

**AGENDA PACKET**

**APRIL 20, 2021 MEETING**

	<b><u>CAL#</u></b>	<b><u>PAGE</u></b>
<b><u>AGENDA</u></b>		<b>3</b>
<b><u>COVENEY RESIDENCE, 32 QUINCY COURT, GOLDENS BRIDGE</u></b>	<b>Cal #2-21PB</b>	
No new materials		-
<b><u>PETRUCELLI/BADAGLIACCA, OSCALETA ROAD, SOUTH SALEM</u></b>	<b>Cal #08-12PB</b>	
Extension Request Email; Michael Sirignano, Esq.; dated March 16, 2021		<b>5</b>
<b><u>“SILVERMINE PRESERVE,” SILVERMINE DRIVE &amp; LOCKWOOD ROAD, SOUTH SALEM</u></b>	<b>Cal #03-13PB</b>	
Extension Request Letter; Geraldine Tortorella, Esq.; dated March 12, 2021		<b>6</b>
<b><u>KULLMAN RESIDENCE, 12 RED COAT LANE, WACCABUC</u></b>	<b>Cal #02-19WV</b>	<b>Cal #60-19WP</b>
No new materials	<b>Cal #14-19SW</b>	
<b><u>VALENCIA RESIDENCE, 1196 ROUTE 35, SOUTH SALEM</u></b>	<b>Cal #01-20WV</b>	<b>Cal#12-20WP</b>
Wetlands Planting Proposal Plan, Merton & Muir Design, undated		<b>8</b>
Architectural drawings, Piro Studio, dated March 5, 2021		<b>9</b>
<b><u>Cal #03-20WV</u></b>	<b>Cal #03-20WV</b>	
No new materials		-
<b><u>COPIA GARDEN CENTER, 475 SMITH RIDGE ROAD, SOUTH SALEM</u></b>	<b>Cal #01-15PB</b>	
Kellard Sessions memo, dated April 15, 2021		<b>14</b>
CAC memo, dated April 8, 2021		<b>17</b>
Cover letter; Michael Sirignano, Esq.; dated March 18, 2021		<b>18</b>

Applications for Waiver of Site Dev. Plan Procedures, Wetland and Stormwater Permits, dated March 18, 2021		<b>19</b>
<b><u>FRIES RESIDENCE, 54 BISHOP PARK ROAD, POUND RIDGE</u></b>	<b>Cal #28-21WP</b>	<b>#04-21SW</b>
Kellard Sessions memo, dated April 15, 2021		<b>35</b>
CAC memo, dated April 8, 2021		<b>39</b>
Planning Board application and narrative, dated March 16, 2021		<b>40</b>
Survey, Moody & O'Brien, LLC, dated December 11, 2018		<b>48</b>
Site plan and architectural drawings, Apis Architecture, dated March 6, 2021		<b>49</b>
<b><u>TOWN BOARD TO AMEND TOWN CODE §217-5</u></b> – Prohibited, Allowable and Regulated Activities within the wetlands.	<b>N/A</b>	
Draft legislation, undated		<b>59</b>
CAC memo, dated April 8, 2021		<b>62</b>
<b>Town Board to amend Town Code §220-16</b> - outdoor restaurant seating shall be permitted through to December 31, 2021.	<b>N/A</b>	
Draft legislation, undated		<b>63</b>
<b><u>REFERRAL FROM POUND RIDGE PLANNING BOARD</u></b> - Haines Residence, 141 Old Church Lane, Pound Ridge, NY 10576	<b>N/A</b>	
Application materials for construction of a deck and second-story addition.		<b>65</b>



**TOWN OF LEWISBORO**  
**Westchester County, New York**



**Planning Board**  
**79 Bouton Road**  
**South Salem, New York 10590**

**Tel: (914) 763-5592**  
**Fax: (914) 875-9148**  
**Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)**

**AGENDA**

**Tuesday, April 20, 2021**

Meeting will start at 7:30 p.m. and end at or before 11:00 p.m.

Via Zoom videoconferencing and live streaming to Lewisboro TV YouTube channel

Join the Zoom Meeting <https://zoom.us/j/94347549818?pwd=Y05WNy9pNkZWdWJGeGZ0UERRdmM0QT09>

Meeting ID: 943 4754 9818 Passcode: 129708

You may call in to the Zoom meeting at 1-929-205-6099 when prompted, enter 943 4754 9818

<https://www.youtube.com/channel/UCNUNE5gXs5rnHcyR4l6dikA>

**I. DECISION**

**Cal #2-21PB**

**Coveney Residence, 32 Quincy Court, Goldens Bridge, NY 10526, Sheet 7I, Block 11127, Lot 32 (Allison and Matthew Coveney, owners of record) – Application for the installation of solar panels.**

**II. EXTENSION OF TIME REQUESTS**

**Cal #08-12PB**

**Petrucelli/Badagliacca, Oscaleta Road, South Salem, NY 10590 Sheet 33B, Block 11157, Lot 46 (Steven Petrucelli and Teresa Badagliacca, owners of record) - Request for a 90-day Extension of Time to resolution granting Preliminary/Final Subdivision Plat, Negative Declaration Under SEQRA, dated October 21, 2014.**

**Cal #03-13PB, Cal #03-16WP**

**“Silvermine Preserve,” Silvermine Drive & Lockwood Road, South Salem, NY, 10590 Sheet 48, Block 10057, Lot 15 and Sheet 51, Block 10057, Lot 104 (Ridgeview Designer Builders, Inc. & Daniel Higgins, owners of record) - Applications for Subdivision, Wetland Activity and Stormwater Permits for the construction of a 13-lot subdivision.**

**III. WETLAND VIOLATIONS**

**Cal #02-19WV, Cal #60-19WP, Cal #14-19SW**

**Kullman Residence, 12 Red Coat Lane, Waccabuc, NY 10597, Sheet 26, Block 11155, Lot 92 (Michael and Susan Kullman, owners of record)**

**Cal #01-20WV, Cal #12-20WP**

**Valencia Residence, 1196 Route 35, South Salem, NY 10590, Sheet 31, Block 10805, Lot 45 (Maria and Javier Valencia, owners of record)**

**Cal #03-20WV**

**3 Beaver Pond, South Salem, NY 10590**

**IV. SKETCH PLAN REVIEW**

**Cal #01-15PB**

**Copia Garden Center, 475 Smith Ridge Road, South Salem, Sheet 53, Block 9834, Lot 35 (Organic Choice, Inc., owner of record) - Application for Sketch Plan Review/Site Development Plan for unfinished improvements to the existing Copia Garden Center and expansion of the existing use onto adjacent tax parcel.**

**V. WETLAND PERMIT REVIEWS**

**Cal #28-21WP, #04-21SW**

**Fries Residence, 54 Bishop Park Road, Pound Ridge, NY 10576, Sheet 25, Block 10274, Lot 10 (Daniel Fries and Hanako Shimizu-Fries, owners of record) – Application for construction of a deck, garage and office addition.**

**VI. DISCUSSION**

**Town Board to amend Town Code §217-5 – Prohibited, Allowable and Regulated Activities within the wetlands.**

**Town Board to amend Town Code §220-16 - outdoor restaurant seating shall be permitted through to December 31, 2021.**

**VII. CORRESPONDENCE**

**Referral from Pound Ridge Planning Board - Haines Residence, 141 Old Church Lane, Pound Ridge, NY 10576 – Application for construction of a deck and second-story addition.**

**VIII. MINUTES OF March 16, 2021.**

**IX. NEXT MEETING DATE: May 18, 2021.**

## Ciorsdan Conran

---

**To:** Ciorsdan Conran  
**Subject:** FW: Petrucelli ext granted 102020

**From:** Michael Sirignano <michael@sirignano.us>  
**Sent:** Tuesday, March 16, 2021 3:07 PM  
**To:** Ciorsdan Conran <Planning@lewisborogov.onmicrosoft.com>  
**Subject:** Re: Petrucelli ext granted 102020

Ciorsdan,  
Request is made for a further extension of time for the Resolution dated October 21, 2014.  
Thank you,  
Michael

**Michael Fuller Sirignano**  
Attorney and Counselor at Law  
Old Post Road Professional Building  
892 Route 35, PO Box 784  
Cross River, NY 10518  
Telephone: (914) 763-5500  
Fax: (914) 763-9589

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FYI

Ciorsdan Conran

Town of Lewisboro

Planning Board Administrator

email: [Planning@lewisborogov.com](mailto:Planning@lewisborogov.com)

tel # 914-763-5592, fax # 914-875-9148

mailing address: 79 Bouton Road, South Salem, NY 10590

physical address: 79 Bouton Road, South Salem, NY 10590 - closed to the public starting March 16, 2020.

Typical hours: 8:30 a.m. – 1 p.m. and 2 p.m. - 4:30 p.m.



HOCHERMAN TORTORELLA & WEKSTEIN, LLP

CLIENT-CENTERED ♦ SOLUTION-ORIENTED

One North Broadway, Suite 701  
White Plains, New York 10601-2319  
P: (914) 421-1800 | F: (914) 421-1856  
[www.htwlegal.com](http://www.htwlegal.com)

Geraldine N. Tortorella  
Adam L. Wekstein  
Noelle C. Wolfson

Henry M. Hocherman, Retired

March 12, 2021

*Via Electronic Mail ([Planning@lewisborogov.com](mailto:Planning@lewisborogov.com)) and First Class Mail*

Hon. Janet Andersen, Chairwoman  
and Members of the Planning Board  
Town of Lewisboro  
79 Bouton Road  
South Salem, New York 10590

*Re: Conditional Preliminary Subdivision Approval for the Silvermine Preserve Subdivision  
Silvermine Drive and Lockwood Road, Town of Lewisboro  
Tax Identification Nos.: Sheet 48, Block 10057, Lot 15 and  
Sheet 51, Block 10057, Lot 104  
Eighth Request for Extension*

Dear Chairwoman Andersen and Members of the Planning Board:

As you may recall, by Resolution dated April 18, 2017 (and stamped "Received" on April 20, 2017), your Board granted Conditional Preliminary Subdivision Approval ("Preliminary Approval") for the Silvermine Preserve Subdivision (the "Subdivision"). On October 20, 2020, your Board extended Preliminary Approval to and including April 13, 2021.

We are not going to be able to file the application for final approval by the April 13<sup>th</sup> expiration date and, therefore, are writing to request an additional extension of Preliminary Approval, to and including October 11, 2021 (the first business day after the 180<sup>th</sup> day). This is our eighth request for an extension of Preliminary Approval, which your Board has the authority to grant pursuant to Lewisboro Subdivision Regulations Section 195-14(J).

Kindly schedule this extension request for consideration and action at the Board's next available meeting and let us know if an appearance is requested or required. Thank you in advance for your courtesy and cooperation.

Respectfully yours,

Hocherman Tortorella & Wekstein, LLP

By:   
Geraldine N. Tortorella

GNT:hc

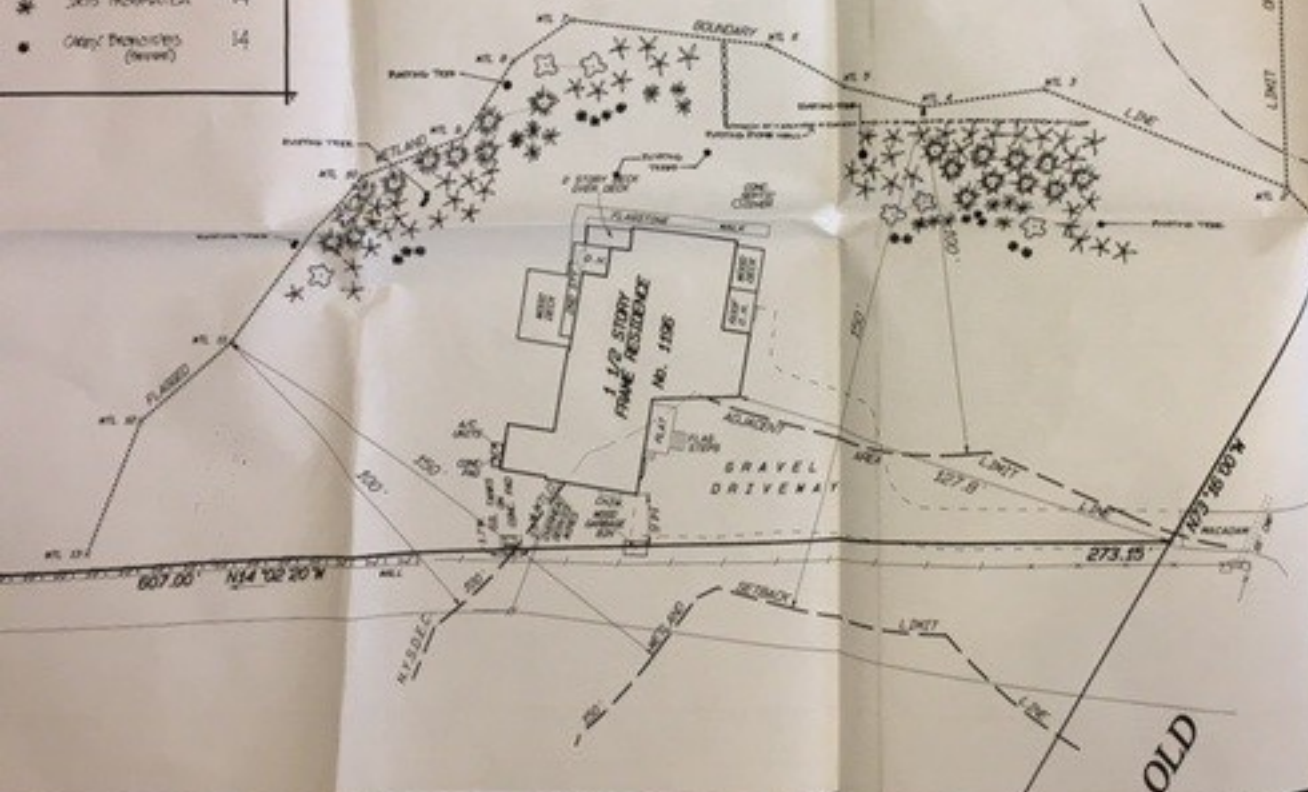
Hon. Janet Andersen, Chairwoman  
and Members of the Planning Board  
March 12, 2021  
Page 2

cc: *(via electronic mail)*  
Jan Johannessen, AICP  
Joseph Cermele, P.E.  
Judson Siebert, Esq.  
Timothy Allen, P.E.  
Beth Evans, PWS  
Mr. Eric Moss

S:\# MATTERS\Moss 0056\Lewisboro (Silvermine) 002\Letters\Planning Board Eighth Ext Rqst Prelim App 3-12-21.docx

PLANT LEGEND		
SYMBOL	NAME	QUANTITY
	<i>Sagittaria</i>	20
	<i>Carex</i>	6
	<i>Carex</i>	48
	<i>Sagittaria</i>	14
	<i>Carex</i>	14

N.Y.S.D.E.C.  
WETLAND "L-19"  
LOCALLY REGULATED WETLANDS



WETLANDS PLANTING  
PROTOCOL  
FOR

JAVIER & MARIA  
VALENCIA

1196 OLD POST ROAD  
SOUTH SALEM, N.Y. 10590  
DESIGNED BY: NYSDEC/PAUL D'AMICO

SCALE: 1" = 25'



GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS, NOTIFYING THE ARCHITECT AND OWNER OF ANY DISCREPANCIES PRIOR TO COMMENCING THE WORK.

THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS.

THE CONTRACTOR SHALL PATCH AND REPAIR TO MATCH EXISTING WALLS, FLOORS, CEILINGS OR OTHER SURFACES DISTURBED DURING THE INSTALLATION OF ARCHITECTURAL, MECHANICAL, PLUMBING OR ELECTRICAL WORK.

ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.

ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE 2015 IRC & 2017 NYS SUPPLEMENT.

ALL METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEW YORK STATE ENERGY CODE.

ALL ELECTRICAL, PLUMBING AND MECHANICAL (HVAC) WORK SHALL BE FILED UNDER SEPARATE PERMIT APPLICATIONS.

ALL ELECTRICAL WORK SHALL COMPLY WITH 2014 NATIONAL ELECTRICAL CODE.

ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER, CONSTRUCTION GRADE AND SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR STRESS - GRADE LUMBER AND ITS FASTENERS ACCORDING TO THE NATIONAL LUMBER MANUFACTURERS ASSOCIATION.

PROVIDE SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS AS PER THE 2015 IRC & 2017 NYS SUPPLEMENT R314 & R315

PROVIDE FIRESTOPPING AS PER THE 2015 IRC & 2017 NYS SUPPLEMENT R302

BATHROOM VENTILATION SHALL COMPLY WITH THE REQUIREMENTS OF M1507 OF THE 2015 IRC & 2017 NYS SUPPLEMENT.

CLOTHES DRYER EXHAUST SHALL COMPLY WITH THE REQUIREMENTS OF M1502 OF THE 2015 IRC & 2017 NYS SUPPLEMENT.

PROVIDE GFI & AFI OUTLETS AS REQ'D BY THE 2015 IRC & 2017 NYS SUPPLEMENT E3902

RECEPTACLES IN BATH, LAUNDRY & UNFINISHED SPACES TO BE GFI, AS PER SECTION E3902 OF THE 2015 IRC & 2017 NYS SUPPLEMENT

AT LEAST 75% OF NEWLY INSTALLED LIGHT FIXTURES SHALL HAVE HIGH EFFICACY LAMPS AS PER SECTION N1104.1.1 OF THE 2015 IRC & 2017 NYS SUPPLEMENT

2015 IRC AND AS AMENDED BY 2017 NYS UNIFORM CODE SUPPLEMENT.  
2015 IPC, 2016 IECC AND TOWN OF LEWISBORO CODE

1 HOUR MINIMUM SEPARATION BETWEEN DWELLING UNITS AT CEILINGS & COMMUNICATING WALLS.

BATH NOTES:

PROVIDE 1/2" TYPE "W" GWB AT WALLS & 1/2" DURAROCK FULL HT AT SHOWERS

BATHROOM VENTILATION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2015 IRC & 2017 NYS SUPPLEMENT.

BATHROOM GLAZING SHALL COMPLY WITH THE 2015 IRC & 2017 NYS SUPPLEMENT.

ADDITIONAL NOTES:

PROVIDE FRESH AIR INTAKE AS PER 2015 NYS RESIDENTIAL CODE

LIGHTING & MECHANICAL VENITLATION @ LAUNDRY ROOM TO COMPLY W/ THE 2015 IRC & 2017 NYS SUPPLEMENT.

ALLOW 6" CLEARANCE BEHIND WASHER/ DRYER

NOTE: THESE PLANS WERE PREPARE TO MEET OR EXCEED THE REQUIREMENTS OF THE 2016 NEW YORK STATE RESIDENTIAL CODE, THE TOWN OF LEWISBORO MUNICIPAL CODE AND ALL APPLICABLE RULES AND REGULATIONS.

2015 IRC AND AS AMENDED BY 2017 NYS UNIFORM CODE SUPPLEMENT.  
2015 IPC, 2016 IECC AND TOWN OF LEWISBORO CODE

ADDITIONAL NOTES

CONTRACTOR TO VERIFY CABINET DIMNENSIONS PRIOR TO FRAMING

PROVIDE TEMPORARY PROTECTION AS REQUIRED TO PROTECT EXISTING FINISHES TO REMAIN. SEAL DOORWAYS TO AVOID DUST TRANSMISSION.

ALL WATER LINES (HOT & COLD) TO BE INSULATED.

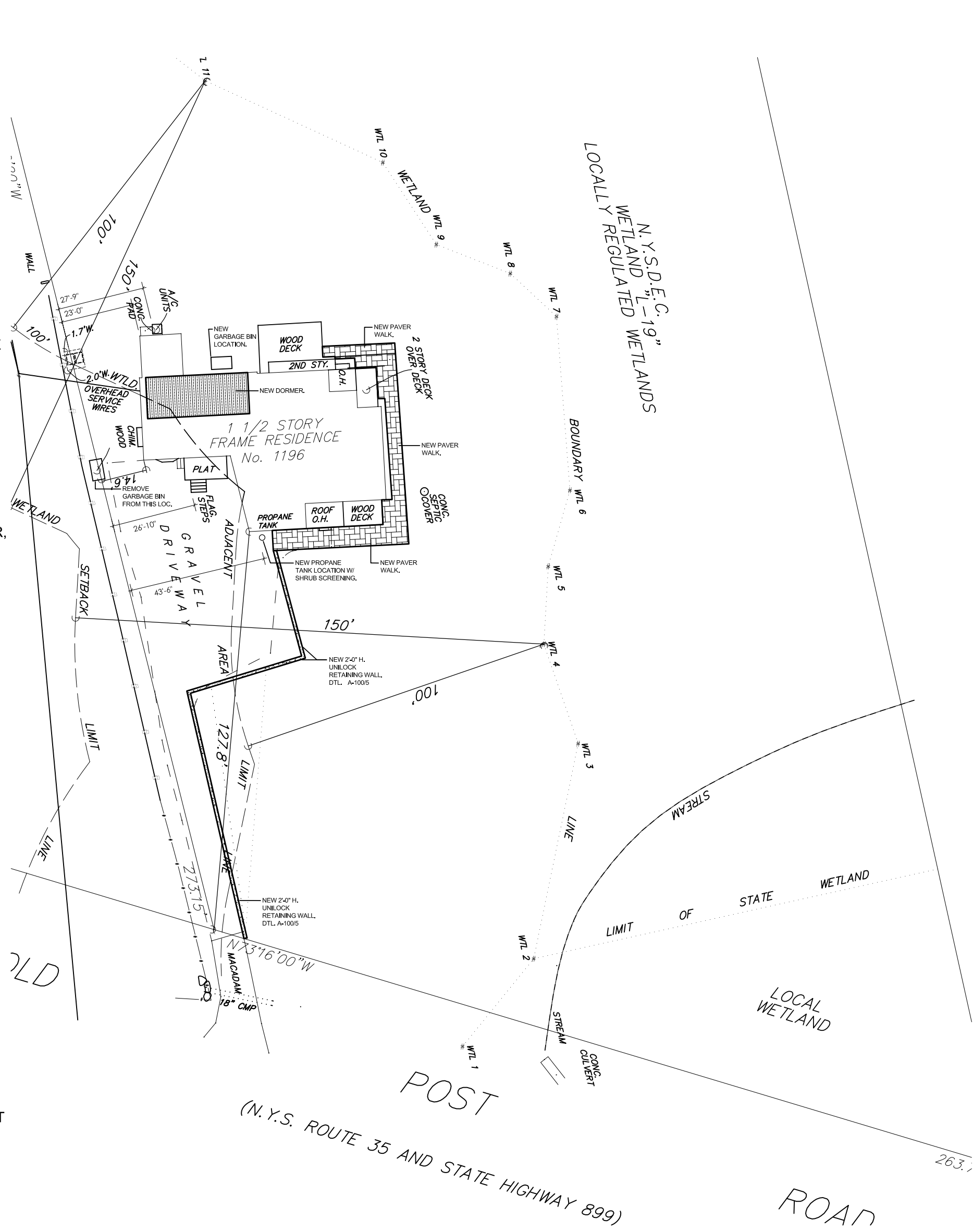
ENERGY CODES NOTES

CLIMATE ZONE: 4A  
ROOF/ CEILING:: R49  
WALL : R20/ 13+5  
FLOOR: R19  
BASEMENT WALL: R10/ 13  
FENESTRATION: U 0.35

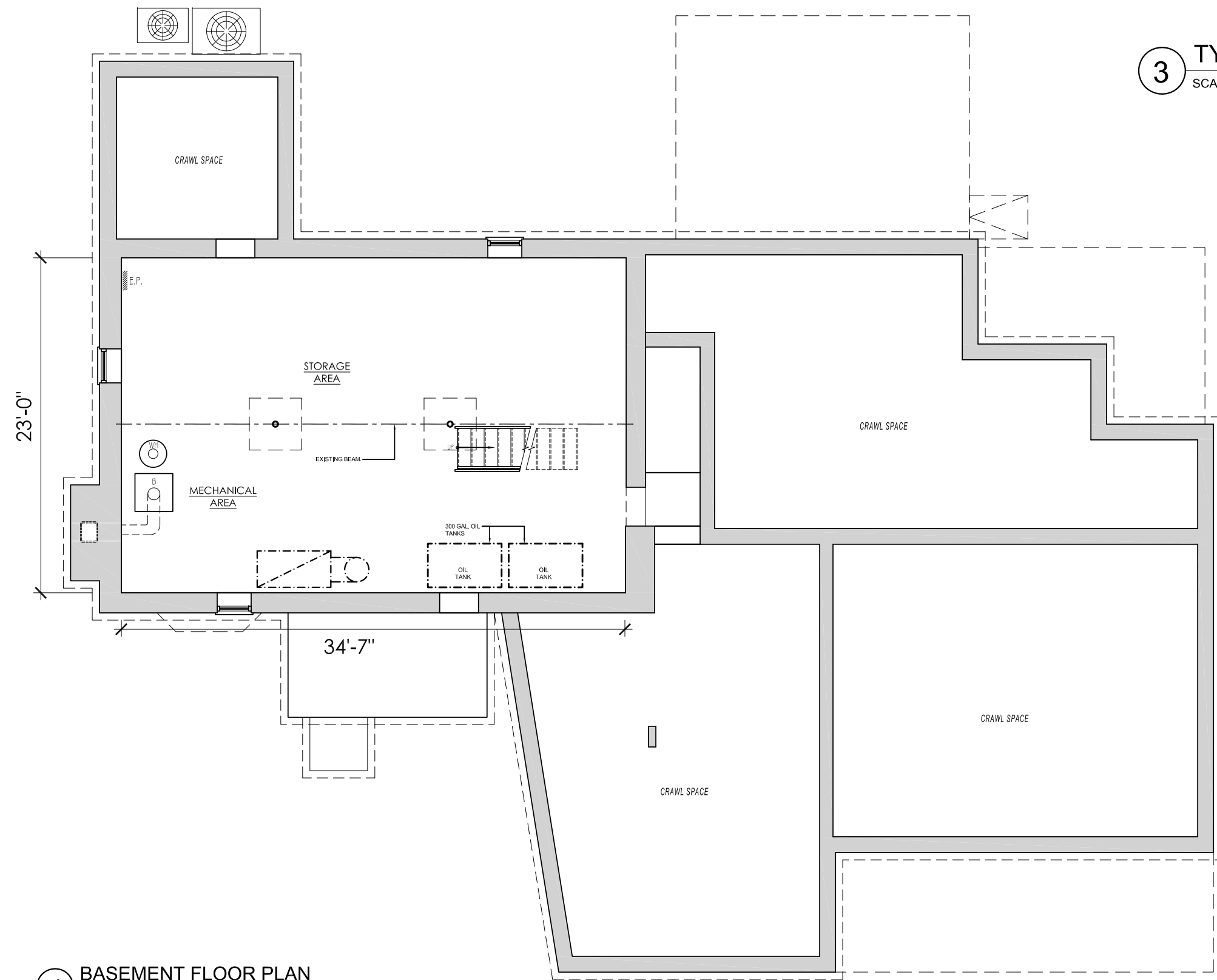
BUILDING INFORMATION

ZONING DIST - R-2A

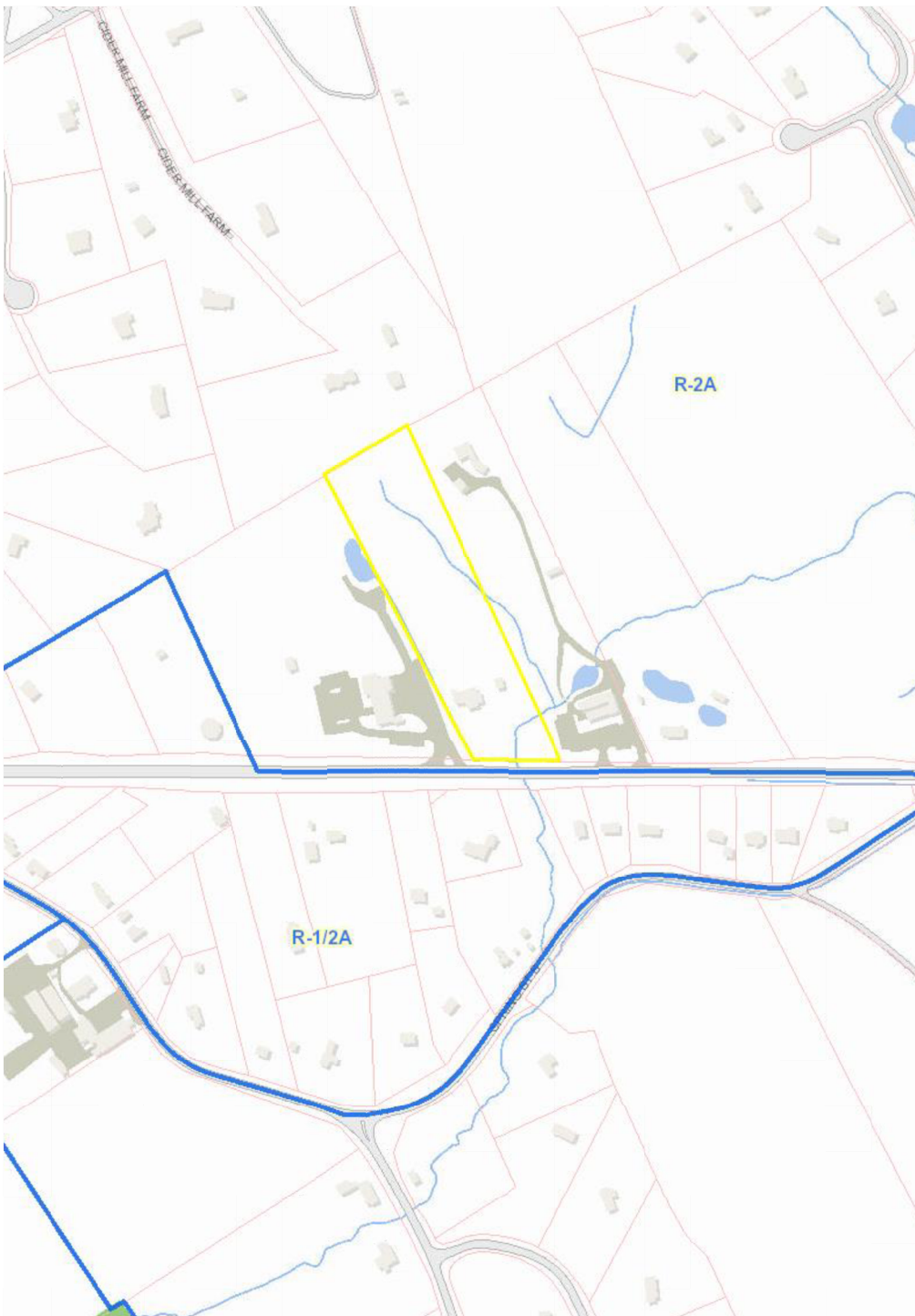
SEC: 5.329Ac BLOCK: 10805 LOT: 45



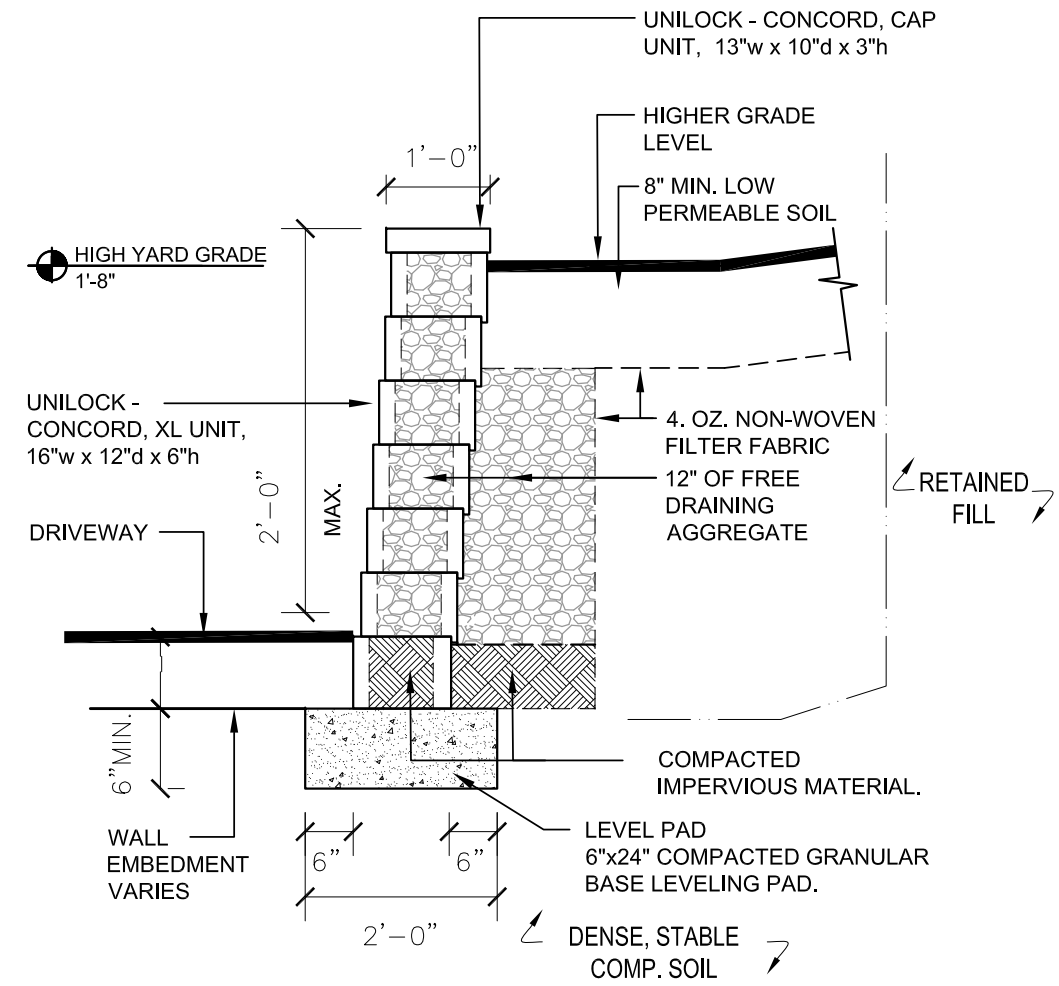
1 PARTIAL SITE PLAN  
SCALE: 1"=15'-0"



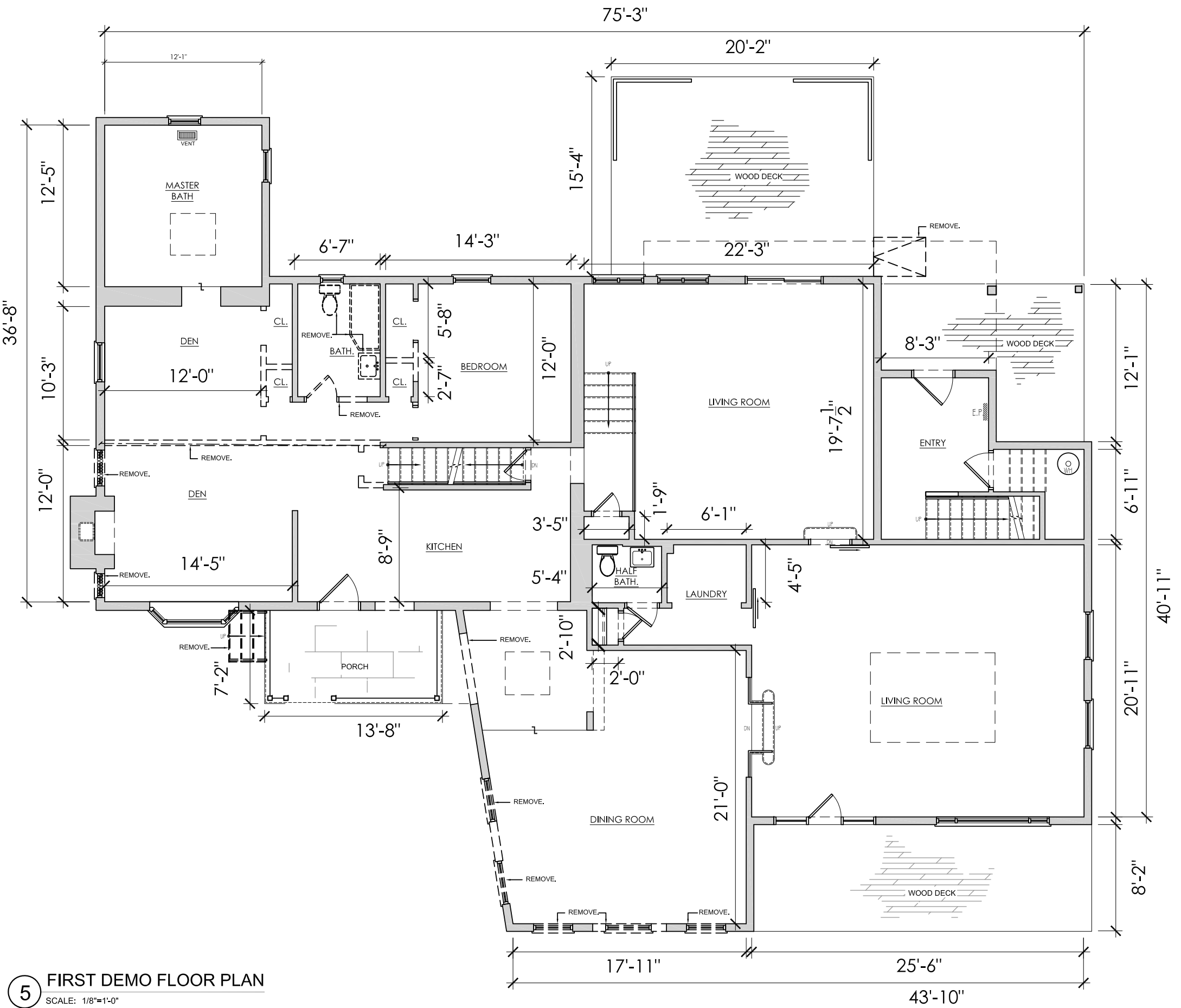
4 BASEMENT FLOOR PLAN  
SCALE: 1/8"=1'-0"



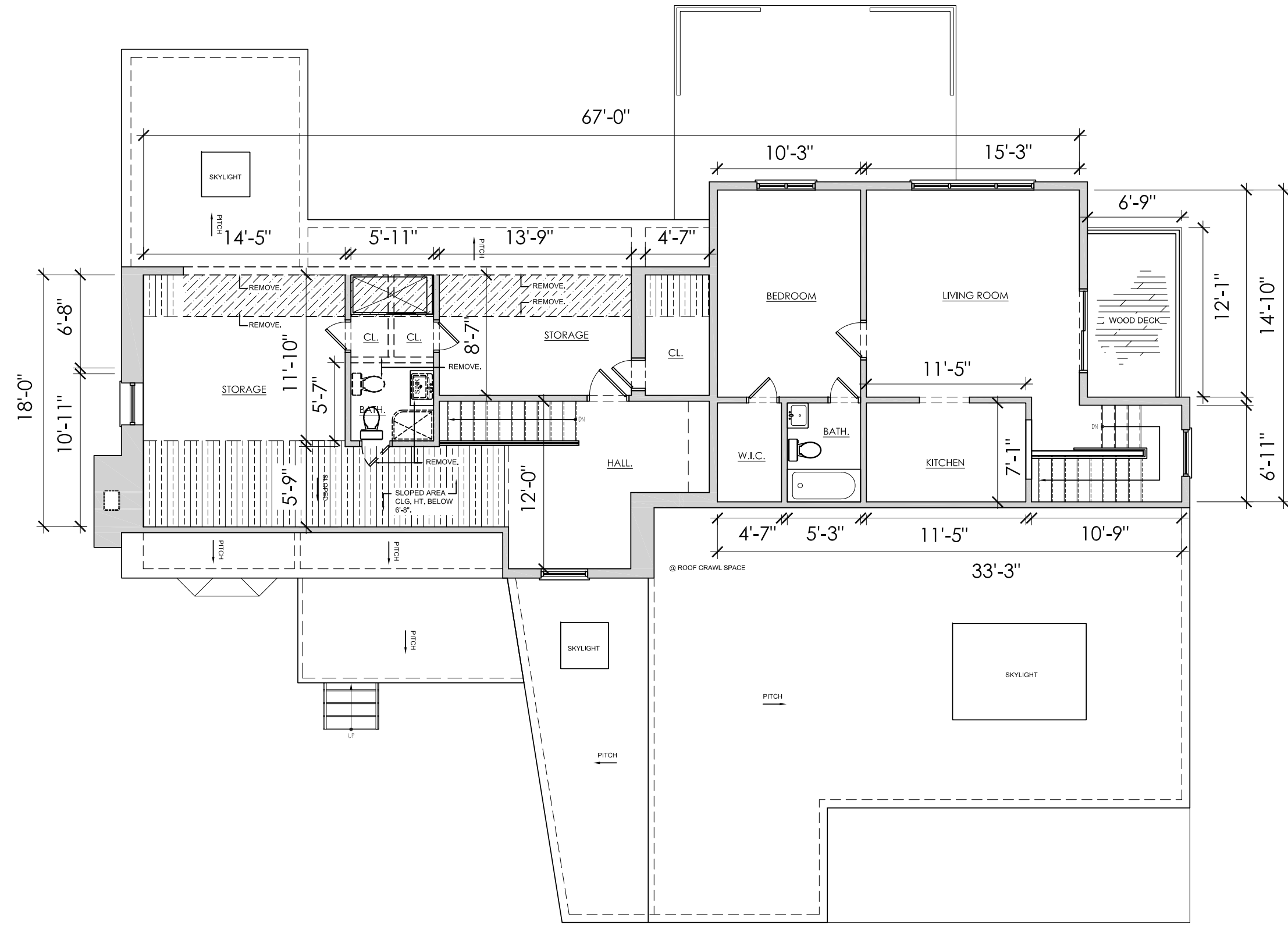
2 LOCATION MAP  
SCALE: NTS



3 TYP. GRAV. RET. WALL SECT.  
SCALE: 1/2"=1'-0"



5 FIRST DEMO FLOOR PLAN  
SCALE: 1/8"=1'-0"



6 SECOND FLOOR DEMO PLAN  
SCALE: 1/8"=1'-0"

NEW YORK STATE ENERGY CODE STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH NEW YORK STATE ENERGY CODE

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA (2016) - CLIMATE ZONE 4A												
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAY- MENT REQ'D	FLOOD HAZARD FIRM MAP 38119C03 41F (2007)	AIR FREEZ'G INDEX OR LESS
	SPEED	TOPO, EFFECTS	SPECIAL REGION WINDS	WIND-BORN DEBRIS ZONE		WEATHER'G	FROST LINE DEPTH	TERMITE				
30 PSF	120 MPH	NO	NO	NO	C	SEVERE	42"	MODERATE TO HEAVY	7° F	YES		52.2°F

PROJECT/ CLIENT:

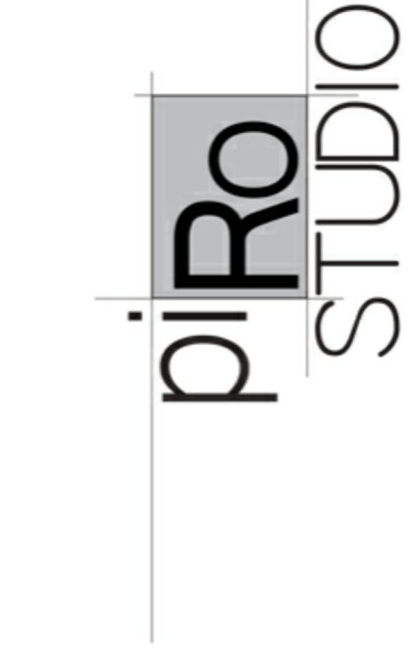
HOME RENOVATION

VALENCIA RESIDENCE

1196 ROUTE NY-35, SOUTH SALEM, NY 10590

ARCHITECT:

Contact: Phone: 908-868-1644 WWW.PIRO-STUDIO.COM  
New York: 119 West 81st Street, 5F New York, NY 10024



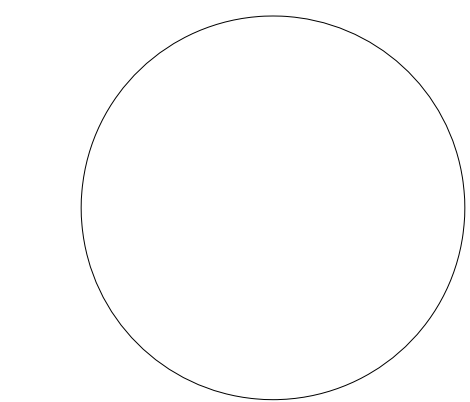
ISSUE	DESCRIPTION	DATE
1	DEPARTMENT OF BUILDINGS	03.27.2020
2	DEPARTMENT OF BUILDINGS	03.05.2021

CONDITIONS

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PROFESSIONAL STAMPI SIGNATURE



OFFICIAL DOB APPROVAL STAMP/ SIGNATURE

DATE: 05/19/2020  
PROJECT NO: 0020-35  
PREPARED BY: JOSE A. RAMIREZ  
CHK BY: PR  
TITLE

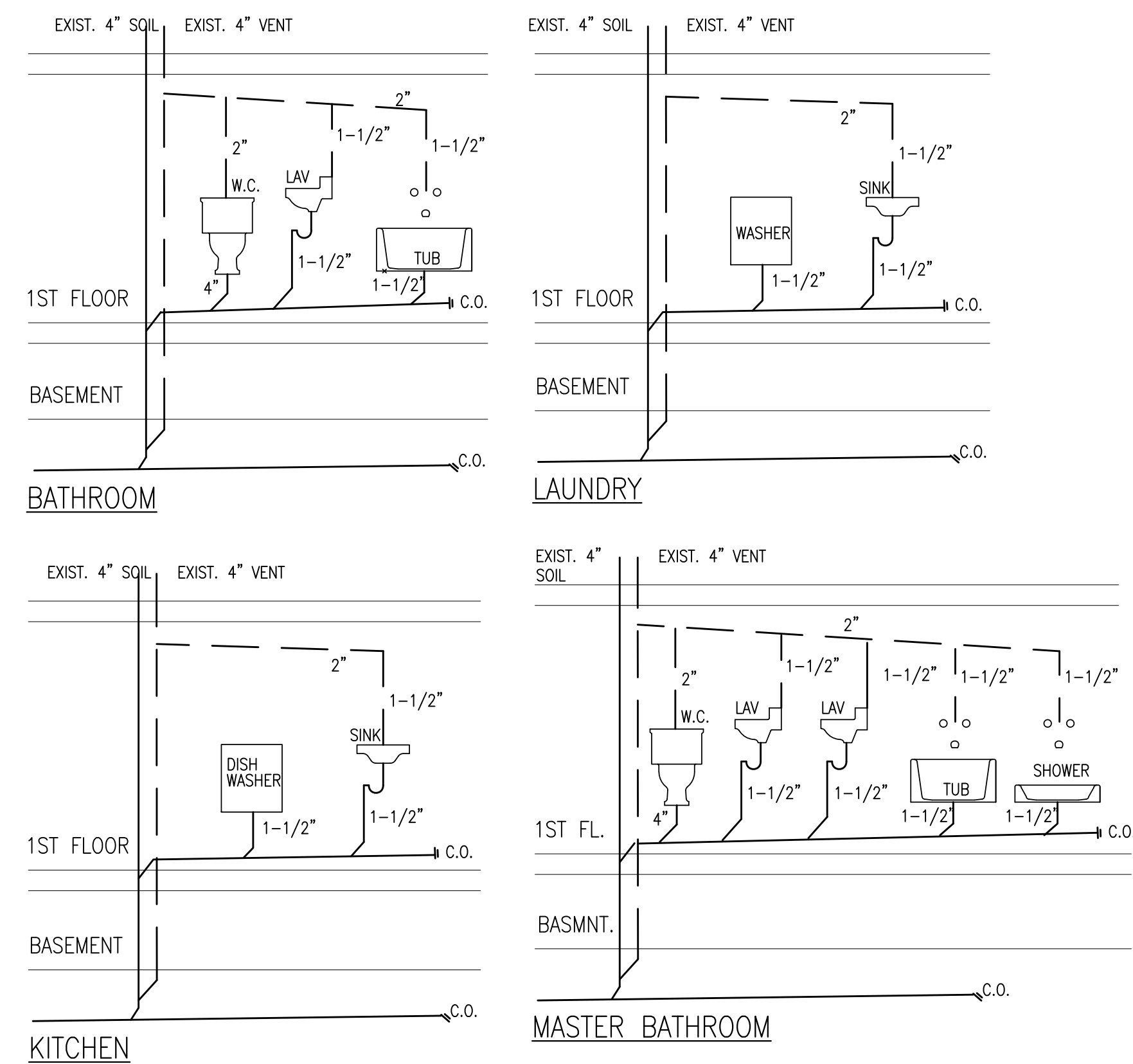
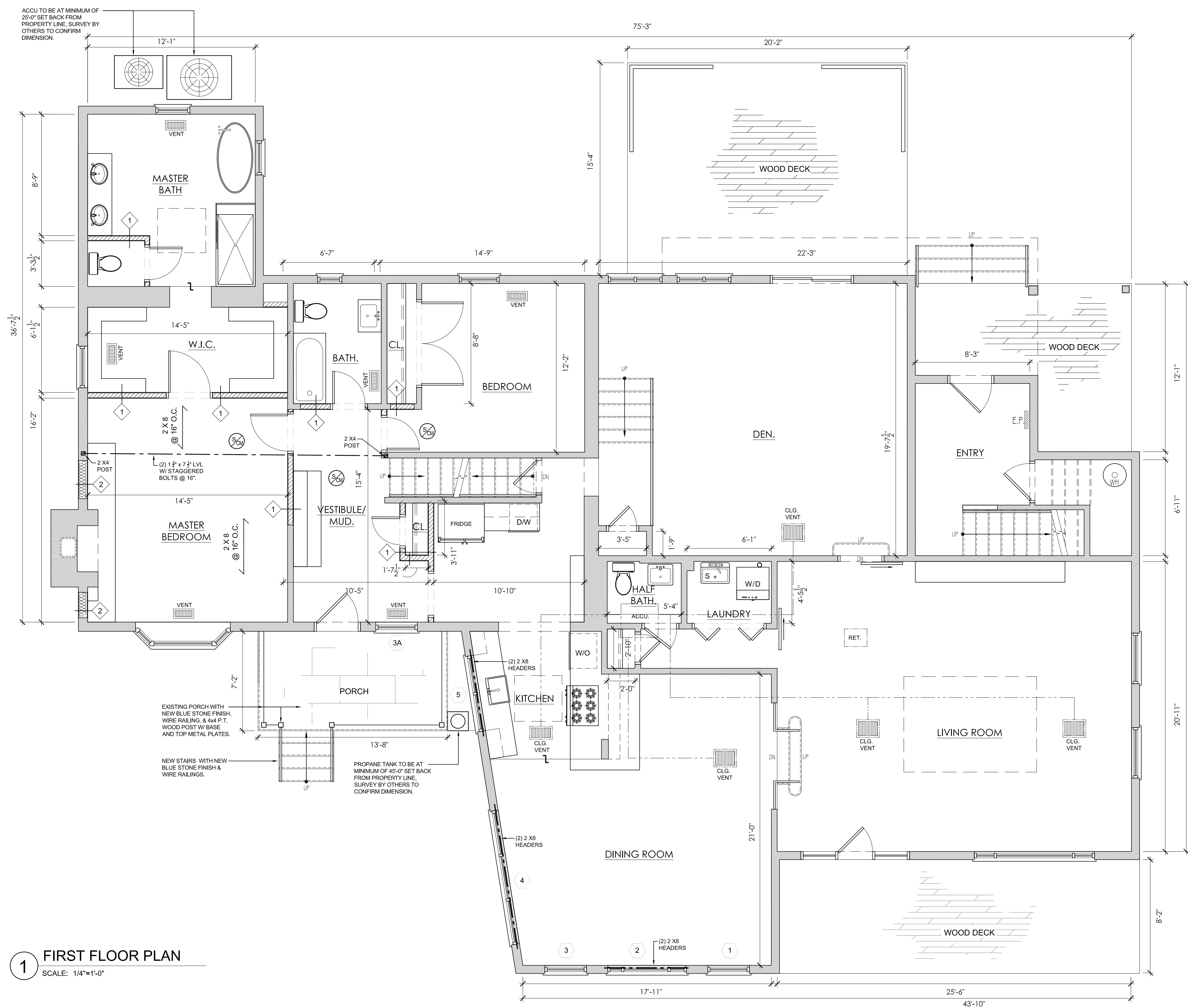
EXISTING BASEMENT, 1ST & 2ND FLOOR DEMO PLAN.

DWG NO:

A-100.00

DOB JOB NUMBER





	WINDOW SCHEDULE
1	D.H 2'-7" x 5'-0" WINDOW BY SIGCO WINDOWS.
2	(2) SIDE LIGHTS 1'-2" x 6'-0" W/ (1) D.H. 3'-0" 4'-8" WINDOWS BY SIGCO WINDOWS.
3	D.H 2'-7"w x 5'-0" WINDOW BY SIGCO WINDOWS.
3A	D.H 2'-7"w x 5'-0" WINDOW BY SIGCO WINDOWS.
4	(3) D.H. 3'-0" x 5'-0" WINDOW BY SIGCO WINDOWS.
5	(2) 1'-10" x 2'-4" WINDOW BY WINDOW BY SIGCO WINDOWS.
6	(2) D.H. 2'-6" x 4'-6" WINDOW BY ROYAL PRIME WINDOWS - HARMONY SERIES.
7	(1) D.H. 1'-6" x 2'-6" WINDOW BY ROYAL PRIME WINDOWS - HARMONY SERIES.
8	(2) D.H. 2'-6" x 4'-6" WINDOW BY ROYAL PRIME WINDOWS - HARMONY SERIES.

## PLAN LEGEND

	EXISTING PARTITION TO REMAIN		NEW 1HR RATED INTERIOR PARTITION - 2"x4" WOOD STUD AT 16" O.C. WITH (1) LAYER OF 5/8" TYPE "X" GYP. BOARD ON EACH SIDE. PER U.L. U419.
	EXISTING FOUNDATION WALL TO REMAIN		NEW EXTERIOR PARTITION - 2"x6" WOOD STUD AT 16" O.C. W/ (1) LAYER OF 5/8" GYP. BOARD ON INTERIOR SIDE & (1) LAYER OF 1/2" CDX PLYWOOD SHEATHING & STUCCO FIN. TO MATCH EXISTING ON EXTERIOR SIDE. WALL TO HAVE 3" F.G. INSULATION (R=20) TYPICAL. WATER RESISTIVE BARRIER OVER SHEATHING.
	EXISTING DOOR TO REMAIN		ROOM CEILING HEIGHT
	EXISTING WINDOW TO REMAIN		NEW HARD WIRED SMOKE/CARBON MONOXIDE DET. W/ DIGITAL READ-OUT.
	WINDOW TO DEMO		DOOR TO DEMO
	EXISTING PARTITION TO BE REMOVED		NEW DOOR

PROJECT/CLIENT:

HOME RENOVATION

VALENCIA  
RESIDENCE

1196 ROUTE NY-35,  
SOUTH SALEM, NY 10590

ARCHITECT:

**piRo** STUDIO

**New York:**  
119 West 81st Street, 5F  
New York, NY 10024

**Contact:**  
Phone: 908-868-1644  
[WWW.PIRO-STUDIO.COM](http://WWW.PIRO-STUDIO.COM)

[illegible]

**CONDITIONS**

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PROFESSIONAL STAMP/ SIGNATURE

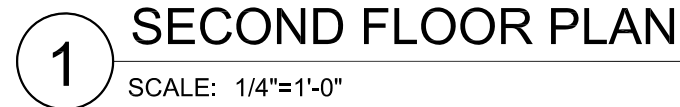
OFFICIAL DOB APPROVAL STAMP/ SIGNATURE
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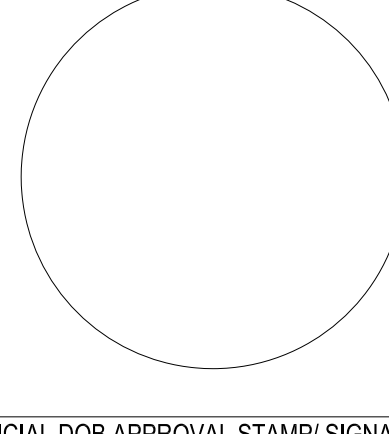
DATE:	05/19/2020
PROJECT NO:	0020-35
PREPARED BY:	JOSE A. RAMIREZ
CHK BY:	PR
TITLE	

FIRST FLOOR PLAN,  
RISER DIAGRAMS, &  
SCHEDULE.

DWG NO:  
**A-200.00**  
2 of 5  
DOB JOB NUMBER

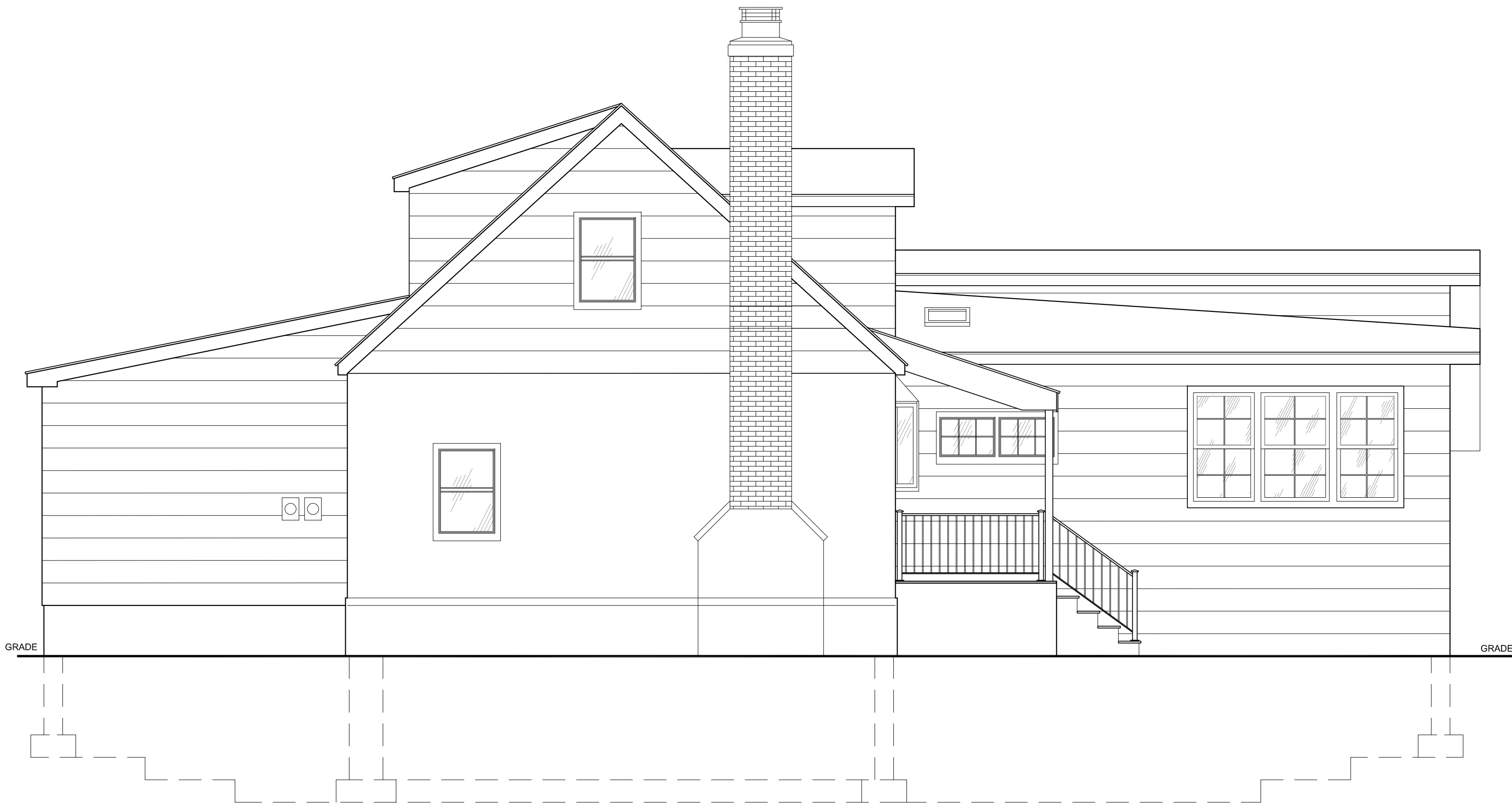




PROJECT/ CLIENT:		
HOME RENOVATION		
VALENCIA RESIDENCE		
1196 ROUTE NY-35, SOUTH SALEM, NY 10590		
ARCHITECT:		
<div><div>piRO</div><div>STUDIO</div></div>		
Contact: 119 West 81st Street, 5F New York, NY 10024 Phone: 908-868-1644 WWW.PIRO-STUDIO.COM		
ISSUE	DESCRIPTION	DATE
1	DEPARTMENT OF BUILDINGS	03.27.2020
2	DEPARTMENT OF BUILDINGS	03.05.2021
CONDITIONS		
ALL IDEAS, NOTES, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY PIETRO ROSATO ARCHITECT AND WERE CREATED, EVOLVED AND DEVELOPED FOR THE USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PRIOR WRITTEN PERMISSION OF PRA.		
©COPYRIGHT PRA 2019		
PROFESSIONAL STAMPI/ SIGNATURE		
		
OFFICIAL DOB APPROVAL STAMP/ SIGNATURE		
DATE: 05/19/2020		
PROJECT NO: 0020-35		
PREPARED BY: JOSE A. RAMIREZ		
CHK BY: PR		
TITLE		
SECOND FL. PLAN, & RISER DIAGRAM.		
DWG NO:		
A-300.00		
3 of 5		
DOB JOB NUMBER		



1 FRONT ELEVATION  
SCALE: 1/4"=1'-0"



2 SIDE ELEVATION  
SCALE: 1/4"=1'-0"

PROJECT/ CLIENT:

HOME RENOVATION

VALENCIA  
RESIDENCE

1196 ROUTE NY-35,  
SOUTH SALEM, NY 10590

ARCHITECT:



Contact:  
Phone: 908-868-1644  
WWW.PIRO-STUDIO.COM

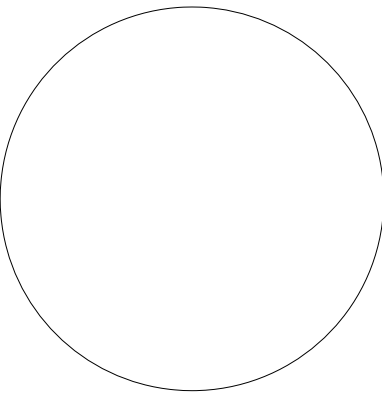
New York:  
119 West 81st Street, 5F  
New York, NY 10024

ISSUE	DESCRIPTION	DATE
1	DEPARTMENT OF BUILDINGS	03.27.2020
2	DEPARTMENT OF BUILDINGS	03.05.2021

CONDITIONS  
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PROFESSIONAL STAMP/ SIGNATURE



OFFICIAL DOB APPROVAL STAMP/ SIGNATURE

DATE: 05/19/2020  
PROJECT NO: 0020-35  
PREPARED BY: JOSE A. RAMIREZ  
CHK BY: PR  
TITLE

ELEVATIONS

DWG NO:

A-400.00

4 of 5

DOB JOB NUMBER



1 REAR ELEVATION  
SCALE: 1/4"=1'-0"

PROJECT/ CLIENT:

HOME RENOVATION

VALENCIA  
RESIDENCE

1196 ROUTE NY-35,  
SOUTH SALEM, NY 10590

ARCHITECT:



Contact:  
Phone: 908-868-1644  
WWW.PIRO-STUDIO.COM

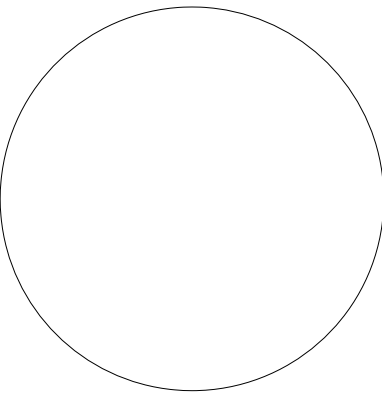
New York:  
119 West 81st Street, 5F  
New York, NY 10024

ISSUE	DESCRIPTION	DATE
1	DEPARTMENT OF BUILDINGS	03.27.2020
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©COPYRIGHT PRA 2019

PROFESSIONAL STAMP/ SIGNATURE



OFFICIAL DOB APPROVAL STAMP/ SIGNATURE

DATE: 05/19/2020  
PROJECT NO: 0020-35  
PREPARED BY: JOSE A. RAMIREZ  
CHK BY: PR  
TITLE

ELEVATIONS

DWG NO:

A-500.00



5 of 5

DOB JOB NUMBER

## MEMORANDUM

TO: Chairperson Janet Andersen and  
Members of Lewisboro Planning Board

CC: Ciorsdan Conran  
Judson Siebert, Esq.  
Joseph Angiello

FROM: Jan K. Johannessen, AICP   
Joseph M. Cermele, P.E., CFM   
Town Consulting Professionals

DATE: April 15, 2021

RE: Site Development Plan, Wetland Permit, and Stormwater Permit  
Request for Re-Approval  
Jennifer and Pietro Cipriano – Copia Home and Garden Center  
469 & 475 Smith Ridge Road & 5 East Street  
Sheet 53, Block 9834, Lots 33 and 35

The subject property consists of ±1.88 acres of land located at the intersection of Smith Ridge Road and East Street within the General Business (GB) Zoning District. The property is developed and occupied by a landscape nursery known as Copia Home and Garden Center. In addition, the owner leases a portion of Lot 33 (located to the rear of the Vista Market) for the purposes of a private vegetable garden; this parcel is located in the Residential (R-1A Zoning District). Several approvals have been granted over the years in connection with the owner's proposal to expand the nursery use.

The owners had proposed the following improvements, which were ultimately approved by the Planning Board in a series of resolutions and amendments dated July 21, 2015, June 21, 2016 and July 18, 2017:

- a. Modify the curb cuts on East Street to improve traffic and delivery truck circulation.
- b. Demolish the existing greenhouses and trellis and construct a new 78' x 63' greenhouse, to be attached to the existing two-story building.
- c. Relocate parking spaces.

Chairperson Janet Andersen

April 15, 2021

Page 2 of 3

- d. Modify and expand the existing internal parking lot and driveways.
- e. Expand plant storage areas onto 5 East Street (former Tax Lot 36).
- f. Construct a storage building.
- g. Remove and install various fencing and gates.
- h. Install permanent landscaping along East Street and the easterly property line.
- i. Install drainage features to mitigate for the proposed added impervious cover.
- j. Installation of a private vegetable garden on Lot 33.
- k. Eliminate the common property line and merge Tax Lots 35, 36 and 48 into one lot/parcel.

The prior approvals have expired, and the proposed site work and site plan elements are not complete; therefore, the applicant has applied for reapproval of all past Planning Board permits. Preliminarily, we recommend the following actions:

1. The applicant shall provide a comprehensive list of items that remain incomplete or modifications that need to be made to bring the site into compliance with the site plan of record; please reference or illustrate such improvement on the last approved site plan.
2. Any proposed modifications to the approved plans shall be illustrated/discussed, if any.
3. The applicant shall contact this office to schedule a site visit; the Planning Board may also wish to conduct a site visit.
4. The Planning Board should refer the application to the Building Inspector for a status report.
5. The current use of the area leased by the applicant on Lot 33 shall be clarified. This area had been approved as a private vegetable garden for the owner's personal use; however, it appears that it is being used for plant storage, which is not permissible within the underlying residential zone.
6. Given the length of time that has passed, the applicant shall provide a schedule for completion of all site plan components.

Chairperson Janet Andersen  
April 15, 2021  
Page 3 of 3

This office will provide further comment following our site inspection.

JKJ/dc

[https://kellardsessionsconsulti.sharepoint.com/sites/Kellard/Municipal/Lewisboro/Correspondence/2021-04-15\\_LWPB\\_Copia - 469 & 475 Smith Ridge Rd\\_Review Memo.docx](https://kellardsessionsconsulti.sharepoint.com/sites/Kellard/Municipal/Lewisboro/Correspondence/2021-04-15_LWPB_Copia - 469 & 475 Smith Ridge Rd_Review Memo.docx)

TO: The Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: Copia Garden Center, 475 Smith Ridge Road, South Salem South Salem, NY  
10590

DATE: April 8, 2021

---

The Conservation Advisory Council (CAC), based on input from neighboring property owners, has the following concerns about the use and expansion of the Copia Garden Center:

- Diesel trucks left idling, including overnight, causing exhaust and noise pollution
- Heavy traffic concerns for trucks unloading at the center (noise pollution).
- Signs in the front of the center interfering with line of vision at the intersection of East Street and route 123.
- Copia has a wetland across the Rt 123, a watershed area to the east and a storm sewer in front. There is a concern that spills of soil and other material are draining off the property into the wetland across route 123, into the storm sewer and the water shed area.



*Michael Fuller Sirignano*  
*Attorney and Counselor at Law*

*Old Post Road Professional Building  
892 Route 35, P.O. Box 784  
Cross River, New York 10518*

*Tel: (914) 763-5500  
Fax: (914) 763-9589  
Email: lawoffice@sirignano.us*

March 18, 2021

Janet Anderson, Chair  
Planning Board of the Town of Lewisboro  
79 Bouton Road  
South Salem, NY 10590

Re: Copia Home and Garden Center

Dear Chair Anderson and Members of the Planning Board:

I represent Peter and Jennifer Cipriano, the principals of Organic Choice Inc., the owner of 469 & 475 Smith Ridge Road and the operators of Copia Home and Garden Center.

By Resolution dated July 18, 2017, your Board granted Amended Site Development Plan Approval, Amended Wetland Activity Permit Approval and Amended Town Stormwater Permit (see copy enclosed). Unfortunately, several of the conditions of said Resolution were not completed within six (6) months and the time in which to make extension requests inadvertently passed. As a result, the July 18, 2017 Resolution became null and void.

We therefor resubmit the previously approved site development plan together with a new application and payment of the application fees.

Thank you.

Very truly yours,

  
Michael Fuller Sirignano

MFS



# TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590 Tel: (914) 763-5592 Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)

#1-15 PB  
#25-15 WP  
#6-15 SW

## Site Development Plan/Subdivision Plat Application - Check all that apply:

Waiver of Site Development Plan Procedures  
Site Development Plan Approval  
Special Use Permit Approval  
Subdivision Plat Approval

☒ Step I  
☐ Step I  
☐ Step I

☒ Step II  
☐ Step II  
☐ Step II

Step III ☐

3/18/21 app fees paid  
escrow @ \$2,000.

### Project Information

Project Name: Copia Home and Garden Center

Project Address: 469 & 475 Smith Ridge Road and 5 East Street

Gross Parcel Area: 1.884 acres Zoning District: GB Sheet(s): 53 Block(s): 9834 Lot(s): 35\*

Project Description: Amended Site Development Plan Approval, Amended Wetland Activity Permit Approval and Amended Town Storm Water Permit

\* Lot 35 includes 35, 36 and 48 which merged. Rear portion of Lot 33 is leased as vegetable garden

Is the site located within 500 feet of any Town boundary?

YES ☐

NO ☐

Is the site located within the New York City Watershed?

YES ☐

NO ☐

Is the site located on a State or County Highway?

YES ☐

NO ☐

Does the proposed action require any other permits/approvals from other agencies/departments?

Town Board ☐  
ACARC ☐  
NYSDOT ☐

ZBA ☐  
NYSDEC ☐  
Town Wetland ☒

Building Dept. ☐  
NYCDEP ☐  
Town Stormwater ☒

Town Highway ☐  
WCDH ☐

Other \_\_\_\_\_

### Owner's Information

Name: Organic Choice Inc. Email: Pplants@optonline.net

Address: 475 Smith Ridge Road, South Salem, NY 10590 Phone: (516) 924-2849

### Applicant's Information (if different)

Name: Pietro Cipriano, Pres. Email: Pplants@optonline.net

Address: 475 Smith Ridge Road, South Salem, NY 10590 Phone: (516) 924-2849

### Authorized Agent's Information

Name: Michael Fuller Sirignano, Esq. Email: Lawoffice@sirignano.us

Address: P.O. Box 784, Cross River, NY 10518 Phone: (914) 763-5500

THE APPLICANT understands that any application is considered complete only when all information and documents required have been submitted and received by the Planning Board. The applicant further understands that the applicant is responsible for the payment of all application and review fees incurred by the Planning Board.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief, and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

APPLICANT'S SIGNATURE \_\_\_\_\_

DATE 3/18/21

OWNER'S SIGNATURE \_\_\_\_\_

DATE 3/18/21

# TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590

Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)

Tel: (914) 763-5592

Fax: (914) 875-9148

## Affidavit of Ownership

State of: New York

County of: Westchester

Pietro Cipriano, being duly sworn, deposes and says that he/she  
resides at 475 Smith Ridge Road, South Salem  
in the County of Westchester, State of New York  
and that he/she is (check one) ☐ the owner, or ☒ the President  
of Organic Choice Inc.  
Name of corporation, partnership, or other legal entity


which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the  
Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of  
Lewisboro as:

Block 9834, Lot 35, on Sheet 53.

  
Owner's Signature

Sworn to before me this

18<sup>th</sup> day of March, 2021

  
MICHAEL F. SIRIGNANO  
Notary Public, State of New York  
No. 4709295  
Qualified in Westchester County  
Commission Expires January 31, 2022  
Notary Public - affix stamp

## TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590  
Email: [planning@lewisboronyc.gov](mailto:planning@lewisboronyc.gov)  
Tel: (914) 763-5592 Fax: (914) 875-9148

### Tax Payment Affidavit Requirement

*This form must accompany all applications to the Planning Board.*

*Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.*

*Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.*

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

<u>Pietro Cipriano</u> <u>Organic Choice Inc.</u> Name of Applicant	<b>To Be Completed by Applicant</b> (Please type or print) <u>Copia Home and Garden Center</u> Project Name
<b>Property Description</b> Tax Block(s): <u>9834</u> Tax Lot(s): <u>35</u> Tax Sheet(s): <u>53</u>	<b>Property Assessed to:</b> <u>Organic Choice, Inc.</u> Name <u>475 Smith Ridge Rd.</u> Address <u>So. Salem</u> <u>NY</u> <u>10590</u> City State Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes:

Glenn M. Cooper

Date

3/18/2021

Sworn to before me this

18<sup>th</sup> day of March, 2021

Janet L. Donohue  
Signature - Notary Public (affix stamp)

JANET L. DONOHUE  
NOTARY PUBLIC, STATE OF NEW YORK  
No. 01DO6259627  
Qualified in Westchester County  
Commission Expires April 16, 2024

**RESOLUTION  
LEWISBORO PLANNING BOARD**



**AMENDED SITE DEVELOPMENT PLAN APPROVAL  
AMENDED WETLAND ACTIVITY PERMIT APPROVAL  
AMENDED TOWN STORMWATER PERMIT**

**COPIA HOME AND GARDEN CENTER  
469 & 475 SMITH RIDGE ROAD AND 5 EAST STREET**

Sheet 53, Block 9834, Lots 33, 35, 36, 48  
Cal. # 1-15 PB, Cal. # 25-15 WP & Cal. # 6-15 SW

**July 18, 2017**

**WHEREAS**, the project site consists of the following lots, which shall be collectively referred to hereafter as "the subject property":

- The rear portion of 469 Smith Ridge Road which is being leased by the applicant for the purposes of a private vegetable garden. This parcel is included for the purposes of the Town Stormwater Permit only and is identified as Sheet 53, Block 9834, Lot 33 on the Town Tax Maps; and
- 475 Smith Ridge Road consisting of  $\pm 1.16$  acres of land and identified on the Town Tax Maps as Sheet 53, Block 9834, Lots 35 and 48. These lots are zoned GB and are developed with a 2-story commercial retail building, including a landscape nursery business known as Copia Home and Garden Center and a dwelling unit on the second floor. These lots also contain an existing asphalt parking lot, greenhouses, plant storage and display areas, a septic system, a potable water well, and other improvements ancillary to the landscape nursery business; and
- 5 East Street consisting of  $\pm 0.72$  acres of land and identified on the Town Tax Maps as Sheet 53, Block 9834, Lot 36. This Lot is zoned GB and contains an existing single-family residence, detached garage, shed, garden, asphalt driveway off of East Street, a septic system and a potable water well; and

**WHEREAS**, Jennifer and Pietro Cipriano ("the applicant") proposed the following improvements:

- Modify the curb cuts on East Street to improve traffic and delivery truck circulation; and
- Demolish the existing greenhouses and trellis and construct a new 78' x 63' greenhouse, to be attached to the existing two-story building; and

- Relocate five (5) existing parking spaces, which extend off-site and into East Street right-of-way, so that they are positioned entirely on the subject property; and
- Modify and expand the existing internal parking lot and driveways; and
- Expand plant storage areas onto 5 East Street (Tax Lot 36); and
- Remove and install various fencing and gates; and
- Install permanent landscaping along East Street and the easterly property line; and
- Install drainage features to mitigate for the proposed added impervious cover; and
- Eliminate the common property line and merge Tax Lots 35, 36 and 48 into one lot/parcel; and

**WHEREAS**, by a Resolution adopted on July 21, 2015, the Planning Board approved the proposed action and granted Site Development Plan Approval, a Wetland Activity Permit and a Town Stormwater Permit; and

**WHEREAS**, the applicant satisfied the conditions contained within the Planning Board's July 21, 2015 Resolution, the Site Development Plans were signed by the Planning Board Chairman, and construction is currently underway; and

**WHEREAS**, the Planning Board granted amended Site Development Plan, Wetland Activity and Town Stormwater Permit approvals on June 21, 2016 which authorized a larger roof connecting the existing building and the proposed greenhouse; and

**WHEREAS**, the applicant is now requesting that the Planning Board further amend the approved Site Development Plan, as follows:

1. Interchange (swap) gravel and asphalt pavement areas in equal quantities of 2,600 s.f. A portion of the previously approved gravel driveway located immediately east of the greenhouse will be paved with asphalt, while the customer driveway and parking area (four (4) parking spaces) located between the greenhouse and East Street will be surfaced with gravel as oppose to asphalt pavement; and
2. The four (4) parking spaces located between the greenhouse and East Street will be relocated; these spaces will be located parallel and proximate to the greenhouse on the north side of the driveway as opposed to parallel and immediately adjacent to East Street; and
3. The west side of the first curb cut on East Street will be reconfigured; and



**WHEREAS**, the proposed amendment would result in no zoning changes and would not alter the previously approved stormwater mitigation system; and

**WHEREAS**, the relocated parallel parking spaces will be delineated within the gravel parking area by use of 6" x 6" pressure treated timbers set flush to the surface of the gravel parking area; this parking area will be distinguished and separated from the plant storage area via the installation of nine (9) 6" x 6" pressure treated timbers set to a height of 36-inches and 11-feet on center, as illustrated and detailed on the plan approved herein.

**NOW THEREFORE BE IT RESOLVED THAT**, the proposed action has been determined to be a Type II Action and is categorically exempt from the New York State Environmental Quality Review Act (SEQRA); and

**BE IT FURTHER RESOLVED THAT**, the Planning Board hereby determines that the proposed amendment qualifies for a waiver of Site Development Plan application procedures under §220-47A(2) of the Zoning Code; and

**BE IT FURTHER RESOLVED THAT**, the Planning Board hereby grants Amended Site Development Plan Approval, Amended Wetland Activity Permit Approval and Amended Town Stormwater Permit Approval, subject to the below conditions; and

**BE IT FURTHER RESOLVED THAT**, given the limited scale of the proposed action and in accordance with Section 220-46D of the Zoning Code, the Planning Board hereby waives the requirement for a public hearing; and

**BE IT FURTHER RESOLVED THAT**, the Planning Board hereby approves the following drawing, hereafter referred to as "the Approved Amended Site Development Plan" and

**Plan, prepared by David W. Coffin, Jr. Architect, dated (last revised) June 22, 2017:**

- "Step 2: Site Development Plan" (G.1)

**BE IT FURTHER RESOLVED THAT**, Conditions #1- #4 must be fulfilled within six (6) months of the date of this Resolution (January 18, 2018). Should these conditions not be completed within the allotted time frame, this Resolution shall become null and void unless an extension is requested by the applicant (in writing) within said six (6) month period and granted by the Planning Board; and

**BE IT FURTHER RESOLVED THAT**, all other previously approved plans, designs, conditions, requirements, expiration dates and time frames shall remain in full force and effect.

Conditions to be Satisfied Prior to the Signing of the Approved Amended Site Development Plan by the Secretary and Chairman:

1. The applicant shall supplement its engineering and inspection fee account in the amount of \$1,500.00 to cover the cost of past and future site inspections made by the Town's professional consultants and for construction administration.
2. The applicant shall furnish the Planning Board with two (2) complete mylar drawings of the Approved Amended Site Development Plan for final review by the Town's consultants and endorsement by the Town Engineer, Planning Board Chairman and Secretary.
3. The applicant shall provide a written statement to the Planning Board Secretary acknowledging that they have read and will abide by all conditions of this Resolution.
4. The applicant shall pay to the Town of Lewisboro, by certified check, all outstanding professional review fees.

Conditions to be Satisfied Following the Signing of the Approved Amended Site Development Plan:

5. Following the endorsement of the Approved Amended Site Development Plan by the Town Engineer, Planning Board Chairman and Secretary, one (1) mylar set will be returned to the applicant for copying and the second mylar set will be retained by the Planning Board as a record copy.
6. Within 10 days after endorsement of the Approved Amended Site Development Plan by the Town Engineer, Planning Board Chairman and Planning Board Secretary, the applicant shall deliver to the Planning Board Secretary nine (9) printed sets of the signed approved plans, collated and folded.

ADOPTION OF RESOLUTION

WHEREUPON, the Resolution herein was declared adopted by the Planning Board of the Town of Lewishoro as follows:

The motion was moved by: Ron Tetelman

The motion was seconded by: Greg Lasorsa

The vote was as follows:

JEROME KERNER	<u>aye</u>
JOHN O'DONNELL	<u>aye</u>
RON TETELMAN	<u>aye</u>
GREG LASORSA	<u>aye</u>
ED BOROUGHS	<u>aye</u>

  
Jerome Kerner

July 18, 2017



## TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590  
Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)  
Tel: (914) 763-5592 Fax: (914) 875-9148

### Tax Payment Affidavit Requirement

*This form must accompany all applications to the Planning Board.*

*Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.*

*Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.*

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant (Please type or print)	
<u>Pietro Cipriano</u> <u>Organic Choice Inc.</u> Name of Applicant	<u>Copia Home and Garden Center</u> Project Name
<b>Property Description</b>	<b>Property Assessed to:</b>
Tax Block(s): <u>983 Y</u>	<u>Organic Choice, Inc.</u> Name
Tax Lot(s): <u>35</u>	<u>475 Smith Ridge Rd.</u> Address
Tax Sheet(s): <u>53</u>	<u>So. Salem</u> <u>NY</u> <u>10590</u> City State Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes: Deirdre M. Casper Date 3/18/2021

Sworn to before me this 18<sup>th</sup> day of March, 2021

JANET L. DONOHUE  
NOTARY PUBLIC, STATE OF NEW YORK  
No. 01D06259627  
Qualified in Westchester County  
Commission Expires April 16, 2024

Janet L. Donohue  
Signature - Notary Public (affix stamp)

**617.20**  
**Appendix B**  
**Short Environmental Assessment Form**

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: Copia Home and Garden-Amend Site Plan			
Project Location (describe, and attach a location map): 475 Smith Ridge Road (Lots 35/48) and 5 East Street (Lot 36), Vista, NY 10590			
Brief Description of Proposed Action: Lots 35/48 & 36 have been rezoned to General Business (GB) and combined for Site Development Plan Approval in the Town of Lewisboro, NY. The existing curb-cut off East Street into the 475 Smith Ridge Road lots is relocated eastward approx. 200 feet from intersection of Route #123 and East Street. A continuous grass and plant strip between the East Street pavement edge and parking along the south property line is provided. The existing curb-cut into 5 East Street is widened from 18.5 feet to 25 feet. Additional parking is provided along the 475 Smith Ridge south property line parallel to East Street. Commercial truck traffic enters the 5 East Street widened curb-cut; u-turns within the property and exits from the relocated 475 Smith Ridge curb-cut onto East Street. Existing grades and storm drainage are maintained with slight adjustments for interior site truck circulation, new blacktop pavement/gravel roadways and curb-cut.			
Name of Applicant or Sponsor: Jennifer and Pietro Cipriano Jr.		Telephone: 914-533-7242 E-Mail: pplants@optonline.net	
Address: Copia Home and Garden, 475 Smith Ridge Road			
City/PO: Vista		State: NY	Zip Code: 10590
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Westchester County Planning Department		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.884 acres	
b. Total acreage to be physically disturbed		.413 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.884 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input checked="" type="checkbox"/> Parkland (Town of Lewisboro Park/Recreation)			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: NOT APPLICABLE	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: SITE IS LOCATED WITHIN 150 FOOT WETLAND BUFFER AS DETERMINED BY TOWN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: Storm water is directed to on-site catch basins. <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor name: DAVID W. COFFIN Date: 6/15/2015

Signature: [Signature]

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<div> <div>Name of Lead Agency</div> <div>Date</div> </div>	
<div> <div>Print or Type Name of Responsible Officer in Lead Agency</div> <div>Title of Responsible Officer</div> </div>	
<div> <div>Signature of Responsible Officer in Lead Agency</div> <div>Signature of Preparer (if different from Responsible Officer)</div> </div>	

**PRINT**



Application No.: 6-15 SW

Fee: 155.00 Date: 6-5-15 SW WP  
pd ck #2025 (\$410 = 155 + 255)  
recpt # 597576

**TOWN OF LEWISBORO**  
**STORMWATER PERMIT APPLICATION**

Town Offices @ Orchard Square, Suite L (Lower Level), 20 North Salem Road, Cross River, NY 10518  
Phone: (914) 763-5592  
Fax: (914) 763-3637

**Project Information**

Project Address: 475 SMITH RIDGE ROAD, VISTA NY 10590

Sheet: 53 Block: 9834 Lot(s): 35/40 & 36

Project Description (describe overall project including all proposed land development activities):

RELOCATE EXISTING CURB CUT ON EAST ST FROM INTERSECTION. RELOCATE EXISTING PARKING OFF TOWN ROW. CONSTRUCT NEW GREENHOUSE THAT COLLAPSED FROM SNOW. CONSTRUCT NEW SUBSURFACE STORM WATER MANAGEMENT SYSTEM TO MITIGATE INCREASED RUNOFF.

**Owner's Information**

Owner's Name: JENNIFER & PIERO CIPRIANO JR Phone: (914) 533-7242

Owner's Address: 475 SMITH RIDGE RD, VISTA NY 10590 Email: ppplants@optonline.net

**Applicant's Information** (if different)

Applicant's Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Applicant's Address: \_\_\_\_\_ Email: \_\_\_\_\_

**Authorized Agent's Information**

Agent's Name: M.V. WEISS + ASSOCIATES Phone: (315) 698-2457

Agent's Address: 4913 STATE RTE 31, CLAY NY 13041-8708 Email: mweiss@mweissandassociates.com

**To Be Completed By Owner/Applicant/Agent**

- The approval authority is? (see § 189-5 of the Town Code)  
☒ Town Engineer and SMO ☒ Planning Board
- Is the project located within the NYCDEP Watershed? ☐ Yes ☒ No
- Total area of proposed disturbance: ☒ 5,000 s.f. - < 1 acre ☐ ≥ 1 acre
- Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity? ☐ Yes ☐ No ☒ Requires post-construction stormwater practice
- Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: PLANNING BOARD, TOWN HIGHWAY, COUNTY PLANNING ACARC

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under § 189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

Owner/Applicant Signature: \_\_\_\_\_

Date: 6/3/2015

**Westchester County Planning Board  
Planning and Zoning Action Referral Form**

**Referral Name:** Copia Garden Center

**Address:** 475 Smith Ridge Road, South Salem, NY

**Westchester County Planning  
Board comments due by:** \_\_\_\_\_

**Municipality:** Lewisboro

**Local Case Number:** 1-15PB

**Zip code of location of the action:** 10590

**Local Meeting Date:** \_\_\_\_\_

**Section:** 0053      **Block:** 09834      **Lot:** 35/48, 36

**Public Hearing:**   ☒ Yes   ☐ No

**Referring Agency:**

- ☐ City Council  
☐ Town/Village Board  
☒ Planning Board/Commission  
☐ Zoning Board  
☐ Other: \_\_\_\_\_

**General Land Use Classification:** \_\_\_\_\_

**Type of Action**

- ☐ New  
☒ Expansion  
☒ Modification

**SEQR Action**

- |   |                                    |   |
|---|------------------------------------|---|
| <input checked="" type="checkbox"/> EAF | <input type="checkbox"/> Draft EIS | <input type="checkbox"/> Positive Declaration |
| <input type="checkbox"/> Lead Agency    | <input type="checkbox"/> Final EIS | <input type="checkbox"/> Negative Declaration |
| <input type="checkbox"/> Draft Scope    | <input type="checkbox"/> Findings  |   |

**Referral Description:** The applicant owns a landscape nursery business known as Copia located at 475 Smith Ridge Road (Tax Lots 35 and 48) and an abutting residential lot (Tax Lot 36). All three (3) lots are located in the GB Zoning District, where landscape nursery is a permitted use. The applicant is proposing to expand the landscape nursery business onto the existing residential parcel and the proposed action includes the construction of a new green house, modifications to the curb cuts on East Street to improve traffic circulation, and drainage improvements. Site Development Plan Approval, a Wetland Permit and a Town Stormwater Permit is required.

**Referral Trigger (Type of Action)\***

*Please check appropriate box for actions involving **more than 5,000 square feet of new or renovated floor area OR 10,000 square feet of total land disturbance**. If this action involves less floor area or land disturbance, please use a "notification only" form to reduce paperwork/waste.*

- ☐ **Special Use Permit or Use Variance**  
☐ **Subdivision Plat** (Only when a new street will connect directly into a **state or county** road or a new drainage line will connect directly into a **county** drainage channel)  
☐ **Zoning Ordinance or Map** (Adoption or Amendment)  
☐ **Moratoriums**

- ☐ **Comprehensive Plan** (Adoption or Amendment)  
☐ **Official Map** (Adoption or Amendment)  
☒ **Site Plan** (please circle the condition)

Affecting property within 500 feet of:

- A municipal boundary;
- The boundary of an existing or proposed **state or county** park or any other **state/county** recreation area;
- The right-of-way of an existing or proposed **state or county** road;
- An existing or proposed **county** drainage channel line;
- The boundary of **state or county**-owned land on which a public building/ institution is located;
- The boundary of a farm located in an agricultural district.

**Contact Information**

**Local Contact Name:** Lisa Pisera

**Department/Agency:** Planning Board Secretary

**Phone Number:** 914-763-5592

**Email Address:** planning@lewisborogov.com

Please provide notice at least **10 days** prior to any hearing (**30 days** in advance for site plans) with supporting documentation (including an EAF) and return address to:

**Municipal Referrals**  
Westchester County Department of Planning  
148 Martine Avenue, Room 432  
White Plains, NY 10601-3311

*Note: You may fax this sheet to (914) 995-3780, in order to start the referral process. Please send all supporting documentation within one business day of sending the fax.*

\* **Note:** This list is provided as a convenience. Please check General Municipal Law and the Westchester County Code to be certain which actions to refer.

<http://www.co.westchester.ny.us/planning/regionalplan/Referral%20Form.pdf>      Prepared by Westchester County Department of Planning—March 2008



# GENERAL NOTES AND SCOPE OF WORK:

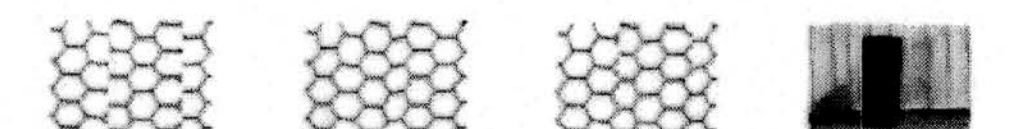
- FOR REAL PROPERTY KNOWN AS 475 SMITH RIDGE ROAD AND 5 EAST STREET ON TAX ASSESSMENT MAP OF TOWN OF LEWISBORO SHEET 53, BLOCK 9834, LOTS 35 AND 48 AND LOT 36 RESPECTIVELY.
- TOWN OF LEWISBORO RESOLUTION, DATED NOVEMBER 3, 2014, APPROVED REZONING AS GB (GENERAL BUSINESS).
- COMBINE LOTS 35/48 AND 36 INTO A SINGLE LOT.
- REMOVE AND RELOCATE EXISTING EAST STREET CURB-CUT AS INDICATED.
- RELOCATE AND INCREASE EXISTING PARKING ALONG SOUTH PROPERTY.
- INSTALL NEW INTERNAL GRAVEL ROADWAY FOR TRUCK TRAFFIC AS INDICATED.
- REMOVE CHAIN LINK FENCE ALONG SOUTH PROPERTY AND INSTALL NEW 6 FOOT HIGH "HEXWEB" FENCE WITH ROLLING GATES AS SHOWN.
- PROVIDE GRASS STRIP AND PLANT SCREEN BETWEEN EDGE OF EAST ST. PAVEMENT AND LOT DRIVEWAYS.
- PROVIDE PLANT STORAGE WHERE INDICATED.
- FIREWOOD STORAGE ADJACENT TO EXISTING GARAGE.
- EXISTING GARAGE TO BE DEMOLISHED WHEN FUTURE STORAGE BUILDING IS CONSTRUCTED.
- MAINTAIN AND EXTEND PLANT SCREEN ALONG EAST SIDE PROPERTY.
- USABLE EXCAVATED MATERIAL TO BE DISTRIBUTED ON SITE FOR PLANT STORAGE; UNUSABLE TO BE TAKEN OFF-SITE.
- APPROXIMATELY 30,000+ SF OF SITE IS DISTURBED FOR NEW GREENHOUSE, RELOCATING CURB-CUT, REGRADING, INSTALLING GRAVEL ROADWAY, PAVED APRON/DRIVEWAY/EXPANDED PARKING, AND LANDSCAPING DIVIDING STRIP.
- REFER TO DRAWINGS L.1, L.2, L.2A, L.3, L.3A, L.3B, L.4, L.5 FOR DETAILED DEMOLITION, LAYOUT, STORMWATER POLLUTION PREVENTION, GRADING AND STORM DRAINAGE, DETAILS AND SPECIFICATIONS.
- DRAWING G.1 IS LAYOUT INFORMATIONAL, SCOPE OF WORK, LANDSCAPING, SITE ZONING ANALYSIS, SITE LOCATION.

## REVISION NO. 08 - INCREASE SIZE OF CONNECTOR:

- CONNECTOR IS INCREASED FROM 10' X 8' TO 10' X 60' FOR INCREASE IN BUILDING COVERAGE OF APPROXIMATELY 520 SQUARE FEET. REFER TO REVISED SITE ZONING ANALYSIS ON THIS DRAWING.
- CONSTRUCTION IS WOOD FRAME WITH METAL ROOF AND WILL BE CONSTRUCTED AS SELF SUPPORTING.
- CONSTRUCTION JOINT WITH FLASHING AT FACE OF GREENHOUSE WALL. OVERHEAD DOORS WILL BE INSTALLED AT EACH END OF CONNECTOR.
- NEW GUTTER WILL BE CONNECTED TO EXISTING DOWNSPOUT AT NORTH END OF CONNECTOR.
- NEW GUTTER AND DOWNSPOUT WILL DRAIN INTO CB#42 SOUTH END OF CONNECTOR.
- CB#3 REMAINS AND WILL PROVIDE DRAINAGE FOR INTERIOR WHEN CONNECTOR FLOOR IS HOSED DOWN.

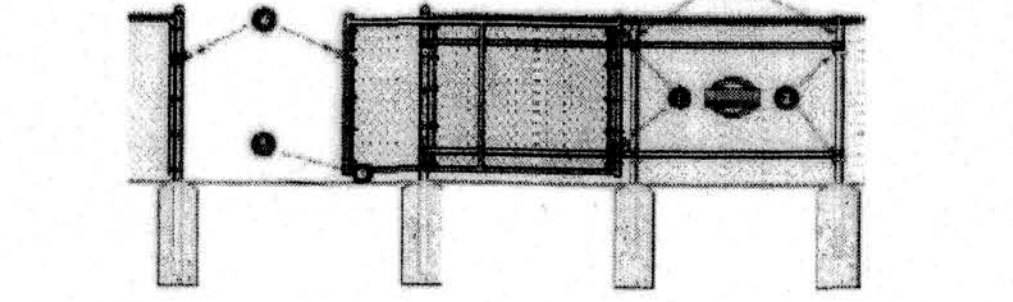
## Steel Hex Web Fence:

Deerbusters Steel Hex Web Fence is made from strong 29 gauge galvanized wire then coated with a black PVC coating. Made in the U.S.A.



## Chain Link Rolling Gates:

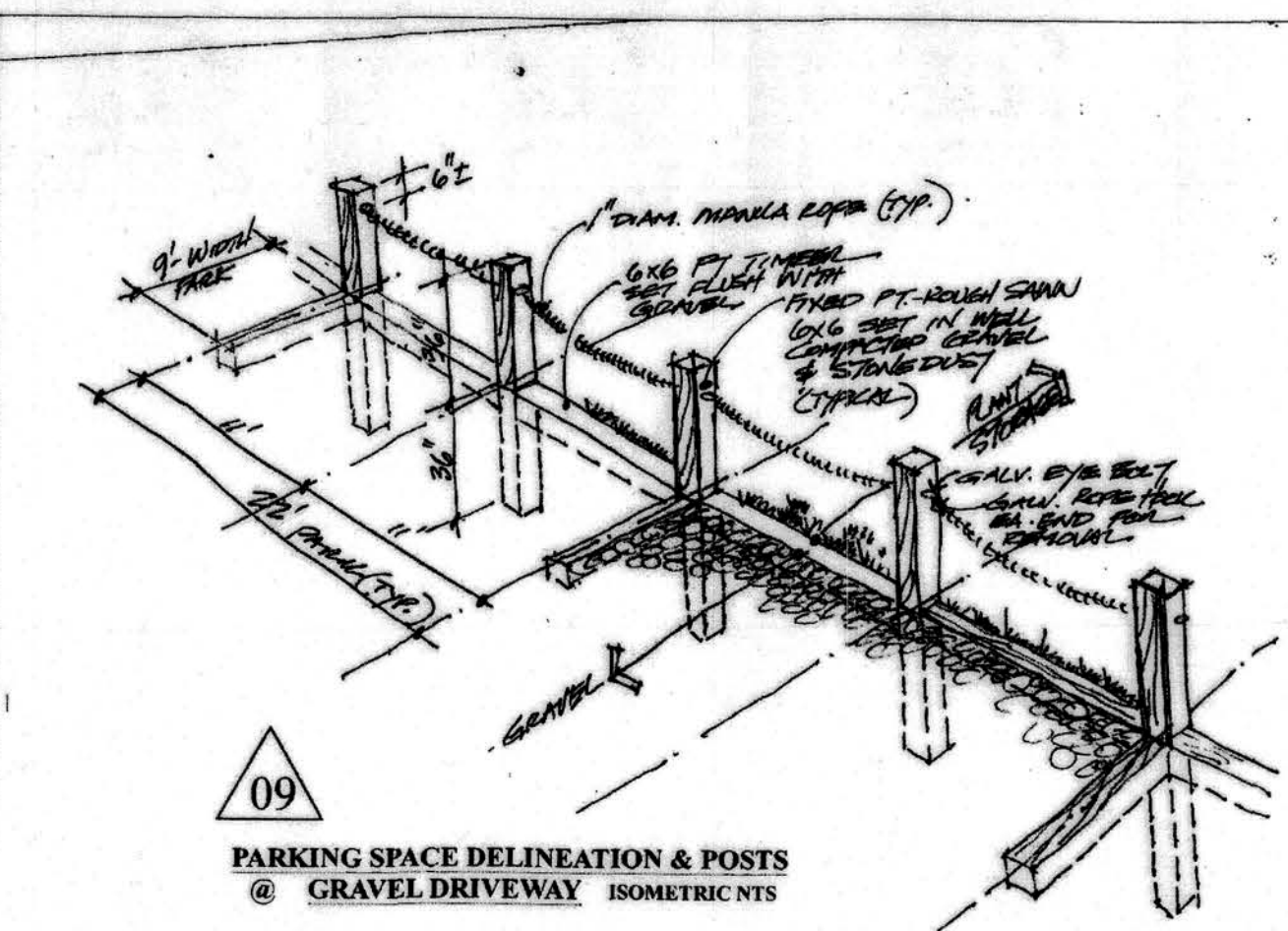
General Information



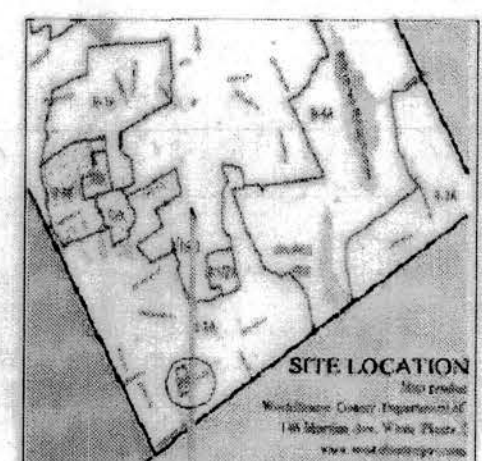
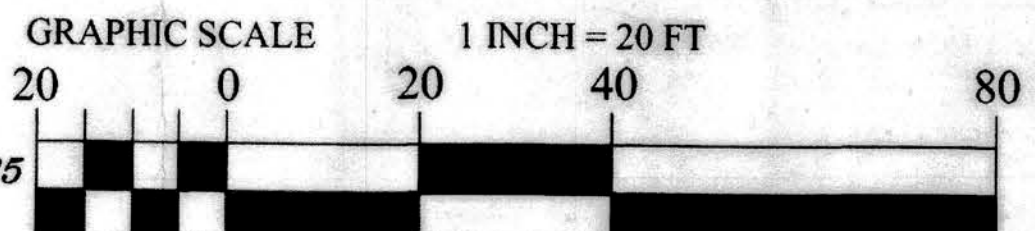
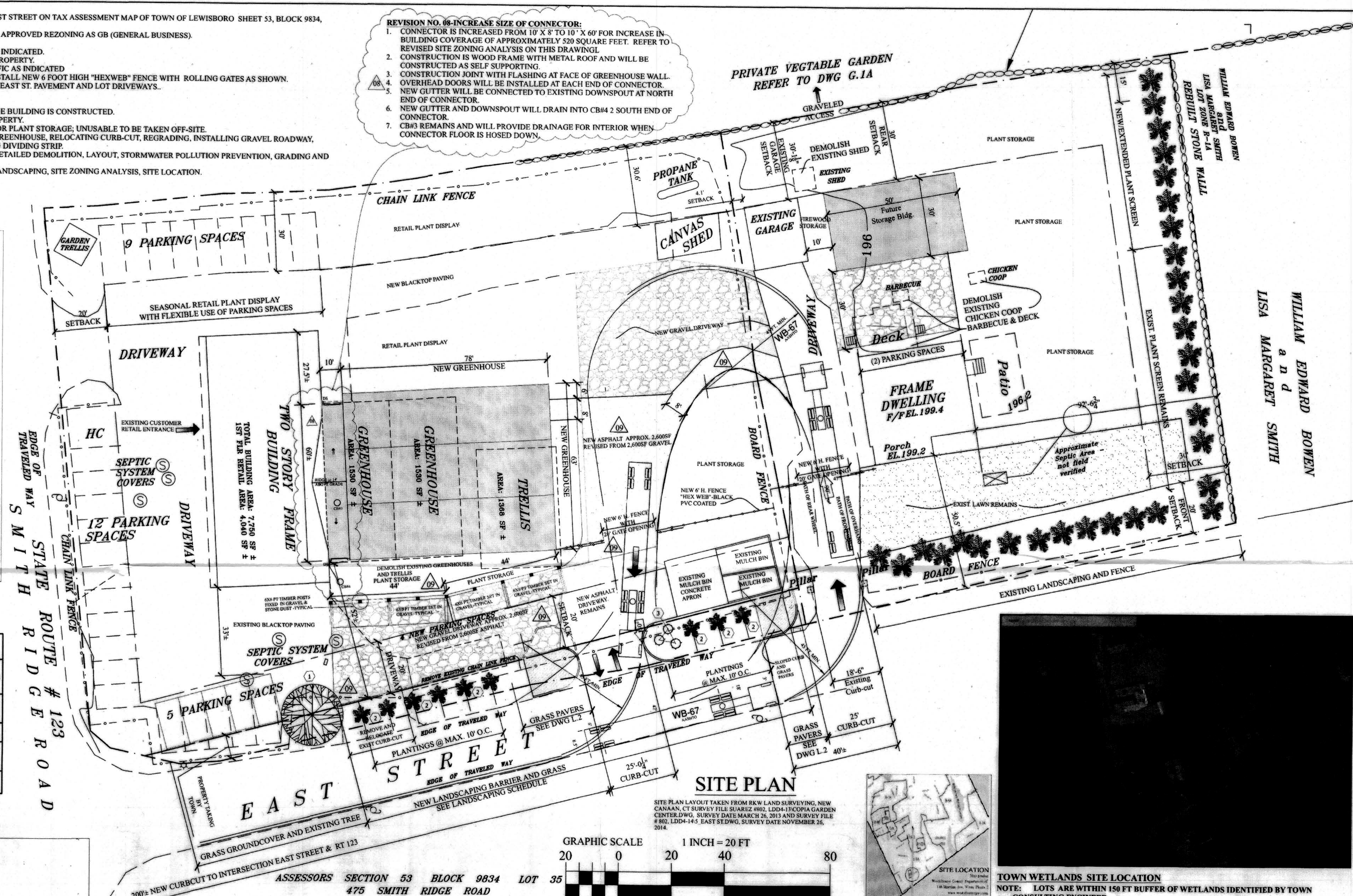
## LANDSCAPING SCHEDULE

KEY	COMMON NAME	BOTANICAL NAME	HEIGHT	DIAMETER
1	EXISTING JAPANESE MAPLE SHADE TREE			
2	GREEN GREAT ARBORVITAE	THUJA 'GREEN GIANT'	7-8 FT	
3	BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS 'WILTONI'		

REMARKS: GRASS SHALL BE PLANTED AS ISLAND GROUND COVER.



## PARKING SPACE DELINEATION & POSTS @ GRAVEL DRIVEWAY ISOMETRICS



## SITE ZONING ANALYSIS for COMBINED LOTS 35/48 AND 36 TOWN OF LEWISBORO, NY

ZONING DISTRICT	REQUIRED	EXISTING (LOTS 35/48)	EXISTING (LOTS 36)	PROPOSED (COMBINED LOTS 35/48 + 36)
GENERAL BUSINESS (GB)				
MINIMUM LOT AREA (ACRES)	1/4 (A) = 21,780 SF	1.161 (A) X 43,560 SF = 50,573 SF	723 (A) X 43,560 SF = 31,494 SF	1.161 + 723 = 1.884 (A) X 43,560 SF = 82,067 SF
FRONTAGE (FEET)	100	198.76 (W) + 278.54 (S)	167.06 (S)	198.76 (W) + 445.6 (S)
FRONT YARD (FEET)	20	50.1 (W) & 30.4 (S)	50.5 (S)	50.1 (W) 1' (S)
SIDE / REAR YARDS (FEET)	30	30.5 (N)	19.6 (N-REAR/SIDE) 92.8 (E-SIDE/REAR)	30 (N-REAR/SIDE) 92.8 (E-SIDE/REAR)
MAX. BLDG HGT.	2 1/2 STORIES-30 FEET	2 STORIES-30 FEET (RETAIL) 4040' (GREENHOUSE) 3060' (TRELLIS) 1368' 8,468 SF	2 STORIES-30 FEET (HOUSE) 1883' (DECK) 365' (GARAGE/SHED) 580' 2,463 SF	2 STORIES-30 FEET (LOT 35/48) DELETE GREENHOUSE/TRELLIS & ADD NEW GREENHOUSE 9,395' (LOT 36) 3534' 13,449 SF = 16.4% COVERAGE
SITE COVERAGE	60% (LOT AREA) 60 X 82,067 SF = 49,240 SF	IST FLR RETAIL: 4040 SF + GREENHOUSES: 3060 SF + TRELLIS: 1368 SF + PARKING/PAVING/GRAVEL DRIVEWAY: 16,735 SF = 25,203 SF	HOUSE/DECK: 1883 SF + GARAGE/SHED: 580 SF + PATIO: 507 SF + PAVING: 3023 SF = 5,993 SF	(LOT 35/48) @ 26,130 SF + (LOT 36) @ 7,085 SF + NEW PARKING/PAVING/GRAVEL DRIVEWAY @ 10,850 SF = 44,565 SF (34.3%)
FLOOR AREA RATIO (F.A.R.)	30% (FLOOR AREA) 30 X 82,067 SF = 24,620 SF	TOTAL 2-STORY BUILDING: 7750 SF + GREENHOUSES: 3060 SF = 10,810 SF	TOTAL 2-STORY HOUSE: 3035 SF + GARAGE/SHED: 580 SF = 3615 SF	(LOT 35/48) 13,105' + (LOT 36) 5,051' = 18,676 SF + 22.8% COVERAGE
PARKING	1/20 CUSTOMER AREA	24 CARS	2 CARS	28 CARS (INCLUDES 4 NEW CARPARK)
RETAIL AREA	4,040 SF/2000' 20 CARS	24 CARS		
2ND FLOOR LIVING AREA	2 CARS			
HOUSE			2 CARS	
TOTAL CARS		26 CARS	2 CARS	32 CARS

NOTE: "FUTURE" STORAGE BUILDING AREA OF 1,500 SF (AND DEMOLITION OF 500 SF EXISTING GARAGE) REMAINS WITHIN MAX. BUILDING COVERAGE, SITE COVERAGE AND FAR ZONING REQUIREMENTS.

PLANNING BOARD ENDORSEMENT OF APPROVED PLANS

DATE: JAN 27, 2015  
DRAWN BY: DMC  
REVISIONS:

1. 1/27/15: SITE DEVELOPMENT APPROVAL  
2. 1/27/15: SITE DEVELOPMENT APPROVAL  
3. 1/27/15: SITE DEVELOPMENT APPROVAL  
4. 1/27/15: SITE DEVELOPMENT APPROVAL  
5. 1/27/15: SITE DEVELOPMENT APPROVAL  
6. 1/27/15: SITE DEVELOPMENT APPROVAL  
7. 1/27/15: SITE DEVELOPMENT APPROVAL  
8. 1/27/15: SITE DEVELOPMENT APPROVAL  
9. 1/27/15: SITE DEVELOPMENT APPROVAL  
10. 1/27/15: SITE DEVELOPMENT APPROVAL

ARCHITECT:  
DAVID W. COFFIN JR.  
110 WOOD ROAD  
BEDFORD HILLS  
NEW YORK 10507

APPLICANT:

COPIA HOME AND GARDEN - AMEND SITE PLAN  
475 SMITH RIDGE RD & 5 EAST ST, VISTA, NY 10590

STEP 2:  
SITE DEVELOPMENT PLAN

DATE: JAN 27, 2015  
DRAWN BY: DMC  
REVISIONS:



1. 1/27/15: SITE DEVELOPMENT APPROVAL  
2. 1/27/15: SITE DEVELOPMENT APPROVAL  
3. 1/27/15: SITE DEVELOPMENT APPROVAL  
4. 1/27/15: SITE DEVELOPMENT APPROVAL  
5. 1/27/15: SITE DEVELOPMENT APPROVAL  
6. 1/27/15: SITE DEVELOPMENT APPROVAL  
7. 1/27/15: SITE DEVELOPMENT APPROVAL  
8. 1/27/15: SITE DEVELOPMENT APPROVAL  
9. 1/27/15: SITE DEVELOPMENT APPROVAL  
10. 1/27/15: SITE DEVELOPMENT APPROVAL



**MEMORANDUM**

TO: Chairperson Janet Andersen and  
Members of Lewisboro Planning Board

CC: Ciorsdan Conran  
Judson Siebert, Esq.  
Joseph Angiello

FROM: Jan K. Johannessen, AICP   
Joseph M. Cermele, P.E., CFM   
Town Consulting Professionals

DATE: April 15, 2021

RE: Wetland Permit Approval and Stormwater Permit Approval  
Daniel Fries & Hanako Shimizu  
54 Bishop Park Road  
Section 45, Block 10274, Lot 10

---

**PROJECT DESCRIPTION**

The subject property consists of ±1.516 acres of land and is located at 54 Bishop Park Road within the R-1A Zoning District. The subject property is developed with a two-story frame house, deck, retaining wall, hot tub, dirt/gravel driveway, septic system and well. The applicant is proposing the construction of a 2-story accessory building consisting of an enclosed garage with a home office space on the second floor. The subject property fronts on Lake Kitchawan and a watercourse traverses the parcel; the proposed building and driveway improvements are proposed to be located entirely within the wetland buffer.

**SEQRA**

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

**REQUIRED APPROVALS/REFERRALS**

1. A Town Stormwater Permit and a Wetland Activity Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.
2. The proposed action requires variances from the Zoning Board of Appeals due to the size of the accessory building.
3. The subject property is located within the NYC East of Hudson Watershed and proposed land disturbance exceeds 5,000 s.f. Coverage under New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001) will be required.

**COMMENTS**

1. This office defers review of the plan for zoning compliance to the Building Inspector. It is recommended that the application be referred to the Building Inspector for review.
2. The applicant shall submit an updated Existing Conditions Survey (boundary and 2-foot contours), signed and sealed by a NYS Licensed Land Surveyor.
3. The plan shall include a Bulk Zoning Table comparing the requirements of the underlying zoning district to the existing and proposed condition; required variances and existing nonconformities shall be noted below the table.
4. The plan shall illustrate the location of all existing and proposed utilities (electric, water, sewer, gas, etc.).
5. Provide construction details for all proposed improvements, including but not limited to, driveway, drainage, curbing, trenching, erosion controls, etc.
6. Erosion controls measures shall be specified on the plan, including, but not limited to, temporary construction access, silt fence, tree protection, construction sequence, etc. Details shall be provided and shall be in conformance with the most recent version of the New York State Standards and Specifications for Erosion and Sediment Control.
7. The applicant shall provide stormwater mitigation and design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour storm event. Provide details of the stormwater mitigation system.

8. The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact this office to schedule the testing.
9. The plan shall illustrate the location and connection between all existing and proposed roof drains and shall identify the size, slope, and material of all proposed drainage pipe. Provide details and include outlet protection.
10. The plan shall illustrate the footing drain location on the site plan. Include the size, slope, and material of drainage pipe and provide outlet protection details.
11. The applicant shall illustrate and calculate the area of land disturbance (s.f.).
12. The applicant shall develop a wetland mitigation plan which provides, at a minimum, mitigation at a ratio of 1:1 (for every s.f. of wetland or wetland buffer disturbance proposed, an equal or greater amount of mitigation shall be provided). Please quantify the area of wetland disturbance and refer to the Town's mitigation guidelines provided in Chapter 217, Appendix B.
13. The size and specie type of all existing trees shall be identified on the plan.
14. The applicant shall identify the specie type, size and quantity of all proposed plant material. Cross-section installation details shall be provided for proposed trees and shrubs, as applicable.
15. A portion of the subject parcel is located within the 100-year FEMA Floodplain (Zone A). The floodplain boundary shall be depicted on the plan as should the base flood elevation. If work is proposed within the floodplain, a Floodplain Development Permit will be required in accordance with Chapter 126 of the Town Code.
16. The plan shall be revised to identify the dimension between buildings/structures and the closest property line(s).
17. The location of any neighboring driveways, structures, buildings, wells and septic areas shall appear on a plan.
18. The Site Plan and Planting Plan shall be revised to utilize an engineer's scale.
19. A leader on Sheet A-001.00 shall has been cut off by the right-hand margin and shall be revised.
20. The plans shall be signed/sealed by the Design Professional.
21. It is recommended that the Planning Board conduct a site visit.

Chairperson Janet Andersen  
April 15, 2021  
Page 4 of 4

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

**PLAN REVIEWED, PREPARED BY APIS ARCHITECTURE, DATED MARCH 6, 2021:**

- Cover Sheet (Sheet A-000.00)
- Site Plan (Sheet A-001.00)
- Planting Plan (Sheet A-002.00)
- 00 Cellar (Sheet A-100.00)
- 01 Ground Level (Sheet A-101.00)
- 02 Upper Level (Sheet A-102.00)
- 03 Roof (Sheet A-103.00)
- Elevation East (Sheet A-200.00)
- Elevation East (Sheet A-201.00)
- Elevation South/North (Sheet A-202.00)
- Section North/South, East/West (Sheet A-300.00)

**DOCUMENTS REVIEWED:**

- Project Narrative, prepared by Apis Architecture, dated March 6, 2021
- Town of Lewisboro Wetland Permit Application
- Town of Lewisboro Stormwater Permit Application
- Deed

JKJ/dc

[https://kellardsessionsconsulti.sharepoint.com/sites/Kellard/Municipal/Lewisboro/Correspondence/2021-04-15\\_LWPB\\_Fries - 54 Bishop Park Road\\_Review Memo.docx](https://kellardsessionsconsulti.sharepoint.com/sites/Kellard/Municipal/Lewisboro/Correspondence/2021-04-15_LWPB_Fries - 54 Bishop Park Road_Review Memo.docx)

TO: The Town of Lewisboro Planning Board  
FROM: Lewisboro Conservation Advisory Council  
SUBJECT: **Fries Residence, 54 Bishop Park Road, Pound Ridge, NY 10576**  
**South Salem, NY 10590**  
DATE: April 8, 2021

---

The Conservation Advisory Council (CAC) has reviewed the materials recently submitted by the applicant. The bulk of the property is in one of two wetland buffers from either the brook or the lake.

The CAC would like to see additional details on the wetland mitigation including the total area of mitigation to see if it meets the one-to-one criteria. The applicant should also provide details for the stormwater mitigation as they are adding impervious surfaces.

The CAC would also like the applicant to consider moving the proposed structures to another area such as the site where the driveway ends or to parcel 3 if owned in order to avoid removing the large oak tree.

A site visit would be useful for this property.

Application No.: 28-21WP  
Fee: \$255 Date: 3/16/21  
(P)

TOWN OF LEWISBORO  
WETLAND PERMIT APPLICATION

79 Bouton Road, South Salem, NY 10590  
Phone: (914) 763-5592  
Fax: (914) 875-9148

escrow set 'd

54 Bishop Park Rd

Project Address: \_\_\_\_\_  
45 10274 10  
Sheet: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): see narrative

Owner's Name: Daniel Fries & Hanako Shimizu Phone: 917-518-3954

Owner's Address: 54 Bishop Park Rd Email: danielfries@mac.com

Applicant's Name (if different): \_\_\_\_\_ Phone: \_\_\_\_\_

Applicant's Address: \_\_\_\_\_ Email: \_\_\_\_\_

Agent's Name (if applicable): \_\_\_\_\_ Phone: \_\_\_\_\_

Agent's Address: \_\_\_\_\_ Email: \_\_\_\_\_

TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

☐ Administrative ☒ Planning Board

Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No

Total area of proposed disturbance: ☒ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☐ ≥ 1 acre


Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: \_\_\_\_\_

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: 

FEB 26 2021  
Date: \_\_\_\_\_

Application No.: 4-215W  
Fee: \$155 Date: 3/16/21  


**TOWN OF LEWISBORO  
STORMWATER PERMIT APPLICATION**

79 Bouton Road, South Salem, NY 10590  
Phone: (914) 763-5592  
Fax: (914) 875-9148

**54 Bishop Park Rd**

Project Address: \_\_\_\_\_  
                    45                    10274                    10  
Sheet: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

Project Description (describe overall project including all proposed land development activities):  
\_\_\_\_\_  
\_\_\_\_\_

Owner's Name: Daniel Fries Phone: 917-518-3954  
Owner's Address: 54 Bishop Park Rd Email: danielfries@mac.com  
Applicant's Name (if different): \_\_\_\_\_ Phone: \_\_\_\_\_  
Applicant's Address: \_\_\_\_\_ Email: \_\_\_\_\_  
Agent's Name (if applicable): \_\_\_\_\_ Phone: \_\_\_\_\_  
Agent's Address: \_\_\_\_\_ Email: \_\_\_\_\_

**TO BE COMPLETED BY OWNER/APPLICANT**

The approval authority is? (see §189-5 of the Town Code)

☒ Town Engineer and Stormwater Management Officer ☐ Planning Board

Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No

Total area of proposed disturbance: ☒ 5,000 s.f. - < 1 acre ☐ ≥1 acre

Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity? ☐ Yes ☐ No ☐ Requires post-construction stormwater practice

Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: \_\_\_\_\_

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under §189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

Owner Signature: 

**FEB 26 2021**  
Date: \_\_\_\_\_

# TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590

Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)

Tel: (914) 763-5592

Fax: (914) 875-9148

## Affidavit of Ownership

State of : New York

County of: Westchester

Daniel Fries, being duly sworn, deposes and says that he/she  
resides at 54 Bishop Park Rd, Pound Ridge NY 10576  
in the County of Westchester, State of New York  
and that he/she is (check one) X the owner, or \_\_\_\_\_ the \_\_\_\_\_  
of \_\_\_\_\_  
*Name of corporation, partnership, or other legal entity*

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the  
Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of  
Lewisboro as:

Block 10274, Lot 10, on Sheet 45.

  
Owner's Signature

Sworn to before me this

27<sup>th</sup> day of February, 2021

  
Notary Public - affix stamp

JAMES O. WHITMORE  
NOTARY PUBLIC - CONNECTICUT  
MY COMM. EXPIRES 05/31/2025  
169212



**POUND RIDGE OFFICE**  
**PLANNING BOARD NARRATIVE**

MARCH 06, 2021

## Table of Contents

General Description

Building and Local Codes

Building Structure

Building Enclosure

Building Systems

- HVAC System
- Electrical System
- Plumbing System

Landscape / Exterior spaces

- Civil Infrastructure
- Landscape

## General Description

Pound Ridge Office is the proposed development of a 2-level structure consisting of an enclosed garage with a home office space above, and a cellar for mechanical and storage, which encompasses 1560 gross square feet of enclosed floor area. There is also approximately 695 gross square feet of proposed exterior decking adjacent to the garage.

The proposed addition of a combination office and garage is to provide both storage and workspace for the owners, who are both self-employed and work from home full time. The existing residence at 54 Bishop Park Road was previously a summer and weekend home for the owners, but is now their only residence. The existing home has no cellar for storage and no space for home offices.

The project site is generally bound by a tributary stream on the East, Lake Kitchawan on the West, and a property lot line on the North and South. The entirety of the site sits in overlapping 150' wetland setback areas. There is a narrow band between the 50' wetland setback areas and property line setbacks where the existing residence, drive, and septic field are located.

In lieu of building an addition to the primary residence, or building two accessory structures with separate parking/storage and office space functions, the owners propose to build a single accessory structure to fulfill both needs. This serves multiple purposes, (1) to limit the size of the primary residence, (2) to keep home and work environments distinct, (3) to minimize wetland impact and site disturbance, and (4) to maintain the open character of the property by minimizing the total built footprint.

## Building and Local Codes

The office and garage shall comply with the 2015 International Residential Code (2<sup>nd</sup> Printing as adopted by New York State), hereafter termed "IRC," the 2015 International Energy Conservation Code, the Code of the Town of Lewisboro, hereafter termed the "Code," and all other applicable local, state and federal code requirements. When reviewing the requirements of these codes, the office is defined as both platform-framed light-frame construction.

Per the 2015 IRC, the residence is in Climate Zone 4, is subject to Wind Design per figure R301.2(4)B and is in Seismic Design Category B per figure R301.2(2). The office will comply with the 2015 International Energy Conservation Code (IECC).

The "average elevation of the existing natural grade" has been determined by the architect by averaging the the 536' and 532' contours that surround the proposed building footprint. Per the town building inspector the structures maximum allowable building height is 20'-0" above average natural grade as measured to the midpoint of the roof gable, or +554'-0" NAVD88, and which excludes any appurtenances such as chimneys, guardrails, etc. The owners seek a zoning variance for maximum height.

The proposed building footprint is 780 SF, which exceeds the Code's limit of 600 SF for accessory structures. The owners seek a zoning variance for the accessory structure square footage.

## Building Structure

The office/garage is divided into three key spaces, a mechanical and storage cellar, a two car garage at the first level, and offices with open workspace at the second level. The structure consists of a concrete base level and dimensional lumber framed upper levels and a dimensional lumber framed gable roof borne on a

ridge beam. The cellar is excavated into the sloping landscape and supported on shallow spread footing foundations. Concrete walls retain back-filled earth where the structure lies below grade.

### **Building Enclosure**

The building enclosure will be designed to provide a fully weather-tight enclosure. The Construction Manager will be responsible for coordinating the installation of the individual systems identified below and in the drawing set in a manner that ensures there is a continuous weather-tight enclosure. All exterior fasteners to be 316 stainless steel, typical.

The enclosures of the office are comprised of three (2) main systems that define the architectural intent of the building as well as the performance standard it will be designed for:

- Glazed façade
- Stud wall framing

### **Materials**

The proposed finish of the Office/Garage is painted wood siding to match the existing residence. Windows will be painted wood frame selected to match the existing residence as well. The proposed garage door finish is wood clad tilt up.

### **Roofing System, including Courtyards**

The roof assembly is identified as asphalt shingle on top of the primary wood planking.

### **Decks and Exterior Stairs**

Exterior decks and stairs are to be Alaskan yellow cedar on concrete piles with painted steel framing.

### **Railings and Guardrails**

Assume all railings and guardrails at required locations (30" above adjoining grade) to be painted steel posts with braided tension cable infill.

### **Building Systems**

The building utilities are intended to be served by the existing services to the primary residence. All water and electrical service will originate in the primary residence after the point of existing house metering. Sanitary will utilize the existing septic system.

### **HVAC System**

The building will feature two climate zones, with the upper level office spaces designed for occupant comfort, and the lower level garage and cellar storage designed only to prevent freezing.

The HVAC system is to be a mini-split system or equivalent. Primary heating upper level heating will be provided by closed loop hot water based radiant flooring. Ventilation is via operable windows.

### **Electrical System**

Electrical service is to be provided via underground electrical distribution from the main panel of the existing residence to a secondary panel in the accessory structure cellar.

## Plumbing System

Domestic water is to be provided via underground distribution from the main house domestic water service. Sanitary service for a single powder room and kitchenette is to be provided by connection to the existing house septic system.

## Landscape / Exterior Spaces

### Civil Infrastructure

Refer to the site plan for information regarding the proposed area of disturbance, drywell locations, and project limiting fence.

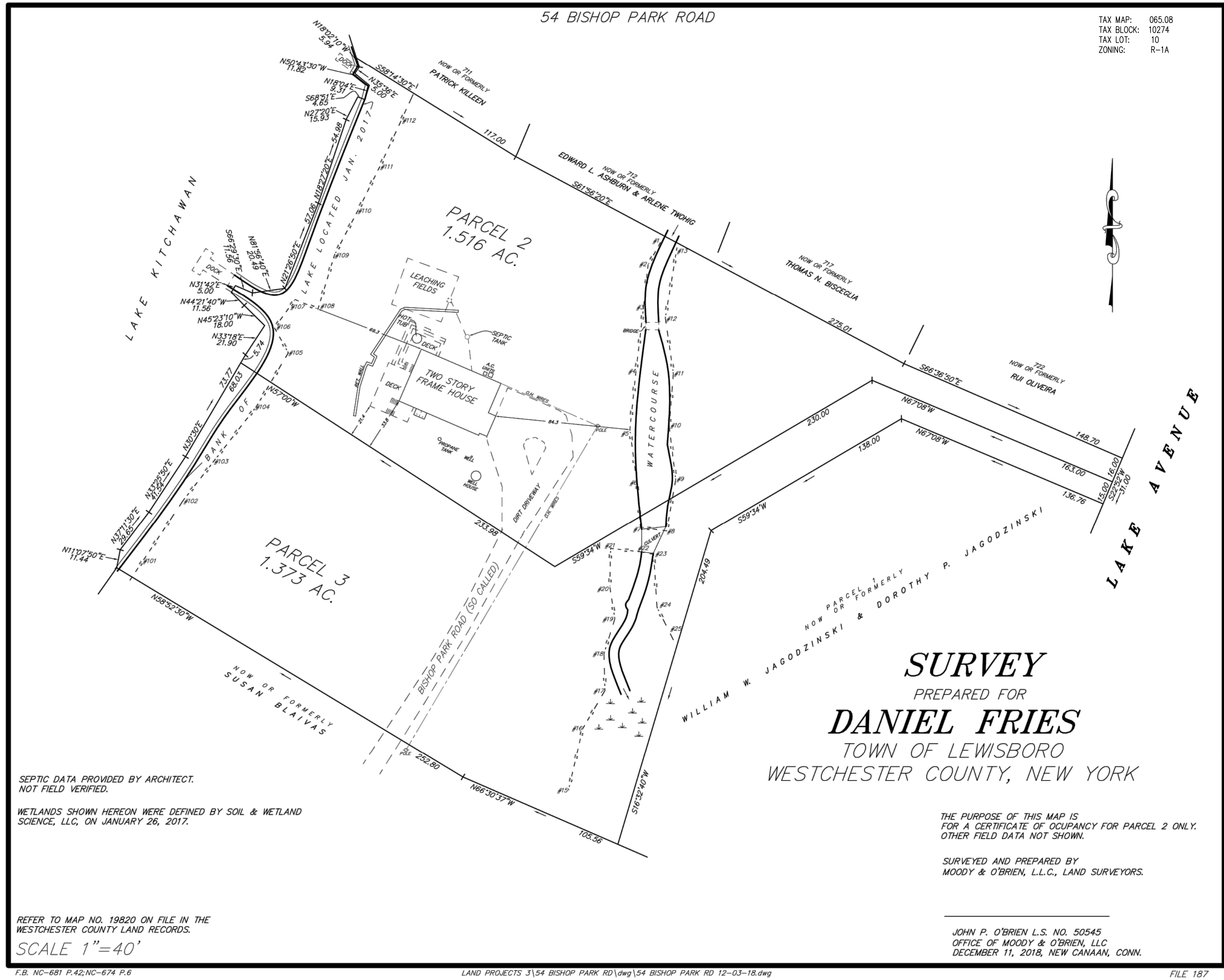
### Landscape

Refer to the planting plan for information regarding proposed regrading, tree removal, hardscape, landscaping, wetland restoration areas, and planting matrices.

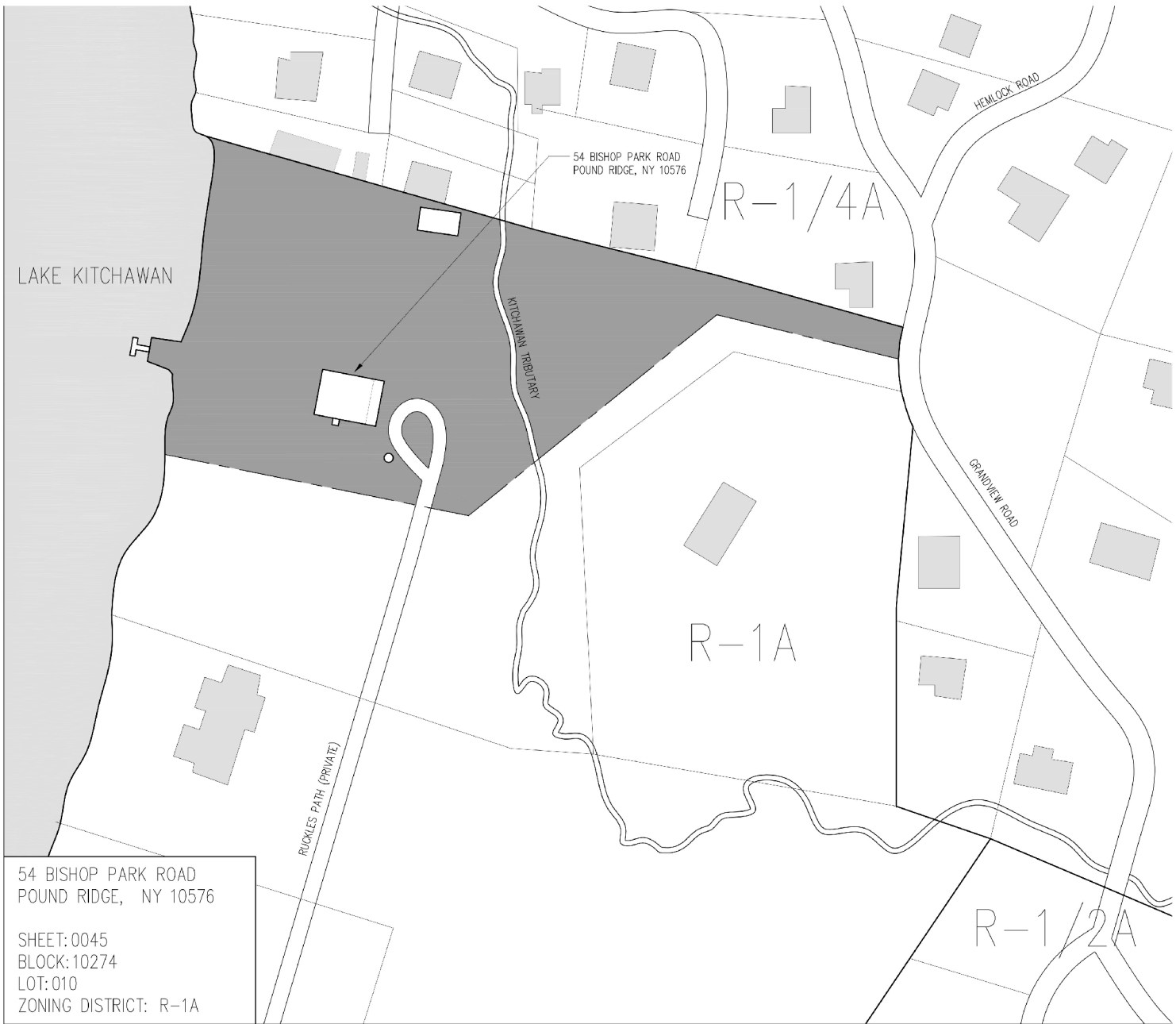


SHEET LIST:

A-000.00 COVER SHEET  
A-001.00 SITE PLAN  
A-002.00 PLANTING PLAN  
A-100.00 PLAN: CELLAR  
A-101.00 PLAN: GROUND  
A-102.00 PLAN: SECOND  
A-103.00 PLAN: ROOF  
A-200.00 ELEVATION: EAST  
A-201.00 ELEVATION: WEST  
A-202.00 ELEVATIONS: NORTH/SOUTH  
A-300.00 SECTIONS: BUILDING



04 SURVEY  
1" = 40'



03 PLOT PLAN  
NTS

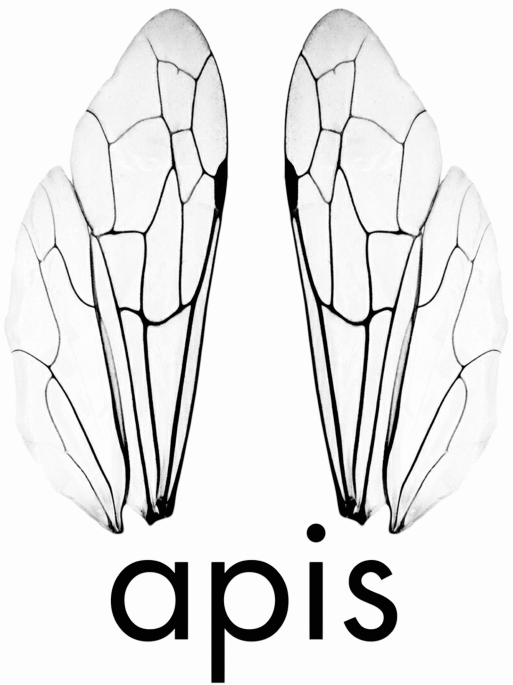


02 EXISTING HOME PHOTO  
NTS



01 VISUALIZATION  
NTS

ARCHITECT



Apis Architecture  
300 Ainslie St. #3  
Brooklyn, NY 11211  
917 515 4555

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ISSUES	
DATE	ISSUE

SEAL AND SIGNATURE

LAKESIDE OFFICE  
54 BISHOP PARK ROAD  
POUNDRIDGE, NY 10576  
APIS ARC PROJECT 2101

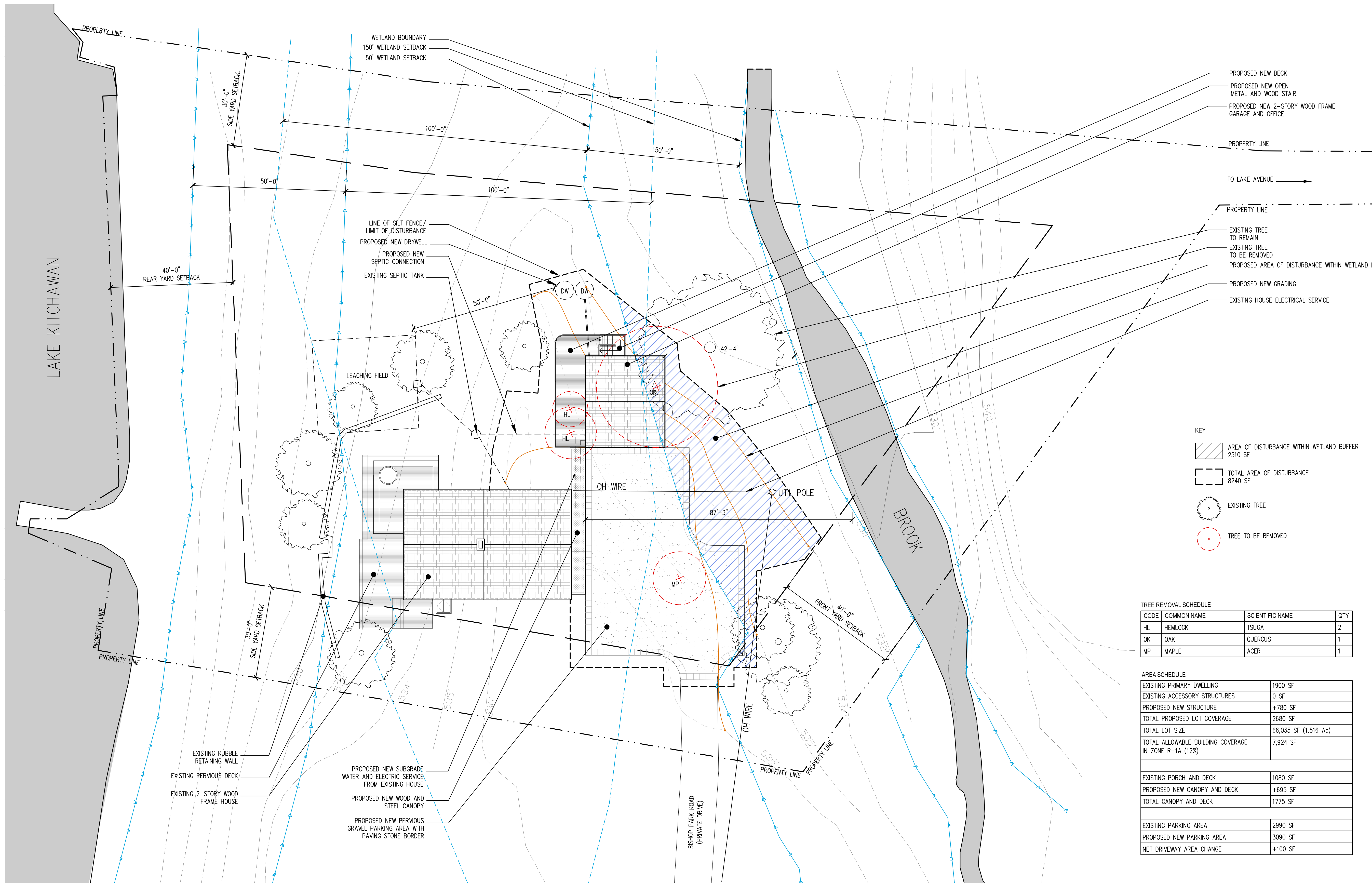
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DATE  
2021 MARCH 6

SCALE  
NTS

COVER SHEET

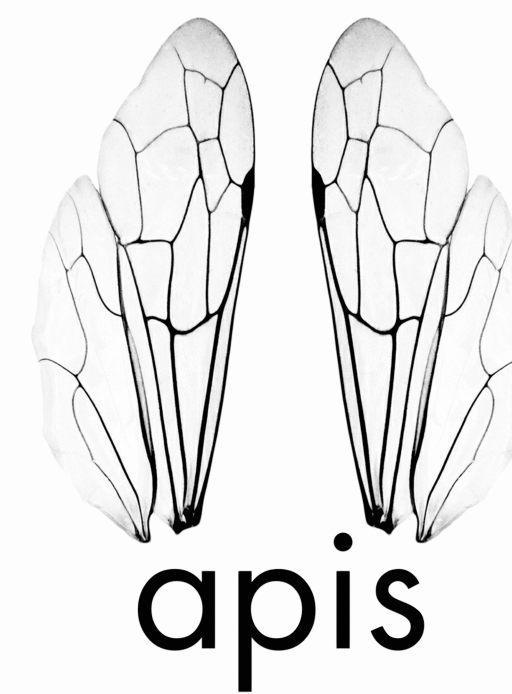
A-000.00





01 SITE PLAN  
1/16" = 1'-0"

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Brooklyn, NY 11211  
917 515 4555

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54 BISHOP PARK ROAD  
POUNDRIDGE, NY 10576  
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DRAWING STATUS  
PLANNING BOARD FILING

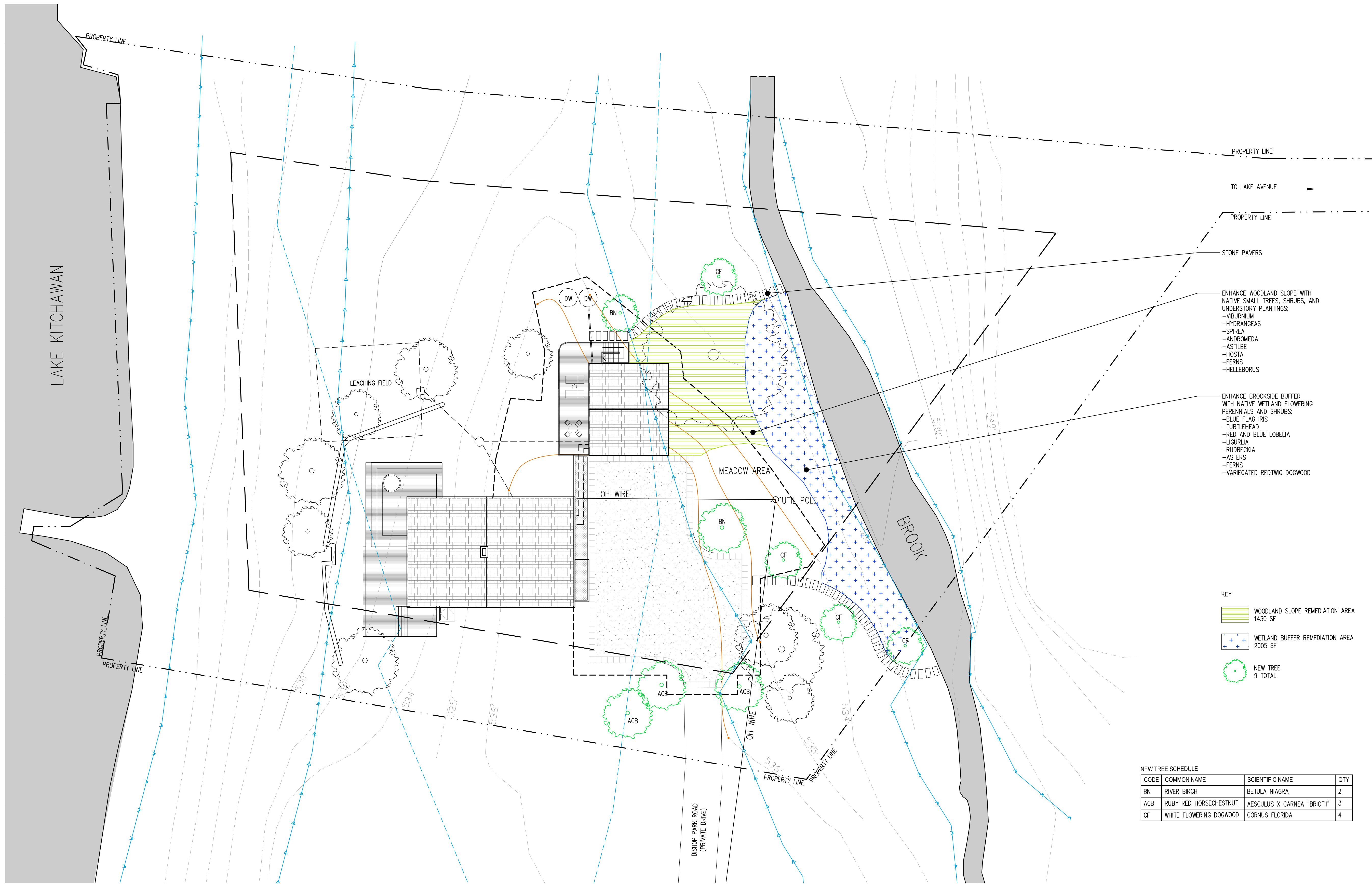
DATE  
2021 MARCH 6

SCALE  
1/16" = 1'-0"

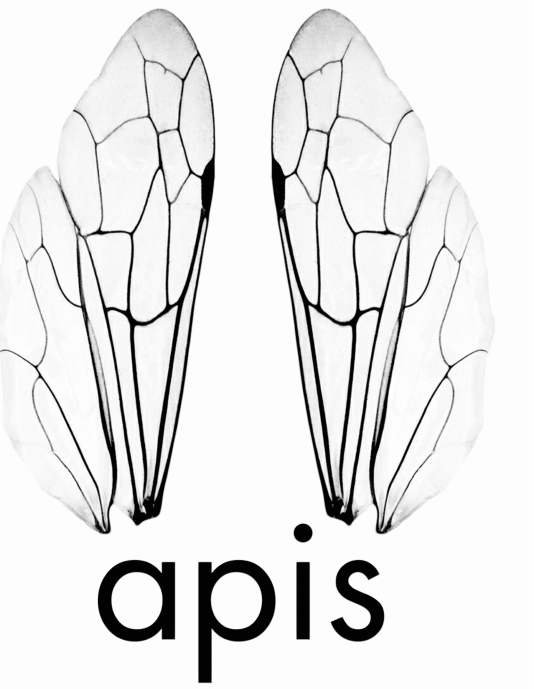
PLAN  
SITE PLAN

A-001.00





01 PLANTING PLAN  
1/16" = 1'-0"



Apis Architecture  
300 Ainslie St. #3  
Brooklyn, NY 11211  
917 515 4555

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DATE	ISSUE

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54 BISHOP PARK ROAD  
POUNDRIDGE, NY 10576  
APIS ARC PROJECT 2101

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PLANNING BOARD FILING

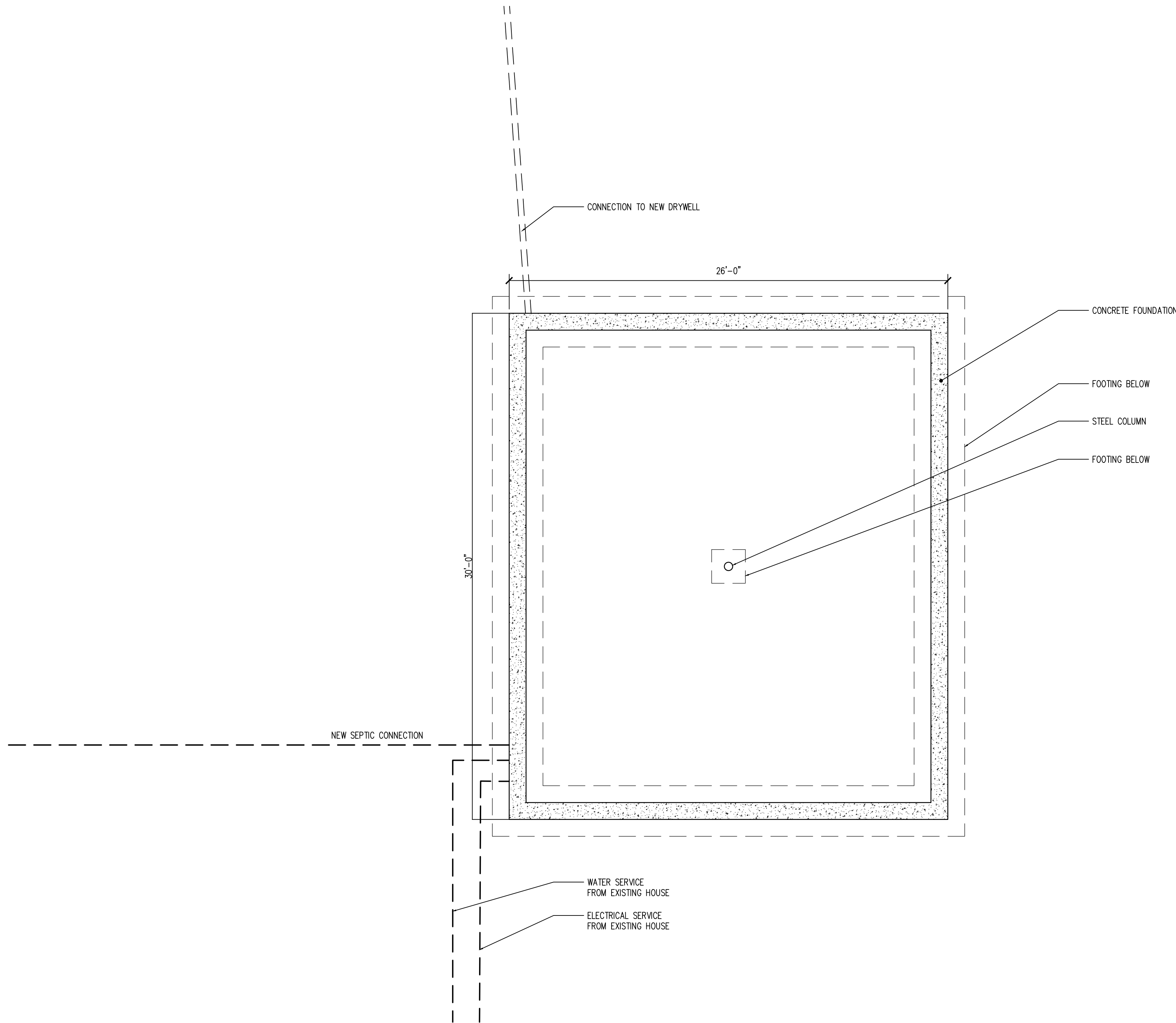
DATE  
2021 MARCH 6

SCALE  
1/16" = 1'-0"

PLAN  
PLANTING PLAN

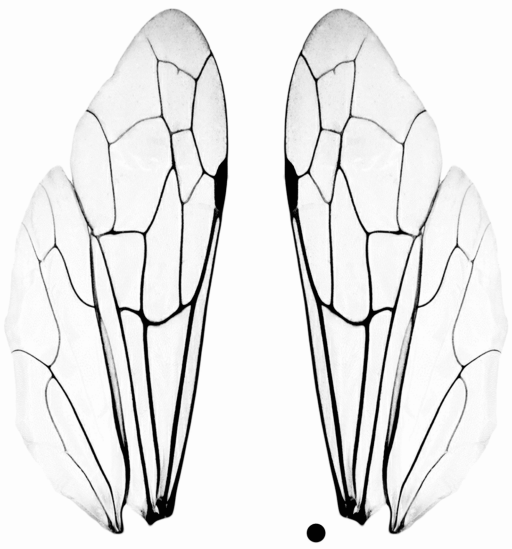
A-002.00





01 PLAN: CELLAR  
1/4" = 1'-0"

ARCHITECT



apis

Apis Architecture  
300 Ainslie St. #3  
Brooklyn, NY 11211  
917 515 4555

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ISSUES	
DATE	ISSUE

SEAL AND SIGNATURE

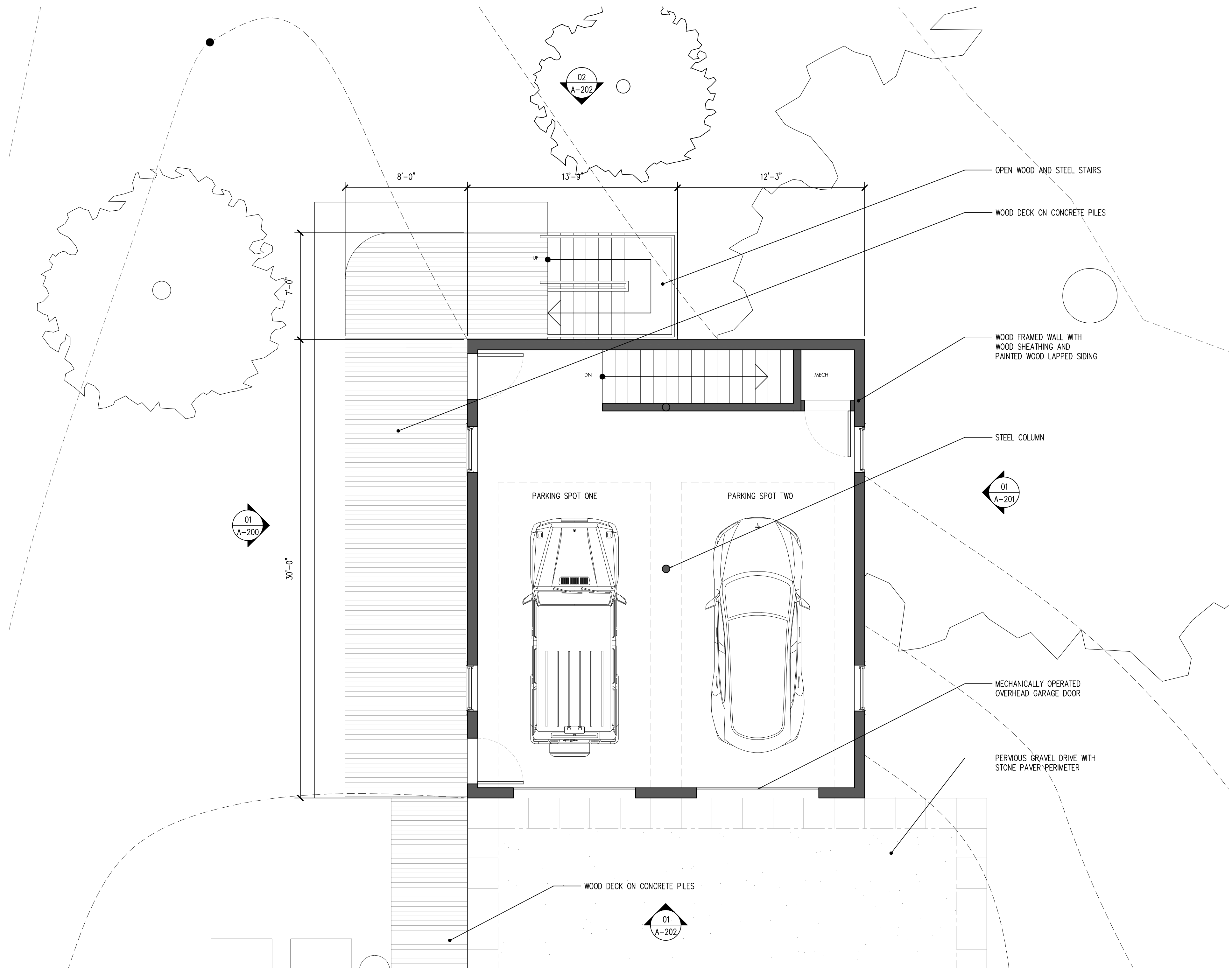
LAKESIDE OFFICE  
54 BISHOP PARK ROAD  
POUNDRIDGE, NY 10576  
APIS ARC PROJECT 2101

DRAWING STATUS  
PLANNING BOARD FILING  
DATE  
2021 MARCH 6

SCALE  
1/4" = 1'-0"

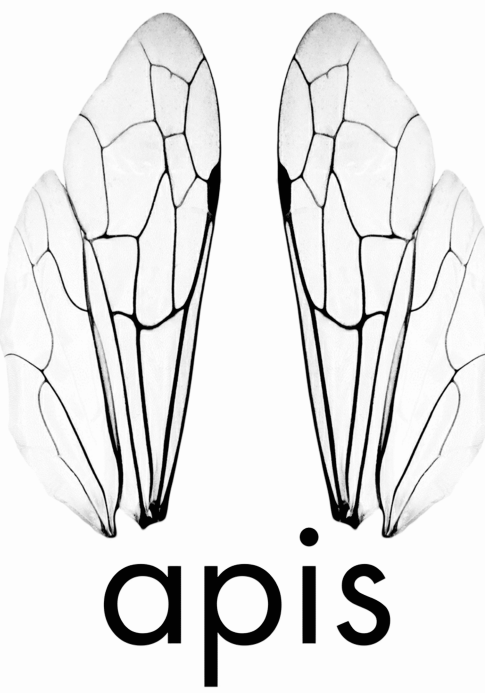
PLAN  
00 CELLAR

A-100.00



01 PLAN: FIRST FLOOR  
1/4" = 1'-0"

ARCHITECT



Apis Architecture  
300 Ainslie St. #3  
Brooklyn, NY 11211  
917 515 4555

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DATE	ISSUE

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54 BISHOP PARK ROAD  
POUNDRIDGE, NY 10576  
APIS ARC PROJECT 2101

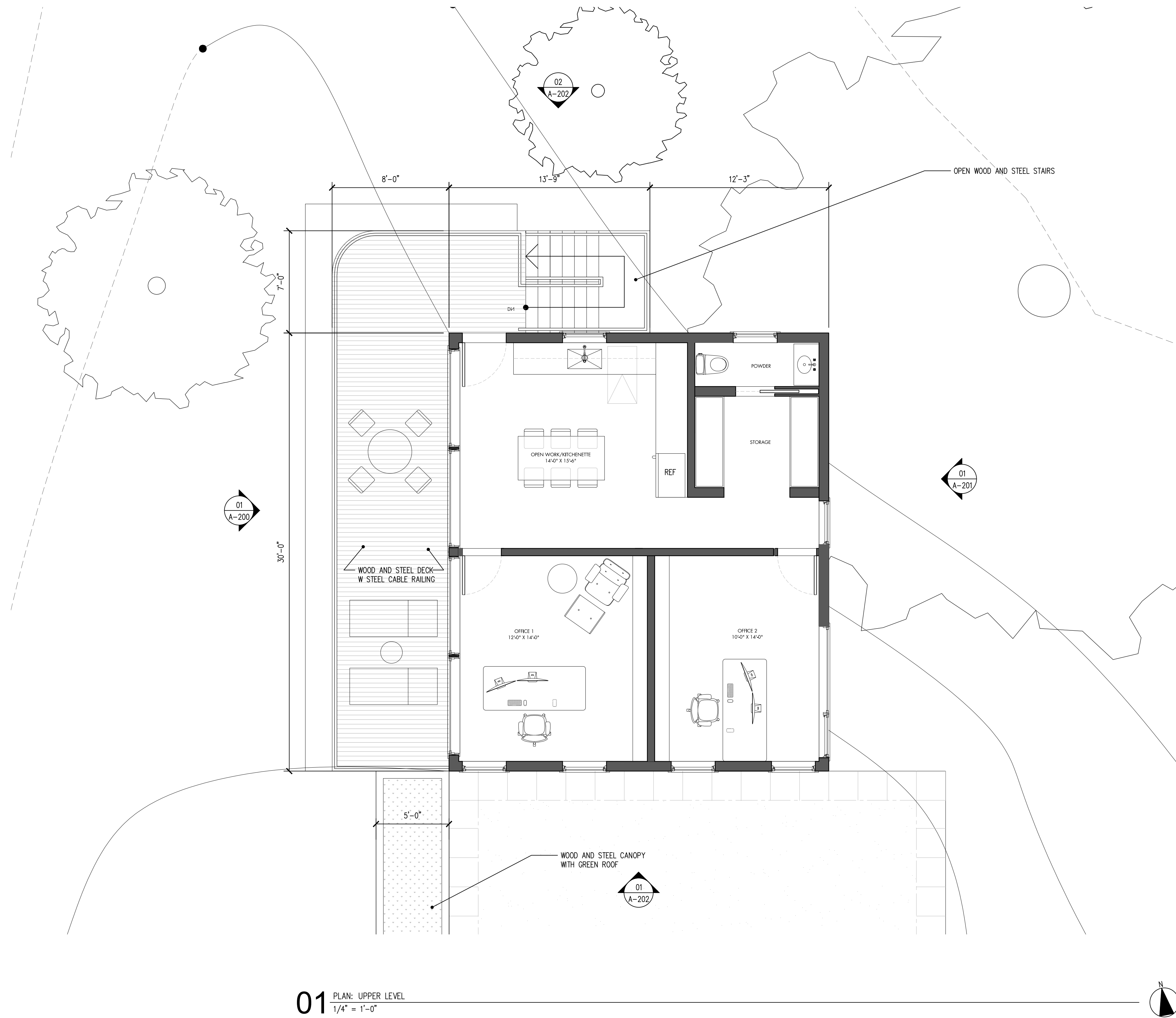
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PLANNING BOARD FILING

DATE  
2021 MARCH 6

SCALE  
1/4" = 1'-0"

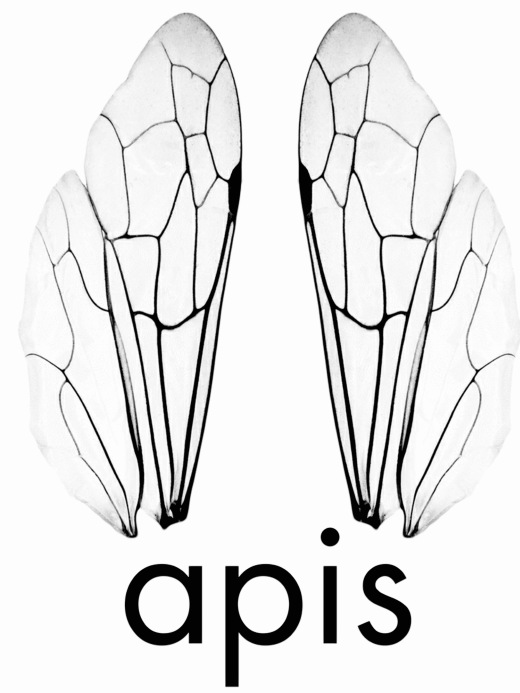
PLAN  
01 GROUND LEVEL

A-101.00



01 PLAN: UPPER LEVEL  
1/4" = 1'-0"

ARCHITECT



Apis Architecture  
300 Ainslie St. #3  
Brooklyn, NY 11211  
917 515 4555

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ISSUES

DATE	ISSUE

SEAL AND SIGNATURE

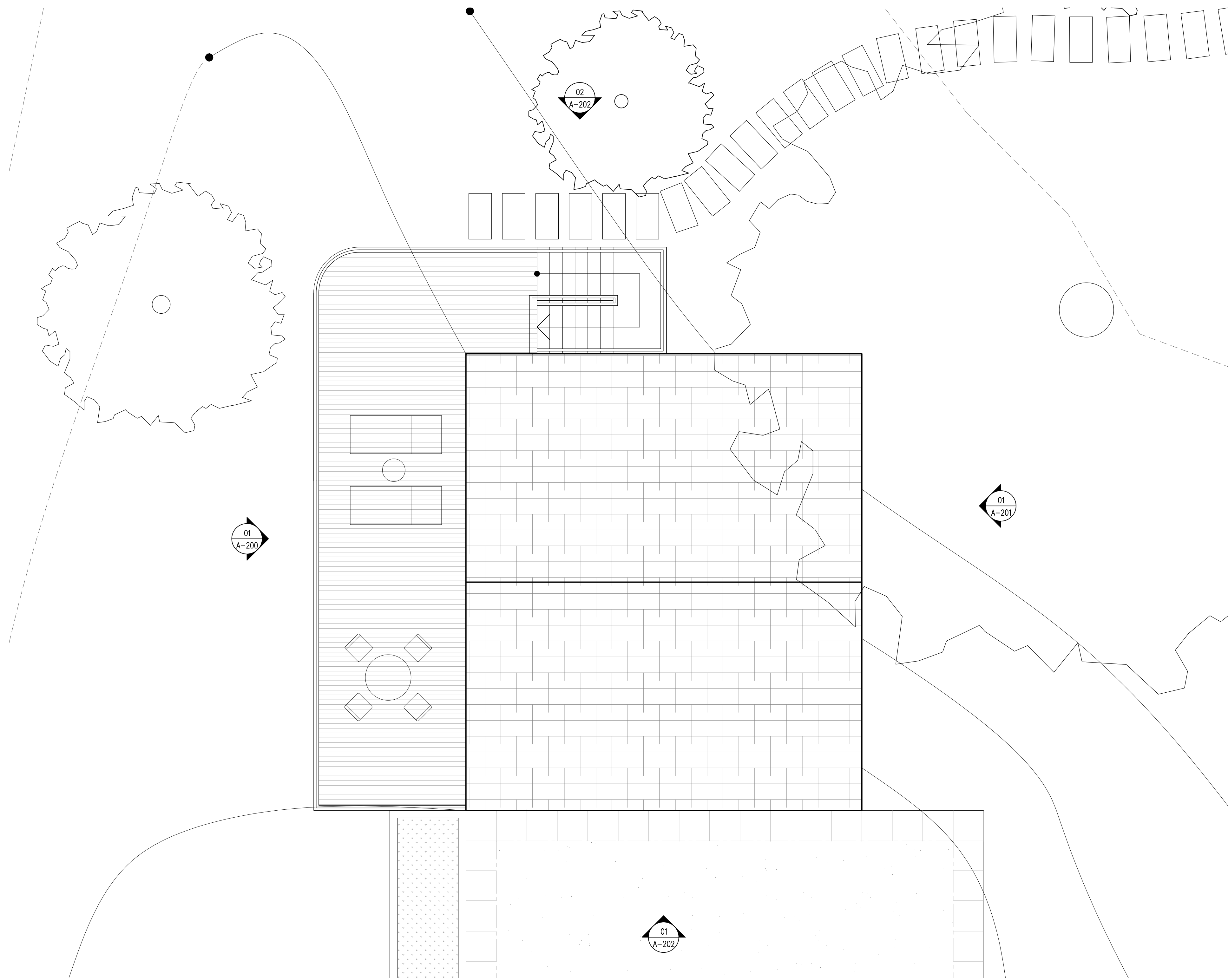
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54 BISHOP PARK ROAD  
POUNDRIDGE, NY 10576  
APIS ARC PROJECT 2101

DRAWING STATUS  
PLANNING BOARD FILING  
DATE  
2021 MARCH 6

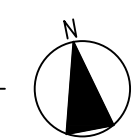
SCALE  
1/4" = 1'-0"

PLAN  
02 UPPER LEVEL

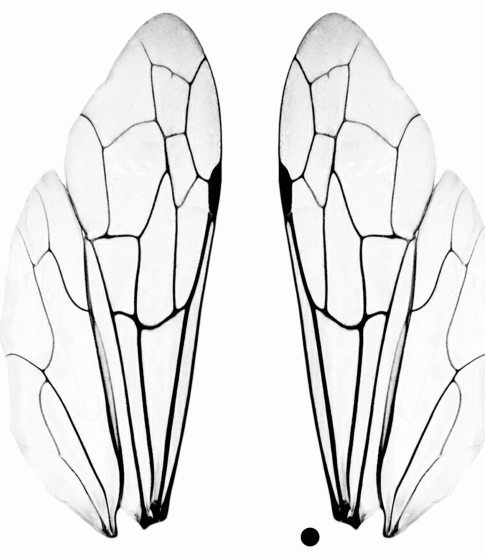
A-102.00



01 PLAN: ROOF  
1/4" = 1'-0"



ARCHITECT



apis

Apis Architecture  
300 Ainslie St. #3  
Brooklyn, NY 11211  
917 515 4555

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT. THESE DRAWINGS MUST NOT BE SCALED. THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, ALTERED, OR REUSED WITHOUT THE ARCHITECT'S WRITTEN APPROVAL.

ISSUES

DATE	ISSUE

SEAL AND SIGNATURE

LAKESIDE OFFICE  
54 BISHOP PARK ROAD  
POUNDRIDGE, NY 10576  
APIS ARC PROJECT 2101

DRAWING STATUS  
PLANNING BOARD FILING

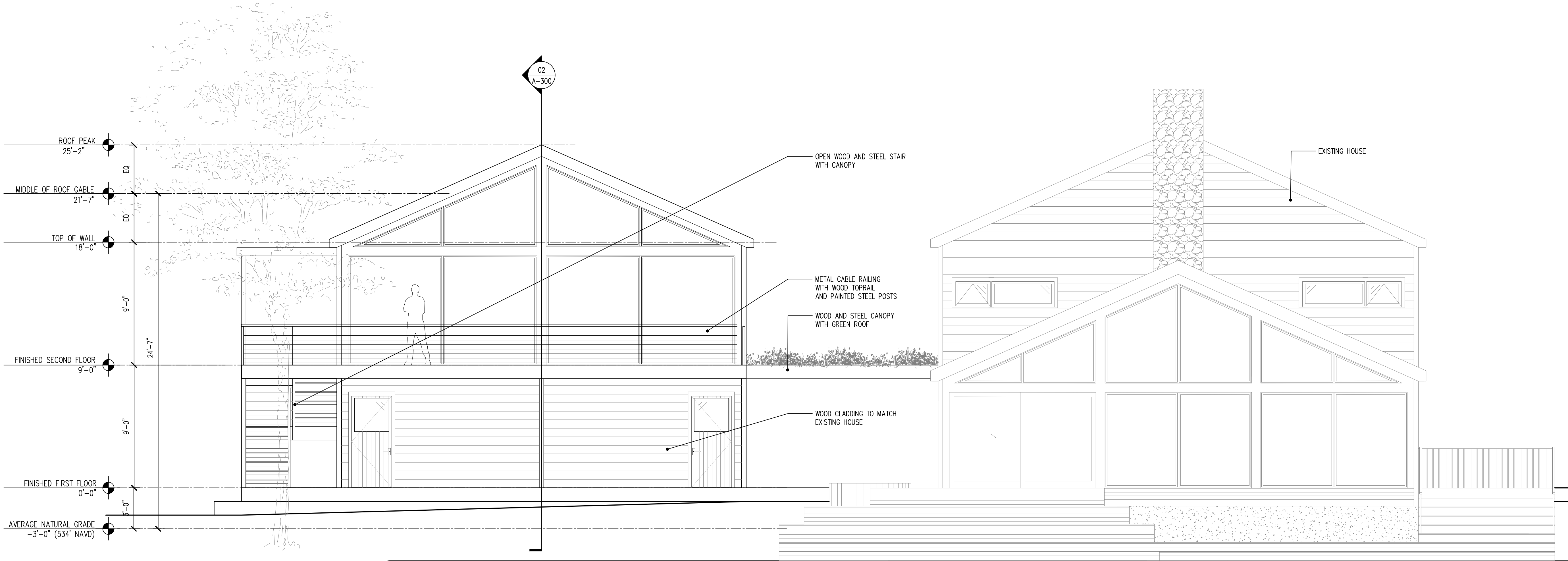
DATE  
2021 MARCH 6

SCALE  
1/4" = 1'-0"

PLAN  
03 ROOF

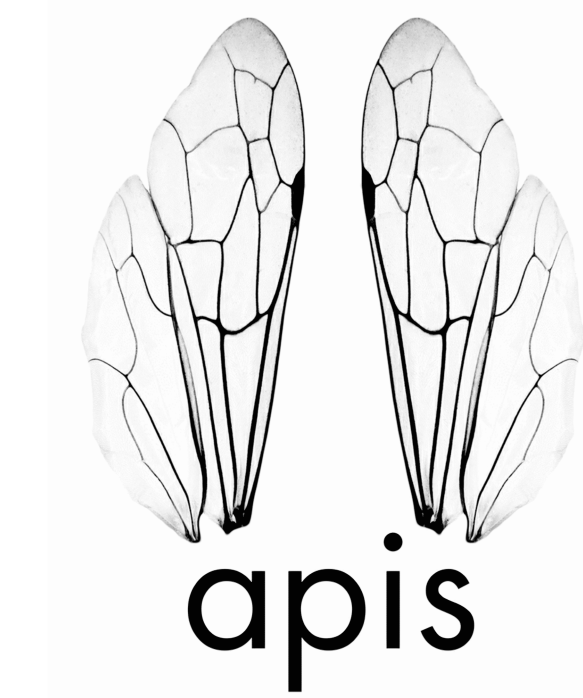
A-103.00





01 ELEVATION: EAST  
1/4" = 1'-0"

ARCHITECT



Apis Architecture  
300 Ainslie St. #3  
Brooklyn, NY 11211  
917 515 4555

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ISSUES

DATE	ISSUE

SEAL AND SIGNATURE

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54 BISHOP PARK ROAD  
POUNDRIDGE, NY 10576  
APIS ARC PROJECT 2101

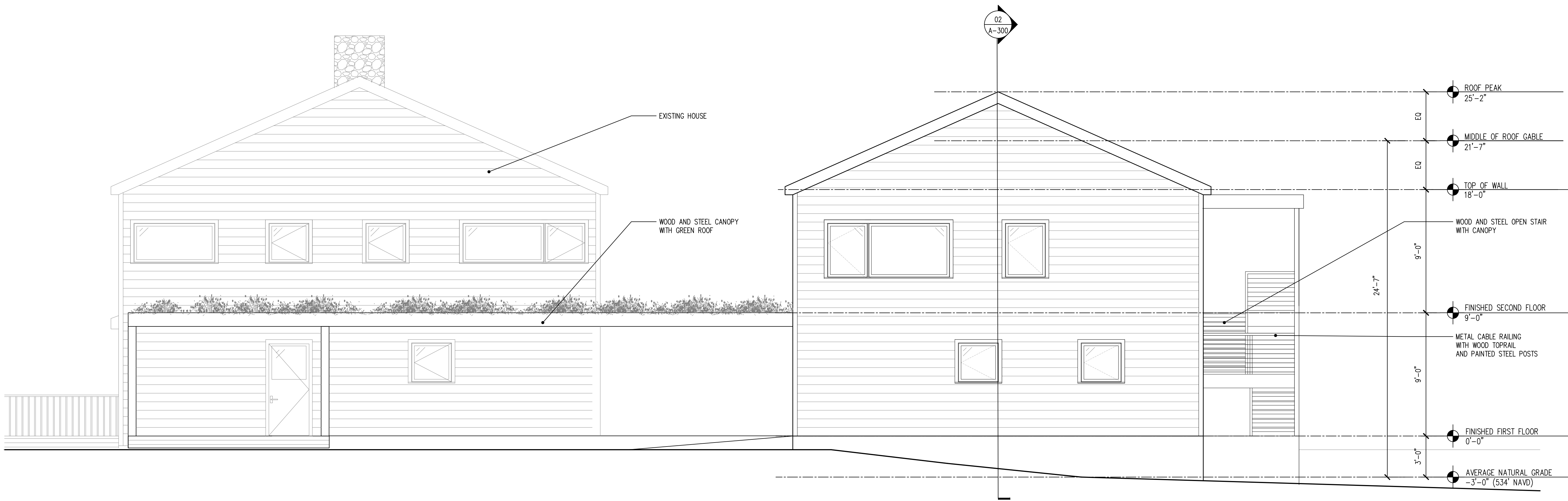
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PLANNING BOARD FILING

DATE  
2021 MARCH 6

SCALE  
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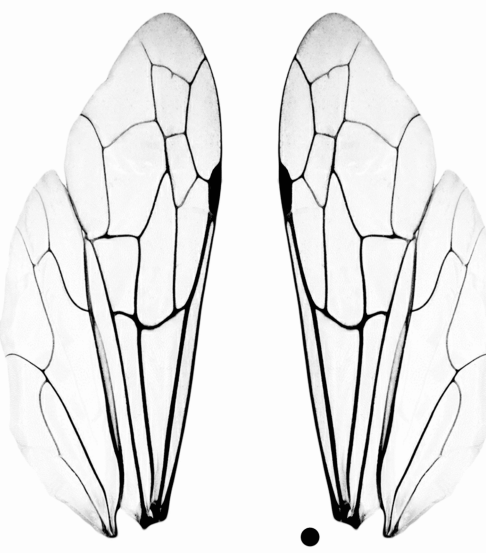
ELEVATION  
EAST

A-200.00



01 ELEVATION: WEST  
1/4" = 1'-0"

ARCHITECT



apis

Apis Architecture  
300 Ainslie St. #3  
Brooklyn, NY 11211  
917 515 4555

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ISSUES	
DATE	ISSUE

SEAL AND SIGNATURE

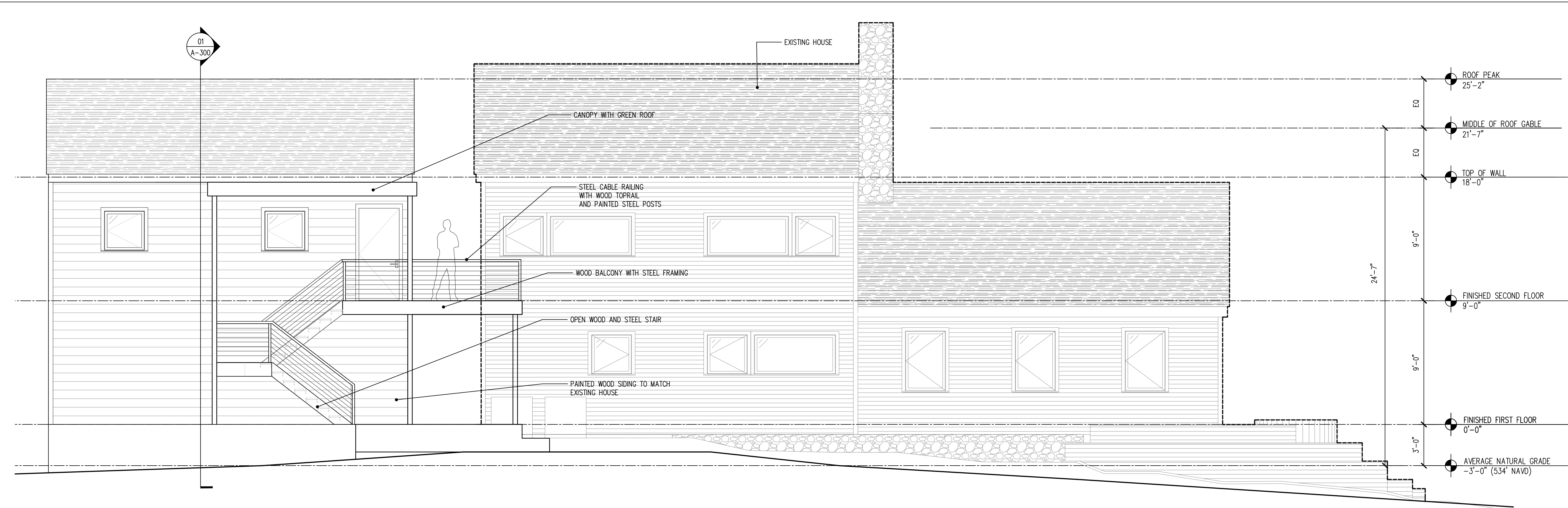
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POUNDRIDGE, NY 10576  
APIS ARC PROJECT 2101

DRAWING STATUS  
PLANNING BOARD FILING  
DATE  
2021 MARCH 6

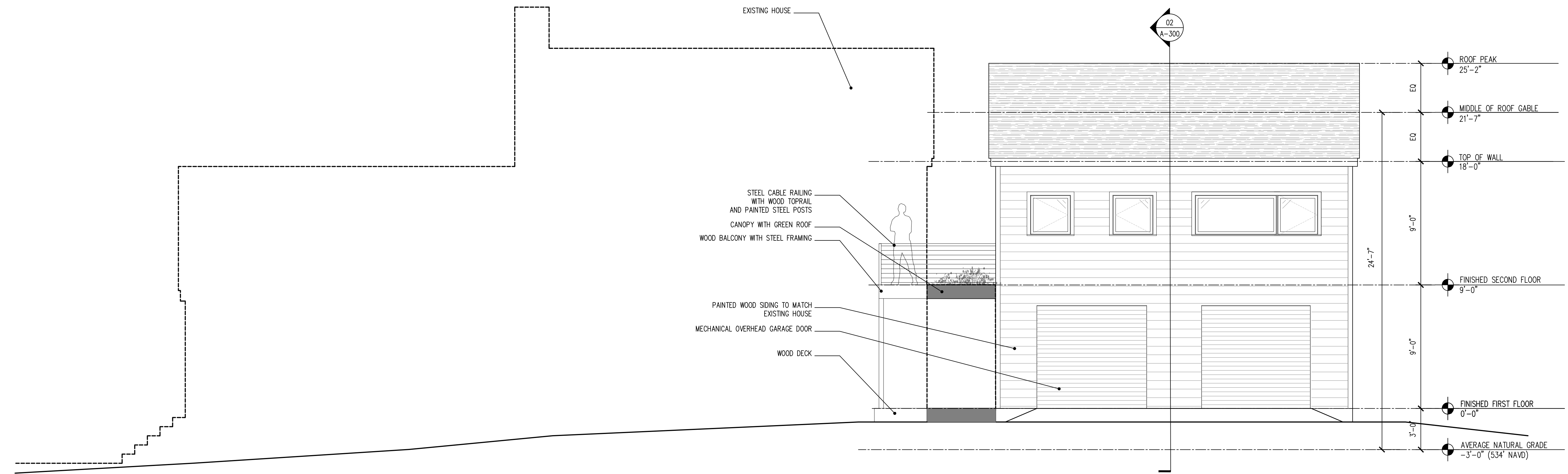
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ELEVATION  
EAST

A-201.00

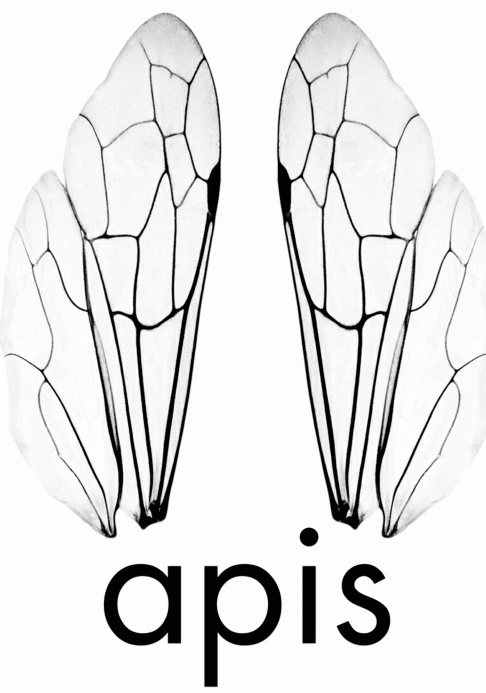


01 ELEVATION: SOUTH  
1/4" = 1'-0"



01 ELEVATION: SOUTH  
1/4" = 1'-0"

ARCHITECT



Apis Architecture  
300 Ainslie St. #3  
Brooklyn, NY 11211  
917 515 4555

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ISSUES

DATE	ISSUE

SEAL AND SIGNATURE

LAKE SIDE OFFICE  
54 BISHOP PARK ROAD  
POUNDRIDGE, NY 10576  
APIS ARC PROJECT 2101

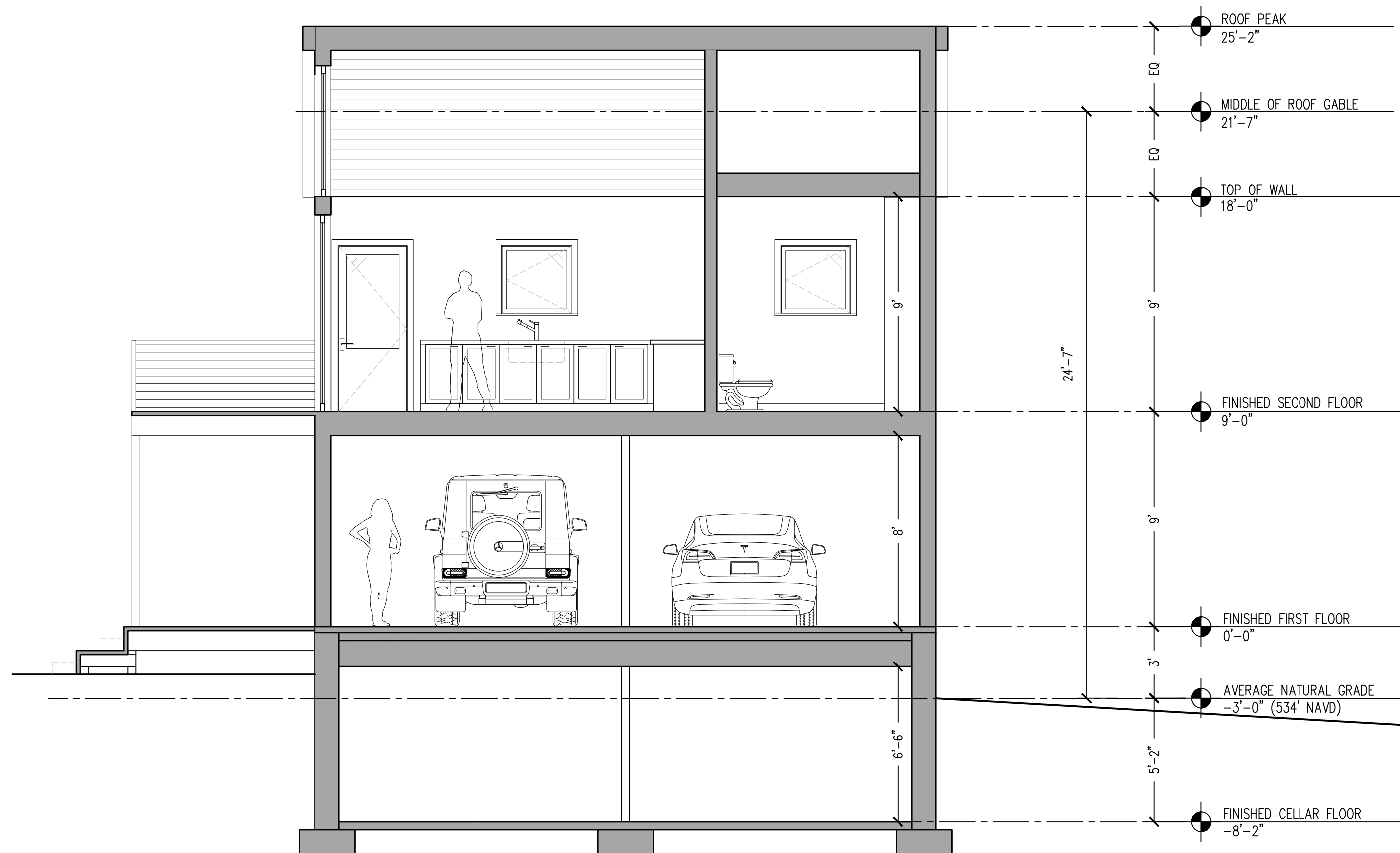
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PLANNING BOARD FILING

DATE  
2021 MARCH 6

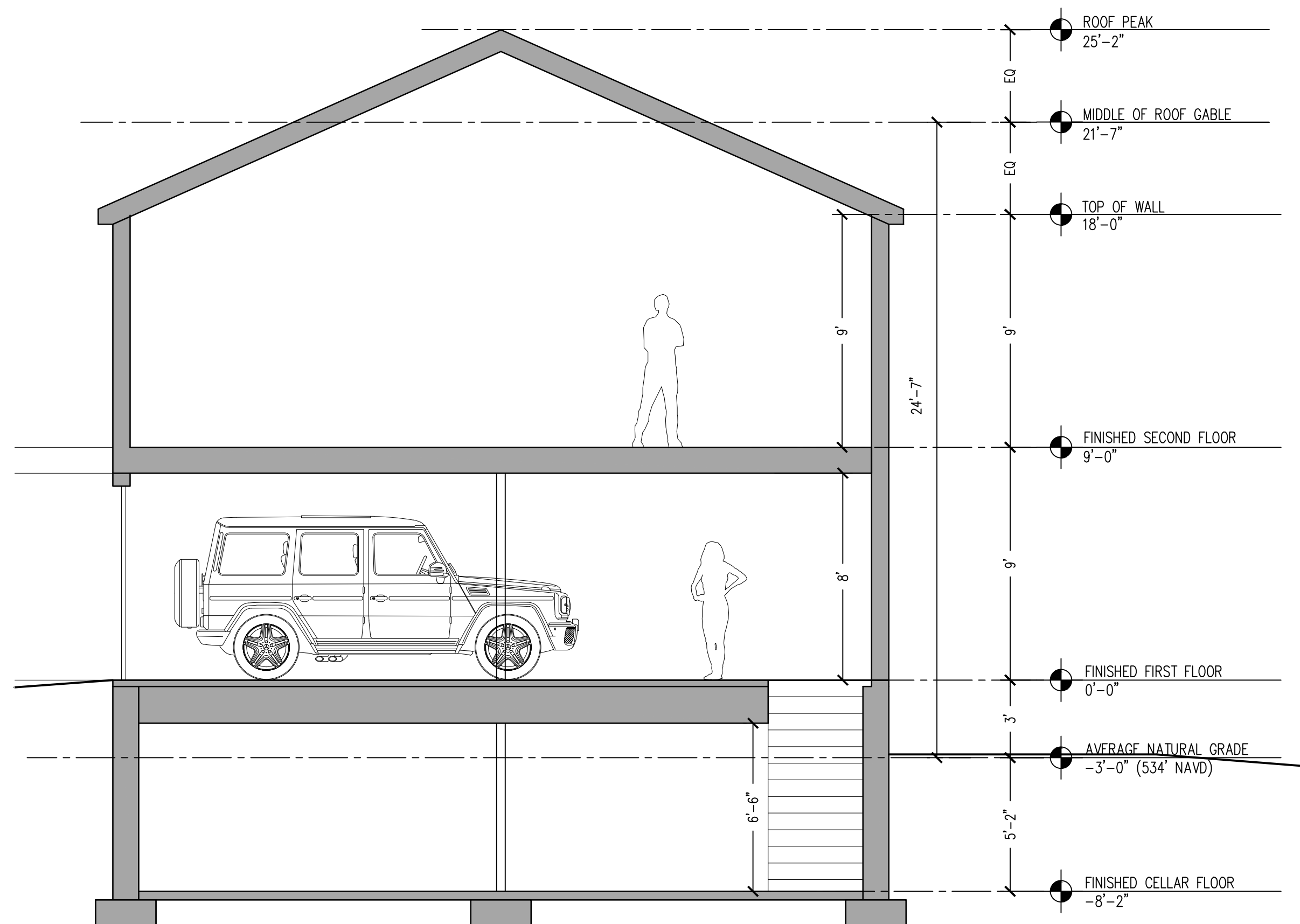
SCALE  
1/4" = 1'-0"

ELEVATION  
SOUTH / NORTH

A-202.00

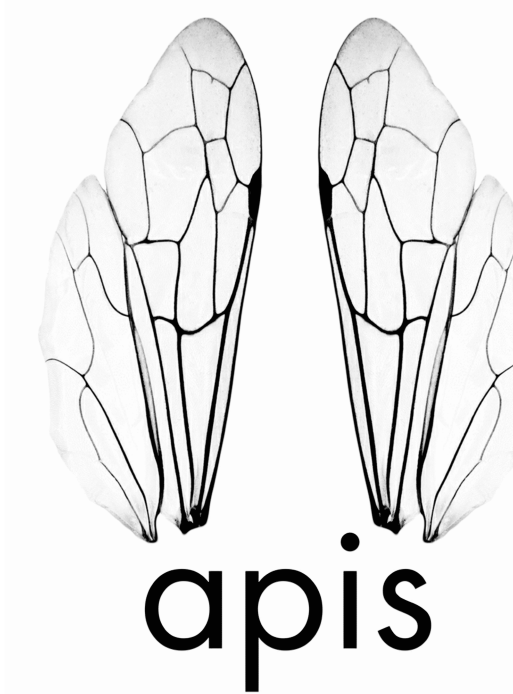


02 BUILDING SECTION: E-W  
1/4" = 1'-0"



01 BUILDING SECTION: N-S  
1/4" = 1'-0"

ARCHITECT



Apis Architecture  
300 Ainslie St. #3  
Brooklyn, NY 11211  
917 515 4555

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ISSUES

DATE	ISSUE

SEAL AND SIGNATURE

LAKE SIDE OFFICE  
54 BISHOP PARK ROAD  
POUNDRIDGE, NY 10576  
APIS ARC PROJECT 2101

DRAWING STATUS  
PLANNING BOARD FILING

DATE  
2021 MARCH 6

SCALE  
1/4" = 1'-0"

SECTION  
NORTH/SOUTH, EAST/WEST

A-300.00



**B.** Allowable activities and uses not requiring a permit or clearance form. The following activities and uses may be conducted without a permit or clearance form being issued pursuant to the standards and procedures of this chapter, to the extent that they are not prohibited by this or any other law, or ordinance, rule or regulation; and such activities do not require structures, grading, filling, draining or dredging, except as allowed below:

[Amended 8-14-2017 by L.L. No. 2-2017]

**(1)** Normal ground maintenance of existing landscaped areas and residential gardens, including mowing of existing law areas and the trimming and removal of dead or diseased vegetation.

**(2)** Selective cutting, provided stumps are left in place and work is accomplished without the assistance of any motorized vehicle.

**(3)** Repair or replacement, in-kind, of walkways, terraces, patios, walls, seawalls, fences, driveways and roadways, provided that the height, size and/or spatial extent (i.e., no increase in the area beyond the existing footprint) of the affected area does not change and appropriate erosion are maintained.

**(4)** Public health activities, orders and regulations of the Westchester County District of Health and/or New York State District of Health for emergencies only, with prior notification to the Planning Board.

**(5)** Recreational activities, not involving new or expanded land disturbances or structures, and recreational fishing, hunting, swimming and boating as otherwise permitted or allowed.

**(6)** Activities of farmers and other landowners as set forth in § 24-0701(4) of the Environmental Conservation Law.

**(7)** Normal building or structure maintenance activities, including periodic pumping of septic tanks and interior and building or structure exterior repairs and improvements which do not enlarge or expand the building or structure, or require excavation, filling, or other similar disturbances and alterations (temporary or permanent).

**(8)** Seasonal installation and removal of docks (does not include the construction or installation of new, expanded or enlarged docks).

**(9)** Normal maintenance and repair of existing swimming pools, tennis courts and other existing recreational facilities. The development or establishment of new or expanded recreational facilities and/or uses is a regulated activity.

(10) Withdrawals of water through a dry hydrant by a fire district in response to a fire emergency and for firefighting training purposes.

(11) Repairs to, and testing and maintenance of a dry hydrant by a fire district.

**(12) Installation of sheds not exceeding 144 s.f. in footprint located within the wetland buffer area provided that no tree removal or installation of utilities is proposed and the maximum cut or fill is limited to no more than an increase or decrease of two feet from the elevation of existing grade.**

**(13) Installation of emergency generators and associated trenching within the wetland buffer area but not including the installation of underground propane tanks.**

**(15) Removal of underground fuel storage tanks.**

**(16) Construction of a deck, porch or fence accessory to a single-family residence and located within the wetland buffer area, utilizing hand-dug support posts, provided there is no machine activity or grading, and excess fill is removed or spread under deck, porch or fence and stabilized.**

**C. Regulated activities requiring an activity implementation permit.**

(1) The following regulated activities shall require an activity implementation permit as issued by the Wetland Inspector:

[Amended 8-14-2017 by L.L. No. 2-2017]

(a) All authorized regulated activities pursuant to an approved activity permit, as issued by the Planning Board.

~~(b) Deck, porch or fence accessory to a single-family residence, utilizing hand-dug support posts, provided there is no machine activity or grading, and excess fill is removed or spread under deck, porch or fence and stabilized.~~

(c) Swimming pools accessory to a single-family residence located no closer than 50 linear feet to a wetland or watercourse, including associated grading.

(d) Terrace or patio accessory to a single-family residence, with a ground footprint area of less than 500 square feet and located no closer than 50 linear feet to a wetland or watercourse, including associated grading.

(e) Repair of existing septic disposal facilities.

- (f) Permitted single-family residential building additions, structural alterations, replacements, or detached accessory structures not exceeding a ground footprint area of 600 square feet and located no closer than 50 linear feet to a wetland or watercourse, including associated grading, provided that associated grading or land disturbance is less than 10,000 square feet in spatial extent and maximum fill or cut is limited to no more than an increase or decrease of two feet from the elevation of existing grade.
- (g) Permitted single-family residential accessory use located no closer than 100 linear feet to a wetland or watercourse, including associated grading, provided associated grading or land disturbance is less than 10,000 square feet in a spatial extent and maximum fill or cut is limited to no more than an increase or decrease of two feet from the elevation of existing grade.
- (h) The installation of a dry hydrant by or under the authority of a fire district, provided such dry hydrant is used for firefighting purposes and firefighting training purposes.
- (i) Any activity requiring Planning Board review and approval which the Planning Board duly refers to the Wetland Inspector for disposition, including any conditions thereto.

**(2)** At the discretion of the Wetland Inspector, the review and approval of any of the regulated activities set forth in Subsection **C(1)** above may be referred to the Planning Board for its review and action.

**(3)** Appeals of decisions by the Wetland Inspector shall be made to the Planning Board in writing within 30 days. The Planning Board may review all appeals in accordance with the procedures pertaining to an activity permit.

TO: The Town of Lewisboro Planning Board  
FROM: Lewisboro Conservation Advisory Council  
SUBJECT: **Wetland Law Update**  
DATE: April 8, 2021

---

The Conservation Advisory Council (CAC) has reviewed the Wetland Law update document and had the following questions under section 8, allowable activities:

(12) Installation of sheds: **Is there a limit to the number of sheds that can be installed?**

(13) Installation of emergency generators and trenching: **Is there a restriction on how the trenching is performed? Is only hand trenching allowed or is machine trenching allowed?**

(16) Construction of a deck or porch: **Is there any limit to the size of the deck or porch?**



**PROPOSED LOCAL LAW #4 OF THE YEAR**  
**2021**

**BE IT ENACTED by the Town Board of the Town of Lewisboro , County of Westchester, State of New York as follows:**

**SECTION 1 : AUTHORITY**

This chapter is adopted pursuant to the authority, of Article 2, §10 of the New York State Municipal Home Rule Law.

**SECTION 2 : AMENDMENT OF CHAPTER 220**

Chapter 220 of the current Code of the Town of Lewisboro entitled “Zoning” is hereby amended by the addition of subsection “L” to Section 220-16

**220-16. Seasonal Outdoor Restaurant Seating.**

- L.** Notwithstanding the above, outdoor restaurant seating shall be permitted through to December 31, 2021 in accordance with the following:
- (1) The provisions of Section 220-16(B) are suspended in that a full site plan shall not be required for outdoor restaurant seating. The Planning Board shall provide for an expedited review of outdoor dining applications without a public hearing and shall accept a sketch plan or other design drawing deemed acceptable by the Planning Board to sufficiently describe the area to be used for outdoor dining.
  - (2) The provisions of Section 220-16(E)(1), (3) and (4) are suspended in order to allow parking areas to be used for outdoor restaurant seating to the extent same may be set up in a safe area away from the flow of traffic, and to suspend the landscape buffer and minimum yard area requirements set forth therein.
  - (3) The provisions of Section 220-16(G) are suspended to allow outdoor restaurant seating without required screening and buffering. However, the Planning Board may require sufficient screening or buffering that it may deem appropriate for each seating area.
  - (4) Any such outdoor restaurant seating that is approved pursuant to this section shall remain in compliance with all Westchester County Department of Health and New York State codes, rules, regulations and guidelines.
  - (5) Except as modified herein, all other provisions of Section 220-16 shall continue to apply to outdoor restaurant seating.

### **SECTION 3 – HOME RULE**

Nothing in this Local Law is intended, or shall be construed (a) to limit the home rule authority of the Town under State Law to limit the Town's discretion in setting fees and charges in connection with any applications requiring Town approval.

### **SECTION 4 – SEVERABILITY**

If any part or provision of this Local Law or the application thereof to any person or circumstance be adjudged invalid by any court of competent jurisdiction, such judgment shall be confined in its operation to the part or provision or application directly involved in the controversy in which judgment shall have been rendered and shall not affect or impair the validity of the remainder of this Local Law or the application thereof to other persons or circumstances, and the Town Board of the Town of Lewisboro hereby declares that it would have passed this Local Law or the remainder thereof had such invalid application or invalid provision been apparent.

### **SECTION 5– EFFECTIVE DATE**

This Local Law shall take effect immediately upon filing in the office of the Secretary of State in accordance with Section 27 of the Municipal Home Rule Law.

**Town of Pound Ridge**

**GML 239-M Referral**

April 1, 2021

To: Town of Lewisboro Planning Board and Westchester County Dept. of Planning

Municipality: Town of Pound Ridge

Referring Body: Planning Board

Proposed Action: Approval of a site plan

Reason for Referral: Location is within 500 feet of a right-of-way of a municipal boundary (Town of Lewisboro)

Project Description

Applicant: Nicholas Haines      Address of Proposed Action: 141 Old Church Lane, Pound Ridge, NY

Tax Map ID: Block 9827 Lot 31      Zoning District: R-3A

Brief Description: The applicant, Nicholas Haines, is proposing to add additions to an existing residence. The proposed additions include a 179sf building expansion and screened porch conversion (new family room), partial second floor addition (new master suite), stairway installation, front door roof installation and 270 sf deck installation.

SEQRA Determination: Type II Action

Included are the following submitted materials:

1. Cover letter, prepared by J.D. Barrett & Associates, LLC, dated March 8, 2021
2. Residential Site Plan Application, signed by Nicholas Haines, dated February 20, 2021
3. Short Form EAF, prepared by Nicholas Haines, dated February 20, 2021
4. Code Conformance Worksheet, dated February 24, 2021
5. Report entitled "Wetland Delineation Report," prepared by Pfizer-Jähmig Environmental Consulting, signed by Mary Jaehnig, dated February 28, 2021
6. Plans entitled "Survey of Property Prepared for Nicholas & Jesse Haines," consisting of 1 sheet, prepared by Donald R. Stedje, P.L.S., dated February 8, 2021
7. Plans, consisting of 2 sheets, prepared by J.D. Barrett & Associates, LLC, dated February 23, 2021
8. Plans entitled "Haines Residence Additions and Alterations," consisting of 7 sheets, prepared by Teo Siguenza Architect, dated February 23, 2021

Official to Whom the Recommendation Should Be Sent:

Christeen CB Dür, Planning Board Administrator  
Town of Pound Ridge  
179 Westchester Ave.  
Pound Ridge, NY 10576  
Email: cdur@townofpoundridge.com

March 8, 2021

Ms. Michelle Rudolf, Chair  
Town of Pound Ridge Planning Board (PB)  
179 Westchester Avenue  
Pound Ridge, NY 10576

**Re: Proposed House Renovations, Alterations & Additions  
Haines Residence - 141 Old Church Lane  
Block 9827, Lot 31, 5.394 Acres, R-3A Zone**

Dear Chair Rudolf & Members of the PB:

On behalf of our clients, Mr. & Mrs. Haines, at this time we are providing the PB with architectural plans, site plans and applications in support of Site Development Plan Application to the PB to permit the renovation, alterations and additions to the existing home on the property. For the PB's review and consideration, we attach 12 copies of the following information in support of the project. Nine plan sets are printed at half size and three sets are printed at full size. A digital copy of the information will also be provided.

- This explanatory **Cover Letter**, prepared by J.D. Barrett & Associates, LLC, dated March 8, 2021.
- A completed **Residential Site Plan Application Form**, prepared by J.D. Barrett & Associates, LLC, dated February 20, 2021.
- A **Site Plan Application Fee** of \$250 and an **Escrow Review Fee** of \$4,000.
- **Verification of Taxes Paid Form**, dated February 17, 2021.
- A completed **Notification of Application to Neighbors**, dated March 10, 2021.
- **An Affidavit of Notification Form\***
- A **500 Foot Abutters List** of Neighbors notified by mail of meeting
- A completed short form **Environmental Assessment Form (EAF)**, dated February 20, 2021.
- A completed **Code Conformance Zoning Worksheet**, prepared by J.D. Barrett & Associates, LLC, dated February 24, 2021.
- A copy of a **Wetland Delineation Report** for the property, prepared by Pfizer-Jahnig Environmental Consulting, dated January 28, 2021.
- **Architectural Plans**, prepared by Teo Siguenza Architect, Bedford, NY, dated February 23, 2021, including:
  - Dwg No T101.00 Title Sheet & List of Drawings
  - Dwg No A100.00 Proposed Basement/Foundation Plan
  - Dwg No A101.00 Proposed First Floor Plan
  - Dwg No A102.00 Proposed Second Floor Plan
  - Dwg No A103.00 Proposed Roof Plan
  - Dwg No A200.00 Proposed Exterior Elevations

- Dwg No A201.00 Proposed Exterior Elevations
- **Site Plans**, prepared by J.D. Barrett & Associates, LLC, Easton, CT, dated February 23, 2021, including:
  - Sheet 1 of 2 Proposed Site Information Plan
  - Sheet 2 of 2 Mitigation Planting Plan & Erosion Control Plan
- **A Property Survey**, prepared by Donald R. Sledge, P.L.S., 112 Murray Avenue, Goshen NY, 10924, entitled "Map of Survey of Property, prepared for Nicholas & Jesse Haines, dated February 8, 2021.

\*A notarized Affidavit of Mailing to neighbors shall be provided to the PB prior to the PB meeting.

### **Overview**

The Haines family has recently purchased the subject property in which to raise their family. The property is a 5.73 acre parcel located at the intersection of Old Church Lane and Conant Valley Road. The property contains a main residence, detached garage, accessory sheds, a swimming pool and tennis court all positioned on the property in a professionally maintained landscaped setting. The property is serviced by two onsite septic systems and a domestic well. The property topography is flat to gently rolling and vegetated with wooded areas, mature trees, ornamental shrubbery, landscaping and lawn areas. The property also contains a large pond (.95 acres) and associated wetland systems surrounding the pond. The pond and wetland system are surrounded by the adjacent 150' wetland setback area and most of the property falls within the 150' wetland buffer. The existing home and all of the improvements proposed for this project will occur within the wetland buffer. A Wetland Permit Application has been made to the Water Control Commission (WCC) and the applicant discussed the project with the WCC at their March 10, 2021 meeting.

### **Proposed Architectural Additions**

The house was constructed in the late 1950's and subsequently added onto over the years. Currently, the house is "dated" and requires interior renovations and small additions to rearrange the floor plan to meet the family's needs. The owners have engaged architect, Teo Siguenza, to assist them with the redesign of the floor plan and new small additions. A complete set of architectural plans is included with this information package. We have also included on the Site Plans reduced versions of the architectural plan information to provide the PB an overview of the proposed architectural modifications to the house that effect the footprint of the house that occurs in the wetland buffer and its relationship to the site plan for the property.

You will note that on Sheet 1 of 2 of the Site Plans, we provide a table, entitled Architectural Renovation Summary, which summarizes the proposed modifications to the house footprint that occurs within the wetland buffer and includes the following information.

<u>Architectural Renovation Summary</u>		
<u>Key</u>	<u>Area</u>	<u>Architectural Legend</u>
A	3,425 SF	Existing House Footprint
B	102 SF	Existing Screen Porch Converted to House
C	179 SF	Proposed New House Footprint (C-1, C-2, C-3)



D	595 SF	Proposed Second Floor Addition Over Existing House
E	269 SF	Proposed New Deck

A second table on Sheet 1 of 2 and it is entitled Proposed Impervious Coverage Summary. It includes the following information:

<u>Proposed Impervious Coverage Summary</u>		
C-1	Family Room Addition	91 SF
C-2	Stairwell Addition	56 SF
C-3	Front Door Roof	32 SF
Total New Impervious Coverage		179 SF

### **Zoning Considerations**

We have prepared the Code Conformance Worksheet for the project that compares the existing site coverage to the proposed site coverages. We note that in the original condition that the property is slightly over the basic total building coverage (103%) and 187% over total lot coverage. In the proposed condition, total building coverage increases to 108% and total lot coverage increases to approximately 191% over the basic total lot coverage. The latter is attributable to the existing features on the property that drive up total lot coverage, including a large house footprint, large driveway footprint, pool and patio footprint and tennis court footprint. Given that the total building and total lot coverage are beyond the basic coverage allowance for the R-3A zone, supplemental setbacks will apply to this project, as follows:

- Basic Front Yard Building Setback 60'
- Supplemental Front Yard Building Setback 115'
- Basic Side Yard Setback 50'
- Supplemental Side Yard Setback 100'
- Basic Rear Yard Setback 75'
- Supplemental Rear Yard Setback 145'
- Basic Vegetative Buffer Setback 20'
- Supplemental Vegetative Buffer Setback 40'

The above setbacks are shown on the Site Plans. We note that in the existing conditions, the house respects the basic setbacks, but in the proposed condition, the house and portions of the proposed work will fall within the supplemental yard setbacks. See plan and attached Code Conformance Worksheet.

### **Encroachment into Existing Wetland Buffer**

As noted above, the majority of the property occurs within the regulated wetland buffer. Indeed, all of the existing home and proposed renovations, alterations and additions will occur within the wetland buffer and, as such, a Wetland Permit from the WCC will be required. We note that on the plan we identify the proposed work area for the project with a Contract Limit Line, which occupies approximately 18,450 SF within the wetland buffer. Within the Contract Limit Line we also indicate on the plan (with yellow highlights) the actual ground disturbance that will occur to install the improvements. The following is noted on the plan.

Proposed Ground Disturbance within Wetland Buffer

- Family Room Addition	91 SF
- Stairwell Installation	56 SF
- Piers to Support New Deck	20 SF
- Total Ground Disturbance within the Wetland Buffer	167 SF

**Mitigation Proposed**

The following mitigation measures are proposed to offset any potential impacts to the wetlands and wetland buffer that may occur as a result of the project and modest disturbances to the ground.

1. Erosion Control – We show erosion controls/silt fencing on the plan down slope of the improvements to capture any sediment that may result from excavation of the foundation installations.
2. Mitigation Plantings are proposed along the pond shoreline where mowed lawn currently extends to the water line, it is now proposed to vegetate portions of the shoreline with native plantings that can provide a filter strip effect for stormwater runoff leading into the pond. The new plantings will also provide for increased wildlife nesting and foraging opportunities on site, including fish spawning areas at the shoreline adjacent to the new plantings. We have calculated that the pond shoreline plantings will convert approximately 5000 SF of mowed lawn adjacent to the pond and reclaim the lawn areas to native plantings.
3. The existing outdated pool sand filter that requires backwashing of chlorinated water in the wetland buffer will be replaced with a state-of-the-art cartridge type pool filter that requires no backwashing of pool water.
4. Additional native mitigation plantings are proposed in the open lawn areas north of the pool area. The plantings will act as a filter strip to storm flows passing through the area. They will also provide increased nesting and foraging opportunities for onsite wildlife. In addition, the proposed plantings will provide an attractive backdrop for the pool area and also serve to provide vegetation in the required vegetated buffer zone in this open section of the vegetated buffer on this property.

We believe that the mitigation provided will adequately address any potential impacts that may occur within the wetland buffer as a result of this project.

**Summary**

We trust that this information will be helpful to the PB's review of the project. We look forward to discussing the project with the PB at the March 2021 PB meeting.

Respectfully submitted,

*Jeri Barrett*

Jeri D. Barrett, R.L.A.

Enc.

cc: Mr. & Mrs. Haines

Teo Siguenza

# RESIDENTIAL SITE PLAN APPLICATION FORM

## Planning Board of the Town Of Pound Ridge, NY

Check type of review:

- ☒ Threshold Review (lot/bldg. coverage)  
☐ Steep Slopes disturbance over 25%  
☐ Vegetative buffer disturbance  
☐ Demolitions exceeding 50%  
☐ Other, explain: \_\_\_\_\_

- ☐ Driveway relocation  
☒ Exceeding established SSBA's  
☒ New construction  
☐ Accessory Apartment

Project Address: 141 Old Church Lane► Name of Owner: Nicholas HainesMailing Address: Same

Phone: \_\_\_\_\_ Cell: \_\_\_\_\_

E-mail: nhaines@bromco.comSignature of Owner: Date: 2/20/21

By signing this application, the owner authorizes the Planning Board and any member of other Town Boards or Commissions, as well as it's agents, consultants or employees the right to enter the premises for the purpose of gathering information pertinent to the application.

► Name of Applicant (if other than owner): Same

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Cell: \_\_\_\_\_

E-mail: \_\_\_\_\_

Signature of Applicant: \_\_\_\_\_

Date: \_\_\_\_\_

(Submit a letter of authorization from the owner to sign on their behalf)

► Name of Registered Engineer/Architect: Jeri Barrett, RLAAddress: 109 Sport Hill Rd Easton, CT 06612Phone: 203-372-5805Cell: 203-650-0922E-mail: jeri@jdbarrett.com

► Name of Other Interested Party/Contractor: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Cell: \_\_\_\_\_

E-mail: \_\_\_\_\_

**IDENTIFICATION OF PROPERTY**Block/Lot: 9827/31 Zoning District: R-3A Area (in acres): 5.394 Ac.

Description of Project: (attach separate sheet if necessary)

Proposed renovations, alterations and additions to an existing single family residence. See attached cover letter.

## Town of Pound Ridge

Debbie Damascus  
Receiver of Taxes

Tel.: 914-764-5511  
Fax: 914-764-0102



Date: 2.17.21

### PURSUANT TO LOCAL LAW 1 OF 1988 COLLECTION OF FEES, FINES, ASSESSMENTS AND CHARGES

#### To Whom It May Concern:

The Receiver of Taxes, of the Town of Pound Ridge, New York 10576, does hereby certify that all current taxes due on the property designated as:

Section \_\_\_\_\_ Block 9827 Lot 31, of the Town of Pound Ridge assessment map are paid to date.

The said parcel being assessed to: 141 Old Church Lane Lot

NOTE: This document is valid only until the close of the next tax-billing period

Ending on: 4.30.21.

Debbie Damascus  
Receiver of Taxes

COMMENTS:

**NOTIFICATION OF APPLICATION  
PLANNING BOARD REVIEW  
Town of Pound Ridge, NY**

Date 3/10/21

To:

Neighbor

Dear Madam or Sir:

Please be advised that an application has been made for site plan review by the Planning Board of the Town of Pound Ridge for the following property:

Name Haines Residence

Address 141 Old Church Lane

Pound Ridge, NY 10576

Block/Lot 9827/31

You are being notified of this application since you are a property owner located within 500 feet of the perimeter of this property.

Details of the proposed application are as follows:

Proposed home renovations including small footprint expansion  
and partial second floor addition. New deck at rear of  
house also proposed.

via Zoom  
**The meeting will be held at the Pound Ridge Town House, 179 Westchester Avenue**

on March 25, 2021 at <sup>7:00</sup>~~7:30~~ p.m.,  
at which time the details of this application will be presented.


For a complete agenda of hearings to be held on that date, consult our website at [townofpoundridge.com](http://townofpoundridge.com). Plans are available for review in the Planning Office.

Zoom Link:  
<https://us02web.zoom.us/j/82090875693>

Meeting ID: 820 9087 5693

Audio Dial In: +1.929.205.6099

Sincerely,

  
\_\_\_\_\_  
Signature of Applicant





# 500 foot Abutters List Report

Pound Ridge, NY

February 22, 2021

## Subject Property:

Parcel Number: 9827-31  
CAMA Number: 9827-31  
Property Address: 141 Old Church Ln

Mailing Address: 141 Old Church Lane, LLC  
One N Lexington Ave  
White Plains, NY 10601,

---

## Abutters:

Parcel Number: 10055-1  
CAMA Number: 10055-1  
Property Address: 126 Old Church Ln

Mailing Address: Gordon Family Partnership  
61 Perch Bay Rd  
Waccabuc, NY 10597,

Parcel Number: 9824-37.1  
CAMA Number: 9824-37.1  
Property Address: 146 Old Church Ln

Mailing Address: Eric S. Dobkin  
160 Old Church Ln  
Pound Ridge, NY 10576,

Parcel Number: 9824-39  
CAMA Number: 9824-39  
Property Address: 125 Old Mill River Rd

Mailing Address: Pamela A. Joseph, Trustee  
407 Aspen Oak Dr.  
Aspen, CO 81611,

Parcel Number: 9824-47  
CAMA Number: 9824-47  
Property Address: 121 Old Mill River Rd

Mailing Address: Peter L. Caverzasi  
121 Old Mill River Rd  
Pound Ridge, NY 10576,

Parcel Number: 9824-49.9  
CAMA Number: 9824-49.9  
Property Address: 160 Old Church Ln

Mailing Address: Eric S. Dobkin  
160 Old Church Ln  
Pound Ridge, NY 10576,

Parcel Number: 9824-53  
CAMA Number: 9824-53  
Property Address: Old Church Ln

Mailing Address: Eric C. Dobkin  
160 Old Church Ln  
Pound Ridge, NY 10576,

Parcel Number: 9827-28  
CAMA Number: 9827-28  
Property Address: 161 Old Church Ln

Mailing Address: Daniel M. Jetton  
161 Old Church Ln  
Pound Ridge, NY 10576,

Parcel Number: 9827-29  
CAMA Number: 9827-29  
Property Address: 102 Conant Valley Rd

Mailing Address: Jane R. Lockshin  
102 Conant Valley Rd  
Pound Ridge, NY 10576,

Parcel Number: 9827-30.1  
CAMA Number: 9827-30.1  
Property Address: 70 Conant Valley Rd

Mailing Address: Tristan Jehan  
70 Conant Valley Rd  
Pound Ridge, NY 10576,

Parcel Number: 9827-32  
CAMA Number: 9827-32  
Property Address: 95 Conant Valley Rd

Mailing Address: Kenneth McGahren  
95 Conant Valley Rd  
Pound Ridge, NY 10576,



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

2/22/2021

Page 1 of 2



# 500 foot Abutters List Report

Pound Ridge, NY

February 22, 2021

Parcel Number: 9827-33  
CAMA Number: 9827-33  
Property Address: Old Church Ln

Mailing Address: Jacqueline Touby  
109 Old Church Ln  
Pound Ridge, NY 10576,

Parcel Number: 9827-36  
CAMA Number: 9827-36  
Property Address: 75 Conant Valley Rd

Mailing Address: Edward F. Rodenbach  
P.O. Box 515  
MORAN, WY 83013,



[www.cai-tech.com](http://www.cai-tech.com)

2/22/2021

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Page 2 of 2

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

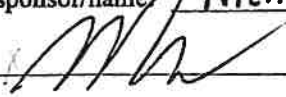
**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

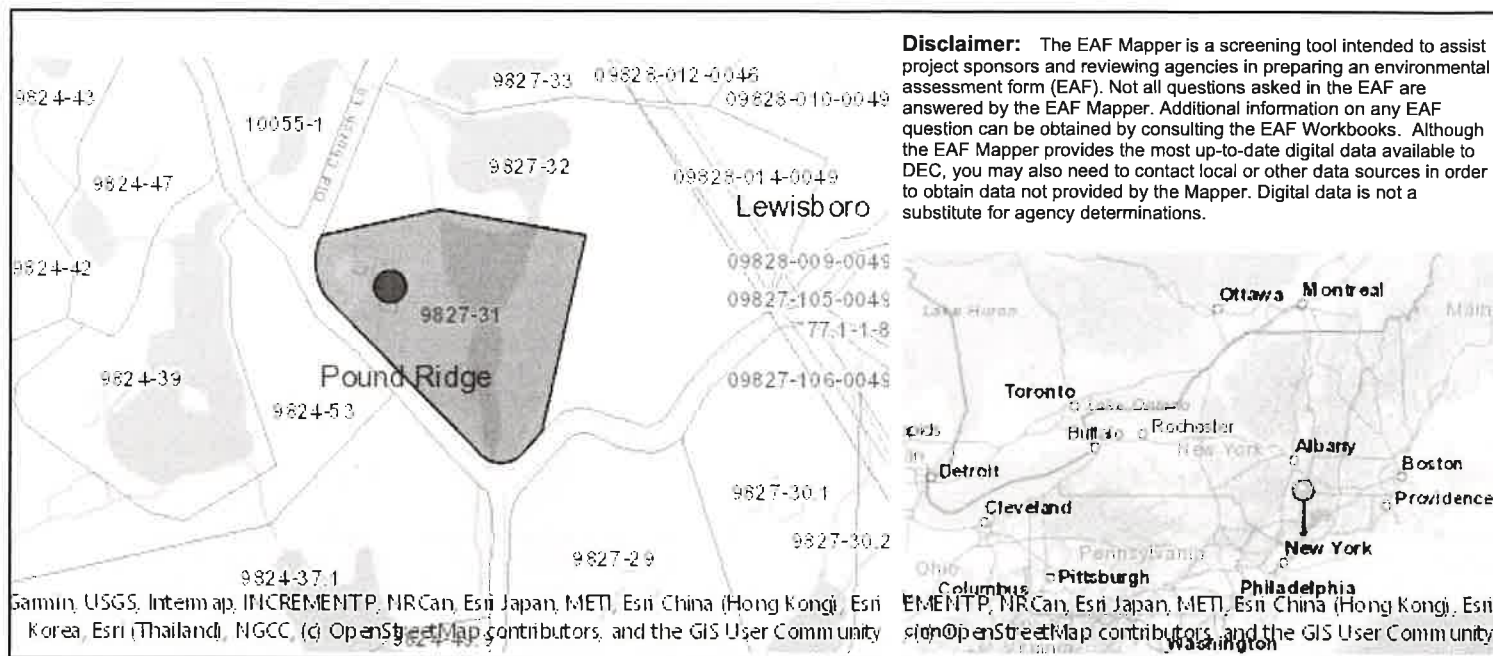
<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: <i>Haines Property</i>			
Project Location (describe, and attach a location map): <i>141 Old Church Lane, Pound Ridge, NY</i>			
Brief Description of Proposed Action: <i>Proposed renovations to existing home to include footprint expansion of 179 sf, screened porch conversion and partial second floor addition. A new 270 sf deck is also proposed.</i>			
Name of Applicant or Sponsor: <i>Nick Haines</i>		Telephone:  E-Mail: <i>nhaines@bromco.com</i>	
Address: <i>141 Old Church Lane</i>			
City/PO: <i>Pound Ridge</i>		State: <i>NY</i>	Zip Code: <i>10576</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: <i>WCC - Wetland Permit PB - Site Plan Approval</i>		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>5.394</i> acres <i>+/- 160</i> <del>acres</del> SF <i>5.394</i> acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

*m*

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ Buffer impact ground disturbance +/- 160 sf _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: <u>Runoff travels to onsite wetlands and pond</u>		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Nicholas Haines</u> Date: <u>2/20/21</u>		
Signature: <u></u> Title: <u>Homeowner</u>		





Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

# CODE CONFORMANCE WORKSHEET

Applicant: Haines Address: 141 Old Church Lane Town of Pound Ridge Block/Lot: 9827/31 Date: 2/24/21 Zoning District: R-3A

	EXISTING + PROPOSED = TOTAL sqft (footprint) sqft (footprint)		DIVIDE TOTAL BY MAX COVERAGE OF YOUR ZONING DISTRICT	% THRESHOLD
Principal Dwelling	3527	179	Max Building Coverage: <input type="checkbox"/> R-1A = 2,600 sq.ft. <input type="checkbox"/> R-2A = 3,600 sq.ft. <input checked="" type="checkbox"/> R-3A = 4,500 sq.ft.  = 1.08 _____  Multiply figure by 100 to obtain percentage.  = 108 %	
Other Buildings	1147	0		
TOTAL BUILDING COVERAGE	4674	179		
Total Building Coverage (from above)	4674	179	Max Lot Coverage: <input type="checkbox"/> R-1A = 7,000 sq.ft. <input type="checkbox"/> R-2A = 9,000 sq.ft. <input checked="" type="checkbox"/> R-3A = 12,000 sq.ft.  = 1.91 _____  Multiply figure by 100 to obtain percentage  = 191 %	
Driveway (pervious and impervious)	4840	0		
Other Structures/Improvements: including pool, tennis court patio, deck, walks	13,002	269		
TOTAL LOT COVERAGE	22,516	448		

\* If the % Threshold exceeds 100%, use this decimal figure to calculate increased minimum setbacks below.

Example: if the “% Threshold” is 120%, and you are in an R-3A district, multiply each setback by 1.2 (1.2 x 60’ front yard = 72’ rounded up to the nearest 5’ increment = 75’)

ZONING DISTRICT	MINIMUM REQUIRED SETBACKS			EXISTING	PROPOSED	INCREASED MINIMUM SETBACKS (Minimum Required x % Threshold Rounded up to 5’ increments)
	R-3A	R-2A	R-1A			
a. Front Yard	60'	60'	50'	75.4'	75.4'	115'
b. Side Yard	50'	50'	35'	112.2'	112.2'	100'
c. Rear Yard	75'	50'	50'	365.1'	365.1'	145'
d. Vegetated Buffer	20'	15'	10'	+/- 20' - varies	>40'	40'

NOTE: Plot these increased setbacks on the site plan

NOTES:

- TAX LOT: 9827-31
- RECORD DEED: CONTROL NUMBER: 60349 3623
- AREA: 5.394 ACRES
- SUBJECT TO THE FINDINGS OF AN UP TO DATE ABSTRACT OF TITLE

-UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW

-ONLY COPIES OF THIS MAP BEARING THE LICENSED LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID, TRUE COPIES

-UNDERGROUND UTILITIES SUCH AS SEWERAGE DISPOSAL SYSTEMS, DRAINAGE, WATER, GAS, AND/OR ELECTRIC LINES, ETC..., ARE NOT SHOWN AND ARE NOT CERTIFIED TO

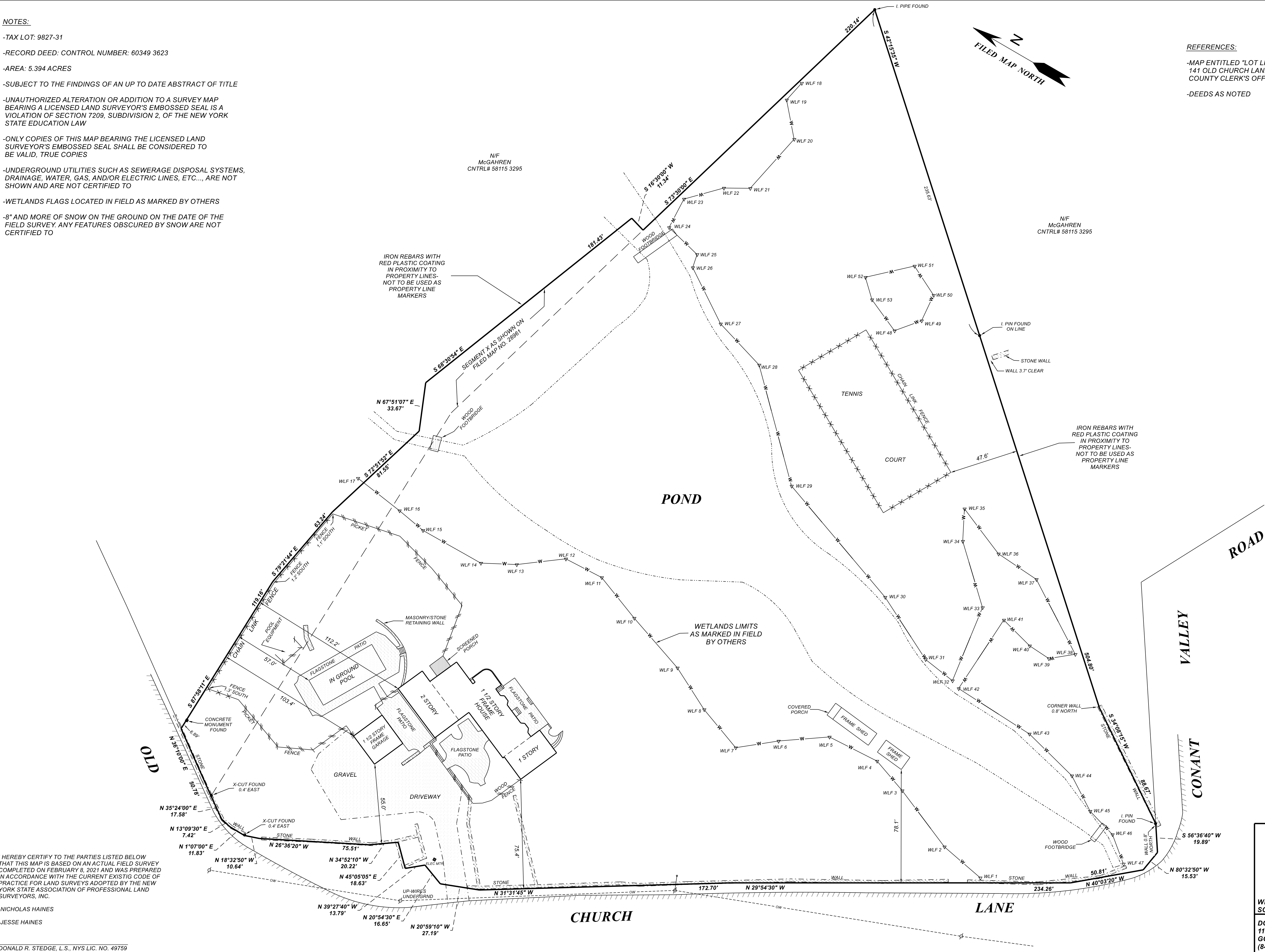
-WETLANDS FLAGS LOCATED IN FIELD AS MARKED BY OTHERS

-8" AND MORE OF SNOW ON THE GROUND ON THE DATE OF THE FIELD SURVEY. ANY FEATURES OBSCURED BY SNOW ARE NOT CERTIFIED TO

REFERENCES:

-MAP ENTITLED "LOT LINE CHANGE PLAT PREPARED FOR 141 OLD CHURCH LANE, LLC"; FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE ON MAY 31, 2016 AS MAP NO. 28961

-DEEDS AS NOTED



I HEREBY CERTIFY TO THE PARTIES LISTED BELOW THAT THIS MAP IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON FEBRUARY 8, 2021 AND WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC.

-NICHOLAS HAINES

-JESSE HAINES

DONALD R. STEDJE, L.S., NYS LIC. NO. 49759

SURVEY OF PROPERTY PREPARED FOR	
NICHOLAS & JESSE	
HAINES	
TOWN OF POUND RIDGE	
WESTCHESTER COUNTY	NEW YORK
SCALE: 1" = 30'	FEBRUARY 8, 2021
DONALD R. STEDJE, P.L.S. 112 MURRAY AVENUE GOSHEN, NY 10924 (845) 325-9734	JOB NO. 1977



STANDARD NOTATION

"A wetlands permit shall be required from the Water Control Commission of the Town of Pound Ridge for any regulated activity within 50 feet of the wetlands boundaries in accordance with the Town of Pound Ridge Wetlands Law."

"Approval by the Pound Ridge Water Control Commission shall be obtained prior to the initiation of any construction or any regulated activity, as defined in the Pound Ridge Freshwater Wetlands Law."

"An application to Pound Ridge for a building permit or for a wetlands permit shall include a survey of the lot showing the location of the existing wetlands controlled area. The Town Engineer or consulting engineer, Building Inspector, or Water Control Commission, as appropriate, may require that the wetlands controlled area for any individual lot be delineated in the field, by means of stakes, fencing, or other means, prior to the initiation of any construction activity."

"Site Plan approval by the Planning Board shall be required for any lot where the building coverage exceeds (4,500) square feet in R-3A, (3,600) in R-2A, (3,600) in R-1A, on any lot where the building coverage exceeds the area of the required potential house site within the horizontal circle shown on an approved plat; or any lot where the lot coverage, excluding common driveways approved by the Planning Board, exceeds (12,000) square feet in R-5A, (9,000) in R-2A, (12,000) in R-1A. The minimum front yard, side yard and rear yard setbacks and the minimum buffer area from all lot lines shall be increased in five (5) foot increments in proportion to the amount the threshold standard(s) for site plan approval are exceeded, unless otherwise modified by the Planning Board as part of site plan approval."

"The minimum required yard is inclusive of the minimum buffer area. No buildings, structures, driveways, parking areas, septic areas, utilities or other improvements, excluding the repair of existing stone walls and non-electric fences four (4) feet or less in height, shall be permitted within the minimum buffer area except as shown on a construction plan or site plan approved by the Planning Board. Such disturbance within the minimum required buffer area shall be the minimum necessary to provide appropriate and reasonable access or service to said lot. Said areas shall generally be maintained in as natural a condition as possible, except that additional landscaping or planting or other buffer screening may be required or permitted by the Planning Board as part of site plan approval."

"All required existing and proposed vegetation shown on the approved site plan shall be maintained in a healthy and vigorous growing condition throughout the duration of the use of the site. All vegetation not so maintained shall be replaced with comparable vegetation at the beginning of the next growing season."

ARCHITECTURAL RENOVATION SUMMARY

KEY	AREA	ARCHITECTURAL LEGEND
A	3,425 SF	EXISTING HOUSE FOOTPRINT
B	102 SF	EXISTING SCREEN PORCH CONVERTED TO HOUSE
C	179 SF	PROPOSED NEW HOUSE FOOTPRINT
D	595 SF	PROPOSED SECOND FLOOR ADDITION OVER EXISTING HOUSE
E	269 SF	PROPOSED NEW DECK

PROPOSED IMPERVIOUS COVERAGE SUMMARY

C-1	FAMILY ROOM ADDITION	91 SF
C-2	STAIRS	56 SF
C-3	FRONT DOOR ROOF	32 SF

TOTAL NEW IMPERVIOUS COVERAGE 179 SF

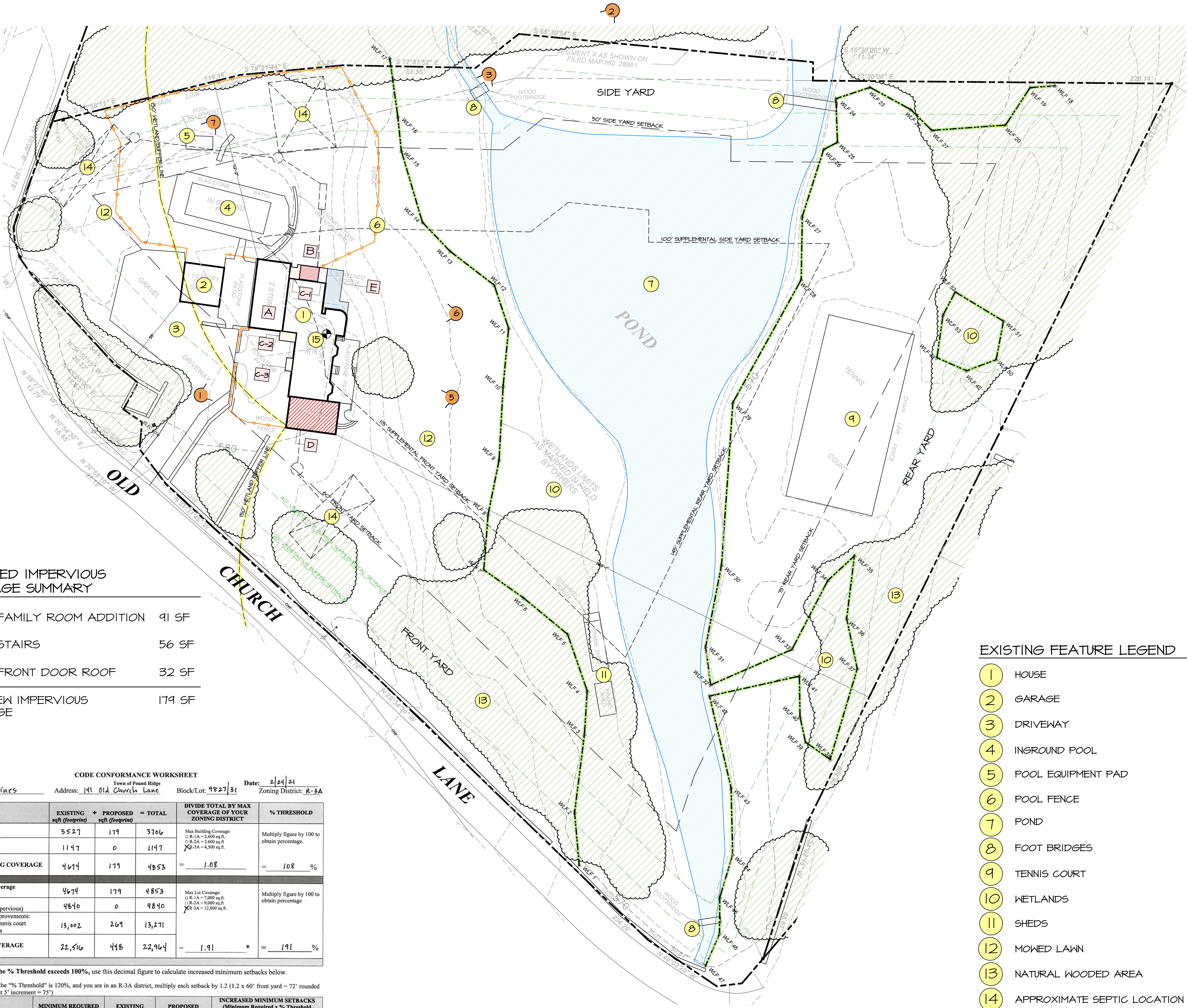
CODE CONFORMANCE WORKSHEET				
Applicant: Haines	Address: 141 Old Church Lane	Block/Lot: 9827/31	Date: 2/21/21	Zoning District: R-3A
	EXISTING sqft (footprint)	+ PROPOSED sqft (footprint)	= TOTAL	
Principal Dwelling	3,527	179	3,706	
Other Buildings	1147	0	1147	
TOTAL BUILDING COVERAGE	4,674	179	4,853	
Total Building Coverage (from above)	4,674	179	4,853	
Driveway (pervious and impervious)	4840	0	4840	
Other Structures/Improvements: including pool, tennis court, patio, deck, walks	13,002	269	13,271	
TOTAL LOT COVERAGE	22,516	448	22,964	

\* If the % Threshold exceeds 100%, use this decimal figure to calculate increased minimum setbacks below.

Example: If the "% Threshold" is 120%, and you are in an R-3A district, multiply each setback by 1.2 (1.2 x 60' front yard = 72' rounded up to the nearest 5' increment = 75')				
ZONING DISTRICT	MINIMUM REQUIRED SETBACKS	EXISTING	PROPOSED	INCREASED MINIMUM SETBACKS (Minimum Required x % Threshold Rounded up to 5' increments)
a. Front Yard	R-3A 60' R-2A 60' R-1A 50'	75.4'	75.4'	115'
b. Side Yard	50' 50' 35'	112.2'	112.2'	135'
c. Rear Yard	75' 50' 50'	365.1'	365.1'	438'
d. Vegetated Buffer	20' 15' 10'	% 22' - varies	> 40'	45'

NOTE: Plot these increased setbacks on the site plan

08/2019



EXISTING FEATURE LEGEND

- HOUSE
- GARAGE
- DRIVEWAY
- INGROUND POOL
- POOL EQUIPMENT PAD
- POOL FENCE
- POND
- FOOT BRIDGES
- TENNIS COURT
- SHEDS
- MOWED LAWN
- NATURAL WOODED AREA
- APPROXIMATE SEPTIC LOCATION
- APPROXIMATE WELL LOCATION

GENERAL NOTES

- PROPERTY LINE, TOPOGRAPHY AND SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY DONALD R. STEDGE, P.L.S., DATED FEBRUARY 8, 2021.
- SITE PLANS PREPARED BY JD BARRETT AND ASSOCIATES, EASTON CT, DATED FEBRUARY 23, 2021.
- ARCHITECTURE FOR PROPOSED RESIDENCE PROVIDED BY TEO SIGUENZA ARCHITECTS DATED FEBRUARY 23, 2021.
- THESE PLANS HAVE BEEN PROVIDED TO THE PLANNING BOARD (PB) AND WATER CONTROL COMMISSION (WCC) IN SUPPORT OF SITE DEVELOPMENT PLAN APPROVAL AND WETLANDS PERMIT APPROVAL TO PERFORM ADDITIONS AND RENOVATIONS TO THE EXISTING HOME, WHICH OCCUR IN THE REGULATED WETLAND BUFFER.
- WETLANDS ON THE PROPERTY WERE DELINEATED BY MARY JAEHNIG IN DECEMBER 2020 AND SURVEY LOCATED BY DONALD R. STEDGE, P.L.S.
- SEPTIC AND WELL INFORMATION PROVIDED BY H.P. BARNES SEPTIC SYSTEMS.
- THESE PLANS ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE FOLLOWING REVIEW BY THE PB, WCC AND ZBA.

DRAWING INDEX

SHEET 1 OF 2	SITE INFORMATION PLAN
SHEET 2 OF 2	MITIGATION PLANTING AND EROSION CONTROL PLAN

SITE INFORMATION PLAN

Prepared For :  
HAINES RESIDENCE  
141 OLD CHURCH LANE  
POUND RIDGE, NY 10576  
BK 48-21 LOT 31  
R-3 ZONE 5.394 Ac  
Prepared by:  
Landscape Architect/Environmental Planner:  
J. D. BARRETT & ASSOCIATES, LLC  
101 SPORT HILL ROAD  
EASTON, CONNECTICUT 06612  
Tel. 203.312.5805 FAX 203.312.0444  
Architect:  
TEO SIGUENZA ARCHITECTS  
460 OLD POST ROAD  
BEDFORD, NEW YORK, 10506  
Tel. 914.234.6284 FAX 914.234.0619  
Surveyor:  
DONALD R. STEDGE, P.L.S.  
112 MURRAY AVENUE  
GOSHEN, NEW YORK 10924  
Tel. 845.325.9734  
Wetland Scientist:  
MARY JAEHNIG  
17 FAIRVIEW AVE  
RIDGEFIELD, CT 06871  
Tel. 203.431.8113  
SCALE: 1" = 30'  
Date : February 23, 2021



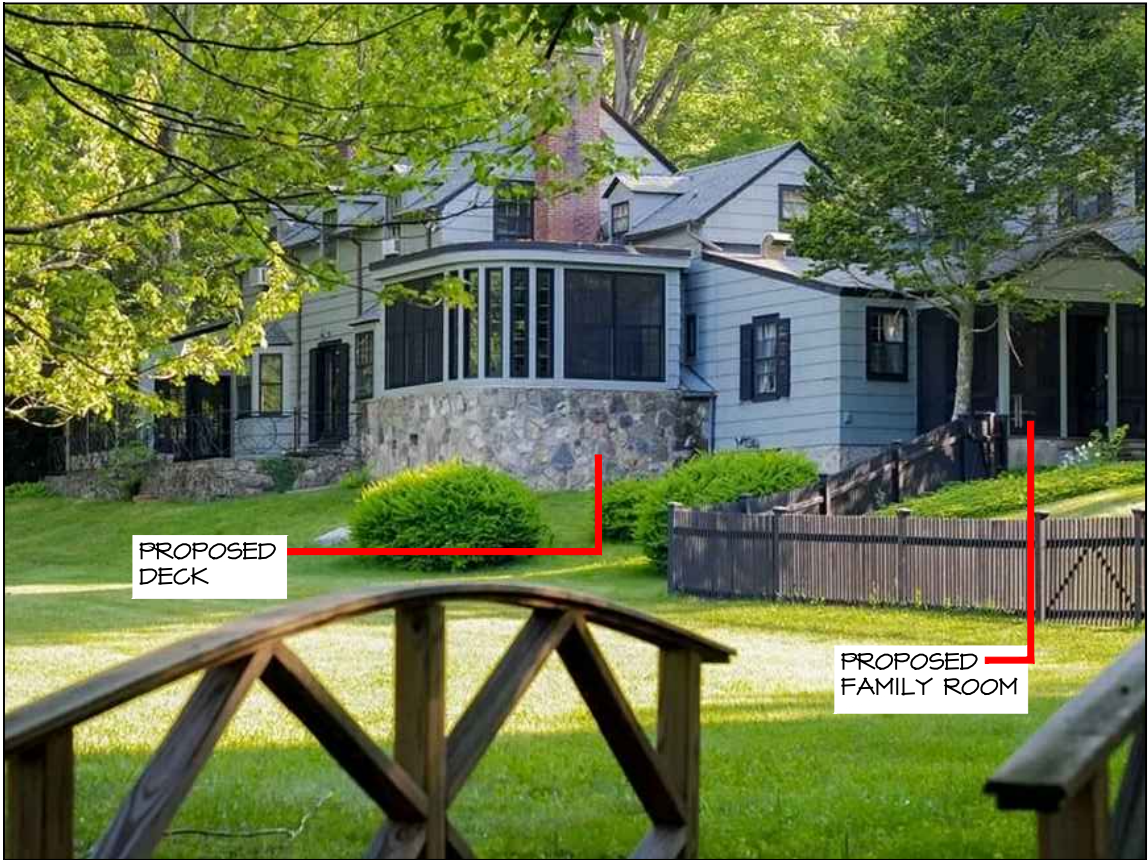
SHEET:  
1 OF 2



VIEW TO FRONT OF HOME. SMALL ROOF PROPOSED OVER FRONT DOOR AT RIGHT PHOTO. NEW STAIRWELL PROPOSED AT RIGHT GABLE OF MAIN HOUSE



AERIAL VIEW TO REAR OF HOUSE WHERE ADDITIONS OCCUR. EXISTING SCREENED PORCH TO BE ENLARGED AND CONVERTED TO PROPOSED FAMILY ROOM.



VIEW EAST TOWARD REAR OF HOUSE WHERE NEW FAMILY ROOM AND DECK ARE PROPOSED.



AERIAL VIEW TO REAR YARD. NOTE EDGE OF POND IS PRIMARILY GRASS. NATIVE POND EDGE PLANTINGS ARE PROPOSED TO REPLACE LAWN IN SECTIONS ALONG THE POND



VIEW TO SOUTH END OF THE HOUSE WHERE THE MASTER SUITE IS PROPOSED ON THE SECOND FLOOR.

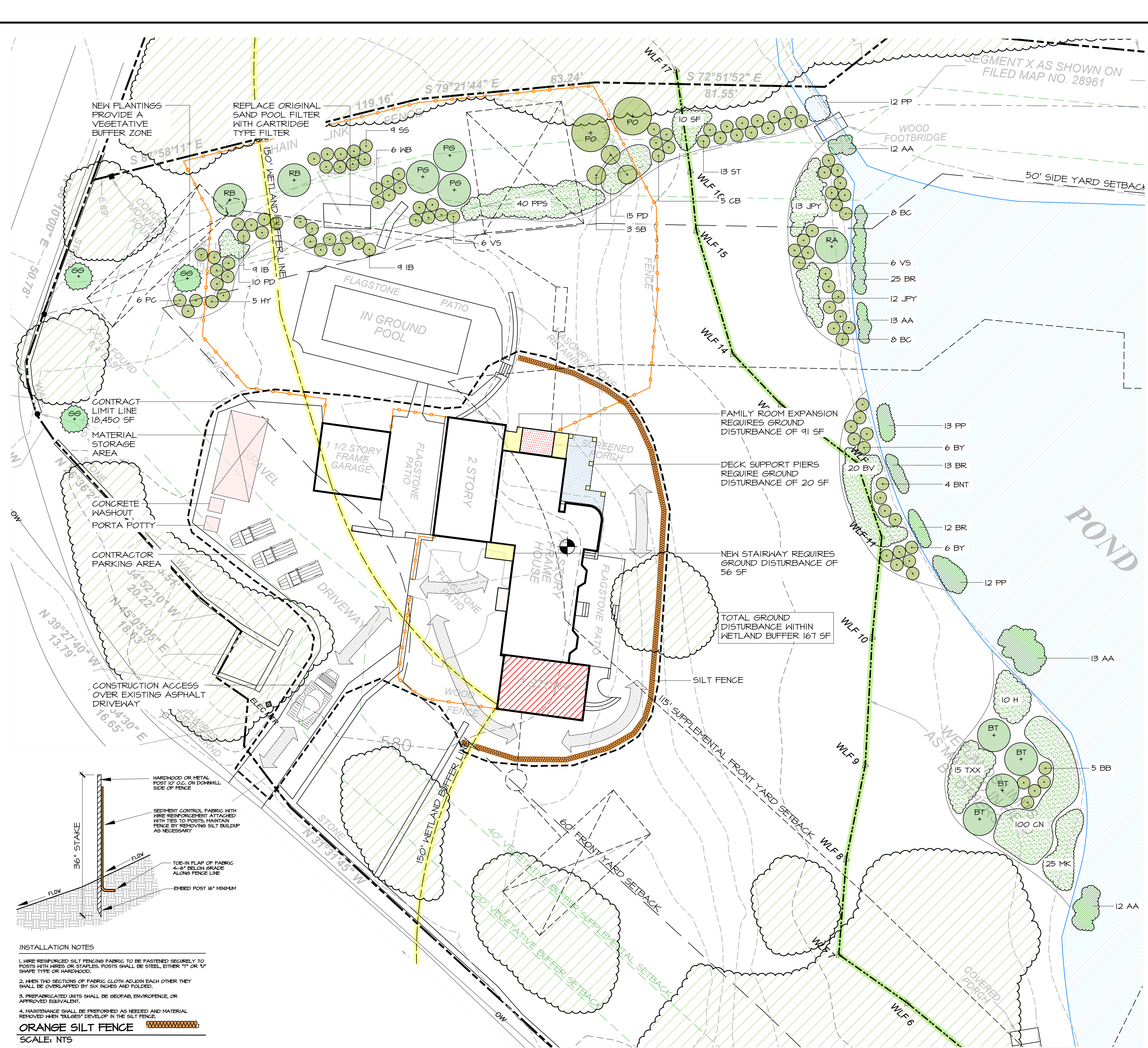


VIEW WEST TO THE NORTHERN PORTION OF THE HOME WHERE NEW DECK IS PREPARED AND SCREEN PORCH CONVERTED TO FAMILY ROOM.



VIEW TO POOL EQUIPMENT AREA AND OUT DATED SAND FILTER. A NEW CARTRIDGE FILTER WILL BE PROPOSED TO ELIMINATE THE NEED TO BACK WASH THE SAND FILTER.





FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

PLANT LIST

TREES	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENT
DG	2		CORNUS FLORIDA	DOGWOOD	10 GALLON	B&B	SPRING FLOWERS
GG	3		TRILIA	GREEN GIANT ARBORVITAE	5'-6'	B&B	EVERGREEN
PG	3		HYDRANGEA MACROPHYLLA	PG HYDRANGEA LIMELIGHT	10 GALLON	CAN	SUMMER FLOWERS
PO	2		QUERCUS PALUSTRIS	PIN OAK	10 GALLON	B&B	HOLDS LEAVES IN WINTER
BT	4		NYSSA SYLVIATICA	BLACK TUPLO	10 GALLON	B&B	FALL RED COLOR
RM	1		ACER RUBRUM	RED MAPLE	10 GALLON	B&B	FALL RED COLOR
SB	3		AMELANCHIER CANADENSIS	SHADBLow	10 GALLON	CAN	CLUMP SPRING FLOWERS
SHRUBS							
SA	6		RHOPIODENDRON VISCOSUM	SWAMP AZALEA	3 GALLON	CAN	SPRING FLOWERS
HY	5		HYDRANGEA ES	ENDLESS SUMMER HYDRANGEA	3 GALLON	CAN	SUMMER FLOWERS
IB	1		ILEX GLABRA	INKBERRY	3 GALLON	CAN	EVERGREEN
YS	12		ITEA VIRGINICA	VIRGINIA SWEETSPIRE	3 GALLON	CAN	FALL RED COLOR, SPRING FLOWERS
SS	1		CLETHRA ALNIFOLIA	SUMMERSWEET	3 GALLON	CAN	SUMMER FLOWERS
WB	1		ILEX VERTICILLATA	WINTERBERRY	3 GALLON	CAN	WINTER RED BERRIES
CB	3		VIBURNUM OPULUS	CRANBERRY	3 GALLON	CAN	SPRING FLOWERS,FALL BERRIES
ST	13		SPIREA TOMENTOSA	STEEPLEBUSH	3 GALLON	CAN	SPRING FLOWERS
BC	16		ARONIS MELANOCARPA	BLACK CHOKEBERRY	3 GALLON	CAN	SPRING FLOWERS,FALL BERRIES
BNT	4		CEPHALANTHUS OCCIDENTALIS	BUTTONHUSH	3 GALLON	CAN	SPRING FLOWERS,FALL BERRIES
EL	10		SAMBUCUS CANADENSIS	ELDERBERRY	3 GALLON	CAN	SPRING FLOWERS
BB	5		VACCINIUM CORYMBOSUM	BLUEBERRY	3 GALLON	CAN	SUMMER FRUITS
BY	12		MYRTICA PENNSYLVANICA	BAYBERRY	3 GALLON	CAN	SEMI-EVERGREEN
PERENNIALS							
PD	65		SPOROBOLUS HETEOCLIPSIS	PRAIRIE DROPSOED	1 GALLON	CAN	SUMMER FLOWERS
FC	6		ECHEINAZEA PURPUREA	PURPLE CONEFLOWER	1 GALLON	CAN	SUMMER FLOWERS
XF	30		HELIANTHUS HELIANTHOIDES	SUNFLOWER	1 GALLON	CAN	SUMMER FLOWERS
XH	100		OSMUNDA CINNAMOMEA	CINNAMON FERN	1 GALLON	CAN	3' FRONDS
TH	15		GHELONE GLABRA	TURTLEHEAD	1 GALLON	CAN	SUMMER FLOWERS
FORBES							
MK	30		AESCEPIAS INCARNATA	SWAMP MILKWEED	2' PLUS		SUMMER FLOWERS
BV	50		VERBENA HASTATA	BLUE VERBENA	2' PLUS		SUMMER FLOWERS
JPY	50		EUPATORIUM PERFORIATUM	BONESET	2' PLUS		SUMMER FLOWERS
EMERGENTS							
PP	50		PONTEDERIA CORDATA	PICKEREL PLANT	ROOT STOCK		PLANT IN WATER AT POND EDGE
BR	50		SCIRPUS ACUTUS	HARDSTEM BULRUSH	ROOT STOCK		PLANT IN WATER AT POND EDGE
AA			PELTANDRA VIRGINICA	ARROW ARUM	ROOT STOCK		PLANT IN WATER AT POND EDGE

- NOTES  
1. PLANT MATERIALS TO BE FIELD PLACED BY L.A. AT TIME OF PLANTING.  
2. ALL PLANTINGS WILL BE INSTALLED IN MULCHED GARDEN BEDS WITH MINIMUM 2" SHREDDED BARK MULCH. GRASS OR SOD TO BE REMOVED PRIOR TO PLANTING. BED LAYOUT BY L.A.  
3. ALL PLANTINGS SHALL BE PROTECTED WITH DEER NETTING OR DEER SPRAY, OR BOTH, UNTIL THE PLANTINGS ARE FULLY ESTABLISHED.



BLACK CHOKEBERRY



SWAMP MILKWEED



INKBERRY



SWAMP AZALEA



VIRGINIA SWEETSPIRE



ENDLESS SUMMER HYDRANGEA (ES)



CINNAMON FERN



BONESET



PICKEREL PLANT



STEEPLEBUSH



PURPLE CONEFLOWER (CF)



CRANBERRY BUSH



HARDSTEM BULL RUSH



ARROW ARUM



GREEN GIANT ARBORVITAE (GG)



FLOWERING DOGWOOD (DG)



LIMELIGHT HYDRANGEA TREE



TURTLEHEAD



WINTERBERRY (WB)

MITIGATION PLANTING AND EROSION CONTROL PLAN

Prepared For:  
HAINES RESIDENCE  
141 OLD CHURCH LANE  
FOUND RIDGE, NY 10516  
BK 46-27 LOT 31  
R-3 ZONE 5.344 AC  
Prepared by:  
Landscape Architect/Environmental Planner:  
J. D. BARRETT & ASSOCIATES, LLC  
109 SPORT HILL ROAD  
EASTON, CONNECTICUT 06612  
Tel. 203.372.5805 Fax 203.372.0499  
Architect:  
TEO SIGUENZA ARCHITECTS  
460 OLD POST ROAD  
BEDFORD, NEW YORK, 10506  
Tel. 914.234.6284 FAX 914.234.0619  
Surveyor:  
DONALD R. STEDGE, P.L.S.  
112 MURRAY AVENUE  
GOSHEN, NEW YORK 10924  
Tel. 845.325.9134  
Wetland Scientist:  
MARY JAEHNIG  
17 FAIRVIEW AVE  
RIDGEFIELD, CT 06871  
Tel. 203.431.8113  
SCALE: 1" = 20'  
Date: February 23, 2021





**PFIZER – JÄHNIG**  
**ENVIRONMENTAL CONSULTING**

---

January 28, 2021

**Wetland Delineation Report**

141 Old Church Lane  
Pound Ridge, New York

Introduction:

A wetland delineation was conducted at 141 Old Church Lane on January 24, 2021 by Mary Jaehnig, soil scientist. The 5+ acre parcel is located on the eastern side of Old Church Lane and supports a single family dwelling, driveway, pool and tennis court.

The topography descends from west to east. A man made pond occupies the center of the property. The site is within the watershed to the Siscowit Reservoir.

No New York State Department of Environmental Conservation (NYSDEC) regulated wetlands are located on the site or in the immediate area. The wetland is locally regulated.

Soils and Vegetation:

Soil samples were obtained using a spade and auger. Features noted include color, texture and depth to hydric indicators. Soils were classified according to guidelines established by the USDA NRCS.

The upland soil on the slopes in the western portion of the site and in the upland woods on the eastern portion of the site is Charlton-Chatfield complex, very rocky. This unit consists of the deep and well drained Charlton loam and the somewhat deep and well drained Chatfield loam. Depth to bedrock usually exceeds 5 feet below grade for Charlton loam and averages 20 to 40 inches below grade in Chatfield loam. The depth to the water table usually exceeds 6 feet below grade.

The upland soil in the nearly level areas near the pond and surrounding the tennis court is Udorthent. The Udorthent was most likely applied during pond dredging in the latter part of the last century. The water table is below 20 inches in the areas of Udorthent.

**PFIZER – JÄHNIG**  
**ENVIRONMENTAL CONSULTING**

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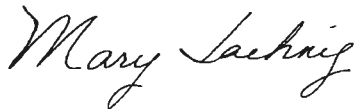
The uplands are maintained as grassed lawn with light woods. Trees include sugar maple, Eastern hemlock, red maple, red oak, red cedar. The shrub story includes Japanese barberry, rhododendron spp, summersweet and multiflora rose. Groundcover includes upland grasses, garlic mustard and brambles.

The wetland soils include Leicester loam, stony and Aquents, or fill with a high water table. Leicester loam is a deep, poorly drained soil with stones and boulders on the surface. The water table is located close to the surface from fall through spring. The Leicester loam and Aquents are located in the wetland portion of the nearly level areas and in undisturbed areas near the tennis court.

The wetlands are maintained as grassed lawn and light woods. The light woods support red maple, ash, with summersweet, highbush blueberry, multiflora rose. Groundcover include sensitive fern.

The the pond has wetland growth on the shelf in places. The growth includes cattail, red stem dogwood, tussock sedge, sensitive fern and rush spp.

Sincerely,



Mary Jaehnig  
soil scientist

# HAINES RESIDENCE

## ADDITIONS AND ALTERATIONS

141 OLD CHURCH LANE, POUND RIDGE, NY

TEO SIGÜENZA  
ARCHITECT  
480 OLD POST ROAD 2A BEDFORD, N. Y. 10508  
TEL: 914.234.6288 FAX: 914.234.0619  
www.teosiguenza.com

GENERAL NOTES:  
1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES  
2. ALL DIMENSIONS TO BE CHECKED  
3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT

DRAWING LIST:

T101.00 TITLE SHEET& LIST OF DRAWINGS

A100.00 PROPOSED BASEMENT PLAN

A101.00 PROPOSED FIRST FLOOR PLAN

A102.00 PROPOSED SECOND FLOOR PLAN

A103.00 PROPOSED ROOF PLAN

A200.00 PROPOSED EXTERIOR ELEVATIONS

A201.00 PROPOSED EXTERIOR ELEVATIONS

- NOTE:
- The building is designed with the 2020 NYS Residential code, Appendix J & 2020 NYS energy code.
  - Fire stop will be installed in all horizontal areas where there are chases or furred out walls & include all framed bays every 10' per code.
  - Entire home will have hard wired and interconnected smoke and carbon monoxide alarms installed per code for new areas and other areas that have no work being done can follow the property maintenance and fire code regulations.
  - For areas where new spray foam insulation is to be used and is uncovered such as in attic areas, the required fire rating such as intumescent paint cover will be applied per code.
  - All required bathroom exhaust fans and clothes dryer exhausts will be installed directly to exterior.
  - Shower or tub glass enclosures will have tempered safety glass per code. Any interior or exterior doors with glazing and any windows 18" or less to the ground shall have Tempered safety glass per code.
  - The New stove will have minimum clearance from combustible material per manufacturer specs and must be listed and labeled for household use.
  - Porch railing & guard rail should compliance per section R312.1 of the residential code.
  - The designated placard (Type V for floor and roof) will need to be installed on exterior wall in area approved by inspector & placed prior to CO application.

THE ENERGY CONSERVATION IN ACCORDANCE WITH THE 2020 INTERNATIONAL ENERGY CONSERVATION CODE (TABLE R402.1.2)										
Minimum										
Climate Zone	Glazing U-Factor	Skylight U-Factor	Glazing SHGC-Factor	Ceiling R-Value	Wood frame wall R-Value	Mass wall R-Value	Floor R-Value	Basement Wall R-Value	Slab Perimeter R-Value and Depth	Crawl Space Wall R-Value and Depth
4	0.27	0.50	0.40	R-49	R-20+5 or 13+10	15/20	R-30	R-15/19	R-10, 4 ft.	R-15/19

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA IN ACCORDANCE WITH THE 2020 NYS RESIDENTIAL CODE TABLE 301.2(1) FOR ZONE 4 (WESTCHESTER COUNTY)													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITES					
30	115 MPH	NO	YES	NO	C	SEVERE	42"	MODERATE TO HEAVY	15 DAY	YES	4/24/84 REV 11/1/07	1500	48.5°

	DATE:	REVISION

PROJECT  
HAINES RESIDENCE  
ADDITIONS AND ALTERATIONS

141 OLD CHURCH LANE  
POUND RIDGE, NY

DRAWING TITLE  
TITLE SHEET & LIST OF  
DRAWINGS

SEAL

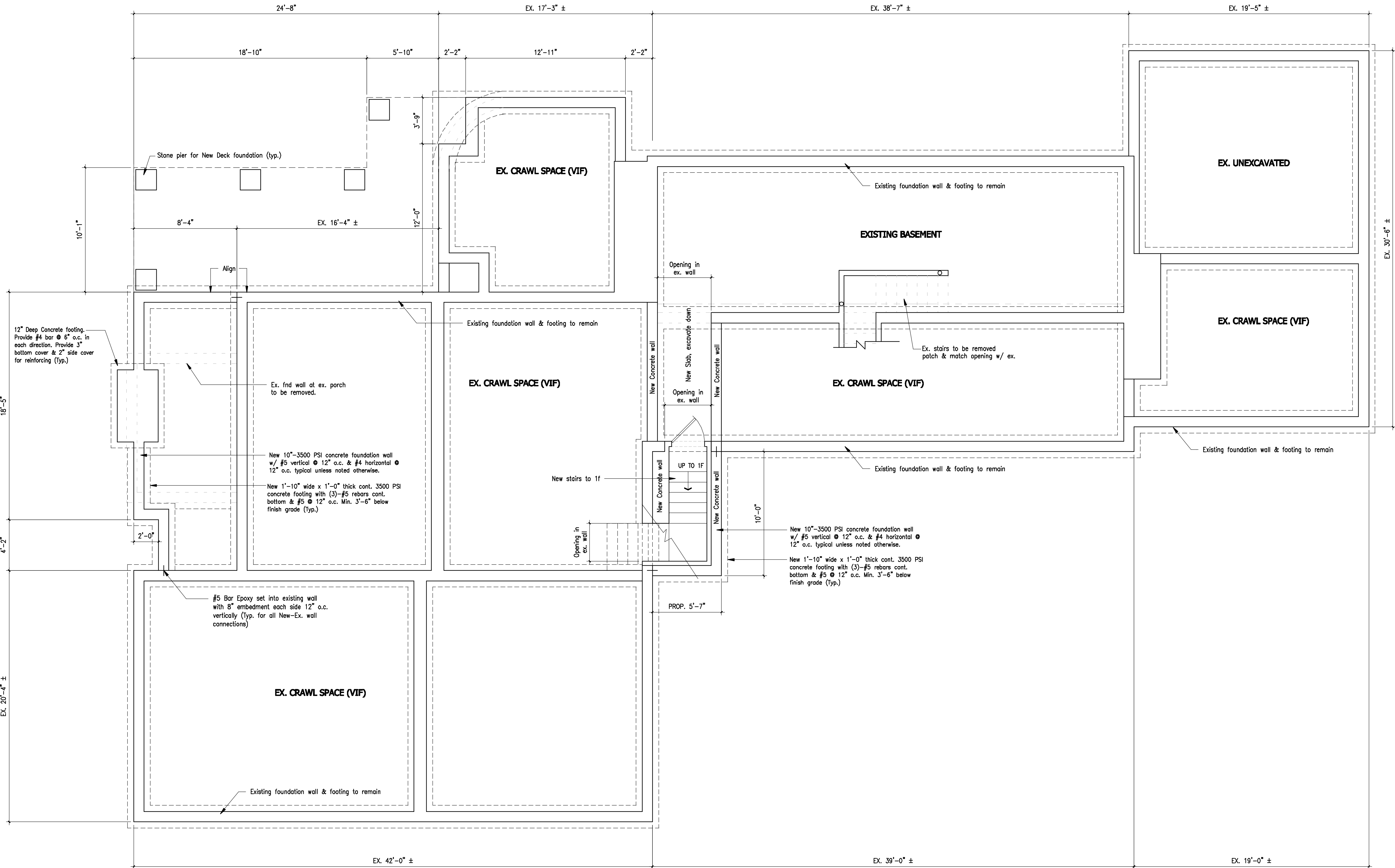
DATE  
2-23-21

SCALE  
1/4" =1'-0"

DRAWING NO.  
T101.00

PAGE NO.

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PROJECT  
**HAINES RESIDENCE  
ADDITIONS AND ALTERATIONS**

**141 OLD CHURCH LANE  
POUND RIDGE, NY**

DRAWING TITLE  
**PROPOSED BASEMENT /  
FOUNDATION PLAN**

SEAL

DATE  
**2-23-21**

SCALE  
**1/4" =1'-0"**

DRAWING NO.

**A100.00**

PAGE NO.

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	DATE:	REVISION

## HAINES RESIDENCE

### ADDITIONS AND ALTERATIONS

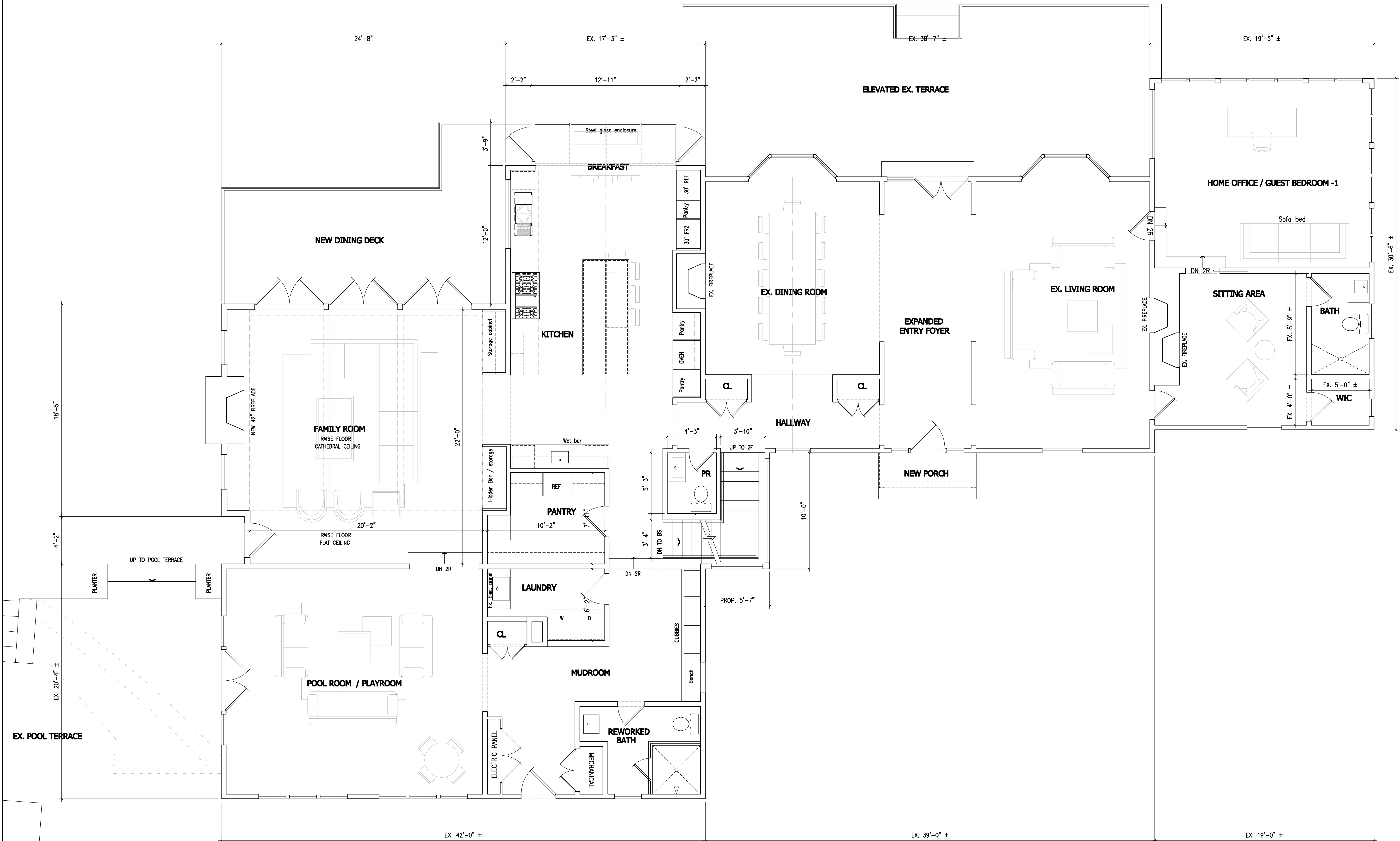
## PROPOSED FIRST FLOOR PLAN

SEAL

SCALE  
**1/4" = 1'-0"**

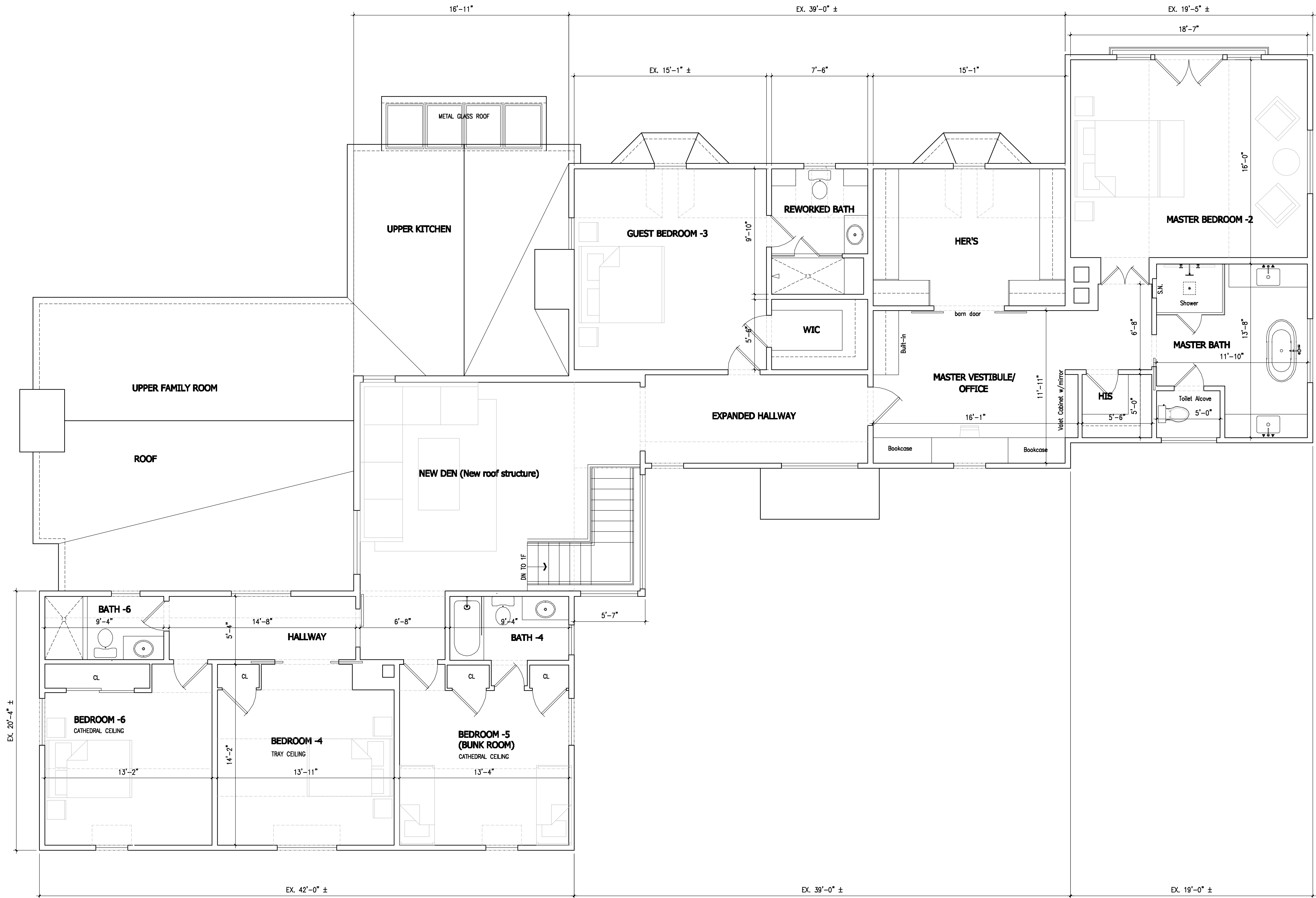
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DATE:	REVISION

PROJECT  
**HAINES RESIDENCE  
ADDITIONS AND ALTERATIONS**

**141 OLD CHURCH LANE  
POUND RIDGE, NY**

DRAWING TITLE  
**PROPOSED SECOND  
FLOOR PLAN**

SEAL

DATE  
**2-23-21**

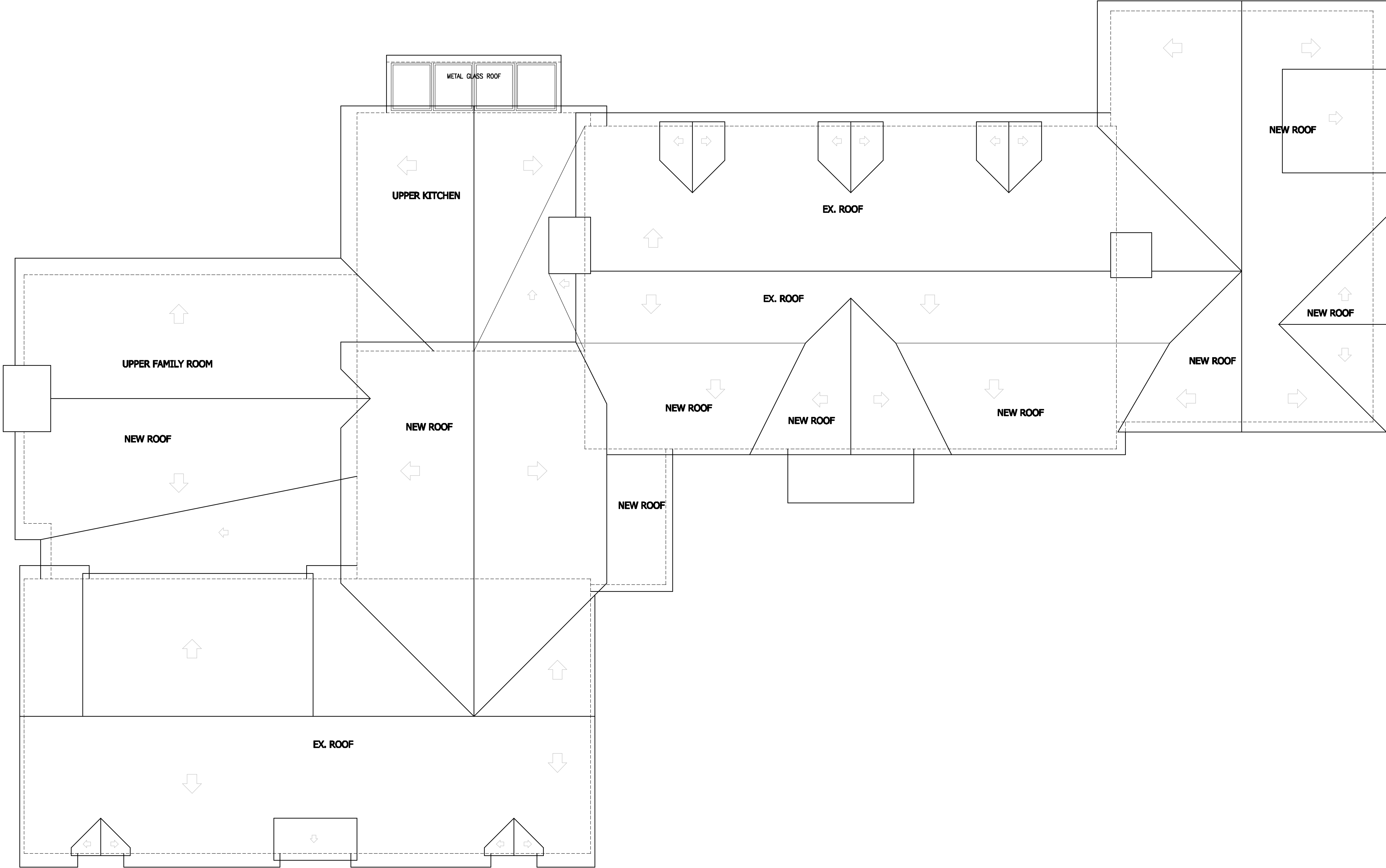
SCALE  
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DRAWING NO.

**A102.00**

PAGE NO.

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PROJECT  
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**ADDITIONS AND ALTERATIONS**

**141 OLD CHURCH LANE**  
**POUND RIDGE, NY**

DRAWING TITLE  
**PROPOSED ROOF PLAN**

SEAL

DATE  
**2-23-21**

SCALE  
**1/4" =1'-0"**

DRAWING NO.  
**A103.00**

PAGE NO.



1

PROPOSED FRONT ELEVATION

Scale: 1/4" = 1'-0"



2

PROPOSED RIGHT SIDE ELEVATION

Scale: 1/4" = 1'-0"

TEO SIGÜENZA  
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HAINES RESIDENCE  
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141 OLD CHURCH LANE  
POUND RIDGE, NY

DRAWING TITLE  
PROPOSED EXTERIOR  
ELEVATIONS

SEAL

DATE  
2-23-21

SCALE  
1/4" = 1'-0"

DRAWING NO.  
A200.00

PAGE NO.

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PROJECT  
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DATE  
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SCALE  
**1/4" =1'-0"**

DRAWING NO.

**A200.00**

PAGE NO.



**1 PROPOSED REAR ELEVATION**

Scale: 1/4" =1'-0"



**2 PROPOSED LEFT SIDE ELEVATION**

Scale: 1/4" =1'-0"