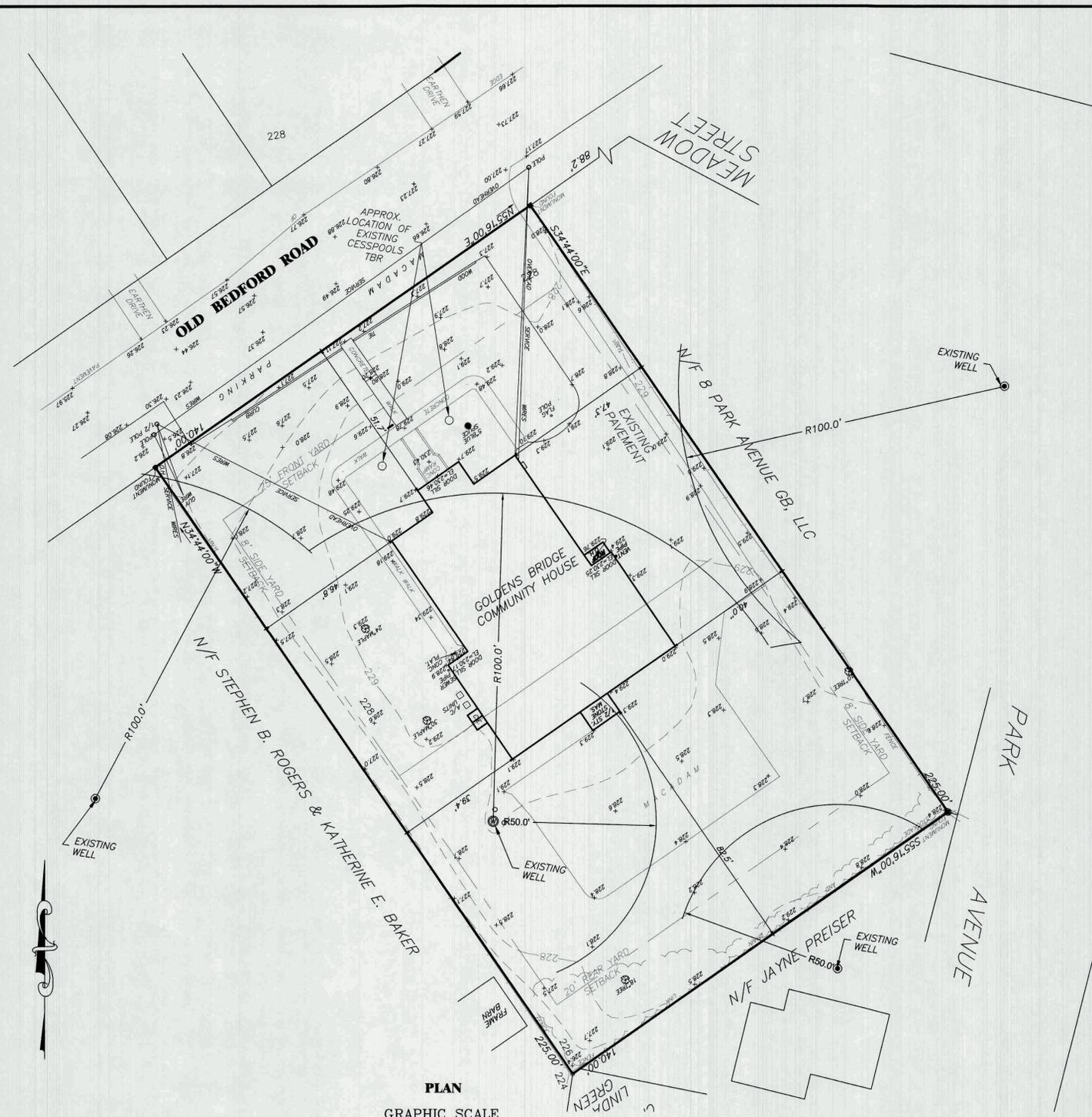
REVIEWED FOR COMPLIANCE WITH THE PLANNING BOARD RESOLUTION, DATED \_\_\_\_\_

DATE: \_\_\_\_\_

JOSEPH M. CERMELE, P.E.  
KELLARD SESSIONS CONSULTING, P.C.  
CONSULTING TOWN ENGINEERS

SEC NO: 4A		BLOCK NO: 11112		LOT NO: 2	
4/28/2020	TOWN COMMENTS	DK/ED			
DATE:	DESCRIPTION	BY/CK	DATE:	DESCRIPTION	BY/CK
<b>EROSION CONTROL PLAN &amp; DETAILS</b>					
<b>65 OLD BEDFORD ROAD LLC</b>					
65 OLD BEDFORD ROAD TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY					
<b>BIBBO ASSOCIATES, LLP</b>					
293 ROUTE 100 SUITE 203 SOMERS, NEW YORK 10589 TEL. 914 277 5805					
DATE:	3-16-2020	SCALE:	1" = 20'	DWG NO.:	EC-1
FILE:		DSGN/CHK:	ED/TSA	DRN. BY:	DK
SHT NO.:	3 OF 5				



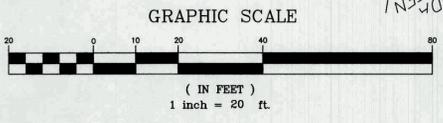


**LOCATION MAP**  
NTS

**SITE DATA**

1. TOTAL AREA OF PARCEL: 0.723 Ac ±
2. OWNER: TOWN OF LEWISBORO  
TOWN HALL, 11 MAIN STREET  
P.O. BOX 500  
SOUTH SALEM, NY
3. APPLICANT: 65 OLD BEDFORD ROAD LLC  
32 MANDIA LANE  
GOLDENS BRIDGE, NY 10526
4. ZONING DISTRICT: R- 2F-7.5 RESIDENTIAL
5. TAX I.D. #: SHEET 4A, BLOCK 11112, LOT 2
6. SURVEY BY:  
H. STANLEY JOHNSON, CO.  
42 SMITH AVE.  
MT. KISCO, N.Y.  
LAST UPDATE

**LEGEND :**  
 EXISTING CONTOUR  
 PROPOSED CONTOUR  
 EXISTING DRILLED WELL



APPROVED FOR FILING  
 OWNER OF RECORD:  
 \_\_\_\_\_  
 65 OLD BEDFORD ROAD LLC

PLANNING BOARD ENDORSEMENT OF APPROVED PLANS  
 \_\_\_\_\_ DATE: \_\_\_\_\_  
 PLANNING BOARD CHAIRMAN  
 \_\_\_\_\_ DATE: \_\_\_\_\_  
 PLANNING BOARD SECRETARY

REVIEWED FOR COMPLIANCE WITH THE PLANNING BOARD  
 RESOLUTION, DATED \_\_\_\_\_  
 \_\_\_\_\_ DATE: \_\_\_\_\_  
 JOSEPH M. CERMELE, P.E.  
 KELLARD SESSIONS CONSULTING, P.C.  
 CONSULTING TOWN ENGINEERS

<b>SEC NO: 4A</b>		<b>BLOCK NO: 11112</b>		<b>LOT NO: 2</b>	
4/28/2020	TOWN COMMENTS	DK/ED			
DATE:	DESCRIPTION	BY/CK	DATE:	DESCRIPTION	BY/CK
		<b>EXISTING CONDITIONS PLAN</b> <b>65 OLD BEDFORD ROAD LLC</b> 65 OLD BEDFORD ROAD TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY		DATE: 3-16-2020	
		<b>BIBBO ASSOCIATES, LLP</b> 293 ROUTE 100 SUITE 203 SOMERS, NEW YORK 10589 TEL. 914 277 5805		SCALE: 1" = 20'	
				FILE:	
				DSGN /	ED/TSA
				CHK:	
				DRN. BY:	DK
				SHT NO:	1 OF 5
				DWG NO.:	<b>EX-1</b>

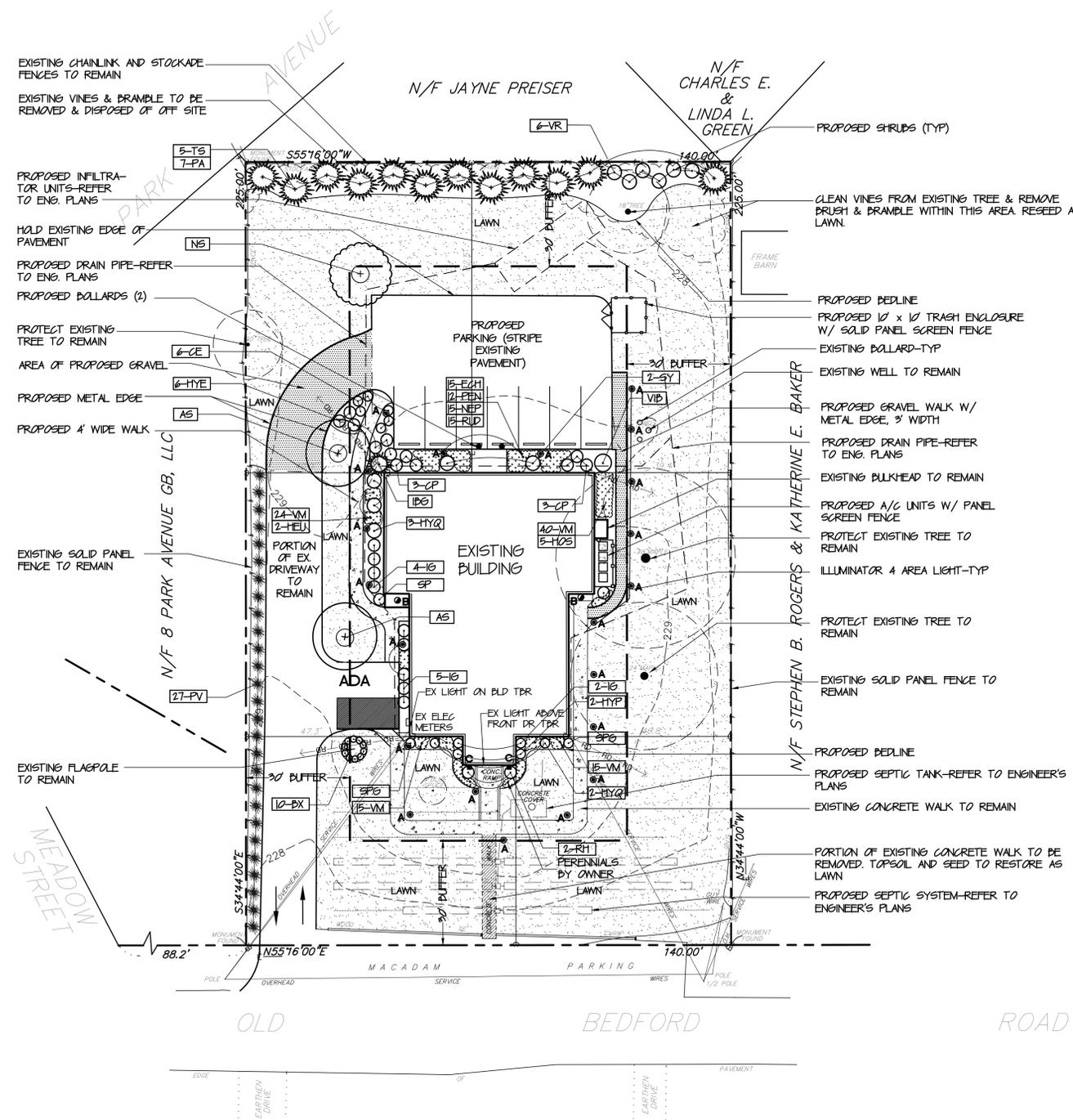
UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2209 (2) OF THE NEW YORK STATE EDUCATION LAW.  
 COPYRIGHT © 2020 BIBBO ASSOCIATES, LLP ALL RIGHTS RESERVED. UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF ANY PART OF THIS DRAWING IS PROHIBITED.  
 P:\PROJECTS\2020\65 OLD BEDFORD ROAD - 03-16-2020\65 OLD BEDFORD ROAD - 03-16-2020.dwg, 4/28/2020 11:08:53 AM, 11.2K

**NOTES:**

- CONTACT DIG-SAFE NEW YORK TO HAVE UNDERGROUND UTILITY LINES MARKED PRIOR TO START OF ANY EXCAVATION WORK.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A 4 INCH MINIMUM DEPTH OF TOPSOIL FOR ALL LAWN AREAS. WATER AS NECESSARY TO ESTABLISH TURF.
- ALL PLANTING BEDS SHALL HAVE A 12 INCH MINIMUM DEPTH OF SUITABLE TOPSOIL.
- WHERE POOR SOIL IS ENCOUNTERED, CONTRACTOR SHALL SUPPLY AND INSTALL A MINIMUM OF 12" OF TOPSOIL OR AMEND EXISTING SOIL WITH A MINIMUM OF 30% ORGANIC MATTER FOR A DEPTH OF 12 INCHES.
- EXACT LOCATION OF PLANTINGS, SPECIES TYPES AND QUANTITIES MAY VARY FROM THIS PLAN BASED ON SITE PLAN REVISIONS AND/OR ACTUAL FIELD CONDITIONS.
- PLANT SPECIES SUBSTITUTIONS MAY BE MADE WITH THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PLANTING. SUBSTITUTED PLANTS SHALL BE AT AN EQUAL OR GREATER SIZE AS NOTED USING A SIMILAR TYPE PLANT.
- PLANT LAYOUT SHALL BE SUPERVISED BY PROJECT LANDSCAPE ARCHITECT.
- ALL PLANTING METHODS SHALL BE IN ACCORDANCE WITH THE 'AMERICAN STANDARDS FOR NURSERY STOCK' LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITIES OF PLANTS IN THE PLANT LIST AND THE ACTUAL QUANTITIES SHOWN ON THE PLAN THE PLAN SHALL GOVERN.
- WHERE INADEQUATE DRAINAGE IS ENCOUNTERED IN PLANTING HOLES, CONTRACTOR SHALL RELOCATE PLANT OR ADD DRAINAGE GRAVEL AND/OR RAISE ELEVATION OF PLANT.
- PROVIDE 2" OF MULCH IN PLANT BEDS.
- BASE INFORMATION WAS TAKEN FROM 'TOPOGRAPHIC SURVEY' PREPARED BY H. STANLEY JOHNSON AND COMPANY LAND SURVEYORS P.C. DATED THROUGH FEBRUARY 5, 2020 AND SERVES AS AN UNDERLAY TO THIS DRAWING. ADDITIONAL INFORMATION WAS ADDED FROM FIELD MEASUREMENTS TAKEN TRACY CHALIFOUX LLC. ACCURACY IS NOT GUARANTEED.

**PLANTING LEGEND**

- PROPERTY LINE
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB
- PROPOSED ORNAMENTAL GRASS
- PROPOSED PERENNIALS OR GROUNDCOVER
- TOPSOIL AND SEED ALL DISTURBED LAWN AREAS
- PROPOSED GRAVEL
- EXISTING TREE TO REMAIN (PROTECT W/ ORANGE CONSTRUCTION FENCE INSTALLED AT DRIP LINE)



**PRELIMINARY**

**PLANT LIST-65 Old Bedford Rd, Goldens Bridge, NY**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
<b>TREES</b>					
2	AS	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2"-2 1/2" cal.	Specimen, Matching, B&B
1	NS	Nyssa sylvatica 'Wildfire'	Wildfire Sourwood	2"-2 1/2" cal.	Specimen, B&B
7	PA	Picea abies	Norway Spruce	8'-10' ht.	Heavy, Matching, B&B
5	TS	Thuja standishii 'Green Giant'	Green Giant Arborvitae	8'-10' ht.	Heavy, Matching, B&B
<b>SHRUBS</b>					
10	BX	Buxus 'Vardar Valley'	Vardar Valley Boxwood	12" ht.	Full, Heavy, Container
6	CE	Ceanothus americanus	New Jersey Tea	24" ht.	Full, Heavy, Container
6	CP	Chamaecyparis pisifera 'Filifera'	Goldthread Cypress	2'-2 1/2' ht.	Full, Heavy, Container
6	HYE	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	2'-2 1/2' ht.	Full, Heavy, Container
2	HYP	Hydrangea quercifolia 'Pee Wee'	Pee Wee Oakleaf Hydrangea	2'-2 1/2' ht.	Full, Heavy, Container
5	HYQ	Hydrangea quercifolia 'Ruby Slippers'	Pee Wee Oakleaf Hydrangea	2'-2 1/2' ht.	Full, Heavy, Container
11	IG	Ilex glabra 'Shamrock'	Shamrock Inkberry	3'-3 1/2' ht.	Full, Heavy, Container
1	IBG	Ilex meserveae 'Blue Girl'	Blue Girl Holly	4' ht.	Narrow, Full, Heavy, Container
2	RH	Rhododendron roseum 'Elegans'	Roseum Elegans Rhododendron	3'-3 1/2' ht.	Full, Heavy, Container
2	SPG	Spiraea 'Gold Mound'	Gold Mound Spirea	24" ht.	Full, Heavy, Container
1	SP	Spiraea japonica 'Little Princess'	Little Princess Spirea	24" ht.	Full, Heavy, Container
2	SY	Syringa vulgaris	Common Lilac	3'-3 1/2' ht.	Full, Heavy, Container
1	VIB	Viburnum carlesii 'Spice Baby'	Spice Baby Viburnum	3'-3 1/2' ht.	Full, Heavy, Container
6	VR	Viburnum rhytidophyllum	Leatherleaf Viburnum	3'-3 1/2' ht.	Full, Heavy, Container
<b>PERENNIALS, GROUNDCOVERS, VINES AND GRASSES</b>					
15	ECH	Echinacea 'PowWow' Wild Berry	Purple Coneflower	1 Gallon	Container
2	HEU	Heuchera 'Plum Pudding'	Plum Pudding Coral Bells	1 Gallon	Container
5	HOS	Hosta spp.	Hosta Species	1 Gallon	Container
15	NEP	Nepeta 'Walker's Low'	Walker's Low Catmint	1 Gallon	Container
27	PV	Panicum virgatum 'Heavy Metal'	Heavy Metal Switchgrass	1 Gallon	Container
12	PEN	Pennisetum 'Hamelin'	Dwarf Fountain Grass	1 Gallon	Container
15	RUD	Rudbeckia 'American Goldrush'	American Goldrush Black-eye Susan	1 Gallon	Container
94	VM	Vinca minor	Periwinkle	4" Pots	Container

NOTE: REFER TO ENGINEER'S PLANS FOR SEPTIC AND DRAINAGE DESIGN

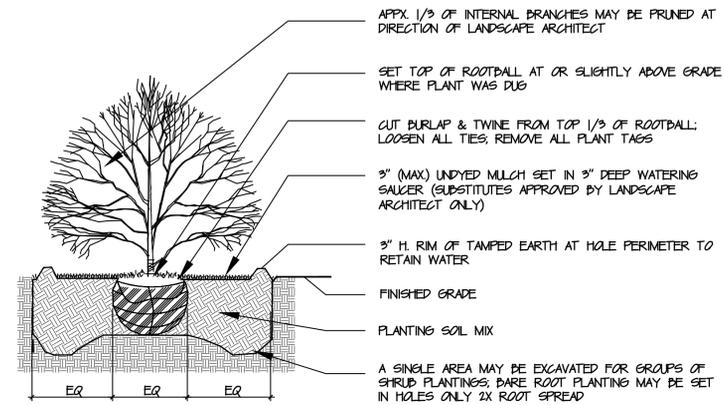
Updated planting plan; added plant list Revisions	Date 04.28.20	<p><b>Tracy Chalifoux LLC</b> Landscape Architect 7 King Street, Danbury, CT 06811 Office: 845-364-1369 E-mail: tchalfoux@gmail.com</p>		Project Title <b>LANDSCAPE and LIGHTING PLAN</b> PREPARED FOR: 65 OLD BEDFORD ROAD LLC	Graphic Scale and North Arrow 0 20' 40' Date March 16, 2020	Drawing Title <b>LANDSCAPE &amp; LIGHTING PLAN</b>	Drawing No. <b>L-1</b>
				Location 65 OLD BEDFORD ROAD TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY	Scale 1"=20'-0"	Checked TLC	Drawn TLC



**A** AREA LIGHT—SEE SPECIFICATION

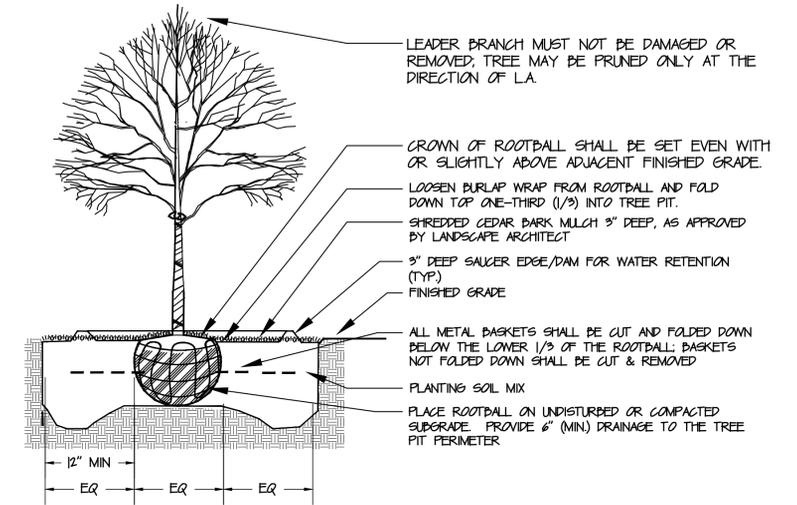


TRASH ENCLOSURE SCREEN FENCE IMAGE

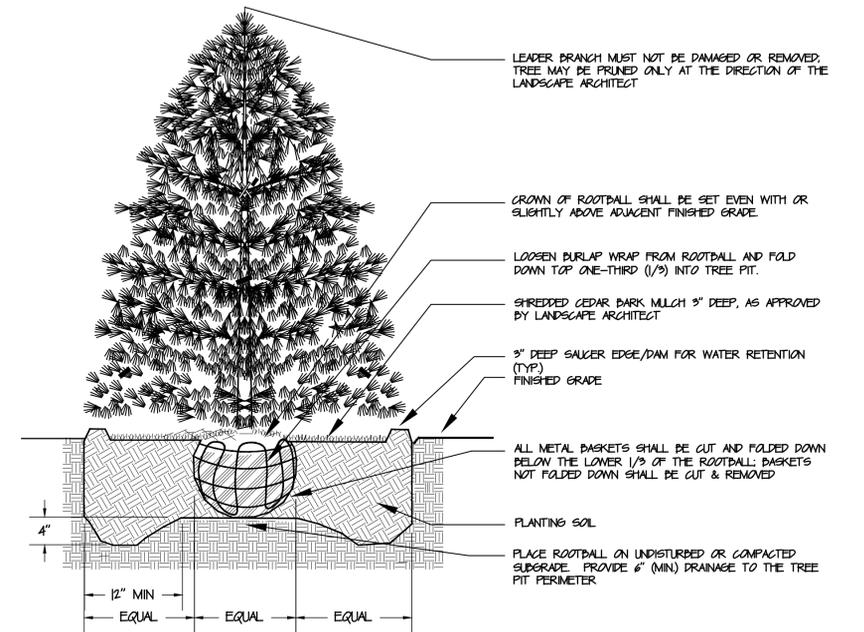


NOTE: FOR ALL CONTAINER GROWN PLANTS, REMOVE FROM CONTAINER JUST PRIOR TO PLANTING AND MAKE VERTICAL INCISIONS ALONG THE SURFACE OF THE ROOTBALL WITH A SHARP INSTRUMENT. CUT THROUGH CIRCULAR ROOTS AND GENTLY COMB OUT ROOTS.

SHRUB PLANTING DETAIL  
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL  
NOT TO SCALE

WITHIN PORCH CEILING AT BOTH SIDE ENTRIES—STYLE TO BE DETERMINED

**B**

**B** DOWN LIGHT—SEE SPECIFICATION



**C** DECORATIVE SCONCE LIGHT—SEE SPECIFICATION

LIGHTING SCHEDULE

LIGHT TYPE	SYMBOL	QUANTITY
PATH LIGHTS:	● A	21
ILLUMINATOR & AREA LIGHT, COPPER KNIGHTS SERIES, FINISH: NATURAL COPPER (NC) BY UNIQUE LIGHTING SYSTEMS OR EQUAL		
DOWN LIGHTS:	● B	2
TO BE DETERMINED		
DECORATIVE SCONCE LIGHTS	■ C	2
TO BE DETERMINED		

LIGHTING NOTES:

- ALL LANDSCAPE LIGHTING TO BE LOW VOLTAGE, LED
- PROVIDE MOTION SENSORS FOR ALL SCONCE LIGHTS
- SCONCE LIGHTS SHALL BE FULL CUT OFF
- ALL LIGHTING IS TO BE ON A TIMER FOR AUTOMATIC SHUT OFF
- ALL LIGHTS TO BE ADJUSTED TO PREVENT LIGHT POLLUTION OF ADJACENT PROPERTIES AND STREET TO THE MAXIMUM EXTENT POSSIBLE

Revised to updated lighting count Revisions	04.24.20 Date	 <b>Tracy Chalifoux LLC</b> Landscape Architect 7 King Street, Danbury, CT 06811 Office: 865-364-1360 E-mail: tchalifoux@gmail.com	Seal 	Project Title <b>LANDSCAPE and LIGHTING PLAN</b> PREPARED FOR: 65 OLD BEDFORD ROAD LLC	Graphic Scale and North Arrow Date March 16, 2020	Drawing Title <b>LIGHTING SCHEDULE,          SITE IMAGES &amp; DETAILS</b>	Drawing No. <b>L-2</b>
		Location 65 OLD BEDFORD ROAD TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY		Scale NONE	Checked TLC	Drawn TLC	SHEET 2 OF 2

PARK AVENUE

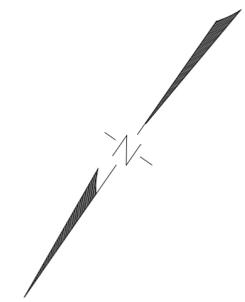
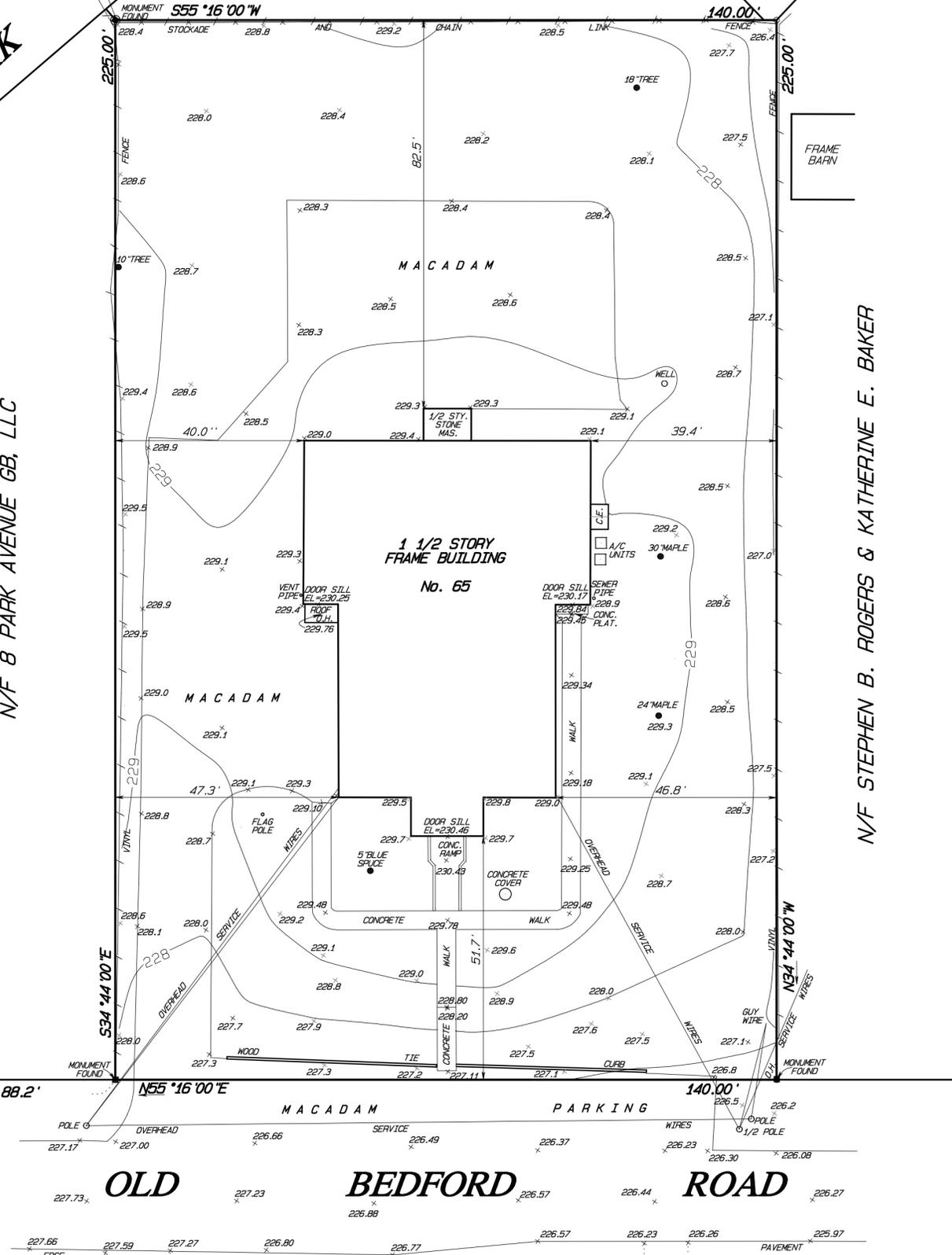
N/F JAYNE PREISER

N/F CHARLES E. & LINDA L. GREEN

N/F 8 PARK AVENUE GB, LLC

N/F STEPHEN B. ROGERS & KATHERINE E. BAKER

MEADOW STREET



Area = 31,500 S.F. or 0.723 Acres.

Tax Identification: Sheet 4A Block 11112 Lot 2.

In accordance with the existing Code of Practice for Land Surveys as adopted by The New York State Association of Professional Land Surveyors, Inc.

Unauthorized alteration or addition to a survey map bearing a Licensed Land Surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

All certifications are valid for this map and copies thereof only if said map or copies bear the impressed seal of the surveyor whose signature appears hereon.

The location of underground improvements or encroachments hereon, if any exist, are not certified or shown.

Notes:

- 1) Elevations shown hereon are generally in accordance with Westchester County Topographic Datum.
- 2) Additional underground easements, utilities or structures, etc. other than those shown hereon may be encountered.
- 3) The subsurface information shown hereon, if any, is not guaranteed as to accuracy or completeness and should be verified by the contractor before any excavation.

SURVEYED: JANUARY 30, 2020  
 MAP PREPARED: FEBRUARY 5, 2020  
 SURVEYED: NOVEMBER 26, 2019  
 MAP PREPARED: DECEMBER 6, 2019

BY: \_\_\_\_\_  
 NEW YORK STATE LICENSED LAND SURVEYOR NO. 50037  
 ROBERT S. JOHNSON, P.L.S.

**TOPOGRAPHIC SURVEY**  
 PREPARED FOR THE  
**BRUCE MANDIA**

Being the School Lot as shown on a certain map entitled "Map Of Building Lots At Goldens Bridge Westchester Co. N.Y., Formerly Belonging To George E. Todd, Esq., etc." Filed October 12, 1899 as Map No. 1353

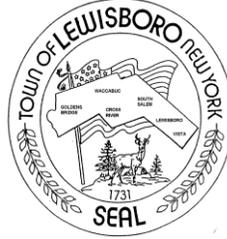
SITUATE IN  
 TOWN OF LEWISBORO  
 WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 20'

H. STANLEY JOHNSON AND COMPANY  
 LAND SURVEYORS, P.C.  
 42 SMITH AVENUE P.O. BOX 93  
 MT. KISCO, N.Y. 10549  
 TEL. 914-241-3872  
 FAX. 914-241-0438

PREPARED FOR BUILDING DEPARTMENT PURPOSES ONLY

**TOWN OF LEWISBORO**  
**Westchester County, New York**



**Building Department**  
**79 Bouton Road**  
**South Salem, New York 10590**

**Tel: (914) 763-3060**  
**Fax: (914) 875-9148**  
**Email: [jangiello@lewisborogov.com](mailto:jangiello@lewisborogov.com)**

May 8, 2020

Ms. Janet Andersen, Chair  
Town of Lewisboro Planning Board

Re: Cal #02-20PB  
Mandia, 65 Old Bedford Rd., sheet 004A, block 11112, lot 002

Dear Ms. Andersen and Members of the Board,

I have reviewed the plans from Samuel E. Gardener, AIA dated 3/16/2020 and the plans from Bibbo Associates, LLP latest revision dated 4/28/2020. I have the following comments:

1. The driveway must be at least 16' wide per 220-55D of the Zoning Code.
2. An off-street loading space is required per 220-57 of the Zoning Code. The Planning Board may make adjustments to this requirement per 220-57C(2).

Please do not hesitate to contact me with any questions.

Sincerely,

Joe Angiello  
Building Inspector



**BIBBO ASSOCIATES, LLP**  
Consulting Engineers - Planners

---

**Stormwater Pollution Prevention Plan**

***Goldens Bridge Community House  
65 Old Bedford Road  
Goldens Bridge, NY***

Prepared By:



Date: April 28, 2020

Timothy S. Allen, P.E.  
N.Y.S. License #: 073434



**Project Information:**

Project Title: Goldens Bridge Community House  
Project Address: 65 Old Bedford Road, Goldens Bridge, NY 10526  
Tax Map Number: Sheet 4A, Block 11112, Lot 2  
Project Area: 0.7 +/- Acres

**Applicant/Owner Information:**

Owner/ Applicant Name: Bruce Mandia  
Owner/Applicant Address: 32 Mandia Lane, Goldens Bridge, NY 10526  
Owner/Applicant Phone: (914) 643-5793

**Certifying Engineer Information:**

Engineer: Timothy S. Allen, P.E.  
Engineering Firm: Bibbo Associates, LLP  
Engineering Firm Address: 293 Rt. 100, Suite 203  
Somers, N.Y. 10589  
Engineering Firm Phone: 914-277-5805  
Engineering Firm Fax: 914-277-8210  
Engineering Firm Email: tallen@bibboassociates.com

**Short-Term Responsible Party for SWPPP Implementation:**

Short-term responsible parties for SWPPP Implementation will be the Owner.

**Long-Term Responsible Party for SWPPP Implementation:**

Long-term responsible parties for SWPPP Implementation will be the Owner.



**Table of Contents:**

<b>1.0 Project Description</b>	<b>Page 2</b>
1.1 Existing Conditions	Page 2
1.2 Proposed Conditions	Page 3
1.3 Town requirements	Page 3
<b>2.0 Erosion &amp; Sediment Control</b>	<b>Page 4</b>
2.1 Temporary Erosion & Sediment Control Practices	Page 4
2.2 Permanent Erosion & Sediment Control Practices	Page 5
<b>3.0 Maintenance &amp; Inspection Requirements</b>	<b>Page 5</b>
3.1 Short Term Maintenance & Inspection Requirements	Page 7
3.2 Long Term Maintenance & Inspection Requirements	Page 7
<b>4.0 Conclusion</b>	<b>Page 7</b>
Appendix A: Contractor Certification Document	
Appendix B: HydroCAD Curve Number Analysis & 25-yr Storm Runoff analysis	
Appendix C: 1-yr Storm Roof runoff volume	
Appendix D: Hydrologic Soil Map	
Appendix E: NYSDEC Notice of Intent & MS4 SWPPP Acceptance Form	



### **1.0 Project Description:**

The owner of the subject property located at 65 Old Bedford Road in the Town of Lewisboro is proposing minor site improvements including the repurposing of an existing former school house / municipal recreation office building into a 4-unit apartment building. Runoff from the existing roof area of the existing building will be conveyed via a network PVC pipe to a proposed subsurface infiltration system.

The subject property is located within the New York City of East of Hudson Watershed and will result in approximately 0.2 acres of total land disturbance. Therefore, the project will require coverage under the NYSDEC SPDES General permit for Stormwater Discharges from Construction Activity (GP-0-20-001). As total land disturbance will not exceed one-acre the project requires the preparation of a SWPPP that includes only measures for erosion and sediment control to obtain permit coverage. It should be noted that as the project plans to disturb in excess of 5,000 sf a Stormwater Management Permit from The Town of Lewisboro is required. Assuming a timely permitting process construction is anticipated to begin in the late summer of 2020 and be completed by the spring of 2021.

### **1.1 Existing Site Conditions:**

The subject property is located on the south side of Old Bedford Road approximately 350' to the west of the intersection with Park Ave. The site consists of a total of 0.7 acres  $\pm$  and is currently developed, containing an existing former municipal building. Access to the property is provided through an existing asphalt driveway from Old Bedford Road, and the dwelling is served by an existing subsurface sewage disposal system and well. Land cover onsite consists of mostly lawn as well as the existing impervious surface associated with the access and parking area for the building. Slopes onsite are fairly flat. Surface runoff from the property generally flows from the central portion of the site to the north, south and west property boundaries towards surrounding lawn areas.

The soils onsite consist entirely of Charlton Fine Sandy Loam (ChB), The NRCS web soil survey specifies the onsite soils belong to the hydrologic soil group "B" which indicates they are well drained.



### **1.2 Proposed Site Conditions:**

As noted the previously the owner/applicant is proposing site improvements on the subject property which will result in approximately 0.20 acres of land disturbance. The site improvements include the following:

- Removal of approximately 1,057 sf of existing asphalt driveway / parking area.
- Construction of a new subsurface sewage disposal system.
- Construction of an subsurface infiltration system
- Construction of new gravel walkways.
- Installation of landscape plantings.

The proposed site improvements are not anticipated to have any adverse impacts on neighboring properties.

### **1.3 Town Requirements**

As the subject project proposes to disturb in excess of 5,000 sf and in accordance with Town of Lewisboro code a stormwater management permit is required. The Town stormwater permit specifies that the peak rate of runoff generated by the 25-year storm must be equal to or less than predevelopment conditions.

A land cover analysis was completed for the subject property in the pre and post development conditions (refer to appendix B). As a result of the removal of existing impervious surfaces and subsequent lower curve number associated with the new gravel walkways and additional pervious cover the composite curve number for the area analyzed is lower than the predevelopment conditions. As such peak flow attenuation measures for the 25-year storm as expected have been reduced.

Please note in addition to satisfying the requirements described above the applicant is proposing to construct a subsurface infiltration system for the purposes of providing water quality treatment for runoff generated by the existing building.



## **2.0 Erosion & Sediment Control:**

The plans provide for specific erosion and sediment controls to be employed during construction. It is the intent to provide effective erosion control by minimizing land disturbance at one given time, containing sediment from disturbed areas, treating runoff where possible, and stabilizing disturbed areas as soon as possible. The directives specified on the plans and in this report serve as a minimum for erosion and sediment control. For the purposes of this project the proposed control measures are considered to be the minimum requirements. Additional measures or mitigation may be directed at any time by the Town of Lewisboro or the Project Engineer to address the specific needs at the time.

Areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven days.

All proposed erosion and sediment control practices illustrated on the Erosion Control Plan have been designed in accordance with the New York State Standards & Specifications for Erosion & Sediment Control November 2016.

### **2.1 Temporary Erosion & Sediment Control Practices:**

Listed below are the Temporary Erosion & Sediment Control Practices specified on the Erosion Control Plan. All practices shall be installed and maintained in conformance with the New York Standards & Specifications for Erosion & Sediment Control:

- Silt Fence
- Topsoil Stockpile

Silt fence for the site will consist of a geotextile fabric installed at the toe of all disturbed slopes, and parallel to the contours. The silt fence is intended to reduce runoff velocity, and intercept sediment-laden runoff. Construction details specifying the proposed installation and type of permissible silt fence can be found on the plan.

Soil stockpiles are to be stabilized with vegetation and surrounded with silt fencing. This will ensure the topsoil that is stripped from the site during construction will be protected for use during final grading and that no sediment from the stockpiles will be deposited downstream.



## **2.2 Permanent Erosion & Sediment Control Practices:**

The intent of the permanent erosion and sediment control practices is to permanently stabilize the ground surface via vegetative and structural practices, while controlling and reducing runoff velocities. The following permanent erosion & sediment, control practices are proposed for the site:

- Land Grading
- Vegetation

Land grading is the reshaping of the existing land surface in accordance with the grading plan. Proper land grading is an essential component of the erosion control plan, as well as the stormwater pollution prevention plan. Proper grading will ensure the intended drainage areas are directed to the stormwater management practices.

Vegetation will be provided on all disturbed soils. Permanent vegetative cover will reduce runoff velocities, filter stormwater runoff, and minimize soil erosion. Optimum times for planting are the early spring and fall; however, plantings can be started in the summer provided adequate mulch and moisture is supplied.

## **3.0 Maintenance & Inspection Requirements:**

In accordance with the requirements of GP-0-20-001 inspections by a qualified inspector are not required for the subject project as total land disturbance will not exceed one -acre. However, in accordance with Town of Lewisboro requirements the applicant, developer, or their representative shall be onsite at all times when construction or grading activity takes place, and shall inspect and document the effectiveness of all erosion and sediment control practices. Inspection reports shall be completed every 7 days and within 24 hours of any storm event which produces more than 0.5 inches of rain within a 24-hour period.

Upon completion of construction and the subsequent filing of the Notice of Termination, maintenance and inspections are expected to be minimal. Temporary and permanent maintenance and inspection requirements are further discussed below. Proper maintenance and inspections will ensure the longevity and effectiveness of the stormwater pollution prevention plan, and subsequent erosion and sediment control measures.



The Town of Lewisboro Stormwater Management Officer may require inspections as necessary to determine compliance with Chapter 189 of the Lewisboro Town Code and may either approve that portion of the work completed or notify the applicant wherein the work fails to comply with the requirements of Chapter 189 and the stormwater pollution prevention plan (SWPPP) as approved. To obtain inspections, the applicant shall notify the Town of Lewisboro enforcement official at least 48 hours before any of the following as required by the Stormwater Management Officer;

- 1) Start of Construction
- 2) Installation of sediment and erosion control measures
- 3) Completion of site clearing
- 4) Completion of rough grading
- 5) Completion of final grading
- 6) Close of construction season
- 7) Completion of final landscaping
- 8) Successful establishment of landscaping in public areas.

### **3.1 Short Term Maintenance and Inspection Requirements:**

The Owner and or his representative will monitor the construction and erosion control measures as necessary.

Inspections performed during construction should verify all practices are functioning properly, correctly maintained, and accumulated sediment is removed from all control structures. The inspector must also examine the site for any evidence of soil erosion, turbid discharge at all outfalls, and the potential for soil and mud to be transported on the public roadway at the site entrance. In addition to these general guidelines, the project plans will provide more specific erosion control guidelines, as well as a construction sequence to guide the contractor through the construction process. Discussed below are specific maintenance and inspection requirements for the temporary practices to be employed at the site.

During construction, the silt fence should be inspected to ensure correct installation. In addition, any accumulated sediment resulting in “bulges” in the silt fence should be removed and mixed with onsite soil. Any damaged or torn silt fence should be replaced.



The entrance to the site should be checked to ensure no sediment is being deposited onto the public roadway. Should sediment be observed, it should be removed from the street.

Once construction is completed and the site has been stabilized, a Notice of Termination shall be filed. At this point limited maintenance requirements are anticipated.

### **3.2 Long Term Maintenance and Inspection Requirements:**

Long-term maintenance is expected to be minimal once final stabilization is achieved. Maintenance inspections should be performed annually, at a minimum, and after significant rainstorm events.

### **4.0 Conclusion:**

The Stormwater Pollution Prevention Plan prepared for the subject project has been prudently designed to manage stormwater runoff. Proper implementation of erosion and sediment control measures outlined in this SWPPP will ensure conformance with all requirements specified in the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity and Town of Lewisboro.



**Appendix A:**  
***Contractor Certification Document***



**CONTACT INFORMATION AND CERTIFICATION**

**Owner:** 65 Old Bedford Road, llc.  
c/o Bruce Mandia  
32 Mandia Lane  
Goldens Bridge, NY 10526

**Project Engineer & Qualified Inspector:**  
Bibbo Associates, LLP  
293 Route 100, Suite 203  
Somers, NY 10589  
Attn: Timothy S. Allen, P.E.  
(914) 277-5805

**Contact Information and Certification:**

Prior to the commencement of construction activity, the owner or operator must identify the contractor(s) and subcontractor(s) that will be responsible for installing, constructing, repairing, replacing, inspecting and maintaining the erosion and sediment control practices included in this Stormwater Pollution Prevention Plan (SWPPP);

The owner or operator shall have each of the contractors and subcontractors identify at least one person from their company that will be responsible for implementation of the SWPPP. This person shall be known as the trained contractor. The owner or operator shall ensure that at least one trained contractor is on site on a daily basis when soil disturbance activities are being performed.

The owner or operator shall have each of the contractors and subcontractors identified above sign a copy of the certification statement on the next page before they commence any construction activity. In addition to signing the certification statement, the certification page must also identify the specific elements of the SWPPP that each contractor and subcontractor will be responsible for and include the name and title of the person providing the signature; the name and title of the trained contractor responsible for SWPPP implementation; the name, address and telephone number of the contracting firm; the address (or other identifying description) of the site; and the date the certification statement is signed. The owner or operator shall attach the certification statement(s) to the copy of the SWPPP that is maintained at the construction site. If new or additional contractors are hired to implement measures identified in the SWPPP after construction has commenced, they must also sign the certification statement and provide the information listed above.



**CONTRACTOR'S CERTIFICATION**

**PROJECT NAME:                    GOLDENS BRIDGE COMMUNITY HOUSE**

**PROJECT ADDRESS:            65 OLD BEDFORD ROAD, GOLDENS BRIDGE, NY**

"I hereby certify under penalty of law that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the qualified inspector during a site inspection. I also understand that the owner or operator must comply with the terms and conditions of the most current version of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I am aware that there are significant penalties for submitting false information that I do not believe to be true, including the possibility of fine and imprisonment for knowing violations"

Name: \_\_\_\_\_

Business Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

\_\_\_\_\_  
Trained Contractor Signature

\_\_\_\_\_  
Date



**CONTRACTOR'S RESPONSIBILITY CERTIFICATION**

**PROJECT NAME: GOLDENS BRIDGE COMMUNITY HOUSE**

**PROJECT ADDRESS: 65 OLD BEDFORD ROAD, GOLDENS BRIDGE, NY**

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Business Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

**Specific element of the SWPPP Responsible for:** \_\_\_\_\_  
(i.e. silt fence, stabilized construction entrance, inlet protection, post-construction stormwater management practices installation, etc.)

\_\_\_\_\_  
Contractor Signature

\_\_\_\_\_  
Date

Trained Contractor responsible for SWPPP implementation:  
(Individual listed on certification page above)

Name: \_\_\_\_\_

Business Name: \_\_\_\_\_

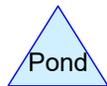
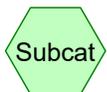
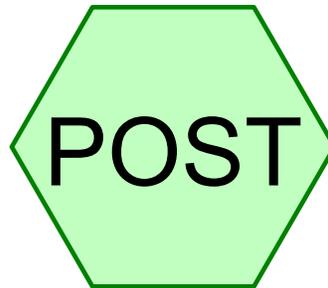
Address: \_\_\_\_\_

Phone: \_\_\_\_\_

**(MAKE ADDITIONAL COPIES AS NEEDED)**



**Appendix B:**  
***HydroCAD Curve Number Analysis***



**peak flow analysis**

Prepared by Bibbo Associates, LLP.

HydroCAD® 10.00-24 s/n 02226 © 2018 HydroCAD Software Solutions LLC

65 Old Bedford Road 24-hr S1 25-yr Rainfall=6.40"

Printed 4/28/2020

Page 5

**Summary for Subcatchment PRE:**

Runoff = 3.41 cfs @ 11.95 hrs, Volume= 0.204 af, Depth> 3.38"

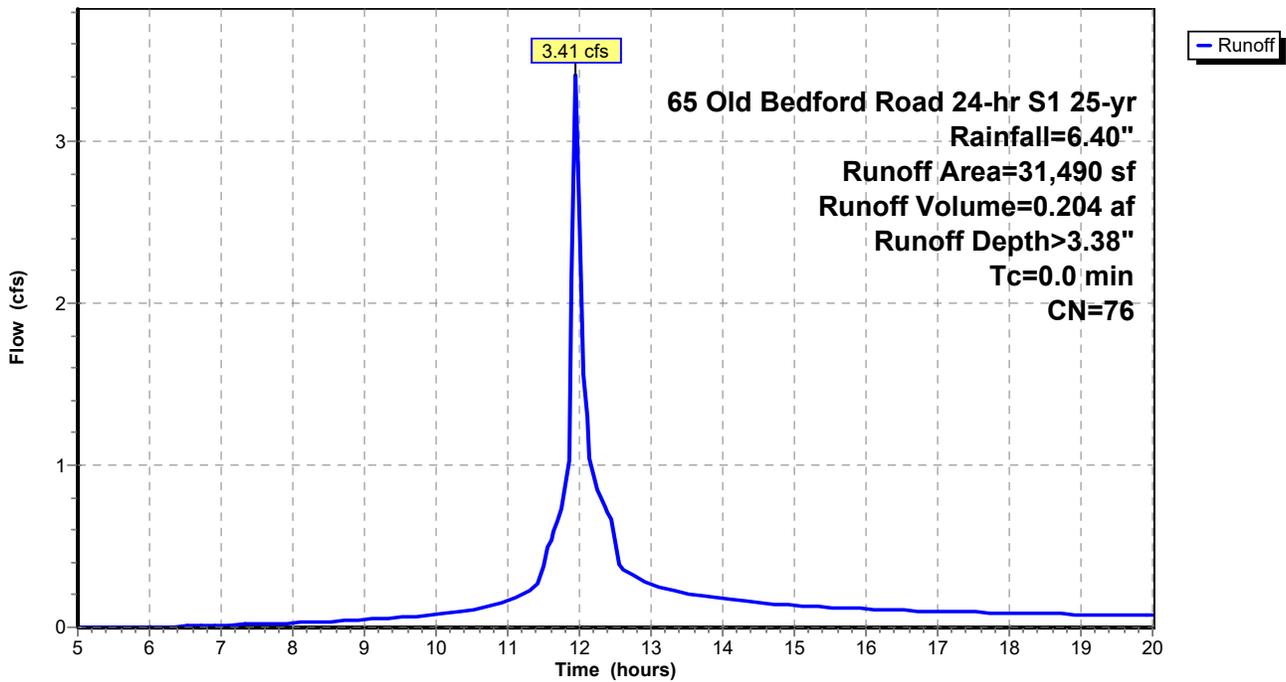
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

65 Old Bedford Road 24-hr S1 25-yr Rainfall=6.40"

Area (sf)	CN	Description
* 8,800	98	Existing Parking, etc.
* 4,125	98	Existing Building
18,565	61	>75% Grass cover, Good, HSG B
31,490	76	Weighted Average
18,565		58.96% Pervious Area
12,925		41.04% Impervious Area

**Subcatchment PRE:**

**Hydrograph**



peak flow analysis

Prepared by Bibbo Associates, LLP.

HydroCAD® 10.00-24 s/n 02226 © 2018 HydroCAD Software Solutions LLC

65 Old Bedford Road 24-hr S1 25-yr Rainfall=6.40"

Printed 4/28/2020

Page 4

Summary for Subcatchment POST:

Runoff = 3.31 cfs @ 11.95 hrs, Volume= 0.198 af, Depth> 3.28"

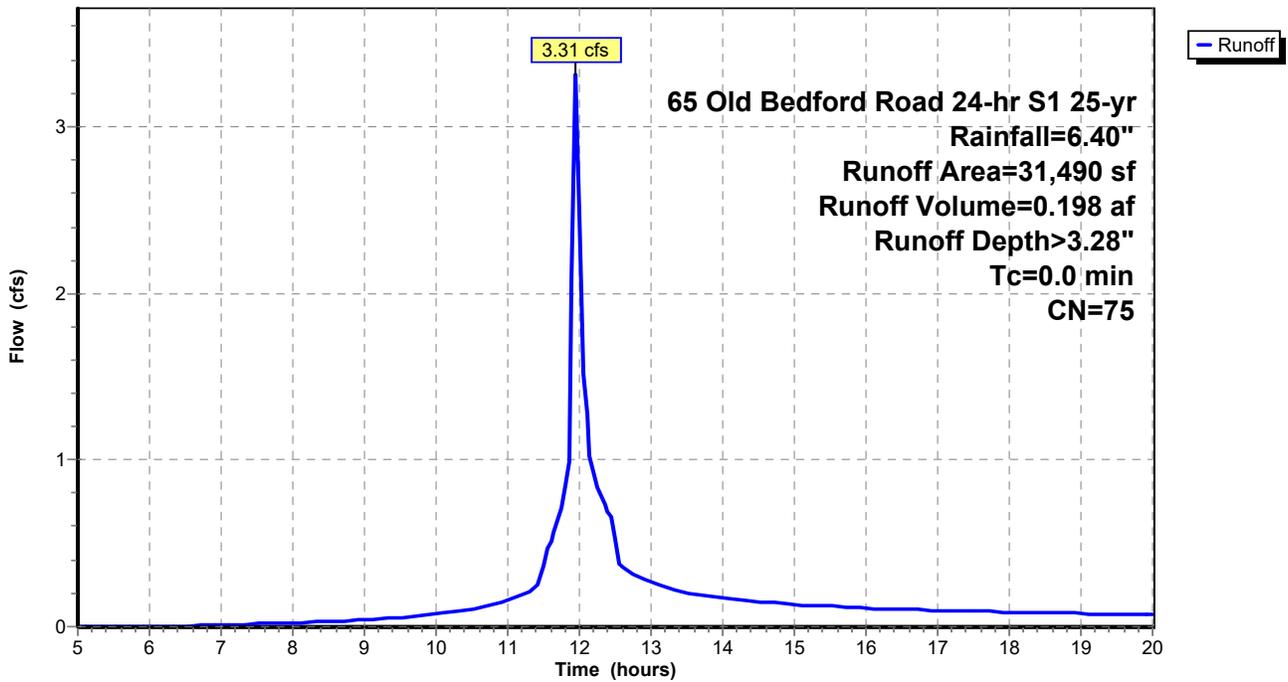
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

65 Old Bedford Road 24-hr S1 25-yr Rainfall=6.40"

Area (sf)	CN	Description
* 7,745	98	Existing Parking, etc.
* 4,125	98	Existing Building
* 585	85	Proposed Gravel Walkways, HSG B
19,035	61	>75% Grass cover, Good, HSG B
31,490	75	Weighted Average
19,620		62.31% Pervious Area
11,870		37.69% Impervious Area

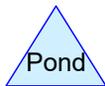
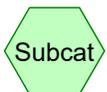
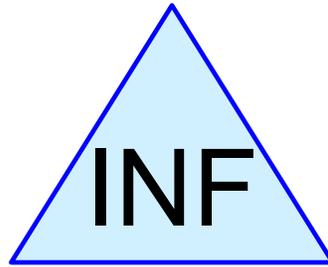
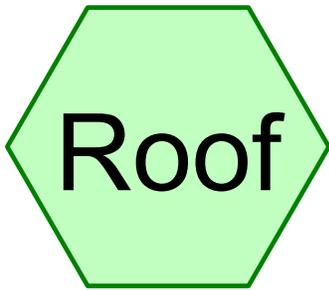
Subcatchment POST:

Hydrograph





**Appendix C:**  
***1- Yr Storm***  
***Roof Runoff Volume***



**Treatment**

Prepared by Bibbo Associates, LLP.  
HydroCAD® 10.00-24 s/n 02226 © 2018 HydroCAD Software Solutions LLC

65 Old Bedford Road 24-hr S1 1-yr Rainfall=2.79"

Printed 4/28/2020

Page 2

**Summary for Subcatchment Roof:**

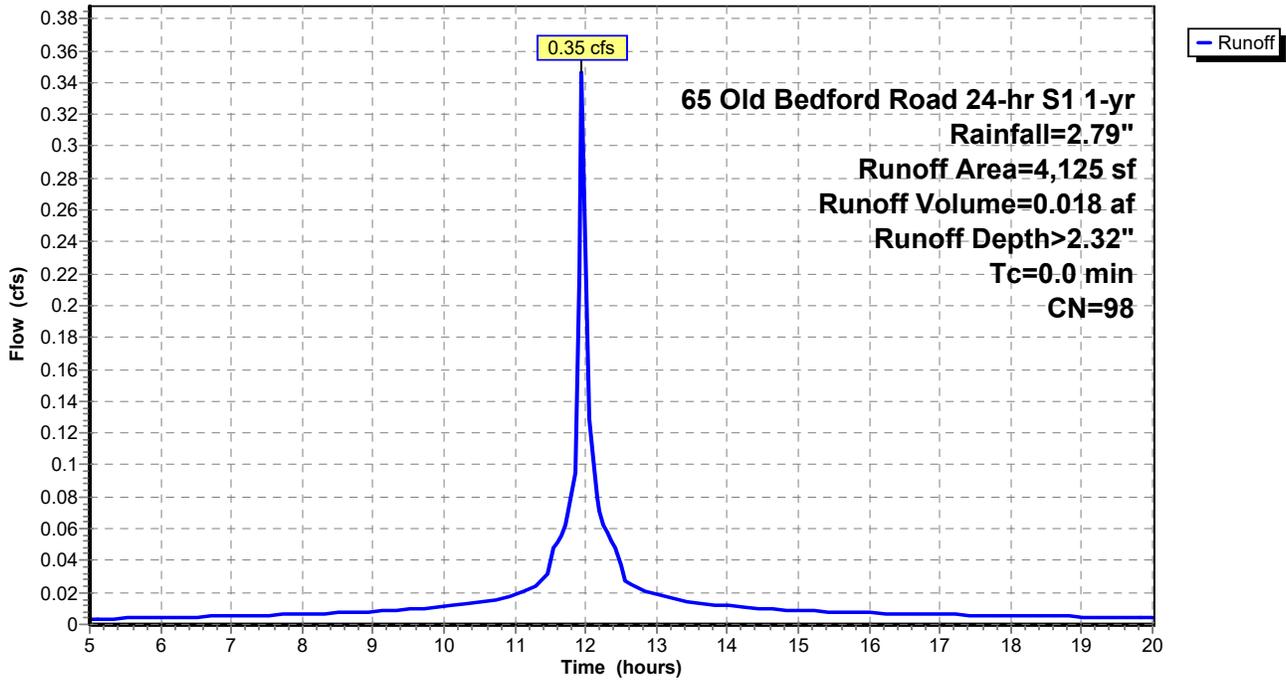
Runoff = 0.35 cfs @ 11.95 hrs, Volume= 0.018 af, Depth> 2.32"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
65 Old Bedford Road 24-hr S1 1-yr Rainfall=2.79"

Area (sf)	CN	Description
4,125	98	Existing Building
4,125		100.00% Impervious Area

**Subcatchment Roof:**

**Hydrograph**



**Treatment**

Prepared by Bibbo Associates, LLP.  
HydroCAD® 10.00-24 s/n 02226 © 2018 HydroCAD Software Solutions LLC

65 Old Bedford Road 24-hr S1 1-yr Rainfall=2.79"

Printed 4/28/2020

Page 3

**Summary for Pond INF:**

Discarded = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs  
Peak Elev= 0.00' @ 0.00 hrs Surf.Area= 0.000 ac Storage= 0.000 af

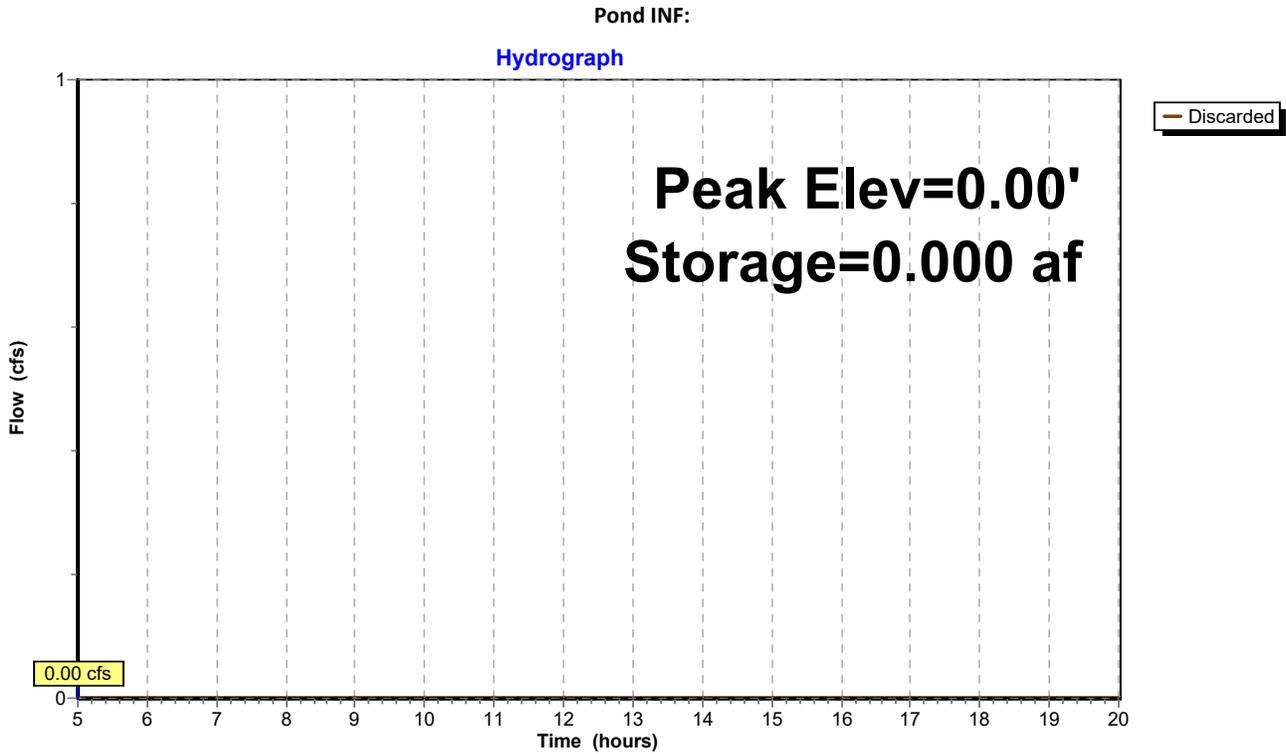
Plug-Flow detention time= (not calculated)  
Center-of-Mass det. time= (not calculated)

Volume	Invert	Avail.Storage	Storage Description
#1A	223.00'	0.009 af	<b>11.17'W x 34.83'L x 3.54'H Field A</b> 0.032 af Overall - 0.010 af Embedded = 0.022 af x 40.0% Voids
#2A	223.50'	0.010 af	<b>Cultec R-330XLHD x 8 Inside #1</b> Effective Size= 47.8"W x 30.0"H => 7.45 sf x 7.00'L = 52.2 cf Overall Size= 52.0"W x 30.5"H x 8.50'L with 1.50' Overlap Row Length Adjustment= +1.50' x 7.45 sf x 2 rows
		0.019 af	Total Available Storage

Storage Group A created with Chamber Wizard

Device	Routing	Invert	Outlet Devices
#1	Discarded	223.00'	<b>5.000 in/hr Exfiltration over Horizontal area</b> Phase-In= 0.10'

**Discarded OutFlow** Max=0.00 cfs @ 5.00 hrs HW=0.00' (Free Discharge)  
↑**1=Exfiltration** ( Controls 0.00 cfs)



**Treatment**

Prepared by Bibbo Associates, LLP.

HydroCAD® 10.00-24 s/n 02226 © 2018 HydroCAD Software Solutions LLC

65 Old Bedford Road 24-hr S1 1-yr Rainfall=2.79"

Printed 4/28/2020

Page 4

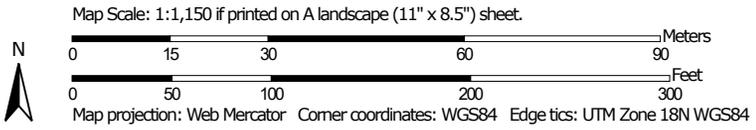
**Stage-Area-Storage for Pond INF:**

Elevation (feet)	Horizontal (acres)	Storage (acre-feet)	Elevation (feet)	Horizontal (acres)	Storage (acre-feet)	Elevation (feet)	Horizontal (acres)	Storage (acre-feet)
223.00	0.009	0.000	224.52	0.009	0.009	226.04	0.009	0.017
223.02	0.009	0.000	224.54	0.009	0.009	226.06	0.009	0.017
223.04	0.009	0.000	224.56	0.009	0.009	226.08	0.009	0.017
223.06	0.009	0.000	224.58	0.009	0.009	226.10	0.009	0.017
223.08	0.009	0.000	224.60	0.009	0.009	226.12	0.009	0.017
223.10	0.009	0.000	224.62	0.009	0.009	226.14	0.009	0.017
223.12	0.009	0.000	224.64	0.009	0.009	226.16	0.009	0.017
223.14	0.009	0.001	224.66	0.009	0.009	226.18	0.009	0.017
223.16	0.009	0.001	224.68	0.009	0.010	226.20	0.009	0.017
223.18	0.009	0.001	224.70	0.009	0.010	226.22	0.009	0.018
223.20	0.009	0.001	224.72	0.009	0.010	226.24	0.009	0.018
223.22	0.009	0.001	224.74	0.009	0.010	226.26	0.009	0.018
223.24	0.009	0.001	224.76	0.009	0.010	226.28	0.009	0.018
223.26	0.009	0.001	224.78	0.009	0.010	226.30	0.009	0.018
223.28	0.009	0.001	224.80	0.009	0.010	226.32	0.009	0.018
223.30	0.009	0.001	224.82	0.009	0.011	226.34	0.009	0.018
223.32	0.009	0.001	224.84	0.009	0.011	226.36	0.009	0.018
223.34	0.009	0.001	224.86	0.009	0.011	226.38	0.009	0.018
223.36	0.009	0.001	224.88	0.009	0.011	226.40	0.009	0.018
223.38	0.009	0.001	224.90	0.009	0.011	226.42	0.009	0.018
223.40	0.009	0.001	224.92	0.009	0.011	226.44	0.009	0.018
223.42	0.009	0.002	224.94	0.009	0.011	226.46	0.009	0.018
223.44	0.009	0.002	224.96	0.009	0.011	226.48	0.009	0.018
223.46	0.009	0.002	224.98	0.009	0.011	226.50	0.009	0.019
223.48	0.009	0.002	225.00	0.009	0.012	226.52	0.009	0.019
223.50	0.009	0.002	225.02	0.009	0.012	226.54	0.009	0.019
223.52	0.009	0.002	225.04	0.009	0.012			
223.54	0.009	0.002	225.06	0.009	0.012			
223.56	0.009	0.002	225.08	0.009	0.012			
223.58	0.009	0.002	225.10	0.009	0.012			
223.60	0.009	0.002	225.12	0.009	0.012			
223.62	0.009	0.003	225.14	0.009	0.012			
223.64	0.009	0.003	225.16	0.009	0.013			
223.66	0.009	0.003	225.18	0.009	0.013			
223.68	0.009	0.003	225.20	0.009	0.013			
223.70	0.009	0.003	225.22	0.009	0.013			
223.72	0.009	0.003	225.24	0.009	0.013			
223.74	0.009	0.003	225.26	0.009	0.013			
223.76	0.009	0.004	225.28	0.009	0.013			
223.78	0.009	0.004	225.30	0.009	0.013			
223.80	0.009	0.004	225.32	0.009	0.014			
223.82	0.009	0.004	225.34	0.009	0.014			
223.84	0.009	0.004	225.36	0.009	0.014			
223.86	0.009	0.004	225.38	0.009	0.014			
223.88	0.009	0.004	225.40	0.009	0.014			
223.90	0.009	0.004	225.42	0.009	0.014			
223.92	0.009	0.005	225.44	0.009	0.014			
223.94	0.009	0.005	225.46	0.009	0.014			
223.96	0.009	0.005	225.48	0.009	0.014			
223.98	0.009	0.005	225.50	0.009	0.014			
224.00	0.009	0.005	225.52	0.009	0.015			
224.02	0.009	0.005	225.54	0.009	0.015			
224.04	0.009	0.005	225.56	0.009	0.015			
224.06	0.009	0.006	225.58	0.009	0.015			
224.08	0.009	0.006	225.60	0.009	0.015			
224.10	0.009	0.006	225.62	0.009	0.015			
224.12	0.009	0.006	225.64	0.009	0.015			
224.14	0.009	0.006	225.66	0.009	0.015			
224.16	0.009	0.006	225.68	0.009	0.015			
224.18	0.009	0.006	225.70	0.009	0.016			
224.20	0.009	0.006	225.72	0.009	0.016			
224.22	0.009	0.007	225.74	0.009	0.016			
224.24	0.009	0.007	225.76	0.009	0.016			
224.26	0.009	0.007	225.78	0.009	0.016			
224.28	0.009	0.007	225.80	0.009	0.016			
224.30	0.009	0.007	225.82	0.009	0.016			
224.32	0.009	0.007	225.84	0.009	0.016			
224.34	0.009	0.007	225.86	0.009	0.016			
224.36	0.009	0.008	225.88	0.009	0.016			
224.38	0.009	0.008	225.90	0.009	0.016			
224.40	0.009	0.008	225.92	0.009	0.016			
224.42	0.009	0.008	225.94	0.009	0.017			
224.44	0.009	0.008	225.96	0.009	0.017			
224.46	0.009	0.008	225.98	0.009	0.017			
224.48	0.009	0.008	226.00	0.009	0.017			
224.50	0.009	0.008	226.02	0.009	0.017			



**Appendix D:**  
***Soil Map***

Hydrologic Soil Group—Westchester County, New York  
(Goldens Bridge Community House)



## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

#### Soil Rating Polygons

 A  
 A/D  
 B  
 B/D  
 C  
 C/D  
 D  
 Not rated or not available

#### Soil Rating Lines

 A  
 A/D  
 B  
 B/D  
 C  
 C/D  
 D  
 Not rated or not available

#### Soil Rating Points

 A  
 A/D  
 B  
 B/D

 C  
 C/D  
 D  
 Not rated or not available

### Water Features

 Streams and Canals

### Transportation

 Rails  
 Interstate Highways  
 US Routes  
 Major Roads  
 Local Roads

### Background

 Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Westchester County, New York  
 Survey Area Data: Version 15, Sep 16, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Oct 16, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
ChB	Charlton fine sandy loam, 3 to 8 percent slopes	B	4.6	91.0%
CrC	Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky	B	0.5	9.0%
<b>Totals for Area of Interest</b>			<b>5.0</b>	<b>100.0%</b>

### Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

## Rating Options

*Aggregation Method: Dominant Condition*

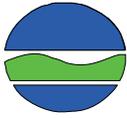
*Component Percent Cutoff: None Specified*

*Tie-break Rule: Higher*



**Appendix E:**  
***NYSDEC Notice of Intent***  
**&**  
***MS4 SWPPP Acceptance Form***

## NOTICE OF INTENT



**New York State Department of Environmental Conservation**  
**Division of Water**  
**625 Broadway, 4th Floor**  
**Albany, New York 12233-3505**

NYR   
(For DEC use only)

**Stormwater Discharges Associated with Construction Activity Under State Pollutant Discharge Elimination System (SPDES) General Permit # GP-0-20-001**  
 All sections must be completed unless otherwise noted. Failure to complete all items may result in this form being returned to you, thereby delaying your coverage under this General Permit. Applicants must read and understand the conditions of the permit and prepare a Stormwater Pollution Prevention Plan prior to submitting this NOI. Applicants are responsible for identifying and obtaining other DEC permits that may be required.

**- IMPORTANT -**  
**RETURN THIS FORM TO THE ADDRESS ABOVE**  
OWNER/OPERATOR MUST SIGN FORM

### Owner/Operator Information

Owner/Operator (Company Name/Private Owner Name/Municipality Name)

6 5 Old Bedford Road, LLC.

Owner/Operator Contact Person Last Name (NOT CONSULTANT)

B r u c e

Owner/Operator Contact Person First Name

M a n d i a

Owner/Operator Mailing Address

3 2 M a n d i a L a n e

City

G o l d e n s B r i d g e

State

N Y

Zip

1 0 5 2 6 -

Phone (Owner/Operator)

9 1 4 - 6 4 3 - 5 7 9 3

Fax (Owner/Operator)

-  -

Email (Owner/Operator)

B c j j m 7 5 @ g m a i l . c o m

FED TAX ID

-   
(not required for individuals)

**Project Site Information**

Project/Site Name

G o l d e n s   B r i d g e   C o m m u n i t y   H o u s e

Street Address (NOT P.O. BOX)

6 5   O l d   B e d f o r d   R o a d

Side of Street

North    South    East    West

City/Town/Village (THAT ISSUES BUILDING PERMIT)

L e w i s n o r o

State

N Y

Zip

1 0 2 6 -

County

W e s t c h e s t e r

DEC Region

3

Name of Nearest Cross Street

P a r k   A v e .

Distance to Nearest Cross Street (Feet)

3 5 0

Project In Relation to Cross Street

North    South    East    West

Tax Map Numbers

Section-Block-Parcel  
4 - 1 1 1 1 2 - 2

Tax Map Numbers

1. Provide the Geographic Coordinates for the project site. To do this, go to the NYSDEC Stormwater Interactive Map on the DEC website at:

<https://gisservices.dec.ny.gov/gis/stormwater/>

Zoom into your Project Location such that you can accurately click on the centroid of your site. Once you have located the centroid of your project site, go to the bottom right hand corner of the map for the X, Y coordinates. Enter the coordinates into the boxes below. For problems with the interactive map use the help function.

**X Coordinates (Easting)**

-7 3   6 8 0 5

Ex. -73.749

**Y Coordinates (Northing)**

4 1   2 9 1 3

Ex. 42.652

2. What is the nature of this construction project?

New Construction

Redevelopment with increase in impervious area

Redevelopment with no increase in impervious area





15. Does the site runoff enter a separate storm sewer system (including roadside drains, swales, ditches, culverts, etc)?  Yes  No  Unknown

16. What is the name of the municipality/entity that owns the separate storm sewer system?

Two rows of empty grid boxes for text entry.

17. Does any runoff from the site enter a sewer classified as a Combined Sewer?  Yes  No  Unknown

18. Will future use of this site be an agricultural property as defined by the NYS Agriculture and Markets Law?  Yes  No

19. Is this property owned by a state authority, state agency, federal government or local government?  Yes  No

20. Is this a remediation project being done under a Department approved work plan? (i.e. CERCLA, RCRA, Voluntary Cleanup Agreement, etc.)  Yes  No

21. Has the required Erosion and Sediment Control component of the SWPPP been developed in conformance with the current NYS Standards and Specifications for Erosion and Sediment Control (aka Blue Book)?  Yes  No

22. Does this construction activity require the development of a SWPPP that includes the post-construction stormwater management practice component (i.e. Runoff Reduction, Water Quality and Quantity Control practices/techniques)?  Yes  No  
**If No, skip questions 23 and 27-39.**

23. Has the post-construction stormwater management practice component of the SWPPP been developed in conformance with the current NYS Stormwater Management Design Manual?  Yes  No





**Post-construction Stormwater Management Practice (SMP) Requirements**

**Important: Completion of Questions 27-39 is not required if response to Question 22 is No.**

27. Identify all site planning practices that were used to prepare the final site plan/layout for the project.

- Preservation of Undisturbed Areas
- Preservation of Buffers
- Reduction of Clearing and Grading
- Locating Development in Less Sensitive Areas
- Roadway Reduction
- Sidewalk Reduction
- Driveway Reduction
- Cul-de-sac Reduction
- Building Footprint Reduction
- Parking Reduction

27a. Indicate which of the following soil restoration criteria was used to address the requirements in Section 5.1.6("Soil Restoration") of the Design Manual (2010 version).

- All disturbed areas will be restored in accordance with the Soil Restoration requirements in Table 5.3 of the Design Manual (see page 5-22).
- Compacted areas were considered as impervious cover when calculating the **WQv Required**, and the compacted areas were assigned a post-construction Hydrologic Soil Group (HSG) designation that is one level less permeable than existing conditions for the hydrology analysis.

28. Provide the total Water Quality Volume (WQv) required for this project (based on final site plan/layout).

**Total WQv Required**

.  acre-feet

29. Identify the RR techniques (Area Reduction), RR techniques (Volume Reduction) and Standard SMPs with RRv Capacity in Table 1 (See Page 9) that were used to reduce the Total WQv Required (#28).

Also, provide in Table 1 the total impervious area that contributes runoff to each technique/practice selected. For the Area Reduction Techniques, provide the total contributing area (includes pervious area) and, if applicable, the total impervious area that contributes runoff to the technique/practice.

**Note:** Redevelopment projects shall use Tables 1 and 2 to identify the SMPs used to treat and/or reduce the WQv required. If runoff reduction techniques will not be used to reduce the required WQv, skip to question 33a after identifying the SMPs.

Table 1 - Runoff Reduction (RR) Techniques and Standard Stormwater Management Practices (SMPs)

<u>RR Techniques (Area Reduction)</u>	<u>Total Contributing Area (acres)</u>		and/or	<u>Total Contributing Impervious Area(acres)</u>	
<input type="radio"/> Conservation of Natural Areas (RR-1) ...	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Sheetflow to Riparian Buffers/Filters Strips (RR-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Tree Planting/Tree Pit (RR-3) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Disconnection of Rooftop Runoff (RR-4) ..	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
 <u>RR Techniques (Volume Reduction)</u>					
<input type="radio"/> Vegetated Swale (RR-5) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Rain Garden (RR-6) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Stormwater Planter (RR-7) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Rain Barrel/Cistern (RR-8) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Porous Pavement (RR-9) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Green Roof (RR-10) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
 <u>Standard SMPs with RRv Capacity</u>					
<input type="radio"/> Infiltration Trench (I-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Infiltration Basin (I-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Dry Well (I-3) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Underground Infiltration System (I-4) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Bioretention (F-5) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Dry Swale (O-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
 <u>Standard SMPs</u>					
<input type="radio"/> Micropool Extended Detention (P-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Wet Pond (P-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Wet Extended Detention (P-3) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Multiple Pond System (P-4) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Pocket Pond (P-5) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Surface Sand Filter (F-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Underground Sand Filter (F-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Perimeter Sand Filter (F-3) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Organic Filter (F-4) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Shallow Wetland (W-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Extended Detention Wetland (W-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Pond/Wetland System (W-3) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Pocket Wetland (W-4) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>
<input type="radio"/> Wet Swale (O-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>	<input type="text"/>

**Table 2 - Alternative SMPs  
(DO NOT INCLUDE PRACTICES BEING  
USED FOR PRETREATMENT ONLY)**

<u>Alternative SMP</u>	<u>Total Contributing Impervious Area(acres)</u>			
<input type="radio"/> Hydrodynamic .....	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="radio"/> Wet Vault .....	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="radio"/> Media Filter .....	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="radio"/> Other <input type="text"/> .....	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

Provide the name and manufacturer of the Alternative SMPs (i.e. proprietary practice(s)) being used for WQv treatment.

Name

Manufacturer

**Note:** Redevelopment projects which do not use RR techniques, shall use questions 28, 29, 33 and 33a to provide SMPs used, total WQv required and total WQv provided for the project.

30. Indicate the Total RRv provided by the RR techniques (Area/Volume Reduction) and Standard SMPs with RRv capacity identified in question 29.

**Total RRv provided**

.    acre-feet

31. Is the Total RRv provided (#30) greater than or equal to the total WQv required (#28).

Yes  No

If Yes, go to question 36.  
If No, go to question 32.

32. Provide the Minimum RRv required based on HSG.  
[Minimum RRv Required = (P)(0.95)(Ai)/12, Ai=(S)(Aic)]

**Minimum RRv Required**

.    acre-feet

32a. Is the Total RRv provided (#30) greater than or equal to the Minimum RRv Required (#32)?

Yes  No

If Yes, go to question 33.

**Note:** Use the space provided in question #39 to summarize the specific site limitations and justification for not reducing 100% of WQv required (#28). A detailed evaluation of the specific site limitations and justification for not reducing 100% of the WQv required (#28) must also be included in the SWPPP.

If No, sizing criteria has not been met, so NOI can not be processed. SWPPP preparer must modify design to meet sizing criteria.

33. Identify the Standard SMPs in Table 1 and, if applicable, the Alternative SMPs in Table 2 that were used to treat the remaining total WQv(=Total WQv Required in 28 - Total RRv Provided in 30).

Also, provide in Table 1 and 2 the total impervious area that contributes runoff to each practice selected.

**Note:** Use Tables 1 and 2 to identify the SMPs used on Redevelopment projects.

33a. Indicate the Total WQv provided (i.e. WQv treated) by the SMPs identified in question #33 and Standard SMPs with RRv Capacity identified in question 29.

**WQv Provided**

			.					.				
--	--	--	---	--	--	--	--	---	--	--	--	--

acre-feet

**Note:** For the standard SMPs with RRv capacity, the WQv provided by each practice = the WQv calculated using the contributing drainage area to the practice - RRv provided by the practice. (See Table 3.5 in Design Manual)

34. Provide the sum of the Total RRv provided (#30) and the WQv provided (#33a). 

--	--	--

.

--	--	--

35. Is the sum of the RRv provided (#30) and the WQv provided (#33a) greater than or equal to the total WQv required (#28)?  Yes  No

**If Yes, go to question 36.**

**If No, sizing criteria has not been met, so NOI can not be processed. SWPPP preparer must modify design to meet sizing criteria.**

36. Provide the total Channel Protection Storage Volume (CPv) required and provided or select waiver (36a), if applicable.

<b>CPv Required</b>	<b>CPv Provided</b>												
<table style="border: 1px solid black; display: inline-table;"> <tr> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> </tr> </table> <span style="font-size: 24px; vertical-align: middle;">.</span> <table style="border: 1px solid black; display: inline-table;"> <tr> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> </tr> </table> acre-feet							<table style="border: 1px solid black; display: inline-table;"> <tr> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> </tr> </table> <span style="font-size: 24px; vertical-align: middle;">.</span> <table style="border: 1px solid black; display: inline-table;"> <tr> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> </tr> </table> acre-feet						

36a. The need to provide channel protection has been waived because:

- Site discharges directly to tidal waters or a fifth order or larger stream.
- Reduction of the total CPv is achieved on site through runoff reduction techniques or infiltration systems.

37. Provide the Overbank Flood (Qp) and Extreme Flood (Qf) control criteria or select waiver (37a), if applicable.

**Total Overbank Flood Control Criteria (Qp)**

<b>Pre-Development</b>	<b>Post-development</b>												
<table style="border: 1px solid black; display: inline-table;"> <tr> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> </tr> </table> <span style="font-size: 24px; vertical-align: middle;">.</span> <table style="border: 1px solid black; display: inline-table;"> <tr> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> </tr> </table> CFS							<table style="border: 1px solid black; display: inline-table;"> <tr> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> </tr> </table> <span style="font-size: 24px; vertical-align: middle;">.</span> <table style="border: 1px solid black; display: inline-table;"> <tr> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> </tr> </table> CFS						

**Total Extreme Flood Control Criteria (Qf)**

<b>Pre-Development</b>	<b>Post-development</b>												
<table style="border: 1px solid black; display: inline-table;"> <tr> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> </tr> </table> <span style="font-size: 24px; vertical-align: middle;">.</span> <table style="border: 1px solid black; display: inline-table;"> <tr> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> </tr> </table> CFS							<table style="border: 1px solid black; display: inline-table;"> <tr> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> </tr> </table> <span style="font-size: 24px; vertical-align: middle;">.</span> <table style="border: 1px solid black; display: inline-table;"> <tr> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> <td style="width: 20px; height: 20px;"></td> </tr> </table> CFS						





**Owner/Operator Certification**

I have read or been advised of the permit conditions and believe that I understand them. I also understand that, under the terms of the permit, there may be reporting requirements. I hereby certify that this document and the corresponding documents were prepared under my direction or supervision. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. I further understand that coverage under the general permit will be identified in the acknowledgment that I will receive as a result of submitting this NOI and can be as long as sixty (60) business days as provided for in the general permit. I also understand that, by submitting this NOI, I am acknowledging that the SWPPP has been developed and will be implemented as the first element of construction, and agreeing to comply with all the terms and conditions of the general permit for which this NOI is being submitted.

**Print First Name**

B	r	u	c	e															
---	---	---	---	---	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

**MI**

--

**Print Last Name**

M	a	n	d	i	a														
---	---	---	---	---	---	--	--	--	--	--	--	--	--	--	--	--	--	--	--

**Owner/Operator Signature**

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

**Date**

		/			/				
--	--	---	--	--	---	--	--	--	--



Department of  
Environmental  
Conservation

NYS Department of Environmental Conservation  
Division of Water  
625 Broadway, 4th Floor  
Albany, New York 12233-3505

**MS4 Stormwater Pollution Prevention Plan (SWPPP) Acceptance  
Form**

for

**Construction Activities Seeking Authorization Under SPDES General Permit**

\*(NOTE: Attach Completed Form to Notice Of Intent and Submit to Address Above)

**I. Project Owner/Operator Information**

1. Owner/Operator Name: 65 Old Bedford Road, llc.  
2. Contact Person: Bruce Mandia  
3. Street Address: 32 Mandia Lane  
4. City/State/Zip: Goldens Bridge, NY 10526

**II. Project Site Information**

5. Project/Site Name: Goldens Bridge Community House  
6. Street Address: 65 Old Bedford Road  
7. City/State/Zip: Goldens Bridge, NY 10526

**III. Stormwater Pollution Prevention Plan (SWPPP) Review and Acceptance Information**

8. SWPPP Reviewed by:  
9. Title/Position:  
10. Date Final SWPPP Reviewed and Accepted:

**IV. Regulated MS4 Information**

11. Name of MS4:  
12. MS4 SPDES Permit Identification Number: NYR20A  
13. Contact Person:  
14. Street Address:  
15. City/State/Zip:  
16. Telephone Number:

**MS4 SWPPP Acceptance Form - continued**

**V. Certification Statement - MS4 Official (principal executive officer or ranking elected official) or Duly Authorized Representative**

I hereby certify that the final Stormwater Pollution Prevention Plan (SWPPP) for the construction project identified in question 5 has been reviewed and meets the substantive requirements in the SPDES General Permit For Stormwater Discharges from Municipal Separate Storm Sewer Systems (MS4s).  
Note: The MS4, through the acceptance of the SWPPP, assumes no responsibility for the accuracy and adequacy of the design included in the SWPPP. In addition, review and acceptance of the SWPPP by the MS4 does not relieve the owner/operator or their SWPPP preparer of responsibility or liability for errors or omissions in the plan.

Printed Name:

Title/Position:

Signature:

Date:

**VI. Additional Information**

Application No.: HA-20SW  
Fee: 155 Date: 5/13/20

pd

**TOWN OF LEWISBORO  
STORMWATER PERMIT APPLICATION**

79 Bouton Road, South Salem, NY 10590  
Phone: (914) 763-5592  
Fax: (914) 875-9148

Project Address: 65 OLD BEDFORD RD., GOLDENS BRIDGES, NY  
Sheet: 4A Block: 11112 Lot(s): 2 10526

Project Description (describe overall project including all proposed land development activities):

CONVERSION OF EXISTING TOWN OWNED COMMUNITY HOUSE  
(FORMER SCHOOL HOUSE) TO A PRIVATELY OWNED (4) 1 BDEM APPTS.

Owner's Name: TOWN OF LEWISBORO Phone: 763 3151

Owner's Address: Town Hall 11 Main St P.O. Box 500 Email: SUPERVISOR@LEWISBORO.GOV  
10526 .COM

Applicant's Name (if different): 65 OLD BEDFORD RD., LLC Phone: 914.643.5793

Applicant's Address: 32 MADIA LA., GOLDEN BRIDGE Email: BCJSM75@GMAIL.COM  
10526

Agent's Name (if applicable): TIM PUGA P.E. (BIBBO) Phone: 914 277 5805

Agent's Address: RT 100, SOMERS, NY Email: TIM@BIBBOASSOCIATES.COM  
10589

**TO BE COMPLETED BY OWNER/APPLICANT**

The approval authority is? (see §189-5 of the Town Code)

Town Engineer and Stormwater Management Officer  Planning Board

Is the project located within the NYCDEP Watershed?  Yes  No

Total area of proposed disturbance:  5,000 s.f. - < 1 acre  ≥ 1 acre

Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity?  Yes  No  Requires post-construction stormwater practice

Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: PLAN BOARD, WCDOH, NYSDEC, NYCDEP, BUILD DEPT.

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under §189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

Owner Signature: [Signature]

Date: 5/11/20

**TOWN OF LEWISBORO**

**NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on Tuesday, May 19, 2020 at 7:30 p.m., or soon thereafter, using the videoconferencing app Zoom, regarding the following:

**Cal #02-20PB**

Application for Site Development Plan Approval, Special Use Permit and Town Stormwater Permit, to the former Goldens Bridge Community House, 65 Old Bedford Road, Goldens Bridge, NY 10526, Sheet 4A, Block 11112, Lot 2 (Town of Lewisboro, owner of record) for conversion of the existing building into four (4), 1-bedroom apartments. The subject property consists of approx. 0.72 acres and is located in a Special Character Two-Family Residential (SCR-2F) Zoning District.

Public health and safety concerns related to the COVID-19 virus mean that the Planning Board will not be meeting in person. Per Governor Cuomo's Executive Order No. 202.1, this meeting will be held via Zoom and a transcript will be provided at a later date. The public will have the opportunity to review digital copies of materials and proposed site documents at <https://www.lewisborogov.com/planningboard>

Interested members of the public are encouraged to provide written comments prior to or during the virtual meeting by emailing Ciorsdan Conran, Planning Board Administrator, at [planning@lewisborogov.com](mailto:planning@lewisborogov.com) Please check the meeting agenda posted on the Board's web page for additional instructions and updates.

The public may view or participate through the Zoom app at <https://zoom.us/j/99426059447> by clicking "Join a Meeting," and entering Meeting ID: 994 2605 9447. You may call in to the Zoom meeting at 1-929-205-6099 when prompted, enter 994 2605 9447.

Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to view the Public Hearing and all will be provided an opportunity to be heard.

**PLANNING BOARD  
TOWN OF LEWISBORO  
By: Janet Andersen  
Chair**

**Dated: April 30, 2020**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to view or participate in this meeting is encouraged to notify the Administrator to the Planning Board in advance.

*Michael Fuller Sirignano*  
*Attorney and Counselor at Law*

*Old Post Road Professional Building*  
*892 Route 35, P.O. Box 784*  
*Cross River, New York 10518*

*Tel. (914) 763-5500*  
*Fax: (914) 763-9589*  
*Email: lawoffice@sirignano.us*

May 8, 2020

Janet Anderson, Chairman  
Town of Lewisboro Planning Board  
P.O. Box 725  
20 North Salem Road, Suite L  
Cross River, NY 10518

Re: Mandia Residences, 65 Old Bedford Road, Goldens Bridge, NY 10526  
Special Use Permit & Site Plan Review  
Cal. #. 02-20PB

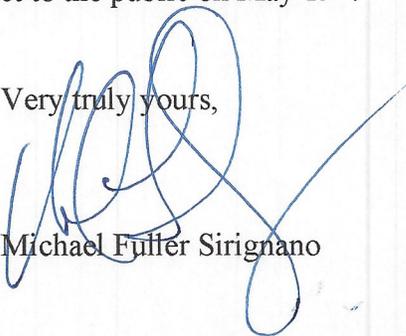
Dear Chairman Anderson and Members of the Planning Board:

On behalf of the Applicants, Bruce Mandia and Margaret Carey, enclosed please find an Affidavit of Posting and photographs evidencing the fact that a sign was posted on the above property noticing the Planning Board Public Hearing scheduled to commence on May 19, 2020.

Also enclosed please find my Affirmation of Mailing of the Public Hearing Notice.

Please incorporate the enclosed as part of the official record of the proceedings. We look forward to presenting this beautifully designed project to the public on May 19<sup>th</sup>.

Very truly yours,

  
Michael Fuller Sirignano

MFS/  
Enclosure

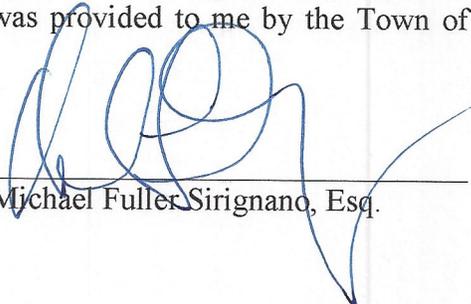
cc: Bruce Mandia  
Margaret Carey

AFFIRMATION OF POSTING

IN THE MATTER OF AN APPLICATION BY BRUCE MANDIA & MARGARET CAREY SEEKING SPECIAL USE PERMIT, SITE PLAN REVIEW AND TOWN STORMWATER PERMIT APPROVALS FOR PROPOSED CONVERSION OF 65 OLD BEDFORD ROAD TO FOUR RESIDENTIAL UNITS (Cal #02-20PB) IN THE TOWN OF LEWISBORO, NEW YORK AND DESIGNATED ON THE OFFICIAL TAX MAP AS SHEET 4A, BLOCK 11112, LOT 2.

MICHAEL FULLER SIRIGNANO, ESQ., an attorney duly admitted to practice in the Courts of the State of New York with offices at 892 Route 35, Cross River, New York 10518, affirms the following to be true under penalty of perjury:

On May 8, 2020, a sign was posted at the entrance to the former Community House at 65 Old Bedford Road, Goldens Bridge, NY noticing the May 19, 2020 Planning Board Public Hearing. Such sign was provided to me by the Town of Lewisboro Planning Department.



---

Michael Fuller Sirignano, Esq.

Affirmed: Cross River, NY  
May 8, 2020

TOWN OF LEWISBORO

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on Tuesday, May 19, 2020 at 7:30 p.m., or soon thereafter, using the videoconferencing app Zoom, regarding the following:

Cal #02-20PB

Application for Site Development Plan Approval, Special Use Permit and Town Stormwater Permit, to the former Goldens Bridge Community House, 65 Old Bedford Road, Goldens Bridge, NY 10526, Sheet 4A, Block 11112, Lot 2 (Town of Lewisboro, owner of record) for conversion of the existing building into four (4), 1-bedroom apartments. The subject property consists of approx. 0.72 acres and is located in a Special Character Two-Family Residential (SCR-2F) Zoning District.

Public health and safety concerns related to the COVID-19 virus mean that the Planning Board will not be meeting in person. Per Governor Cuomo's Executive Order No. 202.1, this meeting will be held via Zoom and a transcript will be provided at a later date. The public will have the opportunity to review digital copies of materials and proposed site documents at <https://www.lewisborogov.com/planningboard>

Interested members of the public are encouraged to provide written comments prior to or during the virtual meeting by emailing Ciorsdan Conran, Planning Board Administrator, at [planning@lewisborogov.com](mailto:planning@lewisborogov.com) Please check the meeting agenda posted on the Board's web page for additional instructions and updates.

The public may view or participate through the Zoom app at <https://zoom.us/j/99426059447> by clicking "Join a Meeting," and entering Meeting ID: 994 2605 9447. You may call in to the Zoom meeting at 1-929-205-6099 when prompted, enter 994 2605 9447.

Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to view the Public Hearing and all will be provided an opportunity to be heard.

PLANNING BOARD  
TOWN OF LEWISBORO  
By: Janet Andersen  
Chair

Dated: April 30, 2020

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to view or participate in this meeting is encouraged to notify the Administrator to the Planning Board in advance.

Mandia MailingList\_Prop[1]

OWNERNAME	PROPADDRESS	PROPCITY	PROPZIP	TOLBLK	TOLLTOT	CTY	MAILINGADDRESS
KANE, DAVID J.	72 OLD BEDFORD RD	GOLDENS BRIDGE	10526	11116	3	30.4-1-37	
LALLY, CATHARINE M.	60 OLD BEDFORD RD	GOLDENS BRIDGE	10526	11116	5	30.4-1-39	PO BOX 98, GOLDENS BRIDGE, NY 10526
MANDIA, CHARLES J. & JACQUELINE	25 MANDIA LANE	GOLDENS BRIDGE	10526	11111	7	40.1-1-1	PO BOX 739, GOLDENS BRIDGE, NY 10526
NAKAMURA, TAKUJI, SUSAN, REINA, ERICA & YUGO	74 OLD BEDFORD RD	GOLDENS BRIDGE	10526	11116	2	30.4-1-36	213 VAIL LANE, NORTH SALEM, NY 10560
TPF DEVELOPMENT CORP.	68 OLD BEDFORD RD	GOLDENS BRIDGE	10526	11116	1	30.4-1-52	64 LEWIS ST, GREENWICH CT 06830
ULAJ, EJLL & DONIKE	9 PARK AVE	GOLDENS BRIDGE	10526	11113	4	30.4-1-21	38 OLD BEDFORD RD, GOLDENS BRIDGE, NY 10526
MANDIA, BRUCE C. TRUSTEE	10 MANDIA LANE	GOLDENS BRIDGE	10526	11111	4	40.1-1-12	PO BOX 739, GOLDENS BRIDGE 10526
RINALDI, MARK D.	26 MANDIA LANE	GOLDENS BRIDGE	10526	11111	6	40.1-1-8	1 AVERY COURT, WEST HARRISON, NY 10604
GREEN, CHARLES E. & LINDA L.	18 PARK AVE	GOLDENS BRIDGE	10526	11112	5	30.4-1-30	
PREISER, JAYNE	16 PARK AVE	GOLDENS BRIDGE	10526	11112	3	30.4-1-33	
CARTER, TRISIA	3 PARK AVE	GOLDENS BRIDGE	10526	11115	1	30.4-1-24	
QUACKENBUSH, JASON M. & MARCI	15 PARK AVE	GOLDENS BRIDGE	10526	11113	2	30.4-1-20	
ULAJ, EJILL & DONIKE	10 MEADOW ST	GOLDENS BRIDGE	10526	11113	6	30.4-1-23	38 OLD BEDFORD RD, GOLDENS BRIDGE, NY 10526
MANDIA, BRUCE C. TRUSTEE	MANDIA LANE	GOLDENS BRIDGE	10526	-	-	40.1-1-9	ROAD BED AND R.O.W
KING MEADOW STREET REALTY LLC	14 MEADOW ST	GOLDENS BRIDGE	10526	11113	9	30.4-1-17	2 MANDIA LANE. GOLDENS BRIDGE, NY 10526
TOWN OF LEWISBORO	65 OLD BEDFORD RD	GOLDENS BRIDGE	10526	11112	2	30.4-1-32	11 MAIN STREET, SOUTH SALEM, NY 10590
MICI, LAZER & EDITH PERVIZI	54 OLD BEDFORD RD	GOLDENS BRIDGE	10526	11116	8	30.4-1-41	
KING MEADOW STREET REALTY, LLC	18 MEADOW ST	GOLDENS BRIDGE	10526	11113	7	30.4-1-18	2 MANDIA LANE. GOLDENS BRIDGE, NY 10526
GOLDENS BRIDGE, LLC	66 OLD BEDFORD RD	GOLDENS BRIDGE	10526	11116	4	30.4-1-38	64 LEWIS ST, GREENWICH CT 06830
RINALDI, CHARLES D. & JOAN	14 MANDIA LANE	GOLDENS BRIDGE	10526	11111	5	40.1-1-11	1 AVERY COURT, WEST HARRISON, NY 10604
EISERMANN, ANGELA	19 PARK AVE	GOLDENS BRIDGE	10526	11113	1	30.4-1-19	
CITY OF NEW YORK BUREAU OF WATER SUPPLY, TAXES	OLD BEDFORD RD	GOLDENS BRIDGE	10526	11117	1	30.4-1-35	71 SMITH AVE. KINGSTON, NY 12401
ROGERS, STEPHEN B. BAKER, KATHERINE E.	69 OLD BEDFORD RD	GOLDENS BRIDGE	10526	11112	1	30.4-1-31	
CATONE, KEVIN L. & LANDMAN	58 OLD BEDFORD RD	GOLDENS BRIDGE	10526	11116	7	30.4-1-40	
8 PARK AVE., GB, LLC	8 PARK AVE	GOLDENS BRIDGE	10526	11112	4	30.4-1-34	
JAME, MARK E.	7 PARK AVE	GOLDENS BRIDGE	10526	11113	5	30.4-1-22	

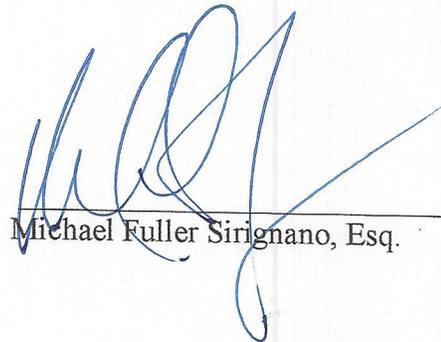
AFFIRMATION OF MAILING

Re: Bruce Mandia & Margaret Carey  
65 Old Bedford Road  
Goldens Bridge, NY

MICHAEL FULLER SIRIGNANO, ESQ., an attorney duly admitted to practice in the Courts of the State of New York with offices at 892 Route 35, Cross River, New York 10518, affirms the following to be true under penalty of perjury:

On May 1, 2020, I mailed a true copy of the annexed April 30, 2020 Notice of Public Hearing by mailing the same by certified mail, return receipt requested in a sealed envelope, with postage prepaid thereon, in a post-office or official depository of the U.S. Postal Service within the State of New York, addressed to the last known mailing addresses of the addressees as listed on the annexed page.

Affirmed: Cross River, NY  
May 1, 2020



Michael Fuller Sirignano, Esq.

7019 1640 0001 9977 3637

**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**GOLDENS BRIDGE, NY 10526**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0026
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	5
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Postage and Fees	\$6.95	

Postmark: 05/01/2020

Sent To: Catherine M. Kelly  
PO Box 98  
Goldens Bridge, NY 10526

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3620

**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**GOLDENS BRIDGE, NY 10526**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0026
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	5
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Postage and Fees	\$6.95	

Postmark: 05/01/2020

Sent To: David J. Kane  
72 Old Bedford Rd  
Goldens Bridge, NY 10526

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3651

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**NORTH SALEM, NY 10560**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0026
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	5
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Postage and Fees	\$6.95	

Postmark: 05/01/2020

Sent To: Susan, Reina, ERICA Taky, Yvonne  
215 Rail Lane  
North Salem NY 10560

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3644

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**GOLDENS BRIDGE, NY 10526**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0026
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	5
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Postage and Fees	\$6.95	

Postmark: 05/01/2020

Sent To: Charles & Jacqueline Mandia  
PO Box 739  
Goldens Bridge, NY 10526

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3682

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**GOLDENS BRIDGE, NY 10526**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0026
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	5
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Postage and Fees	\$6.95	

Postmark: 05/01/2020

Sent To: Bruce C. Mandia, Trustee  
PO Box 739  
Goldens Bridge, NY 10526

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3668

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**GREENWICH, CT 06830**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0026
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	5
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Postage and Fees	\$6.95	

Postmark: 05/01/2020

Sent To: TPF Development Corp.  
64 Lewis St.  
Greenwich, CT 06830

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3675

**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**GOLDENS BRIDGE, NY 10526**

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$2.85
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55

Total Postage and Fees \$8.95

Sent To *Ciel & Don, ke Ulag*  
Street and Apt. No. or PO Box No. *38 Old Bedford Rd*  
City, State, ZIP+4® *Goldens Bridge, NY 10526*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3699

**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**WEST HARRISON, NY 10604**

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$2.85
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55

Total Postage and Fees \$8.95

Sent To *Mark D. Rinaldi*  
Street and Apt. No. or PO Box No. *Valley Ct.*  
City, State, ZIP+4® *West Harrison, NY 10604*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3705

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**GOLDENS BRIDGE, NY 10526**

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$2.85
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55

Total Postage and Fees \$8.95

Sent To *Charles E. & Linda L. Green*  
Street and Apt. No. or PO Box No. *18 Park Ave.*  
City, State, ZIP+4® *Goldens Bridge, NY 10526*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3712

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**GOLDENS BRIDGE, NY 10526**

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$2.85
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55

Total Postage and Fees \$8.95

Sent To *Jayne Preiser*  
Street and Apt. No. or PO Box No. *16 Park Ave*  
City, State, ZIP+4® *Goldens Bridge, NY 10526*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3729

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**GOLDENS BRIDGE, NY 10526**

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$2.85
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55

Total Postage and Fees \$8.95

Sent To *Trisia Carter*  
Street and Apt. No. or PO Box No. *15 Park Ave*  
City, State, ZIP+4® *Goldens Bridge, NY 10526*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3736

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**GOLDENS BRIDGE, NY 10526**

Certified Mail Fee \$3.55

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$2.85
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.55

Total Postage and Fees \$8.95

Sent To *Jason & Mari Quackbush*  
Street and Apt. No. or PO Box No. *15 Park Ave*  
City, State, ZIP+4® *Goldens Bridge, NY 10526*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3743

# CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

GOLDENS BRIDGE, NY 10526

Certified Mail Fee	\$3.55	0026
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Postage and Fees	\$6.95	

Sent To: King Meadow ST. Realty LLC  
2 Mandia lane  
Goldens Bridge, NY 10526

Postmark: MAY 01 2020  
USPS 10518-7135 05/01/2020

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3750

# CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

SOUTH SALEM, NY 10590

Certified Mail Fee	\$3.55	0026
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Postage and Fees	\$6.95	

Sent To: Town of Lewisboro  
11 Main St.  
So. Salem, NY 10590

Postmark: MAY 01 2020  
USPS 10518-7135 05/01/2020

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3767

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

GOLDENS BRIDGE, NY 10526

Certified Mail Fee	\$3.55	0026
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Postage and Fees	\$6.95	

Sent To: Roger McIn Edin Peruzi  
54 Old Bedford Rd  
Goldens Bridge, NY 10526

Postmark: MAY 01 2020  
USPS 10518-7135 05/01/2020

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3774

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

GREENWICH, CT 06830

Certified Mail Fee	\$3.55	0026
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Postage and Fees	\$6.95	

Sent To: Goldens Bridge LLC  
64 Lewis St.  
Greenwich, CT 06830

Postmark: MAY 01 2020  
USPS 10518-7135 05/01/2020

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3781

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

WEST HARRISON, NY 10604

Certified Mail Fee	\$3.55	0026
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Postage and Fees	\$6.95	

Sent To: Charles D. & Joan Rinaldi  
Taverny Ct.  
West Harrison, NY 10604

Postmark: MAY 01 2020  
USPS 10518-7135 05/01/2020

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3798

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

GOLDENS BRIDGE, NY 10526

Certified Mail Fee	\$3.55	0026
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
Total Postage and Fees	\$6.95	

Sent To: Angela Eisenmann  
19 Park Rd  
Goldens Bridge, NY 10526

Postmark: MAY 01 2020  
USPS 10518-7135 05/01/2020

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3804

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**KINGSTON, NY 12401**

**OFFICIAL USE**

Certified Mail Fee \$3.55  
 Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$2.85  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00  
 Postage \$0.55  
 Total Postage and Fees \$6.95

Postmark Here  
 MAY 07 2020  
 USPS 10518-1135

Sent To  
 City of NY Bureau of Water Supply, TAB  
 71 Smith Avenue  
 Kingston, NY 12401

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3811

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**GOLDENS BRIDGE, NY 10526**

**OFFICIAL USE**

Certified Mail Fee \$3.55  
 Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$2.85  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00  
 Postage \$0.55  
 Total Postage and Fees \$6.95

Postmark Here  
 MAY 07 2020  
 USPS 10518-1135

Sent To  
 Stephen B. Ruten & Lawrence C. Ridge  
 89 Old Bedford Rd  
 Goldens Bridge, NY 10526

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3828

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**GOLDENS BRIDGE, NY 10526**

**OFFICIAL USE**

Certified Mail Fee \$3.55  
 Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$2.85  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00  
 Postage \$0.55  
 Total Postage and Fees \$6.95

Postmark Here  
 MAY 07 2020  
 USPS 10518-1135

Sent To  
 Kevin L. Landman Centre  
 58 Old Bedford Rd  
 Goldens Bridge, NY 10526

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3835

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**GOLDENS BRIDGE, NY 10526**

**OFFICIAL USE**

Certified Mail Fee \$3.55  
 Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$2.85  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00  
 Postage \$0.55  
 Total Postage and Fees \$6.95

Postmark Here  
 MAY 07 2020  
 USPS 10518-1135

Sent To  
 8 Park Ave., 9B, LLC  
 8 Park Ave.  
 Goldens Bridge, NY 10526

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 1640 0001 9977 3842

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**GOLDENS BRIDGE, NY 10526**

**OFFICIAL USE**

Certified Mail Fee \$3.55  
 Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$2.85  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00  
 Postage \$0.55  
 Total Postage and Fees \$6.95

Postmark Here  
 MAY 07 2020  
 USPS 10518-1135

Sent To  
 Mark C. Tjorne  
 7 Park Ave.  
 Goldens Bridge, NY 10526

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



National Art Center

NOTICE  
The accuracy of the content of an application before the  
Governance Planning Board  
A notice hearing has been scheduled at which all interested parties  
will be afforded an opportunity to be heard.  
Please contact the Planning Board Secretary at  
614.543.2200  
or visit  
www.huntington.org/planning  
for additional information.



**NOTICE**

This property is the subject of an application before the  
Lewisboro Planning Board.  
A Public Hearing has been scheduled at which time all interested parties  
will be afforded an opportunity to be heard.

*Please contact the Planning Board Secretary at  
914-763-5592*

*or visit*

*[www.lewisboronyc.com](http://www.lewisboronyc.com)*

*for additional information*

**TOWN OF LEWISBORO**  
**Westchester County, New York**



**Planning Board**  
**79 Bouton Road**  
**South Salem, New York 10590**

**Tel: (914) 763-5592**  
**Fax: (914) 875-9148**  
**Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)**

May 1, 2020

The Honorable Ms. Patricia Kalba, Town Clerk  
Town of Somers  
335 Route 202  
Somers, NY 10589

Re: Referral of Public Hearing Notice for 65 Old Bedford Road, Goldens Bridge, NY

Dear Ms. Kalba,

Pursuant to Section 239-nn of the New York General Municipal Law, "The legislative body or other authorized body having jurisdiction in a municipality shall give notice to an adjacent municipality when a hearing is held by such body relating to:

(a) the issuance of a proposed special use permit or the granting of a use variance on property that is within five hundred feet of an adjacent municipality;

(b) site plan review and approval on property that is within five hundred feet of an adjacent municipality;" and Section 277.71 of the Westchester County Code, "...Such notice shall be given at least ten days prior to any such hearing by mail to the clerk of said abutting municipality affected. Such mailing shall be deemed sufficient service under this or any other law requiring notice of any such hearing..."

This letter is to inform you that a public hearing for an Application for Site Development Plan Approval, Special Use Permit and Town Stormwater Permit for 65 Old Bedford Road, Goldens Bridge, NY will be held on Tuesday, May 19, 2020 at or around 7:30 p.m. via the videoconferencing app Zoom.

If you need additional information, please contact me at 914-763-5592.

Sincerely,

Ciorsdan Conran  
Planning Board Administrator

Encl.: Public Hearing Notice for 65 Old Bedford Road, Goldens Bridge, NY

**TOWN OF LEWISBORO**

**NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on Tuesday, May 19, 2020 at 7:30 p.m., or soon thereafter, using the videoconferencing app Zoom, regarding the following:

**Cal #02-20PB**

Application for Site Development Plan Approval, Special Use Permit and Town Stormwater Permit, to the former Goldens Bridge Community House, 65 Old Bedford Road, Goldens Bridge, NY 10526, Sheet 4A, Block 11112, Lot 2 (Town of Lewisboro, owner of record) for conversion of the existing building into four (4), 1-bedroom apartments. The subject property consists of approx. 0.72 acres and is located in a Special Character Two-Family Residential (SCR-2F) Zoning District.

Public health and safety concerns related to the COVID-19 virus mean that the Planning Board will not be meeting in person. Per Governor Cuomo's Executive Order No. 202.1, this meeting will be held via Zoom and a transcript will be provided at a later date. The public will have the opportunity to review digital copies of materials and proposed site documents at <https://www.lewisborogov.com/planningboard>

Interested members of the public are encouraged to provide written comments prior to or during the virtual meeting by emailing Ciorsdan Conran, Planning Board Administrator, at [planning@lewisborogov.com](mailto:planning@lewisborogov.com) Please check the meeting agenda posted on the Board's web page for additional instructions and updates.

The public may view or participate through the Zoom app at <https://zoom.us/j/99426059447> by clicking "Join a Meeting," and entering Meeting ID: 994 2605 9447. You may call in to the Zoom meeting at 1-929-205-6099 when prompted, enter 994 2605 9447.

Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to view the Public Hearing and all will be provided an opportunity to be heard.

**PLANNING BOARD  
TOWN OF LEWISBORO  
By: Janet Andersen  
Chair**

**Dated: April 30, 2020**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to view or participate in this meeting is encouraged to notify the Administrator to the Planning Board in advance.