TOWN OF LEWISBORO
Westchester County, New York

Zoning Board of Appeals
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3822
Fax: (914) 533-0097
Email: zoning@Lewisborogov.com

AGENDA

Wednesday, February 23, 2022 7:30 P.M.

79 Bouton Road, South Salem, Justice Court

I. Review and adoption of the Minutes of December 2021

II. PUBLIC HEARINGS

<u>CAL. NO. 07-21-SP</u>

Application of Beverly Wilson [Wilson, Mizell Jr. and Beverly owners of record], 157 Spring Street, South Salem, NY 10590 for a Special Permit pursuant to Article IV, Section 220-23A (9) and Article V, Section 220-38 of the Zoning Ordinance to allow the storage of Contractor's Equipment.

The property is located on the south side of (# 157) Spring Street, designated on the Tax Map as Sheet 0031, Block 10805, Lots 056 & 066, in a SCR-2A, Special Character Two-Acre Residential District consisting of approximately 21.30 acres

<u>CAL. NO. 01-22-BZ</u>

Application of Jill Kowal & Jordi Serra, [Kowal, Jill & Catafau, Jordi Serra, owner of record], 24 Cove Road, NY for the following variance of a proposed addition will have an eastern side yard setback of 7.5' whereas 12' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code; the proposed addition will have a western side yard setback of 7.5' whereas 12' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code. the proposed deck will have an eastern side yard setback of 4.5' whereas 12' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code. the proposed AC condenser will have a western side yard setback of 9' whereas 12' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code. the proposed LP tank will have a western side yard setback of 9' whereas 12' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the southern side of (#24) Cove Road, South Salem, NY designated on the Tax Map as Sheet 033A, Block 11157 Lot 027, in an R-1/4AC, one quarter-Acre Residential District consisting of approximately 0.162 acres.

<u>CAL. NO. 02-22-BZ</u>

Application of Justin Liegey, [Jones, Michael T. M. & Dana Wallach Jones, owner of record], 18 Post Office Road, Waccabuc, NY for the following variance of a proposed spa which will have a northeastern side yard setback of 22.8' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the south side of (#18) Post Office Road, Waccabuc, NY designated on the Tax Map as Sheet 0025, Block 10803 Lot 037, in an R-2A, Two-Acre Residential District consisting of approximately 1.00 acre.

CAL. NO. 03-22-BZ

Application of Patrick M. Croke, [Preneta, Marie Louise, owner of record], 240 Spring Street, South Salem, NY for the following variance of an existing deck which has a south western rear yard setback of 33' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#240) Spring Street, South Salem, NY designated on the Tax Map as Sheet 0039, Block 10543 Lot 021, in an SCR-2A, Special Character Two-Acre Residential District consisting of approximately 1.06 acres.

CAL. NO. 04-22-BZ

Application of Frauke Berman, [Berman, Frauke, owner of record], 1115 Route 35, South Salem, NY for the following variance of a manure storage area on their property and are requesting a rear yard setback of 107' whereas 150' is required and a side yard setback of 35' whereas 150' is required per Article IV Section 220-23D(8)(d) of the Town of Lewisboro Zoning Code; the applicant is proposing a barn on their property and are requesting a side yard setback of 22.5' whereas 50' is required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the south side of (#1115) Route 35, South Salem, NY designated on the Tax Map as Sheet 0026, Block 10541 Lot 071, in an R-4A, Four-Acre Residential District consisting of approximately 8.184 acres.

III. CORRESPONDENCE & GENERAL BUSINESS

(914) 763-3822
FAX (914) 875-9148
TTY 800-662-1220
Email: zoning@lewisborogov.com
www.lewisborogov.com

TOWN OF LEWISBORO
Zoning Department
79 Bouton Road
South Salem, NY 10590

TOWN OF LEWISBORO, WESTCHESTER COUNTY

ZONING DEPARTMENT

ZONING BOARD OF APPEALS – February 23, 2022		
APPLICANT	***CAL #***	***PAGE(S)***
Wilson	**07-21-SP**	**4 & 5**
Kowal & Serra	**01-22-BZ**	**6 to 15**
Liegey / Jones	**02-22-BZ**	**16 to 18**
Preneta	**03-22-BZ**	**19 to 21**
Berman	**04-22-BZ**	**22 to 32**

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will hold a Public Hearing on Wednesday, February 23, 2022 at 7:30 P.M., at the Town of Lewisboro Offices, 79 Bouton Road, South Salem, New York 10590 regarding the following:

CAL. NO. 07-21-SP

Application of Beverley Wilson, 57 Bouton Road, South Salem, NY 10590 for the renewal of a Special Permit pursuant to Article IV, Section 220-23A (9) and Article V, Section 220-38 of the Zoning Ordinance to allow the Storage of Contractor's Equipment.

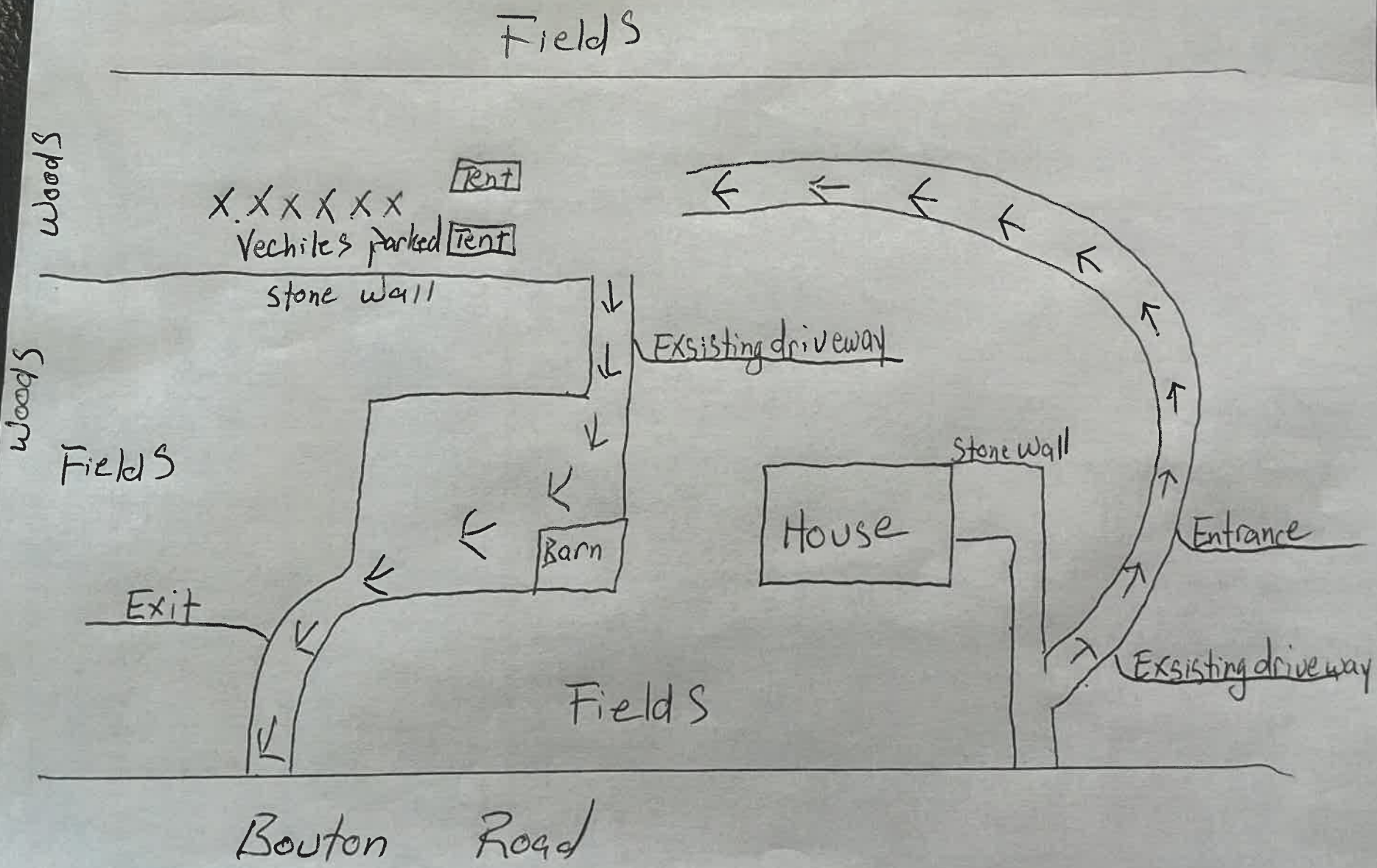
The property is located on the southern side of Bouton Road, designated on the Tax Map as Sheet 31, Block 10805, Lots 56 and 66, in an SCR-2A, Special Character Two-Acre Residential District consisting of approximately 21.30 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals at the Town Offices, 79 Bouton Road, South Salem, New York 10590 during regular business hours. At such Hearing, all interested parties may attend and will be heard.

Dated this 26th day of January 2022
in South Salem, New York

By: **ZONING BOARD OF APPEALS**
TOWN OF LEWISBORO
Robin Price, Jr.
CHAIRMAN

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.



57 Bouton Road S. Salem

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, February 23, 2022, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

<u>CAL. NO. 01-22-BZ</u>

Application of Jill Kowal & Jordi Serra, [Kowal, Jill & Catafau, Jordi Serra, owner of record], 24 Cove Road, NY for the following variance of a proposed addition will have an eastern side yard setback of 7.5' whereas 12' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code; the proposed addition will have a western side yard setback of 7.5' whereas 12' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code; the proposed deck will have an eastern side yard setback of 4.5' whereas 12' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code; the proposed AC condenser will have a western side yard setback of 9' whereas 12' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code; the proposed LP tank will have a western side yard setback of 9' whereas 12' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the south side of (#24) Cove Road, South Salem, NY designated on the Tax Map as Sheet 033A, Block 11157 Lot 027, in an R-1/4AC, one quarter-Acre Residential District consisting of approximately 0.162 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

Dated this 26th day of January 2022
in South Salem, New York

By: ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
ROBIN PRICE, JR.
CHAIR

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

Addition & Alterations for:

KOWAL - SERRA

24 COVE ROAD

TOWN OF LEWISBORO, NY

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS IN THE FIELD.

2. CONTRACTOR TO VISIT THE BUILDING SITE PRIOR TO PREPARATION OF BID. SUBMISSION OF A BID IS CONFIRMATION BY THE CONTRACTOR THAT HE HAS VISITED THE WORK SITE.

3. DETAILS NOTED "TYPICAL" OR "TYP." IMPLY ALL SUCH CONDITIONS BE TREATED SIMILARLY.

4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR ANY INCONSISTENCIES IN THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THE WORK.

5. ALL DIMENSIONS SHOWN ARE ACTUAL. DIMENSIONS OF FINISHES ARE NOT INCLUDED.

6. UNLESS OTHERWISE NOTED, ALL EXPOSED SURFACES OF GYPSUM BOARD, HOLLOW METAL, MISCELLANEOUS METALS, WOOD, ETC. ARE TO RECEIVE PRIME AND FINISH COATS OF PAINT. EXCLUDED FROM THIS IS FACTORY FIN. ITEMS.

7. ALL MATERIALS AND METHODS OF CONSTRUCTION PROVIDED FOR THIS PROJECT MUST CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES.

8. ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED BY COMPETENT WORKMEN IN A NEAT AND PROFESSIONAL MANNER. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR AFTER THE DATE OF ACCEPTANCE BY OWNER.

9. CONTRACTOR TO SECURE AND PAY FOR ALL PERMITS (UNLESS PREPAID BY OWNER), SECURITY DEPOSITS, INSPECTIONS AND LICENSES NECESSARY FOR PROPER EXECUTION OF THE WORK.

10. THE AIA DOCUMENT A201, GENERAL CONDITIONS(CURRENT EDITION) SHALL RELATE TO THE WORK OF THE PROJECT AND IS HEREBY MAKE A PART OF THE CONTRACT DOCUMENTS.

11. IF ANY UNFORESEEN CONDITIONS ARISE DURING ANY PORTION OF THE WORK, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE ARCHITECT AT ONCE.

12. ALL RUBBISH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE CONSTRUCTION AREA DAILY AND SHALL BE LOADED INTO DUMPSTERS FOR REMOVAL FROM SITE. THE CONSTRUCTION AREA SHALL BE KEPT NEAT & ORDERLY THROUGHOUT THE DURATION OF THE PROJECT.

13. ANY CUTTING/PATCHING AND FINISHING NECESSARY TO FINISH ANY WORK WITHIN THE PROJECT AREA AND THROUGHOUT THE RESIDENCE, BUT NOT SPECIFICALLY CALLED OUT ON THESES DRAWINGS, IS CONSIDERED TO BE WITHIN THE SCOPE OF THE WORK.

14. ALL ITEMS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.

15. THE CONTRACTOR IS TO COORDINATE WITH THE VARIOUS TRADES INVOLVED AND SHALL BE RESPONSIBLE FOR OVERALL COORDINATION WITH ALL SUBCONTRACTORS.

16. THE CONTRACTORS SHALL USE DIMENSIONS ONLY; DO NOT SCALE DRAWINGS.

17. UPON COMPLETION OF WORK, THE CONTRACTOR IS TO OBTAIN CERTIFICATE OF OCCUPANCY AND APPROVAL FROM THE BUILDING DEPARTMENT, OR OTHER AUTHORITIES HAVING JURISDICTION, AND SUBMIT SAME TO THE OWNER.

18. WORK THAT IS SUBJECT TO DAMAGE BECAUSE OF CONTINUING CONSTRUCTION OPERATIONS SHALL BE ADEQUATELY PROTECTED. UPON COMPLETION, THE ENTIRE WORK SHALL BE DELIVERED TO THE OWNER IN PROPER, WHOLE AND UNBLEMISHED CONDITION, CLEANED AND READY FOR OCCUPANCY.

19. MATERIALS: ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURERS. ALL LIKE MATERIALS USED SHALL BE NEW AND FREE FROM ANY DEFECTS. ALL LIKE MATERIALS USED SHALL BE OF THE SAME MANUFACTURER AND QUALITY UNLESS OTHERWISE SPECIFIED.

20. THE CONTRACTOR SHALL CARRY THE FOLLOWING REQUIRED INSURANCES AND PROVIDE THE OWNER WITH DOCUMENTATION OF SAME:

    A) PROPERTY INSURANCE(FOR CONTRACTORS PROPERTY)
    B) WORKMAN'S COMPENSATION
    C) AUTOMOBILE INSURANCE
    D) GENERAL LIABILITY MINIMUM LIMIT $1,000,000.

21. ALL BATH EXHAUST FANS VENTED DIRECTLY TO EXTERIOR.

22. MANUFACTURERS PRODUCTS CALLED OUT ON THESE DRAWINGS DOES NOT EXPRESS OR IMPLY ANY GUARANTEES/ WARRANTEES BY THE ARCHITECT. ALL MATERIALS MAY BE SUBSTITUTED WITH "OR EQUAL".

23. CONTRACTOR TO ADJUST FRAMING TO ACCOUNT FOR DUCTWORK/ REGISTERS ASSUMED CENTERED ON WINDOWS. CONTRACTOR TO ADJUST FRAMING TO AVOID BEAM/JOIST DIRECTLY OVER CENTER OF DINING ROOM, EATING AREAS AND KITCHEN ISLAND TO AVOID FIXTURE BOX CONFLICTS.

24. ALL EXTERIOR SURFACES TO BE PITCHED AWAY FROM STRUCTURE.

25. ALL EXISTING FIREPLACE CHIMNEYS TO BE INSPECTED BY QUALIFIED PROFESSIONAL AND RELINED AND FLUE FLASHED WITH THRU FLUE FLASHING IF NECESSARY.

26. ALL MATERIAL ALLOWANCES SHOWN ARE FOR MATERIALS ONLY. LABOR TO BE INCLUDED IN BASE BID. NO LABOR COSTS WIL BE FOUND WITHIN THE CONTRACT DOCUMENTS. ALL LABOR COSTS SUPPLIED BY G.C.

27. THE ARCHITECT SHALL CONDUCT INSPECTIONS TO DETERMINE THE DATE OR DATES OF SUBSTANTIAL COMPLETION AND THE DATE OF FINAL COMPLETION; ISSUE CERTIFICATE OF SUBSTANTIAL COMPLETION; RECEIVE FROM THE CONTRACTOR AND FORWARD TO THE OWNER, FOR THE OWNER'S REVIEW AND RECORDS, WRITTEN WARRANTIES AND RELATED DOCUMENTS REQUIRED BY THE CONTRACT DOCUMENTS AND ASSEMBLED BY THE CONTRACTOR; AND ISSUE A FINAL CERTIFICATE OF PAYMENT BASED UPON A FINAL INSPECTION INDICATING THE WORK COMPLIES WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

28. CONTRACTOR TO PROVIDE FIRE STOP BLOCKING AT ALL HORIZONTAL CHASES, FURRED OUT WALLS & FRAMED BAYS EVERY 10 (TEN) FEET PER CODE.

29. GENERAL CONTRACTOR TO INSTALLED ARCHITECT CONSTRUCTION SIGN, LOCATION AS PER ARCHITECT

30. ALL INTERIOR SURFACES UNLESS OTHERWISE NOTED TO RECEIVE A LEVEL 5 FINISH.

31. CONSTRUCTION TYPE PLACARD TO BE PLACED ON EXTERIOR WALL LOCATION AS PER THE BUILDING INSPECTOR.

32. SMOKE AND CARBON ALARMS TO BE INSTALLED AS PER CURRENT AND APPLICABLE NYS CODE REGULATIONS.

33. ANY EXPOSED FOAM INSULATION SHALL HAVE REQUIRED FIRE RATING BY CODE BY USING INTUMSCENT PAINT.

34. ALL MATERIALS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

35. ALL WINDOW GLASS IN BATHROOMS TO BE TEMPERED. EXISTING WINDOWS TO RECEIVE 3M SCOTCHSHEILD SECURITY AND SAFETY FILM

NYS BUILDING CODE STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS AND SPECIFICATIONS COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE

NYS ENERGY CODE STATEMENT

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS AND SPECIFICATIONS COMPLY WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP	WINTER DESIGN TEMP
	SPEED	TOPO EFFECTS	SPECIAL WIND REGION	WIND BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30 PSF	115 MPH	NO	YES	NO	B	SEVERE	42"	MODERATE TO HEAVY	YES	NO	2000	51.6	7

HVAC NOTES (WHERE APPLICABLE)

1. ALL HVAC WORK SHALL BE IN STRICT CONFORMANCE WITH ASHRAE STANDARDS AND THE NYS CONSTRUCTION CODE.

2. SYSTEM DESIGN SHALL INCLUDE DIFFUSERS, RETURN AIR GRILLES, DUCTWORK, VAV BOXES (AS APPLICABLE) AND CONTROLS AS PER ABOVE NOTED CRITERIA.

3. UPON INSTALLATION OF NEW HVAC WORK, CONTRACTOR SHALL SUBMIT AS-BUILT PLAN SHOWING EXACT CONFIGURATION OF SYSTEM INSTALLED.

4. CONTRACTOR SHALL COORDINATE WITH PLUMBING, AND ELECTRICAL TO AVOID AND RESOLVE SYSTEM CONFLICTS WITHIN THE CEILING SPACE.

5. CONTRACTOR SHALL BALANCE SYSTEM TO ENSURE PROPER AIR FLOW FOR NEW SYSTEM CONFIGURATION.

6. SEE CEILING PLAN FOR ADDITIONAL HVAC NOTES.

7. THE HEATING SYSTEM OF THIS CONTRACT SHALL GENERALLY CONSIST OF A OIL FIRED, HYDRO-AIR SYSTEM. ALL DUCTWORK TO BE GALV. STEEL. MAX. DUCT AIR SPEED TO BE 600 CFM. HEAT DESIGN TO MAINTAIN 68° INTERIOR TEMP/ 0° OUTSIDE TEMP W/ 15 MPH WIND SPEED FOR 6000 DD

8. AN AIR CONDITIONING SYSTEM SHALL ALSO BE INCORPORATED IN TO THE HYDRO-AIR DUCTWORK SYSTEM,

PLUMBING NOTES (WHERE APPLICABLE)

1. INSTALLATION SHALL COMPLY WITH ALL LOCAL AND STATE CODES INCLUDING THE 1993 NATIONAL STANDARD PLUMBING CODE.

2. PLUMBING WORK SHALL INCLUDE INSTALLATION OF SINKS, FAUCETS, DRAINS, SUPPLIES, VENTS, AND PUMP AT LOCATIONS SHOWN ON PLANS.

3. PLUMBER SHALL PROVIDE SIGNED AND SEALED RISER DIAGRAM FOR INCLUSION IN CONSTRUCTION DOCUMENTS.

4. PITCH ALL WATER LINES UP FROM SOURCE 1/4" PER TEN (10) FEET.

5. SOLDER SHALL BE LEAD FREE TYPE AS REQUIRED BY CODE.

PLUMBING MATERIALS (WHERE APPLICABLE)

1. SANITARY PIPING: ALL UNDERGROUND SANITARY PIPING SHALL BE SERVICE WEIGHT CAST IRON WITH NEOPRENE COMPRESSION GASKETS. ABOVE GROUND SANITARY PIPING SHALL BE THE SAME AS UNDERGROUND EXCEPT NO-HUB TYPE WITH STAINLESS STEEL COUPLINGS. THIS CONTRACTOR MAY USE SCHEDULE 40 PVC FOR SANITARY PIPING IF PERMITTED BY LOCAL RESPONSIBLE AUTHORITIES. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE USE OF PVC WITH LOCAL RESPONSIBLE AUTHORITIES.

2. DOMESTIC WATER PIPING: UNDERGROUND PIPING 2" AND SMALLER SHALL BE TYPE "K" SOFT COPPER TUBING WITH FLARED FITTINGS. ABOVE GROUND COLD WATER PIPING 2" AND SMALLER SHALL BE TYPE "L" HARD DRAWN COPPER TUBING WITH LEAD-FREE SOLDERED FITTINGS.

3. STORM WATER PIPING: ALL UNDERGROUND STORM PIPING SHALL BE SERVICE WEIGHT CAST IRON WITH NEOPRENE COMPRESSION GASKETS. THIS CONTRACTOR MAY USE SCHEDULE 40 PVC FOR STORM PIPING IF PERMITTED BY LOCAL RESPONSIBLE AUTHORITIES. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE USE OF PVC WITH LOCAL RESPONSIBLE AUTHORITIES.

4. PIPE INSULATION: ALL EXPOSED HOT AND COLD WATER PIPING SHALL BE INSULATED WITH 1" FIBERGLASS INSULATION WITH JACKET OR APPROVED ALTERNATE.

5. ALL EXPOSED WATER SUPPLY TO BE 3/8" CHROME PLATED BRASS TUBING W/ POLISHED CHROME NIPPLE VALVES.

SHOP DRAWINGS

1. PROVIDE SHOP DRAWINGS AS LISTED BELOW AND IN THE PROJECT SPECIFICATIONS MANUAL, DIVISION 1 GENERAL REQUIREMENTS, REFERENCE STANDARDS SECTION 01090

   -MILLWORK (KITCHEN CABINETRY, BUILT IN CABINETRY, ETC.)
   -HVAC (TO INCLUDE CATALOG CUTS SHEETS, PAD / UNIT LAYOUT)
   -STRUCTURAL STEEL
   -INTERIOR DOORS
   -EXTERIOR DOORS
   -WINDOWS
   -EXTERIOR FOLDING WINDOW SHUTTERS

   WHEN PROCEEDING WITHOUT SHOP DRAWING APPROVAL THE CONTRACTOR ASSUMES RESPONSIBILITY AND COST FOR CORRECTIONS MADE IN FIELD.

INSULATION

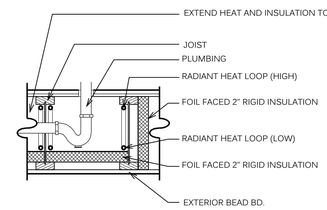
1. PROVIDE REQUIRED INSULATION @ ALL EXPOSED EXISTING EXTERIOR WALLS & CEILINGS PER CODE. BATT INSULATION: ASTM C665; PREFORMED, HIGH DENSITY GLASS FIBER BATT OR ROLL, FRICTION FIT; FACING TO BE INSTALLED AT WARM SIDE OF WALL, IF SPF, PROVIDE MINIMUM FLASH BARRIER PER CODE WHERE UNCOVERED (INTUMESCENT PAINT)
2. SOUND ATTENUATION BLANKETS: 3 $\frac{1}{2}$" UNFACED NOISE BARRIER FIBERGLASS INSULATION BLANKETS ON WALLS AND CEILING/FLOORS AS SHOWN ON DRAWINGS. PROVIDE AT SURROUNDING WALLS OF ALL BATHROOMS AND LAUNDRY ROOMS.
3. POLYSTYRENE INSULATION (FOR UNDER THE SLAB APPLICATION): ASTM C578, EXTRUDED CELLULAR TYPE HAVING A THERMAL RESISTANCE R OF 5.0 PER INCH MIN.; THICKNESS 2" UNLESS NOTED OTHERWISE ON THE DRAWING. COMPREHENSIVE STRENGTH SHALL BE A MINIMUM OF 25 PSI. WATER ABSORPTION WILL MEET ANSI/ASTM D2842 0.3 PERCENT OF VOLUME.
4. ACCESSORIES: #6 MIL THICK POLYETHYLENE FILM; POLYETHYLENE SELF-ADHERING TAPE.
5. INSULATION FASTENERS: AS RECOMMENDED BY MANUFACTURER.
6. MINIMUM STANDARDS:

EXTERIOR WALLS:	R-20+5, 5 $\frac{1}{2}$" BATT INSULATION
CEILINGS OVER HEATED SPACES:	R-49, 10 $\frac{1}{2}$" BATT INSULATION
CATHEDRAL CEILING:	R-49, 10 $\frac{1}{2}$" BATT INSULATION
FLOOR JOISTS OVER CRAWL SPACE:	R-30, 5 $\frac{1}{2}$" BATT INSULATION
INTERIOR WALLS AS NOTED:	R-11, 3 $\frac{1}{2}$" BATT INSULATION (UNFACED)

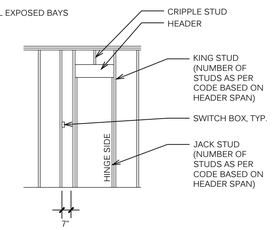
   (UNLESS RESCHECK CALCULATIONS DICTATE OTHERWISE)

7. INTERIOR WALLS:
   SOUND ATTENUATION INSULATION

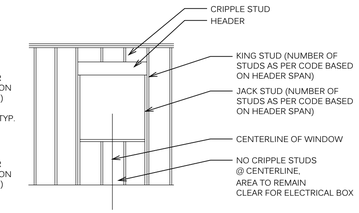
IT IS A VIOLATION OF EDUCATION LAW FOR ANY PERSON TO ALTER A DOCUMENT IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT. IF A DOCUMENT BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



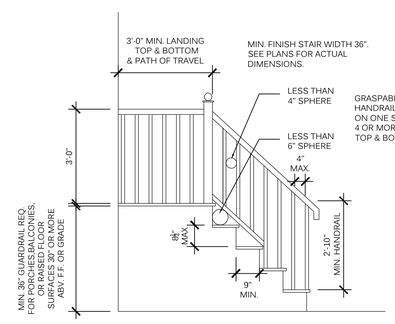
HEAT AT EXPOSED PLUMBING TRAPS
N.T.S.



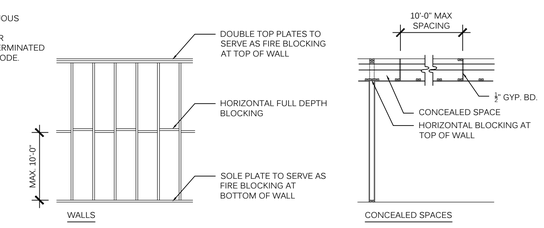
TYP. DOOR FRAMING
N.T.S.



TYP. WINDOW FRAMING
N.T.S.



STAIR, HANDRAIL & GUARDRAIL DETAILS
N.T.S.



FOR ADDITIONAL INFORMATION REFER TO IRC R302.11

FIREBLOCKING
N.T.S.

LIST OF DRAWINGS

ARCHITECTURAL

T.1 TITLE SHEET
EC.1 EXISTING CONDITIONS: FLOOR PLANS
EC.2 EXISTING CONDITIONS: EXT. ELEVATIONS
A.0 FOUNDATION PLAN & SITE PLAN
A.1 FIRST FLOOR PLAN
A.2 SECOND FLOOR PLAN & ROOF PLAN
A.3 EXTERIOR ELEVATIONS

MACKIN ARCHITECTS PLLC, AIA
EST. 1992
112 TITICUS ROAD
NORTH SALEM, NEW YORK 10560
OFFICE (914) 277-3152
MAIL@MACKINARCHITECTS.COM

ADDITION & ALTERATIONS:
KOWAL - SERRA RESIDENCE
24 COVE ROAD
LEWISBORO, NEW YORK

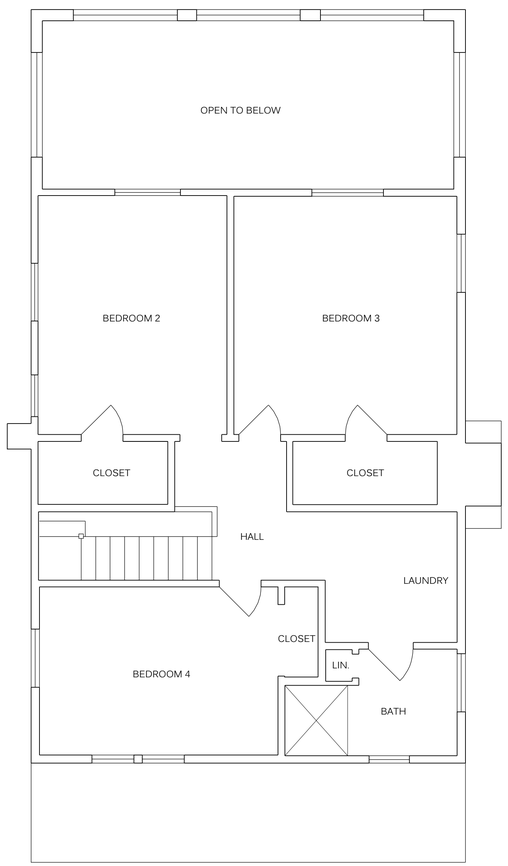
TITLE SHEET

© Ralph R. Mackin J.R. R.A.
New York State Lic No. 023072
State of Conn. Lic. No. 10504
Commonwealth of Massachusetts
Lic. No. 951372-AR-R

REV.	DATE	DESCRIPTION
	1.3.22	FOR PERMIT
	1.20.22	ZBA SUBMISSION

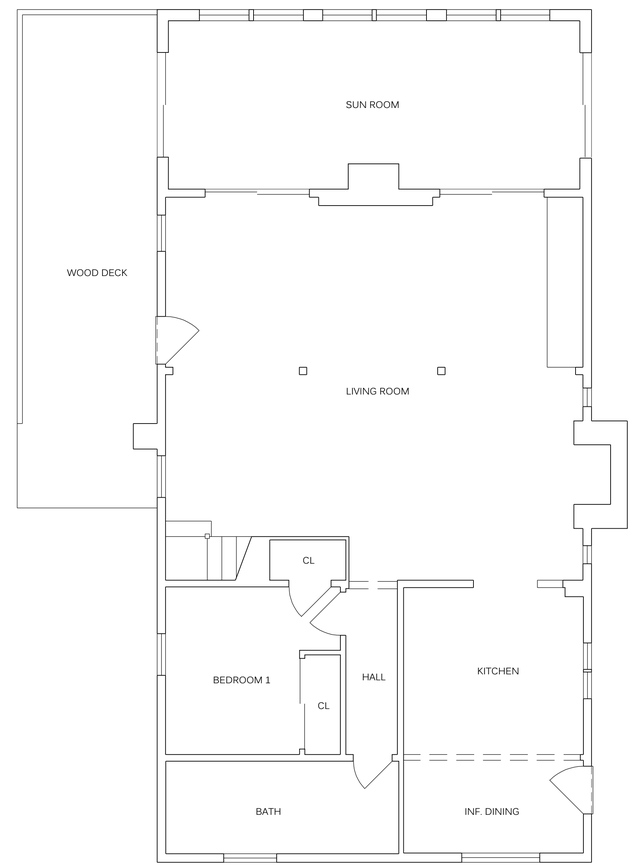
DATE: 12.1.21
SCALE:
PROJECT:
DRAWN: TM
COVE ROAD

T.1



SECOND FLOOR PLAN

SCALE: $\frac{1}{4}$" = 1'-0"



FIRST FLOOR PLAN

SCALE: $\frac{1}{4}$" = 1'-0"

MACKIN ARCHITECTS PLLC, AIA
EST. 1992
112 TITICUS ROAD
NORTH SALEM, NEW YORK 10560
OFFICE (914) 277-3152
MAIL@MACKINARCHITECTS.COM

ADDITION & ALTERATIONS:

KOWAL - SERRA RESIDENCE
24 COVE ROAD
LEWISBORO, NEW YORK

EXISTING CONDITIONS FLOOR PLANS

© Ralph R. Mackin J.R. R.A.
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State of Conn. Lic. No. 10504
Commonwealth of Massachusetts
Lic. No. 951372-AR-R

REV.	DATE	DESCRIPTION
	1.3.22	FOR PERMIT
	1.20.22	ZBA SUBMISSION

DATE: 12.1.21

SCALE:

PROJECT:

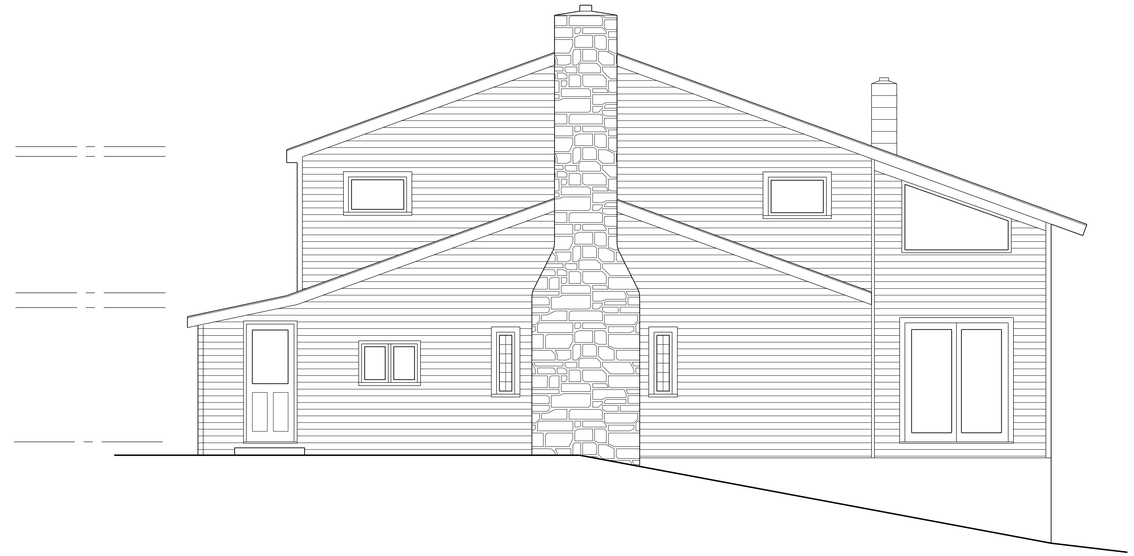
DRAWN: TM

COVE ROAD

EC.1

FRONT ELEVATION

SCALE: $\frac{1}{4}$" = 1'-0"

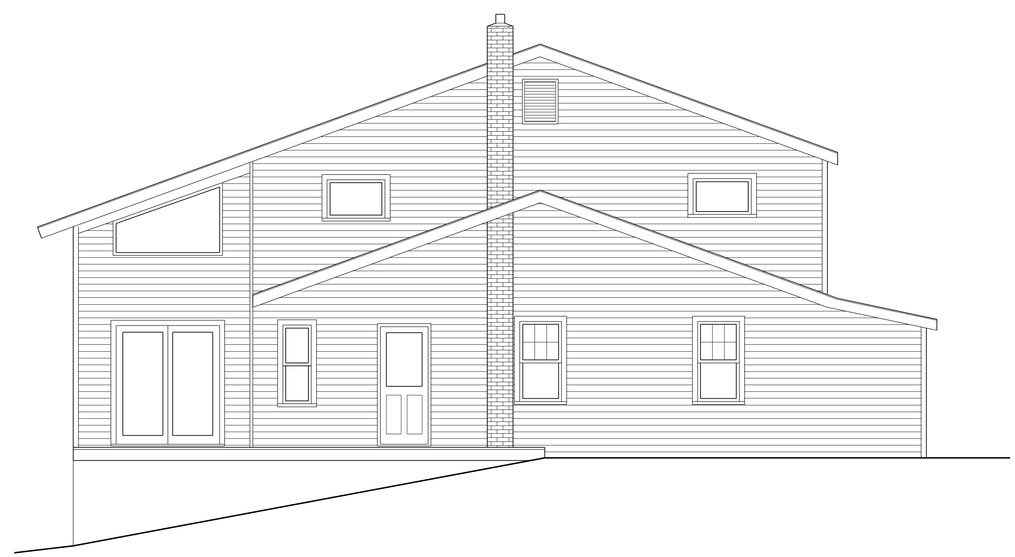


SIDE ELEVATION

SCALE: $\frac{1}{4}$" = 1'-0"

REAR ELEVATION

SCALE: $\frac{1}{4}$" = 1'-0"



SIDE ELEVATION

SCALE: $\frac{1}{4}$" = 1'-0"

MACKIN ARCHITECTS PLLC, AIA

EST. 1992

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24 COVE ROAD
LEWISBORO, NEW YORK

EXISTING CONDITIONS EXTERIOR ELEVATIONS

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REV.	DATE	DESCRIPTION
	1.3.22	FOR PERMIT
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DATE: 12.1.21

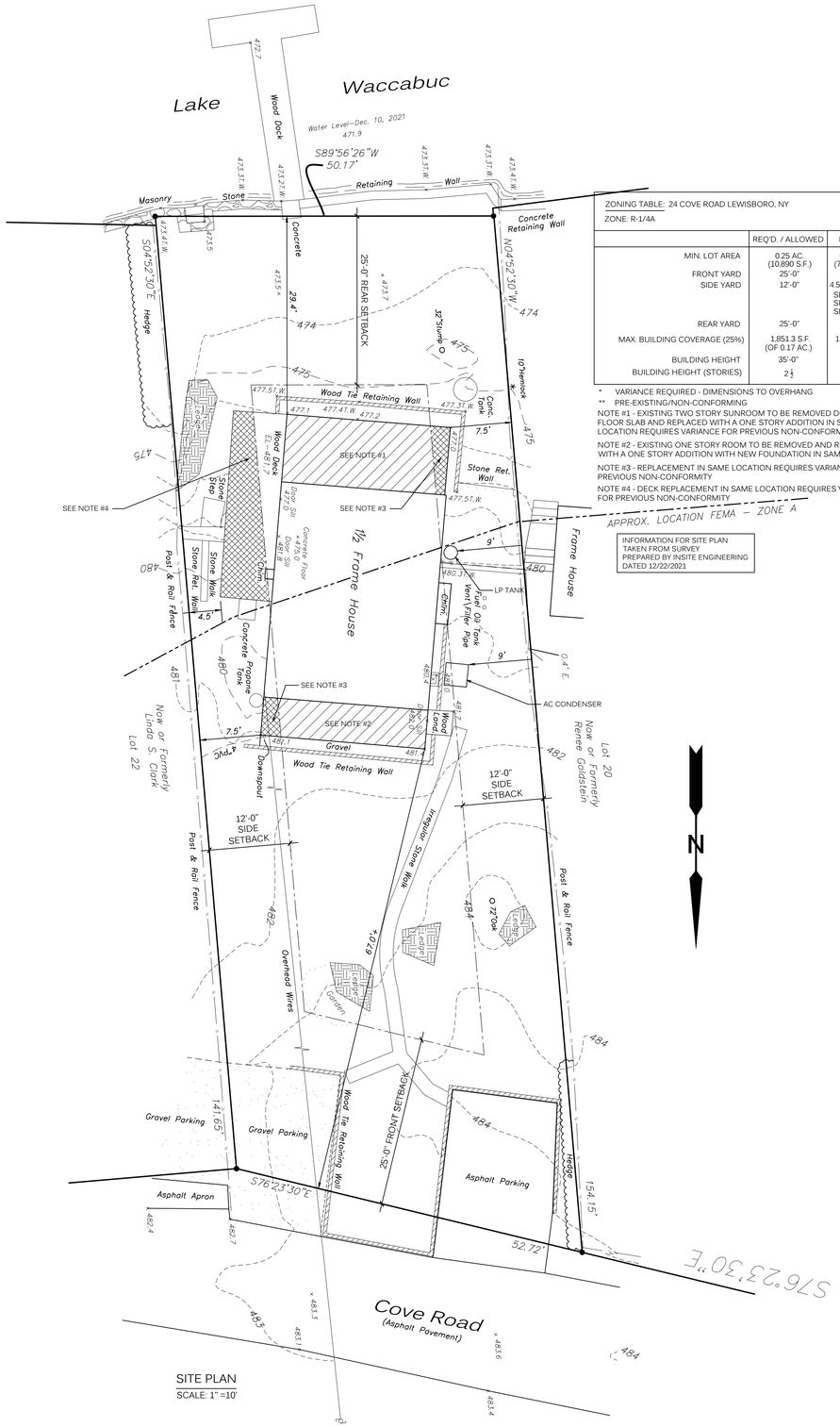
SCALE:

PROJECT:

DRAWN: TM

COVE ROAD

EC.2



SITE PLAN

SCALE: 1" =10'

ZONING TABLE: 24 COVE ROAD LEWISBORO, NY ZONE: R-1/4A	REQ'D. / ALLOWED	EXISTING	PROPOSED
MIN. LOT AREA	0.25 AC. (10,890 S.F.)	0.17 AC.** (7,405.2 S.F.)	NO CHANGE
FRONT YARD	25'-0"	29'-4"	NO CHANGE
SIDE YARD	12'-0"	4.5' & 7.5'*/7.5'* SEE NOTE #1 SEE NOTE #3 SEE NOTE #4	NO CHANGE
REAR YARD	25'-0"	67'-0"+	NO CHANGE
MAX. BUILDING COVERAGE (25%)	1,851.3 S.F. (OF 0.17 AC.)	1,165.73 S.F. (15.7%)	NO CHANGE
BUILDING HEIGHT	35'-0"	22'-6"	NO CHANGE
BUILDING HEIGHT (STORIES)	$2\frac{1}{2}$	$1\frac{1}{2}$	NO CHANGE

* VARIANCE REQUIRED - DIMENSIONS TO OVERHANG

** PRE-EXISTING/NON-CONFORMING

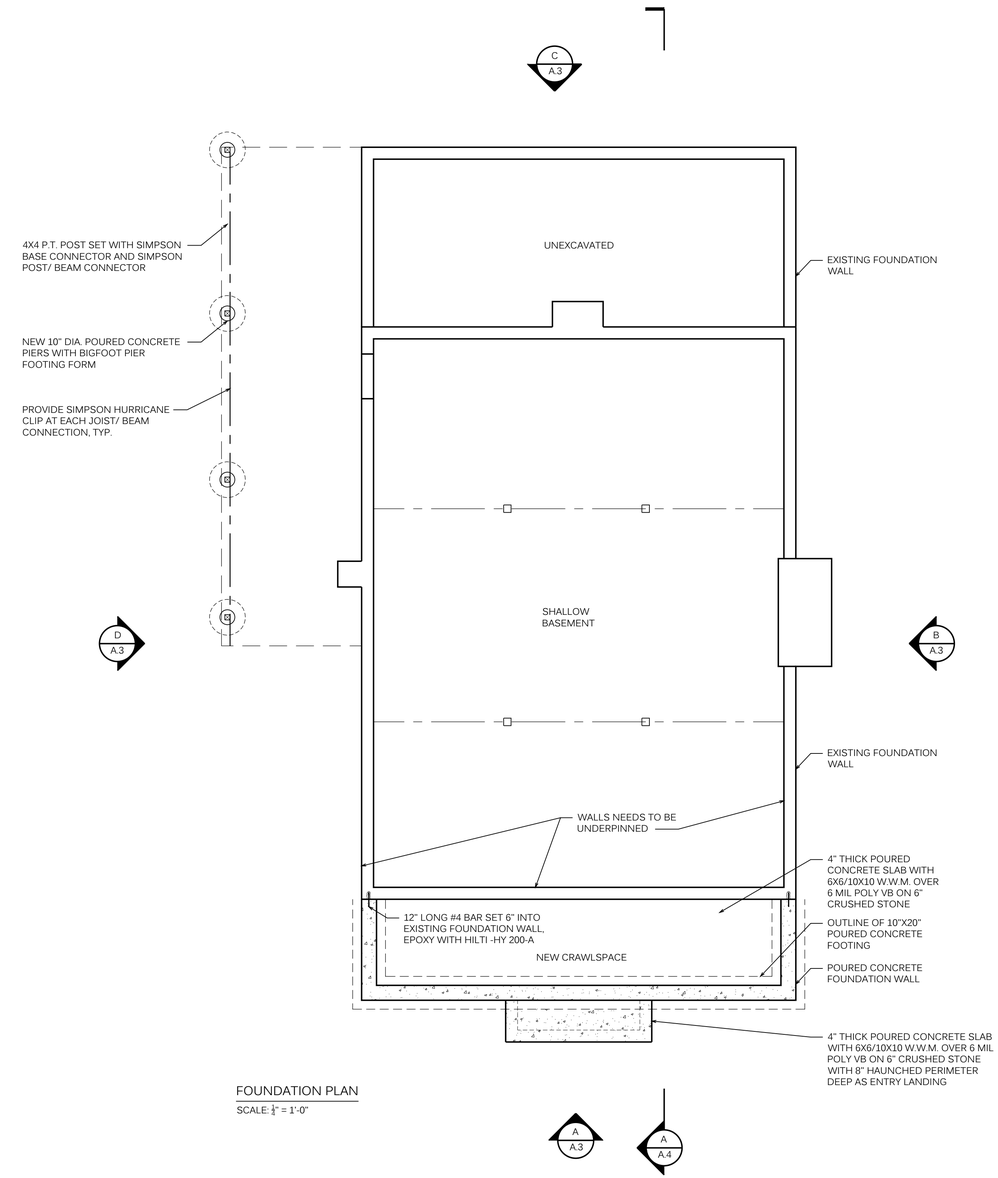
NOTE #1 - EXISTING TWO STORY SUNROOM TO BE REMOVED DOWN TO FLOOR SLAB AND REPLACED WITH A ONE STORY ADDITION IN SAME LOCATION REQUIRES VARIANCE FOR PREVIOUS NON-CONFORMITY

NOTE #2 - EXISTING ONE STORY ROOM TO BE REMOVED AND REPLACED WITH A ONE STORY ADDITION WITH NEW FOUNDATION IN SAME LOCATION

NOTE #3 - REPLACEMENT IN SAME LOCATION REQUIRES VARIANCE FOR PREVIOUS NON-CONFORMITY

NOTE #4 - DECK REPLACEMENT IN SAME LOCATION REQUIRES VARIANCE FOR PREVIOUS NON-CONFORMITY

INFORMATION FOR SITE PLAN
TAKEN FROM SURVEY
PREPARED BY INSITE ENGINEERING
DATED 12/22/2021



FOUNDATION PLAN

SCALE: $\frac{1}{4}$" = 1'-0"

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ADDITION & ALTERATIONS:

KOWAL - SERRA RESIDENCE
24 COVE ROAD
LEWISBORO, NEW YORK

FOUNDATION PLAN & SITE PLAN

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REV.	DATE	DESCRIPTION
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	1.20.22	ZBA SUBMISSION

DATE: 12.1.21

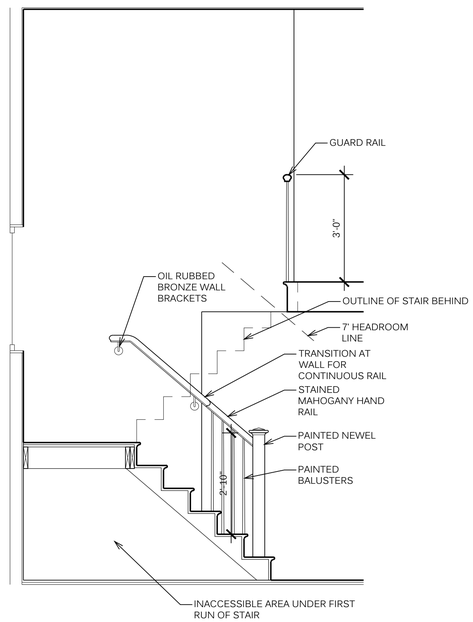
SCALE:

PROJECT:

DRAWN: TM

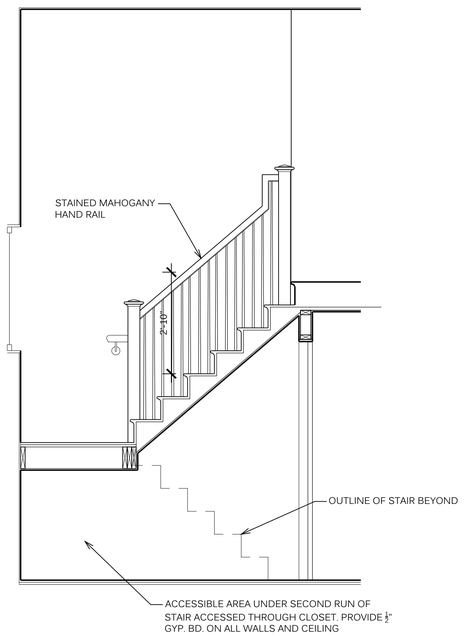
COVE ROAD

A.0



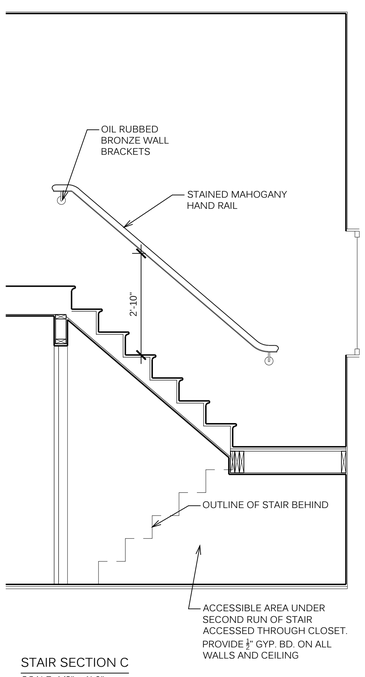
STAIR SECTION A

SCALE: 1/2" = 1'-0"



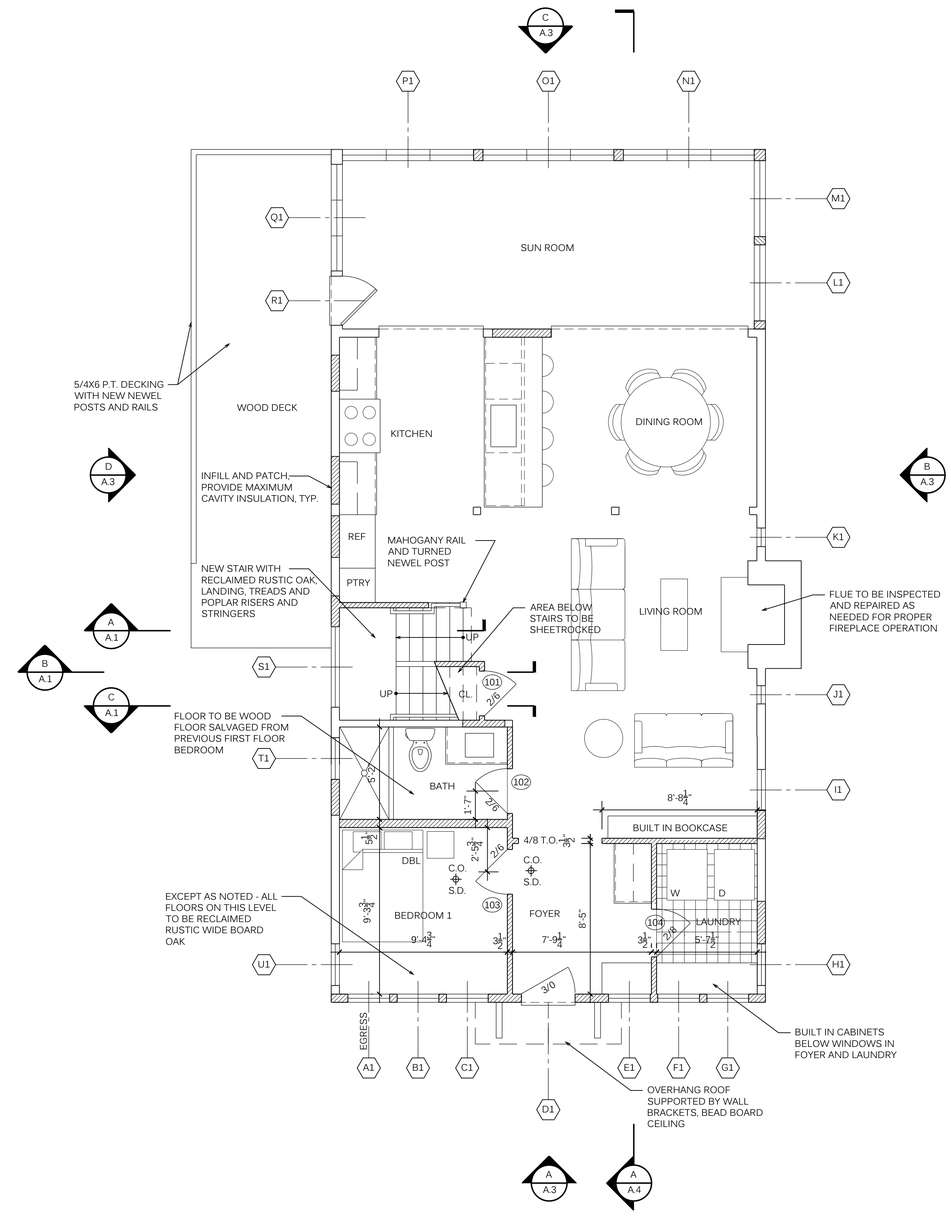
STAIR SECTION B

SCALE: 1/2" = 1'-0"



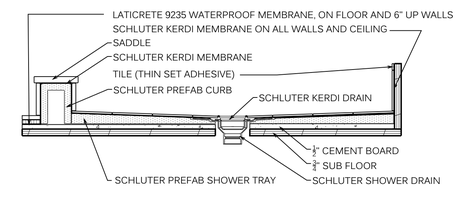
STAIR SECTION C

SCALE: 1/2" = 1'-0"



FIRST FLOOR PLAN

SCALE: ¼" = 1'-0"



SHOWER FLOOR ASSEMBLY

SCALE: NTS

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24 COVE ROAD
LEWISBORO, NEW YORK

FIRST FLOOR PLAN & STAIR SECTIONS

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REV.	DATE	DESCRIPTION
	1.3.22	FOR PERMIT
	1.20.22	ZBA SUBMISSION

DATE: 12.1.21

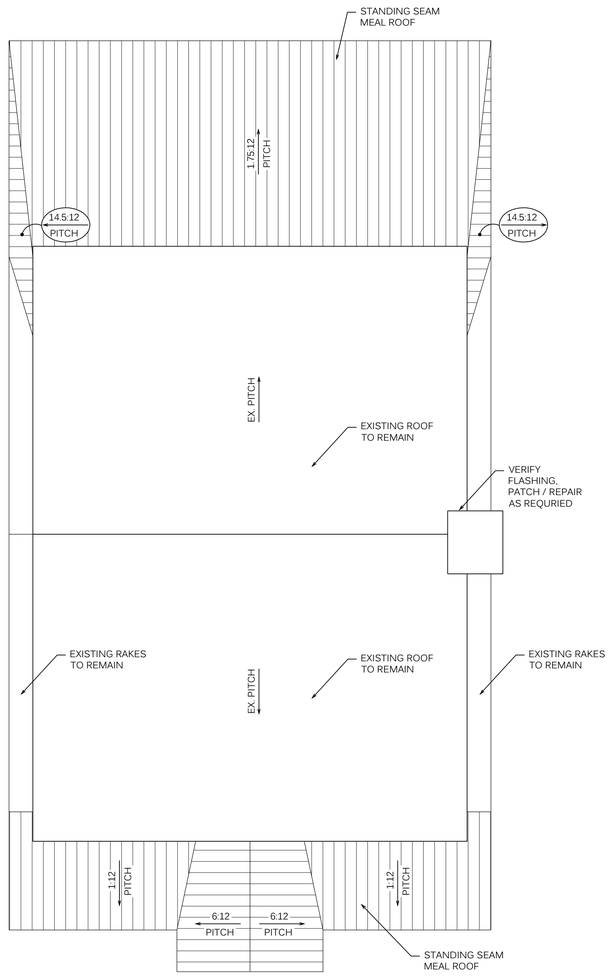
SCALE:

PROJECT:

DRAWN: TM

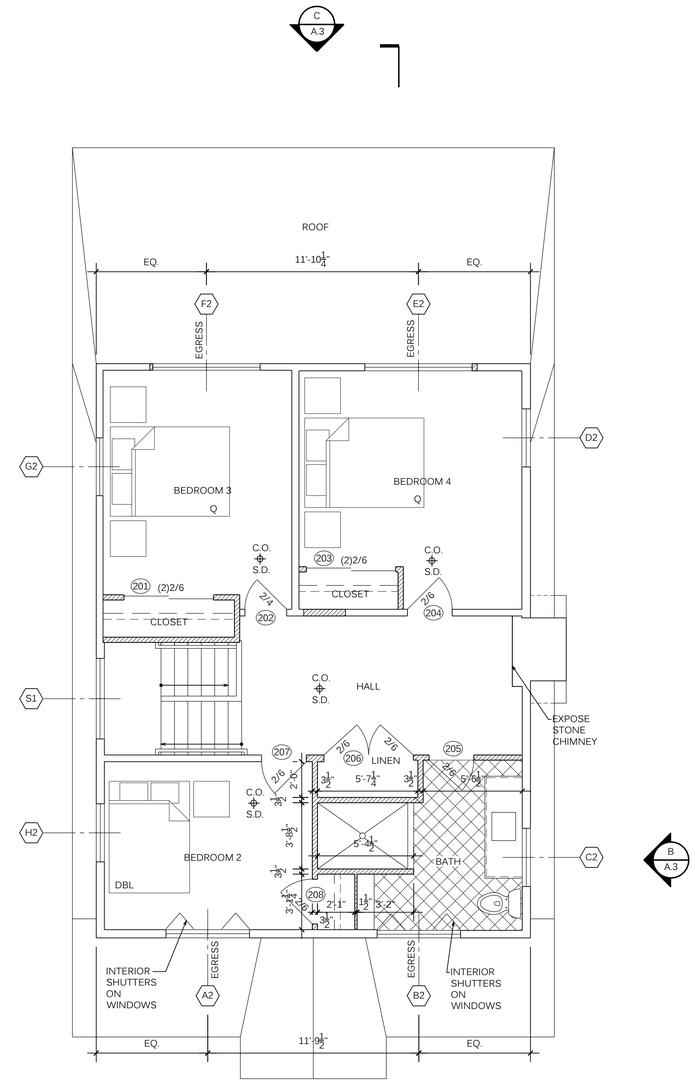
COVE ROAD

A.1



ROOF PLAN

SCALE: $\frac{1}{4}$" = 1'-0"



SECOND FLOOR PLAN

SCALE: $\frac{1}{4}$" = 1'-0"

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LEWISBORO, NEW YORK

SECOND FLOOR PLAN

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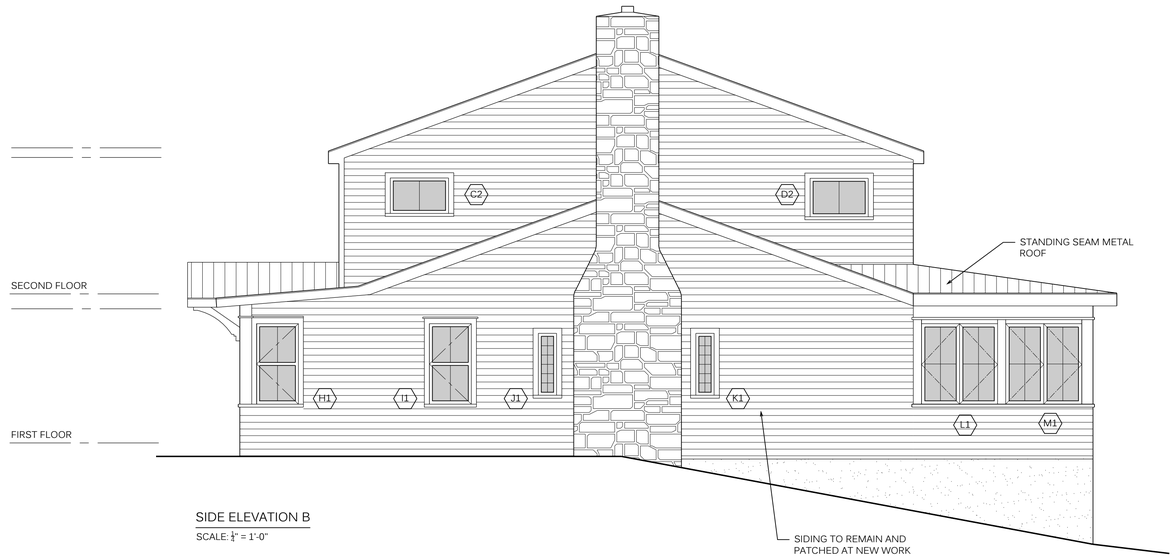
	1.20.22	ZBA SUBMISSION

DATE:	12.1.21
SCALE:	
PROJECT:	
DRAWN:	TM
COVE ROAD	

A.2

FRONT ELEVATION A

SCALE: $\frac{1}{4}$" = 1'-0"

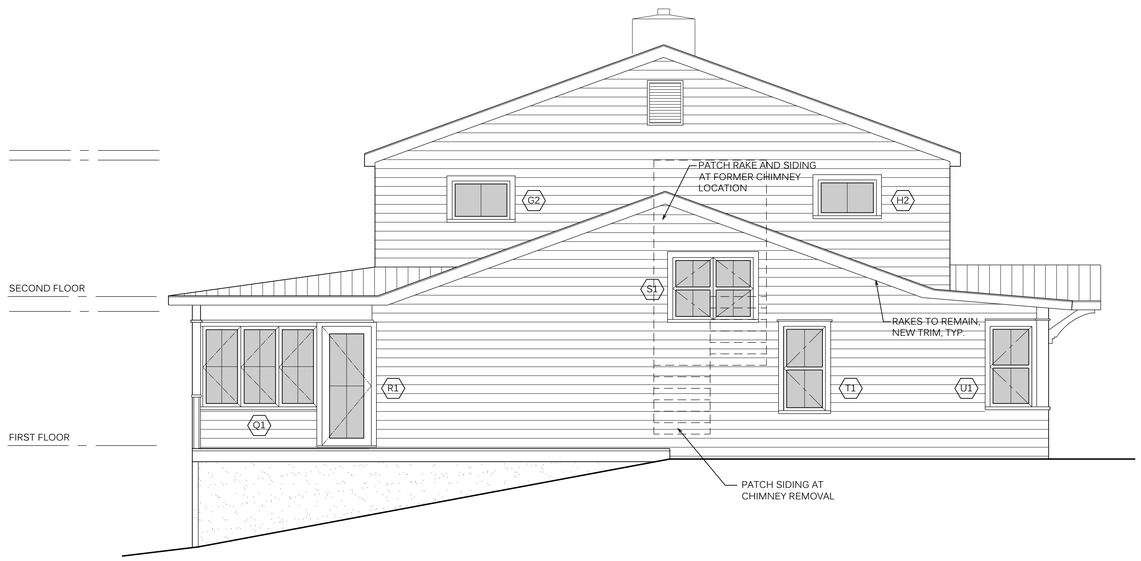


SIDE ELEVATION B

SCALE: $\frac{1}{4}$" = 1'-0"

REAR ELEVATION C

SCALE: $\frac{1}{4}$" = 1'-0"



SIDE ELEVATION D

SCALE: $\frac{1}{4}$" = 1'-0"

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EST. 1992

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ADDITION & ALTERATIONS:

KOWAL - SERRA RESIDENCE
24 COVE ROAD
LEWISBORO, NEW YORK

EXTERIOR ELEVATIONS

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REV.	DATE	DESCRIPTION
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	1.20.22	ZBA SUBMISSION

DATE: 12.1.21

SCALE:

PROJECT:

DRAWN: TM

COVE ROAD

A.3

1/22/22

Steve Zambito & Renee Goldstein
Owners and Residents of
26 Cove Rd
So. Salem NY

To whom it may concern the Zoning Board Town of South Salem,

Our neighbors Jill Kowal and Jordi Serra have shared their architects drawings/building plans with us for the renovation of their home at 24 Cove Rd, directly next door to us.

We fully support their renovation plans and are very appreciative of their concern to maintain the aesthetic balance of Lake Waccabuc as well as their sensitivity to the lake's environment .

If we can offer any further input to the zoning board we are quite happy to do so. We look forward to the completion of the needed renovation to the house at 24 Cove Rd.

Sincerely,
Steve Zambito & Renee Goldstein

Zoning Office

From: Linda Clark <lclark9977@gmail.com>
Sent: Thursday, February 3, 2022 3:20 PM
To: Zoning Office
Subject: 24 Cove Rd Koval-Serra improvements

RECEIVED
FEB 3 REC'D
ZBA

Linda S Clark
22 Cove Rd
South Salem, NY 10590

February 3, 2022

Zoning Board of Appeals
Town of Lewisboro
Donna Orban, Zoning Board Secretary
79 Bouton Rd
South Salem, NY 10590

I am a neighbor of the property just purchased by Jill Kowal and Jordi Serra at 24 Cove Road in South Salem, NY. I am aware of the additions & alterations that they are planning. Jill and Jordi have submitted to me the architect drawings of what they plan to do to the house on the property. Because the houses are so close it is going to be loud and difficult to deal with but, there is nothing anyone can do about that.

This letter is to show I support the improvements. I feel the sooner they get started the sooner we get back to normal. It will be a major improvement from what is there now.

Sincerely,

Linda S Clark
lclark9977@gmail.com
914-643-6054

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, February 23, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

<u>CAL. NO. 02-22-BZ</u>

Application of Justin Liegey, [Jones, Michael T. M. & Dana Wallach Jones, owner of record], 18 Post Office Road, Waccabuc, NY for the following variance of a proposed spa which will have a northeastern side yard setback of 22.8' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

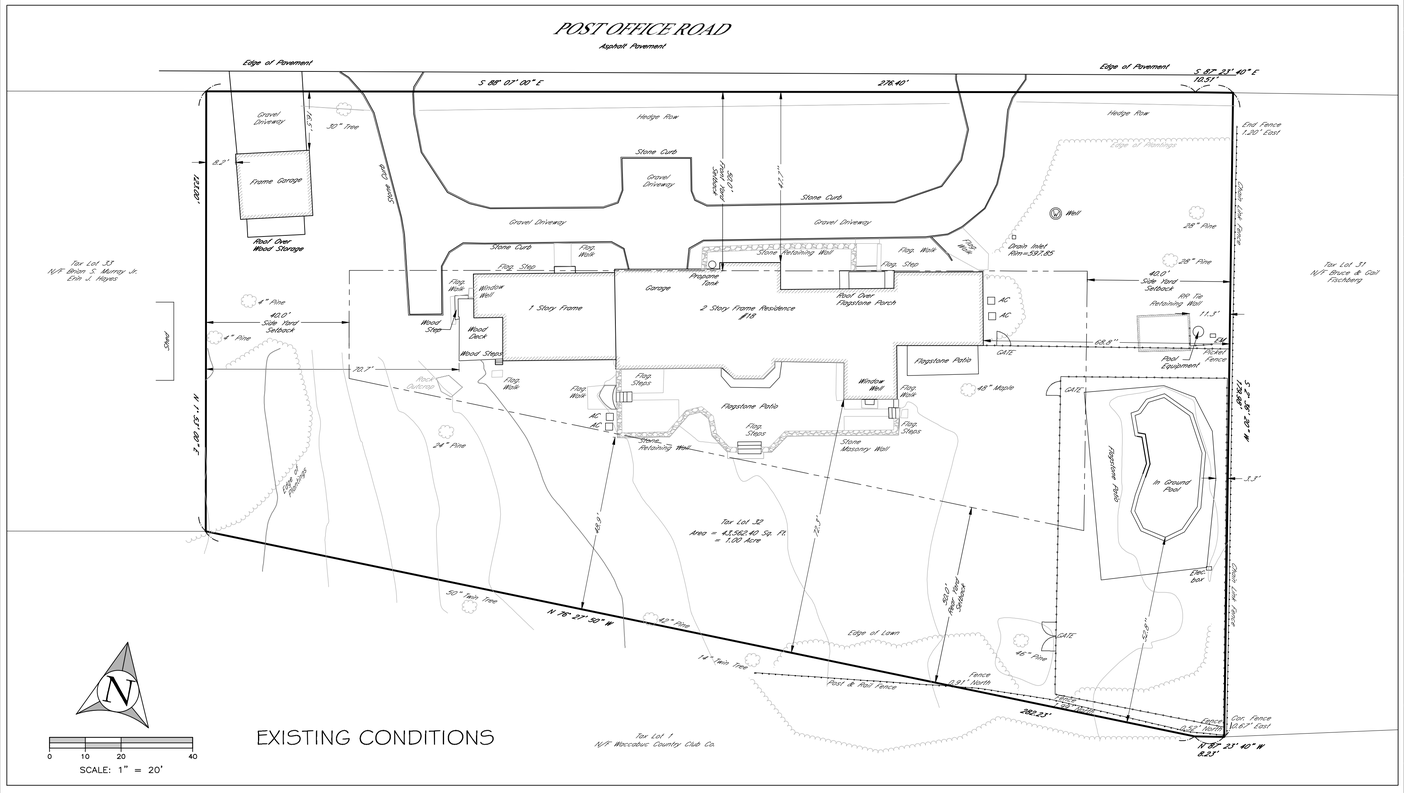
The property is located on the south side of (#18) Post Office Road, Waccabuc, NY designated on the Tax Map as Sheet 0025, Block 10803 Lot 037, in an R-2A, Two-Acre Residential District consisting of approximately 1.00 acre.

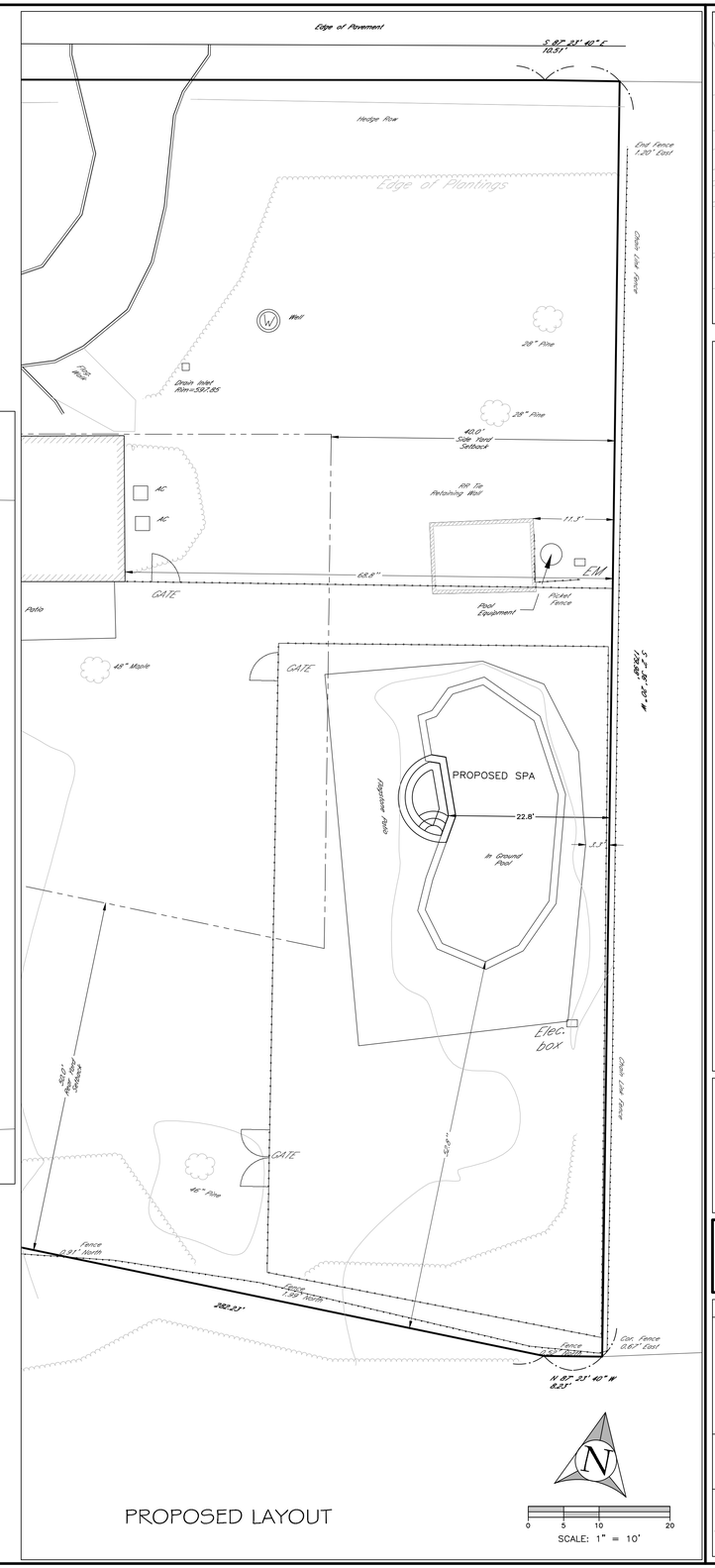
Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

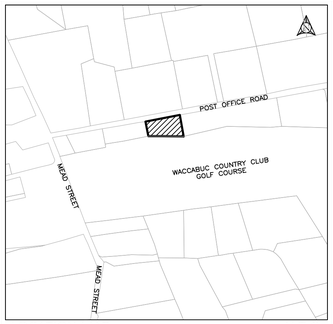
Dated this 2nd day of February 2022
in South Salem, New York

By: ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
ROBIN PRICE, JR.
CHAIR

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.







LOCATION MAP N.T.S.

ZONING TABLE 18 POST OFFICE ROAD

ZONE:				R-2A
TOTAL LOT AREA:				43,553.25 SQ.FT 1.0 ACRES
		REQUIRED/ PERMITTED	EXISTING	PROPOSED
MINIMUM SIZE OF LOT		2.0 ACRES	1.0 ACRES	1.0 ACRES
LOT WIDTH IN FEET AT MINIMUM FRONT YARD SETBACK		N/A	287.2 FT.	287.2 FT
MAXIMUM BUILDING COVERAGE		9%	9%	9%
FRONT YARD		50 FT.	47.7 FT.	47.7 FT.
SIDE YARD		40 FT.	3.3 FT.*	3.3 FT.*
REAR YARD		50 FT.	52.8 FT.	2.7 FT.
MAXIMUM HEIGHT PRINCIPAL BUILDING	IN STORIES	2.5	2	2
	IN FEET	35	N/A	N/A

* EXISTING

Call 811 before you dig

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

STATE OF NEW YORK
RALPH ALFONZETTI
076215
LICENSED PROFESSIONAL ENGINEER

ALFONZETTI ENGINEERING, P.C.
14 SMITH AVE, MT. KISCO, N.Y. 10549
914-666-9800 INFO@ALFONZETTIENG.COM

SITE DATA

OWNER/APPLICANT:
DANA WALLACH
MICHAEL JONES

SITE ADDRESS:
18 POST OFFICE ROAD,
WACCABUC, NY 10597

TAX MAP #: 32.4-3-32

LOT AREA: 1.0 ACRES

ZONING: R-2A

REVISED: NOVEMBER 22, 2021
REVISED: DECEMBER 1, 2021

DRAWING:
PROPOSED SPA
NOVEMBER 24, 2021

SHEET: 01
OF 01

PROJECT:
WALLACH-JONES RESIDENCE
TOWN OF LEWISBORO, WESTCHESTER COUNTY, NEW YORK

From: **Dana Wallach** danapumpkin@yahoo.com
Subject: Fw: {EXT} Hot tub
Date: December 22, 2021 at 11:07 AM
To: Justin jplconstructionllc.com justin@jplconstructionllc.com

DW

Here is the letter from our neighbor- THANK YOU!

> **From:** BRUCE FISCHBERG <goodmolar@mac.com>
> **Date:** December 13, 2021 at 3:39:44 PM EST
> **To:** Michael Jones <mjones@cng-inc.com>
> **Subject: {EXT} Hot tub**
>
> Dear Michael
> I received your proposal regarding a hot tub to be constructed near your existing pool and I have no objections regarding its installation.
> Yours truly, Bruce Fischberg
> 20 Post Office Road
> Waccabuc, NY
>
> Sent from my iPad

Confidentiality Note: This transmission contains information intended for the exclusive use of the individual or entity to whom it is addressed and may contain information that is the proprietary, confidential and\or exempt from disclosure under applicable law. If you are not the intended recipient (or an employee or agent responsible for delivering this transmission to the intended recipient), you are hereby notified that any copying, disclosure or distribution of this information may be subject to legal restriction or sanction. Please notify the sender by email of this occurrence.

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, February 23, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 03-22-BZ

Application of Patrick M. Croke, [Preneta, Marie Louise, owner of record], 240 Spring Street, South Salem, NY for the following variance of an existing deck which has a south western rear yard setback of 33' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#240) Spring Street, South Salem, NY designated on the Tax Map as Sheet 0039, Block 10543 Lot 021, in an SCR-2A, Special Character Two-Acre Residential District consisting of approximately 1.06 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

Dated this 2nd day of February 2022
in South Salem, New York

By: ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
ROBIN PRICE, JR.
CHAIR

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

Zoning analysis

Deck legalization to existing one family residence
240 Spring Street

Section:	55.1
Block:	1
Lot:	3
Zone:	R-2A
Lot size (acres):	1.02
Lot size (square feet):	44,430

Regulation	Minimum	Maximum	Actual (Existing)	Proposed	Remarks
Min. lot size (square feet)	87,119		44,430	44,430	
Min. lot width	200'		320.43'	320.43'	
Front yard (Feet) from street center line	75'		68'	68'	2
Front yard (Feet) from front lot line	50'		42'	42'	2
Side one (Feet)	40'		77.3'	77.3'	2
Rear yard (Feet)	50'		35'	35'	1
Max. height, stories		2 1/2	2	2	
Max. height, feet		35'	22' +/-	22' +/-	
Building coverage		9%	4.85%	4.85%	Percentage
		3,999	2,155	2,155	Square feet

1 - Dimension is from existing deck
2 - Dimension is from existing residence

Building coverage summary

240 Spring Street

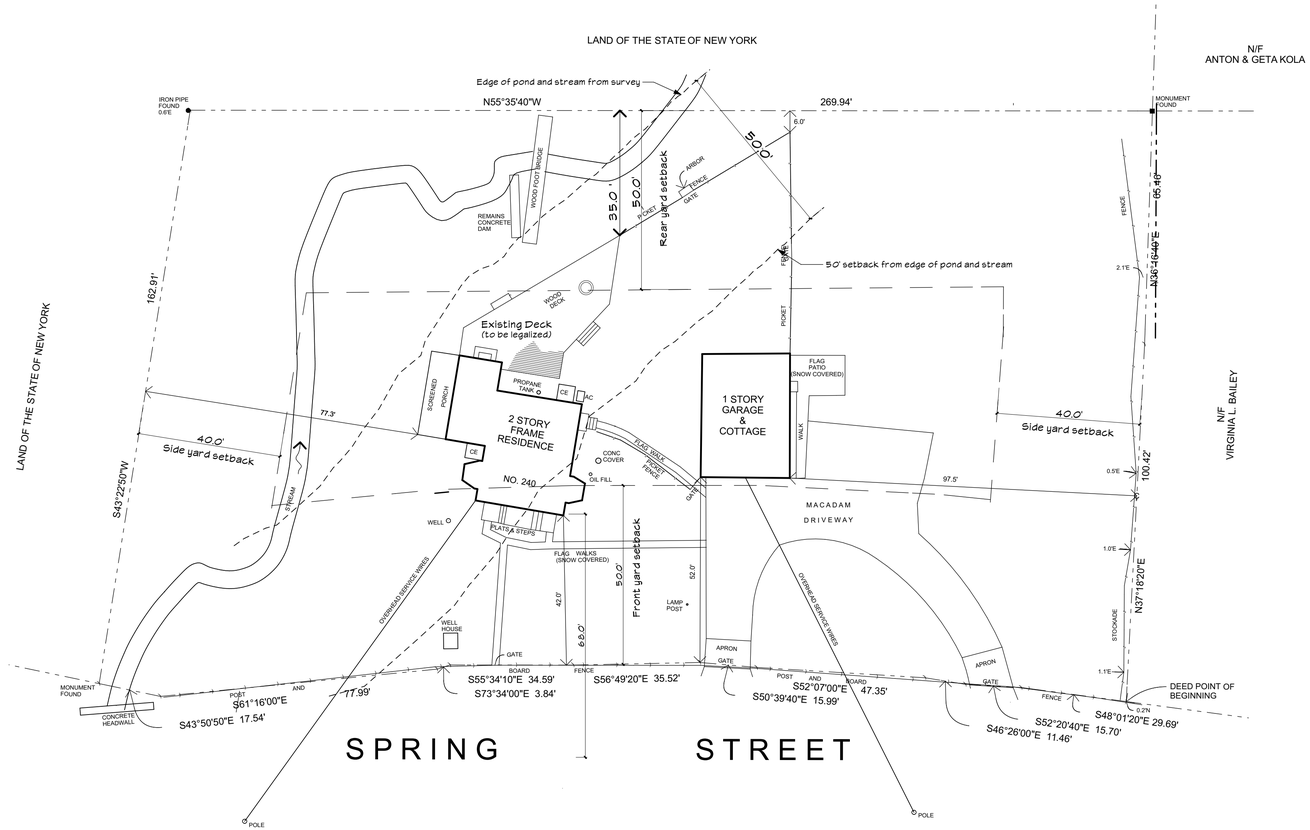
Section: 55.1		
Block: 1		
Lot: 3		
Zone: R-2A		
Lot size (acre): 1.02	44,430	SF
Max. Principle bldg: 9%	3,999	SF

As per Stanley Johnson and company land surveyors dated 01/26/2022

	Existing		Proposed		
Structure	**Foot print**	**% of lot**	**Change (SF)**	**Foot print**	**% of lot**
Residence	1,112	2.50%	0	1,112	2.50%
Garage	856	1.93%	0	856	1.93%
Screen porch	187	0.42%	0	187	0.42%
Total building coverage	**2,155**	**4.85%**	**0**	**2,155**	**4.85%**

Table R301.2(1)
Climatic and Geographic Design Criteria

Ground Snow Load	WIND DESIGN				Seismic Design Category	Subject to damage from:			Winter design temp.	Ice barrier underlayment required	Flood hazards	Air freezing index	Mean annual temp.
	Speed (MPH)	Topographic effects	Special wind region	Wind-borne debris zone		Weathering	Frost line depth	Termite					
30	115 MPH ultimate wind speed	No	Yes	No	C	Severe	42"	Moderate - heavy	7° F	Yes	No	1160 (1500 or less)	49



S **Site plan**
SCALE: 1" = 20'

Site plan based on survey of property by Stanley Johnson and company land surveyors, dated 01/26/2022

Patrick M. Croke Architect

20 Woodsbridge Road
Katonah, New York 10536
T: 914.234.6093
F: 914.234.0548
info@pmcarchitect.com

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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS ARE TO BE WORKED FROM. DISCREPANCIES MUST BE REPORTED IMMDIATELY TO THE ARCHITECT BEFORE PROCEEDING.

NOTE: DO NOT SCALE DRAWINGS

D:\1-Projects Files\21010 - Preneta deck legalization\2 - Drawings\21010 - Preneta.pln

No:	Description:	Date:	
2	ZBA submission	01/28/21	☒
1	Permit submission for preliminary review	12/15/21	☐

Revisions:

Project Name:

Preneta Deck Legalization
240 Spring Street
South Salem, NY

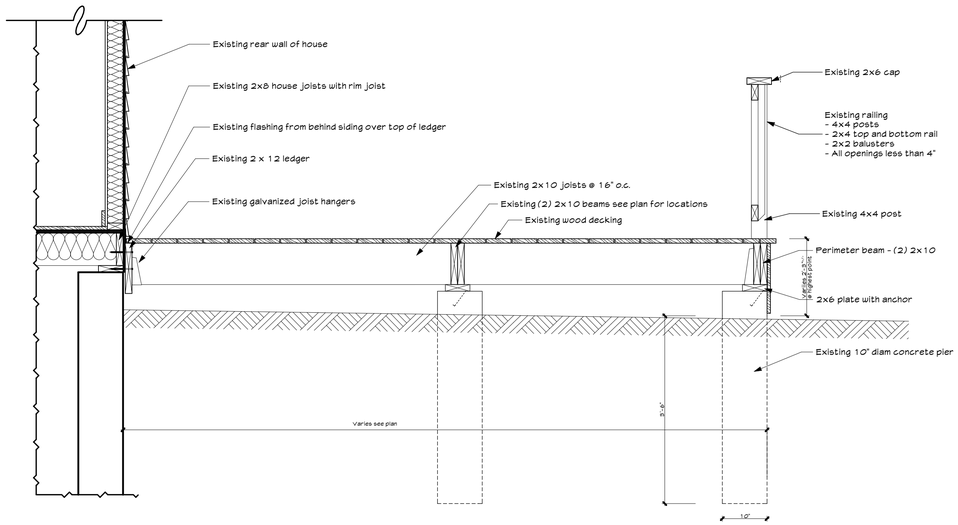
Drawing Title:
Site plan and general notes

Date:
01/28/2022
Revised as noted above

Project #:
21070

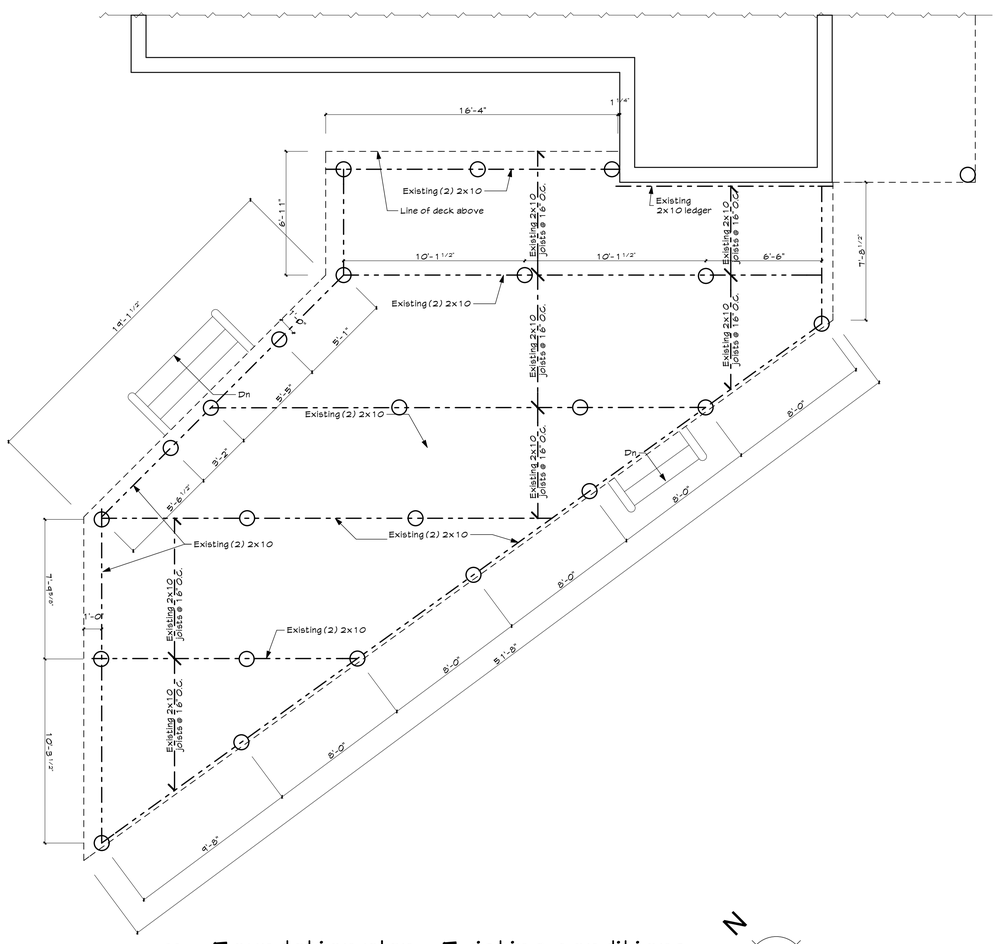
Scale:
As noted

Drawing Number:
A-1



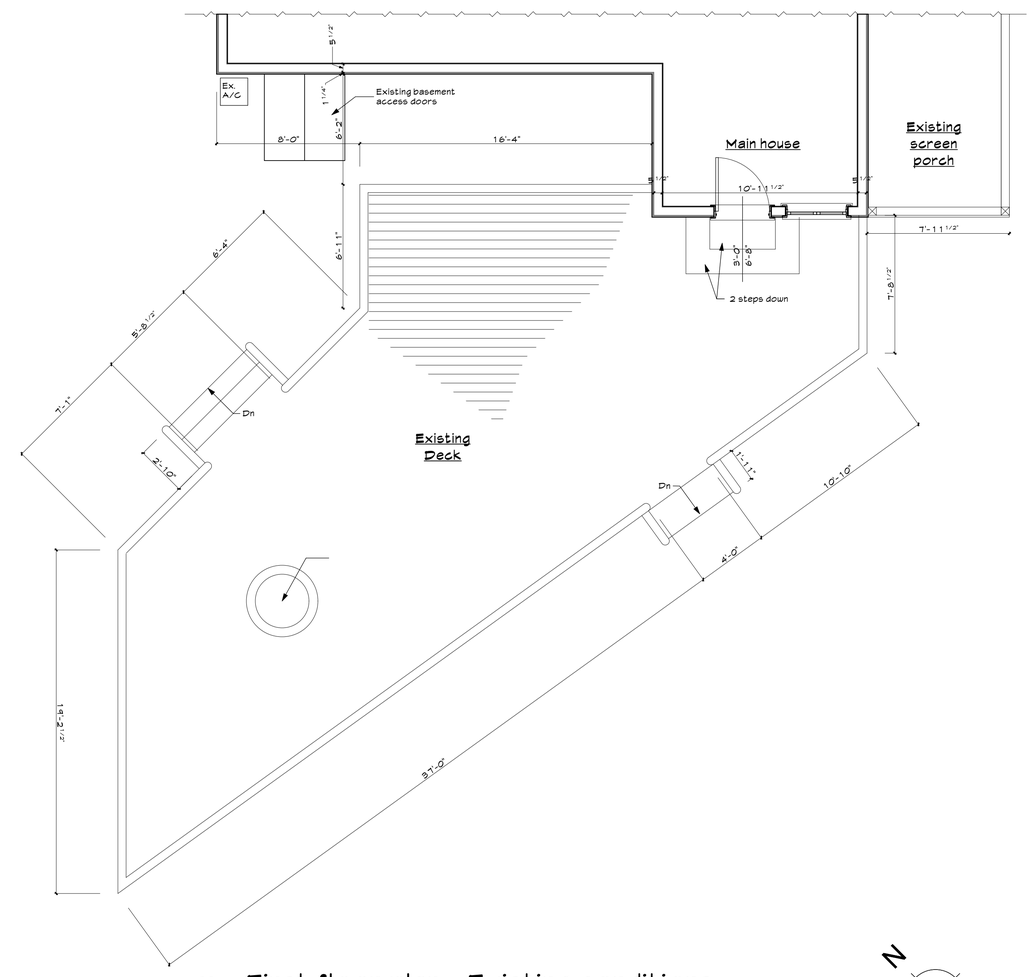
D1 Detail at existing deck

SCALE: 3/4" = 1' - 0"



-1 Foundation plan - Existing conditions

SCALE: 1/4" = 1' - 0"



1e First floor plan - Existing conditions

SCALE: 1/4" = 1' - 0"

Patrick M. Croke Architect

20 Woodsbridge Road
Katonah, New York 10536
T: 914.234.6093
F: 914.234.0548
info@pmcarchitect.com

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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS ARE TO BE WORKED FROM. DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT BEFORE PROCEEDING.

NOTE: DO NOT SCALE DRAWINGS

D:\1-Project Files\21010 - Preneta deck legalization\2 - Drawings\21010 - Preneta.pln

No:	Description:	Date:	
2	ZBA submission	01/28/21	☒
1	Permit submission for preliminary review	12/15/21	☐

Revisions:

Project Name:

Preneta Deck Legalization
240 Spring Street
South Salem, NY

Drawing Title:
Floor plans and deck detail

Date: 01/28/2022
Revised as noted above

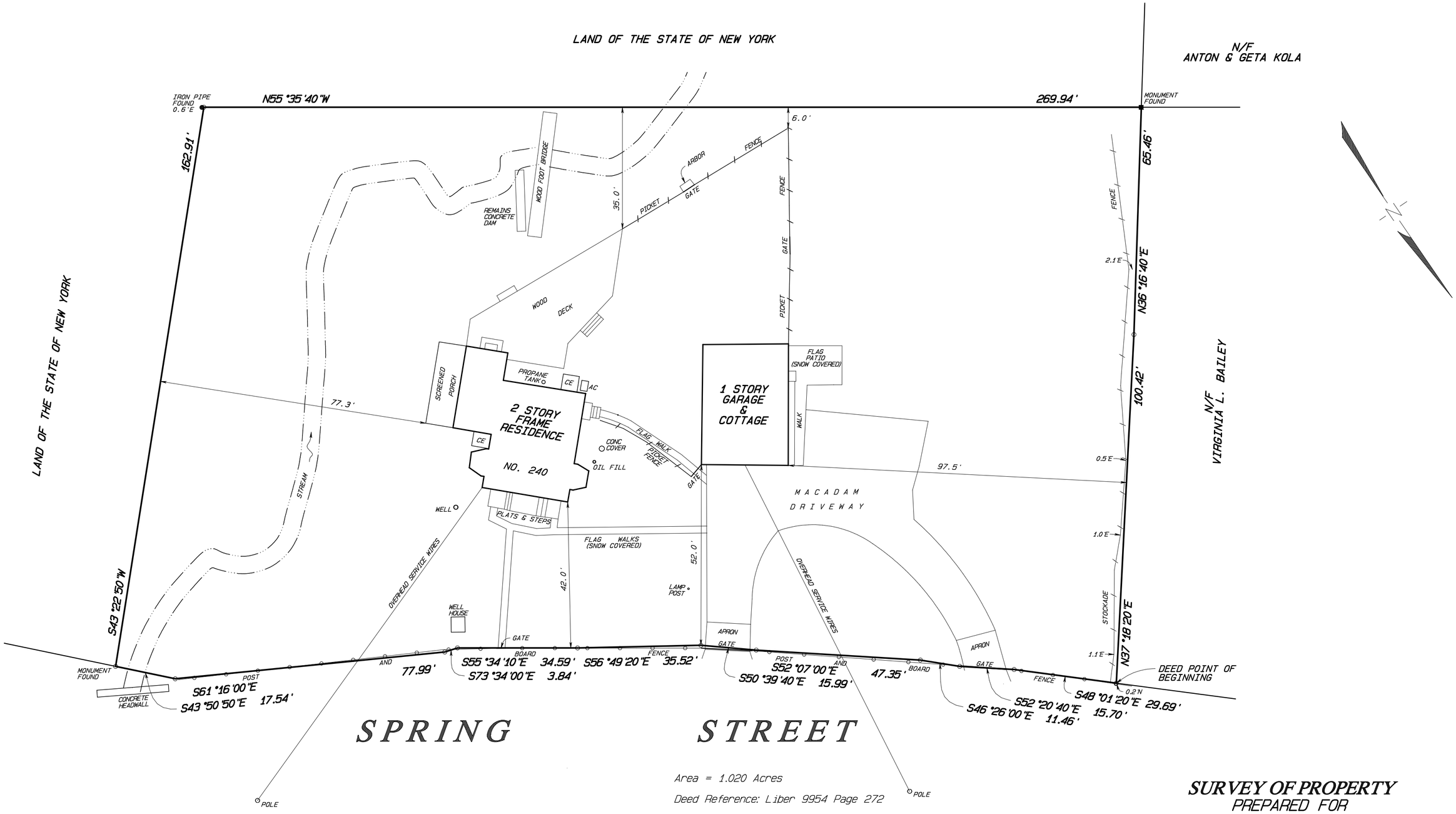
Project #: 21010

Scale: As noted

Drawing Number:

A-2

TITLE No: ANY2022-6117K



Area = 1.020 Acres

Deed Reference: Liber 9954 Page 272

Tax Identification: Sheet 39 Block 10543 Lot 21

In accordance with the existing Code of Practice for Land Surveys as adopted by The New York State Association of Professional Land Surveyors, Inc.

Unauthorized alteration or addition to a survey map bearing a Licensed Land Surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

All certifications are valid for this map and copies thereof only if said map or copies bear the impressed seal of the surveyor whose signature appears hereon.

The location of underground improvements or encroachments hereon, if any exist, are not certified or shown.

Certified to: Peter O'Keefe and Emily Bond
US Bank National Association
Old Republic Title Insurance Company
All New York Tiltle Agency
Title No. ANY2022-6117K

GROUND SNOW COVERED AT TIME OF SURVEY
SURVEYED: JANUARY 24, 2022
MAP PREPARED: JANUARY 26, 2022

LICENSED LAND SURVEYOR STEPHEN T. JOHNSON No. 49749 STATE OF NEW YORK

BY: _____

NEW YORK STATE LICENSED LAND SURVEYOR NO. 49749
STEPHEN T. JOHNSON, P.L.S.

H. STANLEY JOHNSON AND COMPANY
LAND SURVEYORS, P.C.
42 SMITH AVENUE P.O. BOX 93
MT. KISCO, N.Y. 10549
TEL. 914-241-3872
FAX. 914-241-0438

SURVEY OF PROPERTY
PREPARED FOR

JOHN C. PRENETA

AND

MARIE LOUISE PRENETA

SITUATE IN THE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 20'

PREPARED BY: STJ CHECKED BY: STJ

JOB No. F22-007

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, February 23, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 04-22-BZ

Application of Frauke Berman, [Berman, Frauke, owner of record], 1115 Route 35, South Salem, NY for the following variance of a manure storage area on their property and are requesting a rear yard setback of 107' whereas 150' is required and a side yard setback of 35' whereas 150' is required per Article IV Section 220-23D(8)(d) of the Town of Lewisboro Zoning Code; the applicant is proposing a barn on their property and are requesting a side yard setback of 22.5' whereas 50' is required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

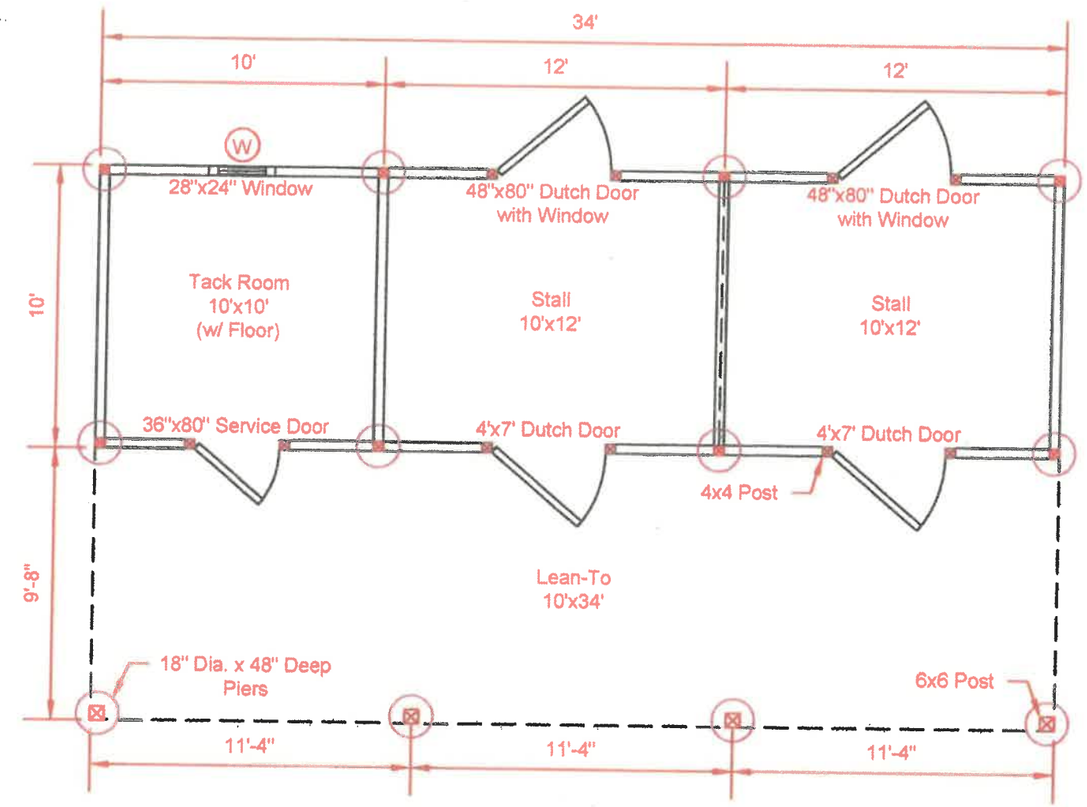
The property is located on the south side of (#1115) Route 35, South Salem, NY designated on the Tax Map as Sheet 0026, Block 10541 Lot 071, in an R-4A, Four-Acre Residential District consisting of approximately 8.184 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

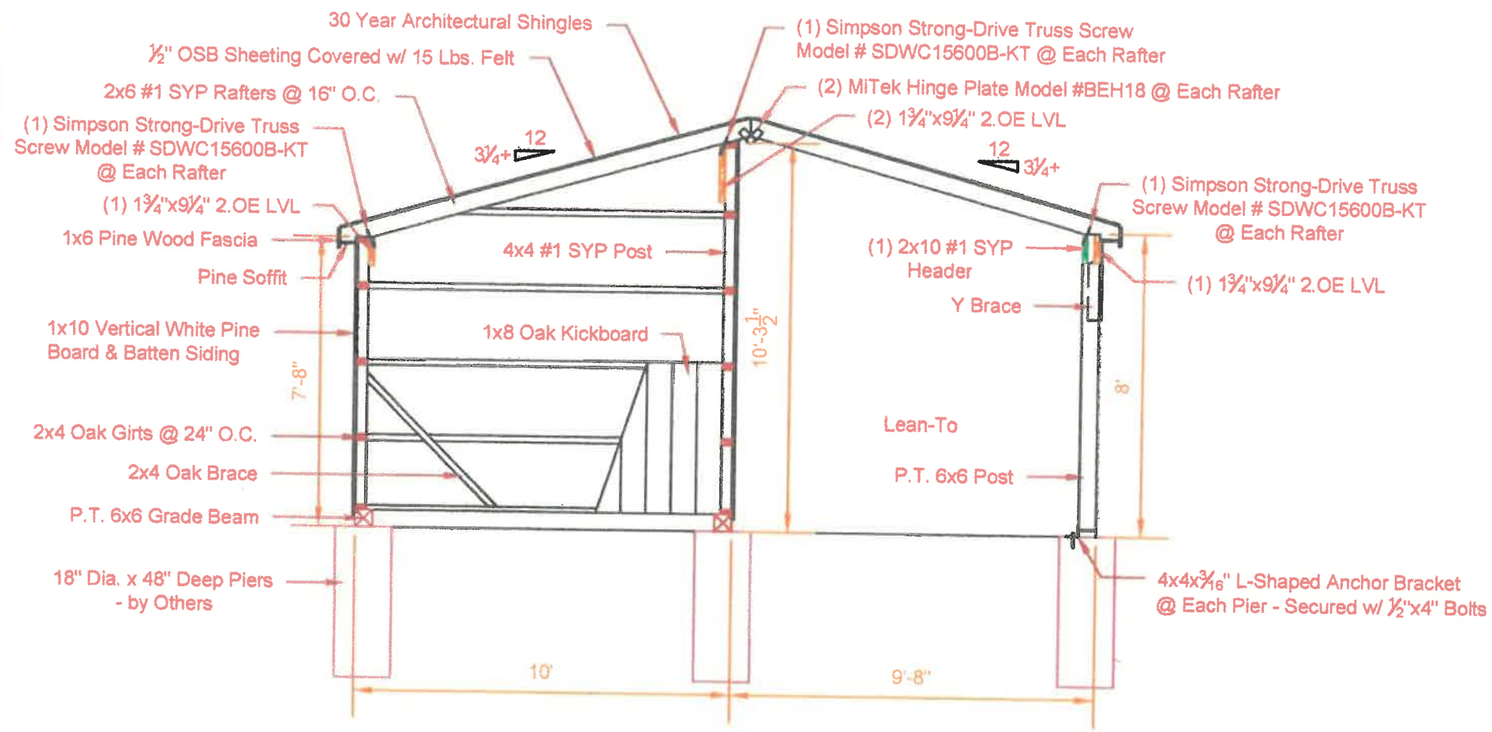
Dated this 4th day of February 2022
in South Salem, New York

By: ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
ROBIN PRICE, JR.
CHAIR

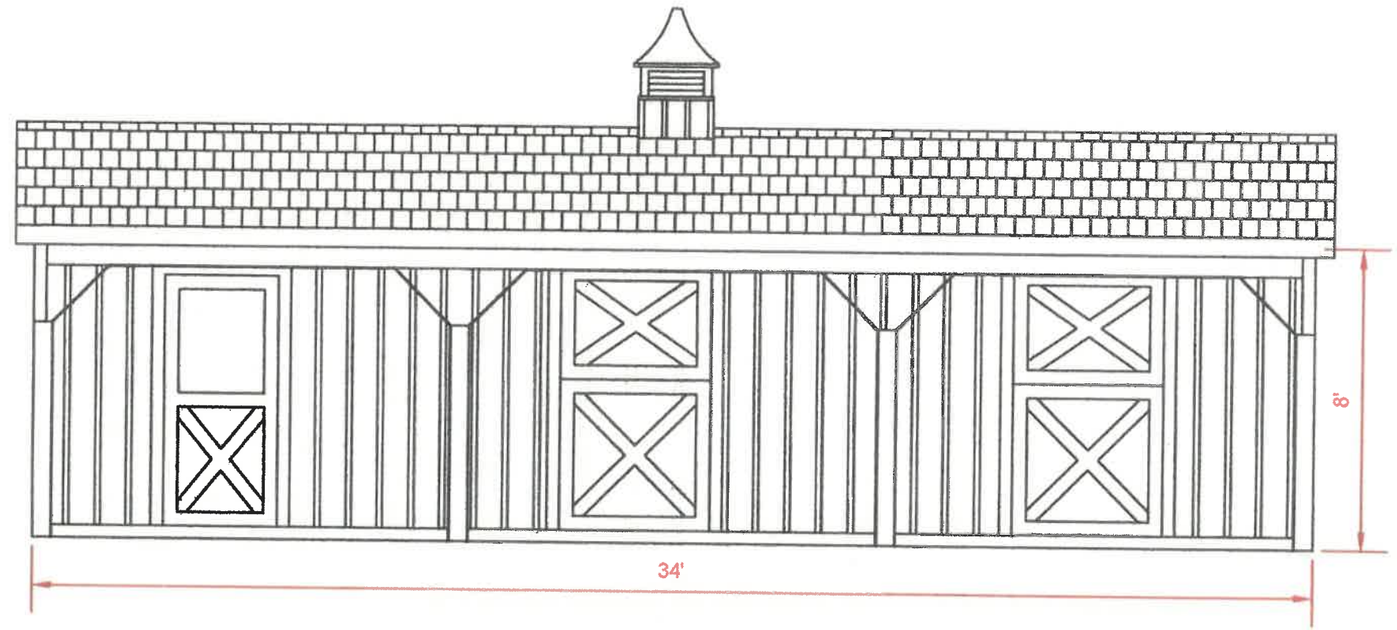
The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.



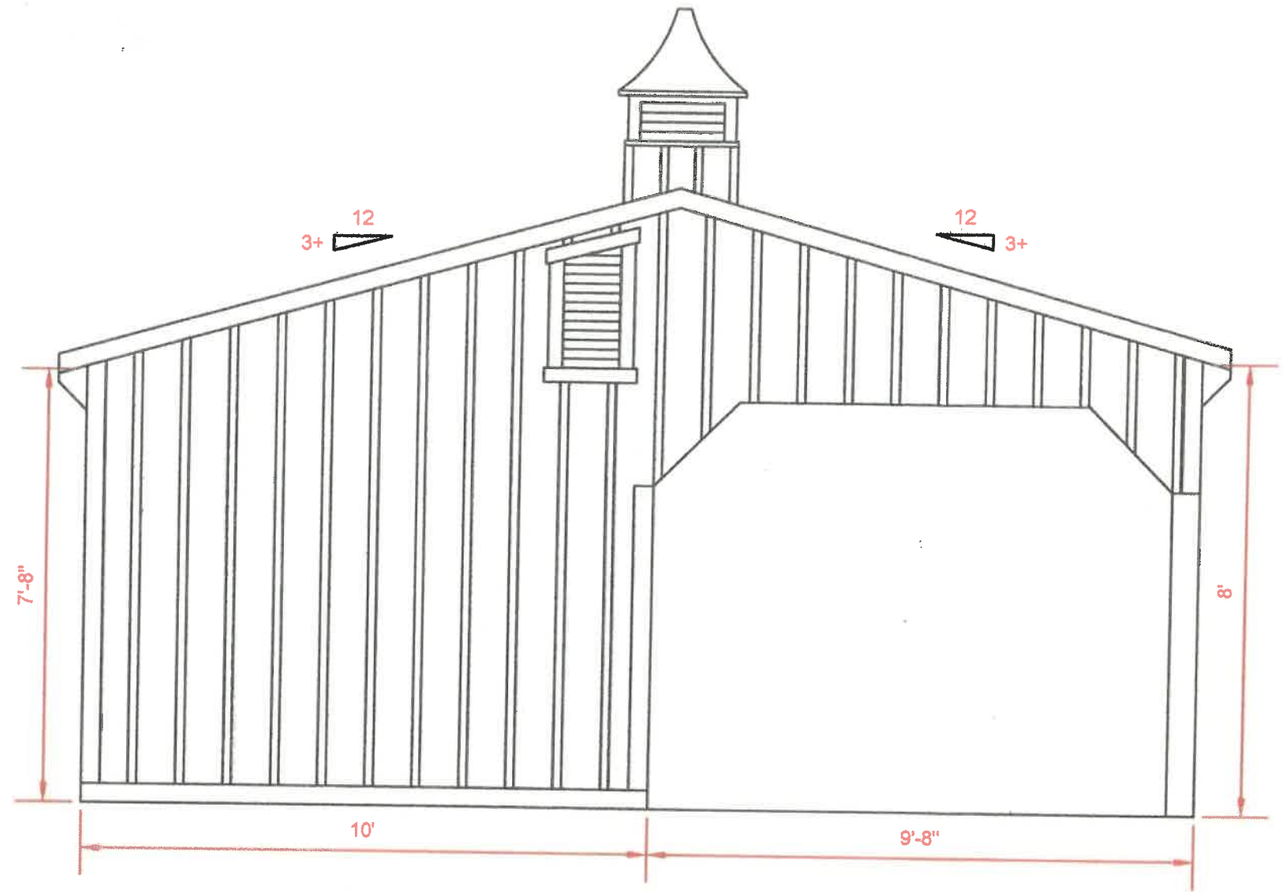
DESIGN	CONTRACTOR	CUSTOMER		
J&N structures LLC PAHIC # PA025372	Horizon Structures LLC 5075 Lower Valley Road Atglen, PA 19310	Display Building	DRAWN BY: David S. DATE: June 21, 2021	PLAN NO: 21333 PAGE: 1 of: 6 REVISIONS: 1
			PLAN-DESCRIPTION	
			10' x 34' Shed Row Barn with 10' Lean-To Floor Plan Scale: 3/16" = 1'	



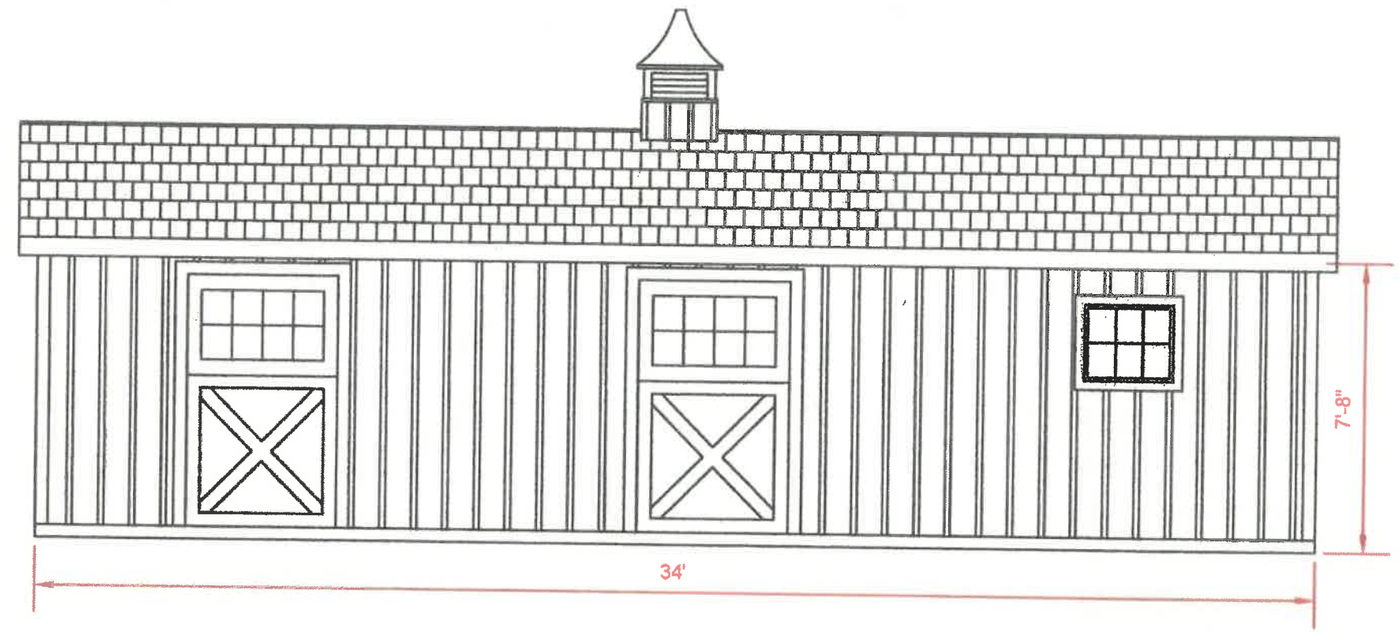
DESIGN	CONTRACTOR	CUSTOMER		
J&N structures LLC PAHIC # PA025372	Horizon Structures LLC 5075 Lower Valley Road Atglen, PA 19310	Display Building	**DRAWN BY:** David S. **DATE:** June 21, 2021	**PLAN NO:** 21333 **PAGE:** 2 **of:** 6 **REVISIONS:** 1
			PLAN-DESCRIPTION	
			10' x 34' Shed Row Barn with 10' Lean-To Building Section Scale: ¼" = 1'	



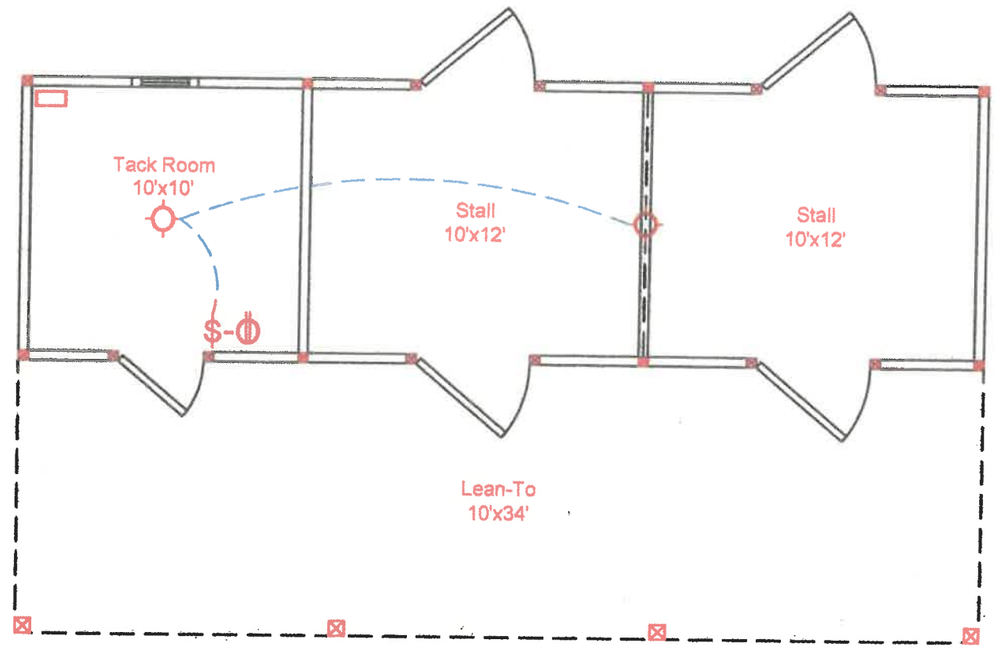
DESIGN	CONTRACTOR	CUSTOMER		
J&N structures LLC PAHIC # PA025372	Horizon Structures LLC 5075 Lower Valley Road Atglen, PA 19310	Display Building	**DRAWN BY:** David S. **DATE:** June 21, 2021 **PLAN-DESCRIPTION** 10' x 34' Shed Row Barn with 10' Lean-To Front Elevation Scale: ¼" = 1'	**PLAN NO:** 21333 **PAGE:** 3 **of:** 6 **REVISIONS:** 1



DESIGN	CONTRACTOR	CUSTOMER		
J&N structures LLC PAHIC # PA025372	Horizon Structures LLC 5075 Lower Valley Road Atglen, PA 19310	Display Building	**DRAWN BY:** David S. **DATE:** June 21, 2021	**PLAN NO:** 21333 **PAGE:** 4 **of:** 6 **REVISIONS:** 1
			PLAN-DESCRIPTION	
			10' x 34' Shed Row Barn with 10' Lean-To Side Elevation Scale: 3/8" = 1'	



DESIGN	CONTRACTOR	CUSTOMER		
J&N Structures LLC PAHIC # PA025372	Horizon Structures LLC 5075 Lower Valley Road Atglen, PA 19310	Display Building	**DRAWN BY:** David S. **DATE:** June 21, 2021	**PLAN NO:** 21333 **PAGE:** 5 **of:** 6 **REVISIONS:** 1
			PLAN-DESCRIPTION	
			10' x 34' Shed Row Barn with 10' Lean-To Rear Elevation Scale: ¼" = 1'	



ELECTRIC KEY

- = Light
- = Switch
- = Covered Outlet
- = Switch & Outlet Combo
- = Fluorescent Light
- = Flood Light
- = 100 Amp (6 Slot) Breaker Panel
- = Stall Fan

DESIGN	CONTRACTOR	CUSTOMER		
J&N structures LLC PAHIC # PA025372	Horizon Structures LLC 5075 Lower Valley Road Atglen, PA 19310	Display Building	DRAWN BY: David S. DATE: June 21, 2021	PLAN NO: 21333 PAGE: 6 of: 6 REVISIONS: 1
			PLAN-DESCRIPTION	
			10' x 34' Shed Row Barn with 10' Lean-To Electric Plan Scale: 3/16" = 1'	

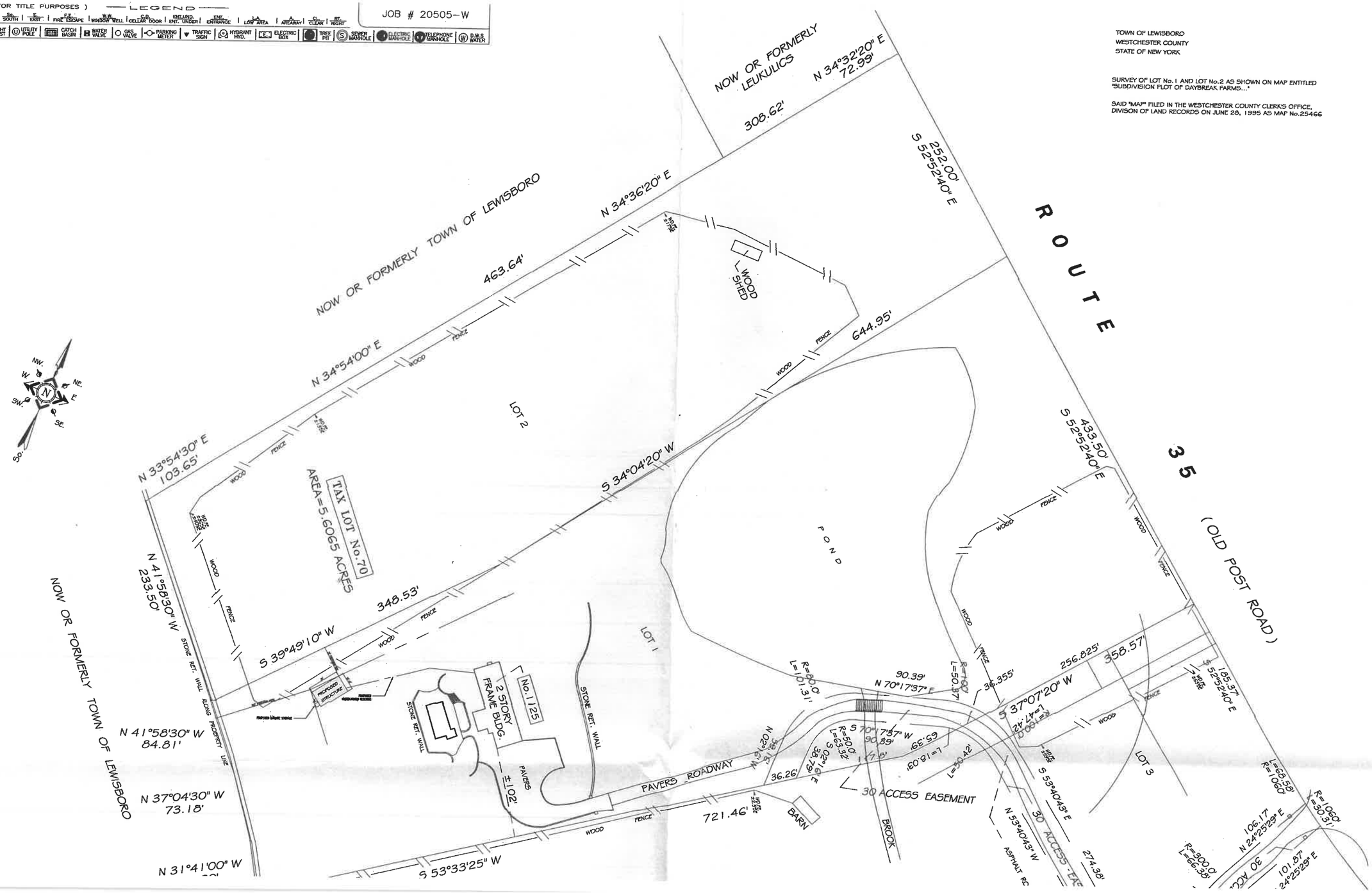
1125 RT. 35 LEWISBORO, NY PROPOSED ACCESSORY STRUCTURE

(FOR TITLE PURPOSES) — LEGEND —

No. NORTH | So. SOUTH | E. EAST | F.E. FIRE ESCAPE | W.W. WINDOW WELL | C.D. CELLAR DOOR | ENT.UND. ENT. UNDER | ENT. ENTRANCE | L.A. LOW AREA | A. AREAWAY | CL. CLEAR | RT. RIGHT

LIGHT POST | UTILITY POLE | CATCH BASIN | WATER VALVE | GAS VALVE | PARKING METER | TRAFFIC SIGN | HYDRANT HYD. | ELECTRIC BOX | TREE PIT | SEWER MANHOLE | ELECTRIC MANHOLE | TELEPHONE MANHOLE | D.W.S. WATER

JOB # 20505-W



TOWN OF LEWISBORO
WESTCHESTER COUNTY
STATE OF NEW YORK

SURVEY OF LOT No. 1 AND LOT No.2 AS SHOWN ON MAP ENTITLED "SUBDIVISION PLOT OF DAYBREAK FARMS..."

SAID "MAP" FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE, DIVISON OF LAND RECORDS ON JUNE 28, 1995 AS MAP No.25466

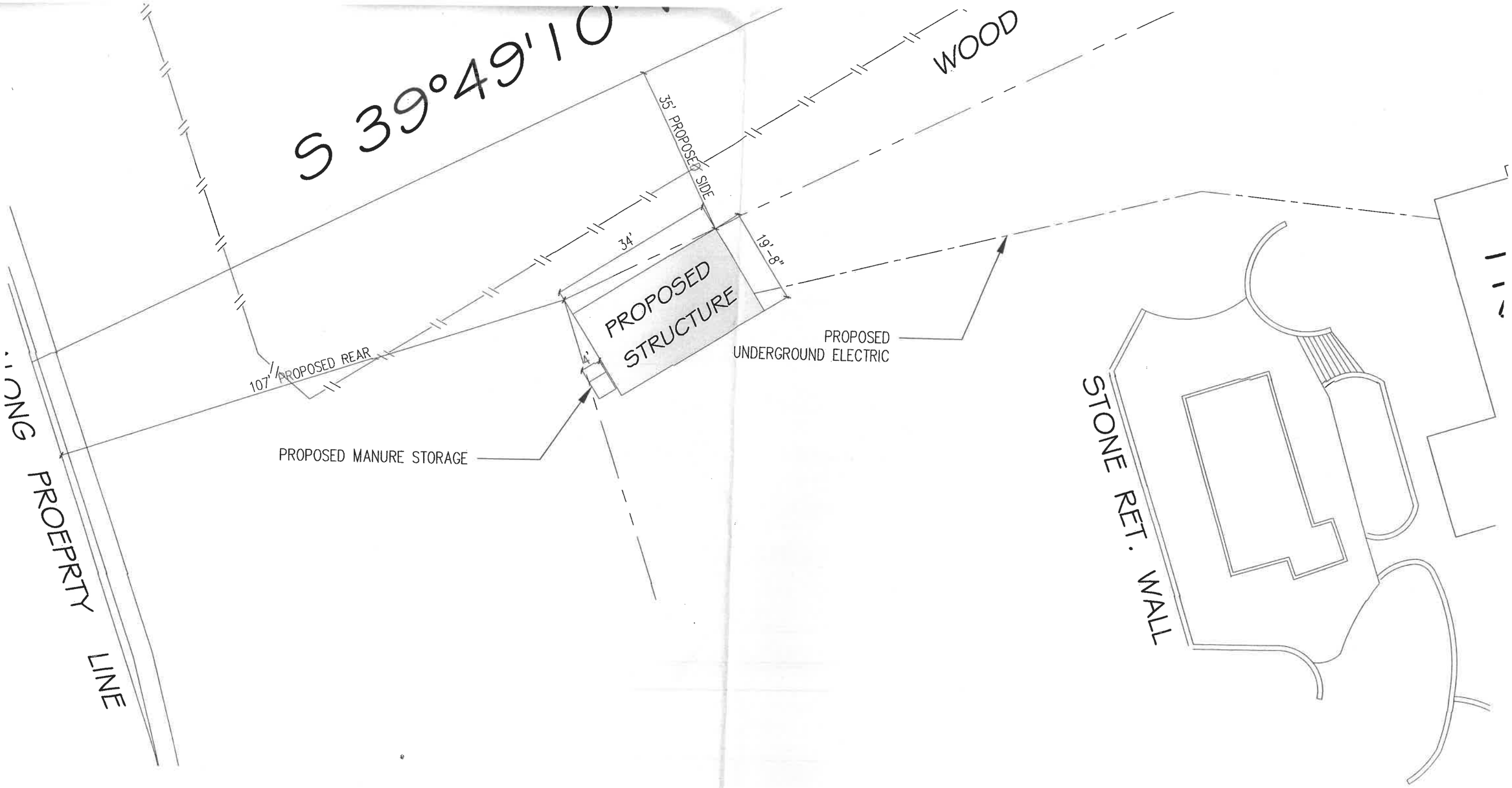
SURVEYED
APRIL 29, 20

UNAUTHORIZED ALTERATIONS OR ADD
SURVEY IS A VIOLATION OF SECT
THE NEW YORK STATE EDUCATION
OF THIS SURVEY MAP NOT BEAR
SURVEYOR'S INKED SEAL OR EMBOSS
NOT BE CONSIDERED TO BE A VAL
GUARANTEES OR CERTIFICATIONS IND
SHALL RUN ONLY TO THE PERSON F
SURVEY IS PREPARED, AND ON H
THE TITLE COMPANY, GOVERNME
AND LENDING INSTITUTION LISTED
TO THE ASSIGNEES OF THE LENDIN
GUARANTEES OR CERTIFICATION ARE NO
TO ADDITIONAL INSTITUTIONS OR SUBSE

BLOCK:
LOT (s):
SECTION:
COUNTY: WE
DWG BY:
CHK'D BY:

CERTIFIED ONLY

* FRAUKE BERMAN
* ATTORNEYS TITLE INS AGENCY, INC.
* WESTCOR LAND TITLE INSURANCE COMPAN
* TITLE No. AT21-153



PROPOSED ENLARGED SITE PLAN

20'-0" = 1'-0"

9:30 27%

Rolcontainer voo...
mestcontainer.com

Home > Manure container versions
> Roll container for horse manure

1,600 litres: suitable for 16 wheelbarrows of manure

roll container

Dutch English

Send SAVE