

TOWN OF LEWISBORO
Westchester County, New York

Zoning Board of Appeals
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3822
Fax: (914) 533-0097
Email: zoning@Lewisborogov.com

AGENDA

Wednesday, September 29, 2021 7:30 P.M

**79 Bouton Road, South Salem,
Justice Court**

- I. Review and adoption of the Minutes of July and August 2021**
- II. PUBLIC HEARINGS**

CAL. NO. 02-21-SP

Application of Tomasina Buzzeo [Buzzio, Tomasina L. owner of record], 17 Orchard Drive, South Salem, NY for a renewal of a Special Permit pursuant to Article V, Section 220-38 of the Zoning Ordinance to allow the Storage of Contractor's Equipment.

The property is located on the east side of (#17) Orchard Drive, South Salem, NY designated on the Tax Map as Sheet 034A, Block 11827 Lot 009, in an R-1/2A, One- Half Acre Residential District consisting of approximately 0.844 acres.

CAL. NO. 04-21-SP

Application of Mel Donaton, [Donaton, Mel & Susan Ann, owner of record] 272 Smith Ridge Road, South Salem, NY 10590 for a renewal of a Special Permit pursuant to Article V, Section 220-38 of the Zoning Ordinance to allow the Storage of Contractor's Equipment.

The property is located on the west side of Smith Ridge Road, South Salem, designated on the Tax Map as Sheet 0046, Block 09827, Lot 073, in an R-4A, Four-Acre Residential District consisting of approximately 7.00 acres.

CAL. NO 22-21-BZ

Application of Ingrid Cochet [Cochet, Martin G. & Ingrid E., owner of record], 9 Gilbert Street, South Salem, NY for the following variances of the proposed new deck to their existing, non-conforming structure and are requesting a front yard setback of 13.8' whereas 25' is required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code, the proposed new deck to their existing, non-conforming structure and are requesting a front yard setback of 21.6' whereas 25' is required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code, proposed an addition to their existing, non-conforming structure and are requesting a front yard setback of 20.08' whereas 25' is required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code, proposed a new deck to their existing, non-conforming structure and are requesting a front yard setback to the center line of the street of 46.5' whereas 50' is required. per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#9) Gilbert Street, South Salem, designated on the Tax Map as Sheet 036F, Block 11166, Lot 066, in an R-1/4A, One- Quarter Acre Residential District, consisting of approximately .027 acres.

CAL. NO. 23-21-BZ

Application of Daniel Walsh [Walsh, Daniel H. owner of record], 428 Smith Ridge, South Salem, NY for the following variances for the proposed LP tanks which will have a north side yard setback of 13.96' whereas 30' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code, the proposed generator will have a north side yard setback of 11.9' whereas 30' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning.

The property is located on the east side of (#428) Smith Ridge Road, designated on the Tax Map as Sheet 049B Block 09831 Lot 018, in a 1-AC, One-Acre Residential District consisting of approximately 0.50 acres.

CAL. NO. 26-21-BZ

Application of Hogan and Rossi [Susan A. Landolt Living Trust, owner of record], 37 Bouton Road, South Salem, NY for the following variance of the proposed generator and an above ground propane tank on their property and are requesting a front yard setback of 35' whereas 50' is required and a rear yard setback of 25' whereas 50' is required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the south side of (#37) Bouton Road, South Salem, NY designated on the Tax Map as Sheet 0026, Block 10805 Lot 004, in an SCR-2A, Special Character Two-Acre Residential District consisting of approximately 4.020 acres.

CAL. NO. 27-21-BZ

Application of Vincent Masi, [Masi, Vincent, owner of record], 5 Scenic Drive, South Salem, NY for the following variance of the deck which has an eastern rear yard setback of 25.5' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the east side of (#5) Scenic Drive, South Salem, NY designated on the Tax Map as Sheet 049B, Block 09831 Lot 086, in an R-1A, One-Acre Residential District consisting of approximately 1.07 acres.

CAL. NO. 28-21-BZ

Application of Patrick Moore [Moore, Patrick Ryan & Loudon, Mary Ann, owner of record], 51 Grandview Road, South Salem, NY for the following variance of the proposed fence 6' high whereas 4' is the maximum permitted per Article III, Section 220-12E(1).

The property is located on the east side of (#51) Grandview Road, South Salem, NY designated on the Tax Map as Sheet 045F, Block 10273 Lot 017, in a R-1/2A, Half-Acre Residential District consisting of approximately 0.349 acres.

CAL. NO. 17-21-BZ

Application of Adam Abeshouse [Abeshouse Productions LLC owner of record], 158 Elmwood Road, South Salem, NY for variances in the matter of the proposed addition to an existing accessory structure with a floor area of 875 square feet will increase the floor area to a total of 3,949 square feet whereas 600 square feet is the maximum permitted per Article IV Section 220-23D (11) of the Town of Lewisboro Zoning Code; and that will have a height of 23' whereas 20' is the maximum permitted per Article I Section 220-2 of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#158) Elmwood Road, designated on the Tax Map as Sheet 0044, Block 10056, Lot 043, in an SCR-2AC, Special Character District, Two- Acre Residential District consisting of approximately 6.71 acres.

III. CORRESPONDENCE & GENERAL BUSINESS

(914) 763-3822
FAX (914) 875-9148
TTY 800-662-1220
Email: zoning@lewisborogov.com
www.lewisborogov.com



TOWN OF LEWISBORO
Zoning Department
79 Bouton Road
South Salem, NY 10590

TOWN OF LEWISBORO, WESTCHESTER COUNTY

ZONING DEPARTMENT

ZONING BOARD OF APPEALS – September 29, 2021

<u>APPLICANT</u>	<u>CAL #</u>	<u>PAGE(S)</u>
Buzzeo	02-21-SP	4 to 11
Donaton	04-21-SP	12 to 19
Cochet	22-21-BZ	20 to 23
Walsh	23-21-BZ	24
Hogan & Rossi / Landolt	26-21-BZ	25 to 32
Masi	27-21-BZ	33 to 38
Moore	28-21-BZ	39 to 42
Abeshouse	17-21-BZ	42 to 52

Special Permit Inspection Form For Renewal

Date of Inspection: 8/17/2021 **Date of ZBA Request:** 8/25/2021
[Explanation of Renewal of Special Permit included on attached Memorandum]

Sheet No.:

34A

Block No.:

11827

Lot No.:

9

Phone No.:

914-763-3070

Name of Owner:

Tomasina Buzzco

Address:

17 Orchard Drive
South Salem NY 10590

Comments:

Site walk complete
attached are images from the
property.

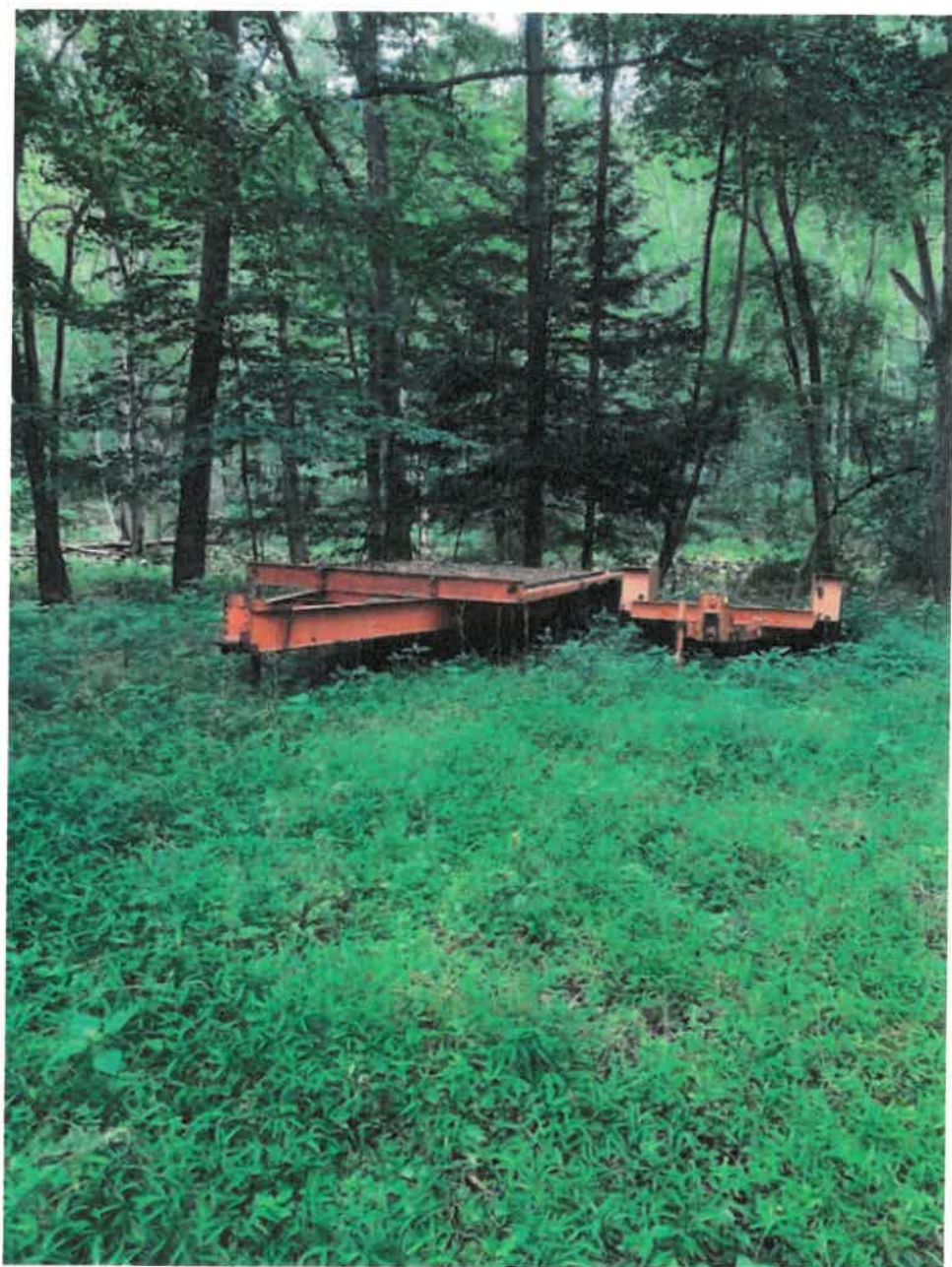
Inspected by:

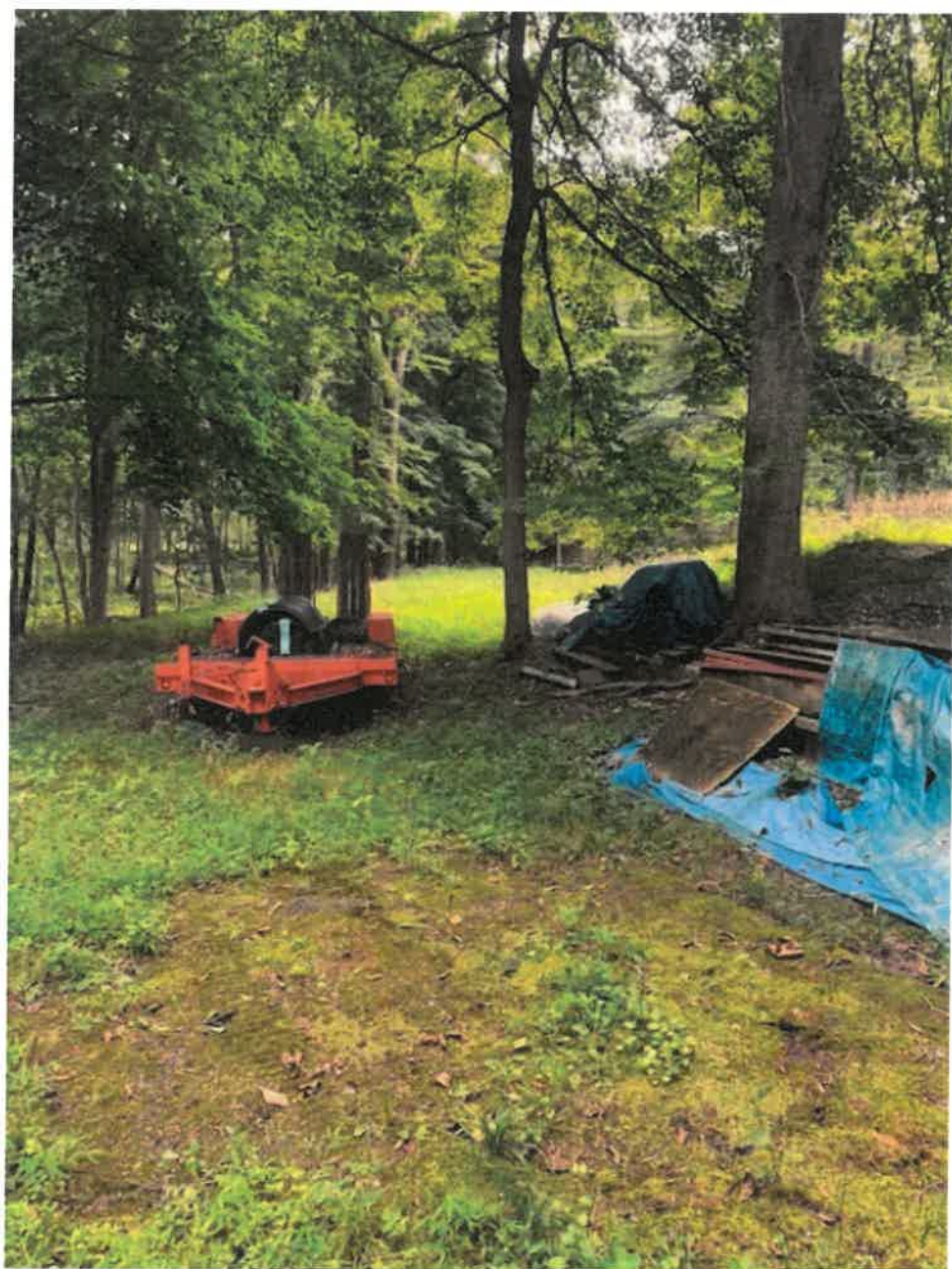

Building Inspector
Deputy Building Inspector













September 21, 2021



MARIO A. BUZZEO CONST. CO. INC
17 ORCHARD DRIVE
SOUTH SALEM, NY 10590

2021 LIST OF EQUIPMENT ON SITE

Two Trailers

One Peterbuilt tractor

One Track loader

One Loader/backhoe

Special Permit Inspection Form For Renewal

Date of Inspection: 9/9/2001

Date of ZBA Request: 9/29/2001

[Explanation of Renewal of Special Permit included on
attached Memorandum]

Sheet No.:

46

Block No.:

9827

Lot No.:

73

Phone No.:

914-533-6652

Name of Owner:

Donaten, Mel + Susan

Address:

272 Smith Ridge Road
South Salem, NY 10590

Comments:

- Yard mostly maintained
- List of equipment provided
by owner.

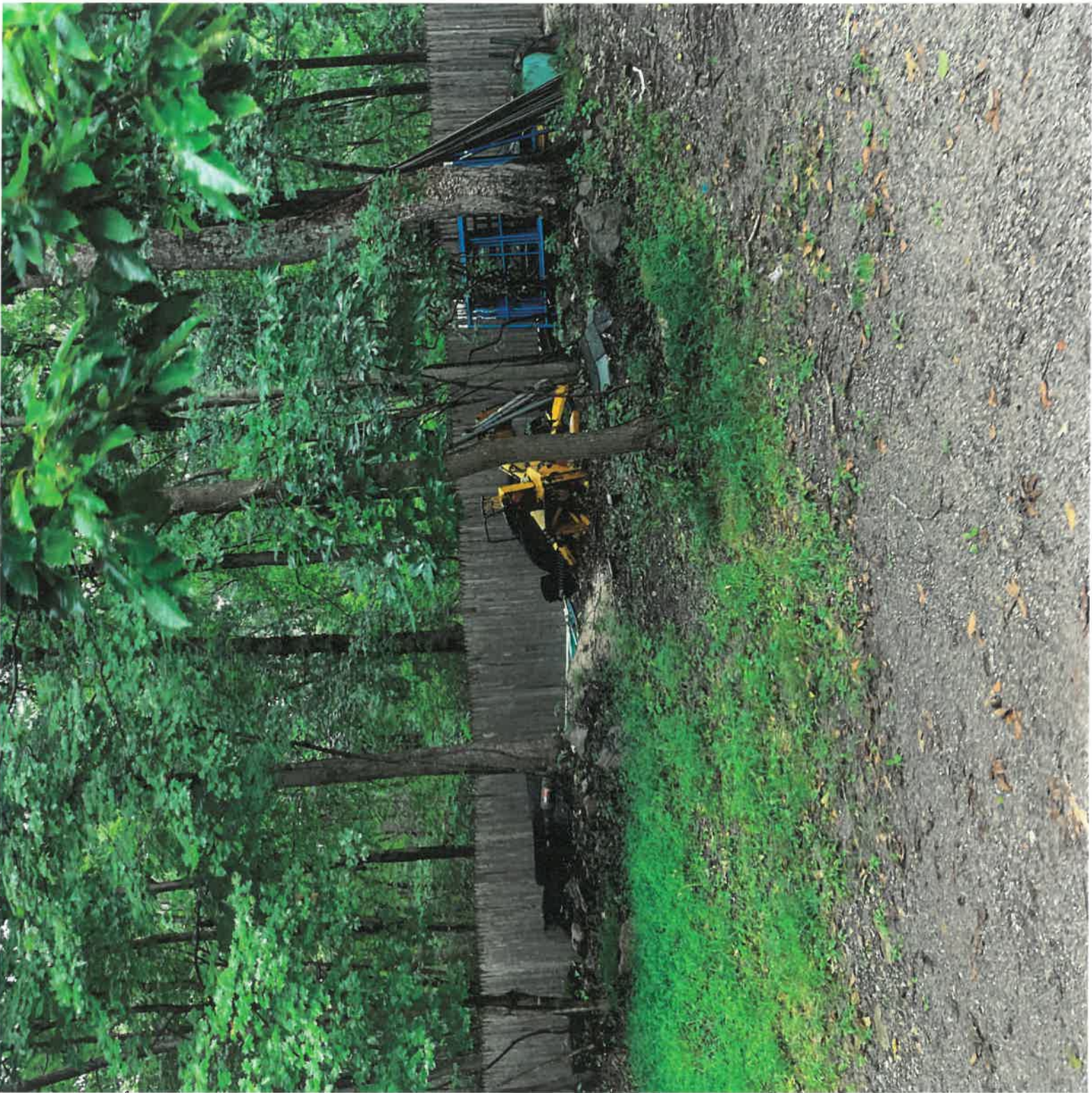
Inspected by:


Building Inspector
Deputy Building Inspector













CAL. NO. 04-21-SP

Donaton

Equipment

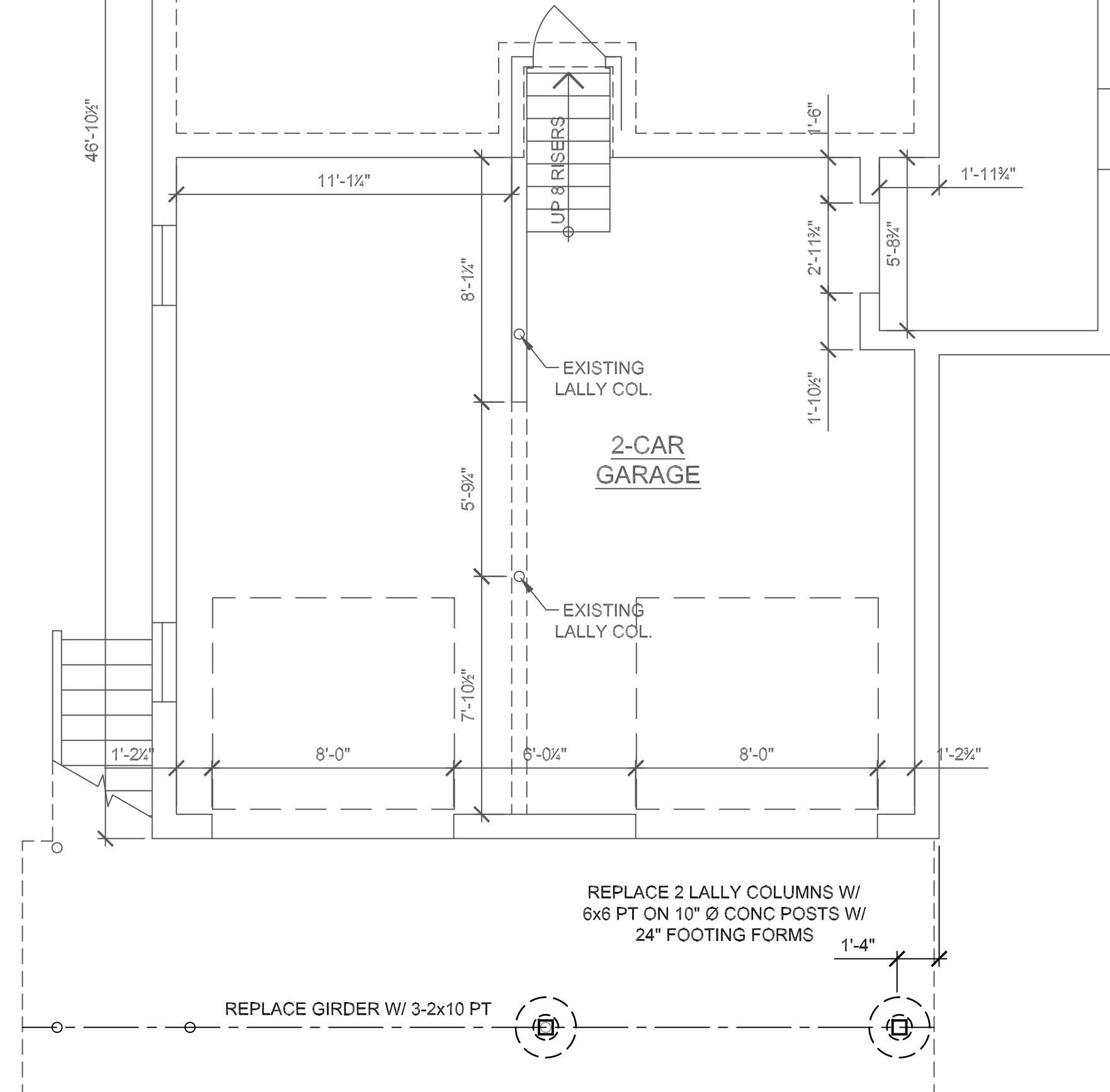
2017 mini excavator-weight 10,000

2021 skid steer-weight 10,000

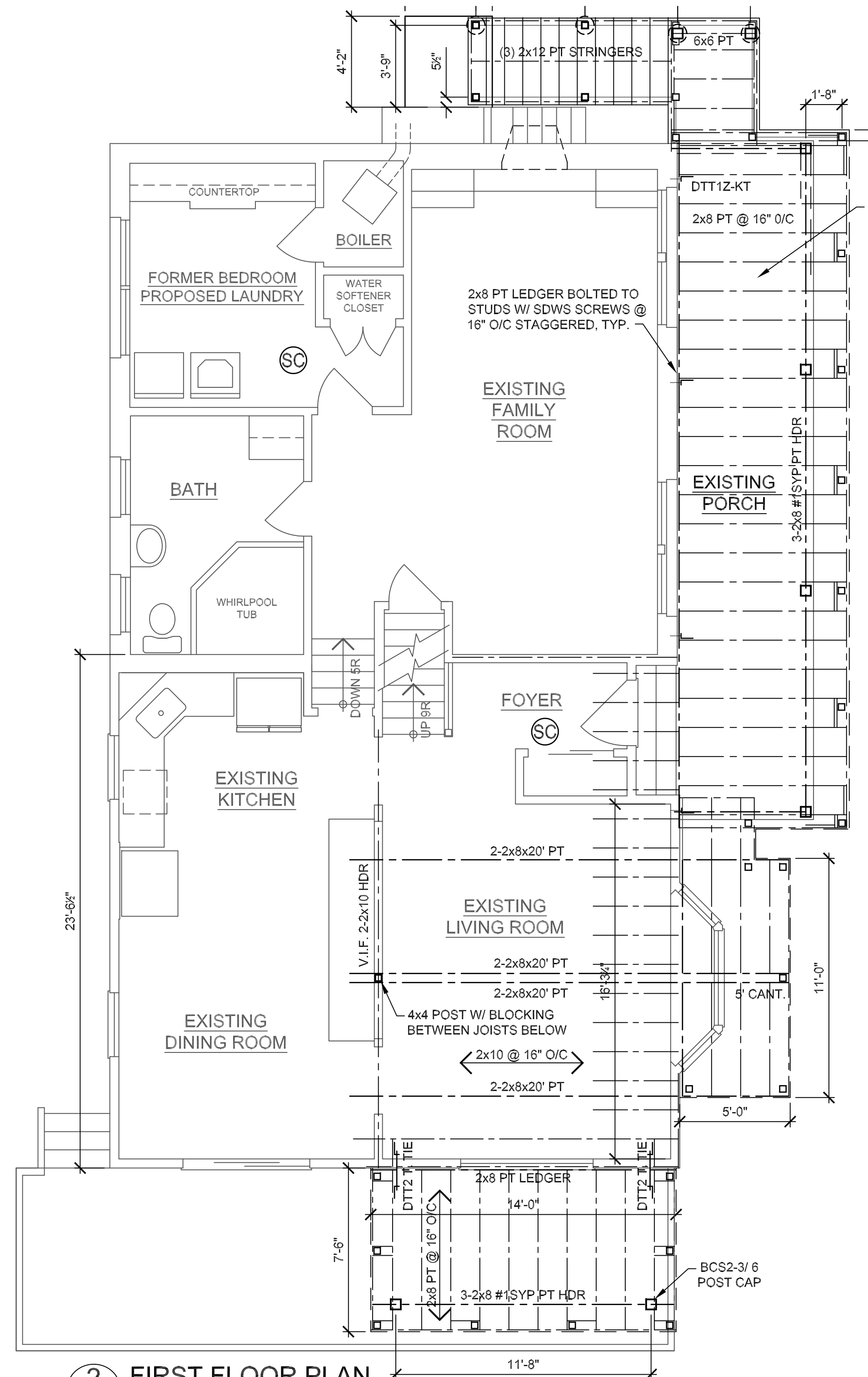
1998 backhoe-weight 14,500

2018 Chevy dump 3500

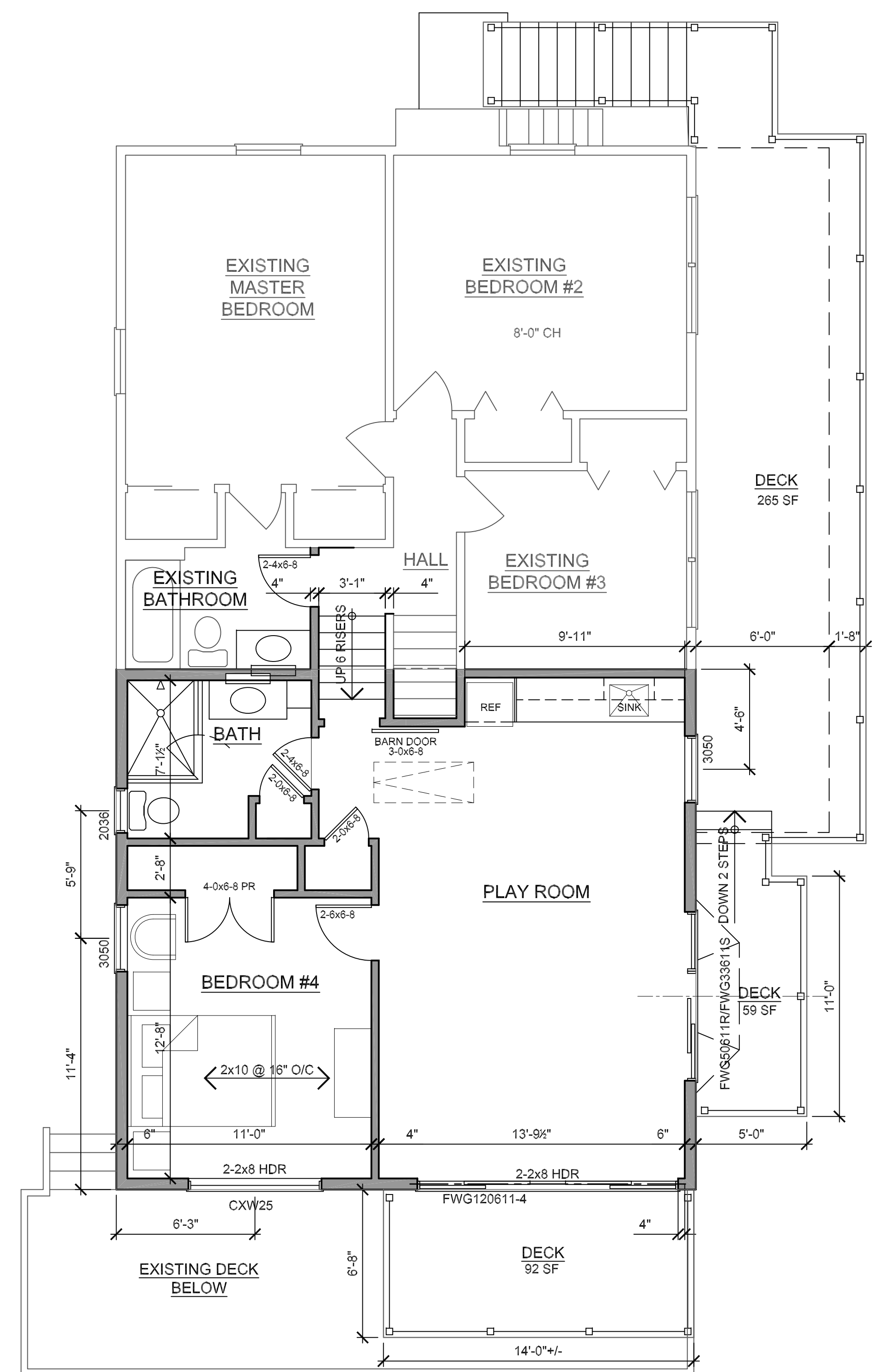
- | | |
|------|-------------------------|
| PT | PRESSURE TREATED |
| T.O. | TRIMMED (CASED) OPENING |
| R.O. | ROUGH OPENING |
| PD | POCKET DOOR |
| EX | EXISTING |
| FPSC | FIRE PROOF SELF-CLOSING |



3 BASEMENT PLAN
A-2 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
A-2 SCALE: 1/4" = 1'-0"



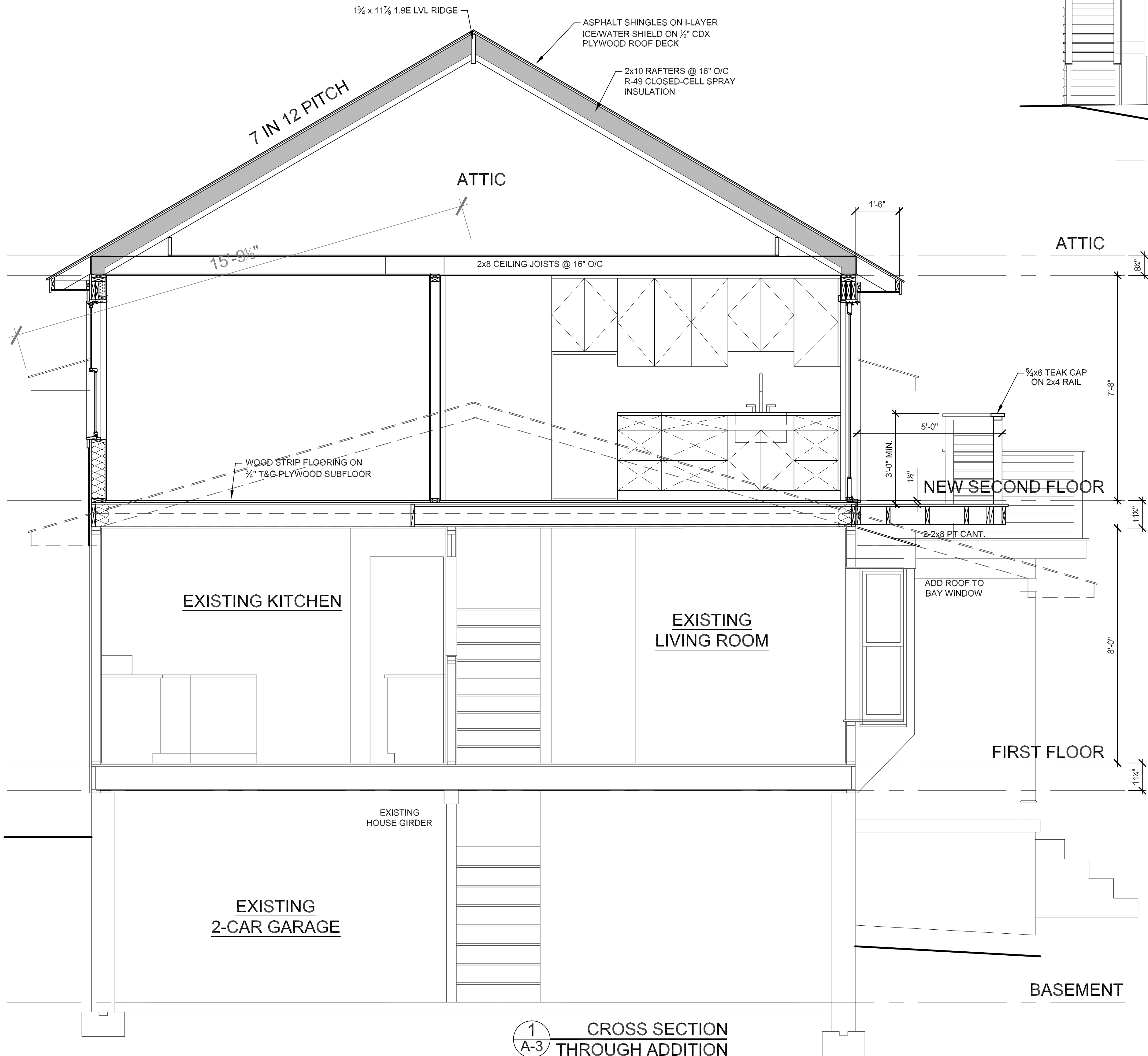
1 SECOND FLOOR PLAN
A-2 SCALE: 1/4" = 1'-0"

DECK CONNECTORS	
6x6 POST BASE	ABU6EZ
4x4 POST BASE	ABU44Z
6x6 POST CAP TO 6x6	BC6
6x6 POST CAP TO 3-2x	BCS2-3/ 6
RAFTERS TO WALL PLATE	H2.5T OR EQUAL
DECK JOIST HANGERS	LU28
DECK TENSION TIES	2-DTT2Z OR DTT1Z-KT

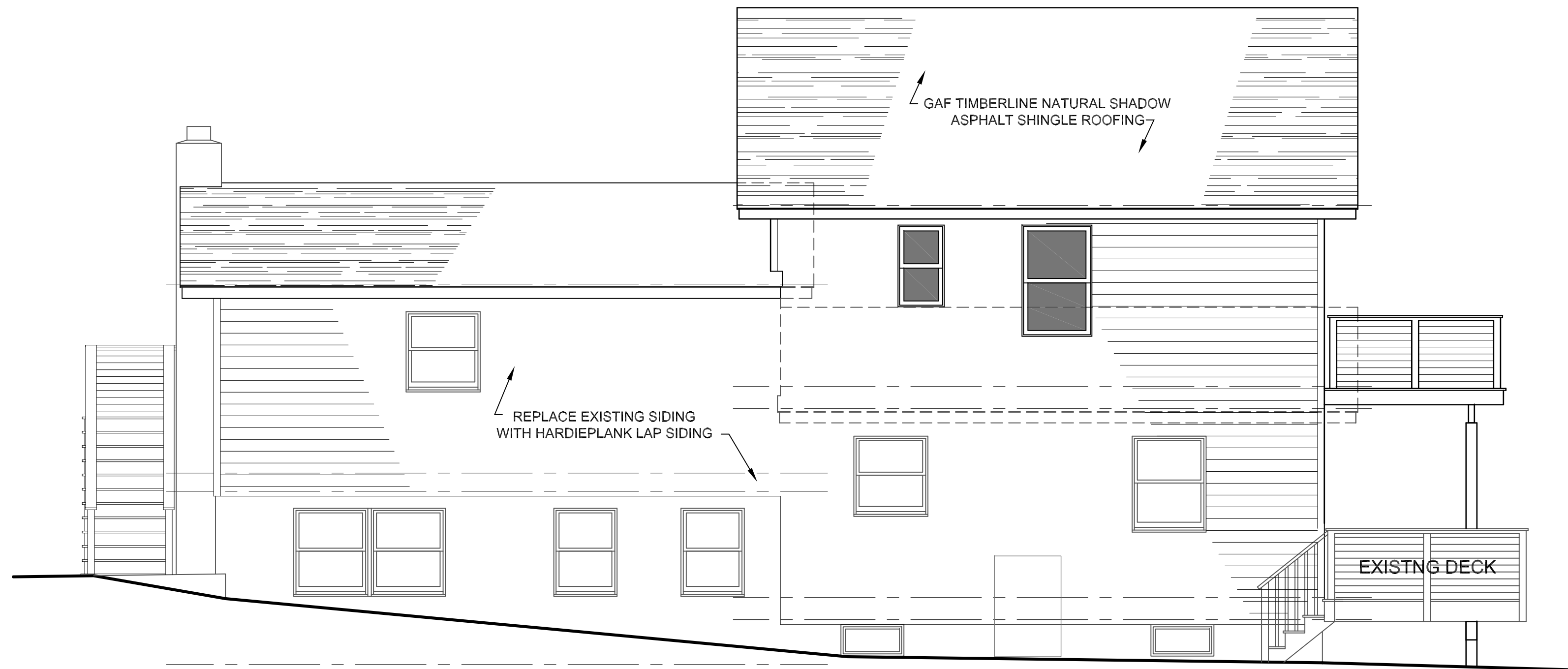
TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
(IN POUNDS PER SQUARE FOOT)

USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE <42"HT	10
UNINHABITABLE ATTICS WITH LIMITED STORAGE >42" HT	20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECKS	40
FIRE ESCAPES	40
GUARDS AND HANDRAILS	200H
GUARD IN-FILL COMPONENTS	50H
PASSENGER VEHICLE GARAGES	50A
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40
SNOW LOAD	30

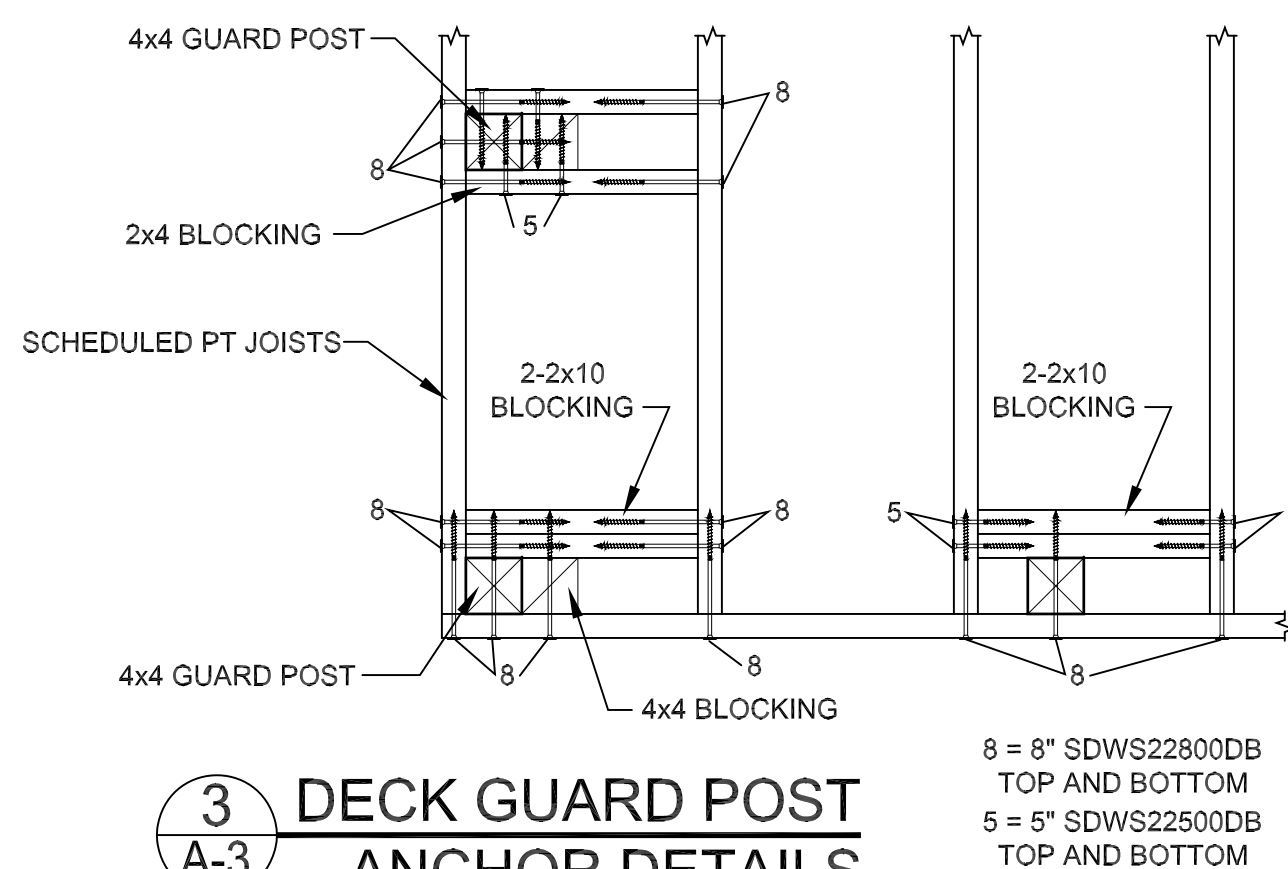
			<p>PAUL DENNIS, A.I.A. ARCHITECTS 26 GILBERT STREET, SOUTH SALEM, NY 10590 914-763-0959 pauldennis.architects@gmail.com</p>		<p>TITLE BASEMENT, FIRST & SECOND FLOOR PLANS</p>	
			<p>ALTERATION AND ADDITION TO COCHET HOUSE 9 GILBERT STREET SOUTH SALEM, NY 10590</p>		<p>DATE MARCH 31, 2021</p>	
					<p>SCALE 1/4" = 1'-0"; U.O.N.</p>	
					<p>DRAWN BY PDI/LP</p>	
					<p>CHECKED BY</p>	
<p>1 FILING 4/25/2021</p>					<p>JOB 2251 DRAWING #</p>	
<p># ISSUE DATE</p>					<p>SHEET 1 OF A-2</p>	



1 CROSS SECTION
A-3 THROUGH ADDITION
SCALE: 1/2" = 1'-0"



2 WEST (SIDE) ELEVATION
A-3
SCALE: 1/2" = 1'-0"



3 DECK GUARD POST
A-3 ANCHOR DETAILS
SCALE: 1" = 1'-0"

INSULATION NOTES:

- WHERE SPRAY FOAM INSULATION IS INSTALLED, APPLY CLOSED-CELL FOAM OF SUFFICIENT THICKNESS TO COMPLY WITH TABLE 402.1.2. APPLY WITHIN EXTERIOR STUD WALL VOIDS, AT RIM JOISTS, BETWEEN JOISTS OVER UNHEATED SPACE AND TO UNDERSIDE OF ROOF DECK BETWEEN RAFTERS TO MAINTAIN A CONTINUOUS THERMAL ENVELOPE. IF SPRAY FOAM INSULATION IS USED, DO NOT INSTALL SOFFIT VENTS, GABLE VENTS OR LPI BLOCKING BELOW UNINSULATED WALLS.
- WHERE COMBUSTIBLE SPRAY FOAM IS EXPOSED, COVER WITH 1/2" DRYWALL. WHERE COMBUSTIBLE FINISH MATERIALS ARE USED, PROTECT INSULATION WITH INTUMESCENT SPRAY FIREPROOF COATING OR DRYWALL BELOW FINISH MATERIALS.

			PAUL DENNIS, A.I.A. ARCHITECTS 26 GILBERT STREET, SOUTH SALEM, NY 10590 914-763-0959 pauldennis.architects@gmail.com		TITLE CROSS SECTION WEST ELEVATION DETAILS
1	FILING	4/25/2021	ALTERATION AND ADDITION TO COCHET HOUSE 9 GILBERT STREET SOUTH SALEM, NY 10590		DATE MARCH 31, 2021
#	ISSUE	DATE			SCALE 1/4" = 1'-0", U.O.N.
					DRAWN BY PD/LP
					CHECKED BY
					JOB 2251
					DRAWING # A-3
					SHEET 1 OF

ELECTRICAL LEGEND	
	INCANDESCENT WALL SCONCE
	INCANDESCENT DOWNLIGHT
	INCANDESCENT ADJUSTABLE ACCENT LIGHT
	LED STRIP LIGHT
	DECORATIVE FIXTURE, FURNISHED BY OWNER
	DUPLEX OUTLET
	DUPLEX OUTLET/ GROUND FAULT INTERRUPTOR
	SIMPLEX OUTLET
	TV ANTENNA/CTV OUTLET
	TELEPHONE OUTLET
	COMBINATION TV/ DATA OUTLET
	PROGRAMMABLE THERMOSTAT
	3-WAY LIGHT SWITCH
	LIGHT SWITCH
	DIMMER SWITCH
	SMOKE DETECTOR, HARDWIRE/ BATTERY BACK-UP
	HEAT DETECTOR/ THERMAL SHUT-OFF
	SMOKE/ CO DETECTOR, DIGITAL READOUT
	J BOX
	WEATHERPROOF FLOODLIGHT
	KEY SWITCH
	PUSH BUTTON
	DOOR BELL
	JAMB SWITCH
	WEATHERPROOF
	EXISTING TO REMAIN

LIGHT FIXTURE SCHEDULE	
F-1	4" HALO RECESSED MEDIUM BASE DOWNLIGHT, IC RATED LED 800 LUMEN 3000K BULB 9W SPECULAR SILVER CONE
F-2	DECORATIVE CEILING FIXTURE 15W, FURNISHED BY OWNER
F-3	NOT USED
F-4	3" LED GIMBAL, COMMERCIAL ELECTRIC #91272 400 LUMENS, 3000K, 5.5W
F-5	LED DECORATIVE VANITY LIGHT 15W, FURNISHED BY OWNER
F-6	EXHAUST FAN, PANASONIC WHISPERFIT 110CFM
F-7	4" RECESSED LED DOWNLIGHT, #4055 TRIM, WET LOCATION
F-8	DECORATIVE EXTERIOR WALL SCONCE, FURNISHED BY OWNER
F-9	MINKA AIRE LIGHT WAVE SILVER LED CEILING FAN
F-10	LITHONIA FMMCL 840 PIRM4 MOTION SENSOR CLOSET LIGHT
F-11	CERAMIC BASE UTILITY LIGHT, LED BULB 1500 LUMENS, 15W

ELECTRICAL SCOPE OF WORK:

- ELECTRICAL CONTRACTOR TO PROVIDE ALL ELECTRICAL WORK SHOWN ON THE DRAWINGS AND AS OTHERWISE NECESSARY FOR A COMPLETE AND FUNCTIONING INSTALLATION. INCLUDING ANY PANELS, BREAKERS AND OTHER DEVICES NECESSARY.

ELECTRICAL NOTES:

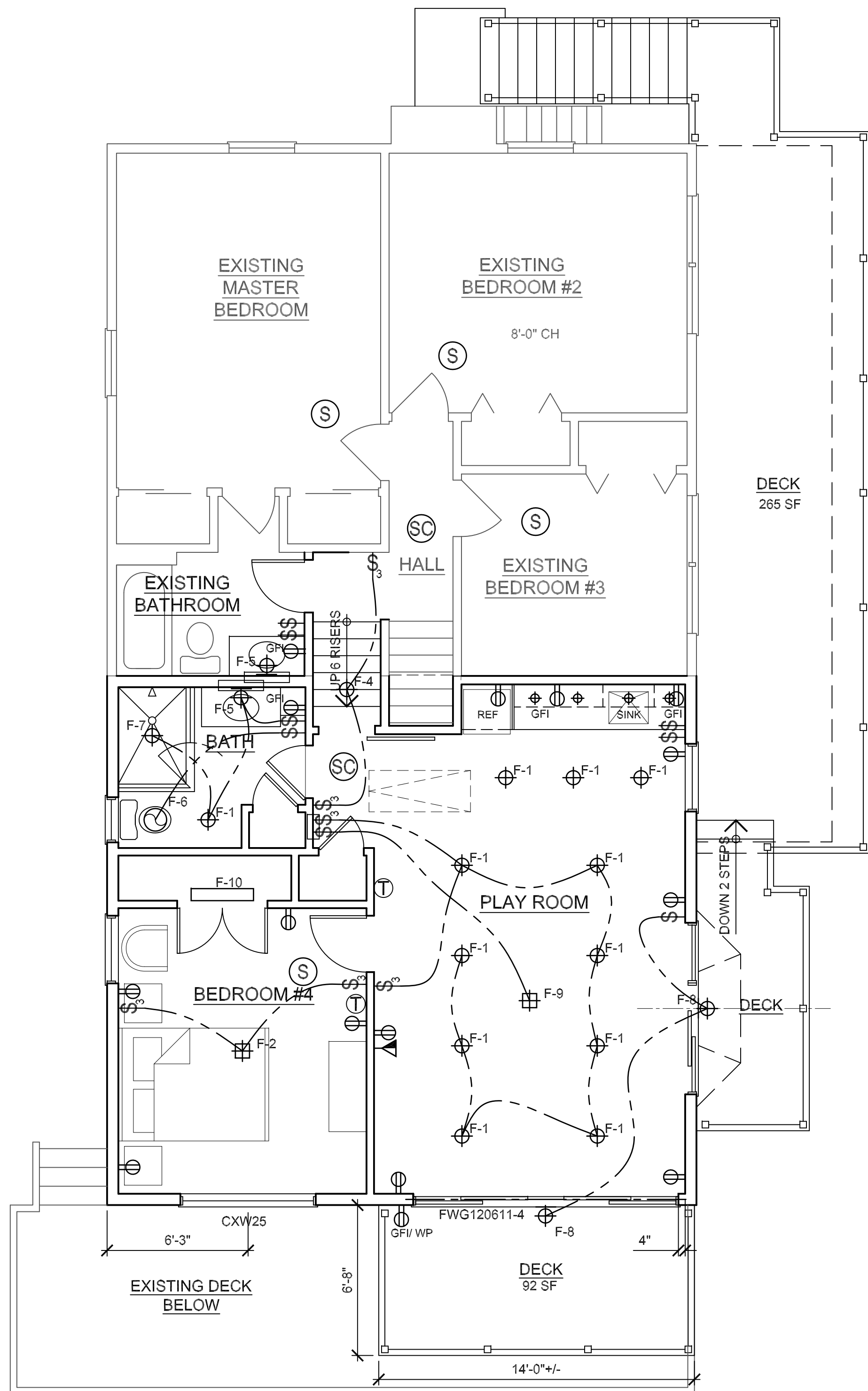
- ALL WORK TO COMPLY WITH THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE.
- ALL LIGHT FIXTURES, ELECTRICAL DEVICES AND EQUIPMENT TO BE UL RATED. INITIAL LAMPING (EXCEPT FIXTURES FURNISHED BY OWNER) BY ELECTRICAL CONTRACTOR.
- ALL SMOKE AND CO DETECTORS TO BE HARD WIRED AND INTERCONNECTED PER NYS CODE. COORDINATE WITH ALARM SYSTEM VENDOR AND DELETE DETECTORS WHERE INSTALLED BY ALARM SYSTEM.
- UNLESS OTHERWISE NOTED: OUTLETS IN LIVING AREAS TO BE LOCATED NOT MORE THAN 12'-0" O/C. OUTLETS AT KITCHEN TO BE NOT MORE THAN 4'-0" O/C. 44" AFF TO CENTER OF DEVICE. OTHER OUTLETS TO BE 16" AFF. SWITCHES TO BE 48" AFF. THERMOSTAT TO BE 60" AFF. SCONCES TO BE 68" AFF. OUTLET AT WASHER AND DRYER TO BE 48" AFF.

HEATING, VENTILATING, AIR CONDITIONING SCOPE OF WORK

- NEW SECOND FLOOR IS TO BE SERVED BY A HIGH-EFFICIENCY HEAT PUMP WITH AN INVERTER VRF COMPRESSOR AND HORIZONTAL DUCTED FAN-COIL INDOOR UNITS WITH ZONING BOXES AND CONTROL BOARDS LOCATED IN THE ATTIC. PROVIDE UNITS MANUFACTURED BY DAIKIN, MITSUBISHI/TRANE OR GREE. HEAT PUMPS SHALL BE RATED AT NOT LESS THAN 16 S.E.E.R. AND 9 HSPF. OUTDOOR UNITS ARE TO BE PAD MOUNTED IN LOCATIONS INDICATED.
- MANUAL J HEATING AND COOLING LOADS ARE INDICATED ON THE ELECTRICAL PLANS.
- PROVIDE 4" VENT DUCT TO EXTERIOR FOR DRYER. DO NOT VENT OR EXHAUST TO FRONT OF HOUSE.
- ALL PIPING TO BE HAVE R3 INSULATION. ALL DUCTWORK LOCATED OUTSIDE THE THERMAL ENVELOPE TO HAVE R8 INSULATION.

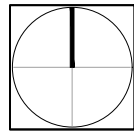
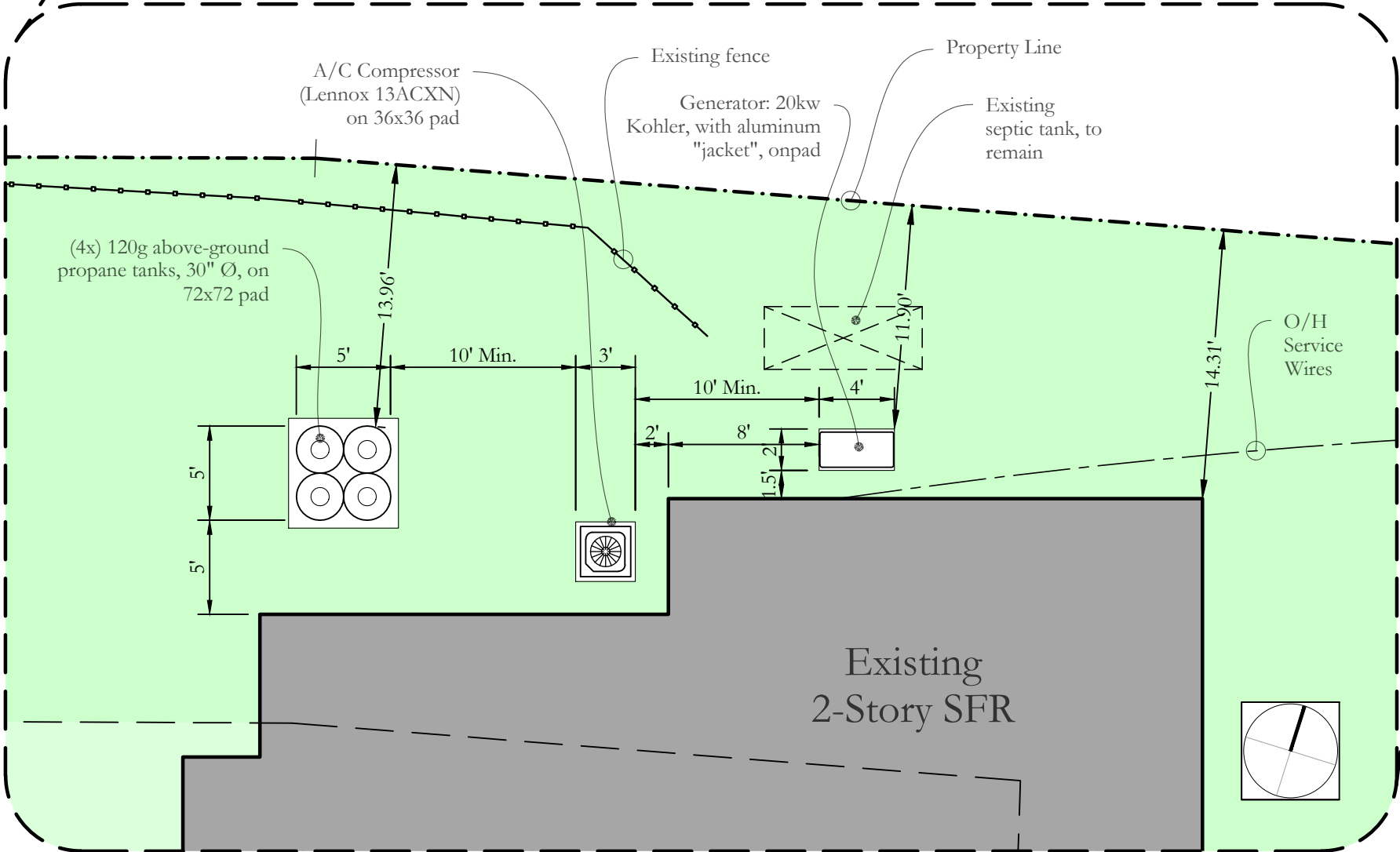
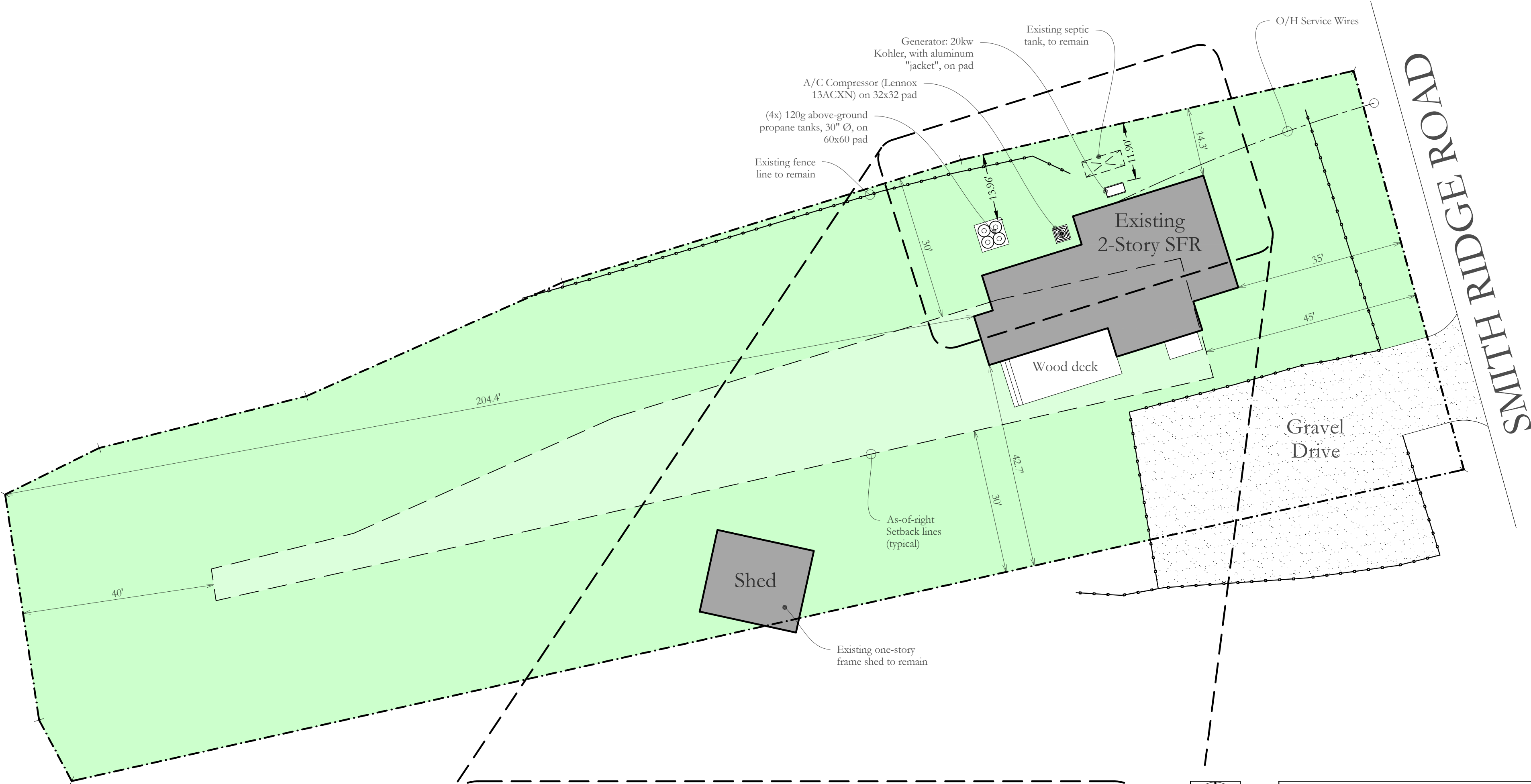
PLUMBING SCOPE OF WORK:

- PLUMBING CONTRACTOR TO PROVIDE ALL PLUMBING WORK SHOWN ON THE PLANS, INCLUDING BUT NOT LIMITED TO: NEW SECOND FLOOR BATHROOM AND SINK, REPLACE VANITY IN FIRST FLOOR BATHROOM, PROVIDE WASHER BOX AT LAUNDRY ROOM.
- INSULATE ALL WATER SUPPLY PIPING WITH SELF-SEALING R3 PIPE INSULATION.



1 SECOND FLOOR
A-2 ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

			PAUL DENNIS, A.I.A. ARCHITECTS 26 GILBERT STREET, SOUTH SALEM, NY 10590 914-763-0959 pauldennis.architects@gmail.com	TITLE ELECTRICAL PLAN MEP NOTES LEGEND, SCHEDULE	
1	FILING	4/25/2021			
#	ISSUE	DATE			
			ALTERATION AND ADDITION TO COCHET HOUSE 9 GILBERT STREET SOUTH SALEM, NY 10590	DATE	MARCH 31, 2021
				SCALE	1/4" = 1'-0", U.O.N.
				DRAWN BY	PD/LP
				CHECKED BY	
				JOB	2251
SHEET 1 OF					
PAUL DENNIS, NEW YORK A-16781					



Site Plan
SCALE 1/16"= 1'-0'

ZONING INFORMATION

TAX ID	Sheet 49B, Blk 9831, Lt 18
LOT SIZE	22,989 sf 0.528 Acres
ZONE	R-1A
SETBACKS	
FRONT	45' minimum (from lot)
REAR	40' minimum
SIDES	30' minimum
HEIGHT	2.5 Story/35' maximum

Residential Addition for
The Walsh Family
428 Smith Ridge Road
South Salem, New York

07.08.2021
Revisions:
C1.0
Project
2021-428SM

MAIDIQUE & FILLES

7 Silver Brook Road | Westport, CT 06880
mark@maidique.com | maidique.com
(203) 642-4900

Mark Alex Maidique, Architect
NY License #034435

SUSAN LANDOLT
37 BOUTON ROAD

SCHEDULE TO APPLICATION
TO BOARD OF APPEALS

REASONS FOR REQUEST:

1. Variances Requested:

A decrease in the front yard setback from 50' required to 35' proposed and a decrease in the rear yard setback from 50' required to 25' proposed for installation of a 500 gallon propane tank.

2. Applicable Law: Town Law 267-c (3). Area variances.

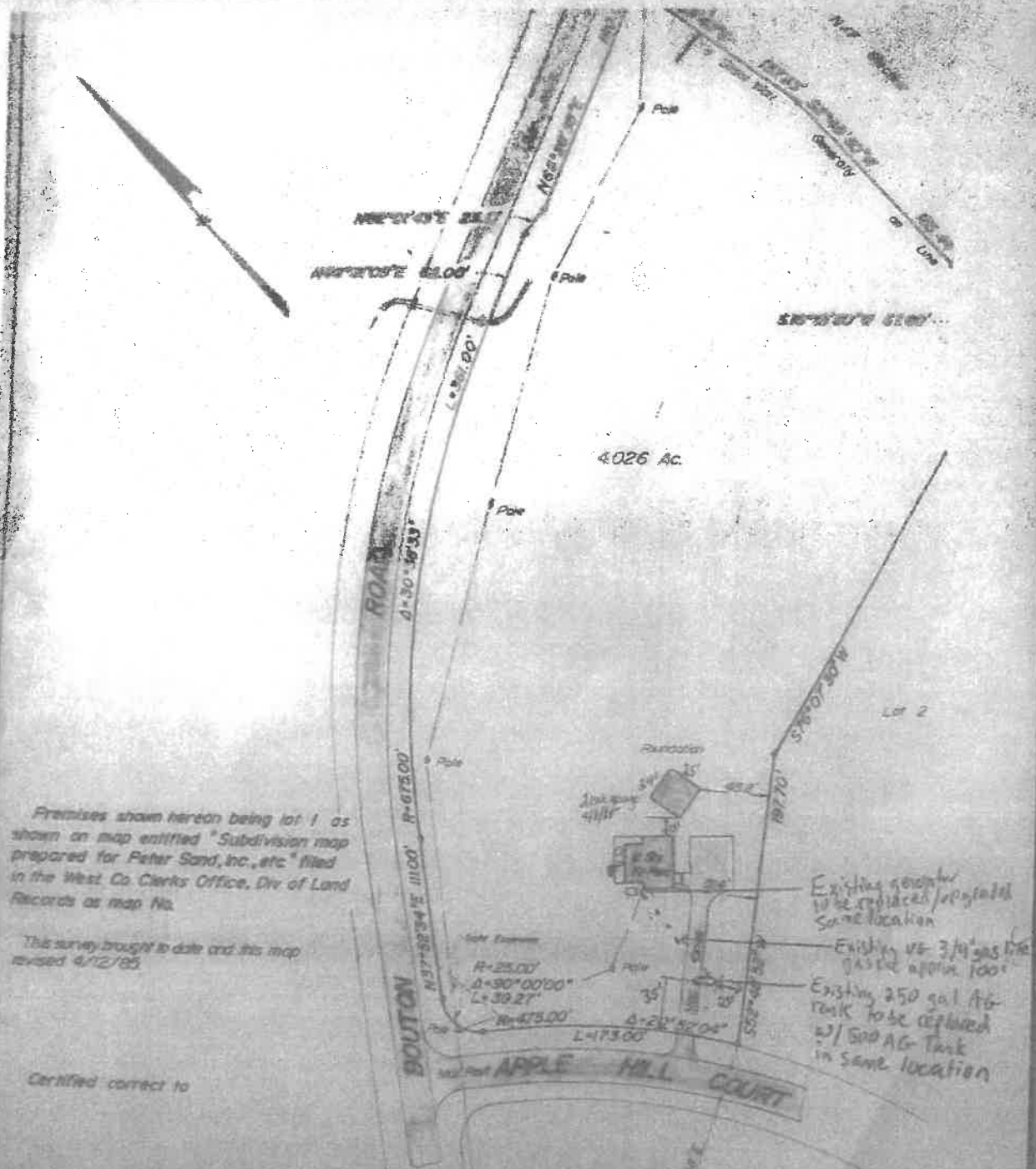
- (a) The zoning board of appeals shall have the power, upon an appeal from a decision or determination of the administrative official charged with the enforcement of such ordinance or local law, to grant area variances as defined herein.
- (b) In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination the board shall also consider: (1) whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance; (2) whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance; (3) whether the requested area variance is substantial; (4) whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and (5) whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals, but shall not necessarily preclude the granting of the area variance.

3. Application of Law to Request:

The grant of variances for the proposed improvements will not create a detrimental impact to the health, safety and welfare of the neighborhood or the community. 37 Bouton Road is a approximately 4 acre parcel of land located in a Residential Two A (R-2A) Zoning District. There is currently a 250 gallon propane tank located in the front and side yard setback. The 250 gallon tank has been in existence for over 15 years without any known complaint from neighboring property owners. A photograph taken adjacent to Apple Hill Court is attached and shows that the 250 gallon tank is barely visible when standing at the fence to the property. It is not visible from the street. The applicant proposes the installation of a 500 gallon tank which

- (5) Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals, but shall not necessarily preclude the granting of the area variance.

The alleged difficulty is not self-created. As stated above, due to rock ledges, the location of the septic, and the location of the well, the area proposed is the only feasible area for the placement of the tank.



Premises shown hereon being lot 1 as shown on map entitled "Subdivision map prepared for Peter Sand, Inc., etc." filed in the West Co. Clerks Office, Div. of Land Records as map No.

This survey brought to date and this map revised 4/12/85

Certified correct to

This is to certify that this survey was completed
on August 22, 1994, and the map was completed
on August 21, 1994.

L. D. - Charles F.
NY State Lt. Governor

SURVEY OF PROPERTY
Prepared for
PETER SAND, INC.



Susan Landolt
37 Bouton rd
South Salen, NY

Existing generator
to be replaced/
upgraded in
same location

Tank to street
distance
approx 50'

Existing 250 gal AG
propane tank, to be
swapped out for 500 gal
AG tank in same loc.

Tank to property
line approx
25'

OF LIQUEFIED PETROLEUM GAS ONLY



UNSPECIFIED WELD DETAILS

DATA PLATE DETAIL

GENERAL NOTES:

1. LIFTING GAS DESIGNED FOR TOTAL LIFTING WEIGHT OF 3500#.
2. TOTAL EMPTY WEIGHT IS 950#.
3. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED.
4. COMPLETE TANK DRIED TO REMOVE ALL MOISTURE.
5. ALL WEIGHT AND CAPACITIES ARE APPROXIMATE.
6. EXTENSOR OF TANK TO BE GRIT BLASTED.
7. PAINT PER SHOP ORDER.
8. VACUUM PURGE TANK.
9. DIMENSIONS ARE SUBJECT TO CHANGE WITH OUT NOTICE.
(NON-PRESSURE RETAINING COMPONENTS ONLY)
10. THREADS OF ALL FITTINGS TO BE COATED WITH COMPOUND
SUITABLE FOR USE WITH LP GAS.
11. FLOAT GAUGE TO BE INSTALLED WITH FLOAT ARM 45° OFF
LONGITUDINAL CENTERLINE OF TANK.

GENERAL SPECIFICATIONS	
WATER CAPACITY (GALLONS)	500
ALLOWABLE WORKING PRESSURE (PSIG)	280
JOINT EFFICIENCY	100 %
ASME UMS-22 LONG SEAM	80 %
HYDROSTATIC TEST PRESSURE (PSIG)	325
SURFACE AREA (SQ. FT.)	100
RELIEF VALVE SETTING (PSIG)	250
RELIEF DISCHARGE RATE - (GPM REQ'D.)	2340
HEAT TREATMENT NOT REQUIRED	
CODE	ASME SECTION VIII DIV. 1
STANDARDS	UNDERWRITERS LABORATORIES INC.
N.F.P.A. 50 LP GAS CODE	MMH-7203
MATERIAL SPECS:	

500 W.G. ABOVEGROUND
PROPANE TANK-TYPE AQS (FORMERLY BS-AP)

QUALITY STEEL CORPORATION

MARK		QTY	SIZE	TYPE	REGO	FITTINGS		SERVICE	MARK	QTY.	DESCRIPTION	DWG NO
A	1	1	1	3/4" FLG	00858AGT			ELF VALV	1	1	SHELL 0.21" X 83" X 116 1/16" - 8444G	
B	1	1	1	3/4" FLG	00848 TLOD	REACTIVE PROTECTIVE BLANK 77		LOAT GARG	2	2	HEADS - 3" I.D X 0.185" THEM 5M414G	
C	1	1-1/4		3/4" FLG	L007579T			FILL VALVE	3	2	LIFTING LUGS	
E	1	3/4		3/4" FLG	P70075588510.5			MULTI VALVE	4	4	TANK LEGS (TWO PIECE LEGS)	D - 63
F	1	3/4		3/4" FLG	007580JUT			CHEMLOK	2	2	TANK LEGS (SINGLE PIECE LEGS)	D - 2
G	1	1 1/4		3/4" FLG					1	1	DOONE	D - 3
									6	1	DATA PLATE	D - 60
									7	1	REGULATOR BRACKET	D - 10
									8		DIP TUBE LENGTH = 10.5" FOR 80 % 40" 40" F	

REV	BY	DESCRIPTION	DATE
14	CDH	CORRECTED RELIEF VALV MODEL NOS	11/5/03
15	CDH	CORRECTED SHELL LENGTH	11/11/03
16	RGA	REVISED COMPANY NAME	12/08/07
17	WHO	STANDARDIZE DRAWING	06/23/11
18	WHO	UPDATE NAME PLATE	07/28/12
19	MA	UPDATE DATA PLATE AND COMPANY	09/30/13
20	US	REVISD SHELL LENGTH	03/16/14
21	TWW	UPDATED HEAD & RIT THICKNESS & NAME/PLATE CORRECTIONS AND STANDARDIZED UNIT & UNIT # BTU/DRA	06/19/15
22	TWW	CORRECTED DRA	

NOTE: TANK MUST BE INSTALLED LEVEL, WITH ALL LEGS IN SAME PLANE TO ASSURE EVEN DISTRIBUTION OF LOADS AND OPTIMIZE ACCURACY OF GAUGE DEVICE.

PN: 0105001XSF
0105211XSF (W/DRAIN)
0105001XSSF - FOR CANADA W/ CTR LEG TAB
0105211XSSF (W/DRAIN) - FOR CANADA W/ CTR LEG TAB

3/4 DIAM.
HOLES
(4) PLACES

* May very long seam loc. to miss leg weld

OPTIONAL TWO
PIECE LEGS

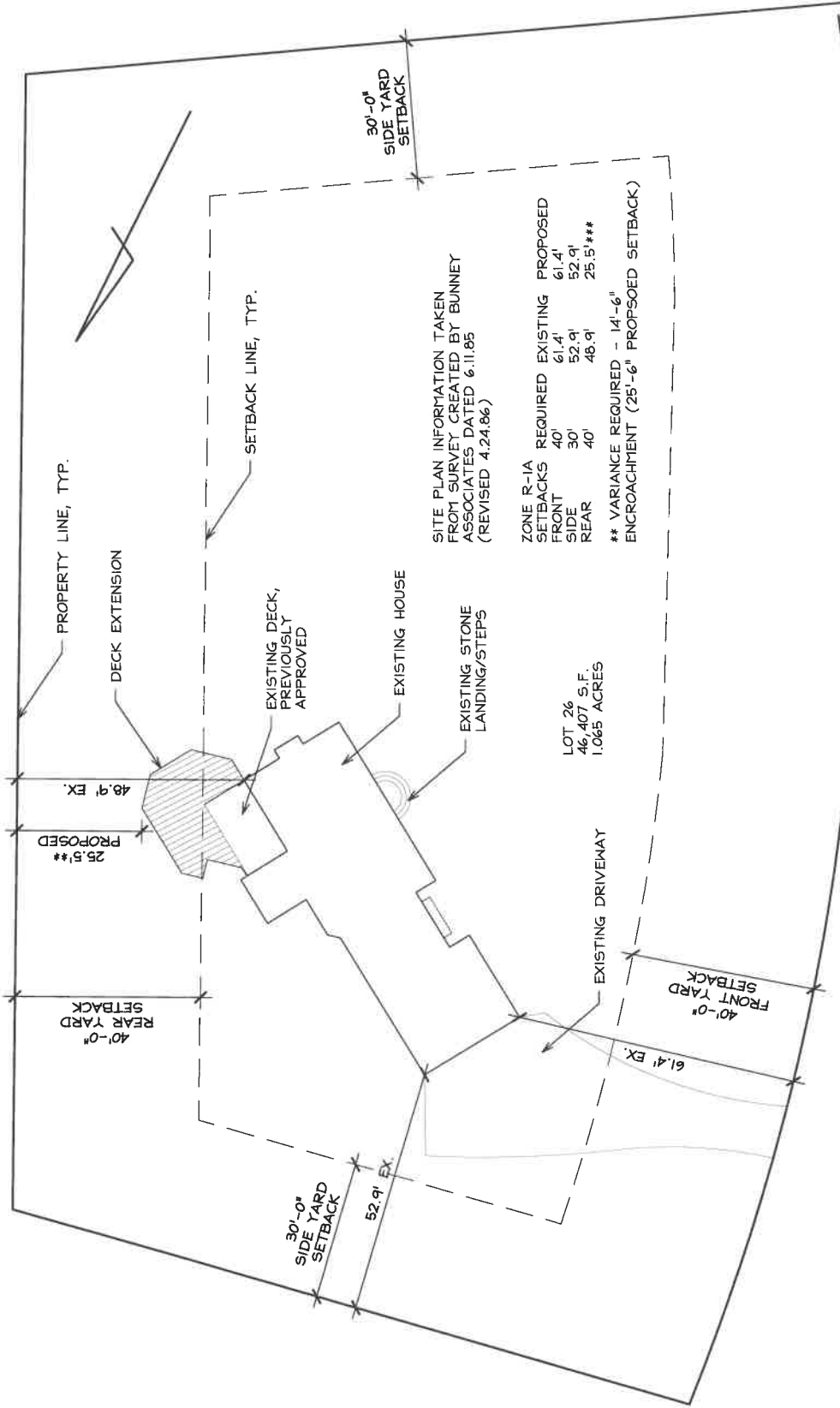
STANDARD AG 500 GALLON

Above Ground









SITE PLAN
SCALE: 1" = 20'

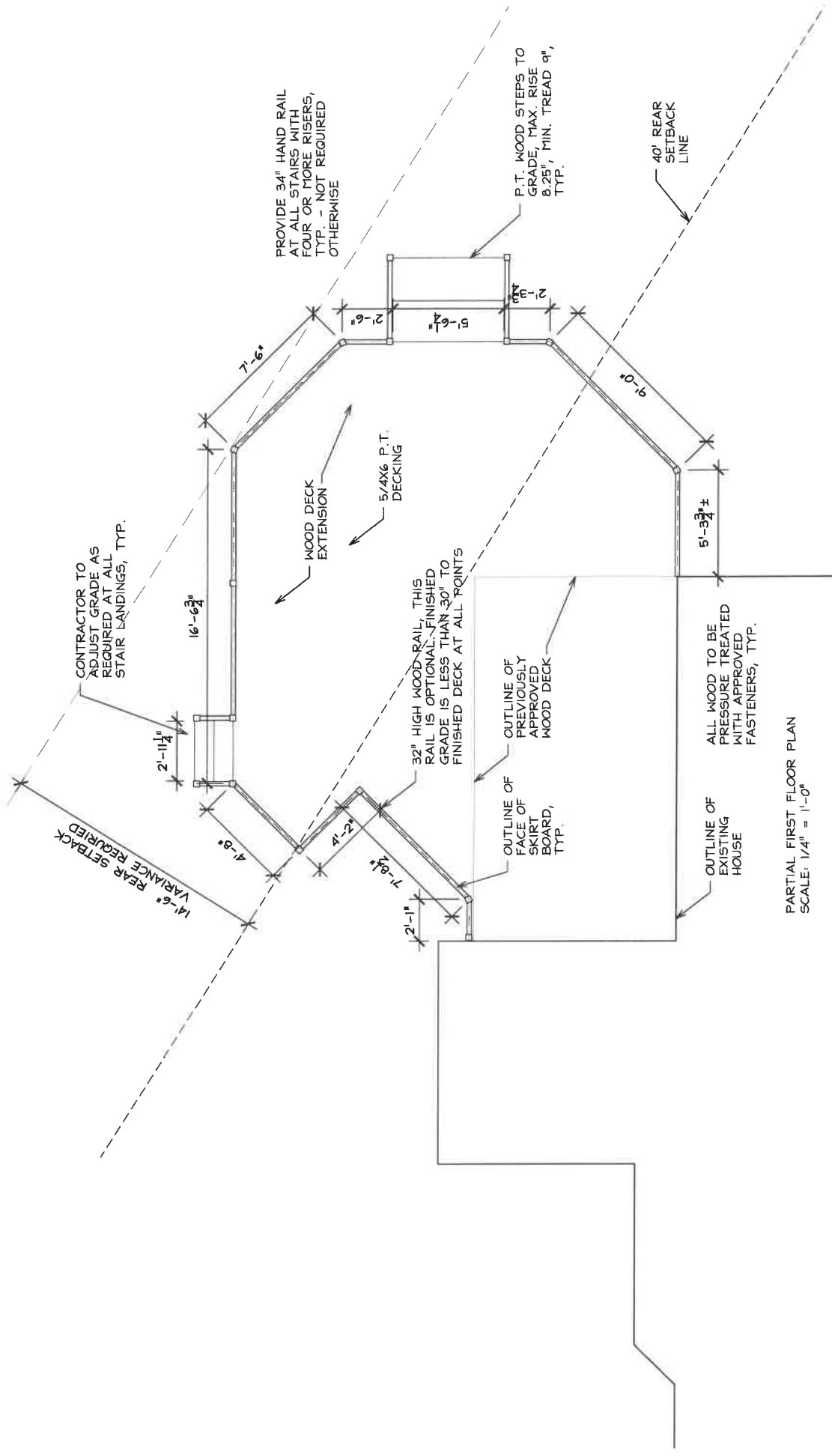
SCENIC DRIVE

TM DESIGNS
THOMAS MILANO, R.A.
6 TIMBER MILL ROAD
SANDY HOOK, CT
(203) 270-6535
THOMAS.V.MILANO@GMAIL.COM

EDUCATION LAW 7209 ARTICLE 14B
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO THIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWING HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



TAX MAP 77.4-2-42
EXTERIOR DECK EXTENSION
FOR
MASI RESIDENCE
5 SCENIC DRIVE
SOUTH SALEM, NEW YORK
AUGUST 21, 2021



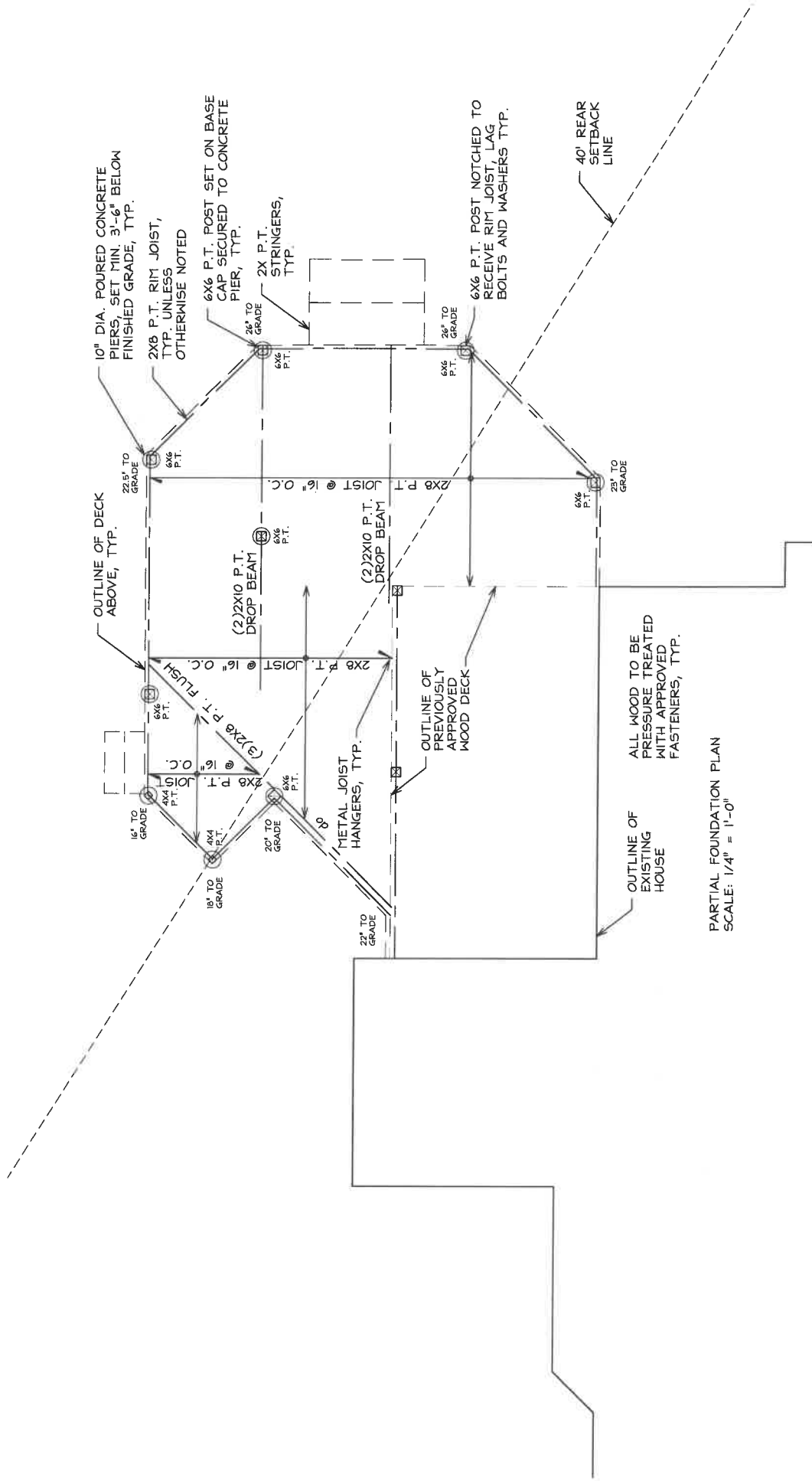
PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



TAX MAP 77.4-2-42
EXTERIOR DECK EXTENSION
FOR
MASI RESIDENCE
5 SCENIC DRIVE
SOUTH SALEM, NEW YORK
AUGUST 21, 2021

EDUCATION LAW 7209 ARTICLE 145
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION
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SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO THIS ITEM
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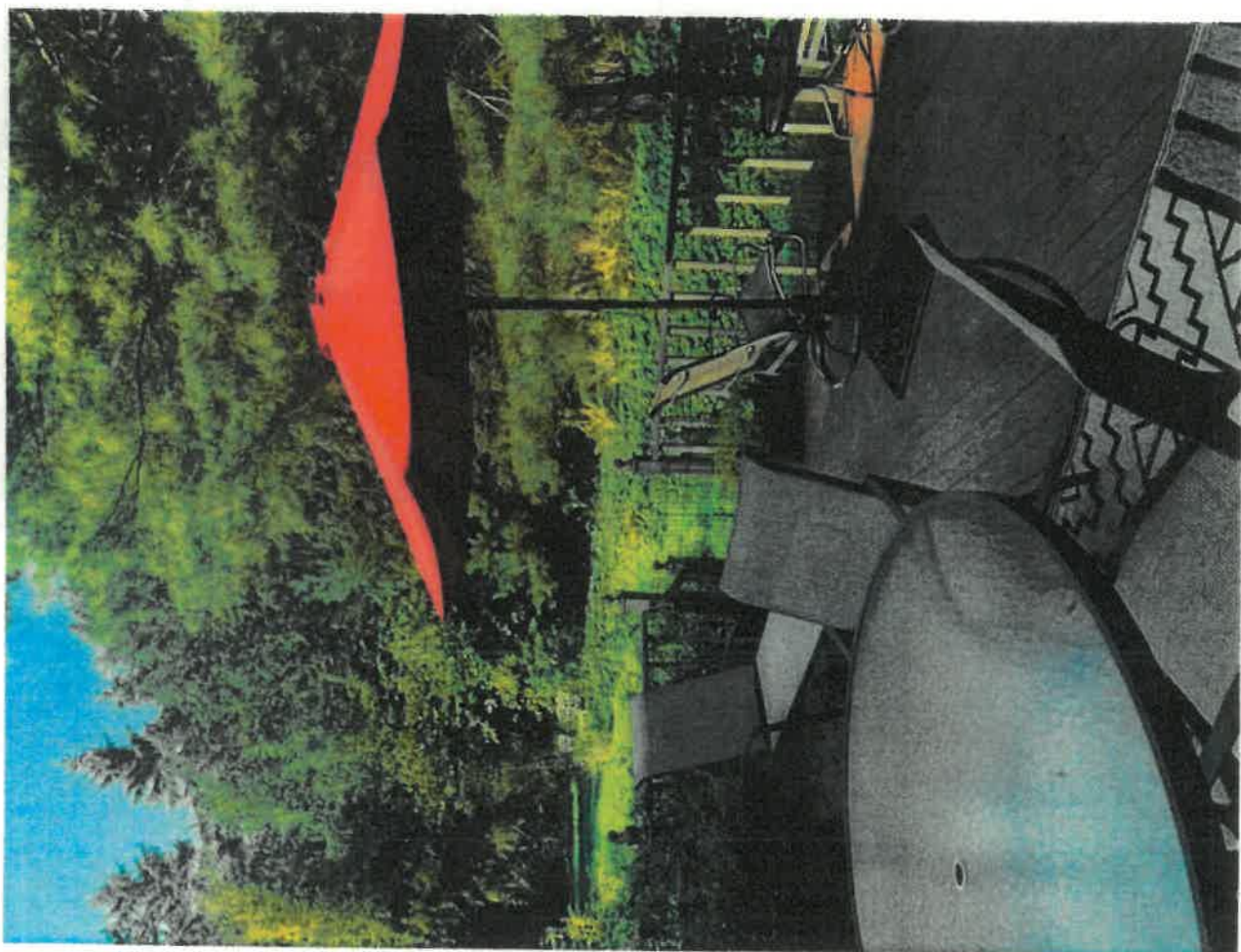
TM DESIGNS
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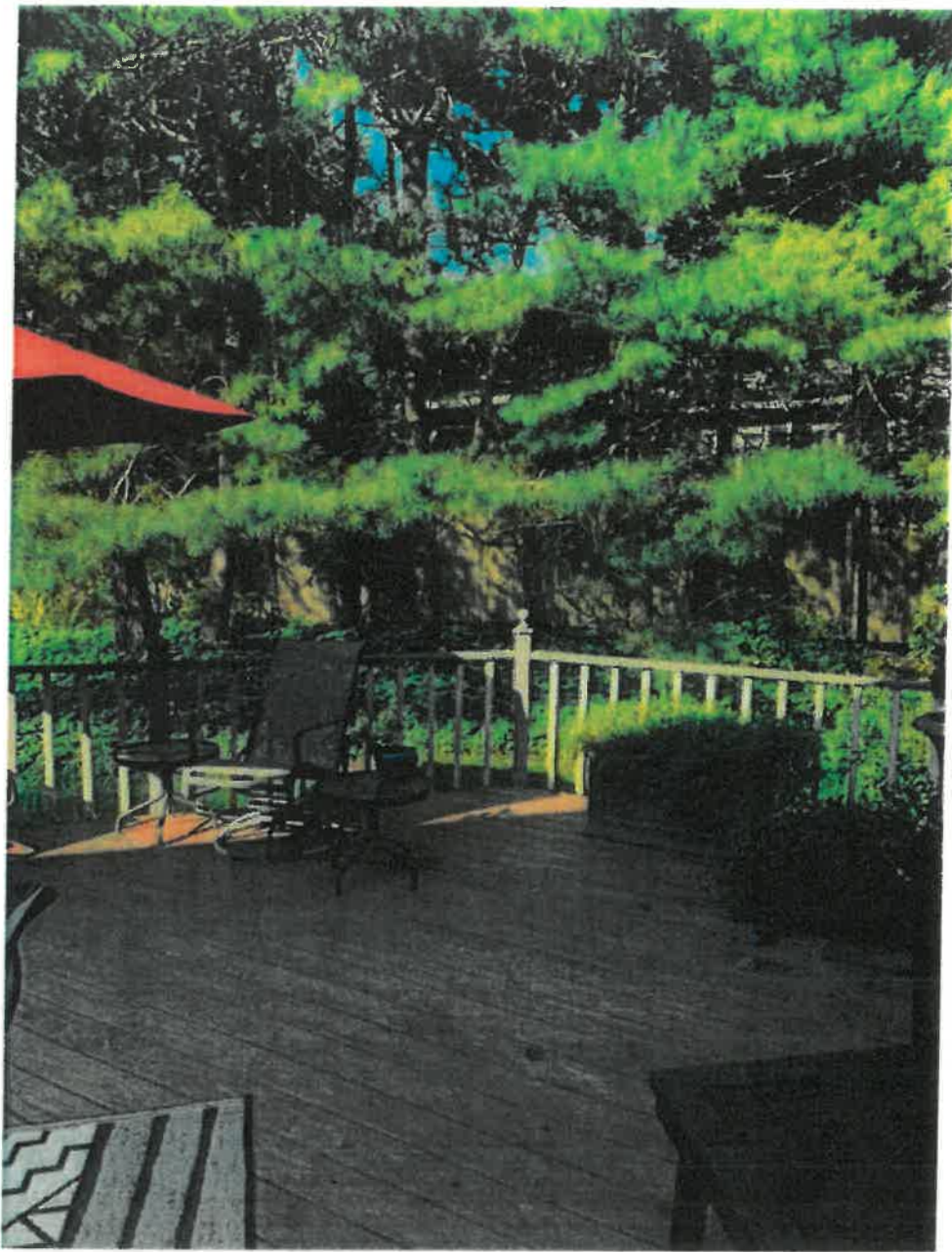


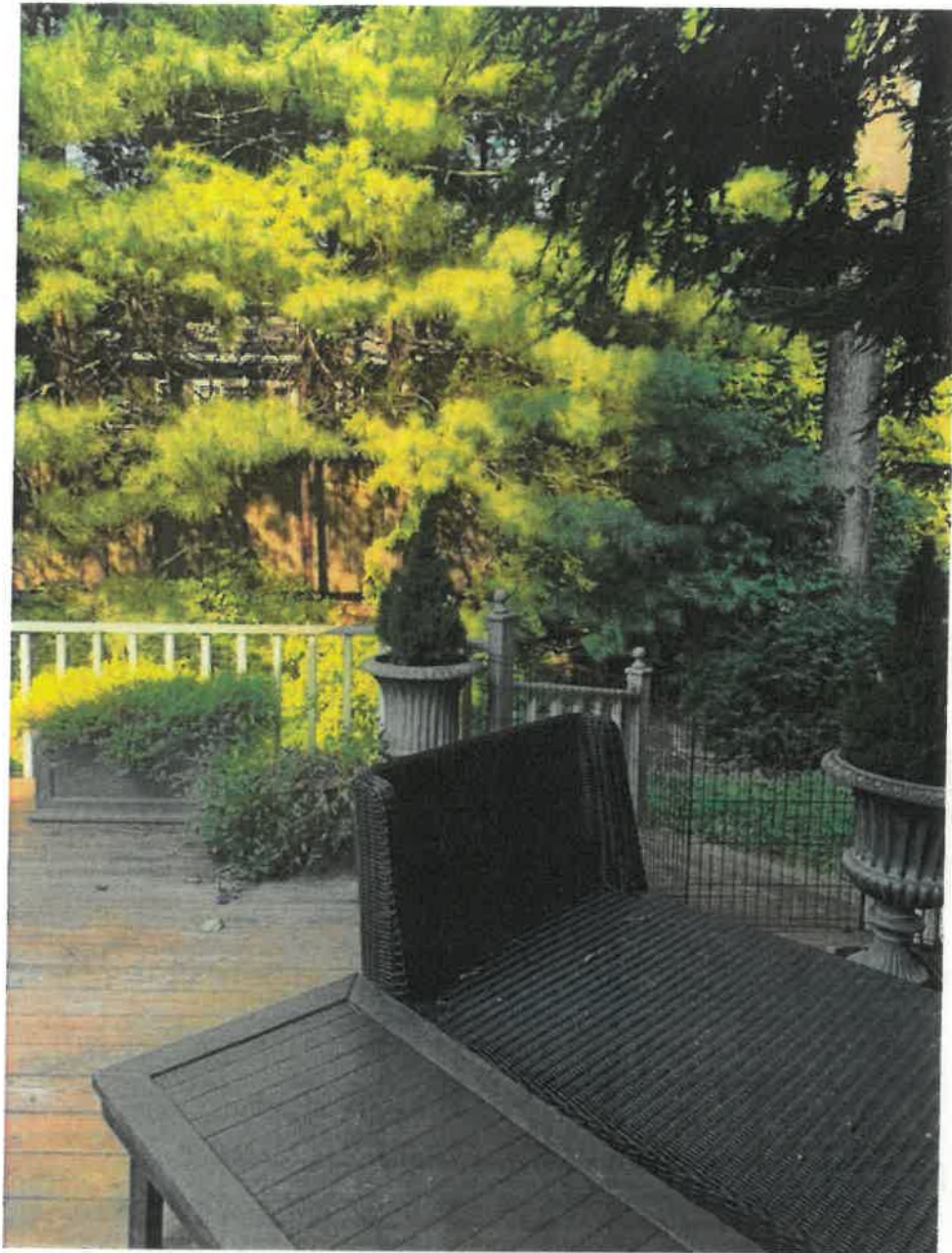
TAX MAP 77.4-2-42
 EXTERIOR DECK EXTENSION
 FOR
 MASI RESIDENCE
 5 SCENIC DRIVE
 SOUTH SALEM, NEW YORK
 AUGUST 21, 2021

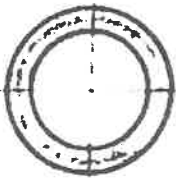
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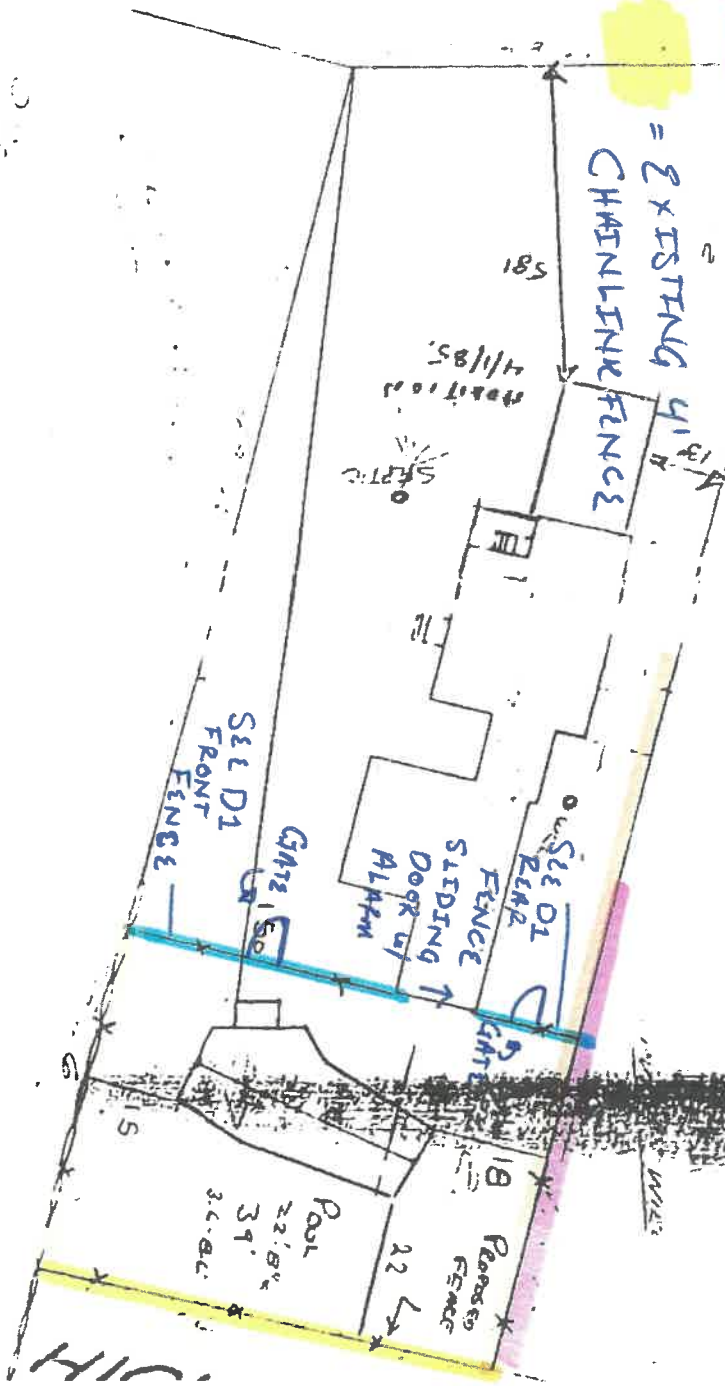
GRAND VIEW ROAD

= 3' TALL x 80' RETAINING WALL
(SEE D2 - CROSS SECTION)

= 6' WOOD STOCKADE PRIVACY FENCE
(SEE D2 - CROSS SECTION)

= WOOD & SCREEN FENCE (SEE D1 ELEVATIONS)

= EXISTING 4 1/2" CHAINLINK FENCE



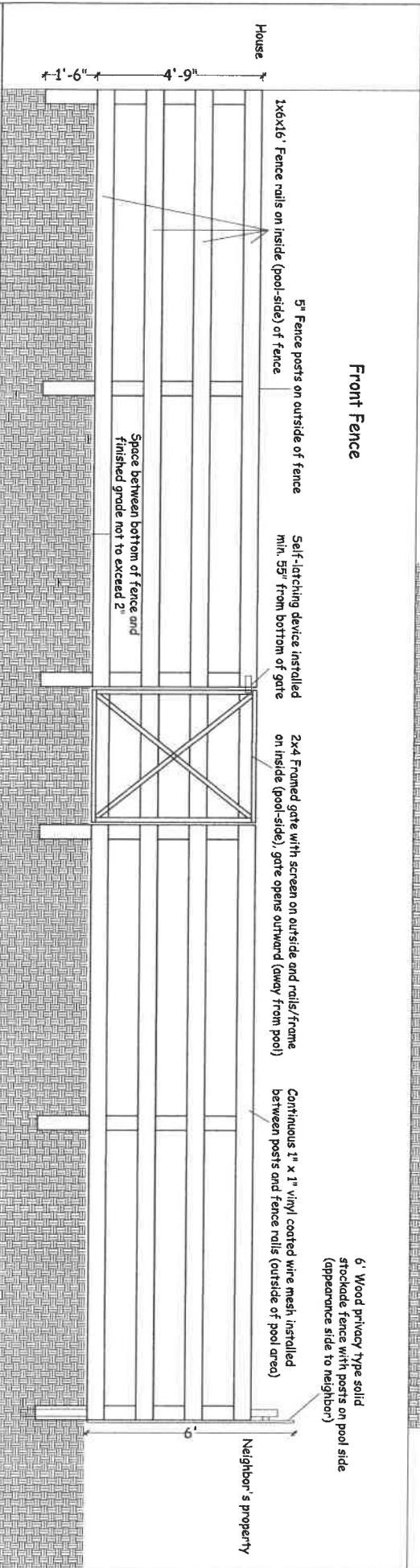
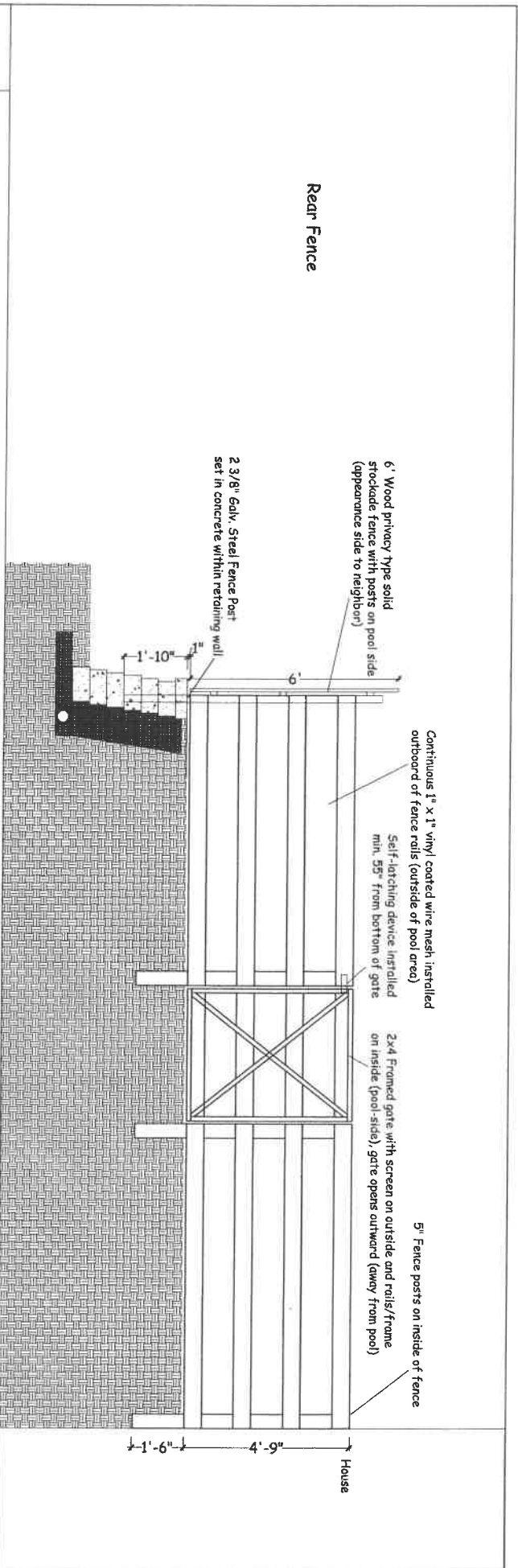
WOOD

SURVEY

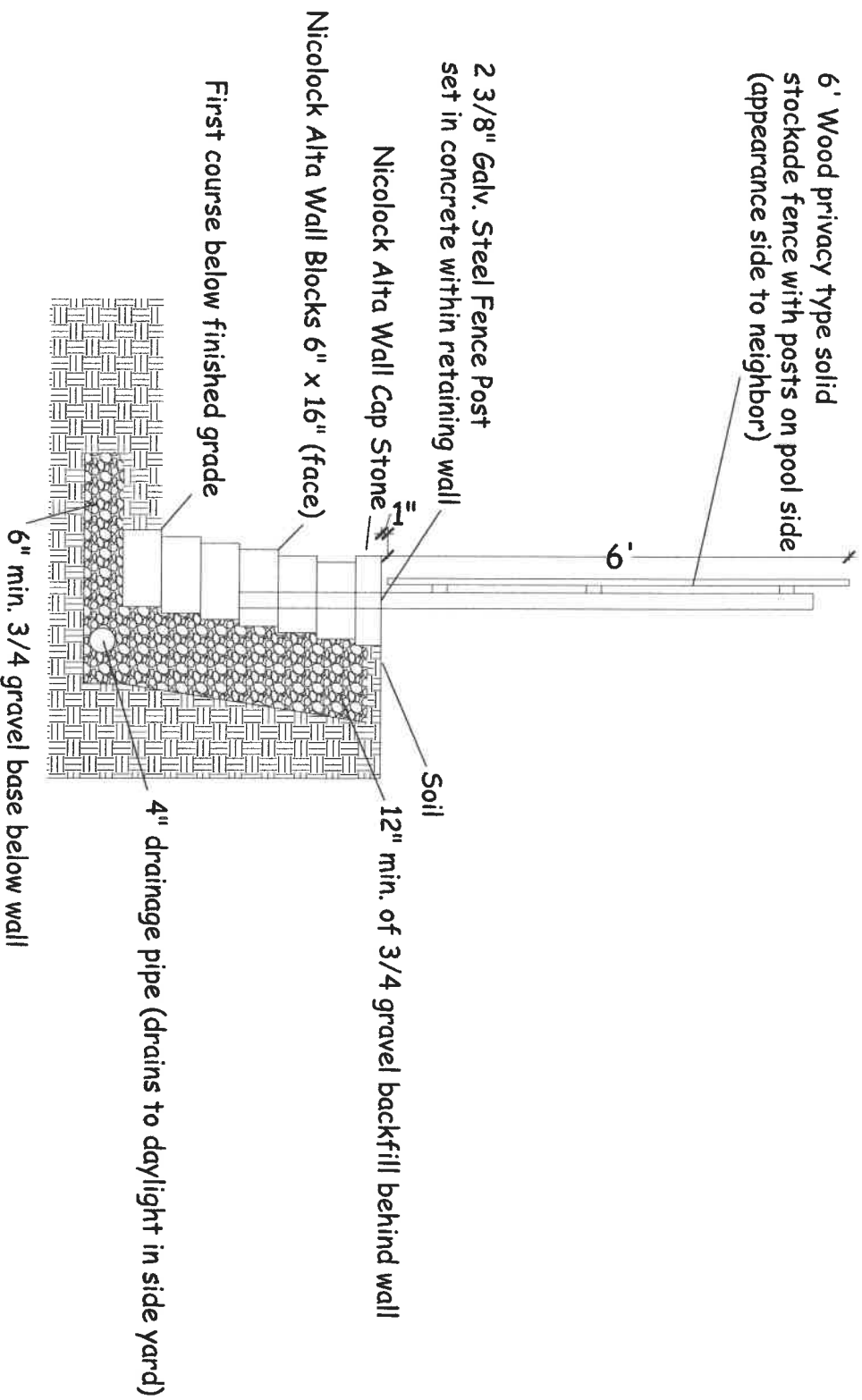
PREPARED FOR

THORWALD N.

TROLLE



Moore Residence: Pool Area Fencing		Elevations	
51 Grandview Rd South Salem, NY		REVISIONS:	DATE: MARCH 10, 2021
			SCALE: 3/4" = 1'-0"
		D1	



Moore Residence: Retaining Wall / Pool Area Fencing

51 Grandview Rd South Salem, NY

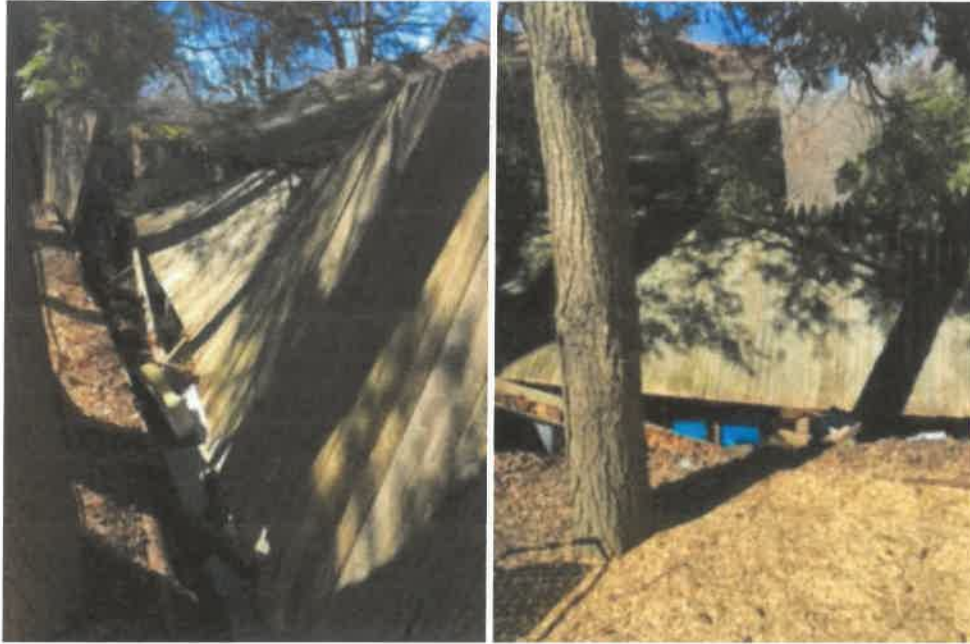
Cross Section

REVISIONS

DATE: MARCH 18, 2021

SCALE: 1/2" = 1'-0"

D2



Existing fence abutting 47 Grandview Rd (Wetzel property)

ABESHOUSE BARN ADDITION

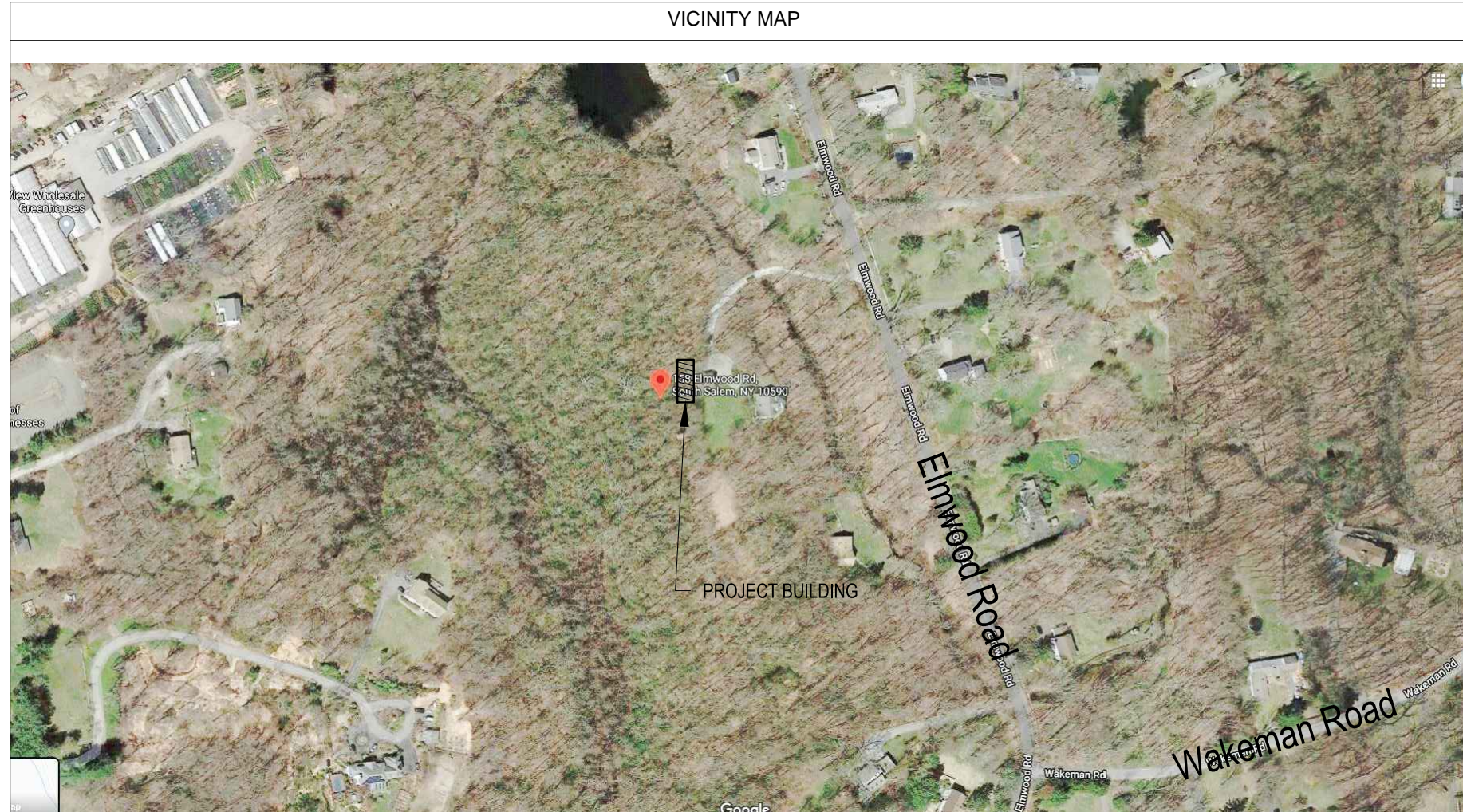
158 Elmwood Road
South Salem, NY 10590

ABBREVIATIONS					
AFF	ABOVE FINISHED FLOOR	FOS	FACE OF STUDS	OFF	OFFICE
AP	ACCESS PANEL	FOW	FACE OF WALL	OC	ON CENTER (S)
ACC	ACOUSTICAL CEILING TILE	FIN	FINISH (ED)	OPG	OPENING
A/C	AIR CONDITIONING	FFL	FINISH FLOOR LEVEL	OPP	OPPOSITE
ALT	ALTERNATE	FE	FIRE EXTINGUISHER	OA	OVERALL
AL	ALUMINUM	FEC	FIRE EXTINGUISHER CABINET	OH	OVERHEAD
AB	ANCHOR BOLT	PRF	FIREPROOF (ING)		
ANOD	ANODIC, ANODIZED	FLR	FLOOR (ING)	PTD	PAINTED
ARCH	ARCHITECT (URAL)	FD	FLOOR DRAIN	PVG	PAVE (D), (ING)
ASPH	ASPHALT	FM	FLOOR MAT & FRAME	P/MT	PAVEMENT
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	FT	FOOT	PLAM	PLASTIC LAMINATE
		FTG	FOOTING	PLYWD	PLYWOOD
AUX	AUXILIARY	FR	FRAME (D), (ING)	PVC	POLYVINYL CHLORIDE
ANB	ANODIZED BLACK	FBO	FURNISHED BY OTHERS	PSI	POUNDS PER SQUARE INCH
ACL	ANODIZED CLEAR	FURR	FURRED (ING)	PSF	POUNDS PER SQUARE FOOT
				PS	PROJECTION SCREEN
BRG	BEARING	GA	GAGE, GAUGE		
BD	BOARD	GALV	GALVANIZED	QTY	QUANTITY
BS	BOTH SIDES	GB	GRAB BAR		
BOTT	BOTTOM	GC	GENERAL CONTRACTOR	RAD	RADIUS
BLDG	BUILDING	GL	GLASS, GLAZING	REF	REFERENCE
		GYD	GYPSUM BOARD	REFR	REFRIGERATOR
CAB	CABINET			REINF	REINFORCING
CARP	CARPET	HC	HANDICAPPED	REQD	REQUIRED
CLG	CEILING	HDR	HEADER	REV	REVISION (S), REVISED
CTR	CENTER	HVAC	HEATING/VENTILATING/ AIR CONDITIONING	RH	RIGHT HAND
<	< CENTER LINE			R	RISER
CT	CERAMIC TILE	HT	HEIGHT	RD	ROOF DRAIN
CHNL	CHANNEL	HP	HIGH POINT	RM	ROOM
CLR	CLEAR (ANCE)	HM	HOLLOW METAL	RO	ROUGH OPENING
CL	CLOSET	HORIZ	HORIZONTAL		
COL	COLUMN	HB	HOSE BIBB	SEC	SECTION
CONC	CONCRETE MASONRY UNIT	HWH	HOT WATER HEATER	SHT	SHEET
CMU	CONCRETE MASONRY UNIT	HCWL	HOLLOW CORE WOOD	SIM	SIMILAR
CONST	CONSTRUCTION	HCAL	HOLLOW CORE ALUMINUM	STC	SOUND TRANSMISSION
CONT	CONTINUE			S	SOUTH
CONTR	CONTRACT (OR)	IN	INCH	SPEC	SPECIFICATION (S)
CJ	CONTROL JOINT	INSUL	INSULATE (D), (ION)	SQ	SQUARE
COORD	COORDINATE	INT	INTERIOR	SS	SQUARE FEET
CORR	CORRIDOR			SF	STAINLESS STEEL
CRS	COURSE(S)	JAN	JANITOR	STD	STANDARD
		JT	JOINT	STL	STEEL
DEMO	DEMOLISH, DEMOLITION	JOIST	JOIST	STOR	STORAGE
DTL	DETAIL			STR	STRUCTURAL
DIAG	DIAGONAL	LAV	LAVATORY	SUSP	SUSPENDED
DIA	DIAMETER	LH	LEFT HAND	SCWD	SOLID CORE WOOD
DM	DIMENSION	LT	LIGHT	STN	STAINED
DN	DOWN	LTL	LIGHT		
DWR	DRAWER	LP	LOW POINT	TB	TACKBOARD
DWG	DRAWING			THK	THICK (NESS)
D	DRAIN	MB	MARKER BOARD	T&G	TONGUE AND GROOVE
		MFR	MANUFACTURE (ER)	T&B	TOP AND BOTTOM
EA	EACH	MO	MASONRY OPENING	TOS	TOP OF SLAB
E	EAST	MAX	MAXIMUM	TO STL	TOP OF STEEL
ELEC	ELECTRIC (WATER COOLER	MECH	MECHANIC (AL)	TOW	TOP OF WALL
EW	ELECTRIC (WATER COOLER	MTL	METAL	TYP	TYPICAL
EL	ELEVATION	MIN	MINIMUM		
EMER	EMERGENCY	MISC	MISCELLANEOUS	UN	UNDERWRITERS LABORATORY
ENC	ENCLOSE (URE)	MTD	MOUNTED	UNL	UNLESS OTHERWISE NOTED
EQL	EQUAL	MULL	MULLION	U	URNAL
EQUIP	EQUIPMENT	MW	MILLWORK		
EXIST	EXISTING	MF	MILL FINISH	VERT	VERTICAL
EB	EXPANSION BOLT			VIF	VERIFY IN FIELD
EJ	EXPANSION JOINT	NOM	NOMINAL	VCT	VINYL COMPOSITION TILE
EXP	EXPOSED	N	NORTH		
EXT	EXTERIOR	NA	NOT APPLICABLE	WC	WATER CLOSET
		NIC	NOT IN CONTRACT	WWF	WELDED WIRE FABRIC
		NTS	NOT TO SCALE	W	WEST
		NO	NUMBER	W	WIDE, WIDTH
				W	WITH
				WO	WITHOUT
				WO	WOOD










GENERAL NOTES












GENERAL:

1. ALL DIMENSIONS TO FINISHED FACE OF CONSTRUCTION, UNLESS OTHERWISE NOTED. ALL DIMENSIONS MUST BE FIELD VERIFIED. COORDINATE WITH EXISTING CONDITIONS IN FIELD.
2. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. REPORT ALL DISCREPANCIES IN THESE DRAWINGS AND RELATED SPECIFICATIONS TO ARCHITECT FOR RESOLUTION PRIOR TO START OF CONSTRUCTION. FAILURE TO VERIFY ALL CONDITIONS AFFECTING THE WORK AND FAILURE TO REPORT DISCREPANCIES WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE COORDINATION OF ALL ASPECTS OF THE WORK.
3. ALL NEW SWITCHING, THERMOSTATS, OUTLETS, SECURITY, OR SIMILAR DEVICE LOCATIONS SHALL BE REVIEWED WITH ARCHITECT IN WALK THROUGH PRIOR TO PLACING IN FIELD.
4. ALL MATERIALS TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE.
5. NOT USED
6. COORDINATE ALL WORK WITH BASE SCOPE DRAWINGS & SPECIFICATIONS.
7. CONTRACTOR TO RESTORE ANY EXISTING FIRE PROOFING TO PRESCRIBED RATING.
8. ALL DOORS TO BE LOCATED 6" FROM NEAREST WALL U.O.N.
9. NOT USED
10. ANY CONTRACTOR OR SUBCONTRACTOR THAT WORKS ON THE PROJECT MUST PROVIDE A "RELEASE OF LIENS," SEE SPECIFICATIONS FOR DETAILS.
11. ALL UTILITY SHUTDOWNS THAT IMPACT WILL NEED TO BE DURING NON-BUSINESS/OPERATING HOURS AND MUST BE COORDINATED WITH THE PROPERTY MANAGER AT LEAST 72 HOURS IN ADVANCE.
12. CONTRACTORS MUST NOT PARK IN THE FIRE LANE OR THE ROADWAYS, SEE DESIGNATED AREAS
13. CONTRACTORS MUST CLEAN UP COMMON AREA DAILY, ENSURING THE PARKING LOT AND SIDEWALKS ARE NEAT, CLEAN, AND FREE OF SHARP METAL OBJECTS THAT MAY BE DROPPED DURING DEMOLITION.



BUILDING PROPERTY INFORMATION	
LOT #	
BLOCK #	
LOT SIZE	
APPLICABLE CODES	
BOOK	EDITION
IBC	2018
IMC	2015
ASHRAE	90.1-2013
IECC	2015
ANSI	A117.1 - 2017
NJAC	5.23-6 & 7
NSPC	2015
NEC	2017
IFGC	2015
IPC	2015

CONSTRUCTION PLAN LEGEND	
	FLOOR HEIGHT
	WALL TYPE TAG
	BUILDING SECTION TAG
	WALL SECTION TAG
	ELEVATION TAG
	ORIENTATION GRID
	REVISION VERSION TAG
	REVISION CLOUD
	DWG. TYPE - LOCATION SCALE = X-XX" X-XX"
<div> <div>ROOM NUMBER</div> <div>ROOM NAME</div> <div>SQUARE FOOTAGE</div> </div> <div>ROOM TAG</div>	

	INTERIOR ELEVATION TAG
	DIMENSION
	KEY NOTE
	NOTE
	CONSTR. NOTE
	ENLARGED PLAN TAG
	DRAWING ORIGIN INDICATOR
	WINDOW TAG
	DOOR TAG
	BREAKLINE
	DIRECTION DUE NORTH

[illegible]

DESCRIPTION OF WORK

MUSIC ROOM ADDITION TO EXISTING BARN

CONSTRUCTION DOCUMENTS

OWNER
ADAM ABESHOUSE
158 Elmwood Road
South Salem, NY 10590

M/E/P PROFESSIONAL ENGINEER

ACOUSTIC ENGINEER
JAFFE HOLDEN
 Russell Cooper
 114-A Washington Street
 Norwalk, CT 06854
 PH: 203.838.4167 X113

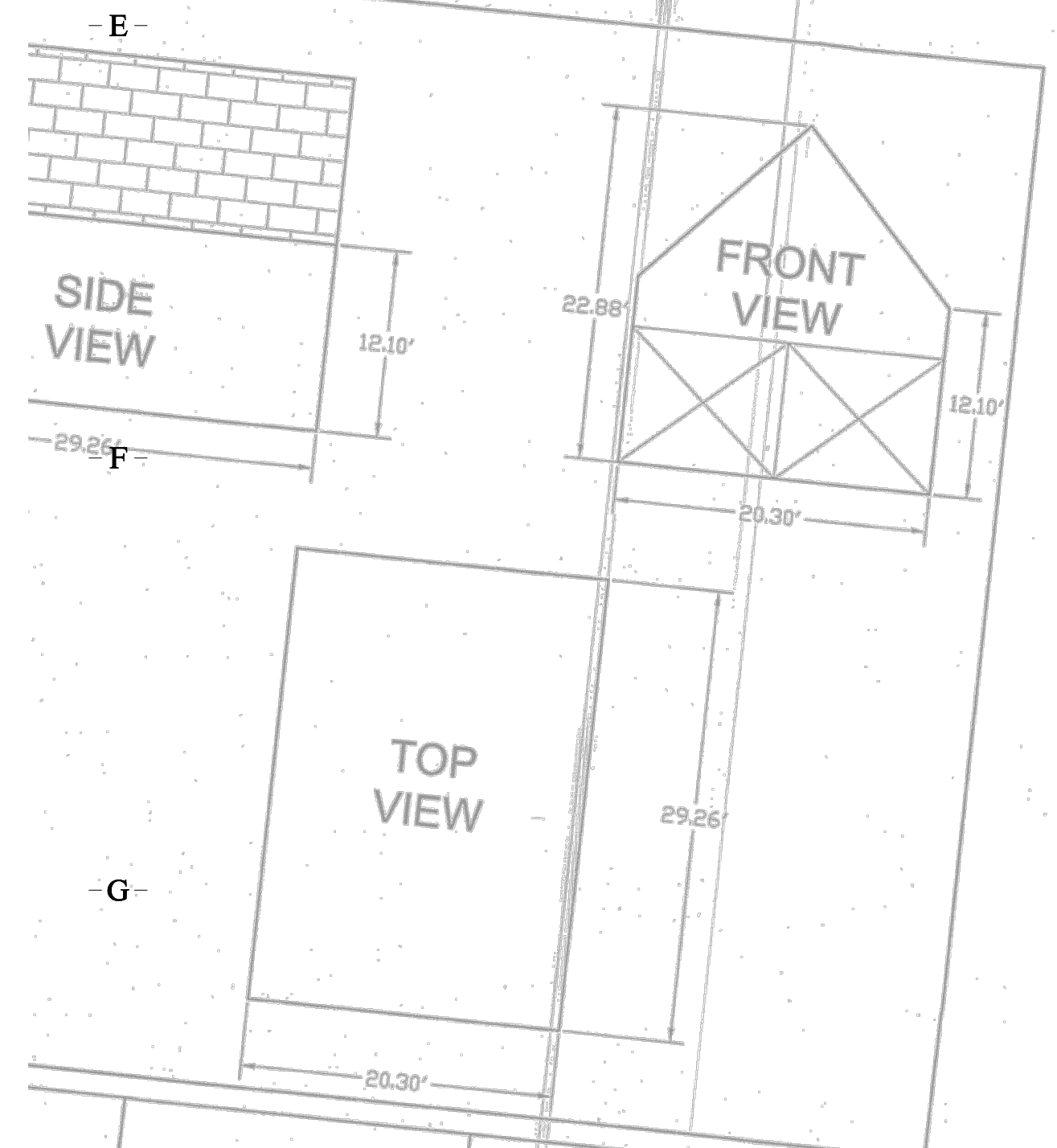
ARCHITECT
FAREWELL ARCHITECTS LLC
759 STATE ROAD
PRINCETON, NJ 08540
PH: 609.681.2484
EMAIL: CONTACT@FAREWELL-ARCHITECTS.COM

[illegible]



ZONING TABLE			
ZONING DISTRICT	R-2A		
LOT SIZE	6.71 ACRES = 292,288 SF		
METRIC	ALLOWABLE SF	EXIST. + PROPOSED SF	COMPLIES
BUILDING COVERAGE	26,306 (9% OF LOT)	3,751 (.01%)	YES

	ALLOWABLE SF	PROPOSED	COMPLIES
FRONT YARD SETBACK	65' CENTERLINE, 40' LOT LINE	347'	YES
SIDE YARD SETBACK	30'	153' (SOUTH), 124' (NORTH)	YES
REAR YARD SETBACK	50'	548'	YES
MAX. HEIGHT	20'-0"	23'-0"	NO



ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE IMPRESSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON. THE CERTIFICATIONS HEREON ARE NOT TRANSFERABLE.

PREPARED BY LARRY L. LYNN, L.S., GERALD L. LYNN, LAND SURVEYOR, P.C., 1575 RTE. 57A, HARRINGTON HILLS, NY 10530, (914) 463-8750.
PLAN COMPLETED BY ME OR UNDER MY DIRECT SUPERVISION
BASED ON A FIELD SURVEY CONDUCTED BY DIRECT SUPERVISION
DECEMBER 16, 2021

1 SITE PLAN
SCALE: 1"=30'-0"

I HEREBY CERTIFY TO --
ADAM ATTORNEY

NOTES:

Michael Farewell FAIA
NY - 028911

T 609-681-2484
F 609-681-2483
759 State Road
Princeton, NJ 08540
www.farewell-architects.com

**FAREWELL
ARCHITECTS LLC**

Drawn By
MTS

Checked By
MF

Date	Issue	No.
06/12/2021	REVIEW	0
07/22/2021	REVIEW	0
08/04/2021	REVIEW	0

Abeshouse Barn Addition

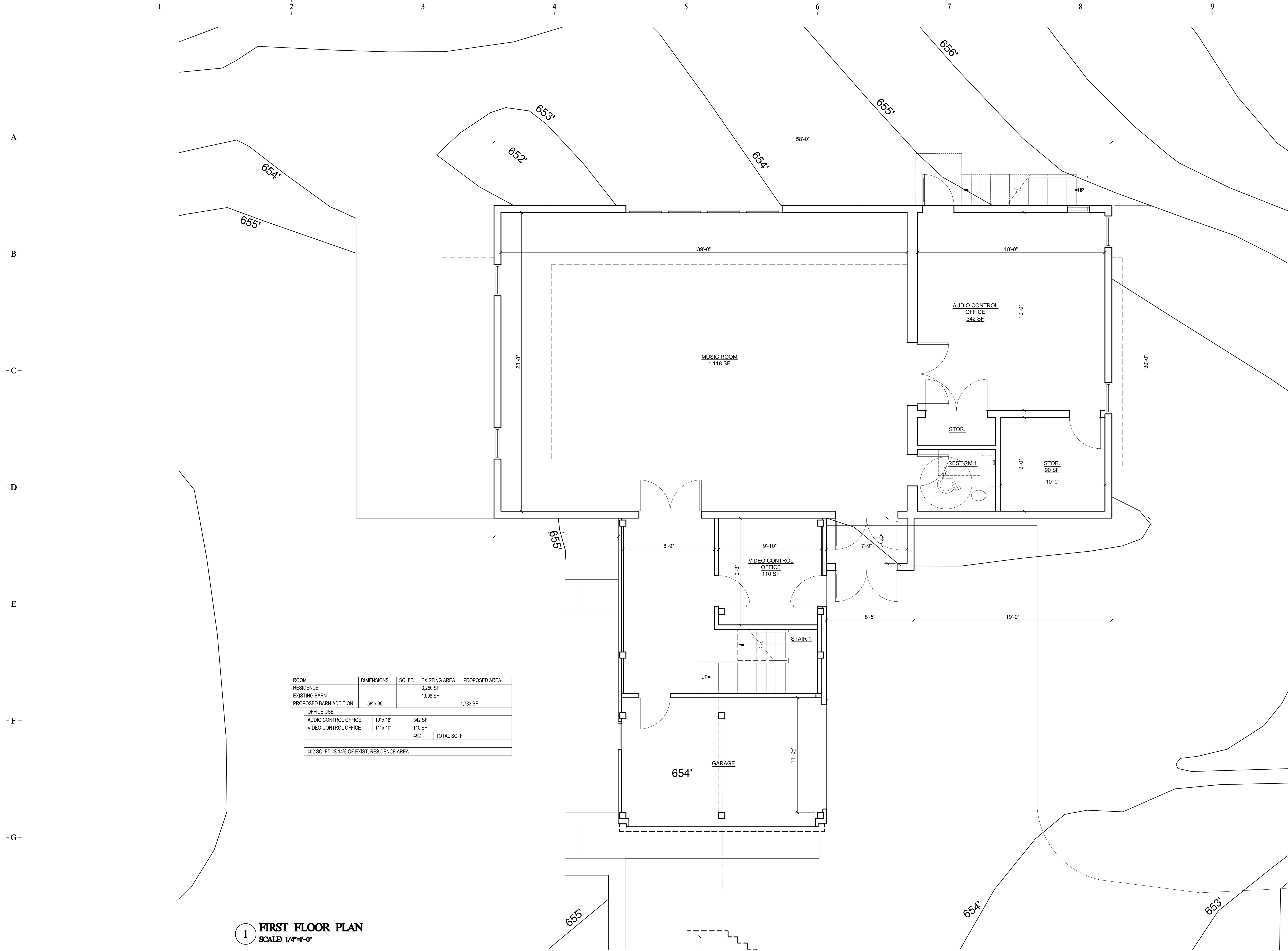
158 Elmwood Road
South Salem, NY, 10590

Project No 2101

Drawing Title
SITE PLAN

File Name
FILENAME

A000



ROOM	DIMENSIONS	SQ. FT.	EXISTING AREA	PROPOSED AREA
RESIDENCE			3,250 SF	
EXISTING BARN			1,008 SF	
PROPOSED BARN ADDITION	58' x 30'			1,783 SF
OFFICE USE				
AUDIO CONTROL OFFICE	19' x 18'	342 SF		
VIDEO CONTROL OFFICE	11' x 10'	110 SF		
		452	TOTAL SQ. FT.	
452 SQ. FT. IS 14% OF EXIST. RESIDENCE AREA				

1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

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759 State Road
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FAREWELL
ARCHITECTS LLC

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07/22/2021	REVIEW	0
08/04/2021	REVIEW	0

Abeshouse Barn Addition
158 Elmwood Road
South Salem, NY, 10590

Project No 2101

Drawing Title
FIRST FLOOR PLAN

File Name
FILENAME

A101

1

2

3

4

5

6

7

8

9

-A-

-B-

-C-

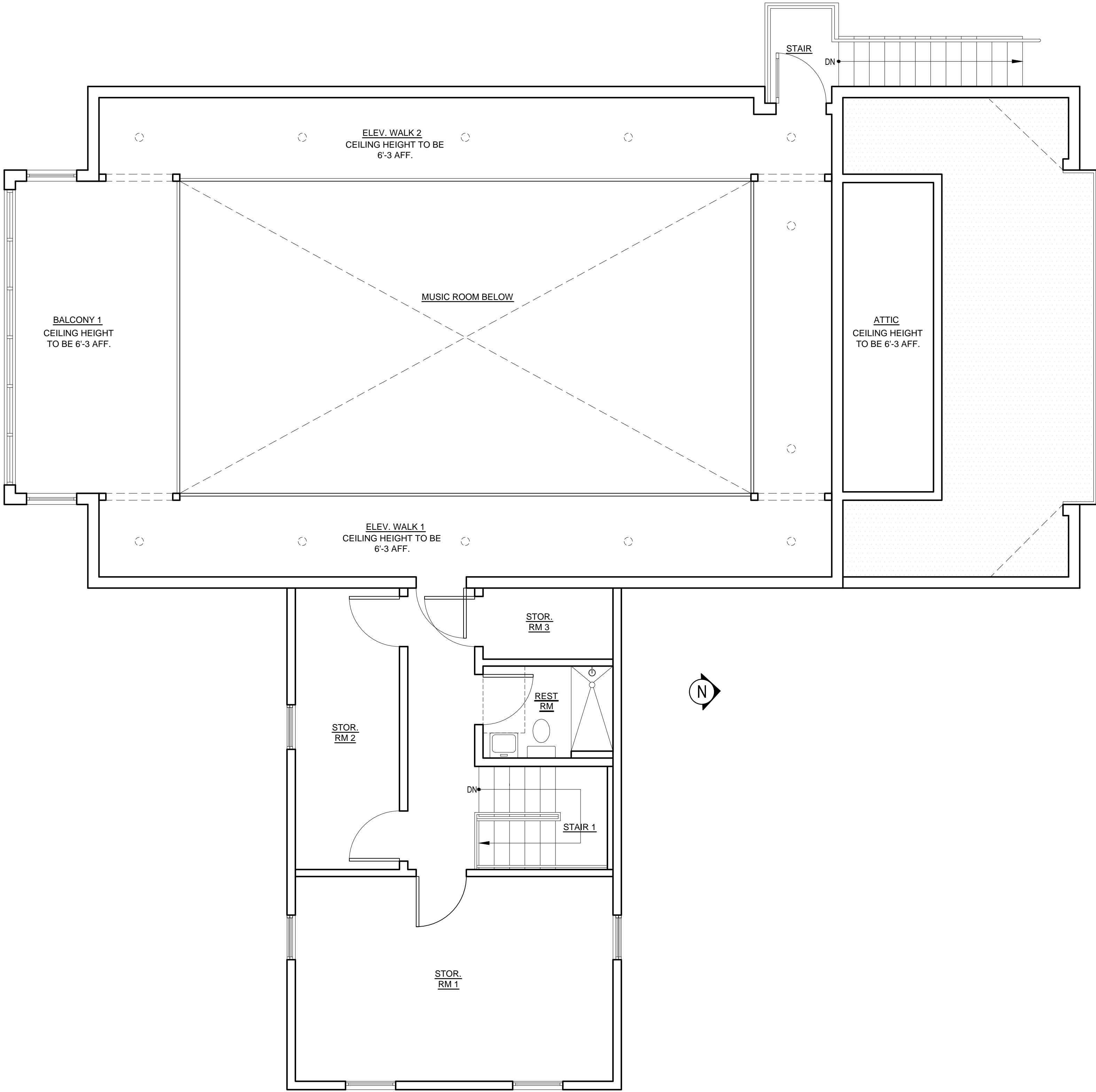
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-E-

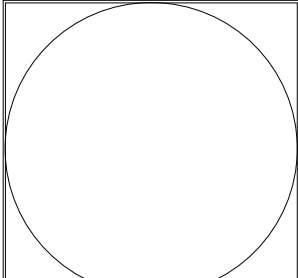
-F-

-G-

-H-



1 MEZZANINE FLOOR PLAN
SCALE: 1/4"=1'-0"



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Princeton, NJ 08540
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Drawn By
MTS

Checked By
MF

Date	Issue	No.
06/12/2021	REVIEW	0
07/22/2021	REVIEW	0
08/04/2021	REVIEW	0

Abeshouse Barn Addition
158 Elmwood Road
South Salem, NY, 10590

Project No 2101

Drawing Title
MEZZANINE
FLOOR PLAN

File Name
FILENAME

A102

1 2 3 4 5 6 7 8 9

-A-

-B-

-C-

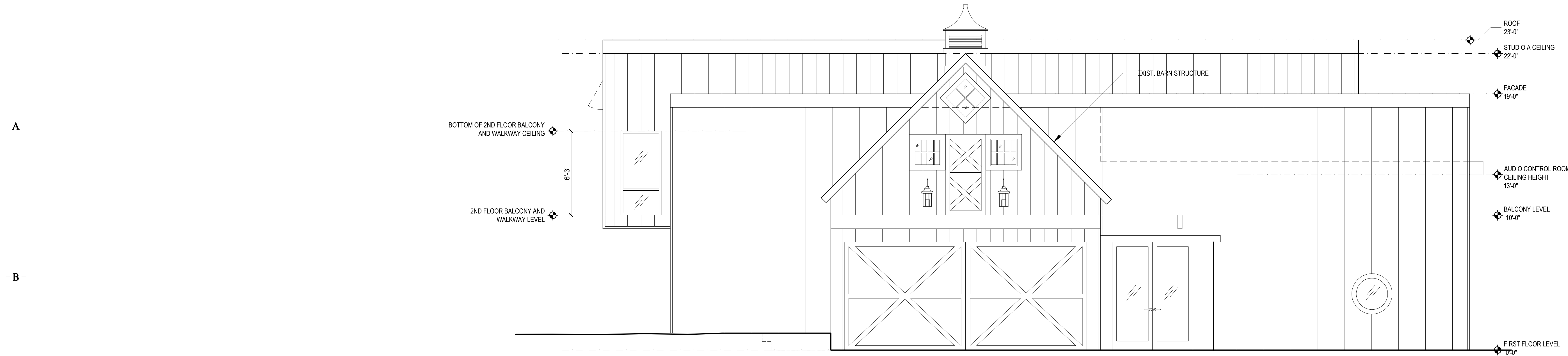
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-E-

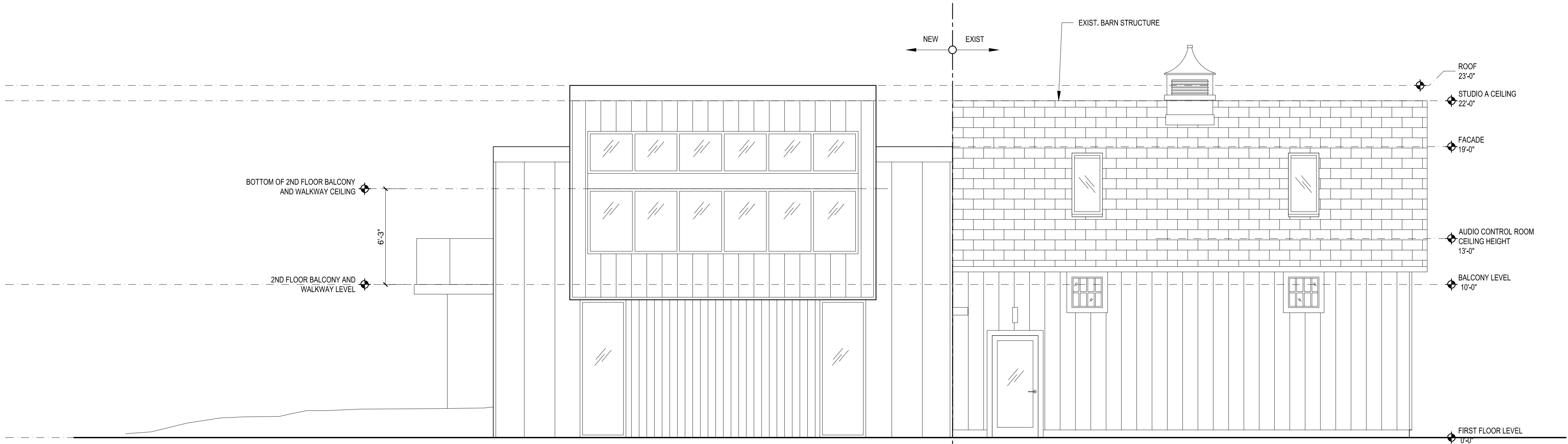
-F-

-G-

-H-



2 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



1 EAST ELEVATION
SCALE: 1/4"=1'-0"

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Drawn By
MTS

Checked By
MF

Date	Issue	No.
05/12/2021	REVIEW	0
07/22/2021	REVIEW	0
08/04/2021	REVIEW	0

Abeshouse Barn Addition

158 Elmwood Road
South Salem, NY, 10590

Project No 2101

Drawing Title
EXTERIOR
ELEVATIONS

File Name
FILENAME

A200

1 2 3 4 5 6 7 8 9

-A-

-B-

-C-

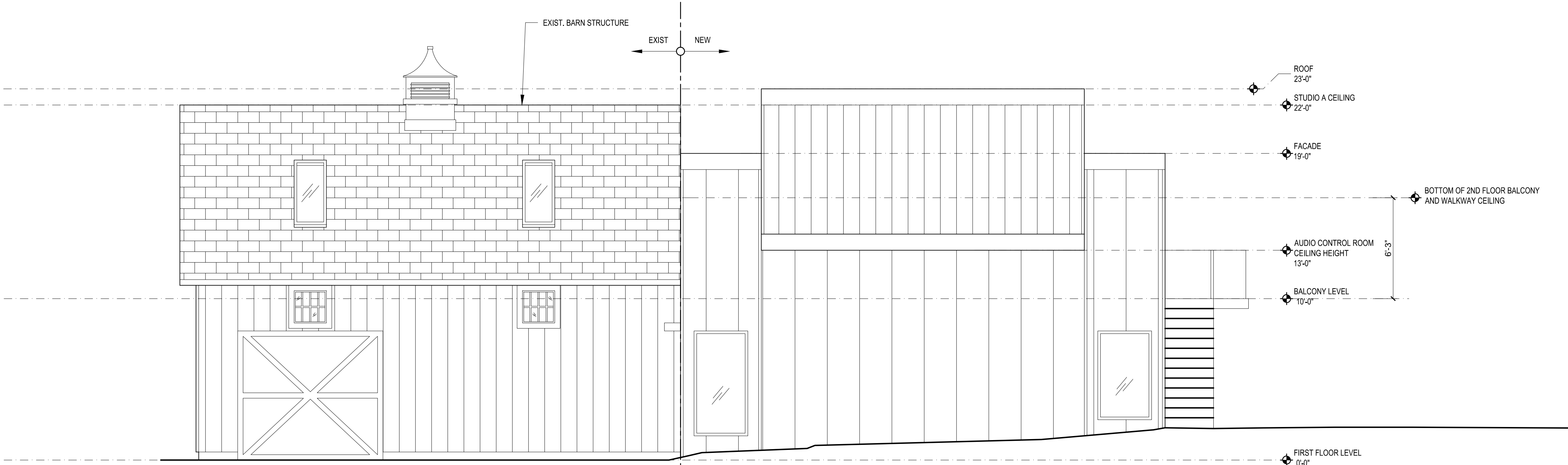
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-E-

-F-

-G-

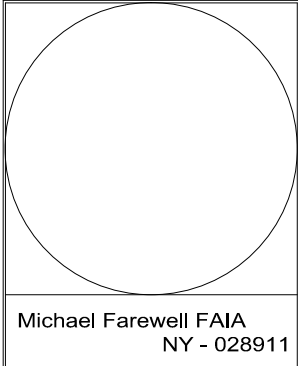
-H-



2 NORTH ELEVATION
SCALE: 1/4"=1'-0"



1 WEST ELEVATION
SCALE: 1/4"=1'-0"



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Drawn By
MTS

Checked By
MF

Date	Issue	No.
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07/22/2021	REVIEW	0
08/04/2021	REVIEW	0

Abeshouse Barn Addition

158 Elmwood Road
South Salem, NY, 10590

Project No
2101

Drawing Title
EXTERIOR
ELEVATIONS

File Name
FILENAME

A201



