

TOWN OF LEWISBORO
Westchester County, New York

Zoning Board of Appeals
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3822
Fax: (914) 533-0097
Email: zoning@Lewisborogov.com

AGENDA

Wednesday, October 27, 2021 7:30 P.M

79 Bouton Road, South Salem,
Justice Court

I. Review and adoption of the Minutes of September 2021

II. PUBLIC HEARINGS

CAL. NO. 04-21-SP

Application of Mel Donaton, [Donaton, Mel & Susan Ann, owner of record] 272 Smith Ridge Road, South Salem, NY 10590 for a renewal of a Special Permit pursuant to Article V, Section 220-38 of the Zoning Ordinance to allow the Storage of Contractor's Equipment.

The property is located on the west side of Smith Ridge Road, South Salem, designated on the Tax Map as Sheet 0046, Block 09827, Lot 073, in an R-4A, Four-Acre Residential District consisting of approximately 7.00 acres.

CAL. NO. 05-21-SP

Application of, Lee Legenzowski [Lee Legenzowski, owner of record], Laurel Pond, Smith Ridge Road, South Salem, NY 10590, for the renewal of a Special Permit pursuant to Article IV § 220-23A (9) and Article V, § 220-38 of the Zoning Ordinance to allow the storage of Contractor's Equipment.

The property is located on the west side of Smith Ridge Road, designated on the Tax Map as Sheet 49C, Block 9834, Lot 006 in an R-1A, One Acre Residential District consisting of approximately 6.1 acres.

CAL. NO. 06-21-SP

Application of Gossett Brothers Nursery, [Thomas Gossett, Trustee for the Thomas Gossett Revocable Trust, owner of record] 1202 Route 35, South Salem, NY 10590, for the renewal of a Special Permit pursuant to Article V, Section 220-32B (2)(f) to operate a non-conforming nursery business.

The property is located on the north side of Old Post Road (Route 35), designated on the Tax Map as Sheet 0031, Block 10805, Lot 046, in an R-2A, Two-Acre Residential District consisting of approximately 5.50 acres.

CAL. NO. 28-21-BZ

Application of Patrick Moore [Moore, Patrick Ryan & Loudon, Mary Ann, owner of record], 51 Grandview Road, South Salem, NY for the following variance of the proposed fence 6' high whereas 4' is the maximum permitted per Article III, Section 220-12E(1).

The property is located on the east side of (#51) Grandview Road, South Salem, NY designated on the Tax Map as Sheet 045F, Block 10273 Lot 017, in a R-1/2A, Half-Acre Residential District consisting of approximately 0.349

III. CORRESPONDENCE & GENERAL BUSINESS

Review of 2022 ZBA meeting dates and submission dates.

(914) 763-3822
FAX (914) 875-9148
TTY 800-662-1220
Email: zoning@lewisborogov.com
www.lewisborogov.com



TOWN OF LEWISBORO
Zoning Department
79 Bouton Road
South Salem, NY 10590

TOWN OF LEWISBORO, WESTCHESTER COUNTY

ZONING DEPARTMENT

ZONING BOARD OF APPEALS – October 27, 2021

<u>APPLICANT</u>	<u>CAL #</u>	<u>PAGE(S)</u>
Donaton	04-21-SP	3 to 9
Legenzowski	05-21-SP	10 - 11
Gossett/Nursery	06-21-SP	12
Moore	28-21-BZ	13 - 17

Special Permit Inspection Form For Renewal

Date of Inspection: 9/9/2001

Date of ZBA Request: 9/29/2001
[Explanation of Renewal of Special Permit included on
attached Memorandum]

Sheet No.:

46

Block No.:

9827

Lot No.:

73

Phone No.:

914-533-6652

Name of Owner:

Donaten, Mel + Susan

Address:

272 Smith Ridge Road
South Salem, NY 10590

Comments:

- Yard mostly maintained
- List of equipment provided
by owner.

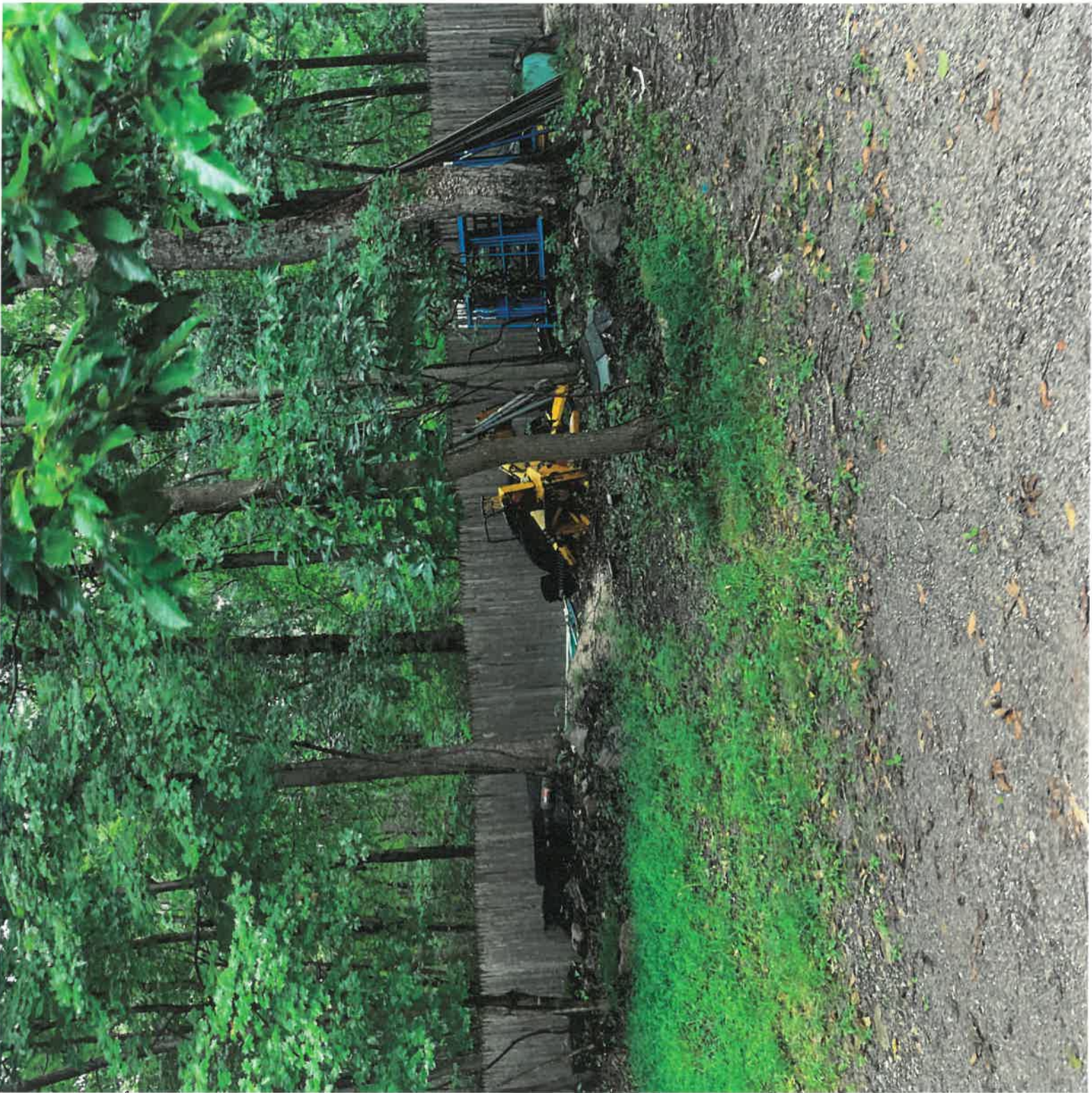
Inspected by:


Building Inspector
Deputy Building Inspector













Special Permit Inspection Form For Renewal

Date of Inspection: 10/20/2021

Date of ZBA Request: 10/27/2021

[Explanation of Renewal of Special Permit included on
attached Memorandum]

Sheet No.:

049C

Block No.:

09834

Lot No.:

006

Phone No.:

914-755-7280

Name of Owner:

Lee Legenzoski

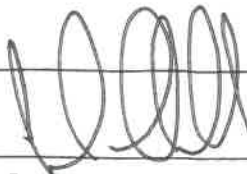
Address:

(Laurel Pond) Smith Ridge Rd
South Salem, NY 10590

Comments:

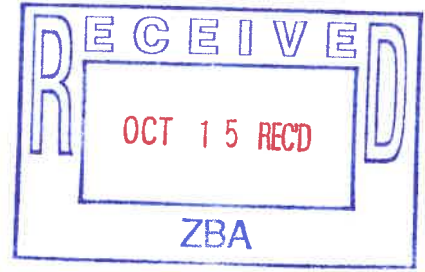
The site has been kept in a neat and
orderly condition. There is an office trailer
on site, which the owner states, will be removed
in November. The following additional items
were observed on site: (5) snow plows,
(1) membrane structure, (1) boat trailer

Inspected by:



Building Inspector

Deputy Building Inspector



CAL NO 05-21-SP

Legenzowski

Equipment list

On site we have 3 -2500 pick up trucks

3 landscaping trailers

1 mobile office trailer (this is be moved back to original location in November)

3 plows

Special Permit Inspection Form For Renewal

Date of Inspection: 10/20/2001

Date of ZBA Request: 10/27/2001

[Explanation of Renewal of Special Permit included on
attached Memorandum]

Sheet No.:

0031

Block No.:

10805

Lot No.:

046

Phone No.:

914-763-3001

Name of Owner:

Thomas Gossett
Gossett Brothers Nursery

Address:

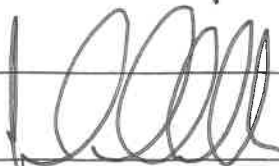
1202 Route 35
South Salem, NY 10590

Comments:

The site has been kept in a
neat and orderly condition.

There is an office trailer on site
without a building permit. This condition
cannot be corrected until the Planning
Board approves a site plan.

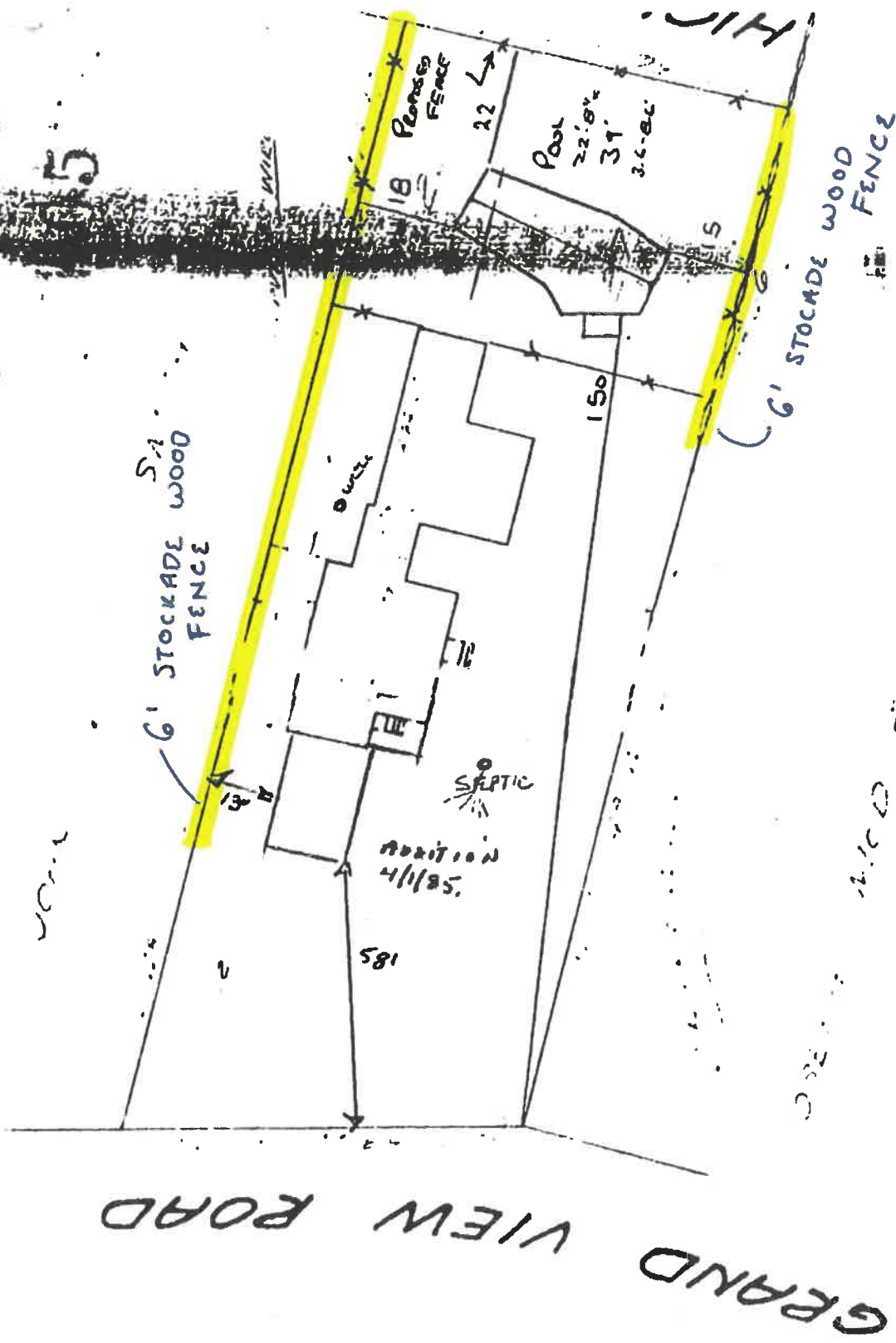
Inspected by:



Building Inspector

Deputy Building Inspector

1500



SURVEY
PREPARED FOR
THORWALD N. TROLLE
& LORETTA K. TROLLE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

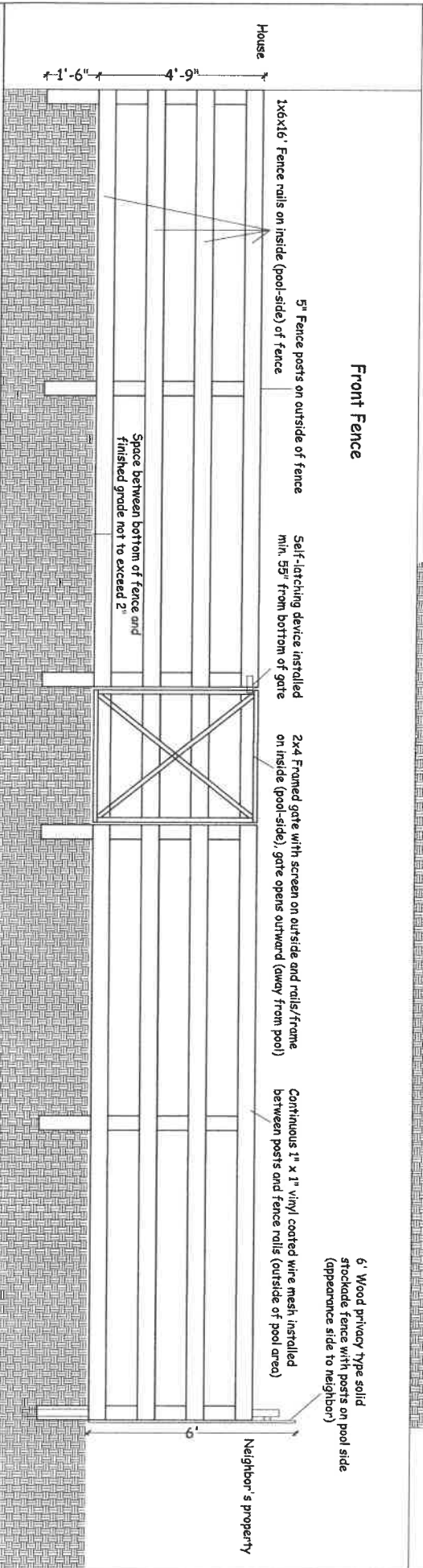
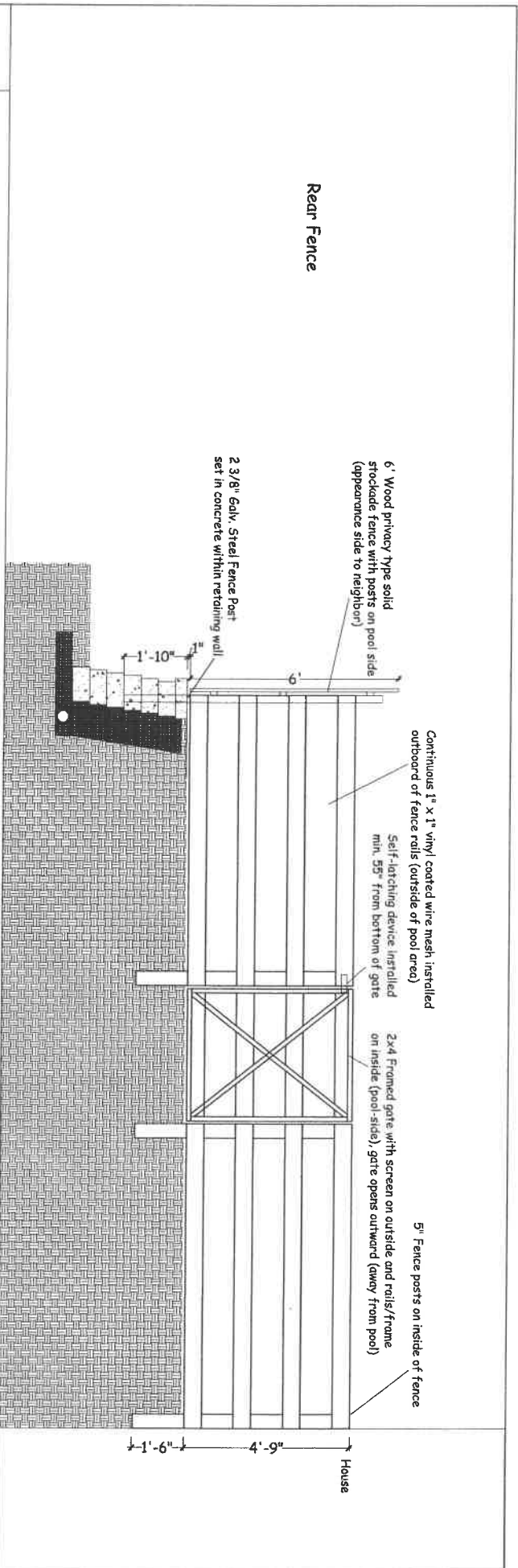
BLOCK 10273 SHEET 217

REFER TO MAP NO. 3105 ON FILE IN THE WESTCHESTER COUNTY LAND RECORDS
GUARANTEED TO CHICAGO TITLE INSURANCE COMPANY
IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR TITLE SURVEYS OF THE NEW YORK LAND TITLE ASSOCIATION UNDER ITS TITLE
CERTIFICATE NO. 10069
THE FIRST CITY BANK

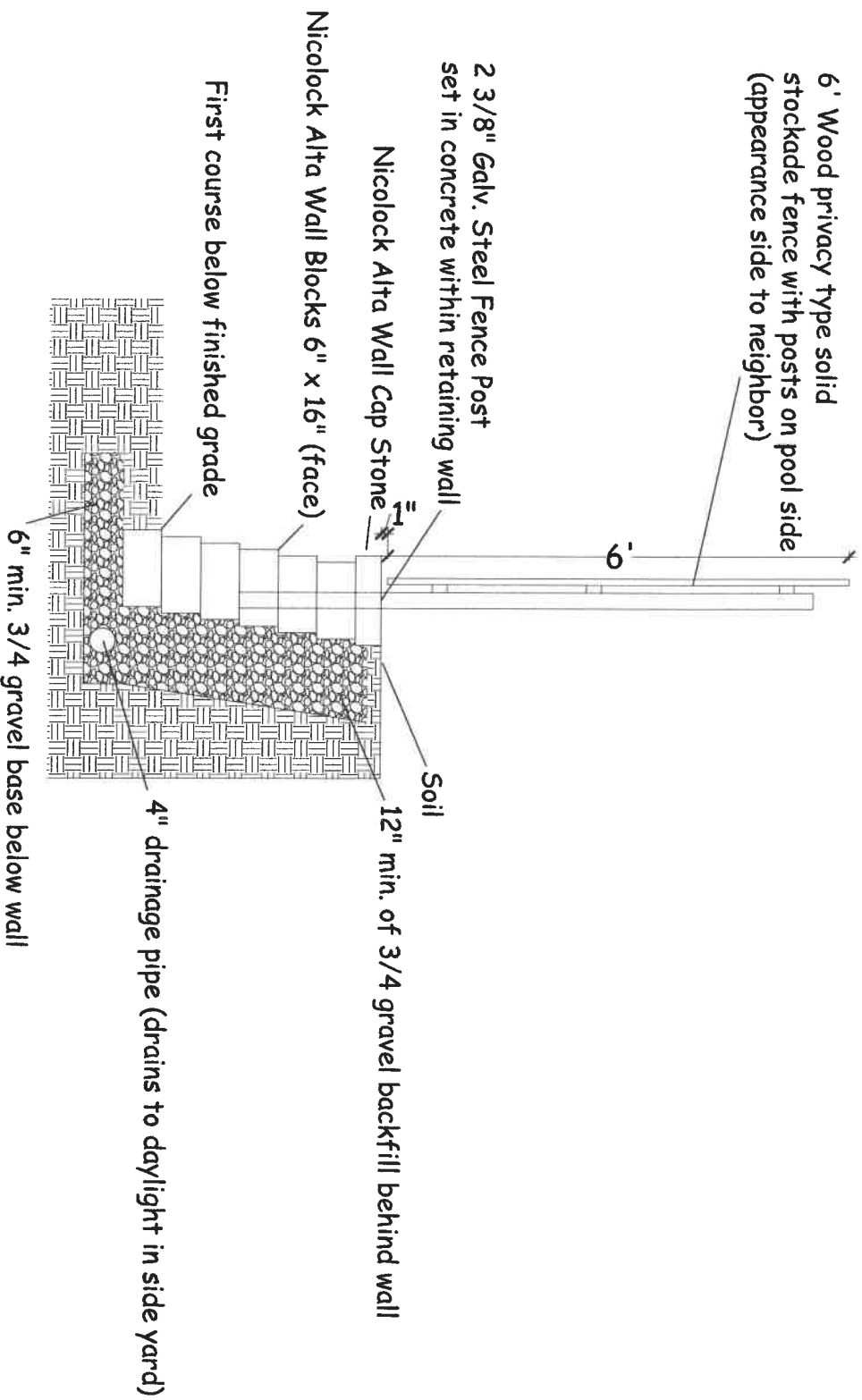
SCALE : 1" = 30'

Revised





Moore Residence: Pool Area Fencing		Elevations	
51 Grandview Rd South Salem, NY		REVISIONS:	DATE: MARCH 10, 2021
			SCALE: 3/4" = 1'-0"
		D1	



Moore Residence: Retaining Wall / Pool Area Fencing

51 Grandview Rd South Salem, NY

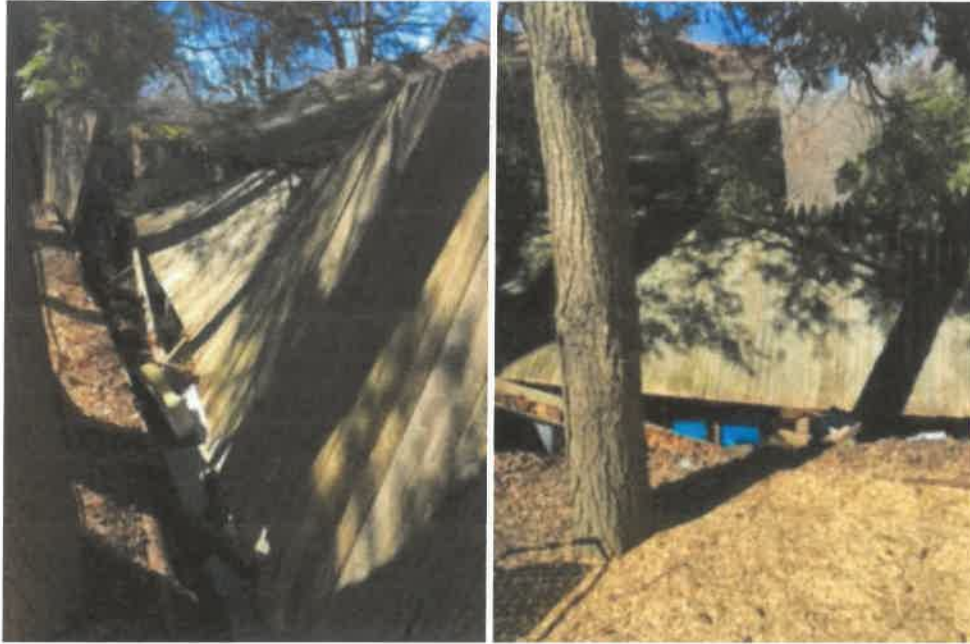
Cross Section

REVISIONS

DATE: MARCH 18, 2021

SCALE: 1/2" = 1'-0"

D2



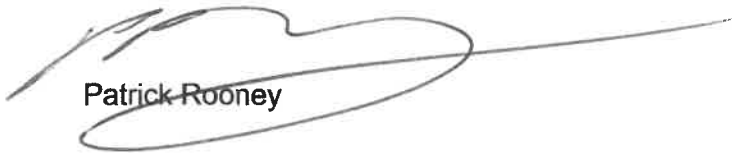
Existing fence abutting 47 Grandview Rd (Wetzel property)

Patrick Rooney
53 Grandview Rd
South Salem, NY 10590

Dear Zoning Board of Appeals,

I am writing to express my full support of the replacement of the existing 6' high wooden privacy fence that separates my property from my neighbor, Patrick Moore's property at 51 Grandview road with a new 6' high wooden privacy fence. The existing fence is in disrepair and in need of replacement and will be identical to the existing fence.

Thank you.

A handwritten signature in dark ink, appearing to be 'P. Rooney', with a long horizontal line extending to the right. The signature is written over the printed name 'Patrick Rooney'.

Patrick Rooney

2022 ZONING BOARD MEETING DATES/SUBMISSION DEADLINES BY 10:00 AM	
ZBA MEETING DATE	ZBA APPLICATION SUBMISSION DEADLINE 10:00AM
Wednesday, January 26, 2022	Thursday, December 30, 2021
Wednesday, February 23, 2022	Friday, February 4, 2022
Wednesday, March 23, 2022	Friday, March 4, 2022
Wednesday, April 27, 2022	Friday, April 1, 2022
Wednesday, May 25, 2022	Friday, April 29, 2022
Wednesday, June 22, 2022	Friday, May 27, 2022
Wednesday, July 27, 2022	Friday, July 1, 2022
Wednesday, August 24, 2022	Friday, July 29, 2022
Wednesday, September 28, 2022	Friday, September 2, 2022
Wednesday, October 26, 2022	Friday, September 30, 2022
Wednesday, November 16, 2022	Friday, October 28, 2022
Wednesday, December 28, 2022	Friday, December 2, 2022