

TOWN OF LEWISBORO
Westchester County, New York

Zoning Board of Appeals
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3822
Fax: (914) 533-0097
Email: zoning@Lewisborogov.com

AGENDA

Wednesday, August 25, 2021 7:30 P.M

79 Bouton Road, South Salem,
Justice Court

- I. Review and adoption of the Minutes of July 2021
- II. PUBLIC HEARINGS

CAL. NO. 02-21-SP Adjourned

Application of Tomasina Buzzeo [Buzzio, Tomasina L. owner of record], 17 Orchard Drive, South Salem, NY for a renewal of a Special Permit pursuant to Article V, Section 220-38 of the Zoning Ordinance to allow the Storage of Contractor's Equipment.

The property is located on the east side of (#17) Orchard Drive, South Salem, NY designated on the Tax Map as Sheet 034A, Block 11827 Lot 009, in an R-1/2A, One Half Acre Residential District consisting of approximately 0.844 acres.

CAL. NO. 23-21-BZ Adjourned

Application of Daniel Walsh [Walsh, Daniel H. owner of record], 428 Smith Ridge Road, South Salem, NY for the following variance of increases in non-conformity other than use per Article III Section 220-9D(2);, the north side of the proposed second story addition will have a side yard setback of 14.3' whereas 30' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code; the proposed AC units will have a side yard setback of 19' whereas 30' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code; the proposed LP tank will have a side yard setback of 19' whereas 30' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the east side of (#428) Smith Ridge Road, designated on the Tax Map as Sheet 049B, Block 09831, Lot 018, in a 1-AC, One-Acre Residential District consisting of approximately 0.50 acres.

CAL. NO. 24-21-BZ

Application of CBK, LLC [CBK Properties, LLC, owner of record] 32 Mandia Lane, Goldens Bridge, NY for the following variance of the proposed deck on the east side will have a 17' rear yard setback whereas 25' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#32) Mandia Lane designated on the Tax Map as Sheet 004D, Block 11111, Lot 009, in a SCR-1/4AC, Special Character, One-Quarter-Acre Residential District consisting of approximately 0.51 acres.

CAL. NO. 25-21-BZ

Application of ABC Construction [Mardirossian, Shant & Christine, owner of record], 25 Shoshone Drive, Goldens Bridge, NY for a variance of the proposed shed and is requesting a side yard setback of 5' whereas 30' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#25) Shoshone Drive, designated on the Tax Map as Sheet 0010, Block 11152, Lot 180, in a conservation sub-division, R-1AC, One-Acre Residential District consisting of approximately 1.17 acres.

CAL. NO. 17-21-BZ

Application of Adam Abeshouse [Abeshouse Productions LLC owner of record], 158 Elmwood Road, South Salem, NY for variances in the matter of the proposed addition to an existing accessory structure with a floor area of 875 square feet will increase the floor area to a total of 3,949 square feet whereas 600 square feet is the maximum permitted per Article IV Section 220-23D (11) of the Town of Lewisboro Zoning Code; and that will have a height of 23’ whereas 20’ is the maximum permitted per Article I Section 220-2 of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#158) Elmwood Road, designated on the Tax Map as Sheet 0044, Block 10056, Lot 043, in an SCR-2AC, Special Character District, Two- Acre Residential District consisting of approximately 6.71 acres.

III. CORRESPONDENCE & GENERAL BUSINESS

(914) 763-3822
FAX (914) 875-9148
TTY 800-662-1220
Email: zoning@lewisborogov.com
www.lewisborogov.com



TOWN OF LEWISBORO
Zoning Department
79 Bouton Road
South Salem, NY 10590

TOWN OF LEWISBORO, WESTCHESTER COUNTY

ZONING DEPARTMENT

ZONING BOARD OF APPEALS – August 25, 2021

<u>APPLICANT</u>	<u>CAL #</u>	<u>PAGE(S)</u>
Buzzeo	02-21-SP	4 to 10
Walsh	23-21-BZ	11
CBK,LLC	24-21-BZ	12 to 14
Mardirossian	25-21-BZ	15 to 20
Abeshouse LLC	17-21-BZ	21 to 26

Special Permit Inspection Form For Renewal

Date of Inspection: 8/17/2021 **Date of ZBA Request:** 8/25/2021
[Explanation of Renewal of Special Permit included on attached Memorandum]

Sheet No.:

34A

Block No.:

11827

Lot No.:

9

Phone No.:

914-763-3070

Name of Owner:

Tomasina Buzzco

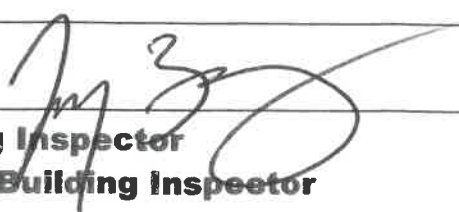
Address:

17 Orchard Drive
South Salem NY 10590

Comments:

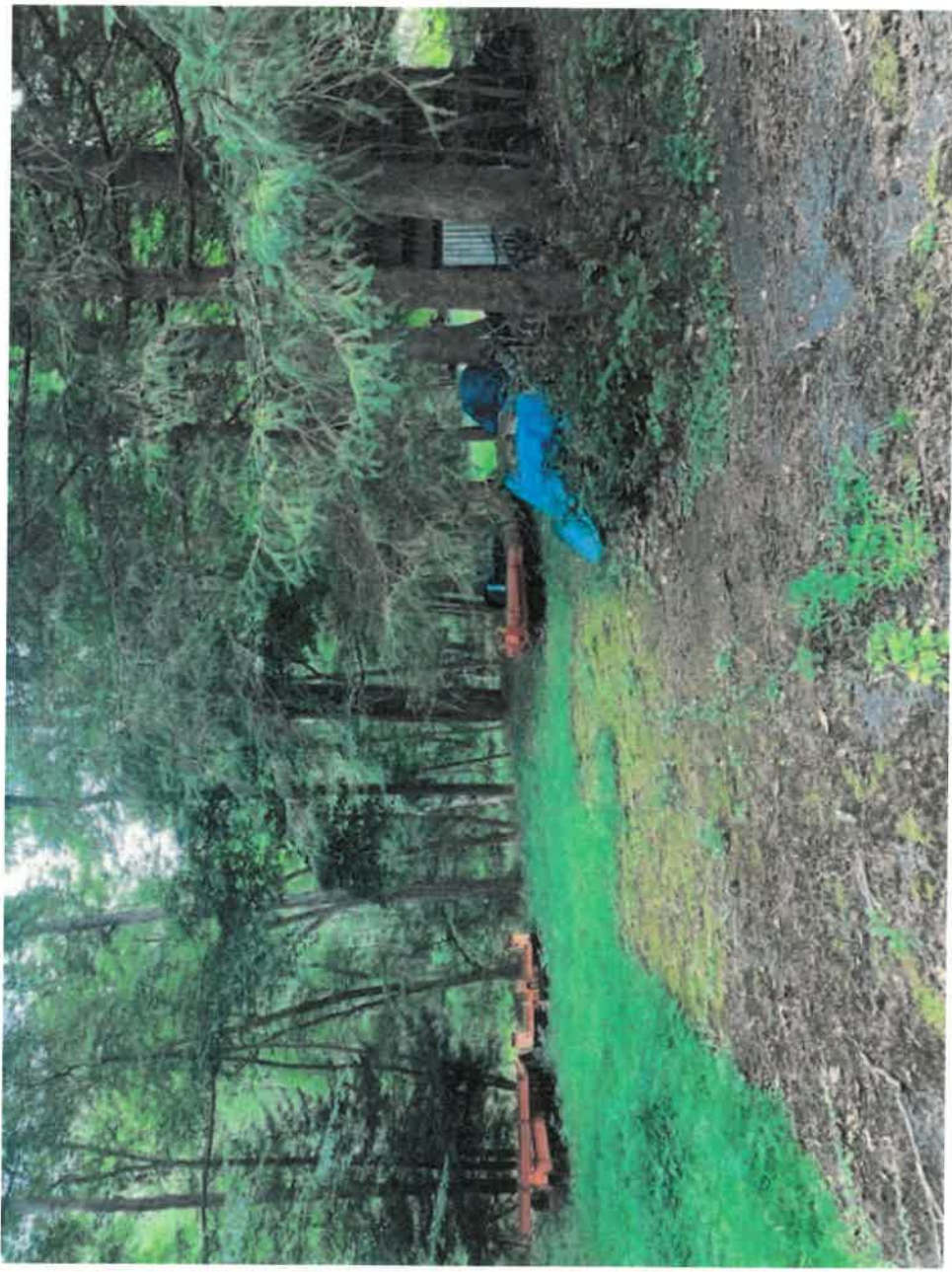
Site walk complete
attached are images from the
property.

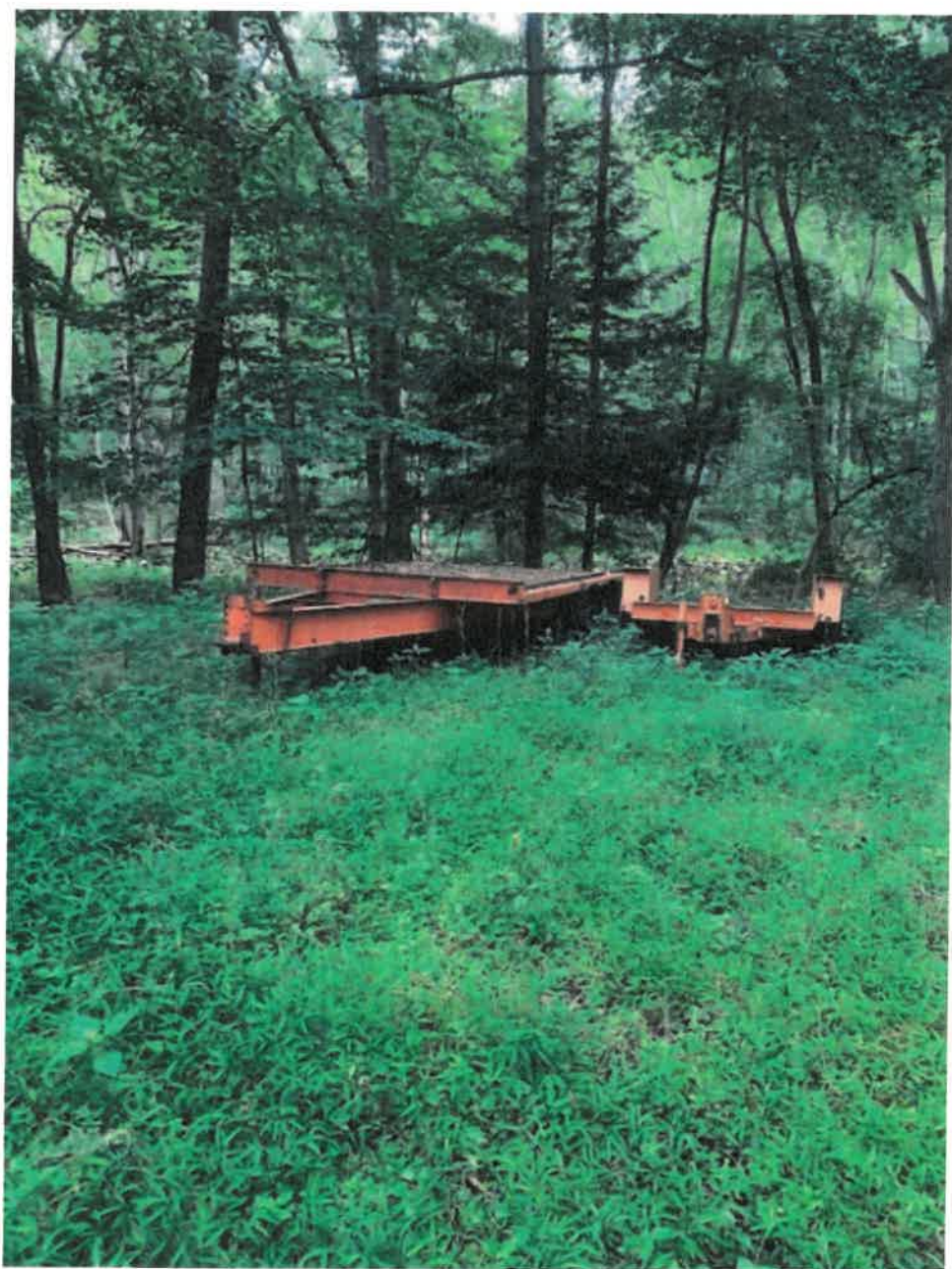
Inspected by:


Building Inspector
Deputy Building Inspector



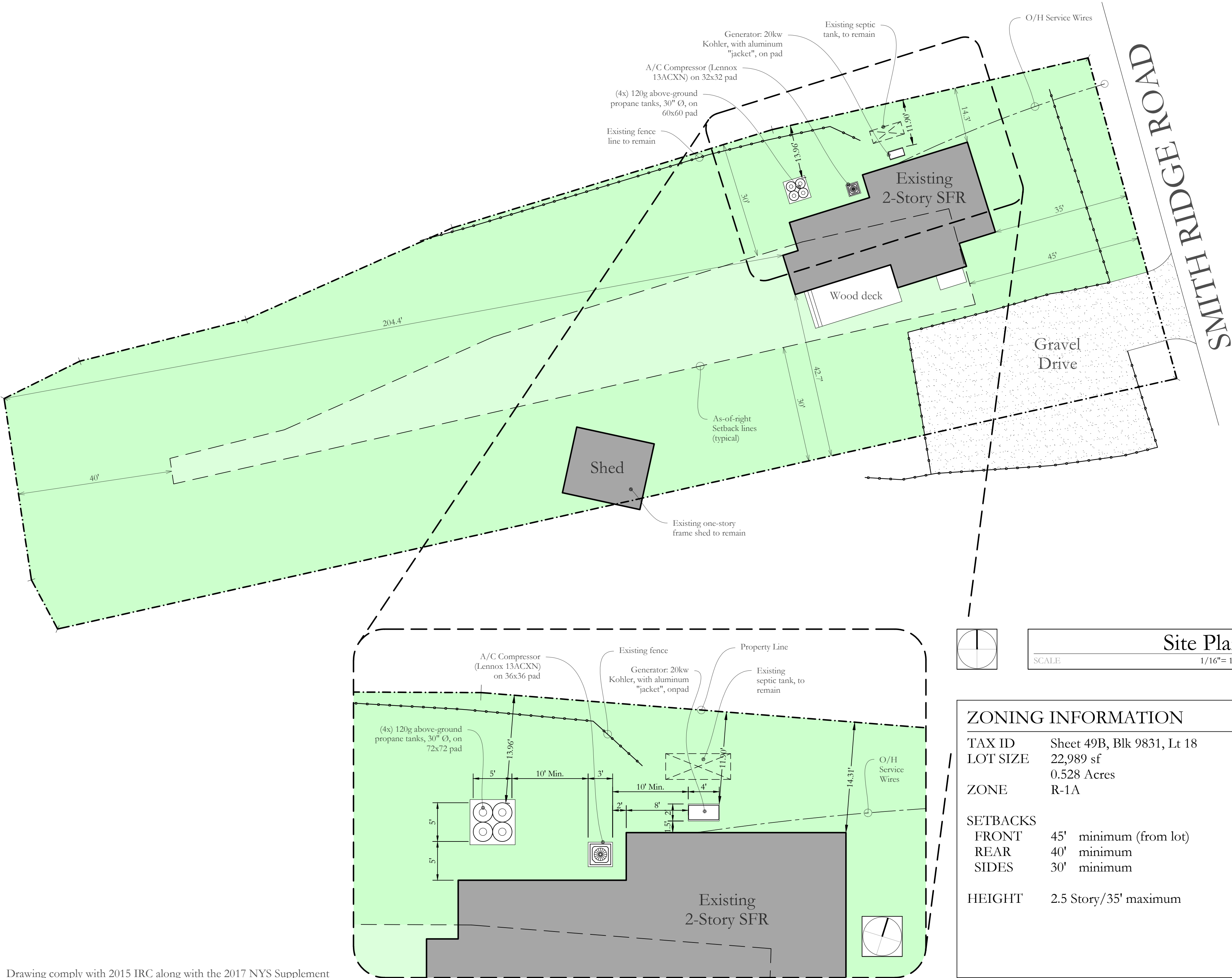












MAIDIQUE & FILLES

7 Silver Brook Road | Westport, CT 06880
mark@maidique.com | maidique.com
(203) 642-4900

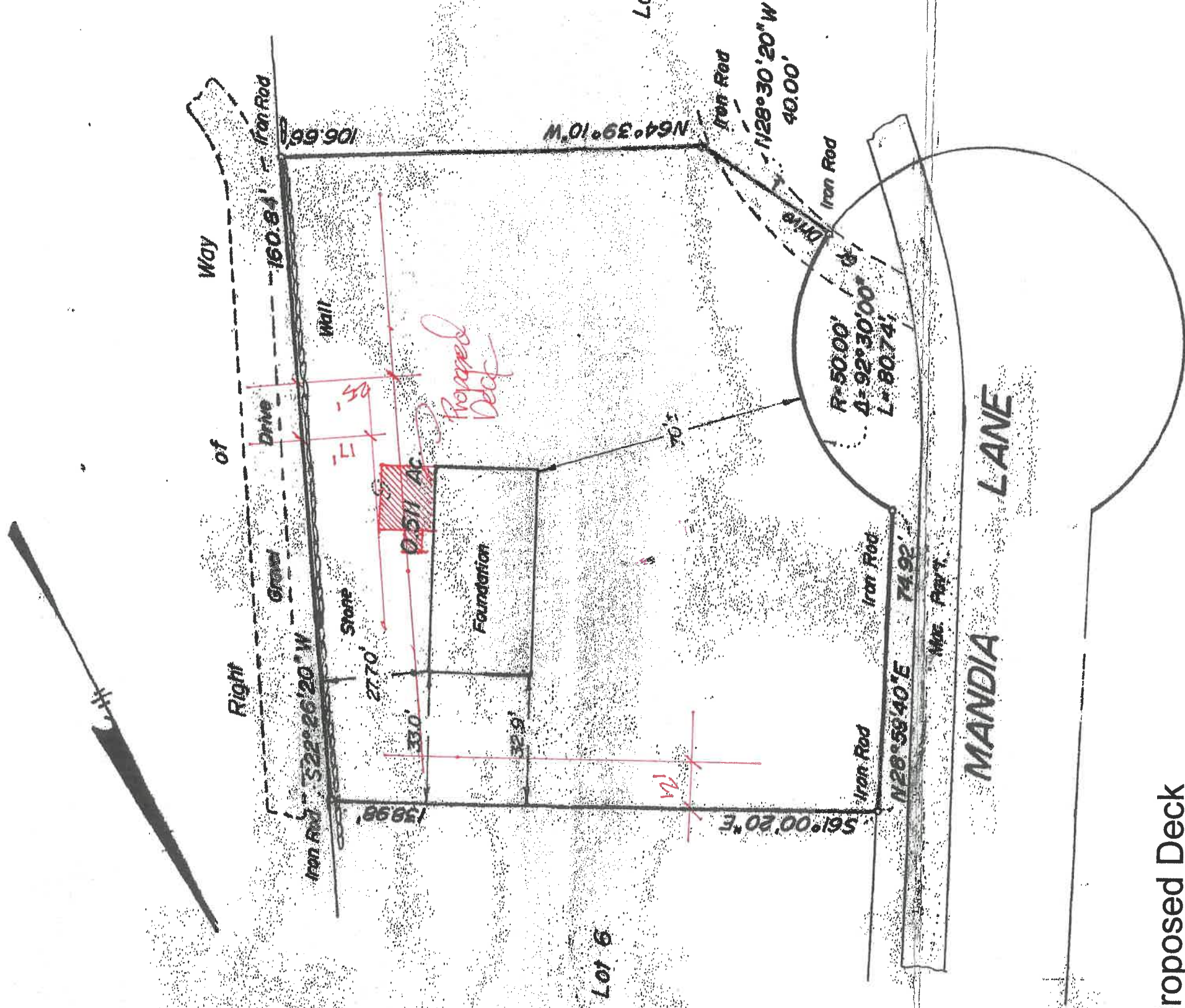
Mark Alex Maidique, Architect
NY License #034435

Residential Addition for
The Walsh Family
428 Smith Ridge Road
South Salem, New York

07.08.2021
Revisions:

C1.0

Project
2021-428SM



Proposed Deck
CDK, LLC.
32 Mandia Lane
Goldens Bridge, NY 10526

Site Plan
1 Inch : 30 Feet

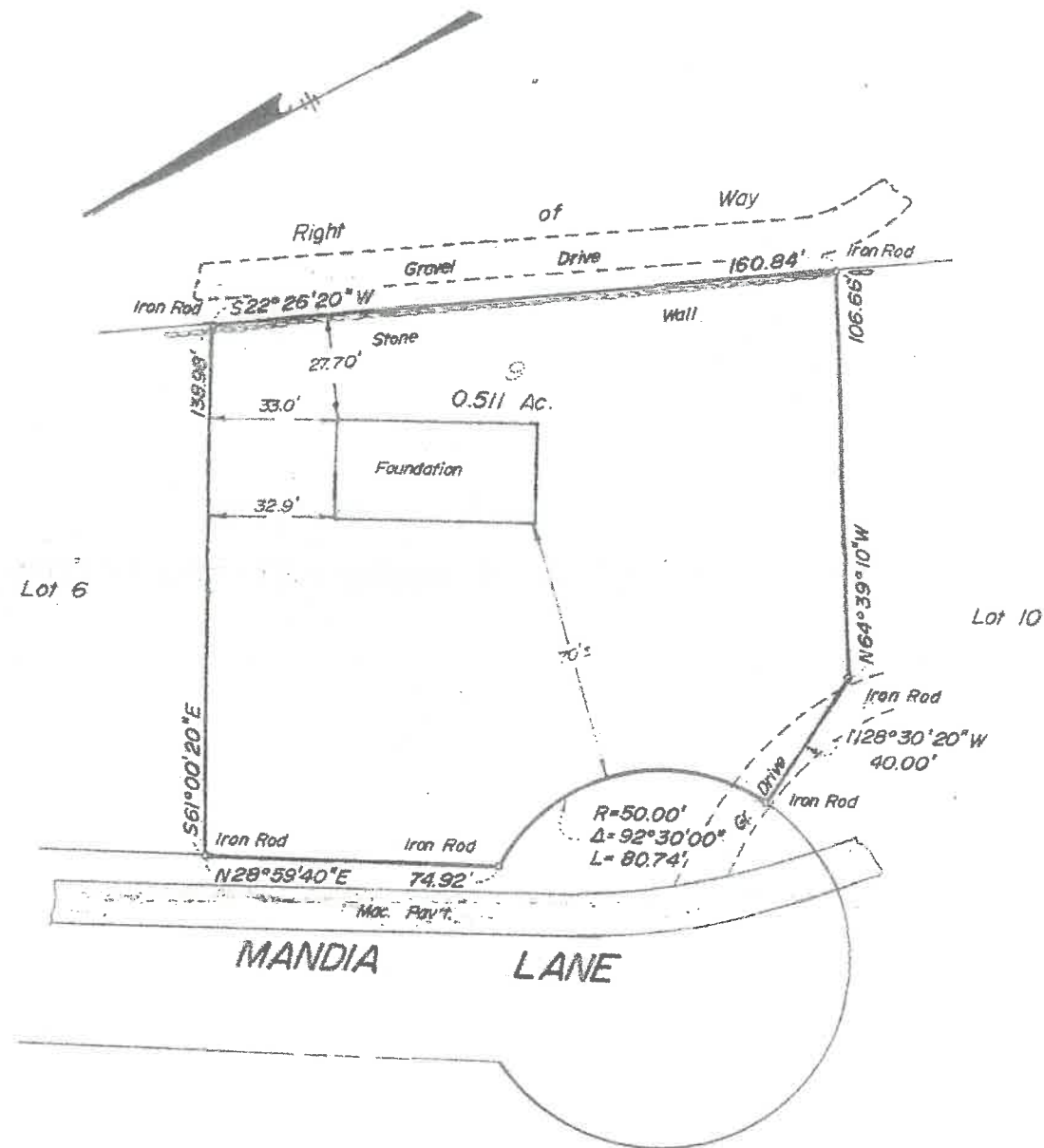
Sheet 4D Block 11111 Lot 9

Zoning District: R-1/4 A

Zoning Variance:
Rear Setback Required 25'-0"
Rear Setback Provide 17'-0"

jpl architects
PO Box 311
Somers, NY 10589
914-277-7232





Premises shown hereon being lot 9 as shown on map entitled "Subdivision of Property belonging to Anthony Mandia, etc." filed in the West. Co. Clerks Office, Div. of Land Records as Map No. 9675.

This survey brought to date and this map revised March

Certified correct to

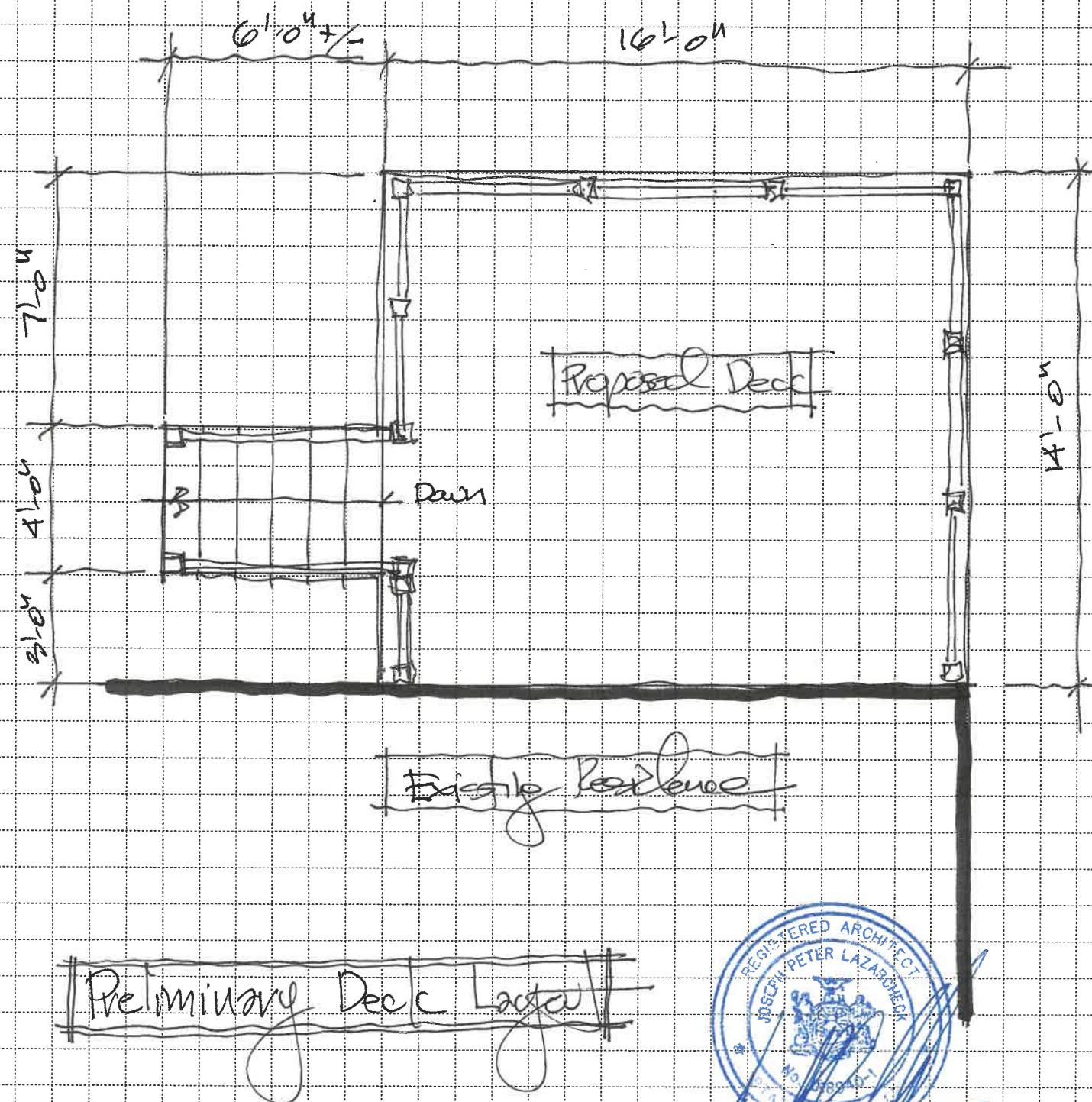
This is to certify that this survey was completed on May 21, 1984, and this map was completed on May 22, 1984.

L. J. Duncan, Jr.
N.Y. State Lic. Surveyor



Prepared May 1984

SURVEY OF PROPERTY
Prepared for #32
CHARLES MANDIA



jpl
architects

30 taber knolls drive
pawling new york 12564
845 855 3042 tel
845 855 3042 fax

po box 311
somers new york 10589
914 277 7232 tel
914 277 8544 fax

project 32 Mander Lane
sheet no one of one
drawn by [signature] date 7/20/21
checked by [signature] date 7/26/21
project no 1.00 scale 1/4"

Images



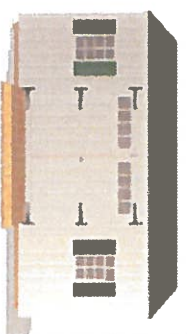
Perspective



Front



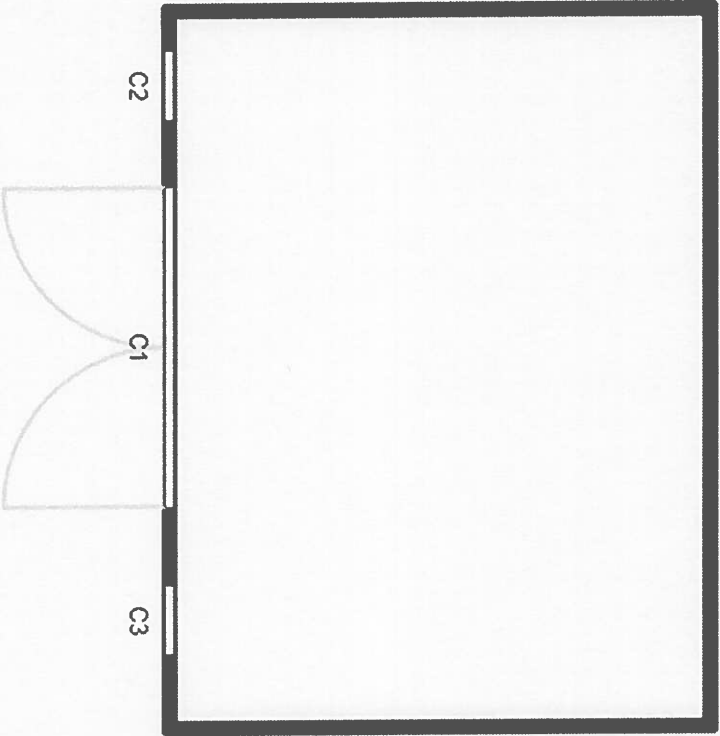
Left



Right



Back



Symbol Legend:

- C1: 7' x 6' Classic Door with Transom
- C2: 18x27 Vinyl Insulated
- C3: 18x27 non-insulated window

Description		Quantity
Structure Details		
Style: Standard Workshop		1
Siding: Wood		1
Sidewall Height: 6' 6"		1
Size: 12x16		1
Roof Overhang: Roof Overhang		1
Base: Pressure Treated Skids		1
Roof Pitch: Standard		1

Description		Quantity
Siding Color: White		1
Trim Color: White		1
Roof Color: Charcoal Gray		1
Roof Material: Architectural Shingles		1
Doors & Ramps		
7' x 6' Classic Door with Transom		1
Color: White		1
3'x7' Ramp		1
Windows & Accessories		
1 8x27 Vinyl Insulated		1
Color: White		2
Shutters: Vinyl - Raised Panel		2
Shutters Color: Forest Green		2
1 8x27 non-insulated window		1
Wood 3Board (Credit)		2
Flooring & Interior		
Flooring: Build on site with wood floor (Submit Estimate for Price)		1
Floor Joist: 2x4 Pressure Treated 12" OC & 5/8" plywood		1
Vents		
Standard Vent		2

Description		Quantity
Color: White		2
Roof Ridge Vent		1

SURVEY OF PROPERTY
SITUATE IN THE
TOWN OF LEWISBORO
WESTCHESTER COUNTY
NEW YORK

SCALE: 1" = 30'

SURVEYED: APRIL 14, 2021

SURVEY AMENDED TO SHOW PROPOSED SHED LOCATION: MAY 14, 2021
SURVEY AMENDED TO SHOW REVISED SHED LOCATION: JULY 27, 2021

- THE PREMISES SHOWN HEREON BEING KNOWN AND DESIGNATED AS LOT NOS. 73 & 74 ON A CERTAIN MAP ENTITLED "SUBDIVISION PLAT OF SECTION SIX, TOWN HILL, DATED FEBRUARY 18, 1987 AND LAST REVISION DATED JANUARY 18, 1988, FILED WITH THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS ON MAY 11, 1988 AS FILED MAP NO. 23246
- PREMISES MORE PARTICULARLY DESCRIBED IN DEED RECORDED IN THE WESTCHESTER COUNTY CLERK'S OFFICE IN CONTROL NUMBERS 472490430 & 480170633
- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF LEWISBORO
- SECTION: 31.4 BLOCK: 3 LOTS: 66 & 67
- PROPERTY ADDRESS: 23 & 25 SHOSHONE DRIVE
- TOTAL PROPERTY AREA: 116,743 Sq. Ft. - 2.680 ACRES

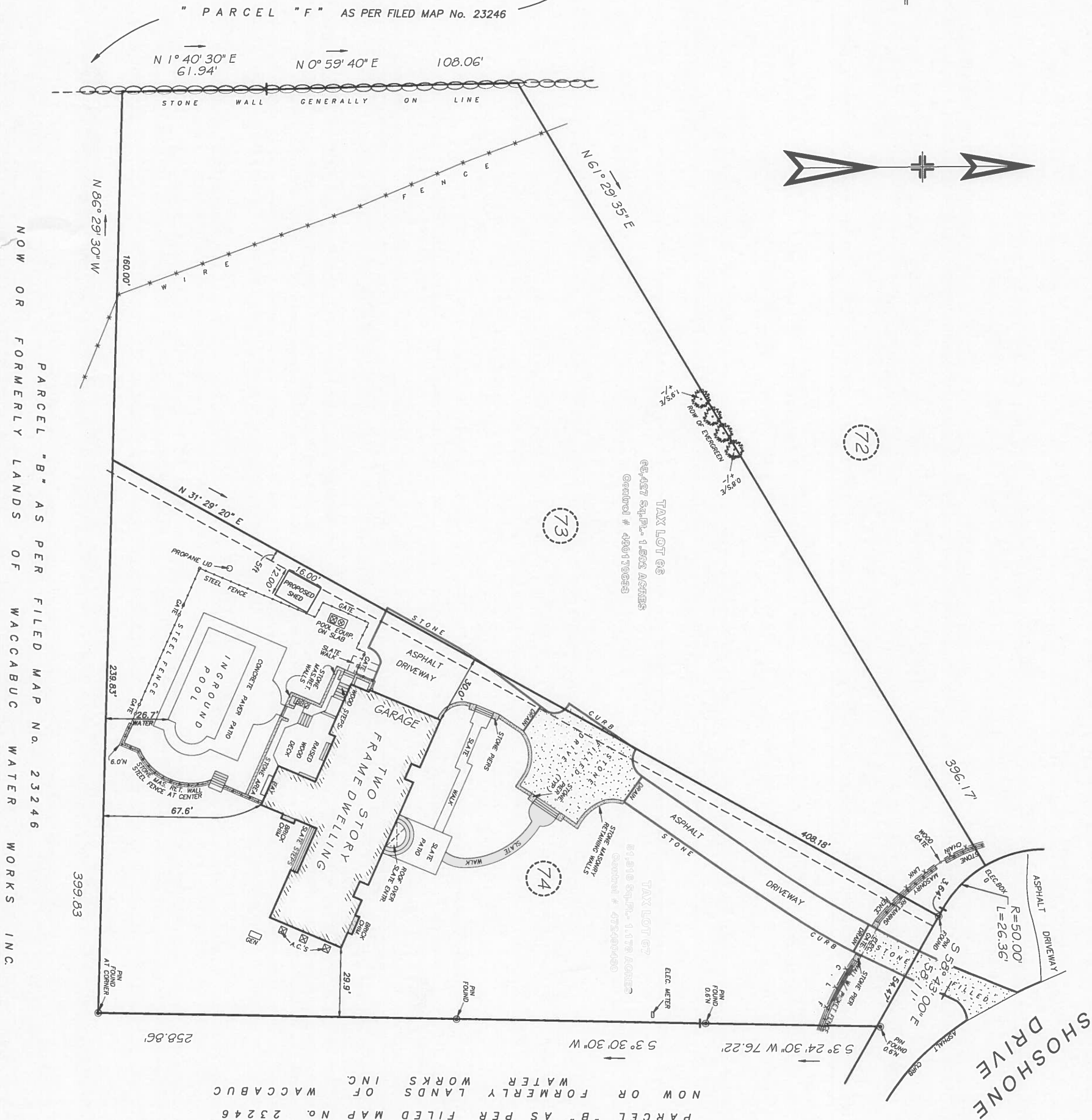
- THIS MAP IS BASED UPON THE INFORMATION SUPPLIED BY THE CLIENT AND/OR HIS REPRESENTATIVE AND SUBJECT TO THE FINDINGS THAT A COMPLETE ABSTRACT OF TITLE MAY UNCOVER
- THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPORTION LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.
- ENCROACHMENTS, BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP PREPARED BY A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7208, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- THE INFORMATION DEPICTED HEREON IS BASED UPON AN ACTUAL FIELD SURVEY AND IS AN OPINION BASED UPON SAID SURVEY. VARIATIONS IN OFFSETS FROM THAT OF THE OTHERS CAN AND MAY EXIST.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING "CODE OF PRACTICE FOR LAND SURVEYS" ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR: ANJELICA MULERO

Link
Land Surveyors P.C.
21 Clark Place, Suite 1-B
Malone, N.Y. 10541
Phone 845-628-5857
Fax 845-621-4013



COPYRIGHT 2021
LINK LAND SURVEYOR P.C. ALL RIGHTS RESERVED. THE UNAUTHORIZED REPRODUCTION AND OR DISTRIBUTION OF THIS DOCUMENT IS ILLEGAL, AND IS A VIOLATION UNDER UNITED STATES COPYRIGHT LAWS.



PARCEL "B" AS PER FILED MAP No. 23246
NOW OR FORMERLY LANDS OF WACCABUC WATER WORKS INC.

ABESHOUSE BARN ADDITION

158 Elmwood Road
South Salem, NY 10590

ABBREVIATIONS					
AFF	ABOVE FINISHED FLOOR	FOS	FACE OF STUDS	OFF	OFFICE
AP	ACCESS PANEL	FOW	FACE OF WALL	OC	ON CENTER (S)
ACC	ACOUSTICAL CEILING TILE	FIN	FINISH (ED)	OPG	OPENING
A/C	AIR CONDITIONING	FFL	FINISH FLOOR LEVEL	OPP	OPPOSITE
ALT	ALTERNATE	FE	FIRE EXTINGUISHER	OA	OVERALL
AL	ALUMINUM	FEC	FIRE EXTINGUISHER CABINET	OH	OVERHEAD
AB	ANCHOR BOLT	PRF	FIREPROOF (ING)		
ANOD	ANODIC, ANODIZED	FLR	FLOOR (ING)	PTD	PAINTED
ARCH	ARCHITECT (URAL)	FD	FLOOR DRAIN	PVG	PAVE (D), (ING)
ASPH	ASPHALT	FM	FLOOR MAT & FRAME	P/MT	PAVEMENT
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	FT	FOOT	PLAM	PLASTIC LAMINATE
		FTG	FOOTING	PLYWD	PLYWOOD
AUX	AUXILIARY	FR	FRAME (D), (ING)	PVC	POLYVINYL CHLORIDE
ANB	ANODIZED BLACK	FBO	FURNISHED BY OTHERS	PSI	POUNDS PER SQUARE INCH
ACL	ANODIZED CLEAR	FURR	FURRED (ING)	PSF	POUNDS PER SQUARE FOOT
				PS	PROJECTION SCREEN
BRG	BEARING	GA	GAGE, GAUGE		
BD	BOARD	GALV	GALVANIZED	QTY	QUANTITY
BS	BOTH SIDES	GB	GRAB BAR		
BOTT	BOTTOM	GC	GENERAL CONTRACTOR	RAD	RADIUS
BLDG	BUILDING	GL	GLASS, GLAZING	REF	REFERENCE
		GYD B	GYPSUM BOARD	REFR	REFRIGERATOR
CAB	CABINET			REINF	REINFORCING
CARP	CARPET	HC	HANDICAPPED	REQD	REQUIRED
CLG	CEILING	HDR	HEADER	REV	REVISION (S), REVISED
CTR	CENTER	HVAC	HEATING/VENTILATING/ AIR CONDITIONING	RH	RIGHT HAND
<	< CENTER LINE			R	RISER
CT	CERAMIC TILE	HT	HEIGHT	RD	ROOF DRAIN
CH	CHANNEL	HP	HIGH POINT	RM	ROOM
CLR	CLEAR (ANCE)	HM	HOLLOW METAL	RO	ROUGH OPENING
CL	CLOSET	HORIZ	HORIZONTAL		
COL	COLUMN	HB	HOSE BIBB	SEC	SECTION
CONC	CONCRETE MASONRY UNIT	HWH	HOT WATER HEATER	SHT	SHEET
CMU	CONCRETE MASONRY UNIT	HCWL	HOLLOW CORE WOOD	SIM	SIMILAR
CONST	CONSTRUCTION	HCAL	HOLLOW CORE ALUMINUM	STC	SOUND TRANSMISSION
CONT	CONTINUE			S	SOUTH
CONTR	CONTRACT (OR)	IN	INCH	SPEC	SPECIFICATION (S)
CJ	CONTROL JOINT	INSUL	INSULATE (D), (ION)	SQ	SQUARE
COORD	COORDINATE	INT	INTERIOR	SS	SQUARE FEET
CORR	CORRIDOR			SF	STAINLESS STEEL
CRS	COURSE(S)	JAN	JANITOR	STD	STANDARD
		JT	JOINT	STL	STEEL
DEMO	DEMOLISH, DEMOLITION	JO	JOIST	STOR	STORAGE
DTL	DETAIL			STR	STRUCTURAL
DIAG	DIAGONAL	LAV	LAVATORY	SUSP	SUSPENDED
DIA	DIAMETER	LH	LEFT HAND	SCWD	SOLID CORE WOOD
DM	DIMENSION	LT	LIGHT	ST	STAINED
DN	DOWN	LTL	LINTEL		
DWR	DRAWER	LP	LOW POINT	TB	TACKBOARD
DWG	DRAWING			THK	THICK (NESS)
D	DRAIN	MB	MARKER BOARD	T&G	TONGUE AND GROOVE
		MFR	MANUFACTURE (ER)	T&B	TOP AND BOTTOM
EA	EACH	MO	MASONRY OPENING	TOS	TOP OF SLAB
E	EAST	MAX	MAXIMUM	TO STL	TOP OF STEEL
ELEC	ELECTRIC (WATER COOLER	MECH	MECHANIC (AL)	TOW	TOP OF WALL
EW	ELECTRIC	MTL	METAL	TYP	TYPICAL
EL	ELEVATION	MIN	MINIMUM		
EMER	EMERGENCY	MISC	MISCELLANEOUS	UN	UNDERWRITERS LABORATORY
ENC	ENCLOSE (URE)	MTO	MOUNTED	UNL	UNLESS OTHERWISE NOTED
EQL	EQUAL	MULL	MULLION	U	URNAL
EQUIP	EQUIPMENT	MW	MILLWORK		
EXIST	EXISTING	MF	MILL FINISH	VERT	VERTICAL
EB	EXPANSION BOLT			VIF	VERIFY IN FIELD
EJ	EXPANSION JOINT	NOM	NOMINAL	VCT	VINYL COMPOSITION TILE
EXP	EXPOSED	N	NORTH		
EXT	EXTERIOR	NA	NOT APPLICABLE	WC	WATER CLOSET
		NIC	NOT IN CONTRACT	WWF	WELDED WIRE FABRIC
		NTS	NOT TO SCALE	W	WEST
		NO	NUMBER	W	WIDE, WIDTH
				W/	WITH
				WO	WITHOUT
				WD	WOOD

GENERAL NOTES

GENERAL:

1. ALL DIMENSIONS TO FINISHED FACE OF CONSTRUCTION, UNLESS OTHERWISE NOTED. ALL DIMENSIONS MUST BE FIELD VERIFIED. COORDINATE WITH EXISTING CONDITIONS IN FIELD.
2. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. REPORT ALL DISCREPANCIES IN THESE DRAWINGS AND RELATED SPECIFICATIONS TO ARCHITECT FOR RESOLUTION PRIOR TO START OF CONSTRUCTION. FAILURE TO VERIFY ALL CONDITIONS AFFECTING THE WORK AND FAILURE TO REPORT DISCREPANCIES WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE COORDINATION OF ALL ASPECTS OF THE WORK.
3. ALL NEW SWITCHING, THERMOSTATS, OUTLETS, SECURITY, OR SIMILAR DEVICE LOCATIONS SHALL BE REVIEWED WITH ARCHITECT IN WALK THROUGH PRIOR TO PLACING IN FIELD.
4. ALL MATERIALS TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE.
5. NOT USED
6. COORDINATE ALL WORK WITH BASE SCOPE DRAWINGS & SPECIFICATIONS.
7. CONTRACTOR TO RESTORE ANY EXISTING FIRE PROOFING TO PRESCRIBED RATING.
8. ALL DOORS TO BE LOCATED 6" FROM NEAREST WALL U.O.N.
9. NOT USED
10. ANY CONTRACTOR OR SUBCONTRACTOR THAT WORKS ON THE PROJECT MUST PROVIDE A "RELEASE OF LIENS," SEE SPECIFICATIONS FOR DETAILS.
11. ALL UTILITY SHUTDOWNS THAT IMPACT WILL NEED TO BE DURING NON-BUSINESS/OPERATING HOURS AND MUST BE COORDINATED WITH THE PROPERTY MANAGER AT LEAST 72 HOURS IN ADVANCE.
12. CONTRACTORS MUST NOT PARK IN THE FIRE LANE OR THE ROADWAYS, SEE DESIGNATED AREAS
13. CONTRACTORS MUST CLEAN UP COMMON AREA DAILY, ENSURING THE PARKING LOT AND SIDEWALKS ARE NEAT, CLEAN, AND FREE OF SHARP METAL OBJECTS THAT MAY BE DROPPED DURING DEMOLITION.

DESCRIPTION OF WORK

MUSIC ROOM ADDITION TO EXISTING BARN.

CONSTRUCTION DOCUMENTS

OWNER
ADAM ABESHOUSE
158 Elmwood Road
South Salem, NY 10590

M/E/P PROFESSIONAL ENGINEER

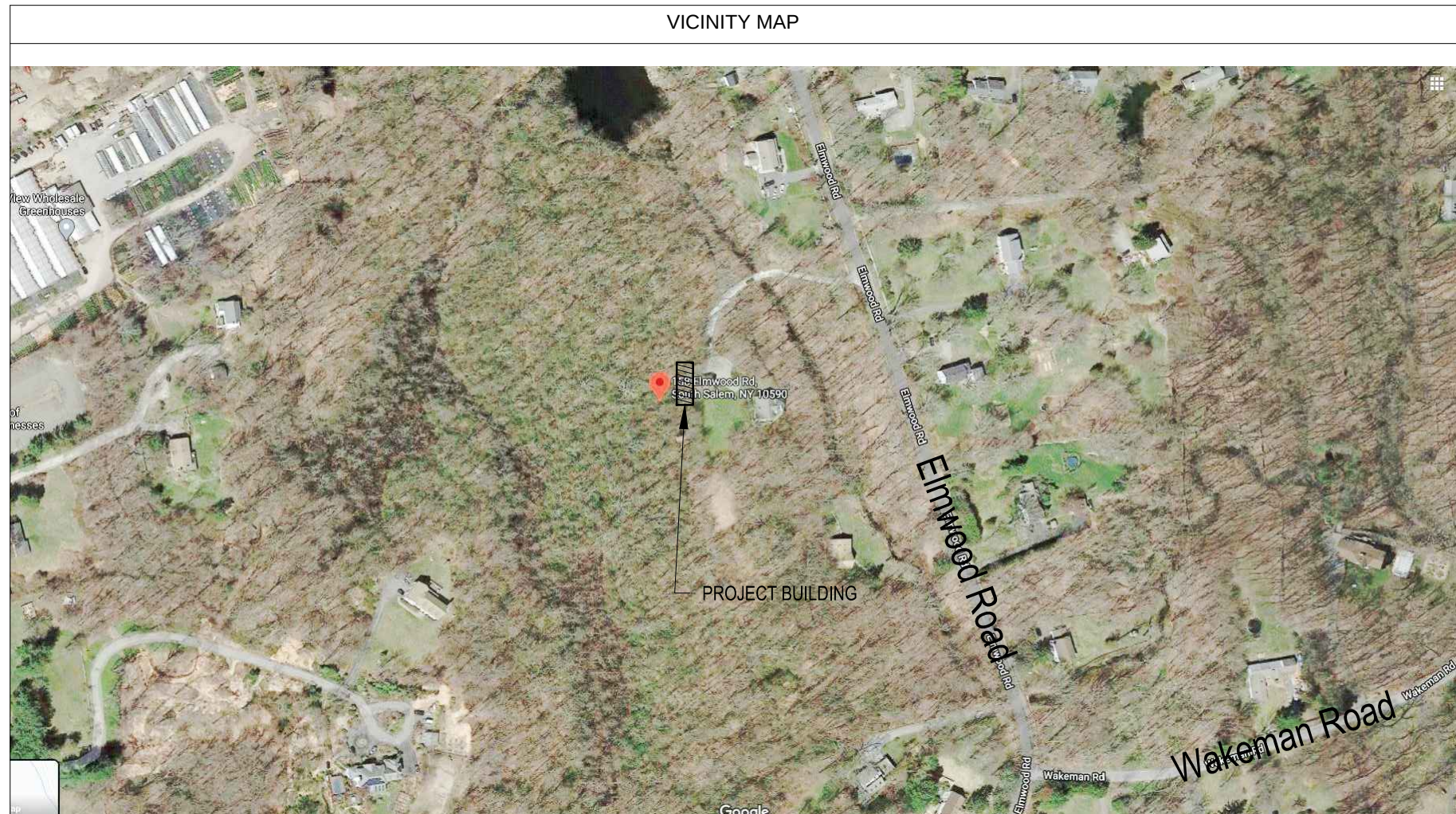
ACOUSTIC ENGINEER

JAFFE HOLDEN
Russell Cooper
114-A Washington Street
Norwalk, CT 06854
PH: 203.838.4167 X113

ARCHITECT

FAREWELL ARCHITECTS LLC
759 STATE ROAD
PRINCETON, NJ 08540

PH: 609.681.2484
EMAIL: CONTACT@FAREWELL-ARCHITECTS.COM



BUILDING PROPERTY INFORMATION	
LOT #	
BLOCK #	
LOT SIZE	
APPLICABLE CODES	
BOOK	EDITION
IBC	2018
IMC	2015
ASHRAE	90.1-2013
IECC	2015
ANSI	A117.1 - 2017
NJAC	5.23-6 & 7
NSPC	2015
NEC	2017
IFGC	2015
IPC	2015

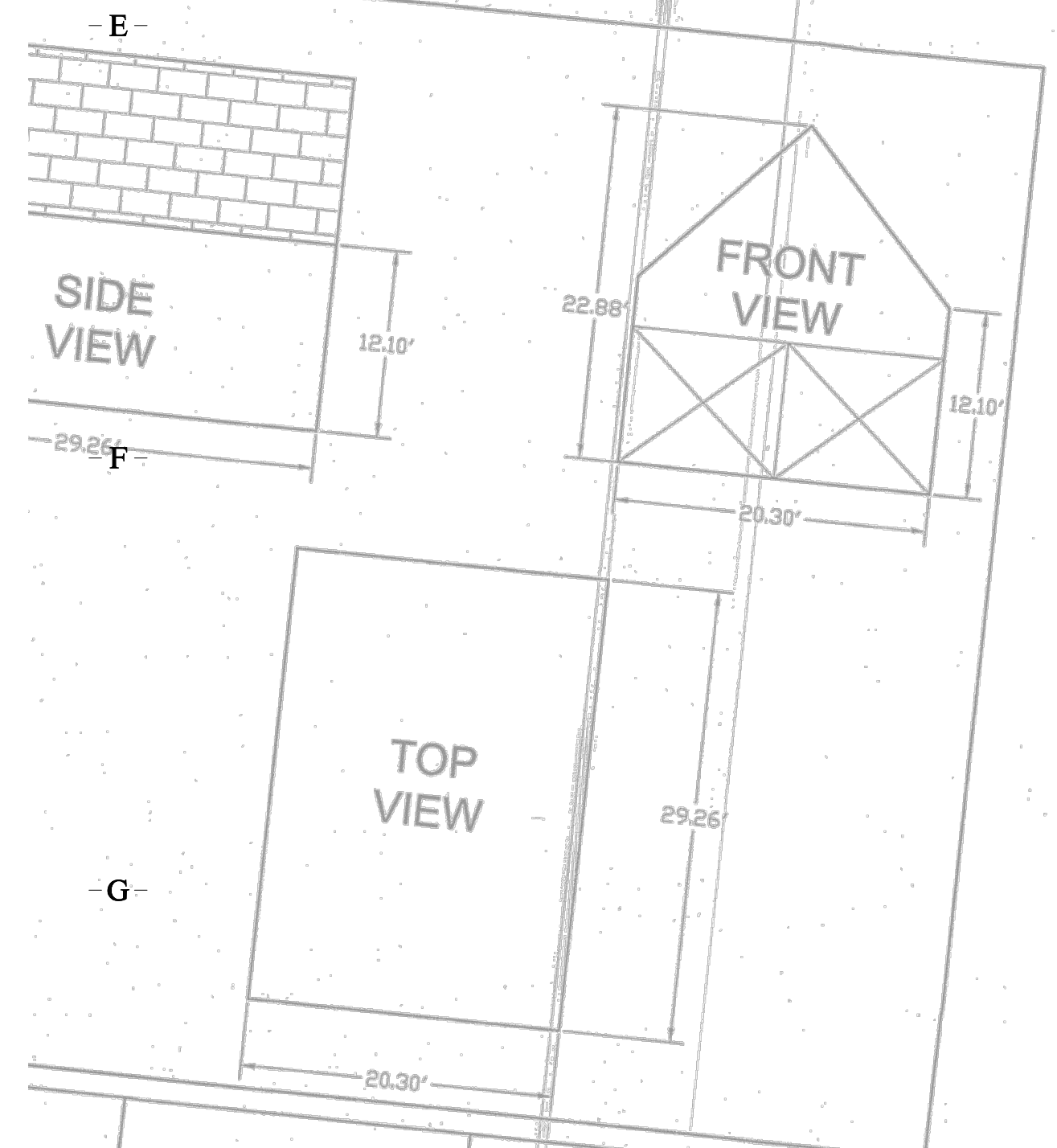
CONSTRUCTION PLAN LEGEND	
	FLOOR HEIGHT
	WALL TYPE TAG
	BUILDING SECTION TAG
	WALL SECTION TAG
	ELEVATION TAG
	ORIENTATION GRID
	REVISION VERSION TAG
	REVISION CLOUD
	DWG. TYPE - LOCATION SCALE = X-XXX" = X-XXX"
ROOM NUMBER ROOM TAG	
ROOM NAME ROOM TAG	
SQUARE FOOTAGE	

[illegible][illegible]



ZONING TABLE			
ZONING DISTRICT	R-2A		
LOT SIZE	6.71 ACRES = 292,288 SF		
METRIC	ALLOWABLE SF	EXIST. + PROPOSED SF	COMPLIES
BUILDING COVERAGE	26,306 (9% OF LOT)	3,751 (.01%)	YES

	ALLOWABLE SF	PROPOSED	COMPLIES
FRONT YARD SETBACK	65' CENTERLINE, 40' LOT LINE	347'	YES
SIDE YARD SETBACK	30'	153' (SOUTH), 124' (NORTH)	YES
REAR YARD SETBACK	50'	548'	YES
MAX. HEIGHT	20'-0"	23'-0"	NO



ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE IMPROVED SEAL OF THIS SURVEYOR WHOSE SIGNATURE APPEARS HEREON. THE CERTIFICATIONS HEREON ARE NOT TRANSFERABLE.

PREPARED BY LARRY L. LYNN, L.S., GERALD L. LYNN, LAND SURVEYOR, P.C., 1575 RTE. 57A, HARRINGTON HILLS, NY 10530, (914) 463-8750. BASED ON A FIELD SURVEY CONDUCTED BY DIRECT SUBORDINATE, DECEMBER 16, 2021.

1 SITE PLAN
SCALE: 1"=30'-0"

I HEREBY CERTIFY TO --
ADAM A. ...

NOTES:

Michael Farewell FAIA
NY - 028911

T 609-681-2484
F 609-681-2483
759 State Road
Princeton, NJ 08540
www.farewell-architects.com

**FAREWELL
ARCHITECTS LLC**

Drawn By
MTS

Checked By
MF

Date	Issue	No.
06/12/2021	REVIEW	0
07/22/2021	REVIEW	0
08/04/2021	REVIEW	0

Abeshouse Barn Addition

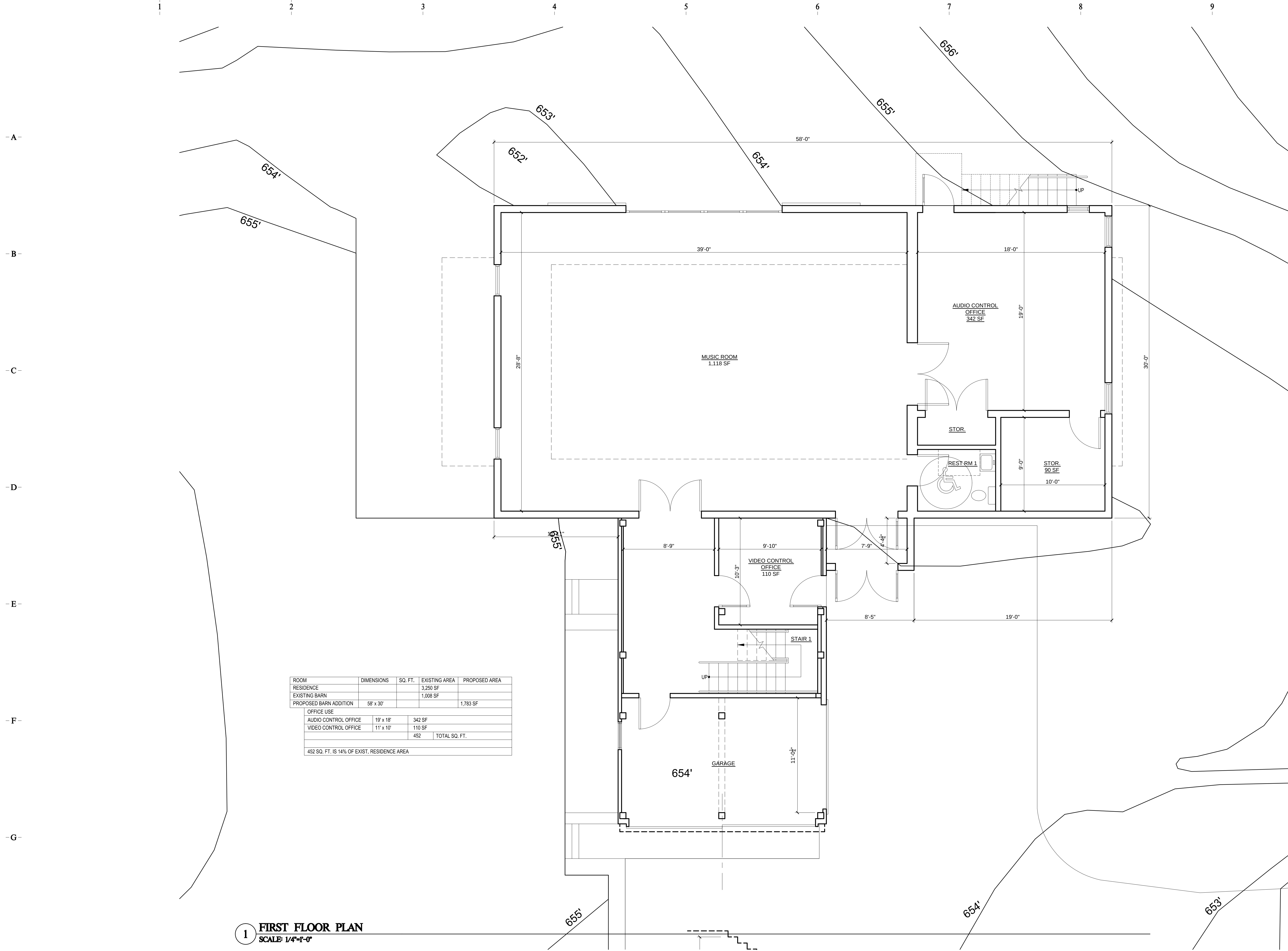
158 Elmwood Road
South Salem, NY, 10590

Project No 2101

Drawing Title
SITE PLAN

File Name
FILENAME

A000



1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

Michael Farewell FAIA
NY - 028911

T 609-681-2484
F 609-681-2483
759 State Road
Princeton, NJ 08540
www.farewell-architects.com

FAREWELL
ARCHITECTS LLC

Drawn By
MTS

Checked By
MF

Date	Issue	No.
06/12/2021	REVIEW	0
07/22/2021	REVIEW	0
08/04/2021	REVIEW	0

Project No 2101

Drawing Title
FIRST FLOOR PLAN

File Name
FILENAME

A101

Abeshouse Barn Addition
158 Elmwood Road
South Salem, NY, 10590

1

2

3

4

5

6

7

8

9

-A-

-B-

-C-

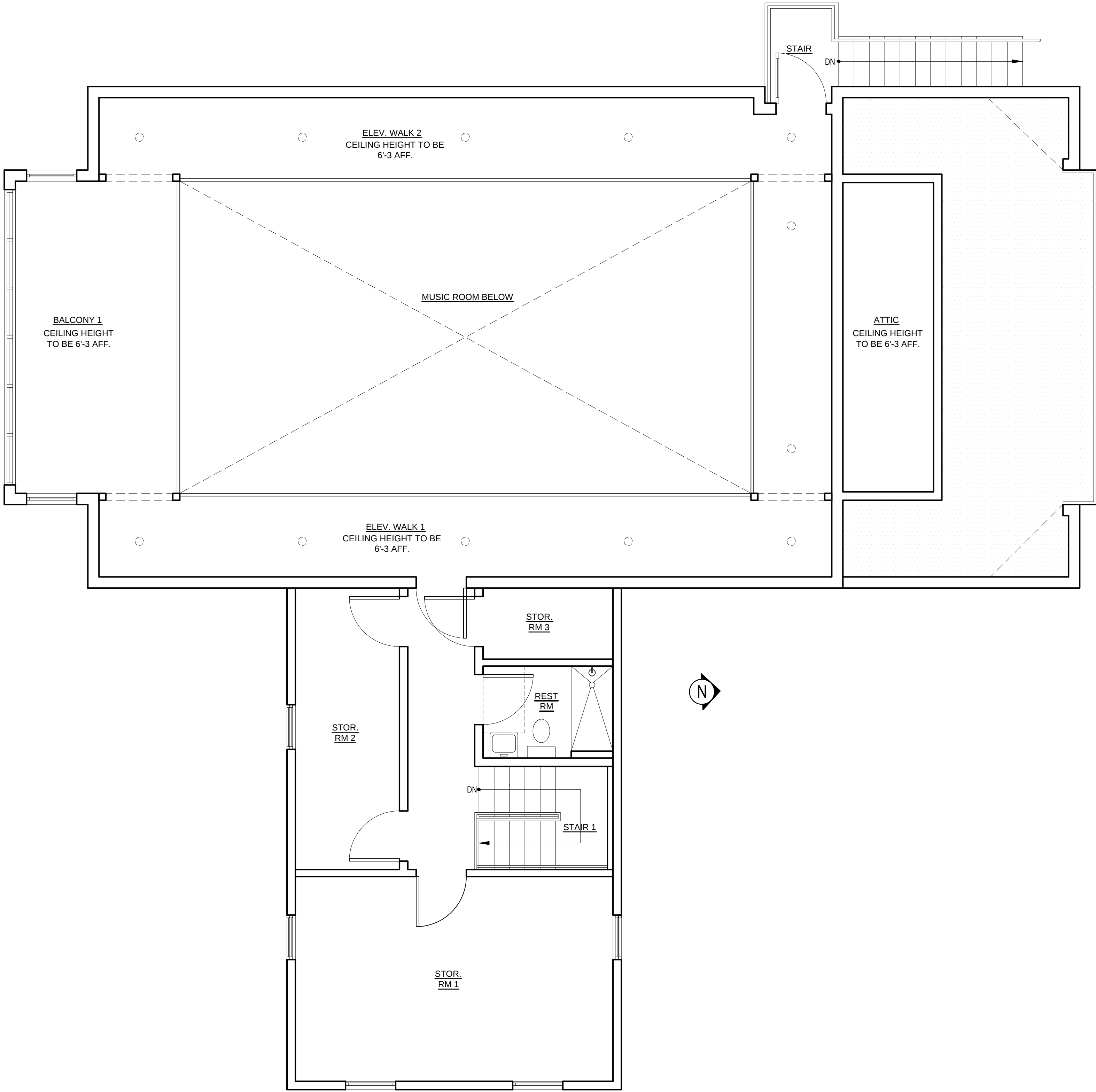
-D-

-E-

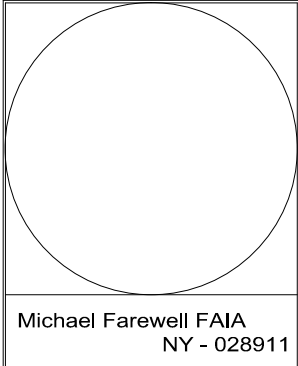
-F-

-G-

-H-



1 MEZZANINE FLOOR PLAN
SCALE: 1/4"=1'-0"



T 609-681-2484
F 609-681-2483
759 State Road
Princeton, NJ 08540
www.farewell-architects.com



Drawn By
MTS

Checked By
MF

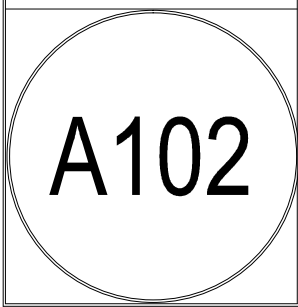
Date	Issue	No.
06/12/2021	REVIEW	0
07/22/2021	REVIEW	0
08/04/2021	REVIEW	0

Abeshouse Barn Addition
158 Elmwood Road
South Salem, NY, 10590

Project No 2101

Drawing Title
MEZZANINE
FLOOR PLAN

File Name
FILENAME



1 2 3 4 5 6 7 8 9

-A-

-B-

-C-

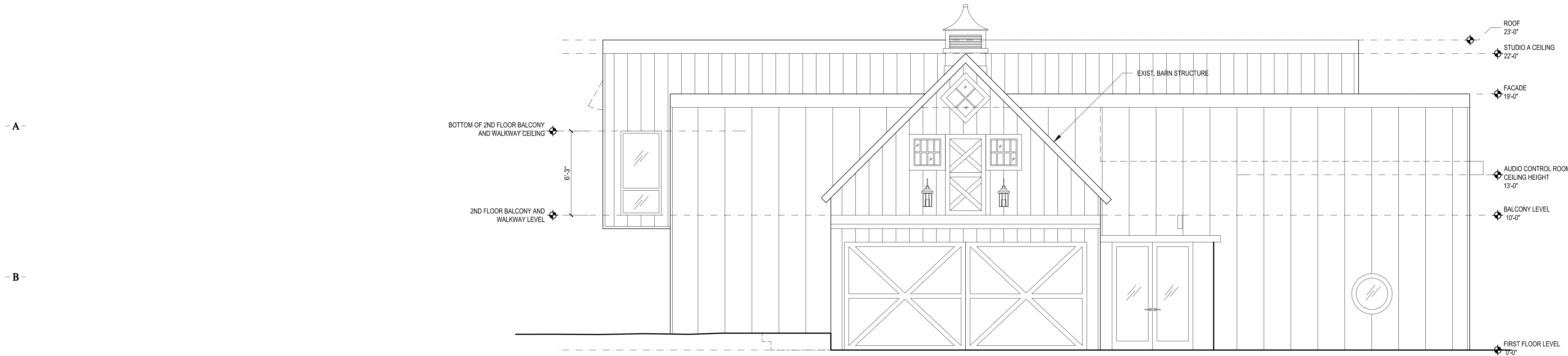
-D-

-E-

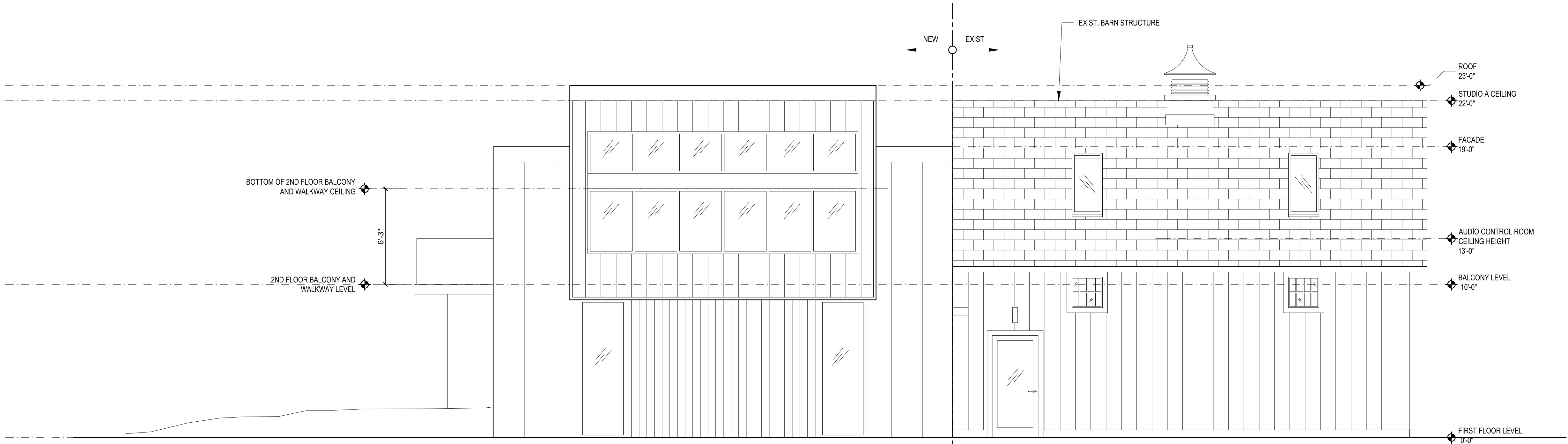
-F-

-G-

-H-



2 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



1 EAST ELEVATION
SCALE: 1/4"=1'-0"

Michael Farewell FAIA
NY - 028911

T 609-681-2484
F 609-681-2483
759 State Road
Princeton, NJ 08540
www.farewell-architects.com



Drawn By
MTS

Checked By
MF

Date	Issue	No.
06/12/2021	REVIEW	0
07/22/2021	REVIEW	0
08/04/2021	REVIEW	0

Abeshouse Barn Addition
158 Elmwood Road
South Salem, NY, 10590

Project No 2101

Drawing Title
EXTERIOR
ELEVATIONS

File Name
FILENAME

A200

1 2 3 4 5 6 7 8 9

-A-

-B-

-C-

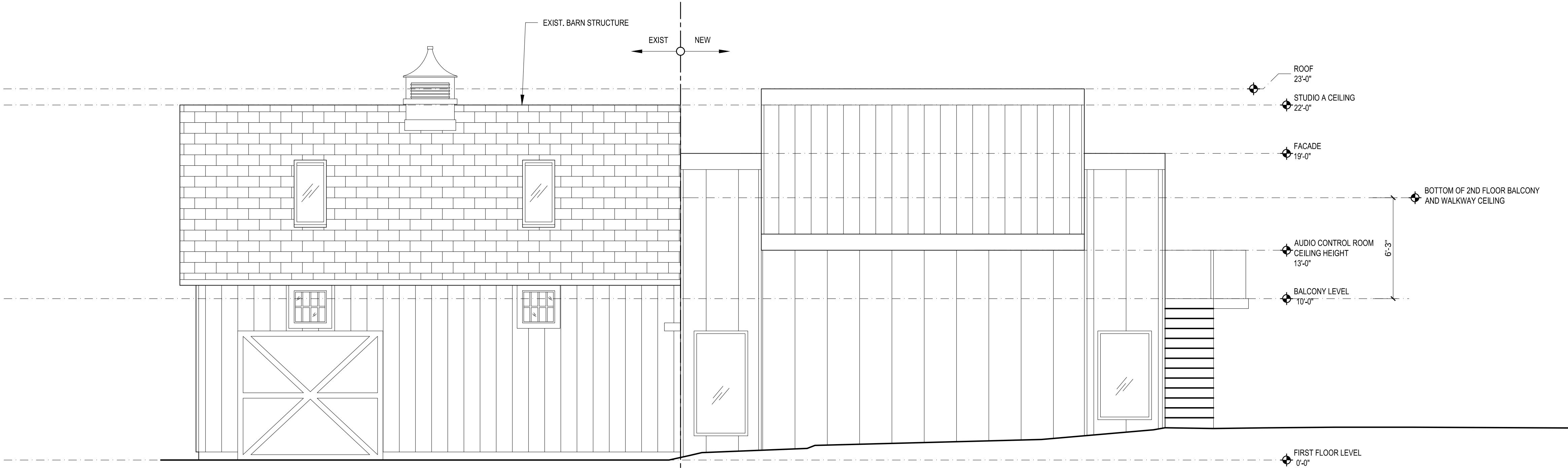
-D-

-E-

-F-

-G-

-H-



2 NORTH ELEVATION
SCALE: 1/4"=1'-0"



1 WEST ELEVATION
SCALE: 1/4"=1'-0"

Michael Farewell FAIA
NY - 028911

T 609-681-2484
F 609-681-2483
759 State Road
Princeton, NJ 08540
www.farewell-architects.com



Drawn By
MTS

Checked By
MF

Date	Issue	No.
06/12/2021	REVIEW	0
07/22/2021	REVIEW	0
08/04/2021	REVIEW	0

Abeshouse Barn Addition
158 Elmwood Road
South Salem, NY, 10590

Project No
2101

Drawing Title
EXTERIOR
ELEVATIONS

File Name
FILENAME

A201