

TOWN OF LEWISBORO
Westchester County, New York

Zoning Board of Appeals
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3822
Fax: (914) 533-0097
Email: zoning@Lewisborogov.com

AGENDA

Wednesday, April 27, 2022, 7:30 P.M.

**79 Bouton Road, South Salem,
Justice Court**

I. Review and adoption of the Minutes of March 2022

II. OTHER BUSINESS

CAL. NO. 10-20-BZ

Application of Kenneth Askildsen, [Askildsen, Kenneth, owner of record], 82 Mill River Road, South Salem, NY, for a variance in the matter of a proposed replacement dwelling that will have a southeast front yard setback of 21.3' whereas 50' are required per Article IV Section 220-23E, a proposed replacement dwelling overhang that will have a southeast front yard setback of 20' whereas 50' are required per Article IV Section 220-23E, a proposed replacement dwelling that will have a southwest side yard setback of 33.5' whereas 50' are required per Article IV Section 220-23E, a proposed deck that will have a southeast front yard setback of 26.5' whereas 50' are required per Article IV Section 220-23E, a proposed replacement dwelling that will have a northeast side yard setback of 36.5' whereas 50' are required per Article IV Section 220-23E, a proposed covered porch that will have a northeast side yard setback of 32.5' whereas 50' are required per Article IV Section 220-23E, a proposed covered porch steps that will have a northeast side yard setback of 30.5' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code and a proposed building coverage that will have 14.78% whereas 6% is the maximum per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located at (#82) Mill River Road, South Salem, NY and designated on the Tax Map as Sheet 42 Block 10299 Lot 83 in an R-4A Residential District consisting of approximately .467 acres.

“Remand by Order of Westchester County Supreme Court, Hon. Anne E. Minihan, A.J.S.C. dated February 25, 2021.”

III. PUBLIC HEARING

CAL. NO. 07-22-BZ

Application of Michael Mongiello [Mongiello, Michael, owner of record], 26 Salem Hill Road, South Salem, NY for the following variance of the proposed generator will have a front yard setback of 15' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#26) Salem Hill Road, South Salem, NY designated on the Tax Map as Sheet 0031 Block 10805 Lot 077, in a R-2AC, Two-Acre Residential District consisting of approximately 2.00 acres.

CAL. NO. 08-22-BZ

Application of Michael Liffland, [Liffland, Michael V. & Corrie L., owner of record], 1187 Route 35, South Salem, NY for the following variance of a proposed 6ft high fence whereas a 4ft high fence is allowed per Article IV Section 220-12E of the Town of Lewisboro Zoning Code.

The property is located on the south side of (#1187) Route 35 South Salem, NY designated on the Tax Map as Sheet 0031, Block 12669 Lot 030, in an R-1/2A, Half-Acre Residential District consisting of approximately 1.19 acres.

CAL. NO. 09-22-BZ

Application of Hogan and Rossi, [Dayton, Renea Topp & Duncan N., owner of record], 62 Mead Street, Waccabuc, NY for the following variance of a proposed garage that will have a floor area of 1775 whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#62) Mead Street, Waccabuc, NY designated on the Tax Map as Sheet 0022, Block 10802 Lot 070, in an SCR-4A, Special Character District, Four-Acre Residential District consisting of approximately 6.15 acres.

IV. CORRESPONDENCE & GENERAL BUSINESS

(914) 763-3822
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TOWN OF LEWISBORO
Zoning Department
79 Bouton Road
South Salem, NY 10590

TOWN OF LEWISBORO, WESTCHESTER COUNTY

ZONING DEPARTMENT

ZONING BOARD OF APPEALS – April 27, 2022

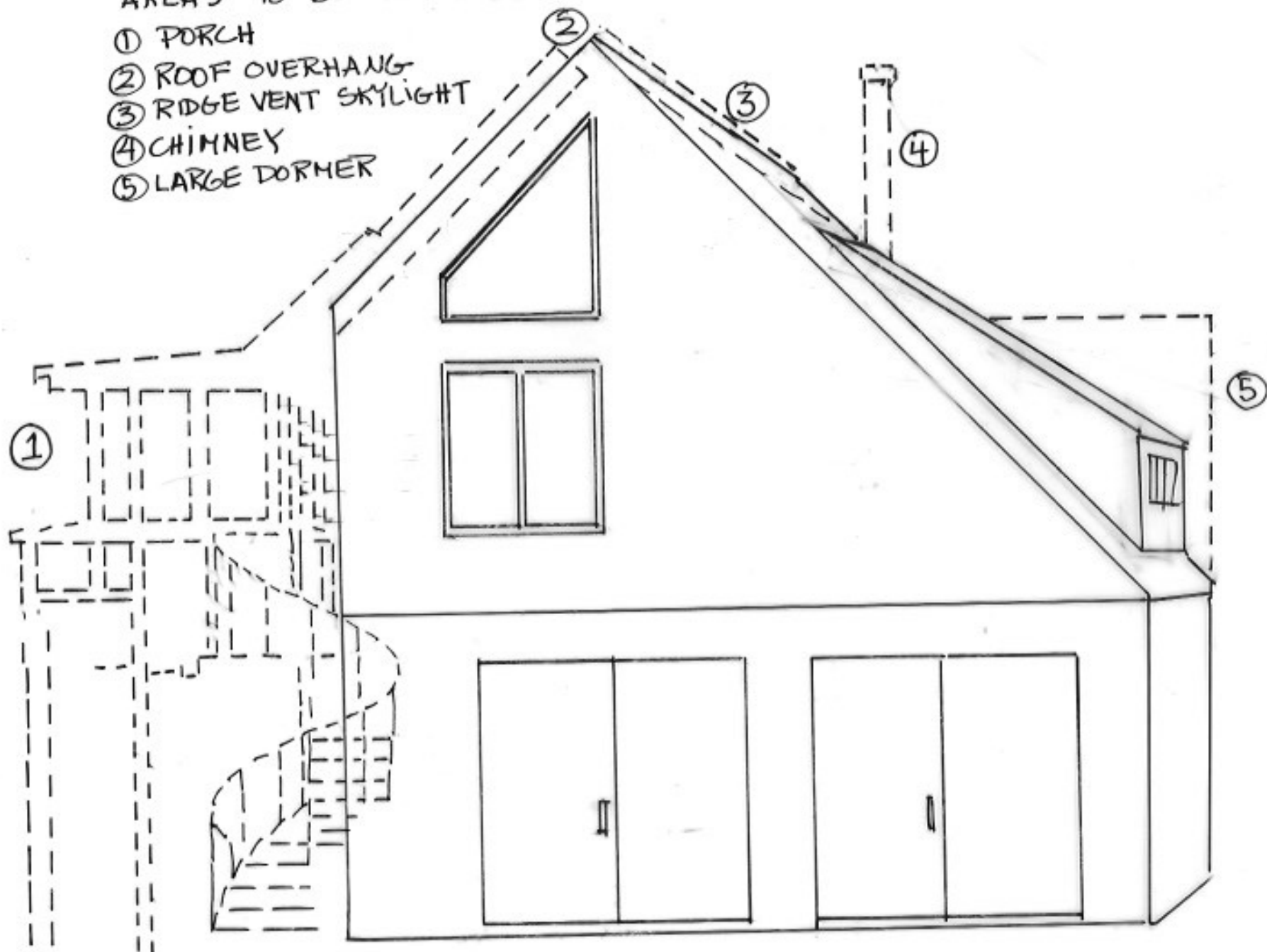
ZONING BOARD OF APPEALS – April 27, 2022		
<u>APPLICANT</u>	<u>CAL #</u>	<u>PAGE(S)</u>
Askildsen	10-20-BZ	4 to 8
Mongiello	08-22-BZ	9
Liffland	08-22-BZ	10 to 12
Dayton	09-22-BZ	13 to 24



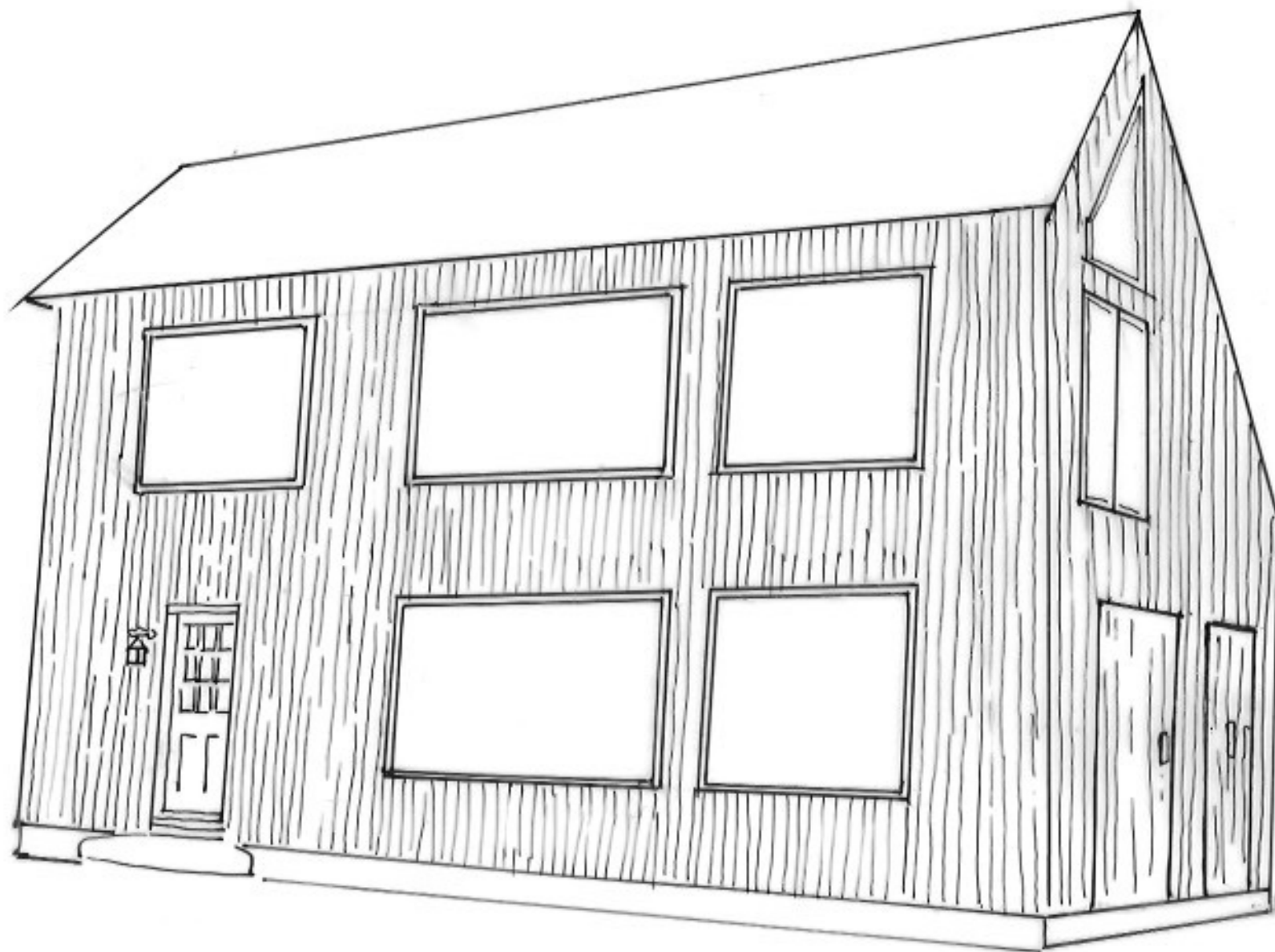
FRONT OF BARN-

DOTTED LINE REPRESENTS
AREAS TO BE REMOVED-

- ① PORCH
- ② ROOF OVERHANG
- ③ RIDGE VENT SKYLIGHT
- ④ CHIMNEY
- ⑤ LARGE DORMER

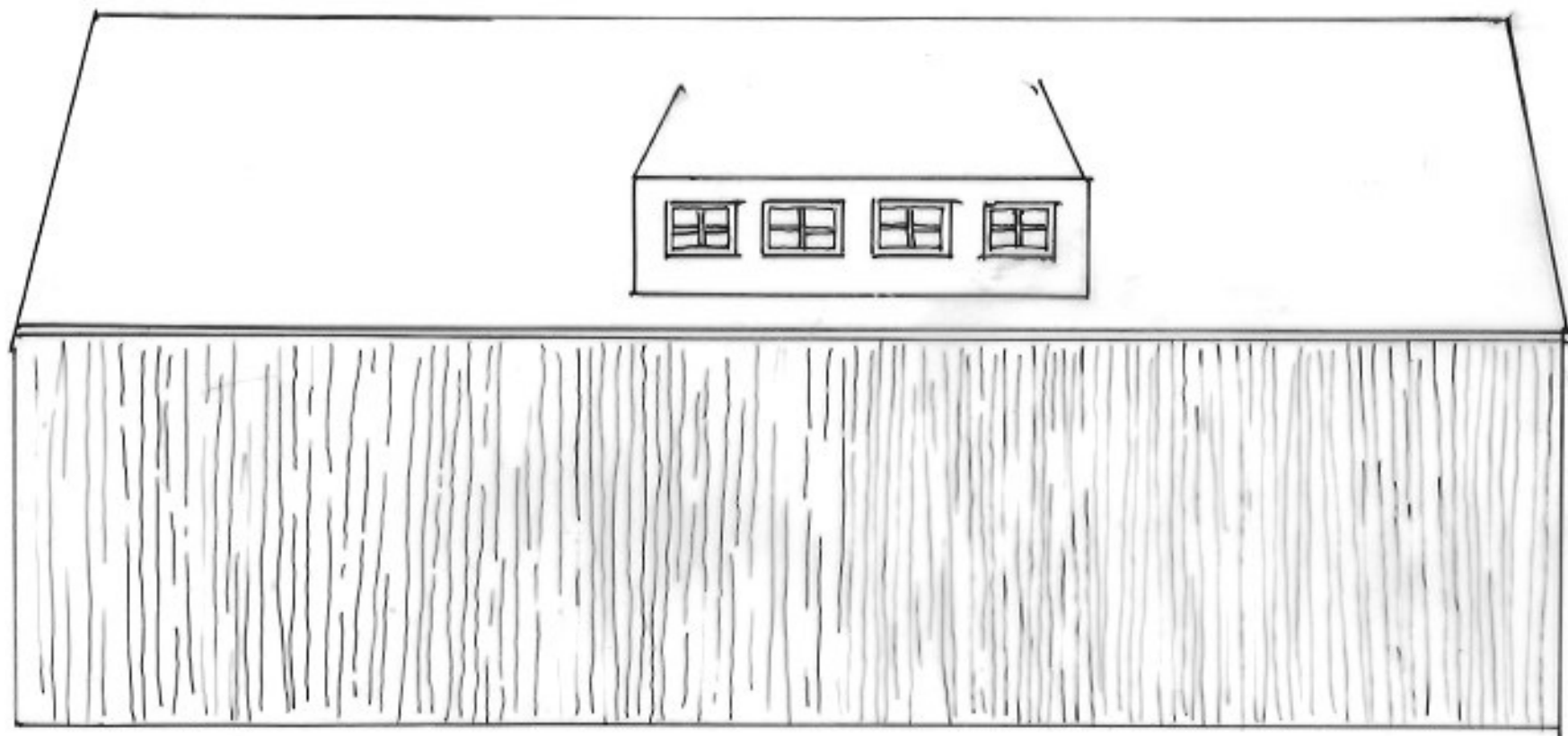


- ① PORCH REMOVED
- ② SPIRAL STAIRCASE REMOVED
- ③ OVER HANG REMOVED



RIGHT SIDE OF BARN

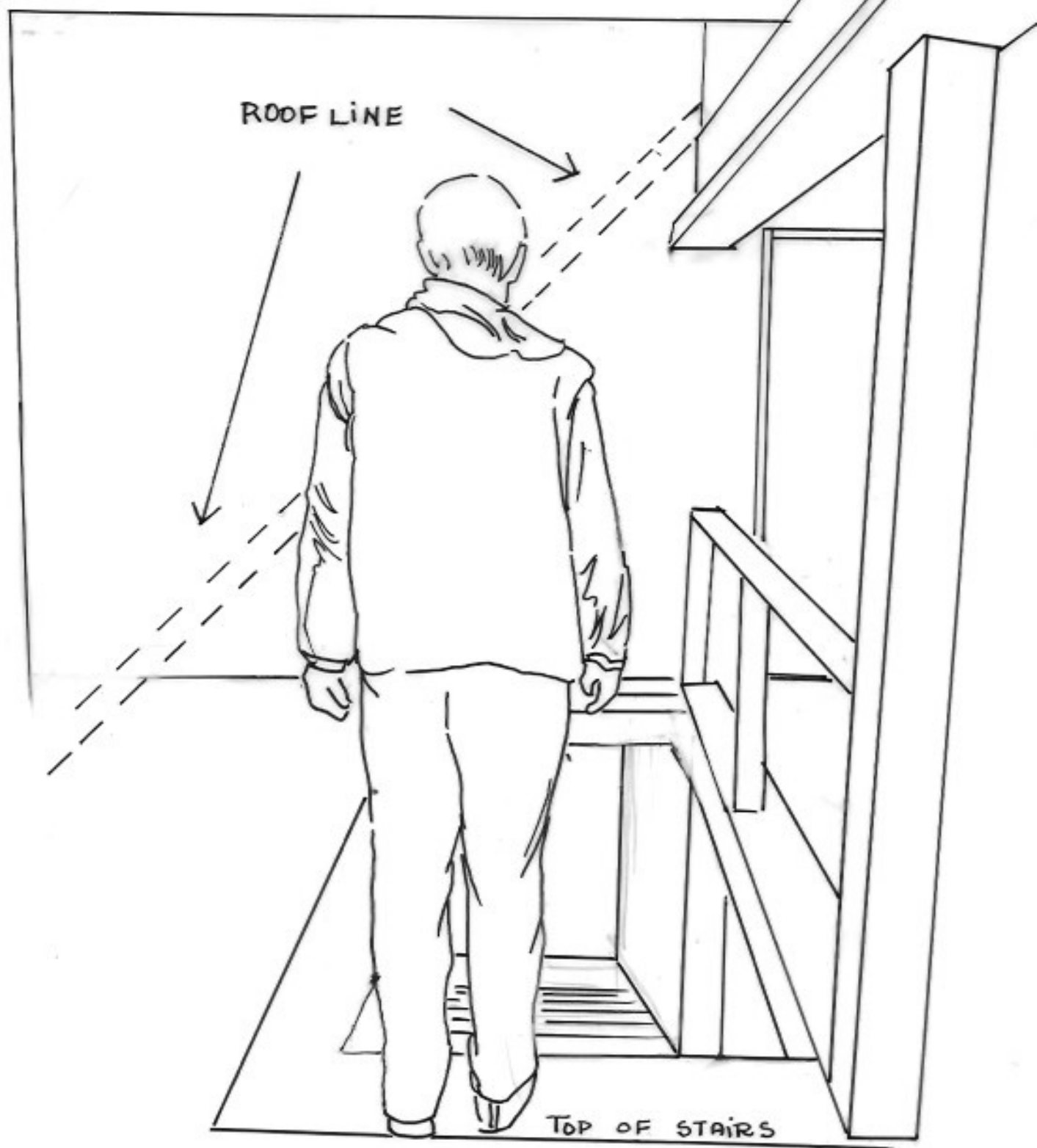
- ① REMOVED 2ND FLOOR DORMER. REPLACED WITH SMALLER DORMER - NECESSARY FOR TOP OF STAIRS HEIGHT ALLOWANCE. (SEE INTERIOR DRAWING)
- ② REMOVE WOOD BURNING CHIMNEY

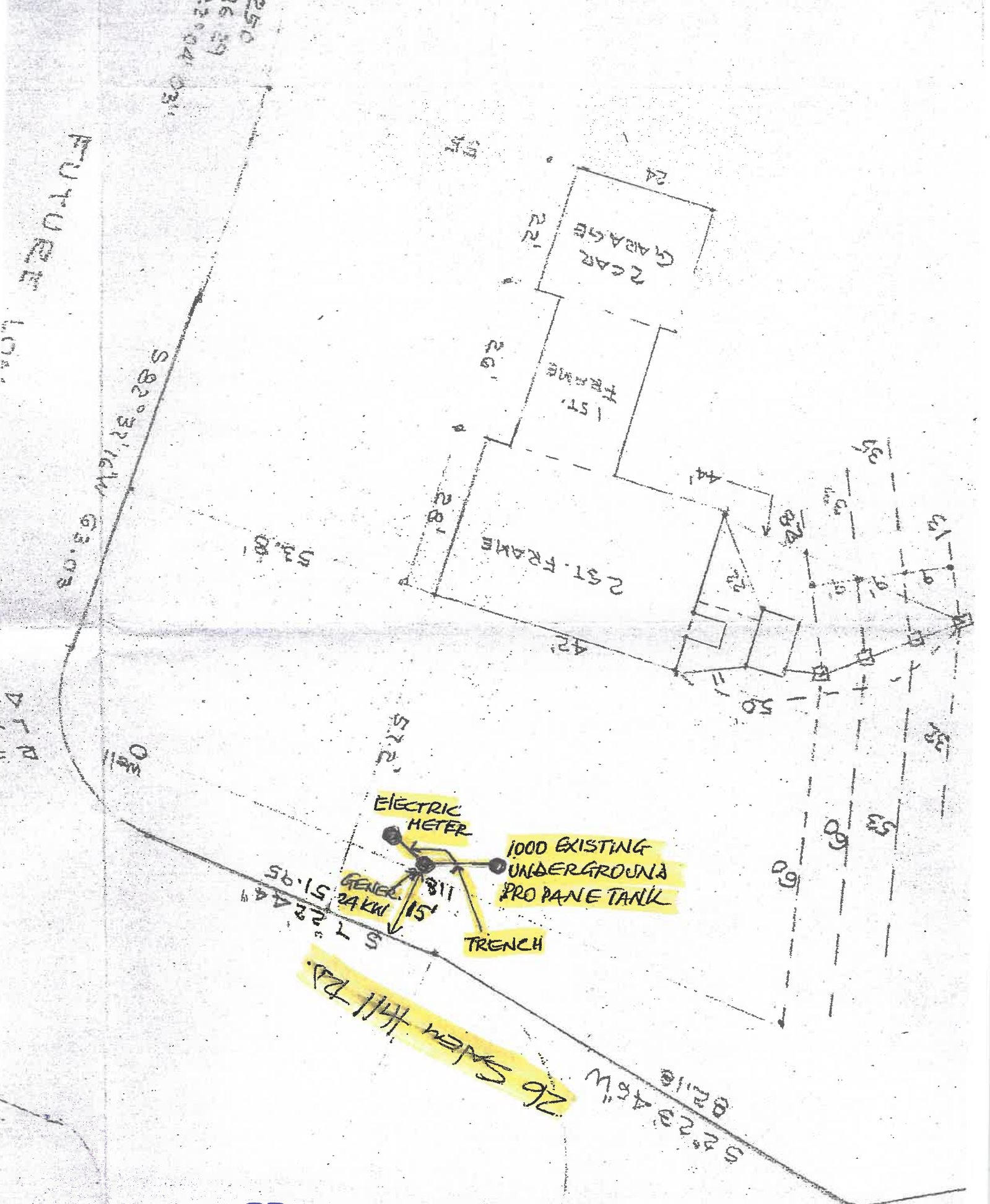


INTERIOR DRAWING

INSIDE OF BARN

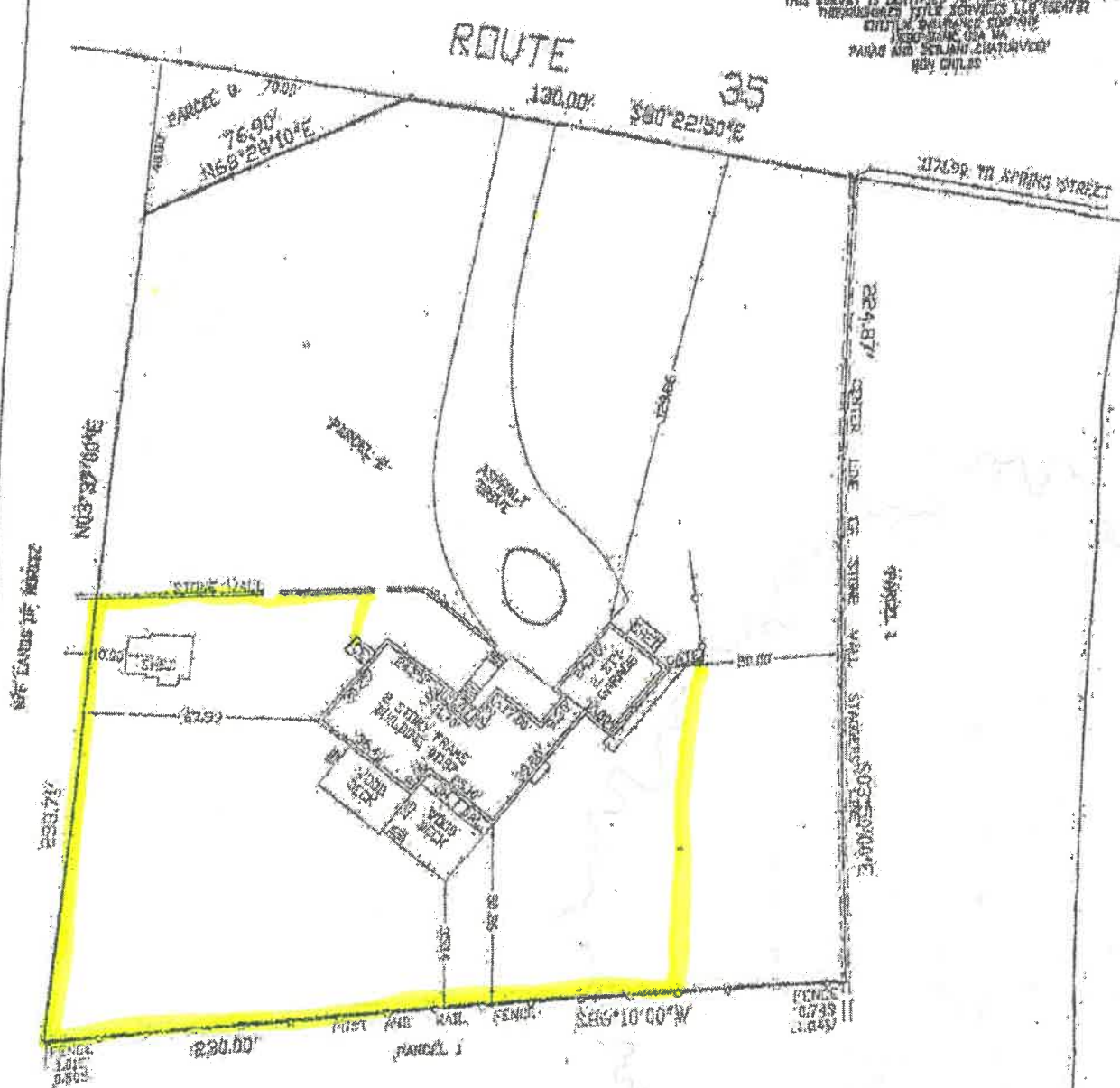
2ND FLOOR





07-22-BZ 10805-77-31
Mongillo 26 SALEM HILL RD.

THIS SURVEY IS CERTIFIED TO THE FOLLOWING PARTIES
 REPRESENTED BY THE SURVEYOR'S LICENSE
 EDITH L. BARNARD SURV. NY
 WESTBANK USA INC
 PARCELS AND SETBACKS (CONTINUED)
 BEN CHILDS



THIS SURVEY IS CERTIFIED TO THE FOLLOWING PARTIES
 REPRESENTED BY THE SURVEYOR'S LICENSE
 EDITH L. BARNARD SURV. NY
 WESTBANK USA INC
 PARCELS AND SETBACKS (CONTINUED)
 BEN CHILDS



SURVEY OF
 PARCEL 2
 MAP OF PROPERTY PREPARED FOR
 EDITH L. BARNARD SURV. NY
 WESTBANK USA INC
 PARCELS AND SETBACKS (CONTINUED)
 BEN CHILDS

TITLE SURVEY	
PREPARED FOR CHATHAM	
STATE OF NEW YORK	
1157 ROUTE 35, SOUTH SALEM WESTBANK COUNTY, NEW YORK	
DSP SURVEYING	PREPARED BY
178 BELL HOLLOW ROAD PUTNAM VALLEY, NY 10929	
ME No. 7220	DATE: 8/2/18
SCALE: 1"=40'	



OFFICE.MIDHUDSONFENCE@GMAIL.COM

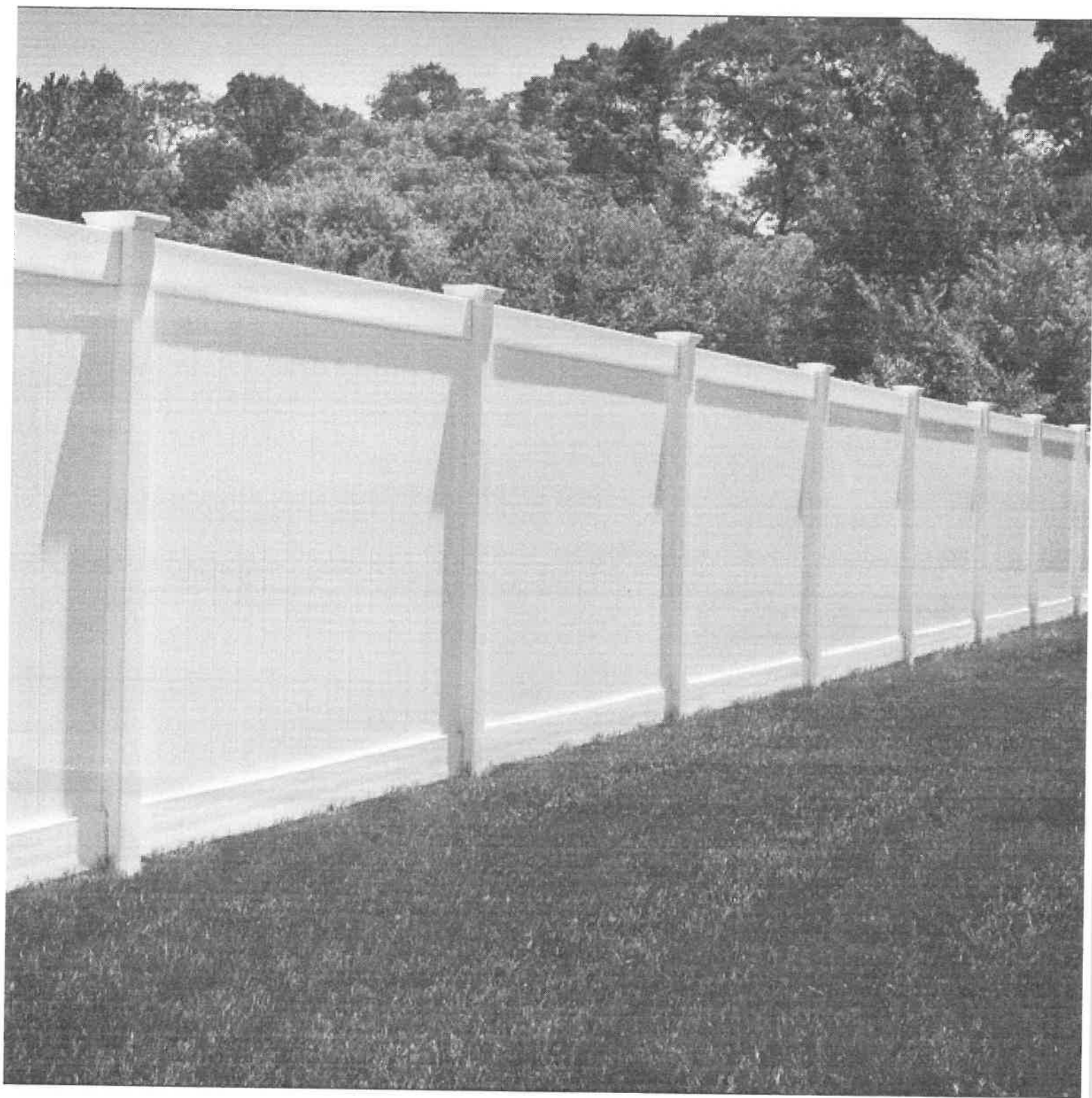
DEPOSITS ARE NON REFUNDABLE.

THIS PRICE QUOTE IS GUARANTEED UNTIL FRIDAY, MARCH 18, 2022 AT NOON
PRICING BASED ON CHECK PAYMENTS. CREDIT CARD PAYMENTS WILL INCUR A
2.25% COURTESY FEE. 50% DEPOSIT IS REQUIRED TO SECURE MATERIALS.

FINAL BALANCE (DUE ON COMPLETION)	\$ 12,600.00
--	---------------------

Date: _____

DATE: _____



GARAGE ALTERATION
- SUBMITTAL -

PREPARED FOR
ZONING BOARD OF APPEALS



LIST OF DRAWINGS

G-SKO	TITLE SHEET
G-SK1	SOUTH GARAGE - FLOOR PLANS
G-SK2	GARAGE ALTERATION - EXTERIOR ELEVATIONS
G-EX1	SOUTH GARAGE - EXISTING PLANS & ELEVATIONS

4/01/2022

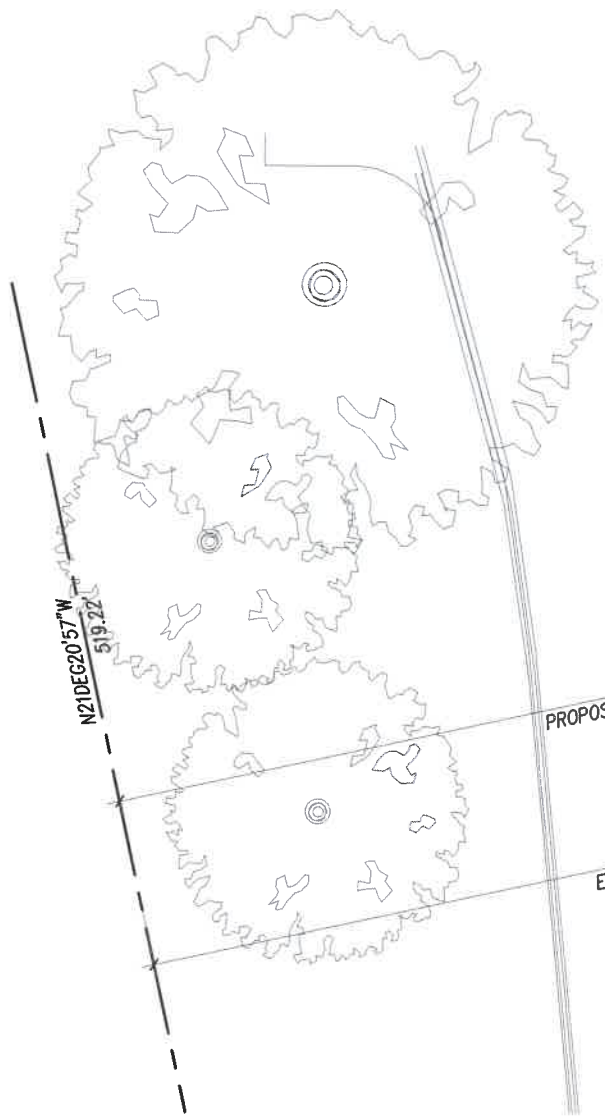
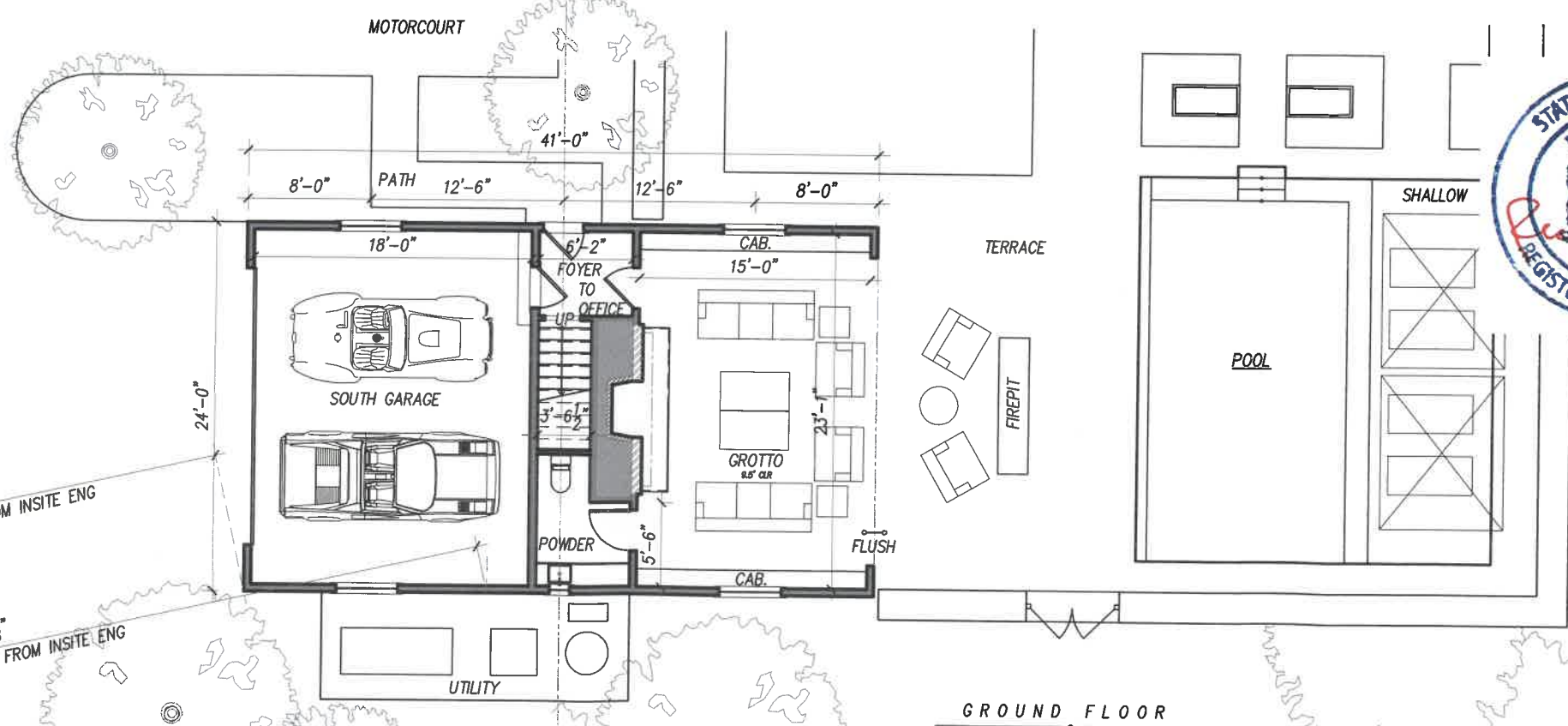
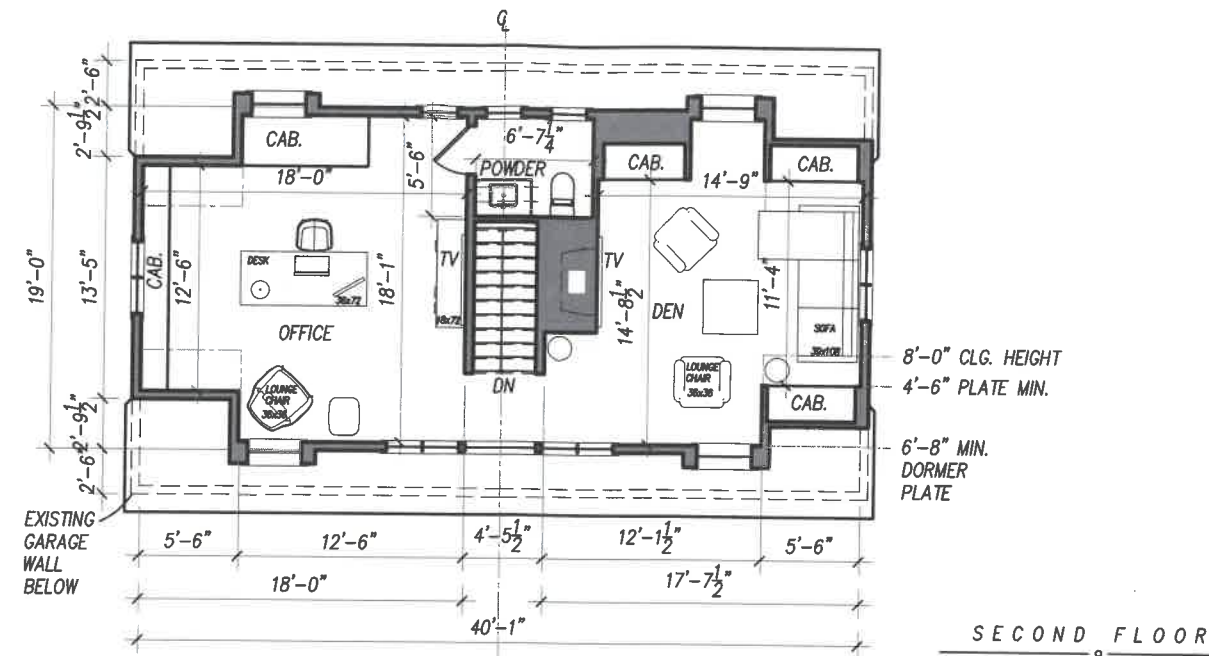
TWO TALL TREES DESIGN
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WRITTEN PERMISSION AND
AUTHORIZATION.

SOUTH GARAGE

SOUTH GARAGE
DAYTON RESIDENCE
68 MEAD STREET
WACCABUC, NY

G-SKO



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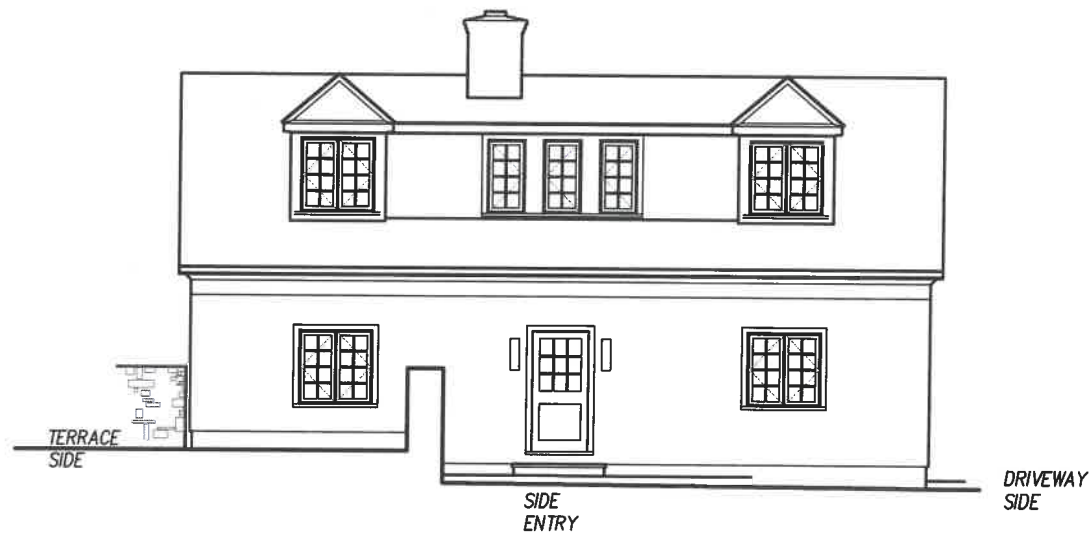
SOUTH GARAGE

3/32" = 1'-0"

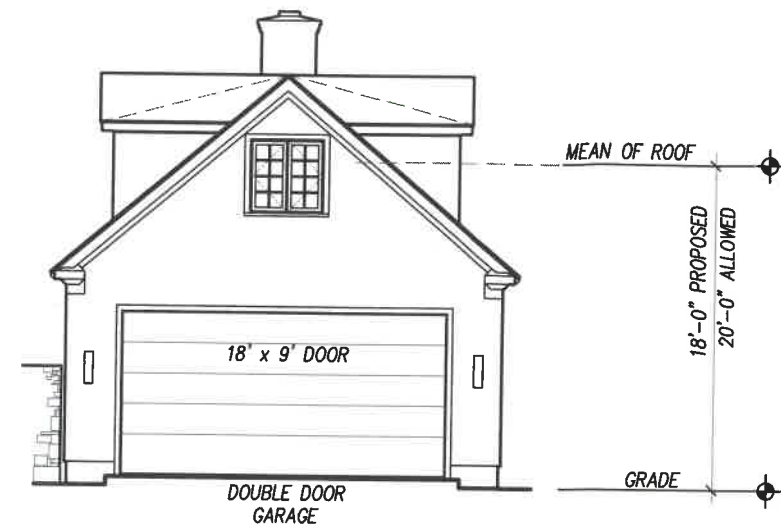
SOUTH GARAGE
 DAYTON RESIDENCE
 68 MEAD STREET
 WACCABUC, NY

G-SK1

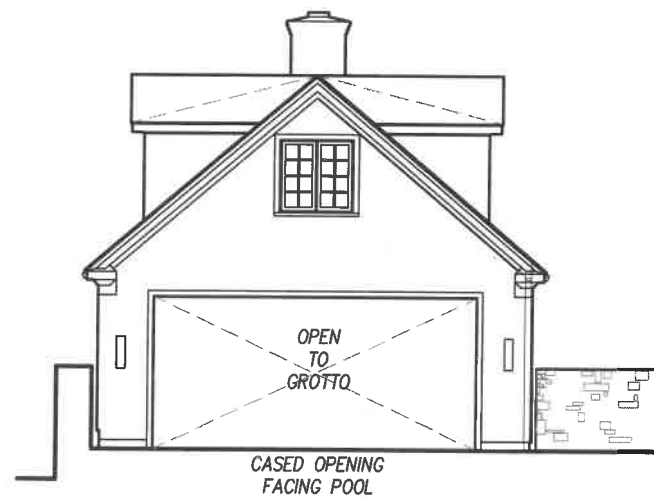
4/01/2022



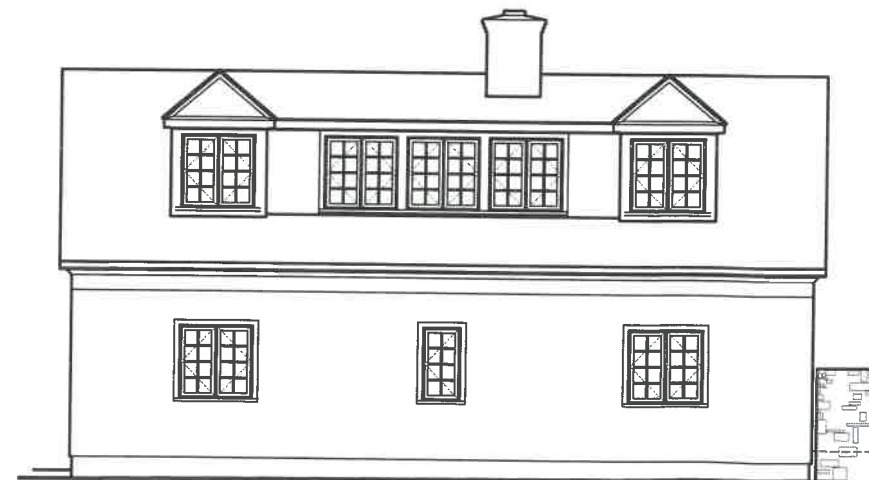
NORTH ELEVATION



WEST ELEVATION (GARAGE)



EAST ELEVATION (POOL GROTTO)



SOUTH ELEVATION

WOOD/COPPER ROOF
WOOD SIDING
BRICK CHIMNEY
TO MATCH EXISTING
HOUSE DETAILS

PROPOSED W/ ADDITION

1st 24 x 41 = 984 sf
2nd 19 x 41 = 779 sf } +/- 1,775 sf

EXISTING GARAGE

1st 24 x 24 = 576 sf



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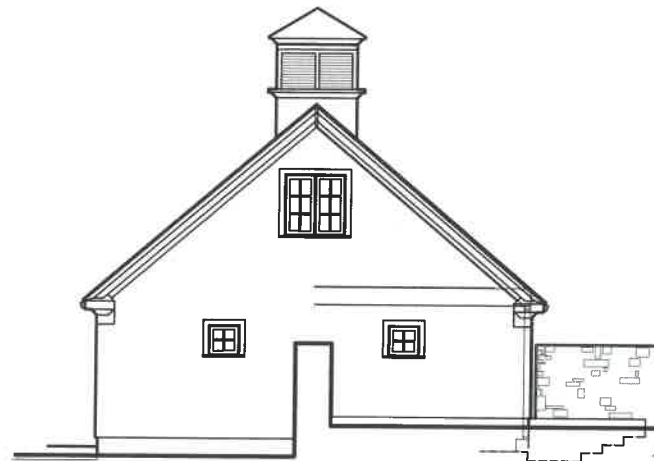
GARAGE ALTERATION
DAYTON RESIDENCE
68 MEAD STREET
WACCABUC, NY

G-SK2

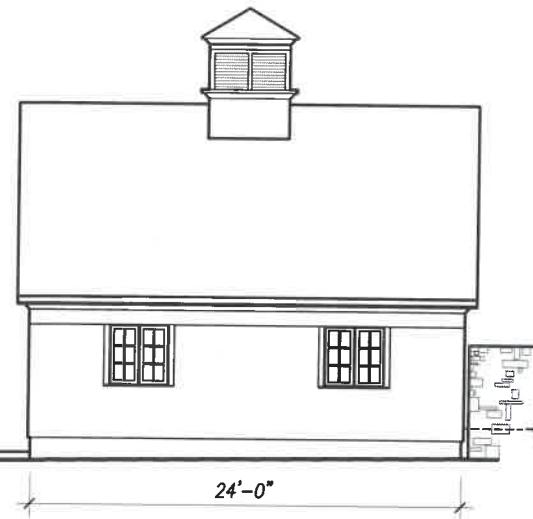
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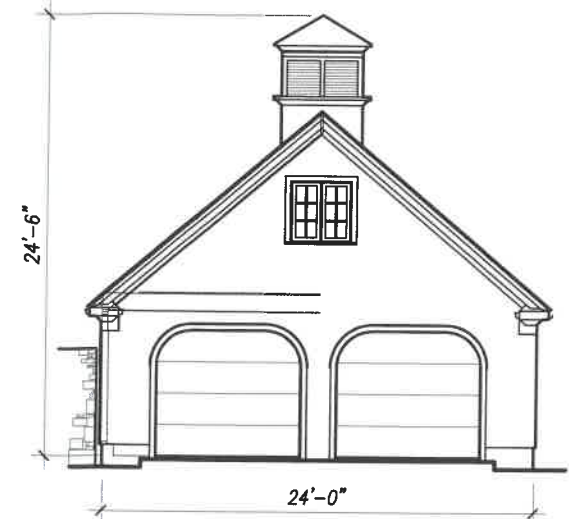
NORTH ELEVATION



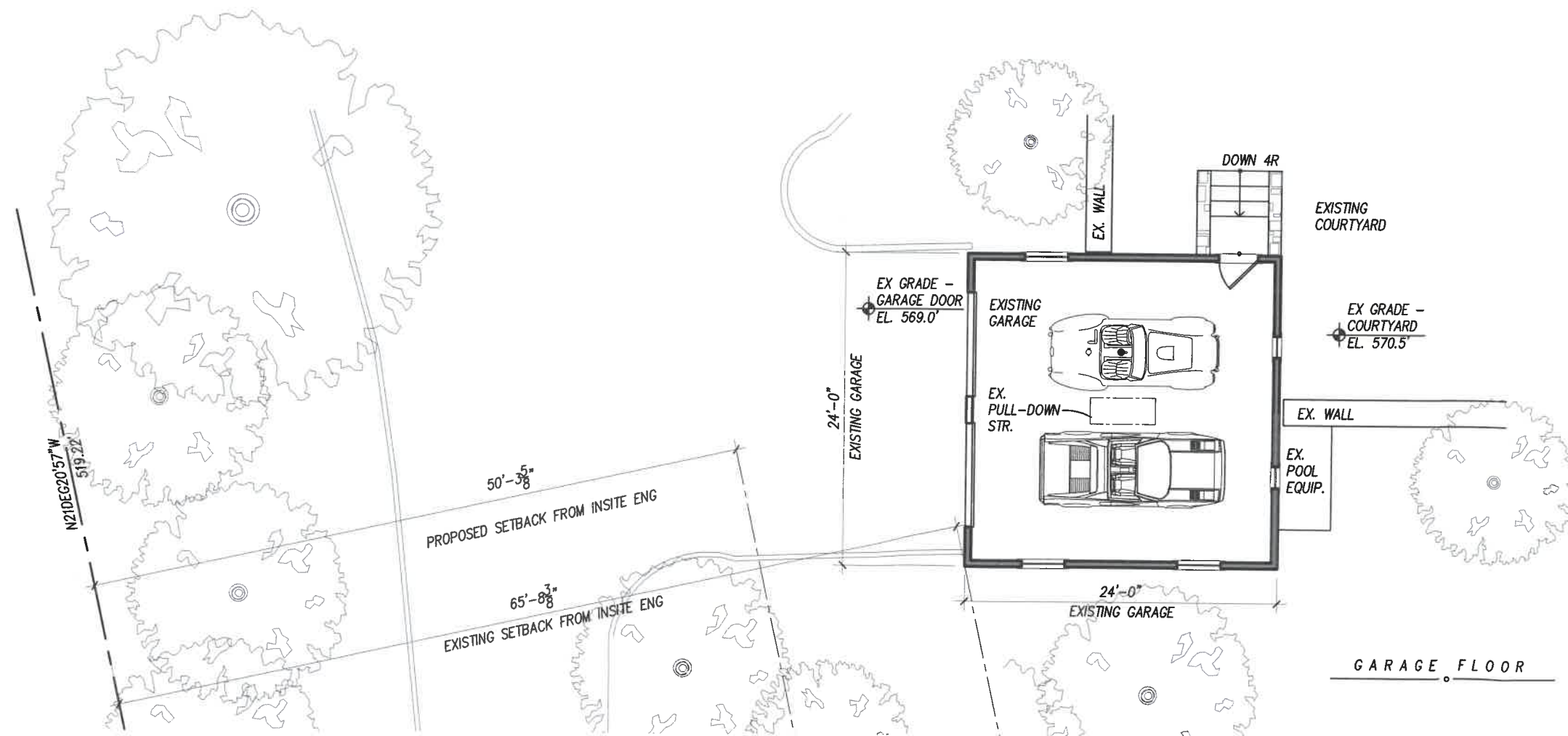
EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



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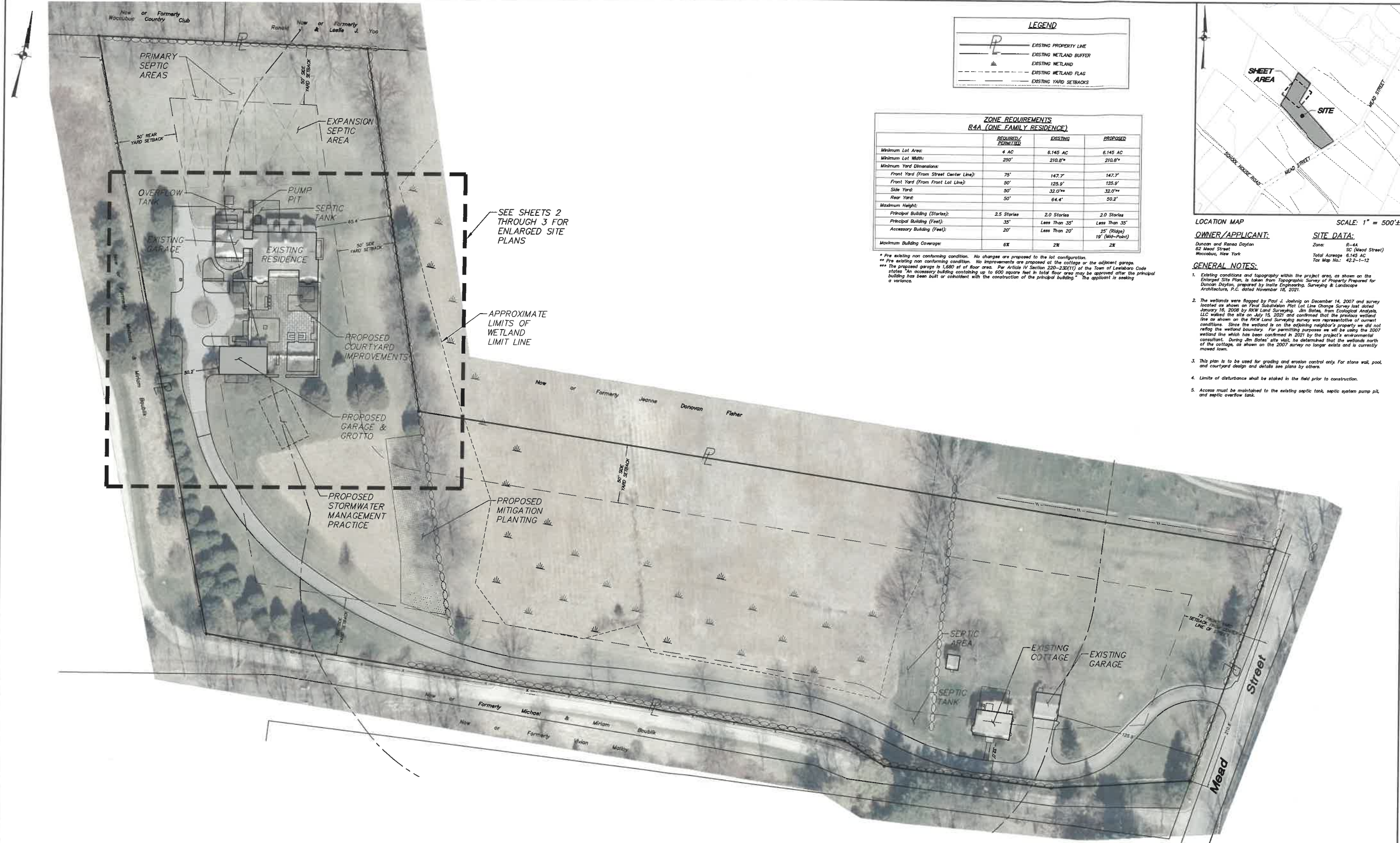
SOUTH GARAGE

3/32" = 1'-0"

SOUTH GARAGE
DAYTON RESIDENCE
68 MEAD STREET
WACCABUC, NY

G-EX1

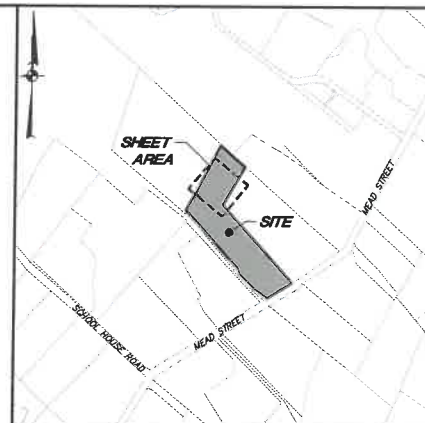
4/01/2022



LEGEND			
	EXISTING PROPERTY LINE		
	EXISTING WETLAND BUFFER		
	EXISTING WETLAND		
	EXISTING WETLAND FLAG		
	EXISTING YARD SETBACKS		

ZONE REQUIREMENTS R4A (ONE FAMILY RESIDENCE)			
	REQUIRED / PROPOSED	EXISTING	PROPOSED
Minimum Lot Area:	4 AC	6.145 AC	6.145 AC
Minimum Lot Width:	250'	210.8'	210.8'
Minimum Yard Dimensions:			
Front Yard (From Street Center Line):	75'	147.7'	147.7'
Front Yard (From Front Lot Line):	50'	125.9'	125.9'
Side Yard:	50'	32.0'	32.0'
Rear Yard:	50'	64.4'	50.2'
Maximum Height:			
Principal Building (Stories):	2.5 Stories	2.0 Stories	2.0 Stories
Principal Building (Feet):	35'	Less Than 35'	Less Than 35'
Accessory Building (Feet):	20'	Less Than 20'	19' (Mid-Point)
Maximum Building Coverage:	6%	2%	2%

* Pre existing non conforming condition. No changes are proposed to the lot configuration.
** Pre existing non conforming condition. No improvements are proposed at the cottage or the adjacent garage.
*** The proposed garage is 1,680 sq ft of floor area. Per Article IV Section 220-230(1) of the Town of Lewisboro Code states "An accessory building containing up to 600 square feet in total floor area may be approved after the principal building has been built or coincident with the construction of the principal building." The applicant is seeking a variance.

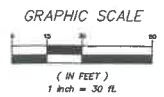


LOCATION MAP SCALE: 1" = 500'±

OWNER/APPLICANT: Dayton and Renee Dayton
62 Mead Street
Macedon, New York

SITE DATA:
Zone: R-4A
50' (Mead Street)
Total Acreage: 6.145 AC
Tax Map No.: 42.2-1-12

- GENERAL NOTES:
- Existing conditions and topography within the project area, as shown on the Enlarged Site Plan, is taken from Topographic Survey of Property Prepared for Division of Planning, prepared by Insite Engineering, Surveying & Landscape Architecture, P.C. dated November 18, 2021.
 - The wetlands were mapped by Paul J. Jochims on December 14, 2007 and survey located as shown on Final Subdivision Plot Lot Line Change Survey last dated January 16, 2008 by R/W Land Surveying, Jim Bates, from Ecological Analysis, LLC walked the site on July 15, 2021 and confirmed that the previous wetland conditions. Since the wetland is on the adjoining neighbor's property we did not reflag the wetland boundary. For permitting purposes we will be using the 2007 wetland line which has been confirmed in 2021 by the project's environmental consultant. During Jim Bates' site visit, he determined that the wetlands north of the cottage, as shown on the 2007 survey no longer exists and is currently mowed lawn.
 - This plan is to be used for grading and erosion control only. For stone wall, pool, and courtyard design and details see plans by others.
 - Limits of disturbance shall be staked in the field prior to construction.
 - Access must be maintained to the existing septic tank, septic system pump pit, and septic overflow tank.



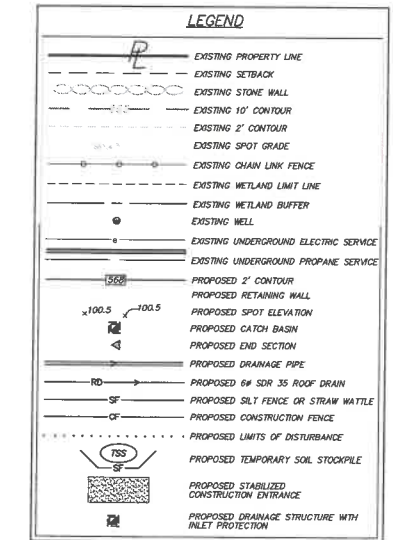
2	12-30-21	ZONING BOARD OF APPEALS SUBMISSION	KMG
1	11-30-21	PLANNING BOARD SUBMISSION	MEU
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

PROJECT: DAYTON RESIDENCE
62 MEAD STREET, TOWN OF LEWISBORO, WESTCHESTER CO., NEW YORK

DRAWING: OVERALL PLAN

PROJECT NUMBER: 21170.100	PROJECT MANAGER: J.M.W.	DRAWING NO.: OP-1	SHEET: 1/4
DATE: 10-26-21	DRAWN BY: T.M.B.	CHECKED BY: J.M.W.	
SCALE: 1" = 30'	CHECKED BY: J.M.W.		



1. Minimum OSHA site standards must be maintained including personal protective equipment and vests. The contractor shall be responsible for guarding and protecting all open excavations in accordance with the latest edition and current OSHA requirements.
2. The contractor shall field verify all dimensions relative to the scope of work.
3. The contractor shall field verify the existing grade / utility locations prior to commencement of any work. Any discrepancy shall be reported to the project engineer when identified.
4. Contractor shall be responsible for removal of all access road, topsoil, subsoil, and construction debris from the site.
5. The contractor shall place boards/planks to protect lawn from construction access to alleys. Boards/planks shall be pulled up and stored when not in use.

2. Install self fence in general locations indicated on the plan.
3. Strip and stockpile material within limits of disturbance for later use in lawn and landscape areas.
4. Remove section of existing stone wall.
5. Install proposed equipment pads.
6. Install courtyard improvements including stormwater drains with inlet protection.
7. Upon completion of pool and courtyard improvements construct proposed stone wall.
8. Upon completion of all grading operations and pool & wall construction, riprap, weed, and mulch all disturbed areas as soon as practical in accordance with the Erosion and Sediment Control Notes contained on this page.

7. Seed Mixtures:

A. All prepared seedbed areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.

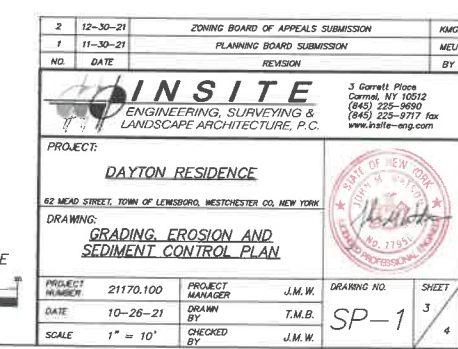
B. Upon final grading and placement of topsoil and any required soil amendments, areas to receive topsoil must be covered with a combination of suitable mulch as follows:

- 1. select seed mixture: disperse on seedling notes
- 2. fertilizer applied at the manufacturer's recommended rate using Lasso
- 3. 5-10" (no plastic) straw or other organic mulch
- 4. mulch: soft hay or smudged grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre; to be applied and anchored according to New York State, New Jersey, Maryland and Washington State Department of Natural Resources, October 2005.

If the season prevents the establishment of a permanent vegetation cover, the disturbed areas shall be planted with a grass or equivalent.

C. The seed mixes as specified on these drawings are as follows:

- A. Seed Mix for lawn areas and more slope steeper than a rate of 100 lbs. per acre:
 - Kentucky Bluegrass 40%
 - Crested Red Fescue 20%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
- B. Seed Mix for Millington areas as shown on the drawings at a rate of 15 lbs. per acre:
 - Low-Growing Wildflower & Grass Mix (ERNAH-156) from Ernst Conservation Seeds of Mendota, PA or similar.



EROSION & SEDIMENT CONTROL NOTES:

- The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
- All construction activities involving the removal or disposal of soil are to be provided with appropriate protective measures to minimize erosion and control sedimentation. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with New York State Standards and Specifications for Erosion and Sediment Control, latest edition.
- Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
- When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has been initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
- Site fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
- All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. "Astoria" winter rye (annual rye) shall be used for temporary seeding in late fall and winter.
- Any disturbed area not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
 - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 100 pounds per acre in the following proportions:
 - Kentucky Bluegrass 20%
 - Orchardgrass 20%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
 - Mulch: Soil hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, latest edition.
- Gross seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.
- Cut or fill slopes steeper than 3:1 shall be stabilized immediately after grading with Curlex 1 Single Nail Erosion Control Blanket, or approved equal.
- Paved roadways shall be kept clean at all times.
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
- Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to ensure that channels, temporary and permanent ditches and piles are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately reported by the contractor and inspected for approval by the O.F.R. and/or site engineer.
- Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
- Cut and fill shall not endanger adjoining property, nor divert water onto the property of others.
- All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
- The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
- As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
- Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

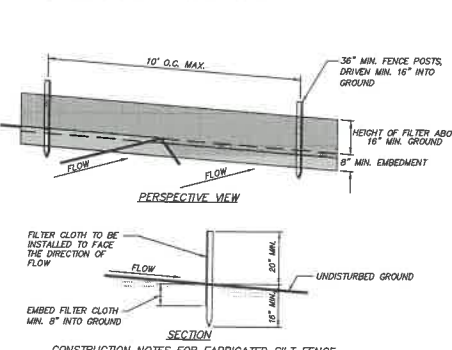
REQUIRED EROSION CONTROL SWPPP CONTENTS:

- Pursuant to the NYSDOT "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), of Stormwater Pollution Prevention Plan's (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York State Standards and Specifications for Erosion and Sediment Control". Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or engineer must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1-a-i of General Permit GP-0-20-001:
- Background information: The subject project consists of the expansion of a contractor's outdoor storage yard.
 - Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.
 - Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Charlton loam (CCL) and (CCL) Chatfield-Charlton Complex (CCL), Charlton-Chatfield Complex (CCL), and Leicestershire loam (LCL), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Group "B" and "D".
 - Construction phasing plan / sequence of operations: The Construction Sequence and phasing plan on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Erosion and Sediment Control Notes contained herein outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
 - Description of erosion and sediment control practices: This plan, and details / notes shown herein serve to satisfy this SWPPP requirement.
 - Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided herein identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
 - Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.
 - The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
 - An inspection schedule: Inspections are not required.
 - A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Final temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
 - A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
 - Identification of any elements of the design that are not in conformance with the technical standard, "New York State Standards and Specifications for Erosion and Sediment Control": All proposed elements of this SWPPP have been designed in accordance with the "New York State Standards and Specifications for Erosion and Sediment Control".

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE					
MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS		
PRACTICE	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	-	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	-	Inspect	Clean/Replace Stone and Fabric	Remove
DUST CONTROL	Inspect	-	Inspect	Mulching / Spraying Water	N/A
VEGETATIVE ESTABLISHMENT	-	Inspect	Inspect	Water/Reseed / Remove	Reseed to Bare Coverage
SOIL STOCKPILES	-	Inspect	Inspect	Mulching / Silt Fence Repair	Remove
CONCRETE DRAINAGE STRUCTURES	-	Inspect	Inspect	Clean Sumps / Remove Debris / Repair/Replace	Clean Sumps / Remove Debris / Repair/Replace
DRAINAGE PIPES	-	Inspect	Inspect	Clean/Repair	Clean/Repair
ROAD & PAVEMENT	-	Inspect	Inspect	Clean	Clean

* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized. The party responsible for implementation of the maintenance schedule during and after construction is:

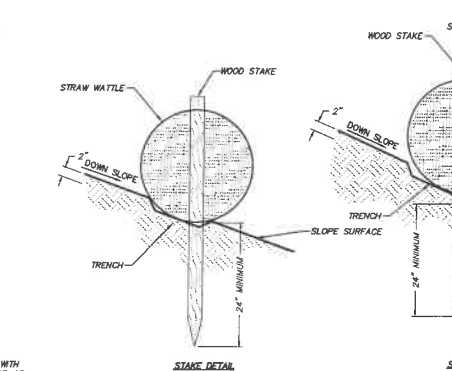
Duncan and Renea Dayton
62 Mead Street
Woodstock, New York
and/or the current owner(s) of the subject property.



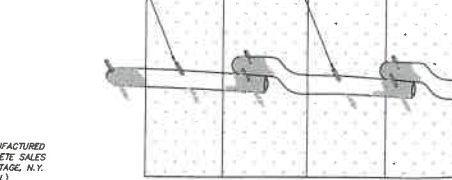
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL (N.T.S.)



STRAW WATTLE DETAIL (N.T.S.)

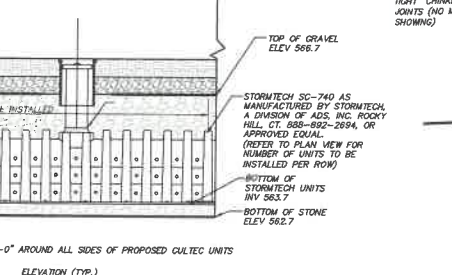


STRAW WATTLE LAYOUT (N.T.S.)

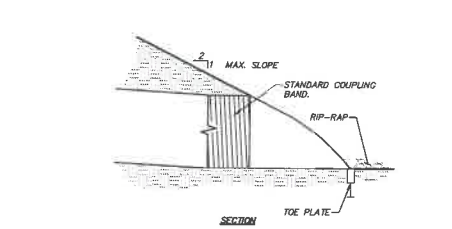
NOTES:

- 15" x 16" x 30" WOODEN STAKES FOR 9" AND 12" STRAW WATTLES.
- 15" x 16" x 48" WOODEN STAKES FOR 20" STRAW WATTLES.

STRAW WATTLE DETAIL (N.T.S.)



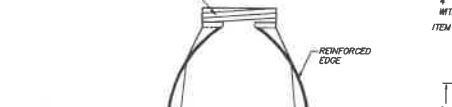
STORMWATER UNDERGROUND INFILTRATION SYSTEM (SMP 1.1P) DETAIL (N.T.S.)



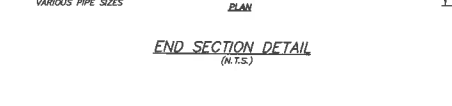
CONCRETE PAD DETAIL (N.T.S.)



GRAVEL ACCESS DRIVE DETAIL (N.T.S.)



BLUESTONE PAVING DETAIL (N.T.S.)



18" X 18" DRAIN INLET DETAIL (N.T.S.)



TREE PLANTING DETAIL (N.T.S.)



STONE WALL DETAIL (N.T.S.)



LEVEL SPREADER DETAIL (N.T.S.)



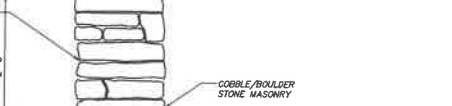
4" BELGIUM BLOCK CURB DETAIL (N.T.S.)



FLOW SPLITTER FS 2 DETAIL (N.T.S.)



TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)



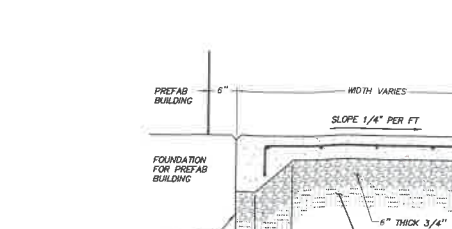
STORMWATER UNDERGROUND INFILTRATION SYSTEM (SMP 1.1P) DETAIL (N.T.S.)



STORMWATER UNDERGROUND INFILTRATION SYSTEM (SMP 1.1P) DETAIL (N.T.S.)



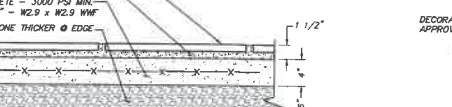
STORMWATER UNDERGROUND INFILTRATION SYSTEM (SMP 1.1P) DETAIL (N.T.S.)



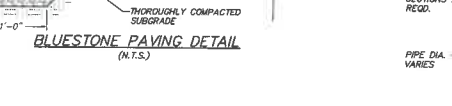
CONCRETE PAD DETAIL (N.T.S.)



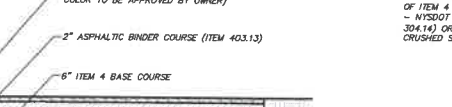
GRAVEL ACCESS DRIVE DETAIL (N.T.S.)



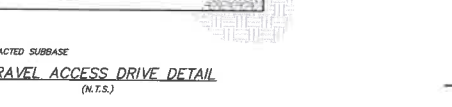
BLUESTONE PAVING DETAIL (N.T.S.)



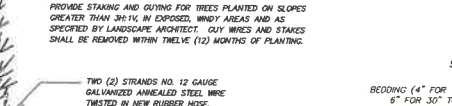
18" X 18" DRAIN INLET DETAIL (N.T.S.)



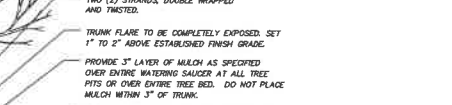
TREE PLANTING DETAIL (N.T.S.)



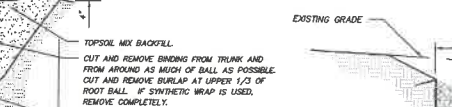
STONE WALL DETAIL (N.T.S.)



LEVEL SPREADER DETAIL (N.T.S.)



4" BELGIUM BLOCK CURB DETAIL (N.T.S.)



FLOW SPLITTER FS 2 DETAIL (N.T.S.)



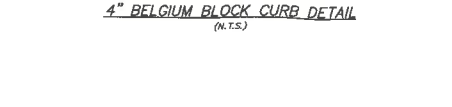
TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)



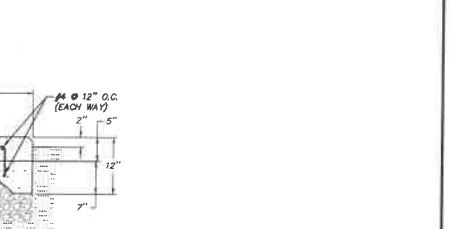
STORMWATER UNDERGROUND INFILTRATION SYSTEM (SMP 1.1P) DETAIL (N.T.S.)



STORMWATER UNDERGROUND INFILTRATION SYSTEM (SMP 1.1P) DETAIL (N.T.S.)



STORMWATER UNDERGROUND INFILTRATION SYSTEM (SMP 1.1P) DETAIL (N.T.S.)



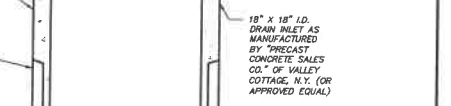
CONCRETE PAD DETAIL (N.T.S.)



GRAVEL ACCESS DRIVE DETAIL (N.T.S.)



BLUESTONE PAVING DETAIL (N.T.S.)



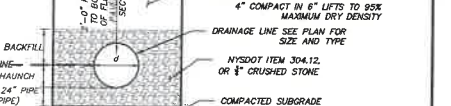
18" X 18" DRAIN INLET DETAIL (N.T.S.)



TREE PLANTING DETAIL (N.T.S.)



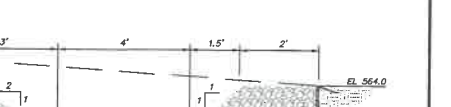
STONE WALL DETAIL (N.T.S.)



LEVEL SPREADER DETAIL (N.T.S.)



4" BELGIUM BLOCK CURB DETAIL (N.T.S.)



FLOW SPLITTER FS 2 DETAIL (N.T.S.)



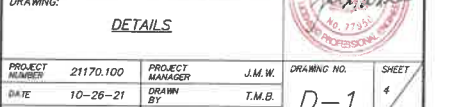
TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)



STORMWATER UNDERGROUND INFILTRATION SYSTEM (SMP 1.1P) DETAIL (N.T.S.)



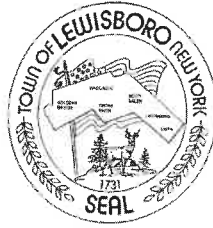
STORMWATER UNDERGROUND INFILTRATION SYSTEM (SMP 1.1P) DETAIL (N.T.S.)



STORMWATER UNDERGROUND INFILTRATION SYSTEM (SMP 1.1P) DETAIL (N.T.S.)

2	12-30-21	ZONING BOARD OF APPEALS SUBMISSION	KMO
1	11-30-21	PLANNING BOARD SUBMISSION	MEU
NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. 3 Corbett Place Corbett, NY 10512 (845) 225-8690 (845) 225-9717 fax www.insite-nyc.com			
PROJECT: DAYTON RESIDENCE 62 MEAD STREET, TOWN OF LEWISTOWN, WESTCHESTER CO, NEW YORK DRAWING: DETAILS			
PROJECT NUMBER	21170.100	PROJECT MANAGER	J.M.W.
DATE	10-26-21	DRAWN BY	T.M.B.
SCALE	AS SHOWN	CHECKED BY	K.M.G.
DRAWING NO.			SHEET
D-1			4

TOWN OF LEWISBORO
Westchester County, New York



Building Department
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3060
Fax: (914) 875-9148
Email: jangiello@lewisborogov.com

December 15, 2021

Ms. Janet Andersen, Chair
Town of Lewisboro Planning Board

Re: Cal#72-21WP, Cal#21-21SW
Dayton Pool/Patio, 62 Mead St., sheet 0022, block 10802, lot 070

Dear Ms. Andersen and Members of the Board,

I have reviewed the plans from Insite Engineering latest revision dated 11/30/2021, plans from Two Tall Trees dated 11/29/21 as well as the memo from Jan K. Johannessen, AICPI and Joseph M. Cermele, P.E. dated 11/12/21.

I have the following comments:

1. The detached garage plans are not dimensioned, but it appears that the structure will have a floor area above 600 square feet whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code.
2. The garage elevation does not appear to be drawn to scale. Fully dimensioned plans must be provided to ascertain zoning compliance. The maximum height for an accessory structure is 20' per Article I Section 220-2 of the Town of Lewisboro Zoning Code.

Please do not hesitate to contact me with any questions.

Sincerely,

Joseph Angiello
Building Inspector

DUNCAN DAYTON AND RENE DAYTON
62 MEAD STREET

SCHEDULE TO APPLICATION
TO BOARD OF APPEALS

REASONS FOR REQUEST:

1. Variances Requested:

An increase in the square footage of an accessory structure from 600 sq ft permitted to 1,775 sq ft proposed where 576 square feet is existing.

2. Approval History and Pending Applications:

This application pertains to the premises known as 62 Mead Street, Waccabuc, New York (the "Premises"). The Premises is approximately 6.145 acres in the Residential Four A (R4-A) Zoning District and is currently improved by a single-family residence, courtyard, pool, garage and cottage. The Town of Lewisboro previously approved the following special permits and variance on the Premises:

Cal. No. 20-99 BZSP- Special permit and variance granted September 24, 1999, permitting the use of the cottage as an accessory apartment, and allowing for the cottage, an accessory structure, to have a footprint greater than 600 sq ft.

Cal. No. 30-07SP- Special permit granted September 15, 2007 to continue to permit the use of the cottage as an accessory apartment following a change in ownership of the Premises.

State Pet. 723-96-60 variance from the State Building Code granted February 6, 1997 to permit a bathroom with a slopping ceiling to approximately 5 ft.

Since the granting of the Special Permits, the Town of Lewisboro Town Code has been amended such that a Special Permit is no longer required for the accessory apartment.

There is currently pending before the Town of Lewisboro Planning Board under Cal #72-21WP and Cal #21-21SW an application for a wetland permit and stormwater permit pertaining to the rehabilitation and improvement of the Premises pool, courtyard, driveway and addition to an existing garage. In connection with the aforementioned pending applications, the applicant intends to rehabilitate and increase the size of an existing garage. Copies of those certain plans entitled "Dayton Residence" prepared by Insite Engineering and dated, as revised, to December 30, 2021, are annexed hereto (the "Insite Plans"). The current garage is shown on Page Ex-1 of the Insite Plans as "EXISTING GARAGE TO BE REMOVED". The proposed new construction is shown on Page SP-1 of the Insite Plans as "PROPOSED GARAGE AND GROTTTO". The improved garage and grotto will have a floor area of approximately 1,775 sq ft where 600 sg ft is permitted

by right. In all other ways, including without limitation, setbacks and building height, the plans comply with the Town of Lewisboro Town Code.

3. Applicable Law: Town Law 267-c (3). Area variances.

- (a) The zoning board of appeals shall have the power, upon an appeal from a decision or determination of the administrative official charged with the enforcement of such ordinance or local law, to grant area variances as defined herein.
- (b) In making its determination, the zoning board of appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination the board shall also consider: (1) whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance; (2) whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance; (3) whether the requested area variance is substantial; (4) whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and (5) whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals, but shall not necessarily preclude the granting of the area variance.

4. Application of Law to Request:

The grant of variances for the proposed improvement will not create a detrimental impact to the health, safety and welfare of the neighborhood or the community. The applicant proposes to construct an addition to the existing garage that will render said garage larger than 600 square feet. The addition is in the rear of the premises and will not be visible from the street. As you can see from the floor plans and elevations entitled "South Garage" and "Garage Alteration" prepared by Two Tall Trees Design, the addition will improve the aesthetic of the building and add to the efficiency of the use by opening the back of the building as a seating area for the courtyard and pool. The buildings existing on the premises are approximately 25 years old and the proposed improvements will modernize the premises and add to the overall aesthetic and maintenance of the premises.

- (1) Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance:

No undesirable change to the character of the neighborhood will be produced by the proposed addition, nor will a detriment to nearby properties be created. The addition will not be visible from the street and the neighboring property owners have reviewed and approved of the plans.

- (2) Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance:

There is no other feasible way for the applicant to achieve the goal.

- (3) Whether the requested area variance is substantial:

Mathematically, the variance for the increase in square footage may appear substantial, however, given the site layout and screening, the variance should not be considered substantial.

- (4) Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district:

There will be no adverse impacts on the physical or environmental conditions due to the grant of the variance. The addition is only slightly larger than what currently exists and the addition is not proposed in any sensitive areas. In addition the addition is outside of the setbacks and will increase the aesthetics of the Premises.

- (5) Whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals, but shall not necessarily preclude the granting of the area variance.

The alleged difficulty may be self created but is not so substantial that it should not be granted. The extension is to an existing building and the additional square footage is towards the rear property line that will not impact any neighboring property owners or the view from the road. The addition will also bring the garage in line with the driveway and will be in overall conformity with the improvements to the courtyard and the Premises.