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Part 1 or 2

MAY 18, 2021 MEETING

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TOWN OF LEWISBORO
Westchester County, New York

Planning Board
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-5592
Fax: (914) 875-9148
Email: planning@lewisborogov.com

AGENDA

Tuesday, May 18, 2021 Meeting will start at 7:30 p.m. and end at or before 11:00 p.m.

Via Zoom videoconferencing and live streaming to Lewisboro TV YouTube channel

Join the Zoom Meeting https://zoom.us/j/96726251981?pwd=NWhibGJqZ214dUNXdFNNeGJDZHFQQT09
Meeting ID: 967 2625 1981 Passcode: 326155
You may call in to the Zoom meeting at 1-929-205-6099 when prompted, enter 967 2625 1981

https://www.youtube.com/channel/UCNUNE5gXs5rnHcyR4l6dikA

I. EXTENSION OF TIME REQUEST

Cal #66-17WP, Cal #12-17SW
Dedvukaj Residence, 170 Elmwood Road, South Salem, NY 10590, Sheet 47, Block 10056, Lot 38 (Yuliya and Zef Dedvukaj, owners of record) – Application for a single-family residence, driveway, septic system and well.

II. WETLAND VIOLATIONS

Cal #02-19WV, Cal #60-19WP, Cal #14-19SW
Kullman Residence, 12 Red Coat Lane, Waccabuc, NY 10597, Sheet 26, Block 11155, Lot 92 (Michael and Susan Kullman, owners of record)

Cal #03-20WV, Cal #29-21WP
3 Beaver Pond, South Salem, NY 10590 – site visit report.

III. SKETCH PLAN REVIEW

Cal #01-15PB
Copia Garden Center, 475 Smith Ridge Road, South Salem, Sheet 53, Block 9834, Lot 35 (Organic Choice, Inc., owner of record) - Application for Sketch Plan Review/Site Development Plan for unfinished improvements to the existing Copia Garden Center and expansion of the existing use onto adjacent tax parcel – site visit report.

Cal #01-21PB, #08-21WP
Vista Market, 469 Smith Ridge Road, South Salem, NY 10590, Sheet 53, Block 9834, Lots 32, 33 & 34 (Visnor Property, LLC, owner of record) - Application for the installation of fuel dispensers.

IV. WAIVER OF SITE DEVELOPMENT PLAN PROCEDURE

Cal #03-21PB
Cameron's Deli Expansion, 890 Route 53, Cross River, NY 10518, Sheet 20, Block 10801, Lot 30 (Central Ave., White Plains, LLC., owner of record) - Application for a change of use.

V. SITE DEVELOPMENT PLAN REVIEW

Cal #06-17PB
Wolf Conservation Center, Buck Run, South Salem, NY 10590, Sheet 21, Block 10803, Lots 3, 65, 67, 81, 82, 83, 86 & 88 (Wolf Conservation Center, owner of record) - Application for a Site Development Plan Approval, Special Use Permit and Subdivision associated with a private nature preserve.

VI. WETLAND PERMIT REVIEWS

Cal #31-21WP
21 Lake Shore Drive Dock, 21 Lake Shore Drive, South Salem, NY 10590, Sheet 36H, Block 11174, Lot 25 (21 Lake Shore Drive, LLC, owner of record) – Application for a floating dock.

Cal #32-21WP
DeAngelis Garage, 34 Old Pond Road, South Salem, NY, Sheet 33C, Block 11368, Lots 12 & 29 (The Louis A. DeAngelis and Olga I. Irrevocable Trust, owners of record) – Application for the demolition of a garage and construction of a garage.

VII. SCHEDULE SITE VISIT

Cal #28-21WP, #04-21SW
Fries Residence, 54 Bishop Park Road, Pound Ridge, NY 10576, Sheet 25, Block 10274, Lot 10 (Daniel Fries and Hanako Shimizu-Fries, owners of record) – Application for construction of a deck, garage and office addition.

VIII. DISCUSSION

Cal #pending
Truesdale Lake Property Owners Association, Hoyt Street paper road, located between: Sheet 36A, Block 11172, Lot 34 and Sheet 36A, Block 10810, Lot 62 (Truesdale Lake Property Owners Association, Inc., owner of record) – Application for a lot-line change.

IX. MINUTES OF April 20, 2021.

X. NEXT MEETING DATE: JUNE 15, 2021.

TO: Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: Dedvukaj Residence -
170 Elmwood Road, South Salem

DATE: May 12, 2021

The CAC has a concern that no effective mitigation plan currently exists for the170 Elmwood Road property. It was determined when approval was given two years ago, that an onsite mitigation plan would not be presented to the Planning Board as part of the approval. In its place the applicant proposed to contribute a sum of money towards replacing the culvert pipe under Elmwood. The culvert has been deemed to be too small in certain conditions causing flooding of Elmwood Road. This, in effect, is considered to be off-site. The Town of Lewisboro applied for a grant to cover the majority of the cost, but to date, no grant has been approved or received.

The CAC wetland code section 217-8 sates that for off-site mitigation the applicant must have control of the property (see below), which is not the case for 170 Elmwood Road.

The CAC, in its role of advising on wetland activity and mitigation, has a concern that without the culvert being replaced, there is no mitigation, which is required by the ordinance. The CAC would like to see the Planning Board revisit this application via the extension request to get assurances (from the Town of Lewisboro) that the culvert will be fixed prior to construction on the property or that the applicant provide and alternative for one-to-one mitigation.

§ 217-8 ***Standards for activity permit decisions.***

For the purposes of mitigation, losses of buffer areas will be viewed as losses of wetlands and watercourses. On-site mitigation shall be the preferred approach; off-site mitigation shall be permitted only in cases where an on-site alternative is not possible ***and the applicant has control of the off-site property.***

CRONIN
ENGINEERING P.E., P.C.
Professional Engineering & Consulting

39 Arlo Lane
Cortlandt Manor, NY 10567
T: (914) 736-3664 F: (914) 736-3693

April 14, 2021

Jan Johannessen, AICP
Principal
Kellard Sessions
500 Main Street
Armonk, NY 10504

Re: Dedvukaj – Single Family Residence
170 Elmwood Road
Wetland Activity Permit #66-17 WP
Stormwater Permit #12-17 SW

Dear Mr. Johannessen:

The above referenced project requires an extension of approval for both the Wetland Activity Permit as well as the Stormwater Permit. Both permits area still valid and are to expire June 19, 2021.

To date, no work has been performed on the site. A preconstruction meeting was conducted on April 07, 2021 at the site to go over the next steps for the project. A Building Permit is expected to be obtained shortly.

Due to the recent and current pandemic, the Applicant/Owner put the project on hold, but is now ready to pursue the project and start construction.

Nothing has changed on site since the time approvals were granted except that a couple of trees located on the edge of the road were felled by the Town.

There have been no changes in the facts or circumstances involved with or affecting the regulated resource area affected by the authorized activity or use or the property for which the expiring activity permit approvals were issued.

Based on the above information the Applicant/Owner is respectfully requesting that the permits be extended.

Respectfully submitted,

Keith Staudohar
Project Engineer
Cronin Engineering P.E. P.C.

cc: Zef Dedvukaj, via email
Ciorsdan Conran via email.
Tim Cronin via email

dedvukaj-johannessen-sdp-wetland and stormwater permit renewal request-20210414.doc

NOTICE OF

Town of Lewisboro

Wetlands Activity Permit

66-17 WP

(To Be Posted In A Conspicuous Location)

Date: 12.1819

Issued by: _____
Wetlands Inspector

Expires: 6.19.21

NOTICE OF

Town of Lewisboro

Stormwater Permit

12·17 SW

(To Be Posted In A Conspicuous Location)

Date: 12·18·19 Issued by: _____

Stormwater Management Officer

Expires: 6·19·21

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3
21 South Putt Corners Road, New Paltz, NY 12561-1620
P: (845) 256-3054 | F: (845) 255-4659
www.dec.ny.gov

NEW YORK STATE OF OPPORTUNITY | Department of Environmental Conservation

April 20, 2021

VIA EMAIL

Zef Dedvukaj
Zef.dedvukaj@aecom.com

Re: Dedvukaj Property
Town of Lewisboro, Westchester County
DEC Permits #: 3-5530-00231/00001 and 2
Permit Reissuance

Dear Zef,

The NYS Department of Environmental Conservation (DEC) issued the above-referenced permit to you on December 3, 2018 and authorized disturbances to a tributary of Scotts Reservoir (DEC Waters Index No. Conn. 10-P 1111 and tribs, Class AA-S) associated with the construction of a bridge carrying a driveway for a proposed single family residence. This permit expired on December 31, 2020.

Steven Danzer of CT Wetlands Consultants has requested reissuance of this permit on your behalf. In the reissuance request, received via email on April 14, 2021, work was not initiated on the project, but it is ultimately still planned to be undertaken. According to Mr. Danzer's request, there are no changes or modifications to the proposed project, or the plans authorized by DEC Permit 3-5530-00231/00001.

Accordingly, DEC permits 3-5530-00231/00001 and 2 are hereby reissued, effective date April 14, 2021, expiration date December 31, 2026.

ALL OTHER TERMS AND CONDITIONS REMAIN AS WRITTEN IN THE ORIGINAL PERMIT.

Please attach this reissuance notice to the front of your permit. A new permit sign is enclosed. If there are any questions, please feel free to contact me at christopher.lang@dec.ny.gov.

Sincerely,

Chris Lang
Environmental Analyst

ecc: Josh Fisher, DEC Bureau of Ecosystem Health
Town of Lewisboro
Alexandra Ryan, US Army Corps of Engineers
Steven Danzer, CT Wetlands Consultants

New York State

Department of Environmental Conservation

NOTICE

The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Department condition on it, contact the DEC at 845-256-3054. Please refer to the permit number shown when contacting the DEC.

Permittee: Zef Dedvukaj

Permit No. 3-5530-00231/00001

Effective Date: April 20, 2021

Expiration Date: December 31, 2026

❑ **Applicable if checked. No instream work allowed between October 1 & April 30**

NOTE: This notice is NOT a permit.

BIBBO ASSOCIATES, L.L.P.
Consulting Engineers

Timothy S. Allen, P.E.
Nicholas Gaboury, P.E.
Matthew J. Gironda, P.E.

April 22, 2021

Town of Lewisboro Building Department
79 Bouton Road
Lewisboro, NY 10590

Attn: Mr. Jan Johannessen, AICP
Town Planning Consultant

Re: Kullman Residence
Administrative Wetland Permit
12 Redcoat Lane
Lewisboro – (T)
Tax ID # 26-11152-92

Dear Mr. Johannessen:

In connection with a previously issued Wetland Violation and subsequent administrative Wetland Permit at the above noted property enclosed are the following items:

- 1 Copy – NYSDEC Notice of Termination, dated 4-22-21.

Construction of the proposed site improvements and associated stormwater management facilities for which the previously noted administrative Wetland permit was issued are complete and are in general conformance with the project drawings and conditions of approval.

We trust this letter and enclosed Notice of Termination are sufficient for permit close-out. As always should you have any questions regarding this matter please feel free to contact our office.

Sincerely,

Timothy S. Allen, P.E.

MJG
Enclosures
cc: M. Rajovic (e-mail w/ enclosures)
File

Site Design • Environmental

Mill Pond Offices · 293 Route 100 · Suite 203 · Somers, New York 10589
Phone: 914.277.5805 · Fax: 914.277.8210
Website: www.bibboassociates.com · E-mail: bibbo@bibboassociates.com

New York State Department of Environmental Conservation
Division of Water
625 Broadway, 4th Floor
Albany, New York 12233-3505
(NOTE: Submit completed form to address above)

NOTICE OF TERMINATION for Storm Water Discharges Authorized under the SPDES General Permit for Construction Activity

Please indicate your permit identification number: NYR 1 1 H 0 4 3

I. Owner or Operator Information

1. Owner/Operator Name: MICHAEL J. KULLMAN
2. Street Address: 12 REDCOAT LANE
3. City/State/Zip: WACCABUC, NY 10597
4. Contact Person: MILO RAJOVIC | 4a. Telephone: 914-403-6238
4b. Contact Person E-Mail: MARRX300@GMAIL.COM

II. Project Site Information

5. Project/Site Name: KULLMAN RESIDENCE
6. Street Address: 12 REDCOAT LANE
7. City/Zip: WACCABUC, 10597
8. County: WESTCHESTER

III. Reason for Termination

9a. ☑ All disturbed areas have achieved final stabilization in accordance with the general permit and SWPPP. ***Date final stabilization completed** (month/year): 4/2021

9b. ☐ Permit coverage has been transferred to new owner/operator. Indicate new owner/operator's permit identification number: NYR ___ ___ ___ ___ ___ ___
(Note: Permit coverage can not be terminated by owner identified in I.1. above until new owner/operator obtains coverage under the general permit)

9c. ☐ Other (Explain on Page 2)

IV. Final Site Information:

10a. Did this construction activity require the development of a SWPPP that includes post-construction stormwater management practices? ☐ yes ☒ no (If no, go to question 10f.)

10b. Have all post-construction stormwater management practices included in the final SWPPP been constructed? ☐ yes ☐ no (If no, explain on Page 2)

10c. Identify the entity responsible for long-term operation and maintenance of practice(s)?

_____

NOTICE OF TERMINATION for Storm Water Discharges Authorized under the SPDES General Permit for Construction Activity - continued

10d. Has the entity responsible for long-term operation and maintenance been given a copy of the operation and maintenance plan required by the general permit? ☐ yes ☐ no

10e. Indicate the method used to ensure long-term operation and maintenance of the post-construction stormwater management practice(s):

☐ Post-construction stormwater management practice(s) and any right-of-way(s) needed to maintain practice(s) have been deeded to the municipality.

☐ Executed maintenance agreement is in place with the municipality that will maintain the post-construction stormwater management practice(s).

☐ For post-construction stormwater management practices that are privately owned, a mechanism is in place that requires operation and maintenance of the practice(s) in accordance with the operation and maintenance plan, such as a deed covenant in the owner or operator's deed of record.

☐ For post-construction stormwater management practices that are owned by a public or private institution (e.g. school, university or hospital), government agency or authority, or public utility; policy and procedures are in place that ensures operation and maintenance of the practice(s) in accordance with the operation and maintenance plan.

10f. Provide the total area of impervious surface (i.e. roof, pavement, concrete, gravel, etc.) constructed within the disturbance area? 0.1 (acres)

11. Is this project subject to the requirements of a regulated, traditional land use control MS4? ☑ yes ☐ no

(If Yes, complete section VI - "MS4 Acceptance" statement

V. Additional Information/Explanation:

(Use this section to answer questions 9c. and 10b., if applicable)

VI. MS4 Acceptance - MS4 Official (principal executive officer or ranking elected official) or Duly Authorized Representative (Note: Not required when 9b. is checked -transfer of coverage)

I have determined that it is acceptable for the owner or operator of the construction project identified in question 5 to submit the Notice of Termination at this time.

Printed Name:

Title/Position:

Signature: | Date:

NOTICE OF TERMINATION for Storm Water Discharges Authorized under the SPDES General Permit for Construction Activity - continued

VII. Qualified Inspector Certification - Final Stabilization:

I hereby certify that all disturbed areas have achieved final stabilization as defined in the current version of the general permit, and that all temporary, structural erosion and sediment control measures have been removed. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings.

Printed Name: TIMOTHY S. ALLEN, P.E.	
Title/Position: PROJECT ENGINEER	
Signature:	Date: 4-22-21

VIII. Qualified Inspector Certification - Post-construction Stormwater Management Practice(s):

I hereby certify that all post-construction stormwater management practices have been constructed in conformance with the SWPPP. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings.

Printed Name:	
Title/Position:	
Signature:	Date:

IX. Owner or Operator Certification

I hereby certify that this document was prepared by me or under my direction or supervision. My determination, based upon my inquiry of the person(s) who managed the construction activity, or those persons directly responsible for gathering the information, is that the information provided in this document is true, accurate and complete. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings.

Printed Name: Milo Rasovic	
Title/Position: Owner Rep.	
Signature:	Date: 4/23/21

(NYS DEC Notice of Termination - January 2015)

PLANNING BOARD OF THE TOWN OF LEWISBORO
COUNTY OF WESTCHESTER: STATE OF NEW YORK

_____X

In the Matter of the

KULLMAN RESIDENCE

Cal #02-19WV
Cal #60-19WP
Cal #14-19SW

_____X

COUNTY OF WESTCHESTER)
) ss.:
STATE OF NEW YORK)

Milo Rajovic, being duly sworn, deposes and says:

1. I am President of Marex Management, Inc., the landscaping contractor employed at the Kullman residence located at 12 Redcoat Lane, Waccabuc, New York 10597 ("Marex").

2. Marex installed all mitigation plants at the Kullman residence as shown on and in accordance with the approved wetlands mitigation plan dated June 22, 2020 and the August 13, 2020 Wetland Implementation Permit issued by the Wetland Inspector.

3. I understand the Town of Lewisboro and its Planning Board are relying on this affidavit as proof that the required plantings have been made.

WHEREFORE, I respectfully request the Planning Board to accept this affidavit and certification in lieu of an as-built planting plan prepared by a landscape architect.

Sworn to before me
this 23rd day of April, 2021

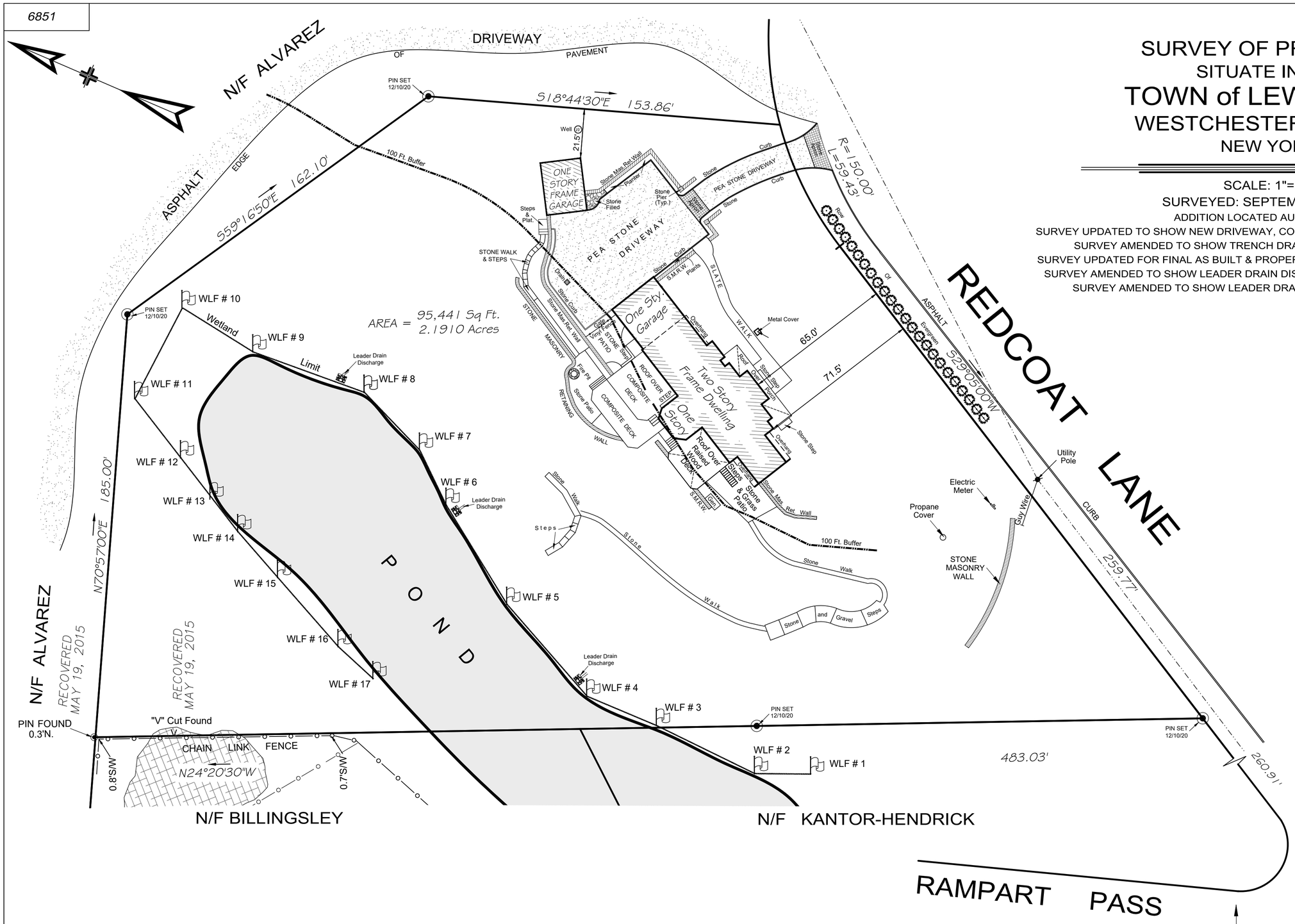
MILO RAJOVIC

MICHAEL F SIRIGNANO
Notary Public, State of New York
No. 4709295
Qualified in Westchester County
Commission Expires January 31, 2022

6851

SURVEY OF PROPERTY
SITUATE IN THE
TOWN of LEWISBORO
WESTCHESTER COUNTY
NEW YORK

SCALE: 1"= 30'
SURVEYED: SEPTEMBER 27,2013
ADDITION LOCATED AUGUST 29,2014
SURVEY UPDATED TO SHOW NEW DRIVEWAY, COURTYARD & GARAGE: JANUARY 28, 2020
SURVEY AMENDED TO SHOW TRENCH DRAIN REMOVED: JANUARY 30, 2020
SURVEY UPDATED FOR FINAL AS BUILT & PROPERTY MARKERS SET: DECEMBER 10, 2020
SURVEY AMENDED TO SHOW LEADER DRAIN DISCHARGE LOCATIONS: MARCH 17, 2021
SURVEY AMENDED TO SHOW LEADER DRAIN DISCHARGES: MARCH 17, 2021



- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE
  TOWN OF LEWISBORO
  SHEET 24 * BLOCK 11155 * LOT 92
- THE PREMISES SHOWN HEREON BEING THE SAME AS DESCRIBED IN CONTROL No. 412130002 AND FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE DIVISION OF LAND RECORDS.

  THE PREMISES SHOWN HEREON BEING A PORTION OF PARCEL "A" AS SHOWN ON "SUBDIVISION MAP OF PROPERTY SECTION No. ONE WACCABUC HOMES AND FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE DIVISION OF LAND RECORDS ON AUG.24,1964 AS MAP No. 14027.
- SURVEY IS SUBJECT TO ANY STATE OF FACTS WHICH AN UP-TO-DATE TITLE EXAMINATION MAY DISCLOSE.
- THE OFFSETS SHOWN HEREON ARE FOR INFORMATIONAL PURPOSE ONLY. OFFSETS ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.

- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING " CODE OF PRACTICE FOR LAND SURVEYS " ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR:

MICHAEL KULLMAN

Link
Land Surveyors P.C.
21 Clark Place Suite 1B
Mahopac N.Y. 10541
Phone 845-628-5857
Fax 845-621-0013

STATE OF NEW YORK
ERIK J. LINK
LICENSED LAND SURVEYOR

ERIK J. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR NO. 050542

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WETLAND CERTIFICATE OF COMPLIANCE

TOWN OF LEWISBORO

Town Offices
79 Bouton Road, South Salem, New York 10590
Phone: (914) 763-3060
Fax: (914) 533-0097

Date: May 10, 2021 Permit #: 60-19 W.P. & 2-19 W.V.

Permit issued to: Michael Kullman
12 Redcoat Lane

Project location: 12 Redcoat Lane

Sheet: 26 Block: 11155 Lot(s): 92

Date of Inspection: May 6, 2021

Comments: All work has been completed in substantial accordance with the Wetland Implementation Permit and the site is stabilized.

The above referenced parcel(s) has been inspected and a determination has been made that work conducted within the regulated area has been completed in substantial accordance with the issued Wetland Activity Permit and the provisions of Chapter 217 of the Town of Lewisboro Town Code.

Jan K. Johannessen
Jan K. Johannessen, AICP
Kellard Sessions Consulting

May 10, 2021
Date

STORMWATER CERTIFICATE OF COMPLIANCE

TOWN OF LEWISBORO

Town Offices
79 Bouton Road, South Salem, New York 10590
Phone: (914) 763-3060
Fax: (914) 533-0097

Date: May 10, 2021 Permit #: 14-19 S.W.

Permit issued to: Michael Kullman
12 Redcoat Lane

Project location: 12 Redcoat Lane

Sheet: 26 Block: 11155 Lot(s): 92

Date of Inspection: May 6, 2021

Comments: All work on site has been completed in substantial accordance with the Town of Lewisboro Stormwater Permit and the site is stabilized.

The above referenced parcel(s) has been inspected and a determination has been made that work conducted on the subject property has been completed in substantial accordance with the issued Town Stormwater Permit and the provisions of Chapter 189 of the Town of Lewisboro Town Code.

Consulting Town Engineer — 5-10-21 Date

Stormwater Management Officer — 5/11/21 Date

Marex Management, Inc.

Oak Ridge Commons
P.O. Box 393
Waccabuc, New York 10597

estimate

November 19,2020

Dr. and Mrs. Kullman
12 Red Coat Lane
Waccabuc, N.Y. 10597

In Reference to: bibbo associates drainage improvements plans
As per your request below is a breakdown of work

- Create 225 linear feet of vegetated swale for storm water treatment
- Rake out, seed and straw swale as per plan
- Install three (3) Rip Rap stone spillways as per plan
- Pick up three (3) separate existing 4" drainage pipes and extend down to new vegetated swale
- Using 4" sdr-35 piping 260 linear feet
- Install three (3) rock inlets at pipe discharge to swale
- Backfill smooth upon completion
- Install 300 linear feet silt fence prior to starting work as per plan

Cost for above work	$21,500.00
• Purchase of plants and shrubs as per plan	4,276.00
• Labor on planting and feeding new plants as per plan	3,375.00
Marex Mgmt.Inc supervision for work above	5,830.00
TOTAL COST FOR PROJECT	$34,981.00

Builders of Fine Custom Home for over 35 Years

STORMWATER CERTIFICATE OF COMPLIANCE

TOWN OF LEWISBORO

Town Offices
79 Bouton Road, South Salem, New York 10590
Phone: (914) 763-3060
Fax: (914) 533-0097

Date: May 10, 2021 Permit #: 14-19 S.W.

Permit issued to: Michael Kullman
12 Redcoat Lane

Project location: 12 Redcoat Lane

Sheet: 26 Block: 11155 Lot(s): 92

Date of Inspection: May 6, 2021

Comments: All work on site has been completed in substantial accordance with the Town of Lewisboro Stormwater Permit and the site is stabilized.

The above referenced parcel(s) has been inspected and a determination has been made that work conducted on the subject property has been completed in substantial accordance with the issued Town Stormwater Permit and the provisions of Chapter 189 of the Town of Lewisboro Town Code.

Consulting Town Engineer — 5-10-21 Date

Stormwater Management Officer — 5/11/21 Date

3 Beaver Pond Residence

Tree Removal Project

Proposed/ Completed Work
11 Trees removed that were dead broken and created **imminent** danger to our family and home.
Mulch (recycle) trees
Back Blade and Grade area behind the wall where trees were removed for safety
(Completed by Licensed professional)

Benefits of Mulching trees

- Mulch is a natural resource. Provides nutrients to soil
- Helps Plants and Trees grow more efficiently
- Mulch helps prevent invasive species in woodland areas.
- National Land Trust Recommends mulching for restoring forests.
- Mulch develops soil enzymes to activate new and healthy growth
- Helps filter runoff
- Absorbs rain drop energy
- Helps maintain healthy filtration of rainwater
- Used for erosion control
- Helps retard velocity of runoff
- Fire prevention

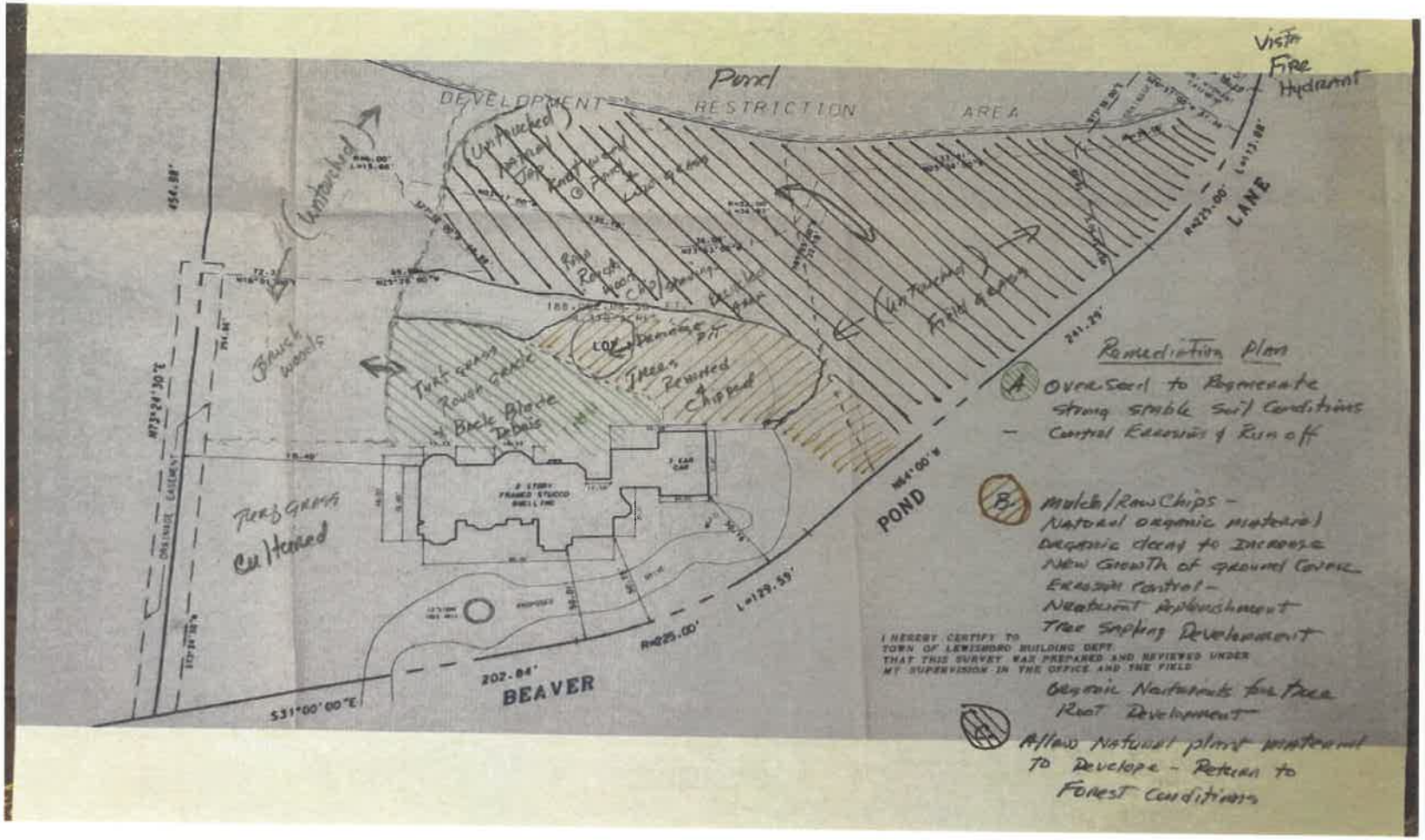
Back Blade and Grade

- Back blading to remove prikers/ brush and poison Ivy/Oak.
- Make the surface safe where trees were removed
- The removal of brush is helpful to our safety as well as fire prevention

Property Photo's of dead/ Broken Trees

Tree's that created a danger to our family's safety and Property.

Site Plan


Pond
DEVELOPMENT RESTRICTION AREA
Vista
Fire Hydrant
LANE
POND
BEAVER
202.84'
R=225.00'
L=129.59'
S31°00'00"E
N64°00'W
241.29'
Remediation Plan
A Overseed to Regenerate Strong Stable Soil Conditions
- Control Erosion & Run off
B Mulch/Raw Chips -
Natural organic material
Organic decay to Increase
New Growth of ground cover
Erosion control -
Nutrient Replenishment
Tree Sapling Development
Organic Nutrients for Tree
Root Development
Allow Natural plant material
to Develope - Return to
Forest Conditions
I HEREBY CERTIFY TO
TOWN OF LEWISBORO BUILDING DEPT.
THAT THIS SURVEY WAS PREPARED AND REVIEWED UNDER
MY SUPERVISION IN THE OFFICE AND THE FIELD
Black woods
Tree Grass
Cultivated
Lot Remains
Trees Removed & Chipped
Twist grass
Rough Grass
Black Blade
Debris
DRAINAGE EASEMENT
N73°24'30"E
154.88'
74.16'
110°24'30"W
188.00'
2 STORY FRAMED STUCCO DWELLING
2 CAR GAR
PROPOSED

Current Growth

*grass growing behind the wall. A healthy lawn **increases soil stability** through its deep and expansive root structure which **reduces land degradation and erosion** from wind and water. Grass is also a Pollution Filter.
*Japanese knot weed returning as expected
* Migrating wildlife, creating habitats (Geese/ Wood peckers/blue birds etc. Deer/ rabbits)
*Our plan is to Allow for plant material to grow and develop and land to remain in its natural condition.

TO: The Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: Copia Garden Center, 475 Smith Ridge Road, South Salem South Salem, NY 10590

DATE: April 8, 2021

The Conservation Advisory Council (CAC), based on input from neighboring property owners, has the following concerns about the use and expansion of the Copia Garden Center:

- Diesel trucks left idling, including overnight, causing exhaust and noise pollution
- Heavy traffic concerns for trucks unloading at the center (noise pollution).
- Signs in the front of the center interfering with line of vision at the intersection of East Street and route 123.
- Copia has a wetland across the Rt 123, a watershed area to the east and a storm sewer in front. There is a concern that spills of soil and other material are draining off the property into the wetland across route 123, into the storm sewer and the water shed area.

KELLARD SESSIONS

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Joseph Angiello

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM
Town Consulting Professionals

DATE: May 13, 2021

RE: Site Development Plan Approval, Special Use Permit, and Wetland Activity Permit
Vista Market (Aashi, LLC)
469 Smith Ridge Road
Sheet 53, Block 9834, Lots 32, 33, & 34

PROJECT DESCRIPTION

The subject property consists of three (3) parcels of land totaling ±3.41 acres and located at 469 Smith Ridge Road within the RB and R-1A Zoning Districts. The subject property is developed with several buildings and uses, including the Vista Market, a dwelling, and a former church. A portion of the property is also being used by the adjacent landscape nursery use for storage of plant material (located within the R-1A Zone). The applicant is proposing the installation of two (2) fuel dispensers beneath a canopy on the south side of the Market. Improvements are also proposed at the entrances to better define ingress and egress, parking spaces, and site landscaping. A portion of the subject property is located within the locally regulated wetland buffer.

SEQRA

The proposed action has been preliminarily identified as an Unlisted Action under the State Environmental Quality Review Act (SEQRA). Prior to taking action on this pending application, the Planning Board must issue a determination of significance.

REQUIRED APPROVALS/REFERRALS

1. Site Development Plan Approval, a Wetland Activity Permit, and a Special Use Permit are required from the Planning Board; a public hearing is required to be held.

2. Work proposed with the right-of-way will require a Highway Work Permit from the New York State Department of Transportation (NYSDOT).

3. The application should be referred to the Architecture and Community Appearance Review Council (ACARC).

4. The application must be referred to the Westchester County Planning Board in accordance with Section 239-m of the General Municipal Law. The Planning Board Administrator will coordinate this referral.

COMMENTS

1. This office defers review of the plan for zoning and parking compliance to the Building Inspector. It is recommended that the application be referred to the Building Inspector for review.

2. The subject property consists of three (3) parcels; will any of these parcels be merged, lot lines realigned, or easements proposed?

3. The applicant must demonstrate compliance with Section 220-43.7, Gasoline Service Stations, of the Zoning Code. Items, such as minimum lot area, setbacks, distance from other uses, location of pumps and canopies, etc., may affect the current proposal.

4. The applicant shall submit a business plan which shall provide a detailed description of the proposed use and its operation. The business plan shall include a title and date for reference purposes.

5. The applicant shall submit an updated Existing Conditions Survey (boundary and 1-foot contours with spot elevations), signed and sealed by a NYS Licensed Land Surveyor.

6. Existing and proposed finish floor elevations and spot elevations shall be provided.

7. All existing drainage improvements and discharge locations shall be illustrated with elevations provided. It is recommended stormwater management and water quality improvements be incorporated into the design, particularly due to the proposed use.

8. Zoning setback lines shall appear on all sheets.

9. The Bulk Zoning Table shall be revised to compare the requirements of the underlying zoning district to the existing and proposed condition; several necessary items on this table have been left blank. Required variances and existing nonconformities shall be noted below the table.

10. The site plan shall include a parking calculation demonstrating compliance with the off-street parking requirements provided under Section 220-56 of the Zoning Code. In order to confirm the parking calculation as being accurate, the applicant shall provide a floor plan or key plan which graphically shades or depicts the various uses that are included in the parking calculation/requirement along with associated floor areas (s.f.).

11. Depending on the number of parking spaces required/needed, consideration should be given to land-banking parking spaces that are not needed at this time in lieu of greenspace.

12. Given the one-way proposed circulation pattern on the north side of the market, the applicant should consider reducing the drive aisle width (currently proposed at 25 feet) so that a landscape island could be provided between the opposing rows of parking spaces.

13. The proposed action will require a NYSDOT Permit and we recommend that the applicant engage the NYSDOT early on in the planning process to obtain their feedback.

14. The fuel tank locations shall be illustrated on the plan; will diesel fuel be provided?

15. Provide a fuel truck delivery turning and maneuvering plan.

16. The plan shall illustrate and quantify the limits of disturbance (s.f.). The plan shall note that disturbance limits shall be staked in the field prior to construction.

17. Include erosion control measures on the plan, including, but not limited to, temporary construction access, silt fence, inlet protection, tree protection, construction sequence, etc. Details shall be provided and shall be in conformance with the most recent version of the New York State Standards and Specifications for Erosion and Sediment Control.

18. The as-built of the septic system shall be provided to demonstrate that work proposed over the system will not create an impact.

19. The applicant shall develop a wetland mitigation plan which provides, at a minimum, mitigation at a ratio of 1:1 (for every s.f. of wetland or wetland buffer disturbance proposed, an equal or greater amount of mitigation shall be provided). It is recommended that wetland mitigation take the form of stormwater quality improvements.

20. A detailed lighting plan, demonstrating compliance with Sections 220-14 of the Zoning Code, shall be submitted for review. Illuminance levels shall be measured in footcandles and shall be depicted via a photometric plan identifying proposed footcandle measurements every 10 feet and extending over the property line by at least 20 feet. The following illuminance measurements shall be provided in tabular form on the plan: maximum, minimum, average during operation and non-operating hours, maximum to minimum ratio, and average to minimum ratio.

21. The applicant shall prepare and submit and landscaping plan demonstrating compliance with Section 220-15 and 220-55E of the Zoning Code. The plan shall illustrate the location of all proposed plants and shall include a corresponding plant schedule identifying the specie type, size and quantity of all proposed plant material. Cross-section installation details shall be provided for proposed trees and shrubs, as applicable.

22. The proposed location for the utility pole to be relocated shall be illustrated.

23. Please illustrate all existing and proposed utility connections (electric, water, sewer, etc.)

24. Provide floor plans and elevations for the Market; provide floor plans for the dwelling and identify the number of existing units/bedrooms.

25. As previously discussed, the expansion of the nursery use (storage of plant material), which is taking place at the rear of the subject property, is not permissible under the Zoning Code.

26. The applicant shall prepare and submit Parts 1 and 2 of the Short Environmental Assessment Form (EAF) for review.

27. The applicant shall submit a wetland permit application, as required. The following comments pertains to the submitted application form:

    a. Provide the owner's email address and phone number.
    b. Complete the agent's information section.
    c. The applicant must sign and date the form.

28. The Planning Board's standard signature blocks shall appear on all sheets.

29. The names of the adjacent property owners and the location of any neighboring driveways, structures, buildings, wells and septic areas shall appear on the plan.

30. It is recommended that the application be referred to the fire department for review.

31. It is recommended that the Planning Board conduct a site visit.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY PROVIDENT DESIGN ENGINEERING, DATED APRIL 12, 2021:

- Existing Conditions Plan (Dwg. No. C-101)
- Overall Site Plan (Dwg. No. C-102)
- Site Plan (Dwg. No. C-103)
- Detail Sheet (Dwg. No. D-101)
- Fuel Pump Detail

PLANS REVIEWED, PREPARED BY VFS, LLC, DATED JULY 2, 2020:

- Foundation Plan (Sheet CA1 of 2)
- Framing Plan (Sheet CA2 of 2)

DOCUMENTS REVIEWED:

- Cover letter, prepared by Provident Design Engineering, dated April 12, 2021
- Town of Lewisboro Site Development Plan Application
- Deed

JKJ/dc

C:\USERS\DCINGUINA\KELLARD SESSIONS CONSULTING\KELSES - MUNICIPAL (T)\LEWISBORO\CORRESPONDENCE\2021-05-13_LWPB_VISTA MARKET - 469 SMITH RIDGE ROAD_REVIEW MEMO.DOCX

TO: The Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Adivsory Council

SUBJECT: **Vista Market, 469 Smith Ridge Road, South Salem, NY 10590**

DATE: February 11, 2021

The Conservation Advisory Council (CAC) has reviewed the materials recently submitted by the applicant. The CAC would like to see the details of the storm water prevention plan to address runoff from the parking lot, fuel dispensers and roof covering the dispensers. Areas with gas pumps typically contain accumulated gas, oil and grease from the cars. The CAC would like the storm water/runoff prevention plan to demonstrate how these will be prevented from entering the wetland. The CAC would like to see details for the wetland mitigation including designated areas and the type of mitigation to be provided. The CAC would also like to see additional information about a plan for the prevention of leakage from the fuel tanks.

TO: The Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: **Vista Market, 469 Smith Ridge Road, South Salem, NY 10590**

DATE: May 12, 2021

The Conservation Advisory Council (CAC) has reviewed the materials recently submitted by the applicant. The CAC would like to see the details of the storm water prevention plan to address runoff from the parking lot, fuel dispensers and roof covering the dispensers. Areas with gas pumps typically contain accumulated gas, oil and grease from the cars. The CAC would like the storm water/runoff prevention plan to demonstrate how these will be prevented from entering the wetland. The CAC would like to see details for the wetland mitigation including designated areas and the type of mitigation to be provided. The CAC would also like to see additional information about a plan for the prevention of leakage from the fuel tanks.

The CAC has also received input from concerned members of the community about the amount of litter that appears to be generated by customers of Vista Market. This gives rise to concern that the fuel pumps driving addition traffic will make this problem worse. The CAC would like to see this concern discussed with the applicant.

Provident
design engineering
7 Skyline Drive, Hawthorne, NY 10532
Tel: (914) 592-4040 www.pderesults.com

January 11, 2020

Hon. Janet Andersen
Chairman of the Town of Lewisboro Planning Board
and Members of the Board
79 Bouton Road
South Salem, New York 10590

Regarding: Site Plan
Vista Market
469 Smith Ridge Road

Dear Chairman Andersen and members of the Planning Board

Our firm, represents Aashi, LLC, Vista Market, the applicant for an approximately 3.4 acre property located at 469 Smith Ridge Road in the Town of Lewisboro. The property is currently developed consisting of three (3) tax parcels with two (2) framed buildings and the Market. The site is located within 2 zoning districts, RB – Retail Business and R-1A One Family Residential. In addition to the current uses on the property, a portion of the property is being used by the nursery on the adjacent property for storing of material to the rear of the site.

The applicant is considering the installation of 2 fuel dispensers beneath a canopy along the southern side of the property and the market. In addition, improvements are proposed at the entrance to better define ingress and egress, parking spaces and site landscaping.

The property will be subject to the regulated buffer of existing wetlands located across Smith Ridge Road and as such will require a wetland permit for the construction related activity.

Accordingly, please find the following information in support of the initial sketch and site plan review:

- Plan set including; Existing Conditions Plan, Overall Site Plan, Site Plan, and Details
- Conceptual Canopy architectural plan with fuel dispenser location
- Application form
- Owner's Affidavit
- Wetland Permit Application
- Application fee of $205.00 for Sketch Plan review
- Application fee of $255.00 for Wetland Permit review.

The proposed development offers an opportunity to enhance the property and improve aspects of the entrance. We look forward to further discussing project with you. Should you have any questions require any additional information, please feel free to contact this office.

Very truly yours,

Peter J. Gregory, P.E.
Senior Project Manager

Application No.: _____
Fee: _____ Date: _____

TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION

79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 875-9148

Project Address: 469 Smith Ridge Road South Salem NY 10590

Sheet: _____ Block: 9834 Lot(s): 32, 33, 34

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): 6250 sf disturbance

Owner's Name: Avraam Apazidis Phone: 203.434.3725

Owner's Address: 7 Rudolf Lane Email: Mike.apazidis@gmail.com

Applicant's Name (if different): Aashi, LLC Phone: 203-434-0143

Applicant's Address: 469 Smith Ridge Road Email: krana9c@yahoo.com

Agent's Name (if applicable): _____ Phone: _____

Agent's Address: _____ Email: _____

TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

☑ Administrative ☐ Planning Board

Is the project located within the NYCDEP Watershed? ☐ Yes ☑ No

Total area of proposed disturbance: ☐ < 5,000 s.f. ☑ 5,000 s.f. - < 1 acre ☐ ≥1 acre

Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: _____

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: _____ Date: 11-9-2020

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592
Fax: (914) 875-9148

Affidavit of Ownership

State of : New York

County of: Westchester.

AVRAAM APAZIDU, being duly sworn, deposes and says that he/she

resides at 7 RUDULPH L

in the County of Fairfield, State of Conn

and that he/she is (check one) [✓] the owner, or [ ] the _____
Title

of _____
Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of Lewisboro as:

Block 9834, Lot 32.33.34, on Sheet 183.

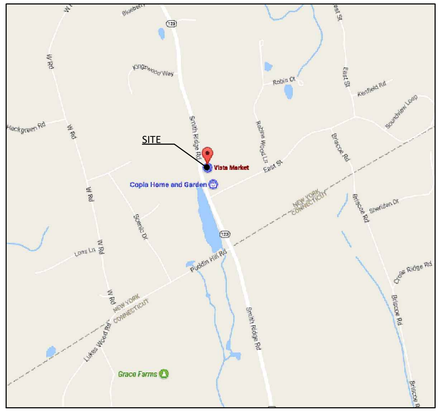
Owner's Signature

Sworn to before me this

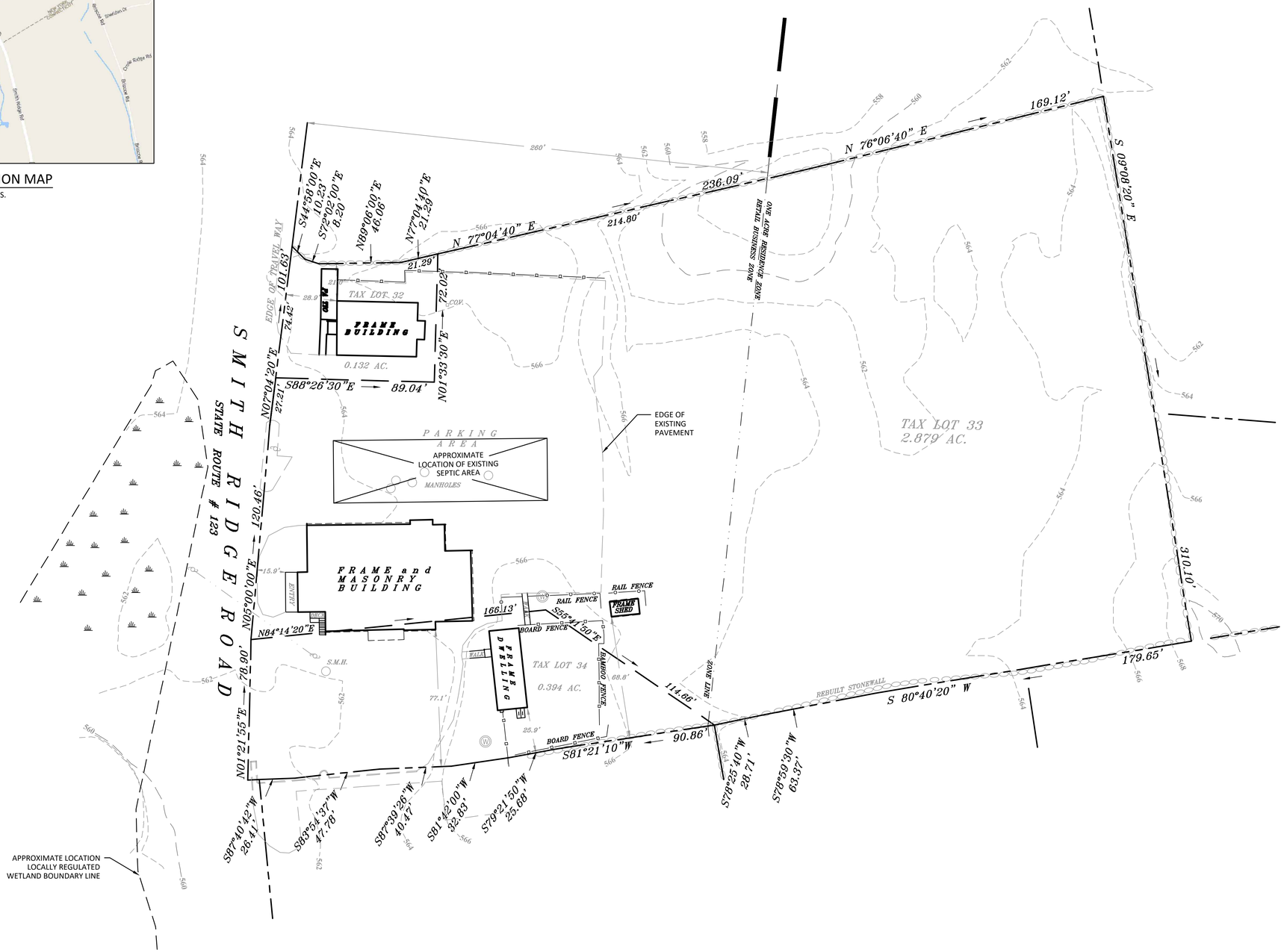
9 **day of** November, 2020

LORI COURTNEY
Notary Public, State of Connecticut
My Commission Expires Oct. 31, 2024

Notary Public – affix stamp



LOCATION MAP
N.T.S.



NO.	REVISION	DATE

30 20 10 0 30 60
SCALE IN FEET

Applicant
AASHI, LLC
Vista Market
469 Smith Ridge Road
South Salem, New York 10590
Tel: 203-434-0143

Owner
AVRAAM APAZIDIS
7 Rudolph Lane
Fairfield, CT
Tel: 203-434-3725

Provident design engineering
7 SKYLINE DRIVE, HAWTHORNE, NEW YORK 10532
TEL: (914) 592-4040 WWW.PDERESULTS.COM

UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT
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VISTA MARKET
469 SMITH RIDGE ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
EXISTING CONDITIONS PLAN

Seal

Scale:	1"= 30'
Date:	12/18/2020
Drawn By:	KMM
Checked By:	PJG
Project No.:	20-035
Sheet No.:	1 of 4
Dwg. No.:	C-101

Q:\PROJECTS-2020\035 Vista Market\AutoCAD\SPA\Vista SitePlan 20-08-13.dwg

CONSTRUCTION PLAN NOTES

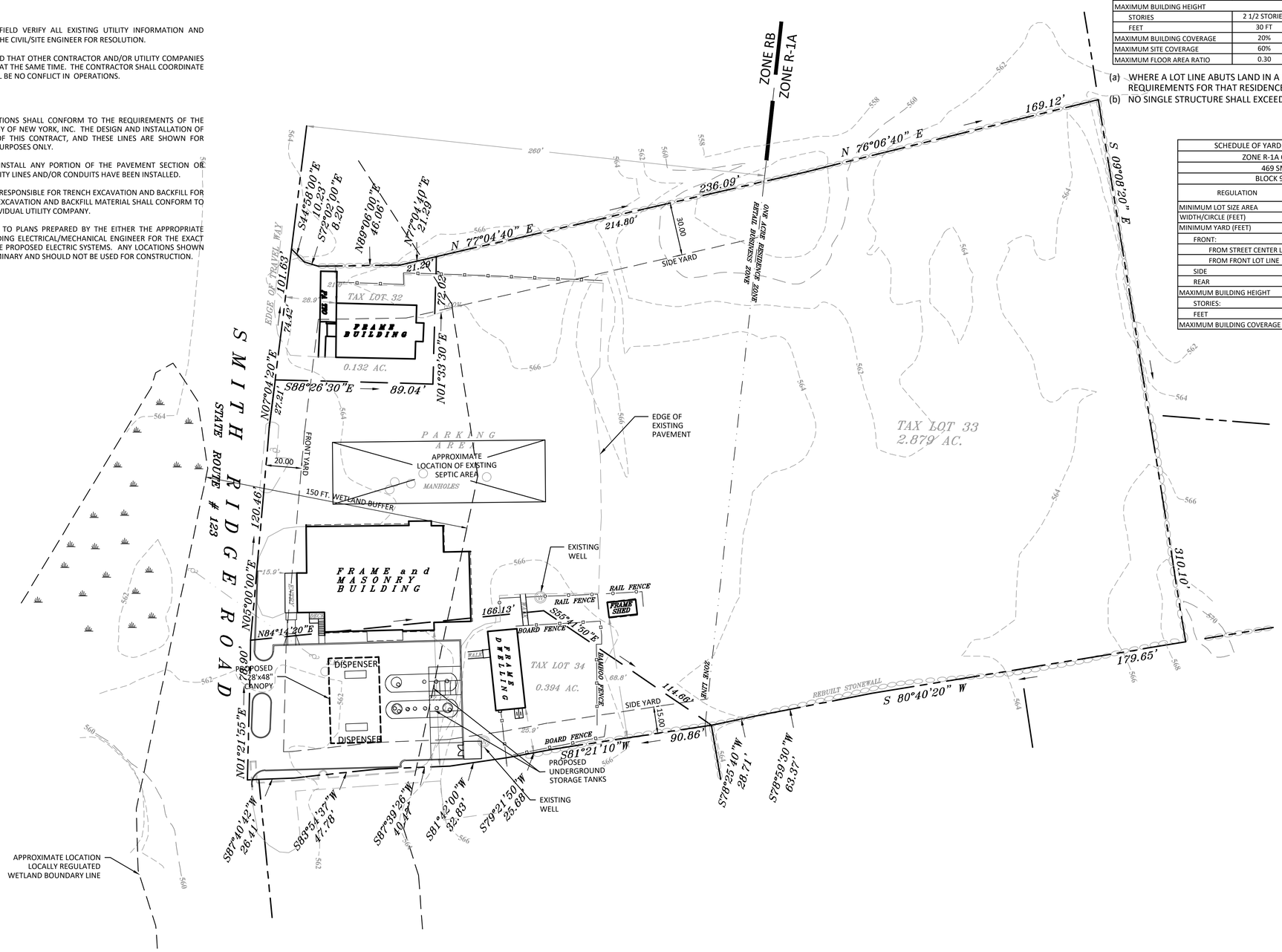
GRADING NOTES

1. EXISTING CONDITIONS, TOPOGRAPHIC AND SITE BOUNDARY INFORMATION TAKEN FROM SURVEY PREPARED BY OTHERS.
2. ALL LANDSCAPED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL.
3. ALL UTILITY STRUCTURE CASTINGS SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH PROPOSED FINISHED GRADE.
4. THE BUILDING PAD AREAS SHALL BE COMPACTED TO NOT LESS THAN NINETY-FIVE (95) PERCENT MODIFIED PROCTOR IN ACCORDANCE WITH ASTM D1557.

UTILITY NOTES

1. GENERAL
   a. THE SITE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY INFORMATION AND REPORT ANY DISCREPANCIES TO THE CIVIL/SITE ENGINEER FOR RESOLUTION.
   b. THE SITE CONTRACTOR IS ADVISED THAT OTHER CONTRACTOR AND/OR UTILITY COMPANIES SHALL BE WORKING IN THE AREA AT THE SAME TIME. THE CONTRACTOR SHALL COORDINATE HIS WORK SUCH THAT THERE WILL BE NO CONFLICT IN OPERATIONS.

2. PRIVATE UTILITIES
   a. ALL ELECTRIC SYSTEM INSTALLATIONS SHALL CONFORM TO THE REQUIREMENTS OF THE CONSOLIDATED EDISON COMPANY OF NEW YORK, INC. THE DESIGN AND INSTALLATION OF THESE SYSTEMS IS NOT PART OF THIS CONTRACT, AND THESE LINES ARE SHOWN FOR LOCATION AND COORDINATION PURPOSES ONLY.
   b. THE CONTRACTOR SHALL NOT INSTALL ANY PORTION OF THE PAVEMENT SECTION OR CURBING UNTIL ALL PRIVATE UTILITY LINES AND/OR CONDUITS HAVE BEEN INSTALLED.
   c. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH EXCAVATION AND BACKFILL FOR ALL ELECTRIC LINES/CONDUITS. EXCAVATION AND BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANY.
   d. THE CONTRACTOR SHALL REFER TO PLANS PREPARED BY THE EITHER THE APPROPRIATE UTILITY COMPANY OR THE BUILDING ELECTRICAL/MECHANICAL ENGINEER FOR THE EXACT LOCATION, SIZE AND TYPE OF THE PROPOSED ELECTRIC SYSTEMS. ANY LOCATIONS SHOWN ON THESE DRAWINGS ARE PRELIMINARY AND SHOULD NOT BE USED FOR CONSTRUCTION.



SCHEDULE OF YARD AND BUILDING REQUIREMENTS			
ZONE RB RETAIL BUSINESS			
469 SMITH RIDGE ROAD			
BLOCK 9834, SHEET 183, LOTS 32, 33 AND 34			
REGULATION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE			
AREA (ACRES)	1/2 ACRE	3.405 ACRES	
FRONTAGE	100 FT		
MINIMUM YARD			
FRONT:			
FROM STREET CENTER LINE	45 FT		
FROM FRONT LOT LINE	20 FT	15.9 FT	
SIDE	15(a)	21.0 FT	15.2 FT.
REAR	15(a)		
MAXIMUM BUILDING HEIGHT			
STORIES	2 1/2 STORIES		
FEET	30 FT		
MAXIMUM BUILDING COVERAGE	20%	5%	6%
MAXIMUM SITE COVERAGE	60%	24.4%	23.2%
MAXIMUM FLOOR AREA RATIO	0.30		

(a) WHERE A LOT LINE ABUTS LAND IN A RESIDENCE DISTRICT, THE SETBACK REQUIREMENTS FOR THAT RESIDENCE DISTRICT SHALL GOVERN.
(b) NO SINGLE STRUCTURE SHALL EXCEED COVERAGE OF 10,000 SQUARE FEET.

SCHEDULE OF YARD AND BUILDING REQUIREMENTS		
ZONE R-1A ONE FAMILY RESIDENCE		
469 SMITH RIDGE ROAD		
BLOCK 9834, SHEET, LOT 33		
REGULATION	REQUIRED	EXISTING
MINIMUM LOT SIZE AREA	1 ACRE	2.879 ACRES
WIDTH/CIRCLE (FEET)	150 FT.	
MINIMUM YARD (FEET)		
FRONT:		
FROM STREET CENTER LINE	65 FT	
FROM FRONT LOT LINE	40 FT	
SIDE	30 FT	
REAR	40 FT	
MAXIMUM BUILDING HEIGHT		
STORIES:	2 1/2	
FEET	35 FT	
MAXIMUM BUILDING COVERAGE	12%	

NO.	REVISION	DATE

North

Applicant
AASHI, LLC
Vista Market
469 Smith Ridge Road
South Salem, New York 10590
Tel: 203-434-0143

Owner
AVRAAM APAZIDIS
7 Rudolph Lane
Fairfield, CT
Tel: 203-434-3725

Provident design engineering
7 SKYLINE DRIVE, HAWTHORNE, NEW YORK 10532
TEL: (914) 592-4040 WWW.PDERESULTS.COM

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VISTA MARKET
469 SMITH RIDGE ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
OVERALL SITE PLAN

Seal

Scale:	1"= 30'
Date:	12/18/2020
Drawn By:	KMM
Checked By:	PJG
Project No.:	20-035
Sheet No.:	2 of 4
Dwg. No.:	C-102

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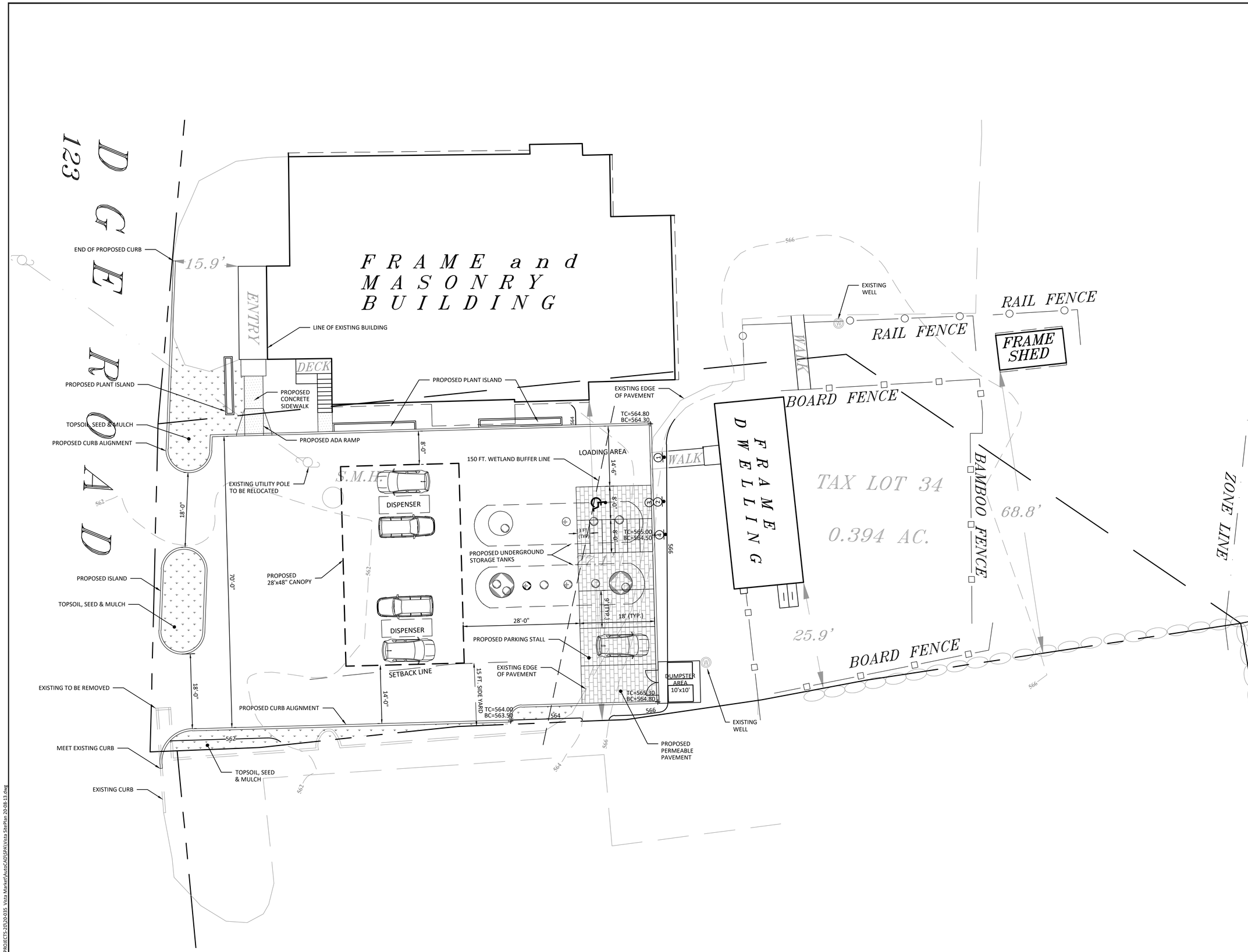

NO.	REVISION	DATE

LAYOUT LEGEND

- PROPOSED CURB
- PROPOSED CONCRETE SIDEWALK
- TOPSOIL, SEED & MULCH
- PERMEABLE PAVEMENT
- PROPOSED TRAFFIC SIGN LOCATION AND DESIGNATION
- ADA SYMBOL

North

10 8 6 4 2 0 5 10 20
SCALE IN FEET

Applicant
AASHI, LLC
Vista Market
469 Smith Ridge Road
South Salem, New York 10590
Tel: 203-434-0143

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VISTA MARKET
469 SMITH RIDGE ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
SITE PLAN

Seal

Scale:	1"= 10'
Date:	12/18/2020
Drawn By:	KMM
Checked By:	PJG
Project No.:	20-035
Sheet No.:	3 of 4
Dwg. No.:	C-103

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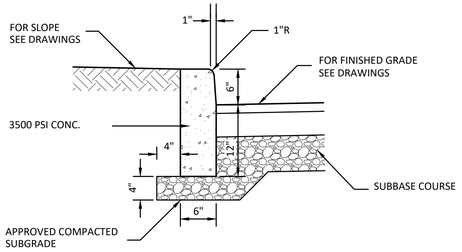
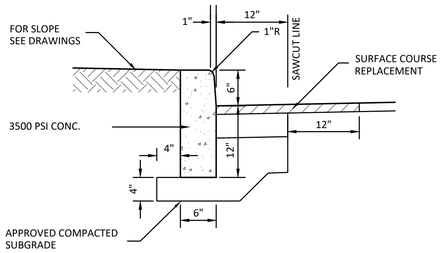


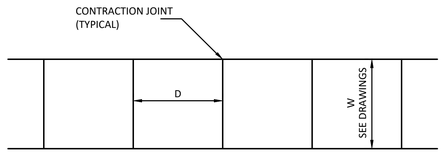
CONCRETE CURB (6"x18")
NOT TO SCALE

1

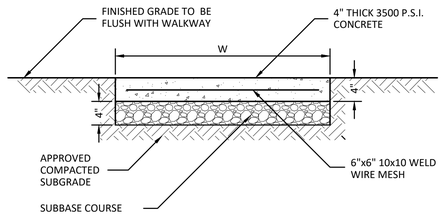


CONCRETE CURB IN EXISTING PAVEMENT
NOT TO SCALE

2



PLAN



SECTION

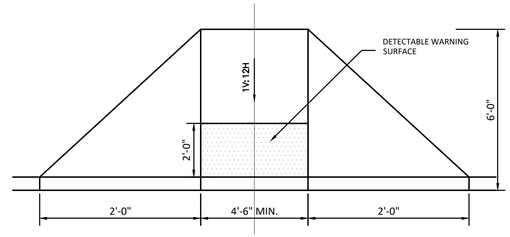
NOTE:

1. MINIMUM CROSS SLOPE 1/8"/FT. UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
2. PROVIDE 1/4" PREMOULDED EXPANSION JOINTS AT 20' INTERVALS.

W	D
3'	4'
4'	4'
5'	5'
>5'	5'

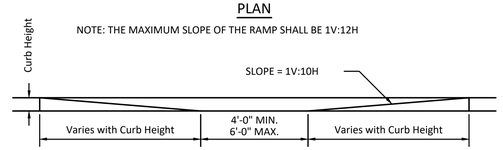
CONCRETE SIDEWALK
NOT TO SCALE

3

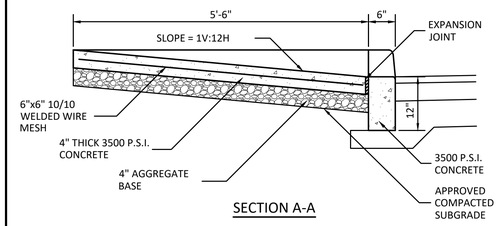


PLAN

NOTE: THE MAXIMUM SLOPE OF THE RAMP SHALL BE 1V:12H



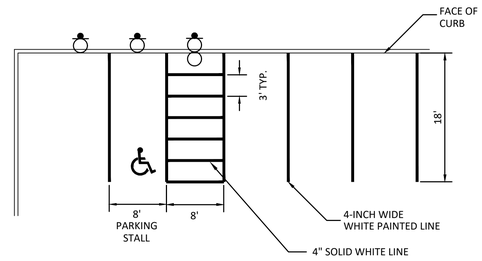
ELEVATION



SECTION A-A

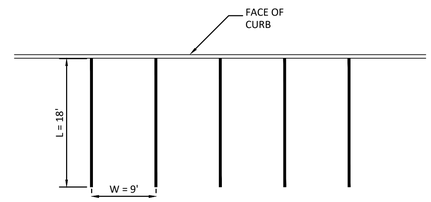
CURB RAMP
NOT TO SCALE

4



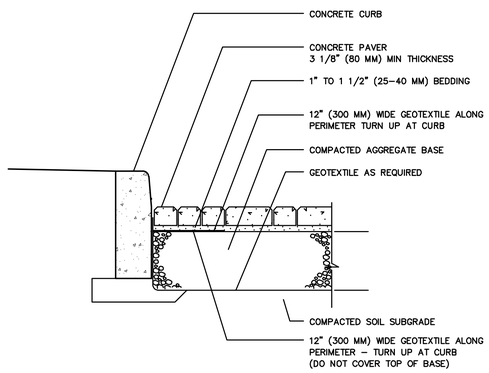
ACCESSIBLE PARKING STALL LAYOUT
NOT TO SCALE

5



90 DEGREE PARKING STALL LAYOUT
NOT TO SCALE

6



NOTES:

1. DRAIN MAY BE NECESSARY IN SLOW DRAINING SUBGRADE.

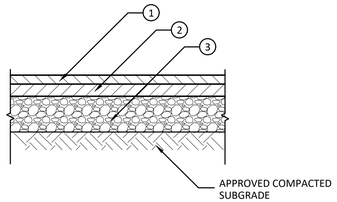
2. BASE THICKNESS VARIES WITH TRAFFIC, CLIMATE, AND SUBGRADE CONDITIONS. COLDER CLIMATES AND WEAK SOILS MAY REQUIRE THICKER BASES. CONSULT ICPI TECH SPEC TO DETERMINE BASE THICKNESS.

3. CONSULT ICPI TECH SPEC 2 AND CSI MANU SPEC FOR GUIDELINES AND SPECIFICATIONS FOR BASE MATERIALS, SUBGRADE SOIL AND BASE COMPACTION.

4. DO NOT COVER ENTIRE TOP OF AGGREGATE BASE WITH GEOTEXTILE.

STREET/PARKING LOT PAVING STONE
NOT TO SCALE

7



PAVEMENT DESIGN LEGEND:

1. 1-1/2" TOP COURSE, NYSDOT ITEM 403.1701, TYPE 6F
2. 3-1/2" BINDER COURSE, NYSDOT ITEM 403.13, TYPE 3
3. 6" SUBBASE COURSE, NYSDOT ITEM 304.14, TYPE 4

PARKING AREA PAVEMENT
NOT TO SCALE

8

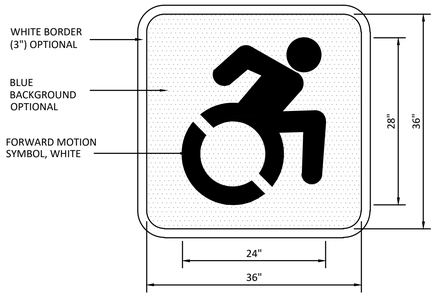
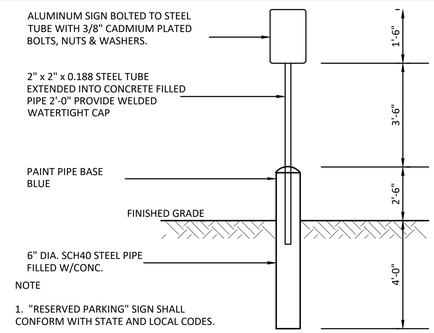


FIGURE 3B-2 OF THE 2009 MUTCD HAS BEEN MODIFIED TO REFLECT THE NYS 2014 ACCESSIBILITY SYMBOL LAW. THE MUCTD AND NYS SUPPLEMENT HAVE NOT BEEN AMENDED TO REFLECT THE NYS LAW

ACCESSIBLE PAVEMENT MARKING SYMBOL
NOT TO SCALE

9



NOTE

1. "RESERVED PARKING" SIGN SHALL CONFORM WITH STATE AND LOCAL CODES.

HANDICAP PARKING SIGN & FOUNDATION
NOT TO SCALE

10

NO.	REVISION	DATE

Applicant

AASHI, LLC
Vista Market
469 Smith Ridge Road
South Salem, New York 10590
Tel: 203-434-0143

Owner

AVRAAM APAZIDIS
7 Rudolph Lane
Fairfield, CT
Tel: 203-434-3725

Provident design engineering
7 SKYLINE DRIVE, HAWTHORNE, NEW YORK 10532
TEL: (914) 592-4040 WWW.PDERESULTS.COM

UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

© PROVIDENT DESIGN ENGINEERING, PLLC

VISTA MARKET
469 SMITH RIDGE ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
DETAIL SHEET

Seal

Scale:	N.T.S,
Date:	12/18/2020
Drawn By:	KMM
Checked By:	PJG
Project No.:	20-035
Sheet No.:	4 of 4
Dwg. No.:	D-101

Q:\PROJECTS-20\20-035 Vista Market\AutoCAD\SPA\Vista SitePlan 20-08-13.dwg

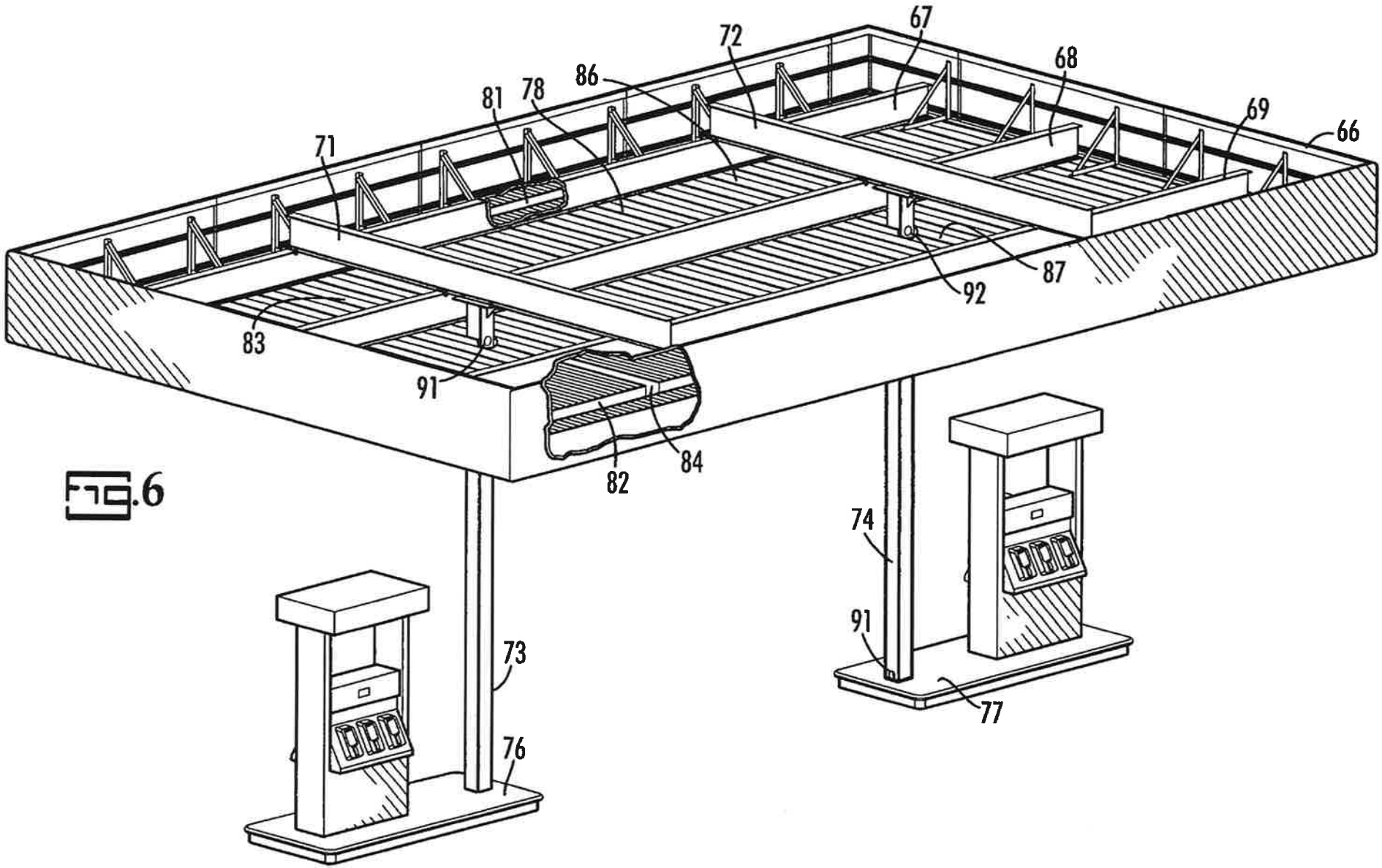
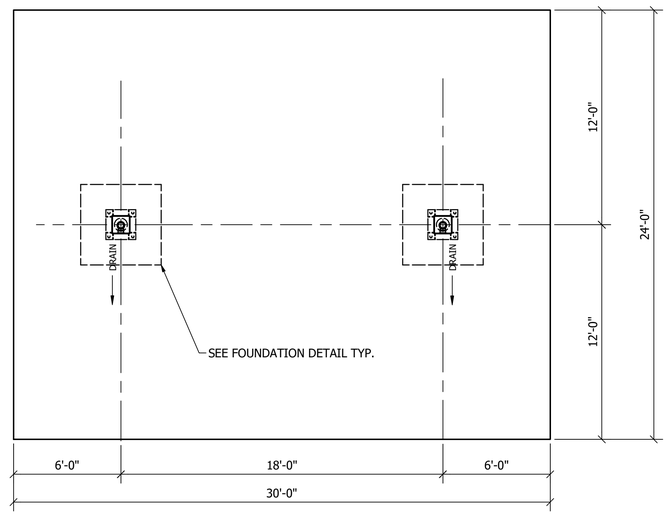
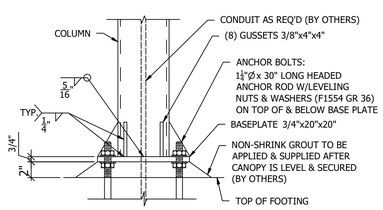


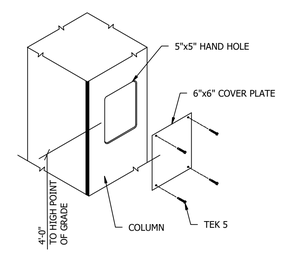
FIG. 6



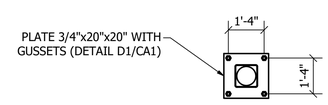
FOUNDATION PLAN
SCALE 1/4"=1'-0"



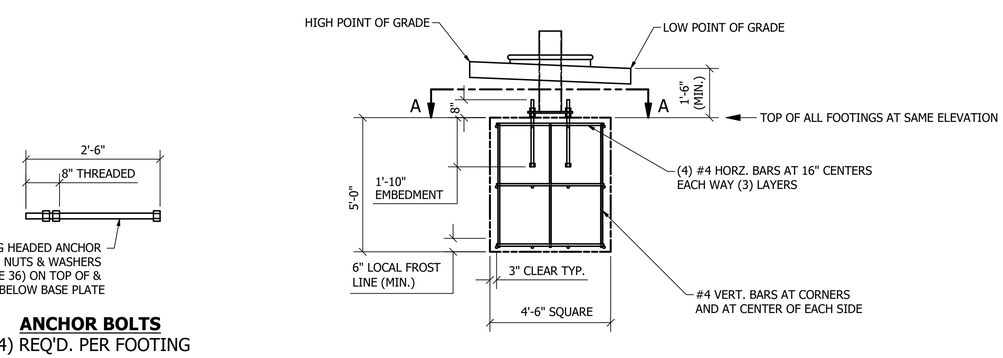
D1 CA1 BASEPLATE DETAIL



D2 CA1 HAND HOLE & COVER DETAIL



SECTION A-A



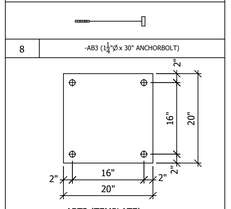
FOUNDATION DETAIL
SCALE 3/8"=1'-0"

1 1/4"Ø x 30" LONG HEADED ANCHOR
ROD WITH LEVELING NUTS & WASHERS
(ASTM F1554 GRADE 36) ON TOP OF &
BELOW BASE PLATE

ANCHOR BOLTS
(4) REQ'D. PER FOOTING

FOOTING NOTES
1. OWNER / GENERAL CONTRACTOR SHALL BE REPONSIBLE FOR FOOTING AND ANCHOR BOLT INSTALLATION.
2. ALL FOOTINGS SHALL BE CAST ON LEVEL UNDISTURBED SOIL, ROCK OR PROPERLY COMPACTED SUBGRADE. FOOTING SIZE BASED ON MINIMUM 1500 PSF SOIL BEARING AT BASE AND 150 PSF PER FOOT OF DEPTH LATERAL BEARING CAPACITY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SOIL PERAMETERS.
3. FOOTING CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
4. FOOTING DESIGN BASED ON AN ASSUMED 1'-6" BURY OF THE COLUMNS FROM THE BOTTOM OF BASEPLATE TO FINISHED GRADE. ANY AMOUNT OF BURY LESS THAN 1'-6" WILL RESULT IN A LARGER FOOTING SIZE.
5.TOPS OF ALL FOOTINGS ARE ASSUMED TO BE AT SAME ELEVATION. OWNER / GENERAL CONTRACTOR SHALL PROVIDE BURIAL DEPTH FROM HIGH GRADE UNDER CANOPY. WHERE TOPS OF FOOTINGS ARE AT DIFFERENT ELEVATIONS, THE OWNER / GENERAL CONTRACTOR SHALL PROVIDE THE CANOPY MANUFACTURER WITH ALL FOOTING AND GRADE ELEVATION PRIOR TO CANOPY FABRICATION. VARIATIONS FROM DESIGN ELEVATIONS MAY RESULT IN INADEQUATE CLEARANCE AND UNDER SIZED FOOTINGS.
6. OWNER / GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING NON-SHRINK GROUT UNDER ALL COLUMN BASES AFTER CANOPY IS LEVELED AND SECURED.
7. FOOTING REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 DEFORMED BILLET STEEL BARS WITH SPACING AS SHOWN ON DRAWING.
8. FOOTINGS ARE ASSUMED TO BE CONSTRAINED BY FUEL ISLAND AND DRIVE MAT CONCRETE. WHERE THIS CONDITION DOES NOT EXIST, THE OWNER SHALL NOTIFY CANOPY MANUFACTURER.
9. ANCHOR BOLTS SHALL BE PLACED IN ACCORDANCE WITH THIS DRAWING . TEMPLATES SHALL BE USED TO ENSURE PROPER PLACEMENT OF ANCHOR BOLTS. ANCHOR BOLTS ARE TO BE INSTALLED SUCH THAT A MINIMUM OF 8" OF THREAD IS EXPOSED ABOVE TOP OF FOOTING. BOTTOM OF THREADS SHALL NOT END MORE THAN 3/4" ABOVE TOP OF FOOTER.
10. ANY DISCREPANCIES BETWEEN THE ABOVE NOTES AND LOCAL BUILDING CODE REQUIREMENTS SHALL BE REPORTED TO THE CANOPY MANUFACTURER IMMEDIATELY. COMMENCEMENT OF FOOTING INSTALLATION SHALL INDICATE THAT THE ABOVE NOTE MEET LOCAL BUILDING CODE REQUIREMENTS.

FOR ANCHOR BOLT SHIPMENT



8	-ABS (1½"Ø x 30" ANCHORBOLT)
	ABT3 (TEMPLATE)
2	WOOD TEMPLATE

IMAGE RESOURCE GROUP

REV	DATE	BY	DESCRIPTION
0	7/2/20	RY	APPROVAL/PERMIT

REVISION HISTORY

STATE OF NEW YORK
DAVID E. SCHATTE
079789
LICENSED PROFESSIONAL ENGINEER
07/07/2020

DAVID E. SCHATTE
10609 99TH STREET
OVERLAND PARK, KS. 66214
LICENSE #078789

VFS

137 Applewood Drive.
Ilion, New York 13357
Phone: 315.865.0262

THESE PLANS ARE SUBJECT TO
FEDERAL COPYRIGHT LAWS
ANY USE OF SAME WITHOUT THE
EXPRESS WRITTEN PERMISSION
OF VFS, LLC IS PROHIBITED

SITE:
ORANGETOWN DPW
119 NY 303
ORANGETOWN, NY

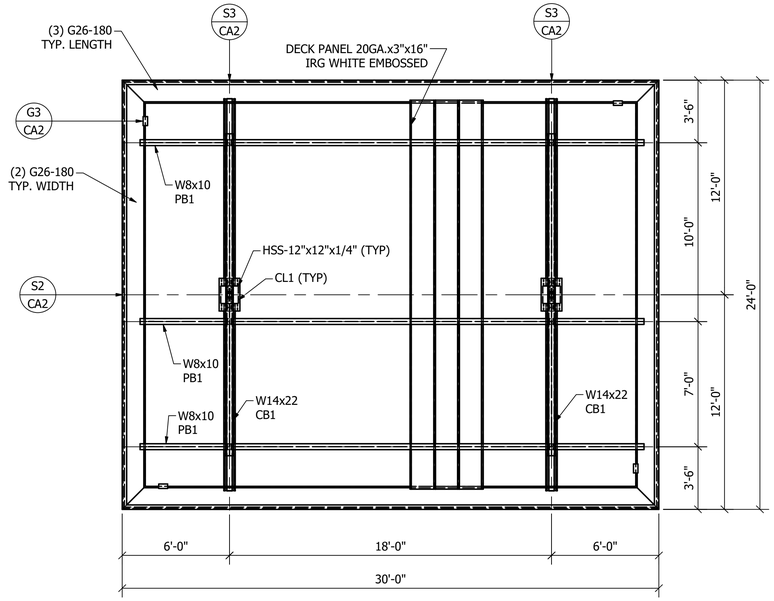
24' X 30'
(2) COLUMN CANOPY

SCALE:	DRAWN BY:	CHECKED BY:
AS SHOWN	REY	DES

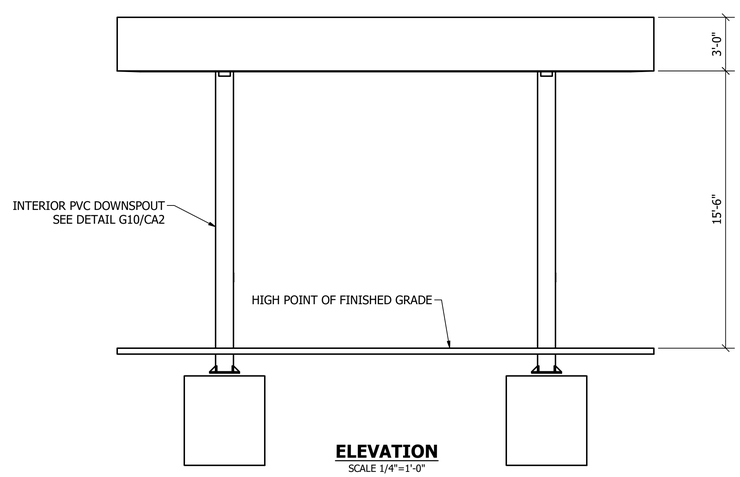
JOB NUMBER: 43398

SHEET TITLE: FOUNDATION PLAN

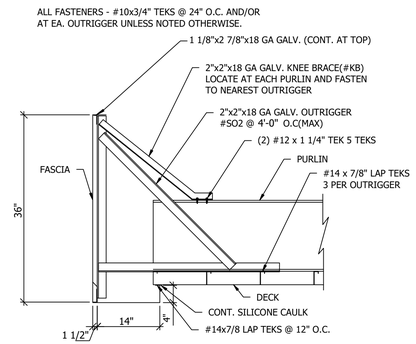
SHEET NUMBER: CA1 of 2



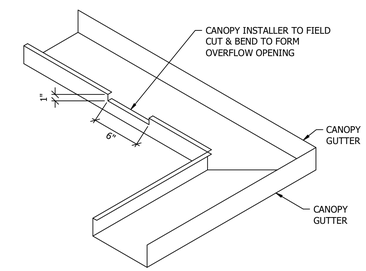
FRAMING PLAN
SCALE 1/4"=1'-0"



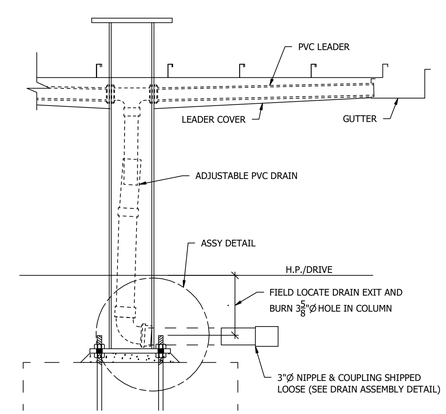
ELEVATION
SCALE 1/4"=1'-0"



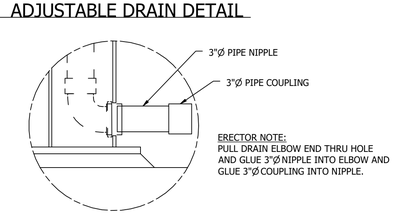
TYP. END FASCIA SECTION



G3 CA2 FIELD CUT GUTTER OVERFLOW DETAIL



G10 CA2 ADJUSTABLE DRAIN DETAIL



ERECTOR NOTE:
PULL DRAIN ELBOW END THRU HOLE
AND GLUE 3"Ø NIPPLE INTO ELBOW AND
GLUE 3"Ø COUPLING INTO NIPPLE.

DRAIN ASSEMBLY DETAIL

STEEL NOTES
1. DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST AISC SPECIFICATIONS. DESIGN, FABRICATION AND ERECTION OF COLD FORMED STEEL SECTIONS SHALL CONFORM TO THE LATEST AISI SPECIFICATIONS.
2. STRUCTURAL MATERIALS:
WIDE FLANGE SECTIONS - ASTM A992 OR A572 GRADE 50 (Fy = 50 KSI)
ANGLES / CHANNELS - ASTM A36 (Fy = 36 KSI)
HOLLOW STRUCTURAL SECTIONS (TUBE) - ASTM A500 GRADE B (Fy = 46 KSI)
PIPE SECTIONS - ASTM A53, GRADE B (Fy = 35 KSI)
PLATE - ASTM A36 (Fy = 36 KSI)
ROOF DECK - ASTM A653, GRADE 50 (Fy = 50 KSI), GALVANIZED (G60) WITH BAKED ENAMEL FINISH
STEEL OUTRIGGERS - ASTM A653 GR. CS (Fy = 25 KSI), GALVANIZED (G90) PER ASTM 924
STRUCTURAL BOLTS - ASTM A325
ANCHOR BOLTS - ASTM F1554 GR. 36;
3. WELDING OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH LATEST ANSI / AWS D1.1
4. FIELD CONNECTIONS SHALL BE BOLTED CONNECTIONS UNLESS SPECIFIED ON DRAWING.
5. ALL STRUCTURAL BOLTED CONNECTIONS SHALL USE ASTM A325 BOLTS. BOLTED JOINTS SHALL BE TIGHTENED TO SNUG TIGHT PER LATEST RCSC SPECIFICATION.
6. STRUCTURAL STEEL SHALL BE SHOP COATED WITH A RED-OXIDE RUST INHIBITIVE PRIMER. FIELD TOUCH-UP, FINISH PAINTING, AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER (UNLESS OTHERWISE SPECIFIED).
7. DESIGN LOADS PER LOCAL BUILDING CODE REQUIREMENTS:

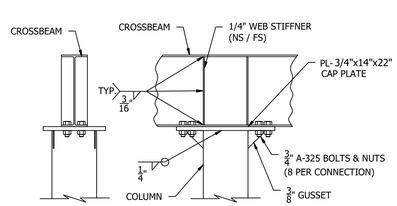
ROOF LIVE LOAD = 20 PSF

FLAT ROOF SNOW LOAD = 30 PSF
BASED ON GROUND SNOW LOAD= 30 PSF

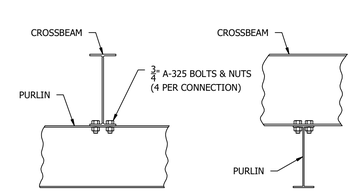
WIND LOADS:
LATERAL = 25 PSF
UPLIFT = 20 PSF
BASED ON 120 MPH EXPOSURE "B" ULTIMATE WIND SPEED PER ASCE 7-10

SEISMIC LOADS:
SEISMIC USE GROUP I, SITE CLASS "D" ASSUMED, SEISMIC DESIGN CATEGORY "B"
Sds = 0.30G, Sd1 = 0.11G
SEISMIC FORCE RESISTING SYSTEM IS INVERTED PENDULUM - CANTILEVERED COLUMN, R = 2.0
Cs = 0.74 DESIGN BASE SHEAR = CsxW = 0.72 K/COL USING EQUIVALENT LATERAL FORCE PROCEDURE

DEAD LOADS:
DECK / GUTTER / LIGHTS - 5 PSF
FASCIA - 5 TO 15 PLF (PER DESIGN)
STRUCTURAL STEEL - SELF WT
CONCRETE - 145 PCF



S2 CA2 CROSSBEAM TO COLUMN CONNECTION

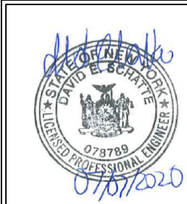


S3 CA2 CROSSBEAM TO PURLIN CONNECTION

IMAGE RESOURCE GROUP

REV	DATE	BY	DESCRIPTION
0	7/2/20	RY	APPROVAL/PERMIT

REVISION HISTORY



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137 Applewood Drive.
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SITE:
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ORANGETOWN, NY

24' X 30'
(2) COLUMN CANOPY

SCALE:	DRAWN BY:	CHECKED BY:
AS SHOWN	REY	DES

JOB NUMBER: 43398

SHEET TITLE: FRAMIG PLAN

SHEET NUMBER: CA2 of 2

Provident
design engineering
7 Skyline Drive, Hawthorne, NY 10532
Tel: (914) 592-4040 www.pderesults.com

April 12, 2021

Hon. Janet Andersen
Chairman of the Town of Lewisboro Planning Board
and Members of the Board
79 Bouton Road
South Salem, New York 10590

Regarding: Site Plan
Vista Market
469 Smith Ridge Road

Dear Chairman Andersen and members of the Planning Board

We are pleased to submit, on behalf Aashi, LLC, Vista Market, a Site Plan application to create a gas station in conjunction with the existing Vista Market use on the property. Approximately 3.4 acres in size, the site is located at 469 Smith Ridge Road in the Town of Lewisboro. The property is currently developed consisting of three (3) parcels with two (2) framed buildings and the Market. The site is located within 2 zoning districts, RB – Retail Business, along the frontage and R-1A One Family Residential to the rear of the property. In addition to the current uses on the property, a portion of the property is currently utilized by the Copia Home and Garden Center on the adjacent property to the south, for the growing and storing of plant material on the rear of the subject property.

The applicant is appreciative of the effort and feedback received from the Board at our Pre-application meeting prior to our appearance before you. As a result, in addition to improvements related to the gas station in the southern portion of the property, The plan now reflects improvements being made to the parking area, the entrance and landscaping on the northern portion of the property.

The market is generally located in the mid portion of the property, the creation of the gas station will result in the installation of 2 fuel dispensers beneath a canopy to the south side of the market. Additional improvements associated with the gas station will be made to the entrance to better define ingress and egress and to provide landscaping along the adjacent property line, removing asphalt and creating a narrow, landscaped buffer area.

Similarly, in the northern portion of the property, improvements will be made to the entrance to better define the ingress and egress of the property. The plan demonstrates the ability to create 42 parking spaces with accessible spaces which comply with dimensional requirements for off street parking, interspersed with landscaped islands. A loading space and trash enclosure are reflected in this area also. All in support of the existing use on the property.

The property is subject to an existing wetland area located across Smith Ridge Road and as a result, a portion of the construction activity will be located within the Town of Lewisboro 150' regulated wetland setback. A wetland permit will be required.

In addition, in accordance with Article V, Supplemental Regulations, Section 23-43.7 Gasoline Service Stations of the Town of Lewisboro code, will be a Special Use. The gas station will comply with a majority of the requirements outlined in Section 23-43.7 as follows:

A. The gas station would be located within the RB zoning district.
B. The property meets the minimum size requirement of one acre.
C. The proposed canopy and dispensers meet minimum required setbacks.
D. The property is currently developed and landscaping is proposed, however while the impervious surface is being reduced, the minimum width of buffer outlined in Section 220-15B cannot be maintained.
E. There are no other gas stations located within 200' of the subject property.
F. There are no schools, public recreation spaces or church uses within 200' of the subject property.
G. The site access is located in excess of 100' of nearest intersection. Reconfiguration of entrances will allow for free flow of traffic into site.
H. Architectural plans will be provided on subsequent submission and be consistent with existing features of the site.

Accordingly, please find the following material in support of and to supplement material previously submitted for the Preliminary Site Plan, Wetland permit and Special Use permit applications review:

- Plan set including; Existing Conditions Plan, Overall Site Plan, Site Plan, and Details
- Site Plan Application form
- Owner's Affidavit

The proposed development offers an opportunity to enhance the property and improve aspects of the entrances. The applicant respectfully requests to be included on the May 18th Planning Board's agenda to present the project. We look forward to the opportunity of discussing the project further.

Should you have any questions require any additional information, please feel free to contact this office.

Very truly yours,

Peter J. Gregory, P.E.
Senior Project Manager

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem , NY 10590 Tel: (914) 763-5592 Email: planning@lewisborogov.com

Site Development Plan/Subdivision Plat Application – Check all that apply:

Waiver of Site Development Plan Procedures	☐		
Site Development Plan Approval	Step I ☑	Step II ☐	
Special Use Permit Approval	Step I ☑	Step II ☐	
Subdivision Plat Approval	Step I ☐	Step II ☐	Step III ☐

Project Information

Project Name: Vista Market

Project Address: 469 Smith Ridge Road

Gross Parcel Area: 3.405 ac Zoning District: RB Sheet(s): 506 Block (s): 9834 Lot(s): 32,33 & 34

Project Description: The project involves the construction of a 2 pump fuel dispensary and associated canopy cover over the pump area. In addition, driveway entrances will be improved and site landscaping is proposed.

Is the site located within 500 feet of any Town boundary?	YES ☐	NO ☑
Is the site located within the New York City Watershed?	YES ☐	NO ☑
Is the site located on a State or County Highway?	YES ☑	NO ☐

Does the proposed action require any other permits/approvals from other agencies/departments?

Town Board	☐	ZBA	☐	Building Dept.	☑	Town Highway	☐
ACARC	☐	NYSDEC	☐	NYCDEP	☐	WCDH	☐
NYSDOT	☑	Town Wetland	☑	Town Stormwater	☐		

Other _____

Owner's Information

Name: Avraam Apazidis Email: _____

Address: 7 Rudolph Lane, Fairfield, CT Phone: _____

Applicant's Information (if different)

Name: Aashi, LLC Email: krana9@yahoo.com

Address: 469 Smith Ridge Road, Phone: 203-434-0143

Authorized Agent's Information

Name: _____ Email: _____

Address: _____ Phone: _____

THE APPLICANT understands that any application is considered complete only when all information and documents required have been submitted and received by the Planning Board. The applicant further understands that the applicant is responsible for the payment of all application and review fees incurred by the Planning Board.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief, and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

APPLICANT'S SIGNATURE _____ DATE _____

OWNER'S SIGNATURE Avraam Apazidis DATE 4-6-21

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592
Fax: (914) 875-9148

Affidavit of Ownership

State of : NEW YORK

County of: WESTchester

AVRaam APAZIDIS, being duly sworn, deposes and says that he/she

resides at 7 RUDULPH LN

in the County of Fairfield, State of CT

and that he/she is (check one) X the owner, or ____ the _____
Title

of _____
Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of Lewisboro as:

Block 9834, Lot 32, 33, P34, on Sheet 183.

Owner's Signature

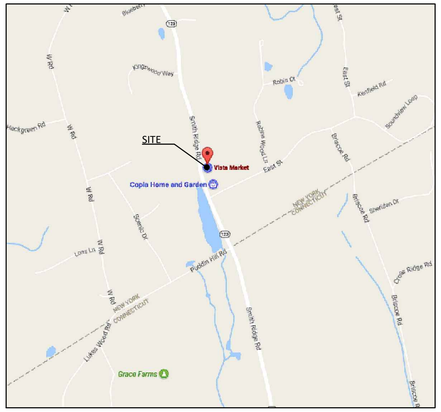
Sworn to before me this

9 **day of** November, 2020

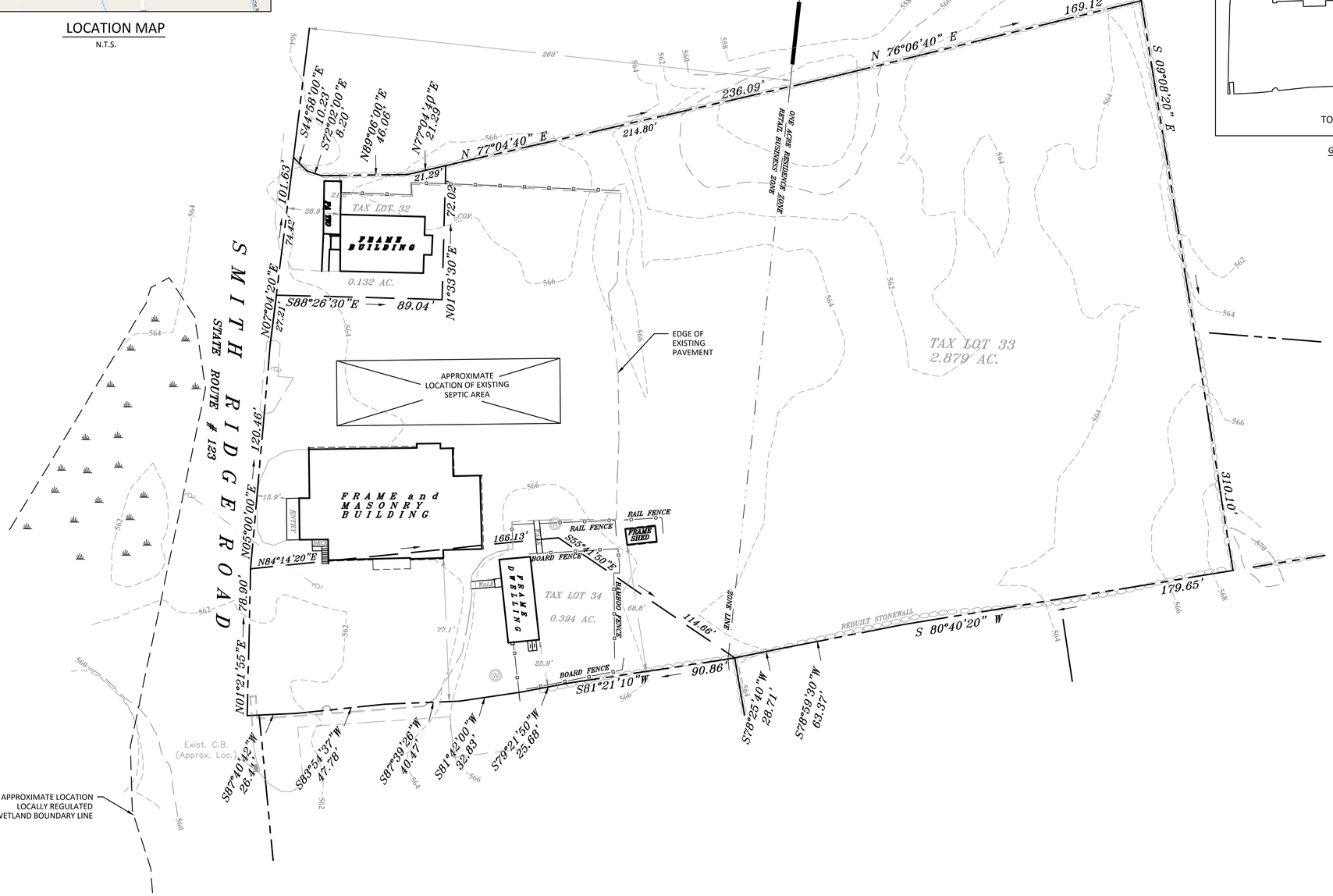
LORI COURTNEY
Notary Public, State of Connecticut
My Commission Expires Oct. 31, 2024

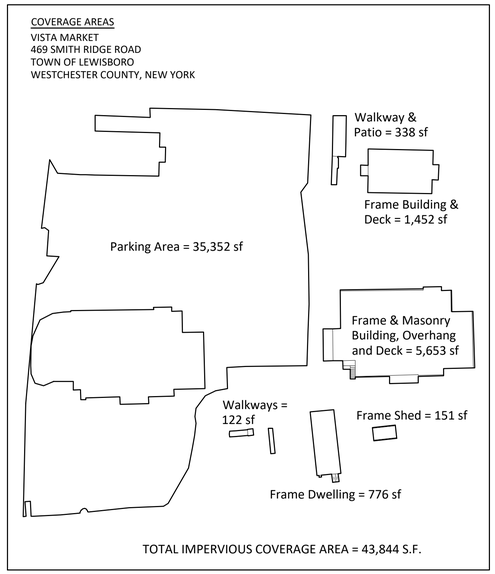
Notary Public – affix stamp

Revised 2-2019



LOCATION MAP
N.T.S.





GRAPHICAL DEPICTION OF IMPERVIOUS SURFACE
N.T.S.

NO.	REVISION	DATE
1	ISSUED FOR PLANNING BOARD REVIEW	4/12/2021

North

30 20 10 0 30 60
SCALE IN FEET

Applicant
AASHI, LLC
Vista Market
469 Smith Ridge Road
South Salem, New York 10590
Tel: 203-434-0143

Owner
AVRAAM APAZIDIS
7 Rudolph Lane
Fairfield, CT
Tel: 203-434-3725

Provident design engineering
7 SKYLINE DRIVE, HAWTHORNE, NEW YORK 10532
TEL: (914) 592-4040 WWW.PDERESULTS.COM

UNDER NEW YORK STATE EDUCATION LAW ARTICLE 145 (ENGINEERING), SECTION 7209 (2), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT
© PROVIDENT DESIGN ENGINEERING, PLLC

VISTA MARKET
469 SMITH RIDGE ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
EXISTING CONDITIONS PLAN

Seal

Scale:	1"= 30'
Date:	12/18/2020
Drawn By:	KMM
Checked By:	PJG
Project No.:	20-035
Sheet No.:	1 of 4
Dwg. No.:	C-101

Q:\PROJECTS-20\20-035_Vista Market\AutoCAD\SPA\Vista SitePlan.dwg

CONSTRUCTION PLAN NOTES

GRADING NOTES

1. EXISTING CONDITIONS, TOPOGRAPHIC AND SITE BOUNDARY INFORMATION TAKEN FROM SURVEY PREPARED BY OTHERS.
2. ALL LANDSCAPED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL.
3. ALL UTILITY STRUCTURE CASTINGS SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH PROPOSED FINISHED GRADE.
4. THE BUILDING PAD AREAS SHALL BE COMPACTED TO NOT LESS THAN NINETY-FIVE (95) PERCENT MODIFIED PROCTOR IN ACCORDANCE WITH ASTM D1557.

UTILITY NOTES

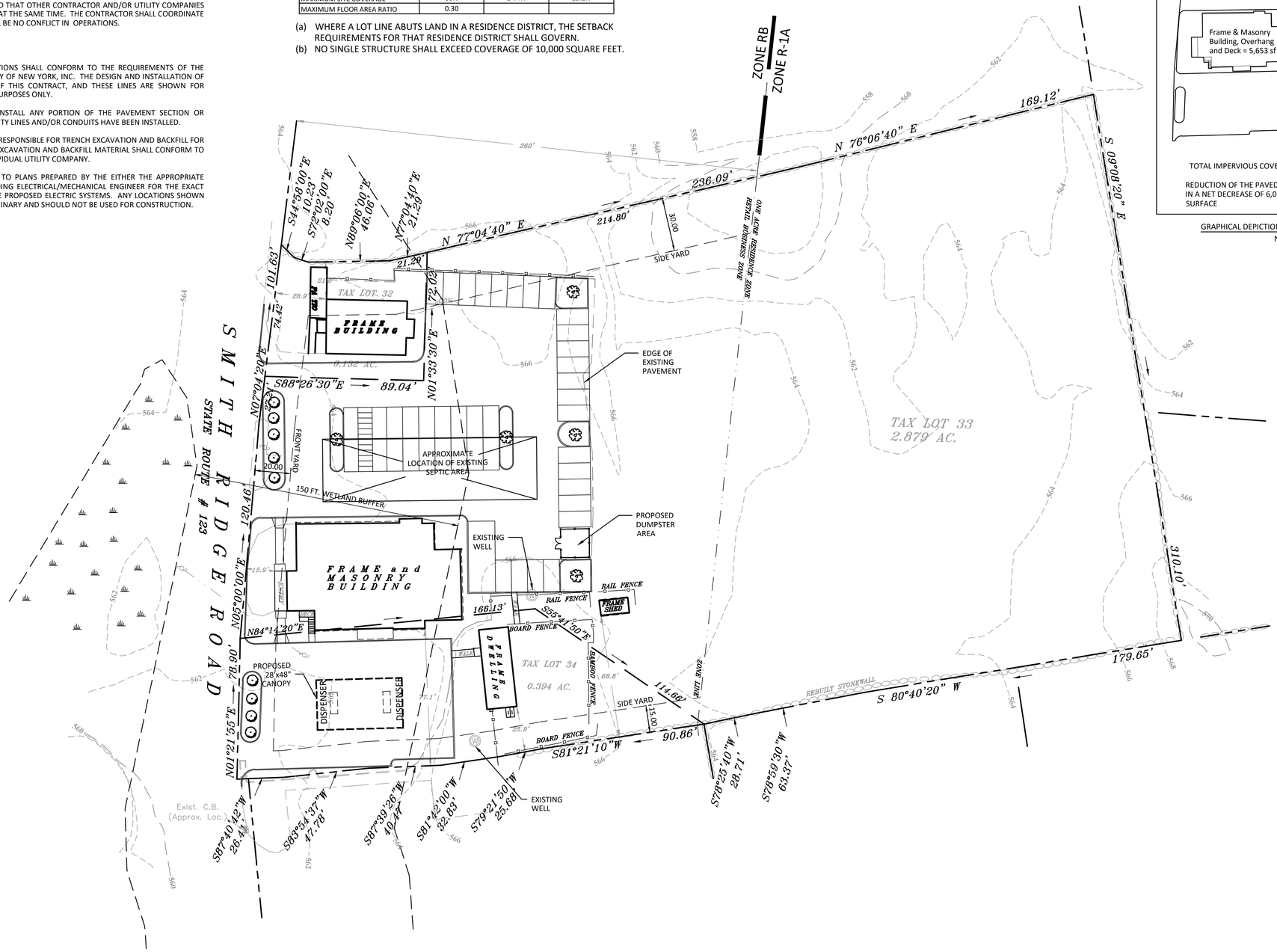
1. GENERAL
   a. THE SITE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY INFORMATION AND REPORT ANY DISCREPANCIES TO THE CIVIL/SITE ENGINEER FOR RESOLUTION.
   b. THE SITE CONTRACTOR IS ADVISED THAT OTHER CONTRACTOR AND/OR UTILITY COMPANIES SHALL BE WORKING IN THE AREA AT THE SAME TIME. THE CONTRACTOR SHALL COORDINATE HIS WORK SUCH THAT THERE WILL BE NO CONFLICT IN OPERATIONS.

2. PRIVATE UTILITIES
   a. ALL ELECTRIC SYSTEM INSTALLATIONS SHALL CONFORM TO THE REQUIREMENTS OF THE CONSOLIDATED EDISON COMPANY OF NEW YORK, INC. THE DESIGN AND INSTALLATION OF THESE SYSTEMS IS NOT PART OF THIS CONTRACT, AND THESE LINES ARE SHOWN FOR LOCATION AND COORDINATION PURPOSES ONLY.
   b. THE CONTRACTOR SHALL NOT INSTALL ANY PORTION OF THE PAVEMENT SECTION OR CURBING UNTIL ALL PRIVATE UTILITY LINES AND/OR CONDUITS HAVE BEEN INSTALLED.
   c. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH EXCAVATION AND BACKFILL FOR ALL ELECTRIC LINES/CONDUITS. EXCAVATION AND BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANY.
   d. THE CONTRACTOR SHALL REFER TO PLANS PREPARED BY THE EITHER THE APPROPRIATE UTILITY COMPANY OR THE BUILDING ELECTRICAL/MECHANICAL ENGINEER FOR THE EXACT LOCATION, SIZE AND TYPE OF THE PROPOSED ELECTRIC SYSTEMS. ANY LOCATIONS SHOWN ON THESE DRAWINGS ARE PRELIMINARY AND SHOULD NOT BE USED FOR CONSTRUCTION.

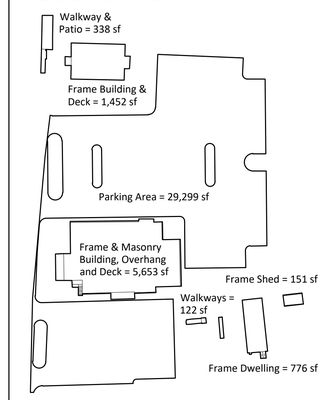
SCHEDULE OF YARD AND BUILDING REQUIREMENTS			
ZONE RB RETAIL BUSINESS			
469 SMITH RIDGE ROAD			
BLOCK 9834, SHEET 183, LOTS 32, 33 AND 34			
REGULATION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE			
AREA (ACRES)	1/2 ACRE	3.405 ACRES	
FRONTAGE	100 FT		
MINIMUM YARD			
FRONT:			
FROM STREET CENTER LINE	45 FT		
FROM FRONT LOT LINE	20 FT	15.9 FT	
SIDE	15(a)	21.0 FT	15.2 FT.
REAR	15(a)		
MAXIMUM BUILDING HEIGHT			
STORIES	2 1/2 STORIES		
FEET	30 FT		
MAXIMUM BUILDING COVERAGE	20%	5%	6%
MAXIMUM SITE COVERAGE	60%	24.4%	23.2%
MAXIMUM FLOOR AREA RATIO	0.30		

(a) WHERE A LOT LINE ABUTS LAND IN A RESIDENCE DISTRICT, THE SETBACK REQUIREMENTS FOR THAT RESIDENCE DISTRICT SHALL GOVERN.
(b) NO SINGLE STRUCTURE SHALL EXCEED COVERAGE OF 10,000 SQUARE FEET.

SCHEDULE OF YARD AND BUILDING REQUIREMENTS		
ZONE R-1A ONE FAMILY RESIDENCE		
469 SMITH RIDGE ROAD		
BLOCK 9834, SHEET, LOT 33		
REGULATION	REQUIRED	EXISTING
MINIMUM LOT SIZE AREA	1 ACRE	2.879 ACRES
WIDTH/CIRCLE (FEET)	150 FT.	
MINIMUM YARD (FEET)		
FRONT:		
FROM STREET CENTER LINE	65 FT	
FROM FRONT LOT LINE	40 FT	
SIDE	30 FT	
REAR	40 FT	
MAXIMUM BUILDING HEIGHT		
STORIES:	2 1/2	
FEET	35 FT	
MAXIMUM BUILDING COVERAGE	12%	



COVERAGE AREAS
VISTA MARKET
469 SMITH RIDGE ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK



TOTAL IMPERVIOUS COVERAGE AREA = 37,791 S.F.

REDUCTION OF THE PAVED PARKING AREA WILL RESULT IN A NET DECREASE OF 6,053 SF OF NEW IMPERVIOUS SURFACE

GRAPHICAL DEPICTION OF IMPERVIOUS SURFACE
N.T.S.

NO.	REVISION	DATE
1	ISSUED FOR PLANNING BOARD REVIEW	4/12/2021

North

30 20 10 0 30 60
SCALE IN FEET

Applicant
AASHI, LLC
Vista Market
469 Smith Ridge Road
South Salem, New York 10590
Tel: 203-434-0143

Owner
AVRAAM APAZIDIS
7 Rudolph Lane
Fairfield, CT
Tel: 203-434-3725

Provident design engineering
7 SKYLINE DRIVE, HAWTHORNE, NEW YORK 10532
TEL: (914) 592-4040 WWW.PDERESULTS.COM

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VISTA MARKET
469 SMITH RIDGE ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
OVERALL SITE PLAN

Seal

Scale:	1"= 30'
Date:	12/18/2020
Drawn By:	KMM
Checked By:	PJG
Project No.:	20-035
Sheet No.:	2 of 4
Dwg. No.:	C-102

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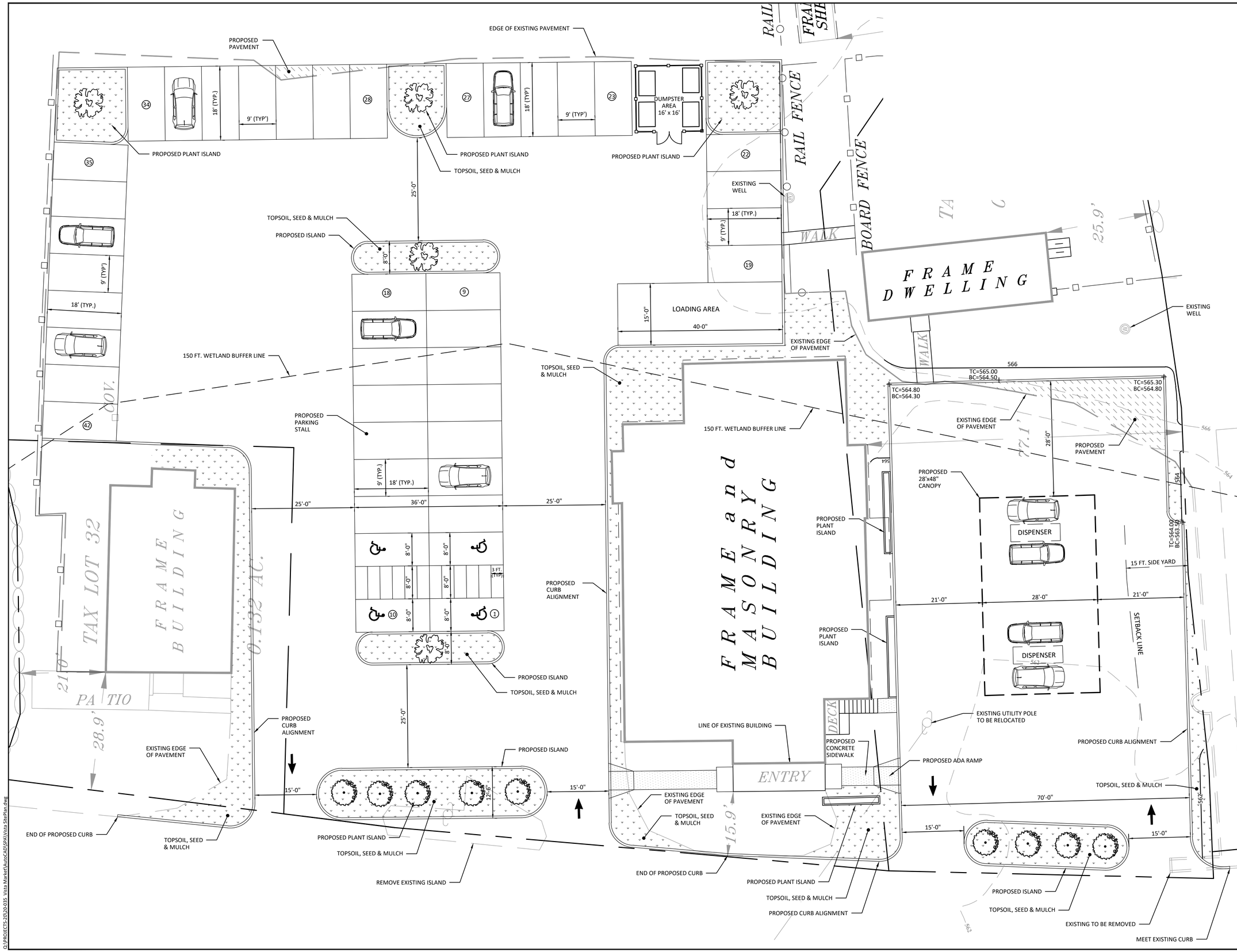

NO.	REVISION	DATE
1	ISSUED FOR PLANNING BOARD REVIEW	4/12/2021

LAYOUT LEGEND

- PROPOSED CURB
- PROPOSED CONCRETE SIDEWALK
- TOPSOIL, SEED & MULCH

Applicant
AASHI, LLC
Vista Market
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South Salem, New York 10590
Tel: 203-434-0143

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© PROVIDENT DESIGN ENGINEERING, PLLC

VISTA MARKET
469 SMITH RIDGE ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
SITE PLAN

Seal

Scale:	1"= 10'
Date:	12/18/2020
Drawn By:	KMM
Checked By:	PJG
Project No.:	20-035
Sheet No.:	3 of 4
Dwg. No.:	C-103

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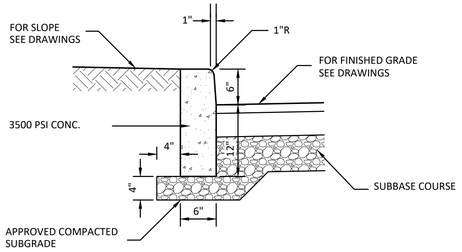
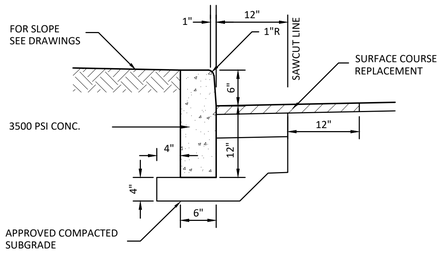


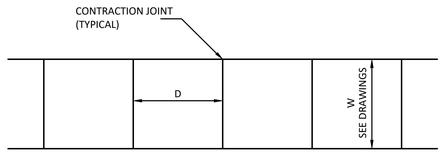
CONCRETE CURB (6"x18")
NOT TO SCALE

1

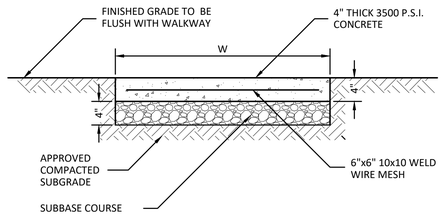


CONCRETE CURB IN EXISTING PAVEMENT
NOT TO SCALE

2



PLAN



SECTION

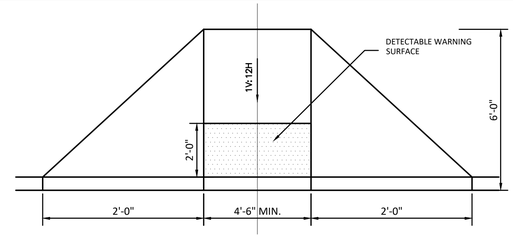
NOTE:

1. MINIMUM CROSS SLOPE 1/8"/FT. UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
2. PROVIDE 1/4" PREMOULDED EXPANSION JOINTS AT 20' INTERVALS.

W	D
3'	4'
4'	4'
5'	5'
>5'	5'

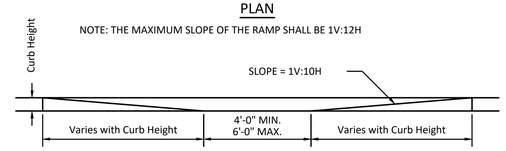
CONCRETE SIDEWALK
NOT TO SCALE

3

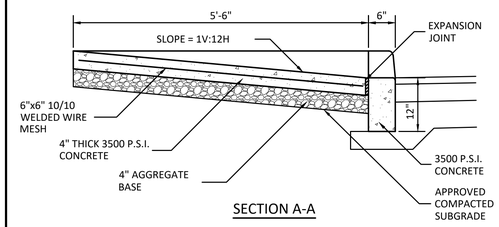


PLAN

NOTE: THE MAXIMUM SLOPE OF THE RAMP SHALL BE 1V:12H



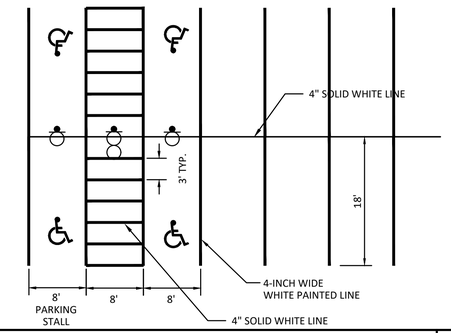
ELEVATION



SECTION A-A

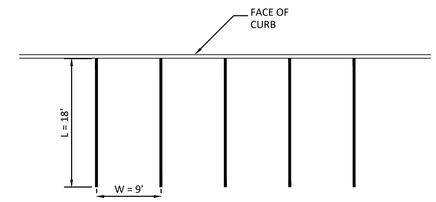
CURB RAMP
NOT TO SCALE

4



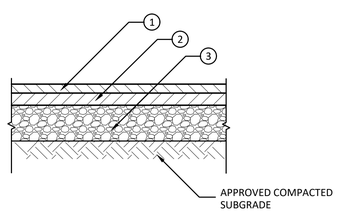
ACCESSIBLE PARKING STALL LAYOUT
NOT TO SCALE

5



90 DEGREE PARKING STALL LAYOUT
NOT TO SCALE

6



PAVEMENT DESIGN LEGEND:

1. 1-1/2" TOP COURSE, NYSDOT ITEM 403.1701, TYPE 6F
2. 3-1/2" BINDER COURSE, NYSDOT ITEM 403.13, TYPE 3
3. 6" SUBBASE COURSE, NYSDOT ITEM 304.14, TYPE 4

PARKING AREA PAVEMENT
NOT TO SCALE

7

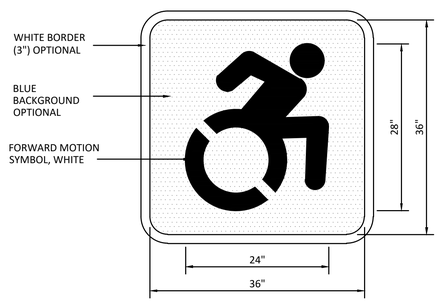
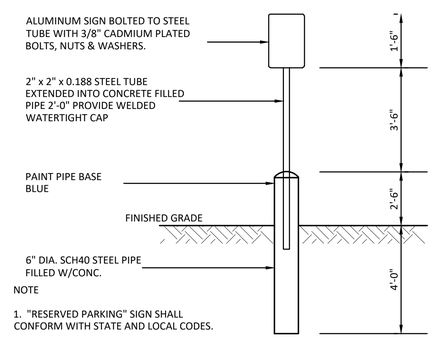


FIGURE 3B-2 OF THE 2009 MUTCD HAS BEEN MODIFIED TO REFLECT THE NYS 2014 ACCESSIBILITY SYMBOL LAW. THE MUCTD AND NYS SUPPLEMENT HAVE NOT BEEN AMENDED TO REFLECT THE NYS LAW

ACCESSIBLE PAVEMENT MARKING SYMBOL
NOT TO SCALE

8



NOTE

1. "RESERVED PARKING" SIGN SHALL CONFORM WITH STATE AND LOCAL CODES.

HANDICAP PARKING SIGN & FOUNDATION
NOT TO SCALE

9

NO.	REVISION	DATE
1	ISSUED FOR PLANNING BOARD REVIEW	4/12/2021

Applicant
AASHI, LLC
Vista Market
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South Salem, New York 10590
Tel: 203-434-0143

Owner
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VISTA MARKET
469 SMITH RIDGE ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
DETAIL SHEET

Seal

Scale:	N.T.S,
Date:	12/18/2020
Drawn By:	KMM
Checked By:	PJG
Project No.:	20-035
Sheet No.:	4 of 4
Dwg. No.:	D-101

Q:\PROJECTS-20\20-035 Vista Market\AutoCAD\SPA\Vista SitePlan.dwg

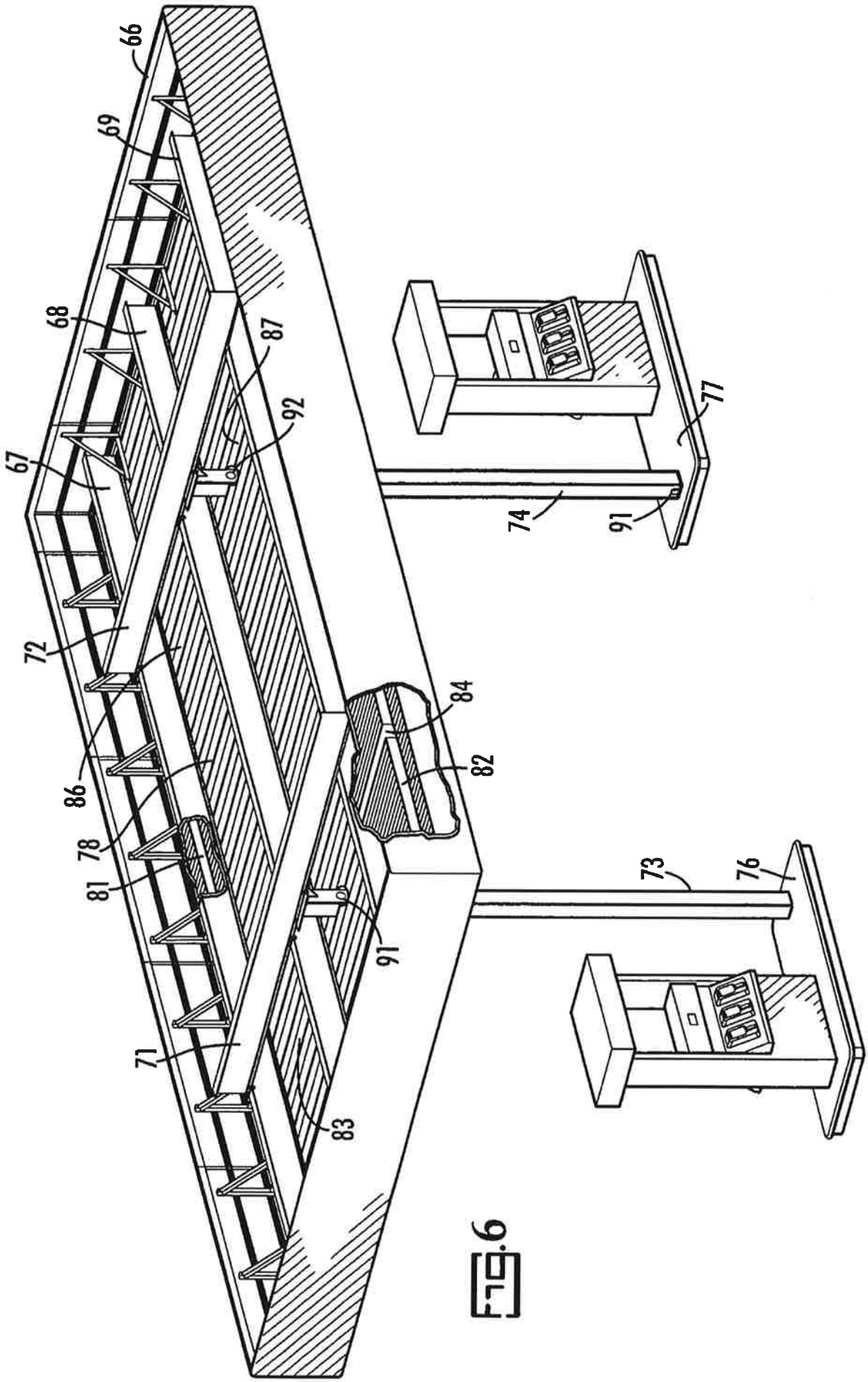
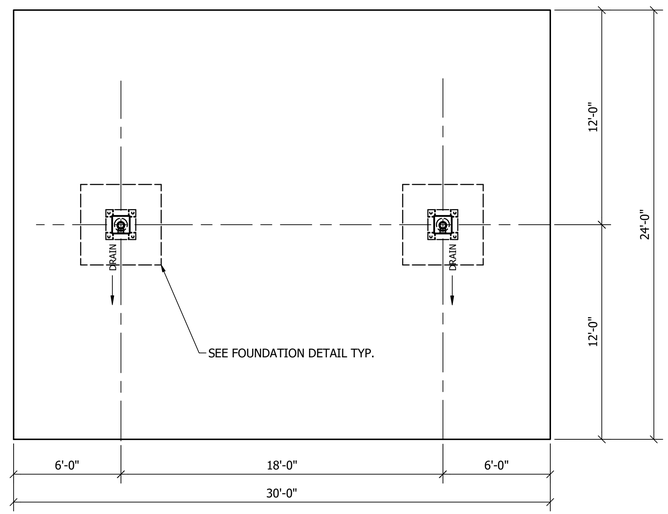
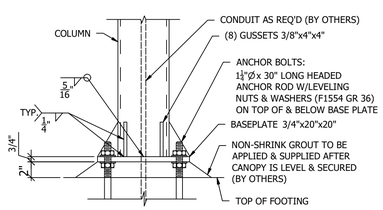


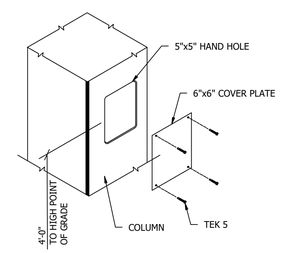
FIG. 6



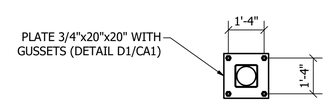
FOUNDATION PLAN
SCALE 1/4"=1'-0"



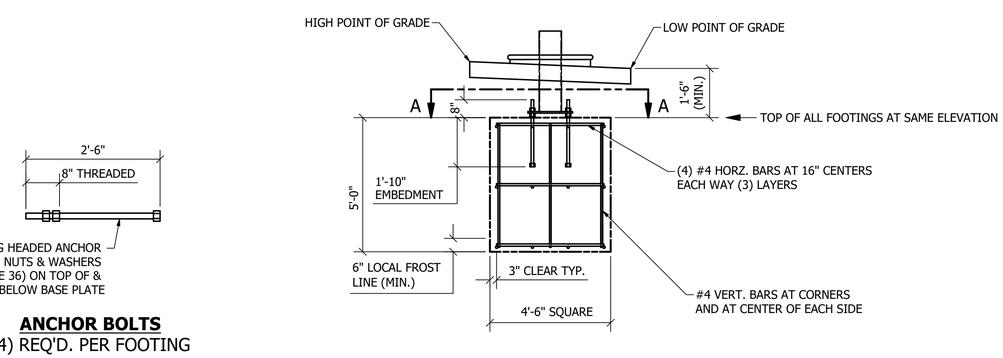
D1 CA1 BASEPLATE DETAIL



D2 CA1 HAND HOLE & COVER DETAIL



SECTION A-A



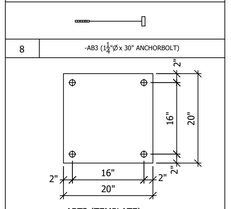
FOUNDATION DETAIL
SCALE 3/8"=1'-0"

1 1/4"Ø x 30" LONG HEADED ANCHOR
ROD WITH LEVELING NUTS & WASHERS
(ASTM F1554 GRADE 36) ON TOP OF &
BELOW BASE PLATE

ANCHOR BOLTS
(4) REQ'D. PER FOOTING

FOOTING NOTES
1. OWNER / GENERAL CONTRACTOR SHALL BE REPONSIBLE FOR FOOTING AND ANCHOR BOLT INSTALLATION.
2. ALL FOOTINGS SHALL BE CAST ON LEVEL UNDISTURBED SOIL, ROCK OR PROPERLY COMPACTED SUBGRADE. FOOTING SIZE BASED ON MINIMUM 1500 PSF SOIL BEARING AT BASE AND 150 PSF PER FOOT OF DEPTH LATERAL BEARING CAPACITY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SOIL PERAMETERS.
3. FOOTING CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
4. FOOTING DESIGN BASED ON AN ASSUMED 1'-6" BURY OF THE COLUMNS FROM THE BOTTOM OF BASEPLATE TO FINISHED GRADE. ANY AMOUNT OF BURY LESS THAN 1'-6" WILL RESULT IN A LARGER FOOTING SIZE.
5.TOPS OF ALL FOOTINGS ARE ASSUMED TO BE AT SAME ELEVATION. OWNER / GENERAL CONTRACTOR SHALL PROVIDE BURIAL DEPTH FROM HIGH GRADE UNDER CANOPY. WHERE TOPS OF FOOTINGS ARE AT DIFFERENT ELEVATIONS, THE OWNER / GENERAL CONTRACTOR SHALL PROVIDE THE CANOPY MANUFACTURER WITH ALL FOOTING AND GRADE ELEVATION PRIOR TO CANOPY FABRICATION. VARIATIONS FROM DESIGN ELEVATIONS MAY RESULT IN INADEQUATE CLEARANCE AND UNDER SIZED FOOTINGS.
6. OWNER / GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING NON-SHRINK GROUT UNDER ALL COLUMN BASES AFTER CANOPY IS LEVELED AND SECURED.
7. FOOTING REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 DEFORMED BILLET STEEL BARS WITH SPACING AS SHOWN ON DRAWING.
8. FOOTINGS ARE ASSUMED TO BE CONSTRAINED BY FUEL ISLAND AND DRIVE MAT CONCRETE. WHERE THIS CONDITION DOES NOT EXIST, THE OWNER SHALL NOTIFY CANOPY MANUFACTURER.
9. ANCHOR BOLTS SHALL BE PLACED IN ACCORDANCE WITH THIS DRAWING . TEMPLATES SHALL BE USED TO ENSURE PROPER PLACEMENT OF ANCHOR BOLTS. ANCHOR BOLTS ARE TO BE INSTALLED SUCH THAT A MINIMUM OF 8" OF THREAD IS EXPOSED ABOVE TOP OF FOOTING. BOTTOM OF THREADS SHALL NOT END MORE THAN 3/4" ABOVE TOP OF FOOTER.
10. ANY DISCREPANCIES BETWEEN THE ABOVE NOTES AND LOCAL BUILDING CODE REQUIREMENTS SHALL BE REPORTED TO THE CANOPY MANUFACTURER IMMEDIATELY. COMMENCEMENT OF FOOTING INSTALLATION SHALL INDICATE THAT THE ABOVE NOTE MEET LOCAL BUILDING CODE REQUIREMENTS.

FOR ANCHOR BOLT SHIPMENT



8	-ABS (1½"Ø x 30" ANCHORBOLT)
	ABT3 (TEMPLATE)
2	WOOD TEMPLATE

IMAGE RESOURCE GROUP

REV	DATE	BY	DESCRIPTION
0	7/2/20	RY	APPROVAL/PERMIT

REVISION HISTORY

STATE OF NEW YORK
DAVID E. SCHATTE
079789
LICENSED PROFESSIONAL ENGINEER
07/07/2020

DAVID E. SCHATTE
10609 99TH STREET
OVERLAND PARK, KS. 66214
LICENSE #078789

VFS

137 Applewood Drive.
Ilion, New York 13357
Phone: 315.865.0262

THESE PLANS ARE SUBJECT TO
FEDERAL COPYRIGHT LAWS
ANY USE OF SAME WITHOUT THE
EXPRESS WRITTEN PERMISSION
OF VFS, LLC IS PROHIBITED

SITE:
ORANGETOWN DPW
119 NY 303
ORANGETOWN, NY

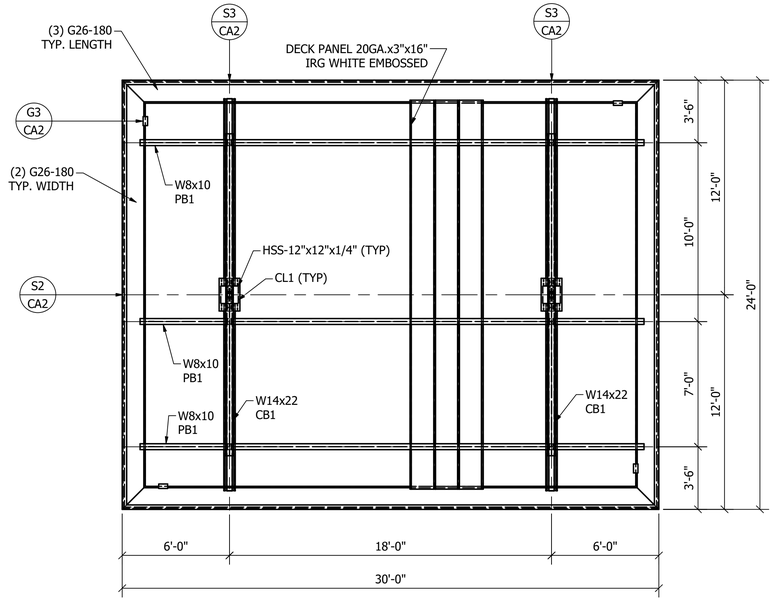
24' X 30'
(2) COLUMN CANOPY

SCALE:	DRAWN BY:	CHECKED BY:
AS SHOWN	REY	DES

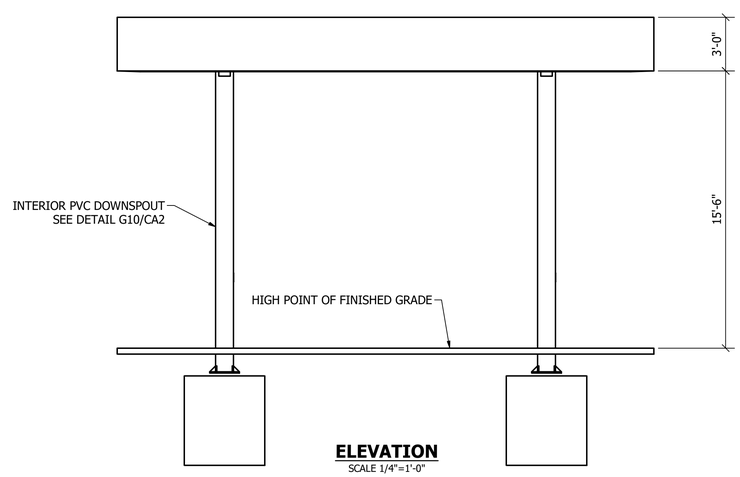
JOB NUMBER: 43398

SHEET TITLE: FOUNDATION PLAN

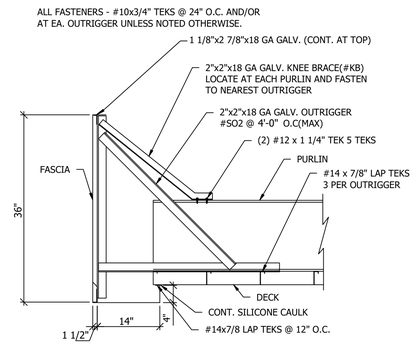
SHEET NUMBER: CA1 of 2



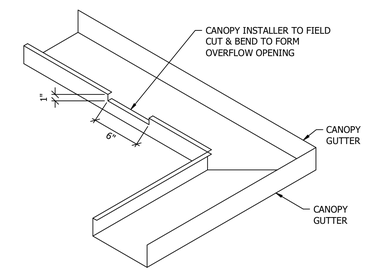
FRAMING PLAN
SCALE 1/4"=1'-0"



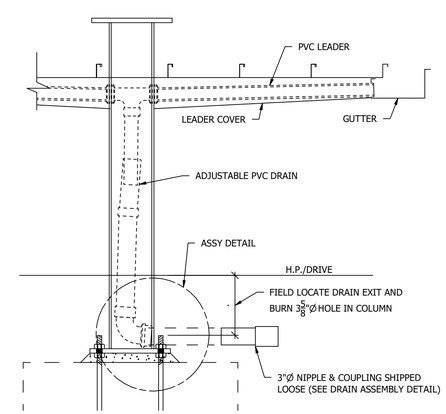
ELEVATION
SCALE 1/4"=1'-0"



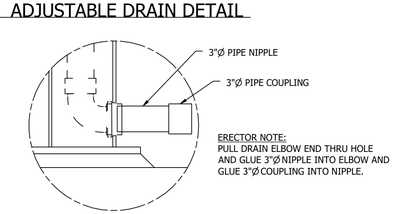
TYP. END FASCIA SECTION



G3 CA2 FIELD CUT GUTTER OVERFLOW DETAIL



G10 CA2 ADJUSTABLE DRAIN DETAIL



ERECTOR NOTE:
PULL DRAIN ELBOW END THRU HOLE
AND GLUE 3"Ø NIPPLE INTO ELBOW AND
GLUE 3"Ø COUPLING INTO NIPPLE.

DRAIN ASSEMBLY DETAIL

STEEL NOTES
1. DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST AISC SPECIFICATIONS. DESIGN, FABRICATION AND ERECTION OF COLD FORMED STEEL SECTIONS SHALL CONFORM TO THE LATEST AISI SPECIFICATIONS.
2. STRUCTURAL MATERIALS:
WIDE FLANGE SECTIONS - ASTM A992 OR A572 GRADE 50 (Fy = 50 KSI)
ANGLES / CHANNELS - ASTM A36 (Fy = 36 KSI)
HOLLOW STRUCTURAL SECTIONS (TUBE) - ASTM A500 GRADE B (Fy = 46 KSI)
PIPE SECTIONS - ASTM A53, GRADE B (Fy = 35 KSI)
PLATE - ASTM A36 (Fy = 36 KSI)
ROOF DECK - ASTM A653, GRADE 50 (Fy = 50 KSI), GALVANIZED (G60) WITH BAKED ENAMEL FINISH
STEEL OUTRIGGERS - ASTM A653 GR. CS (Fy = 25 KSI), GALVANIZED (G90) PER ASTM 924
STRUCTURAL BOLTS - ASTM A325
ANCHOR BOLTS - ASTM F1554 GR. 36;
3. WELDING OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH LATEST ANSI / AWS D1.1
4. FIELD CONNECTIONS SHALL BE BOLTED CONNECTIONS UNLESS SPECIFIED ON DRAWING.
5. ALL STRUCTURAL BOLTED CONNECTIONS SHALL USE ASTM A325 BOLTS. BOLTED JOINTS SHALL BE TIGHTENED TO SNUG TIGHT PER LATEST RCSC SPECIFICATION.
6. STRUCTURAL STEEL SHALL BE SHOP COATED WITH A RED-OXIDE RUST INHIBITIVE PRIMER. FIELD TOUCH-UP, FINISH PAINTING, AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER (UNLESS OTHERWISE SPECIFIED).
7. DESIGN LOADS PER LOCAL BUILDING CODE REQUIREMENTS:

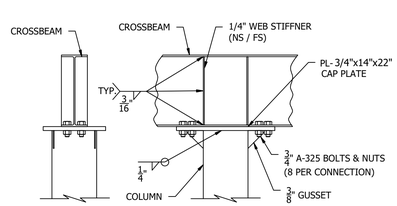
ROOF LIVE LOAD = 20 PSF

FLAT ROOF SNOW LOAD = 30 PSF
BASED ON GROUND SNOW LOAD= 30 PSF

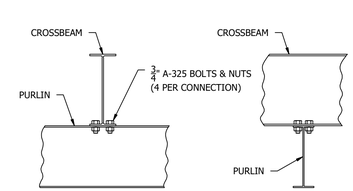
WIND LOADS:
LATERAL = 25 PSF
UPLIFT = 20 PSF
BASED ON 120 MPH EXPOSURE "B" ULTIMATE WIND SPEED PER ASCE 7-10

SEISMIC LOADS:
SEISMIC USE GROUP I, SITE CLASS "D" ASSUMED, SEISMIC DESIGN CATEGORY "B"
Sds = 0.30G, Sd1 = 0.11G
SEISMIC FORCE RESISTING SYSTEM IS INVERTED PENDULUM - CANTILEVERED COLUMN, R = 2.0
Cs = 0.74 DESIGN BASE SHEAR = CsxW = 0.72 K/COL USING EQUIVALENT LATERAL FORCE PROCEDURE

DEAD LOADS:
DECK / GUTTER / LIGHTS - 5 PSF
FASCIA - 5 TO 15 PLF (PER DESIGN)
STRUCTURAL STEEL - SELF WT
CONCRETE - 145 PCF



S2 CA2 CROSSBEAM TO COLUMN CONNECTION

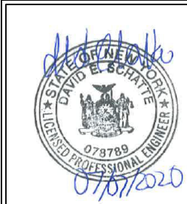


S3 CA2 CROSSBEAM TO PURLIN CONNECTION

IMAGE RESOURCE GROUP

REV	DATE	BY	DESCRIPTION
0	7/2/20	RY	APPROVAL/PERMIT

REVISION HISTORY



DAVID E. SCHATTE
10609 99TH STREET
OVERLAND PARK, KS. 66214
LICENSE #078789

VFS

137 Applewood Drive.
Ilion, New York 13357
Phone: 315.865.0262

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SITE:
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119 NY 303
ORANGETOWN, NY

24' X 30'
(2) COLUMN CANOPY

SCALE:	DRAWN BY:	CHECKED BY:
AS SHOWN	REY	DES

JOB NUMBER: 43398

SHEET TITLE: FRAMIG PLAN

SHEET NUMBER: CA2 of 2

KELLARD SESSIONS

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Joseph Angiello

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM
Town Consulting Professionals

DATE: May 13, 2021

RE: Waiver of Site Development Plan Procedures and Change of Use Permit
Cameron's Deli
890 Route 35
Sheet 20, Block 10801, Lot 30

PROJECT DESCRIPTION

The subject property consists of ±1.46 acres of land and is located at 890 Route 35 within the RB Zoning District. The subject property is developed with a 2-story mixed-use building with several storefront on the ground level; the second floor is unfinished. The applicant is proposing a change of use to expand the existing deli into the former physical therapy space. The applicant is further proposing the construction of a single-accommodation (ADA compliant) toilet room. All proposed work is to the building's interior.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. A Change of Use Permit is required by the Planning Board.

2. The proposed change of use requires approval from the Westchester County Department of Health (WCDH).

3. The proposed action must be referred to the Architectural and Community Appearance Review Council (ACARC).

COMMENTS

1. This office defers review of the plan for zoning compliance to the Building Inspector. It is recommended that the application be referred to the Building Inspector for review.

2. The proposed change of use shall be reviewed by the WCDH for a determination of adequate septic capacity. Provide copies of correspondence and any permits/approval from the WCDH.

3. Any previously approved Planning Board Resolutions or approved plans shall be submitted by the applicant.

4. In general, the digital copy of the plan set was difficult to read (light line work, blurry, etc.). In the future, please submit true .pdf copies of the plans.

5. The applicant shall submit an existing conditions survey, signed and sealed by a NYS Licensed Land Surveyor.

6. The applicant shall submit a business plan which shall provide a detailed description of the proposed use and its operation. Include hours of operation, number of staff, etc. The business plan shall include a title and date for reference purposes.

7. A table shall be added to the site plan which clearly identifies the existing and proposed gross floor area associated with the proposed use.

8. The site plan shall include a parking calculation demonstrating compliance with the off-street parking requirements provided under Section 220-56 of the Zoning Code. The parking calculation must compare the existing and proposed conditions to the minimum off-street parking requirements and identify the number of parking spaces existing/proposed; all existing tenancies (to remain) shall be identified including their existing (to remain) gross floor areas.

9. The existing outdoor seating area associated with the deli shall appear on the site plan. The applicant should consider making improvements to the outdoor seating area, including improvements to the walking surface, landscaping, etc. Refuse and recycling receptacles shall also be identified.

10. Please identify if any changes are proposed to the storefront or to the existing signage.

11. The minimum required number of accessible parking spaces shall be shown on the site plan. Provide a detail of the accessible parking space, loading space and signage.

12. The plans shall be revised to include a north arrow; the Site Plan on Sheet T1 shall be revised to include a drawing scale.

13. The Tax Parcel Identification Number(s) shall be identified on the plan.

14. The owner/applicant's name and address shall be identified on the plan.

15. The Planning Board's standard signature blocks shall appear on all sheets.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY MANDRA WORKSHOP, ARCHITECTURAL DESIGN, DATED MARCH 3, 2021:

- Cover (Sheet Number T1)
- General Information (Sheet Number G01)
- Removal Plans (Sheet Number A101)
- New Construction Plans (Sheet Number A201)
- Reflected Ceiling Plans (Sheet Number A601)

DOCUMENTS REVIEWED:

- Town of Lewisboro Planning Board Application
- Deed
- Short Environmental Assessment Form (EAF) Part 1

JKJ/dc

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem , NY 10590 Tel: (914) 763-5592 Email: planning@lewisborogov.com

Site Development Plan/Subdivision Plat Application - Check all that apply:

Waiver of Site Development Plan Procedures	☑		
Site Development Plan Approval	Step I ☐	Step II ☐	
Special Use Permit Approval	Step I ☐	Step II ☐	
Subdivision Plat Approval	Step I ☐	Step II ☐	Step III ☐

Project Information

Project Name: Cameron's Deli

Project Address: 890 Rt 35 Cross River, NY 10518

Gross Parcel Area: 1.464 Zoning District: RB Sheet(s): 20 Block (s): 10801 Lot(s): 30

Project Description: • Change of use for parcel area to expand deli
• physical therapy to → deli expansion

Is the site located within 500 feet of any Town boundary?	YES ☐	NO ☑
Is the site located within the New York City Watershed?	YES ☑	NO ☑
Is the site located on a State or County Highway?	YES ☑	NO ☐

Does the proposed action require any other permits/approvals from other agencies/departments?

Town Board	☐	ZBA	☐	Building Dept.	☑	Town Highway	☐
ACARC	☑	NYSDEC	☐	NYCDEP	☐	WCDH	☐
NYSDOT	☐	Town Wetland	☐	Town Stormwater	☐		

Other _____

Owner's Information

Name: Ibrahim Jamal Email: ijamal82@gmail.com

Address: 2 Charles W Briggs Rd Croton-on-Hudson, NY 10520 Phone: (914) 573-1346

Applicant's Information (if different)

Name: _____ Email: _____

Address: _____ Phone: _____

Authorized Agent's Information

Name: _____ Email: _____

Address: _____ Phone: _____

THE APPLICANT understands that any application is considered complete only when all information and documents required have been submitted and received by the Planning Board. The applicant further understands that the applicant is responsible for the payment of all application and review fees incurred by the Planning Board.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief, and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

APPLICANT'S SIGNATURE _____ DATE _____

OWNER'S SIGNATURE X _____ DATE 4-1-21

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant
(Please type or print)

Ibrahim Jamal
Name of Applicant

Cameron's Deli expansion
Project Name

Property Description

Tax Block(s): 10801

Tax Lot(s): 30

Tax Sheet(s): 20

Property Assessed to:

CENTRAL AVE.,WHITE PLAINS LLC
Name

890 ROUTE 35
Address

CROSS RIVER, NY 10518
City *State* *Zip*

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes: Deidre K Casper *Date* 4/1/2021

Sworn to before me this

1st **day of** April, **2** 021

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2020

Janet L Donohue
Signature - Notary Public (affix stamp)

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592
Fax: (914) 875-9148

Affidavit of Ownership

State of : New York

County of: Westchester

Ibrahim Jamal, being duly sworn, deposes and says that he/she

resides at 2 Charles W Briggs Rd, Croton-on-Hudson, NY 10520

in the County of Westchester, State of NY

and that he/she is (check one) ☑ the owner, or ☐ the _____ *Title*

of Cross River Food Market INC.
Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of Lewisboro as:

Block 10801, Lot 30, on Sheet 20.

Owner's Signature

Sworn to before me this

1st **day of** April, **2** 021

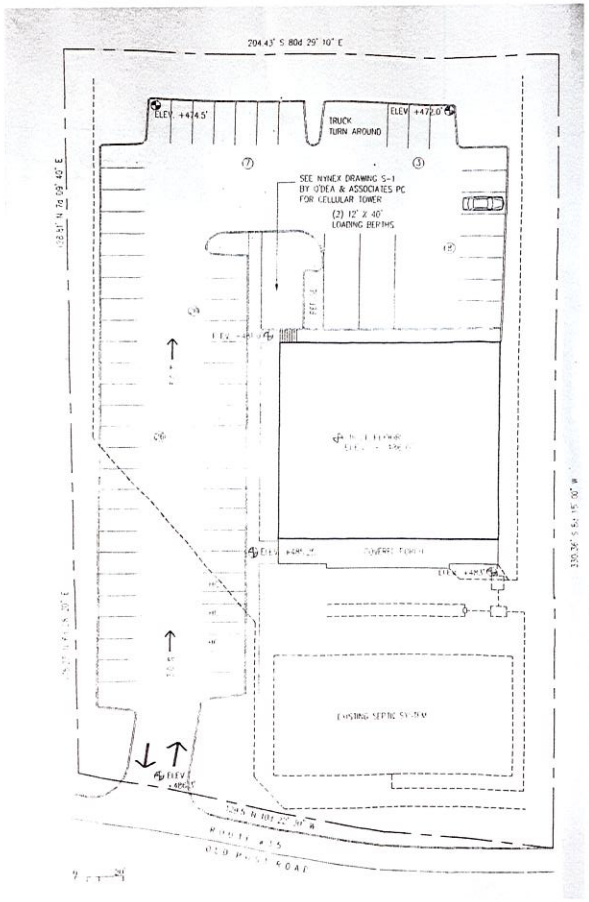
JACQUELINE D POULAKOS
Notary Public - State of New York
NO. 01PO6255822
Qualified in Westchester County
Commission Expires 02-13-2024

Jacqueline D. Poulakos

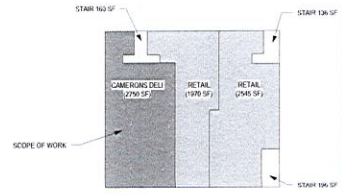
Notary Public – affix stamp

890 NY-35
CROSS RIVER, NY 10518

PERMIT SET



SITE PLAN



1 KEY PLAN
1" = 30'-0"

BUILDING DATA - ZONE RB

VALUE	REQUIRED	EXISTING	PROPOSED	VARIANCE
LOT SIZE	.35 ACRES	1.444 ACRE 63,772SF	NO CHANGE	NONE
BUILDING COVERAGE	20%	15.2	NO CHANGE	NONE
IMPERVIOUS COVERAGE	40%	53%	NO CHANGE	NONE
SETBACK: FRONT RIGHT SIDE LEFT SIDE REAR	30' 15' 15' 15'	100' 27' 65' 118'	NO CHANGE NO CHANGE NO CHANGE NO CHANGE	NONE NONE NONE NONE
HEIGHT	2.5 STORIES 30' MAX	2.5 STORIES 24 HEIGHT	NO CHANGE	NONE
F.A.R. (INCL BASEMENT)	0.30	0.261	NO CHANGE	NONE
BUILDING AREA (GROSS SF)		17,990 SF	NO CHANGE	NONE
FIRST FLOOR AREA (GROSS SF)		7,820 SF	NO CHANGE	NONE
BASEMENT FLOOR AREA (GROSS SF)		7,820 SF	NO CHANGE	NONE
SECOND FLOOR AREA (GROSS SF)		2,350 SF	NO CHANGE	NONE

PARKING DATA - ZONE RB

VALUE	REQUIRED	EXISTING	PROPOSED	VARIANCE
OFF STREET	64 SPACES	64 SPACES	NO CHANGE	NONE
FIRST FLOOR RETAIL (2759 SF / 200)	14 CARS	14 CARS	NO CHANGE	NONE
FIRST FLOOR RETAIL (1970 SF / 200)	10 CARS	10 CARS	NO CHANGE	NONE
FIRST FLOOR RETAIL (2545 SF / 200)	13 CARS	13 CARS	NO CHANGE	NONE
BASEMENT STORAGE (6629 SF/ 1000)	7 CARS	7 CARS	NO CHANGE	NONE
SECOND FLOOR OFFICE (2350 SF/ 250)	10 CARS	10 CARS	NO CHANGE	NONE
OUTBUILDING (240 SF)	1 CAR	1 CAR	NO CHANGE	NONE
HANDICAPPED PARKING	3 SPACES	3 SPACES	NO CHANGE	NONE
LOADING BAY	2 BAYS	2 BAYS	NO CHANGE	NONE

ARCHITECT

mandra workshop
ARCHITECTURAL DESIGN
ADDRESS: 1005 PARKWAY PLACE, PEEKSKILL NY 10566
P 646.739.4916 MANDRAWORKSHOP@GMAIL.COM

MANDRA WORKSHOP Project No.
Project Number

LIST OF DRAWINGS

01 GENRAL INFORMATION	
G001	GENERAL INFORMATION
03 ARCHITECTURE	
A101	REMOVAL PLANS
A201	NEW CONSTRUCTION PLANS
A601	REFLECTED CEILING PLANS

KEY PLAN

Professional Seal

REGISTERED ARCHITECT
DIEGO SEBASTIAN KOPF
044240
STATE OF NEW YORK

No.	Date	Issue
0	03-03-2021	PERMIT SET

Sheet Title

COVER

Job No. Project Number	Date 1/29/2019
Scale AS NOTED	Drawn / Checked Author Checker

Sheet Number

T1

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
ACM	ASBESTOS CONTAINING MATERIAL
ACPL	ACOUSTIC PANEL
ACT	ACOUSTIC CEILING TILE
ADJ	ADJUSTABLE
AC	AIR CONDITIONING
AESS	ARCHITECTURAL EXPOSED STRUCTURAL STEEL
ALUM	ALUMINUM
APPROX	APPROXIMATE
BTW	BETWEEN
BLKG	BLOCKING
BOT	BOTTOM
BLDG	BUILDING
BL	BUILDING LINE
CAB	CABINET
CB	CEMENT BOARD
CI	CAST IRON
CLG	CEILING
CL	CENTER LINE
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONTR	CONTRACTOR
CONT	CONTINUOUS
CPT	CARPET
CT	CERAMIC TILE
CTB	CERAMIC TILE BASE
DET	DETAIL
DF	DRINKING FOUNTAIN
DIM	DIMENSION
DR	DOOR
DN	DOWN
DWG	DRAWING
EE	EACH END
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EJ	EXPANSION JOINT
ELEC	ELECTRIC/ELECTRICAL
ELEV	ELEVATION
ENCL	ENCLOSURE
EOD	EDGE OF DECK
EOS	EDGE OF SLAB
EPS	EDGE OF POUR STOP
EQ	EQUAL
EXST	EXISTING
EXP JT	EXPANSION JOINT
EXT	EXTERIOR
EW	EACH WAY
FIN	FINISHED
FD	FLOOR DRAIN
FDMPR	FIRE DAMPER
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FACTORY FINISH
FR	FIRE RATED
FRD	FRENCH DRAIN
FL/FLR	FLOOR
FL MTD	FLUSH MOUNTED
FT	FOOT/FEET
FDN	FOUNDATION
GALV	GALVANIZED
GFB	GROUND FACE BLOCK
GFRG	GLASS FIBER REINFORCED GYPSUM
GL	GLASS
GWB	GYPSUM WALLBOARD
HDW	HARDWARE
HDWD	HARDWOOD
HD	HEAD
HDR	HEADER
HVAC	HEATING, VENTILATING, AIR CONDITIONING
HM	HOLLOW METAL
HMFR	HOLLOW METAL FRAME
HORIZ	HORIZONTAL
HC	HANDICAP
IF	INSIDE FACE
INCL	INCLUDE/INCLUSIVE
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
JT	JOINT
JSTS	JOIST
KPL	KICK PLATE
KD	KNOCKDOWN
LAM	LAMINATED
LAMGL	LAMINATED GLASS
LT	LIGHT
LTG	LIGHTING
LWC	LIGHT WEIGHT CONCRETE
MAX	MAXIMUM
MFG	MANUFACTURER
MSNRY	MASONRY
MO	MASONRY OPENING
MECH	MECHANICAL
MTL	METAL
MS	METAL STUD
MLWK	MILL WORK
MIN	MINIMUM
MISC	MISCELLANEOUS
MLDG	MOLDING
MTG	MOUNTING
NIS	NOT IN SCOPE
NTS	NOT TO SCALE
NO	NUMBER
OC	ON CENTER
OPNG	OPENING
OPP	OPPOSITE
OTS	OPEN TO STRUCTURE
OF	OUTSIDE FACE
PTD	PAINTED
PT	PORCELAIN TILE
PTB	PORCELAIN TILE BASE
PL	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLMB	PLUMBING
PLYWD	PLYWOOD
QT	QUARRY TILE
QTB	QUARRY TILE BASE
QTY	QUANTITY
RCP	REFLECTED CEILING PLAN
REQD	REQUIRED
RB	RUBBER BASE
RTN	RETURN
RA	RETURN AIR
REV	REVISED/REVISION
RFI	REQUEST FOR INFORMATION
RO	ROUGH OPENING
RTB	RUBBER THEAD BASE
RW	RESCUE WINDOW
SCHED	SCHEDULE/SCHEDULED
SFB	SPLIT FACE BLOCK
SIM	SIMILAR
STC	SOUND TRANSMISSION CLASS
SPEC	SPECIFICATION
SQFT	SQUARE FOOT
SSTL	STAINLESS STEEL
STL	STEEL
STR	STRUCTURAL/STRUCTURE
SUSP	SUSPENDED/SUSPENSION
TBD	TO BE DETERMINED
TERR	TERRAZZO
TFF	TOP FINISHED FLOOR
TMP GL	TEMPERED GLASS
THERMO	THERMOSTAT
TAB	TOP AND BOTTOM
TO	TOP OF
TOS	TOP OF STEEL
TOSS	TOP OF STRUCTURAL SLAB
TOES	TOP OF EXISTING SLAB
TYP	TYPICAL
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
VAT	VINYL ASBESTOS TILE
VCT	VINYL COMPOSITE TILE
VERT	VERTICAL
VIF	VERIFY IN FIELD
VT	VINYL TILE
WB	WHITEBOARD
WC	WATER CLOSET
W/	WITH
W/C	WHEEL CHAIR
W/O	WITHOUT
WOM	WALK OFF MAT
WD	WOOD
WD BLKG	WOOD BLOCKING
WD DR	WOOD DOOR
WP	WATERPROOFING
ZCC	ZINC COATED COPPER

SHEET IDENTIFICATION LEGEND

A101

DISCIPLINE DESIGNATOR
SHEET TYPE DESIGNATOR
SEQUENCE NUMBER

DISCIPLINE DESIGNATORS

G	GENERAL
CC	CODE COMPLIANCE
PH	PHASING
HM	HAZARDOUS MATERIAL ABATEMENT
C	CIVIL
L	LANDSCAPE
S	STRUCTURAL
A	ARCHITECTURAL
F	FIRE PROTECTION
P	PLUMBING
M	MECHANICAL
E	ELECTRICAL

SHEET TYPE DESIGNATOR

G	GENERAL
1	DEMOLITION
2	PLANS
3	EXTERIOR ELEVATIONS & BUILDING SECTIONS
4	ENLARGED PLANS & INTERIOR ELEVATIONS
5	FINISHES
6	REFLECTED CEILING PLANS
7	VERTICAL CIRCULATION
8	WALL SECTIONS & ENLARGED DETAILS
9	TYPICAL DETAILS

SYMBOLS LEGEND

- ROOM NAME / 150 SF / 101 — ROOM TAG (NAME, NUMBER, & AREA)
- WALL TYPE & FIRE RATING TAG
- 1A — WINDOW TYPE TAG
- 101 — DOOR DESIGNATION TAG
- CONTROL JOINT
- COLUMN LINE
- 1 / A101 — EXTERIOR ELEVATION
- 1 1 1 1 / A101 — INTERIOR ELEVATION
- 1 / A101 SIM — WALL OR BUILDING SECTION
- DENOTES EXISTING AREA OF THE BUILDING TO REMAIN (NO MAJOR GENERAL CONSTRUCTION).
- DENOTES EXISTING WALL TO REMAIN
- DENOTES EXISTING WALL TO BE DEMOLISHED
- DENOTES 1hr OR NON-RATED WALL
- DENOTES 2hr RATED WALL
- M4 — DENOTES WALL TYPE & FIRE RATING
- DENOTES EXISTING DOOR TO REMAIN (U.N.O)
- DENOTES EXISTING DOOR AND OR FRAME TO BE DEMOLISHED. SEE DOOR SCHEDULE
- 101 — DENOTES NEW DOOR AND OR FRAME. SEE DOOR SCHEDULE

MATERIAL LEGEND

- CMU WALL
- CMU WALL
- GWB WALL
- MASONRY VENEER
- * GWB - "TYPE X" UNO (SEE SPECS)
- PLYWOOD (EXPOSED TO WEATHER OR MOISTURE)
- WOOD BLOCKING (PRESSURE TREATED ALL AREAS EXPOSED TO WEATHER OR MOISTURE)
- CAULK w/ BACKER ROD
- WATER PROOFING MEMBRANE, OR ROOFING MEMBRANE OR FLASHING
- RIGID INSULATION
- BATT. INSULATION
- PORUS FILL
- SUITABLE COMPACTED BACKFILL (SEE SPEC)
- EXISTING UNDISTURBED SOIL
- NEW TOP SOIL
- CAST IN PLACE CONCRETE OR CAST STONE
- GLASS SURFACE

PROJECT INFORMATION

OWNER	IBRAHIM JAMAL TELEPHONE: 914-573-1346 (OWNER)
PROJECT LOCATION	CAMERON'S DELI 890 NY-35 CROSS RIVER, NY 10518
TYPE OF PROJECT	INTERIOR RENOVATION
APPLICABLE CODES	2020 IBC NEW YORK STATE 2020 ENERGY CONSERVATION CODE NEW YORK STATE
CONSTRUCTION TYPE	TYPE III

PROJECT DESCRIPTION:

REMOVAL OF ONE NON-LOADING BEARING WALL. CONSTRUCTION OF ONE NEW WALL AND NEW ADA BATHROOM.

DESIGN BUILD NOTES:

THE FOLLWING SYSTEMS SHALL BE DESIGNED & PROVIDED BY THE CONTRACTOR
1. ELECTRICAL SYSTEMS
2. PLUMBING SYSTEMS

ELECTRICAL NOTES:

1. ELECTRICAL INSTALLATION WIRING & EQUIPMENT SHALL CONFORM TO THE NEW YORK STATE UNIFORM FIRE PREVENTION & BUILDING CODE (NYSUFPBC) & THE NATIONAL ELECTRICAL CODE (ANSI/NFPA NO. 70 LATEST EDITION).

2. PLUMBING INSTALLATION WORK AND EQUIPMENT TO CONFORM SHAL CONFORM TO NEW YORK STATE PLUMBING CODE 2020

GENERAL NOTES & SPECIFICATIONS

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE LOCAL JURINDICTION ZONING CODE; THE 2020 IBC OF NEW YORK STATE & THE 2020 ECCC OF NEW YORK STATE.
2. THE CONTRACTOR SHALL PROVIDE CONNECTION LOCATIONS FOR UTILITIES SUCH AS SANITARY SEWER, GAS LINES, ELECTRIC, WATER & STORM, SEWERS FOR BUILDING, AS PER THE APPROVED SITE PLAN.
3. WRITTEN DIMENSIONS OF THE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
4. PROTECT FROM DAMAGE ALL STRUCTURES, FINISHES, UTILITIES, EQUIPMENT, VEGETATION, ETC. SCHEDULED TO REMAIN. MAINTAIN THE STRUCTURAL INTEGRETY OF THE BUILDING & TEMPORARY SHORING AS REQUIRED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATLY BRACING & PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS & MISALIGNMENT ACCORDING TO THE APPLICABLE CODE, STANDARDS & GOOD PRACTICE.
6. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR SUPERVISION OF THE CONSTRUCTION & NO CHANGE SHALL BE MADE TO THESE PLANS EXCEPT AS PER NEW YORK STATE LAW, CHAPTER 987.
7. THE CONTRACTOR SHALL SECURE & PAY FOR ALL THE REQUIRED PERMITS & INSPECTIONS OF LOCAL AUTHORITIES, & SHALL OBTAIN FINAL APPROVALS OF WORK UPON COMPLETION.
8. REMOVE ALL DEBRIS FROM THE SITE TO A POINT OF LEGAL DISPOSAL.
9. ALL MEMBERS SHALL BE CLOSELY FITTED, ACCURATELY SET TO THE REQUIRED LINES & LEVELS, & RIGIDELY SECURED IN PLACE. NAILING SHAL BE IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, JOISTS SHALL BE SET WITH THE CROWN EDGE UP.
10. ALL WOOD WHICH COMES IN CONTACT WITH CONCRETE SHALL BE PRESSURE THEATED.
11. JOIST HANGERS SHALL BE STAINLESS STEEL, SIZED TO FIT THE SUPPORT MEMBER & OF SUCCIFIENT STRENGTH TO DEVELOP THE FULL STRENGTH OF THE SUPPORTED MEMBER, & FURNISHED COMPLETE WITH ANY SPECIAL FASTENERS REQUIRED.
12. ALL METAL (INCUDING FASTENERS) WHICH COMES IN CONTACT TO PRESSURE THEATED WOOD SHALL BE STAINLESS STEEL.
13. CAULKING. ALL EXTERIOR JOINTS, IN PARTICULAR BETWEEN, DISIMILAR MATERIALS, SHALL BE CAULKED WITH A PERMINANT ELASTIC CAULKING COMPOUND CAPABLE OF HOLDING PAINT.
14. SEALANT SHALL BE APPLIED IN AREAS AS REQUIRED TO MAKE FOR A WEATHER & WATER TIGHT INSTALLATION. APPLY ALL SEALANT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S APPLICATION MANUAL & WRITTEN INSTRUCTIONS.
16. USE ONLY NEW MATERIALS WITHOUT DEFECTS.
17. LUMBER SHALL CONFORM TO PRODUCT STANDARD PS 20, & GRADED IN ACCORDANCE WITH ESTABLISHED GRADING RULES MAXIMUM MOISTURE CONTENT SHALL BE 19 PERCENT.
18. FRAMING LUMBER. PROVIDE SPF #2 OR BETTER.
19. BLOCKING, BRIDGING, NAILERS, & FURRING. COMMON DOUGLAS FIR, SOUTHERN PINE OR HEMLOCK. LEDGER BOARDS, WHERE REQUIRED SHALL BE SECURILY SET WITH JOINTS NOTCHED TIGHTLY.
20. BLOCKING SHALL BE REQUIRED, FOR THE APPLICATION OF SHEATHING, WALLBOARD, & OTHER MATERIALS OR BUILDING ITEM, & TO PROVIDE FIRE STOPPING WHERE REQUIRED.
21. DOUBLE HEADER & TRIMMER JOISTS AT ALL FLOOR OPENINGS.
22. PROVIDE SOLID BLOCKING FOR THE BEARING OF ALL BEAMS & COLUMNS. BEAMS SHALL HAVE BEARING OF NOT LESS THEN 4" ON CONCRETE OR MASONRY, & 1-1/2" WOOD OR METAL JOISTS, TRIMMERS, HEADERS & BEAMS FRAMING INTO CARRYING MEMBER AT THE SAME RELATIVE LEVELS SHALL BE CARRIED ON JOIST HANGERS.
23. SILL PLATES SHALL BE SET LEVEL & SQUARE WITH E.P.S. SILL SEAL & ANCHORED AS INDICATED.

MEANS OF EGRESS

EXIT TRAVEL DISTANCE :

2020 NYS BC 1017.2	250' MAX SPRINKLERED
OCCUPANCY LOADS :	NYS BC TABLE 1004.1
MERCANTILE	60 GROSS SF/PERSON
BUSINESS	150 GROSS SF/PERSON
ACCESSORY STORAGE AREAS	300 GROSS SF/PERSON
EXIT WIDTH :	NYS BC 1005.3.1 AND 1005.3.2
STAIR WIDTH	.2"/OCCUPANT SPRINKLERED
OTHER EGRESS COMPONENTS	.15"/OCCUPANT SPRINKLERED

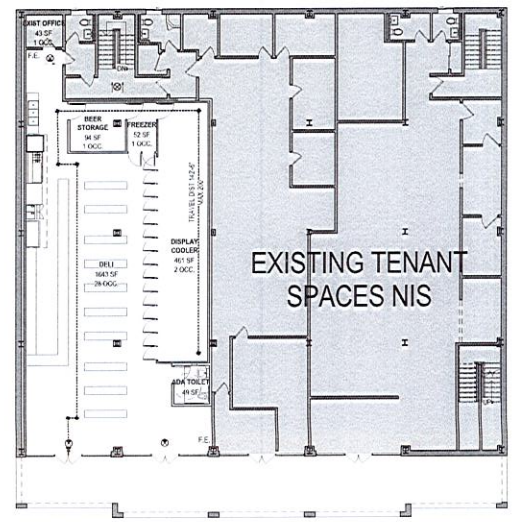
PLUMBING FIXTURE COUNT

FIXTURE COUNT		
TYPE	REQ. FIXTURES MALE / FEMALE	PROPOSED FIXTURES
WATER CLOSET	1	2
LAVATORIES	1	2
DRINKING FOUNTAIN	1	NA
SERVICE SINK	1	3

CALC. BASED ON (MERCANTILE) PER TABLE 2902.1 NYSBC 2020

OCCUPANCY = 33 (ASSUME HALF MALE HALF FEMALE)

WC = 1 PER 500 MALE & FEMALE, LAVATORIES = 1 PER 750 MALE & FEMALE DRINKING FOUNTIANS = 1 PER 1000, DRINKING FOUNTIANS NA PER SECTION 410.4 SUBSTITUTIONS PLUMBING CODE NYS 2020, 1 SERVICE SINK



1 CODE COMPLIANCE PLAN - 1ST FLOOR
3/32" = 1'-0"

LIFE SAFETY LEGEND

F.E.	FIRE EXTINGUISHER
DF	DRINKING FOUNTIAN
38	PROPOSED OCC. LOAD
226	ALLOWED OCC. LOAD
	TRAVEL PATH
	EXIT SIGN W/ STROBE
	EXIT SIGN

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PERMIT SET

KEY PLAN

Professional Seal

REGISTERED ARCHITECT · STATE OF NEW YORK · 042942

No.	Date	Issue
0	03-03-2021	PERMIT SET

Sheet Title
GENERAL INFORMATION

Job No. Project Number	Date 1/29/2019
Scale AS NOTED	Drawn / Checked Author Checker

Sheet Number
G001

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING FOR CLARIFICATION. WORK SHALL NOT PROCEED UNTIL SUCH CLARIFICATION HAS BEEN RECEIVED. DIMENSIONS ARE FROM GYPSUM BOARD TO GYPSUM BOARD OR SHEATHING U.N.O.

2. SHOULD UNFORSEEN CONDITIONS OR OTHER CAUSES NECESSITATE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE PLANS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND SUBMIT HIS DETAILS SHOWING THE PROPOSED METHODS TO ACCOMPLISH THE REQUIRED RESULTS.

3. CONTRACTOR SHALL INSPECT THE PREMISES AND VIEW THE EXISTING CONDITIONS TO VERIFY ALL CONDITIONS, SIZES AND QUANTITIES. PLANS ARE FURNISHED TO INDICATE THE SCOPE OF THE INTENDED CONTRACT WORK. EXISTING CONDITIONS WHICH MIGHT PRECLUDE OR INTERFERE WITH THE PROPOSED WORK AS DRAWN OR SPECIFIED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR RESOLVING. RELOCATIONS MUST BE CHECKED TO VERIFY THEIR FEASIBILITY IN ACCORDANCE WITH THE NEW REQUIREMENTS.

4. THE CONTRACTOR SHALL RELOCATE ALL EXISTING EXPOSED MECHANICAL, ELECTRICAL OR PLUMBING ITEMS SUCH AS PIPES, PANELS, WIRING, ETC., TO SUIT THE NEW DESIGN. ALL NEW UTILITY WORK SHOULD EXTEND OFF EXISTING SYSTEMS WHEN POSSIBLE. CONTRACTOR RESPONSIBLE FOR VERIFYING CAPACITY OF EXISTING SYSTEMS AND NOTIFYING OWNER OF ANY DEFICIENCIES IN RELATION TO THE PROPOSED WORK.

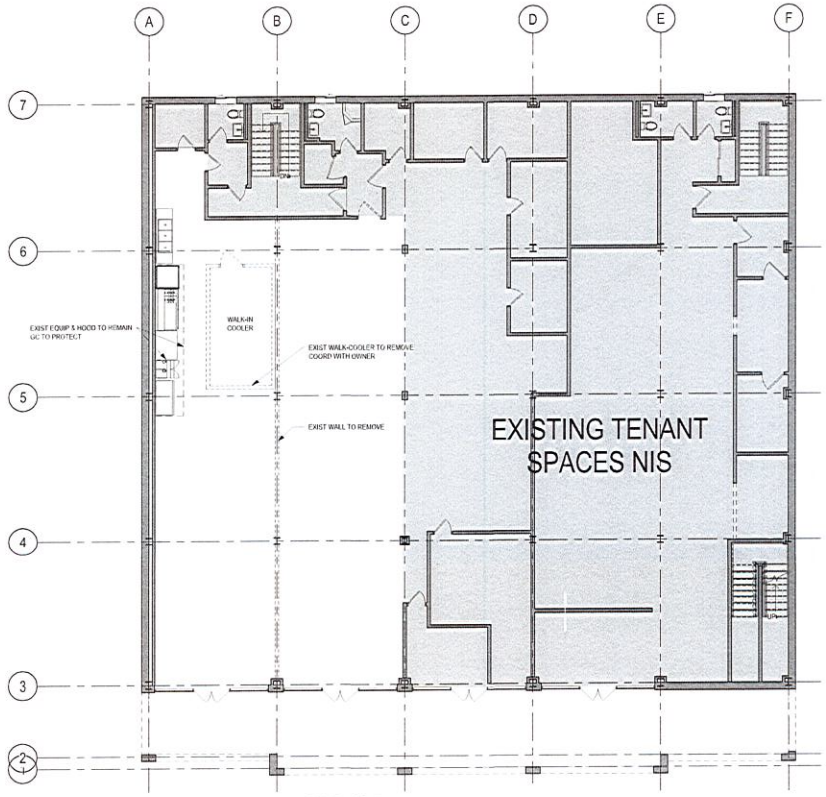
5. WRITTEN DIMENSIONS ON THE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.

7. ALL PLUMBING WORK SHALL CONFORM TO 2020 PLUMBING CODE NYS, ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE, AND ALL HEATING AND VENTILATING WORK SHALL COMPLY WITH AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR-CONDITIONING ENGINEERS (ASHRAE) STANDARDS.

8. CONTRACTOR TO VERIFY AND MATCH STYLE, SIZE, AND MATERIAL OF EXISTING TRIM, MOULDINGS, CASINGS, APRONS, & SILLS U.N.O.

9. ALL NEW FINISHES TO BE SELECTED BY AND COORDINATED WITH THE OWNER.



1 REMOVAL- 1ST FLOOR
1/8" = 1'-0"

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PERMIT SET

KEY PLAN

Professional Seal

REGISTERED ARCHITECT
JOHN J. SEBASTIANI
042487
STATE OF NEW YORK

No	Date	Issue
0	03-01-2021	PERMIT SET

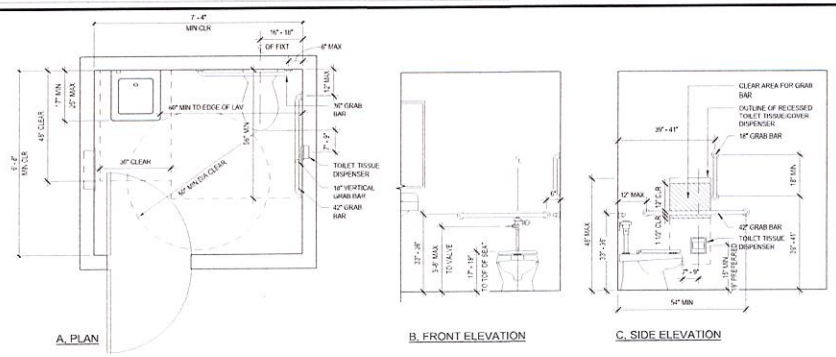
Sheet Title

REMOVAL PLANS

Job No. Project Number	Date 1/29/2019
Scale AS NOTED	Drawn / Checked Author Checker

Sheet Number

A101



REF:
ADA: 603.2, 604.2, 604.3.2, 604.7, 604.8, 609.1
ANSI: 404.4

G106-1010F

2 SINGLE-ACCOMODATION TOILET ROOM
1/2" = 1'-0"

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING FOR CLARIFICATION. WORK SHALL NOT PROCEED UNTIL SUCH CLARIFICATION HAS BEEN RECEIVED. DIMENSIONS ARE FROM GYPSUM BOARD TO GYPSUM BOARD OR SHEATHING U.N.O.

2. SHOULD UNFORSEEN CONDITIONS OR OTHER CAUSES NECESSITATE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE PLANS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND SUBMIT HIS DETAILS SHOWING THE PROPOSED METHODS TO ACCOMPLISH THE REQUIRED RESULTS.

3. CONTRACTOR SHALL INSPECT THE PREMISES AND VIEW THE EXISTING CONDITIONS TO VERIFY ALL CONDITIONS, SIZES AND QUANTITIES. PLANS ARE FURNISHED TO INDICATE THE SCOPE OF THE INTENDED CONTRACT WORK. EXISTING CONDITIONS WHICH MIGHT PRECLUDE OR INTERFERE WITH THE PROPOSED WORK AS SHOWN OR SPECIFIED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR RESOLVING. RELOCATIONS MUST BE CHECKED TO VERIFY THEIR FEASIBILITY IN ACCORDANCE WITH THE NEW REQUIREMENTS.

4. THE CONTRACTOR SHALL RELOCATE ALL EXISTING EXPOSED MECHANICAL, ELECTRICAL OR PLUMBING ITEMS SUCH AS PIPES, PANELS, WIRING, ETC., TO SUIT THE NEW DESIGN. ALL NEW UTILITY WORK SHOULD EXTEND OFF EXISTING SYSTEMS WHEN POSSIBLE. CONTRACTOR RESPONSIBLE FOR VERIFYING CAPACITY OF EXISTING SYSTEMS AND NOTIFYING OWNER OF ANY DEFICIENCES IN RELATION TO THE PROPOSED WORK.

5. WRITTEN DIMENSIONS ON THE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTONTIONS AND MIS-ALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.

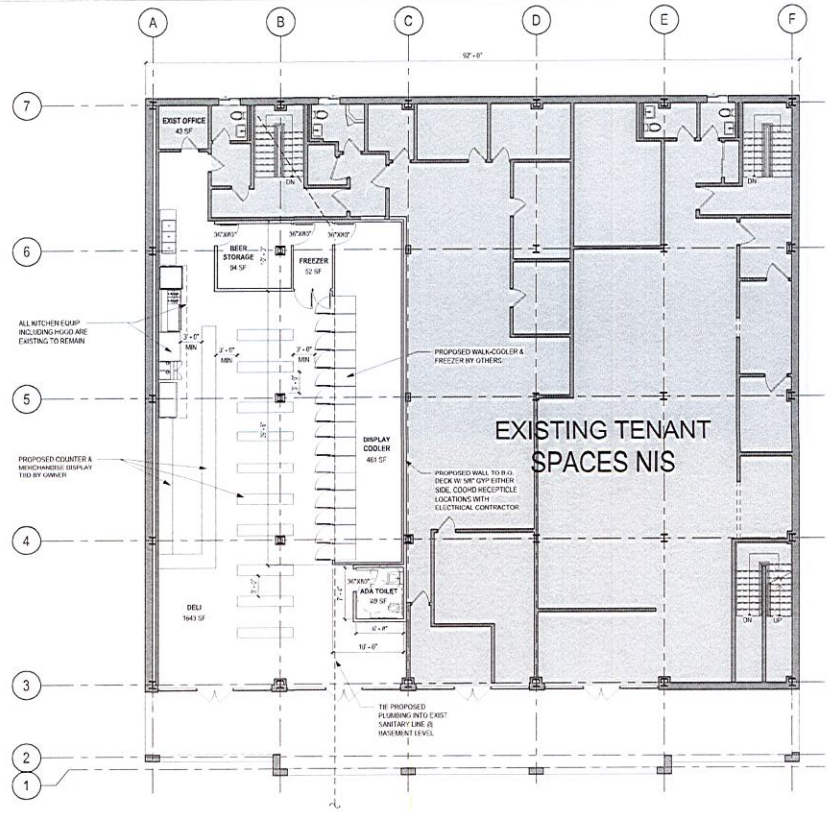
7. ALL PLUMBING WORK SHALL CONFORM TO 2020 PLUMBING CODE NYS. ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE, AND ALL HEATING AND VENTILATING WORK SHALL COMPLY WITH AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR-CONDITIONING ENGINEERS (ASHRAE) STANDARDS.

8. CONTRACTOR TO VERIFY AND MATCH STYLE, SIZE, AND MATERIAL OF EXISTING TRIM, MOULDINGS, CASINGS, APRONS, & SILLS U.N.O.

9. ALL NEW FINISHES TO BE SELECTED BY AND COORDINATED WITH THE OWNER.

GENERAL PLAN NOTES

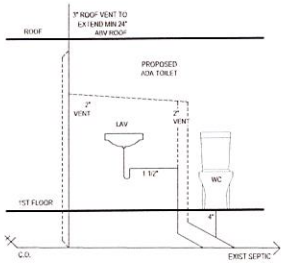
1. DENOTES AREA OF NO MAJOR ARCHITECTURAL RENOVATION WORK.
2. 101 DENOTES DOOR NUMBER SEE DOOR SCHEDULE. SEE SPECS. FOR HARDWARE SETS & INFO
3. DENOTES EXISTING WALL TO REMAIN (MOST EXISTING WALLS ARE MASONRY)
4. DENOTES PROPOSED WALL
5. DENOTES 1hr RATED WALL
6. DENOTES 2hr RATED WALL
7. DENOTES WALL TYPE & FIRE RATING, WHERE SHOWN (SEE A901)
8. DIMENSIONS SHOWN FOR INTERIOR WALLS ARE "FACE OF GYP" OR "FACE OF CMU"
9. FACE OF ADJACENT WALL TO EDGE OF DOOR FRAME IS 4" (TYP) U.N.O. (SEE DOOR SHEET.
10. DENOTES EXISTING DOOR TO REMAIN (U.N.O.)
11. 101 DENOTES NEW DOOR, FRAME, & HARDWARE, SEE NOTE 2 (ABOVE)



1 1ST FLOOR
1/8" = 1'-0"

DIVISION 20- PLUMBING NOTES:

1. ALL PLUMBING SHALL MEET THE REQUIREMENTS OF AND SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES.
2. SUPPLY ALL NECESSARY PLUMBING HOOKUPS TO APPLIANCES.
3. ALL WATER SUPPLY LINES TO BE COPPER OR PEX OR APPROVED EQUAL.
4. VERIFY WASTE VENT LOCATIONS THROUGH ROOF WITH DESIGN PROFESSIONAL PRIOR TO INSTALLATION.
5. SUPPLY CLEAN OUT FOR WASTE LINE, AT REQUIRED LOCATIONS.
6. PLUMBING CONTRACTOR TO ARRANGE ALL REQUIRED PLUMBING INSPECTIONS.
7. SUPPLY PLUMBING WASTE AND SUPPLY FIXMETRICS IF REQUIRED BY BUILDING INSPECTOR.
8. ALL PLUMBING PIPES CARRYING HOT WATER SHALL BE INSULATED USING TUBULAR PIPE INSULATION WHERE THEY MEET OPEN AIR SUCH AS CRAWL SPACES, BASEMENTS, ATTICS, ETC.
9. PLASTIC PIPE IS PERMITTED IN LAVATORIES, TOILETS, TUBS AND SHOWERS.
10. ONLY NEW FIXTURES DEPICTED. ALL OTHER EXISTING FIXTURE TO REMAIN



3 PLUMBING RISER DIAGRAM
1/2" = 1'-0"

CAMERON'S DELI

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PERMIT SET

KEY PLAN

Professional Seal

REGISTERED ARCHITECT
JOHN SEBASTIAN MANDRA
STATE OF NEW YORK

No	Date	Issue
0	03-05-2021	PERMIT SET

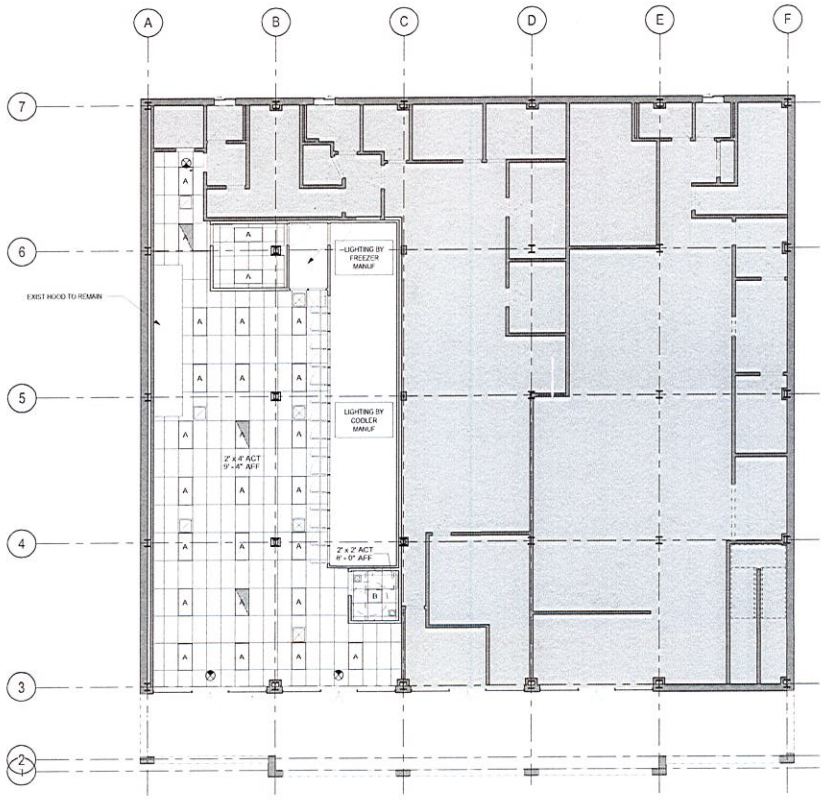
Sheet Title

NEW CONSTRUCTION PLANS

Job No. Project Number	Date 12/30/2019
Scale AS NOTED	Drawn / Checked Author Checker

Sheet Number

A201



1 1ST FLOOR RCP
1/8" = 1'-0"

CEILING NOTES / POWER & LIGHTING SCHEDULE

1		DENOTES AREA OF NO ARCHITECTURAL WORK, UNLESS NOTED ELSEWHERE IN THE DOCUMENTS.
2		DENOTES 12X12 TOILET EXHAUST SUPPLIED WITH GRAVITY DAMPERS DIRECTLY TO EXTERIOR.
3		DENOTES 24X24 RETURN GRILL
4		DENOTES 12X12 SUPPLY GRILL
5		DENOTES 24X24 SUPPLY GRILL
6	A	DENOTES 2X4 LED BY COMMERCIAL ELECTRIC MODEL #BLP-244-P-50-40K-49-D-2 4000K
7	A EM	DENOTES 2X4 LED BY COMMERCIAL ELECTRIC MODEL #BLP-244-P-50-40K-49-D-2 4000K- EMERGANCY BACKUP
8	B	DENOTES 2X2 LED BY COMMERCIAL ELECTRIC MODEL #BLP-224-P-30-40K-49-D-2 4000K
9		EXIT SIGN W/ STROBE
10		EXIT SIGN
11		ALL CEILING FIXTURES ARE TO BE CENTERED IN ROOM UNLESS OTHERWISE NOTED.

ELECTRICAL NOTE
ELECTRICAL CONTRACTOR SHALL COORDINATE POWER W/ OWNER FOR ALL PROPOSED WALK-IN COOLERS & MEET MANUF SPEC.

MECHANICAL NOTE
MECHANICAL CONTRACTOR SHALL RELOCATE EXISTING SUPPLY AND RETURN VENTS AS NEEDED TO MEET OR EXCEED MIN VENTILATION RATES AS REQUIRED BY MECHANICAL CODE OF NYS

CAMERON'S DELI

IBRAHIM JAMAL

890 NY-35
CROSS RIVER, NY 10518

mandra Workshop
ARCHITECTURAL DESIGN
ADDRESS: 1095 PARKWAY PLACE, PEEKSKILL NY 10566
P 845.153.8316 MANDRAWORKSHOP@GMAIL.COM

PERMIT SET

KEY PLAN

Professional Seal

REGISTERED ARCHITECT
JOHN SEBASTIAN
042042
STATE OF NEW YORK

No	Date	Issue
0	03-03-2021	PERMIT SET

Sheet Title

REFLECTED CEILING PLANS

Job No. / Project Number	Date 1/29/2019
Scale AS NOTED	Drawn / Checked Author Checker

Sheet Number

A601

Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information

Name of Action or Project:
Cameron's Deli

Project Location (describe, and attach a location map):
890 Rt 35 . Cross River, NY 10518 Gross Parcel 1.464 acres Block: 1080 1 Lot: 30 Sheet: 20 Zone: RB

Brief Description of Proposed Action:
· Change of use for parcel area to expand deli
· physical therapy to → deli expansion

Name of Applicant or Sponsor:	Telephone: 914-573-1346
Ibrahim Jamal	E-Mail: ijamal82@gmail.com

Address:
2 Charles W Briggs Rd

City/PO:	State:	Zip Code:
Croton-on-Hudson	NY	10520

	NO	YES
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	☑	☐
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:	☑	☐

3. a. Total acreage of the site of the proposed action? _____ acres
   b. Total acreage to be physically disturbed? _____ acres
   c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

4. Check all land uses that occur on, are adjoining or near the proposed action:

☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☑ Commercial ☐ Residential (suburban)

☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify):

☐ Parkland

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?	☐	☑	☐
b. Consistent with the adopted comprehensive plan?	☑	☐	☐

	NO	YES
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	☐	☑
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	☑	☐
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	☑	☐
b. Are public transportation services available at or near the site of the proposed action?	☑	☐
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☑	☐
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	☑	☐
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	☒	☑
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	☐	☑
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	☑	☐
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☑	☐
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	☑	☐
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	☑	☐

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional

☐ Wetland ☐ Urban ☐ Suburban

	NO	YES
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	☑	☐
16. Is the project site located in the 100-year flood plan?	☑	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	☑	☐
a. Will storm water discharges flow to adjacent properties?	☑	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	☑	☐
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	☑	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	☑	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	☑	☐

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Ibrahim Jamal Date: 4-1-21

Signature: _____ Title: Owner

PRINT FORM