

TOWN OF LEWISBORO  
Westchester County, New York

Zoning Board of Appeals  
79 Bouton Road  
South Salem, New York 10590



Tel: (914) 763-3822  
Fax: (914) 533-0097  
Email: zoning@Lewisborogov.com

AGENDA

Wednesday, May 25, 2022, 7:30 P.M.

79 Bouton Road, South Salem,  
Justice Court

I. Review and adoption of the Minutes of April 2022

II. PUBLIC HEARING

CAL. NO. 08-22-BZ

Application of Michael Liffland, [Liffland, Michael V. & Corrie L., owner of record], 1187 Route 35, South Salem, NY for the following variance of a proposed 6ft high fence whereas a 4ft high fence is allowed per Article IV Section 220-12E of the Town of Lewisboro Zoning Code.

The property is located on the south side of (#1187) Route 35 South Salem, NY designated on the Tax Map as Sheet 0031, Block 12669 Lot 030, in an R-1/2A, Half-Acre Residential District consisting of approximately 1.19 acres

CAL. NO. 01-22-SP

Application of Anthony and Annemarie Mendola, 1320 Route 35, South Salem, NY 10590 for the renewal of a Special Permit pursuant to Article IV, § 220-23A (9) and Article V, § 220-38 of the Zoning Ordinance to allow the storage of Contractor's Equipment.

The property is located on the north side of NYS Route 35, designated on the Tax Map as Sheet 39, Block 10543, Lot 39, in an R-2A, Two-Acre Residential District consisting of approximately 2.00 acres.

CAL. NO. 10-22-BZ

Application of Barbara Arnold [Arnold, Stephen & Barbara S., owner of record], 28 Main Street, South Salem, NY for the following variance of the proposed generator will have a southern side yard setback of 3.4' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code; the proposed LP tanks will have a southern side yard setback of 5' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code; the proposed LP tanks will have a eastern front yard setback of 40.2' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#28) Main Street, South Salem, NY designated on the Tax Map as Sheet 0031 Block 10805 Lot 019, in a SCR-2AC, Special Character Two-Acre Residential District, consisting of approximately 2.00 acres.

CAL. NO. 11-22-BZ

Application of Robert Andrews, [Andrews, Suzanne C., owner of record], 284 Smith Ridge Road, South Salem, NY for the following variance of the proposed accessory garage/office will have a floor area of 667 square feet whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#284) Smith Ridge Road, South Salem, NY designated on the Tax Map as Sheet 0049, Block 09827, Lot 013, in an R-4AC, Four Acre Residential District consisting of approximately 21.82 acres.

**CAL. NO. 12-22-BZ**

Application of Waccabuc Country Club, [Waccabuc Country Club Co., owner of record], 0 Carriage House Road, Waccabuc, NY and Donald A. & Teresa E. Harder [The Donald A. Harder Revocable Living Trust & The Teresa E. Harder Revocable Living Trust, owner of record] 128 Mead Street, Waccabuc, NY, for the following lot line change; The Waccabuc Country Club, which is an existing non-conforming use, proposes to acquire a portion of a neighboring lot whereas this is not permitted per Article III Section 220-9B(1).

The property is located on the north side of (#0) Carriage House Road, Waccabuc, NY, designated on the Tax Map as Sheet 0022, Block 10802 Lot 036, in an R-4A, Four-Acre Residential District consisting of approximately 42.50 acres; and the west side of (#128) Mead Street, Waccabuc, NY, designated on the Tax Map as Sheet 0022, Block 10802 Lot 059 & 083, in an R-4A, Four-Acre Residential District consisting of approximately 48.62 acres.

**CAL. NO. 13-22-BZ**

Application of Rini, James & Langel, Elizabeth, [Rini, James M. & Langel, Elizabeth M., owner of record], 15 Benedict Road, South Salem, NY for the following variance of the proposed accessory garage/office will have a floor area of 1875 square feet whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code.

The property is located on the north side of (#15) Benedict Road, South Salem, NY designated on the Tax Map as Sheet 0033, Block 11155, Lot 010, in an R-2AC, Two Acre Residential District consisting of approximately 1.07 acres.

**III. CORRESPONDENCE & GENERAL BUSINESS**

**Board to discuss Town of Lewisboro Planning Board, DECLARATION OF INTENT TO BE LEAD AGENCY for the Waccabuc Beach Club Improvements.**

**IV. NEXT MEETING**

**June 22, 2022**

**V. ADJOURN MEETING**

(914) 763-3822  
FAX (914) 875-9148  
TTY 800-662-1220  
Email: [zoning@lewisborogov.com](mailto:zoning@lewisborogov.com)  
[www.lewisborogov.com](http://www.lewisborogov.com)



TOWN OF LEWISBORO  
Zoning Department  
79 Bouton Road  
South Salem, NY 10590

**TOWN OF LEWISBORO, WESTCHESTER COUNTY**

**ZONING DEPARTMENT**

**ZONING BOARD OF APPEALS – MAY 25, 2022**

<b><u>APPLICANT</u></b>	<b><u>CAL #</u></b>	<b><u>PAGE(S)</u></b>
<b>LIFFLAND</b>	<b>08-22-BZ</b>	<b>4 to 7</b>
<b>MENDOLA</b>	<b>01-22-SP</b>	<b>8 to 9</b>
<b>ARNOLD</b>	<b>10-22-BZ</b>	<b>10 to 13</b>
<b>ANDREWS</b>	<b>11-22-BZ</b>	<b>14 to 22</b>
<b>WACCABUC COUNTRY CLUB</b>	<b>12-22-BZ</b>	<b>23 to 25</b>
<b>RINI</b>	<b>13-22-BZ</b>	<b>26 to 33</b>
<b>DECLARATION OF INTENT TO BE LEAD AGENCY</b>	<b>Waccabuc Beach Club Improvements</b>	<b>34 to 62</b>

**ZONING BOARD OF APPEALS**

**NOTICE OF PUBLIC HEARINGS**

**NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, April 27, 2022, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.**

**CAL. NO. 08-22-BZ**

**Application of Michael Liffland, [Liffland, Michael V. & Corrie L., owner of record], 1187 Route 35, South Salem, NY for the following variance of a proposed 6ft high fence whereas a 4ft high fence is allowed per Article IV Section 220-12E of the Town of Lewisboro Zoning Code.**

**The property is located on the south side of (#1187) Route 35 South Salem, NY designated on the Tax Map as Sheet 0031, Block 12669 Lot 030, in an R-1/2A, Half-Acre Residential District consisting of approximately 1.19 acres.**

**Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.**

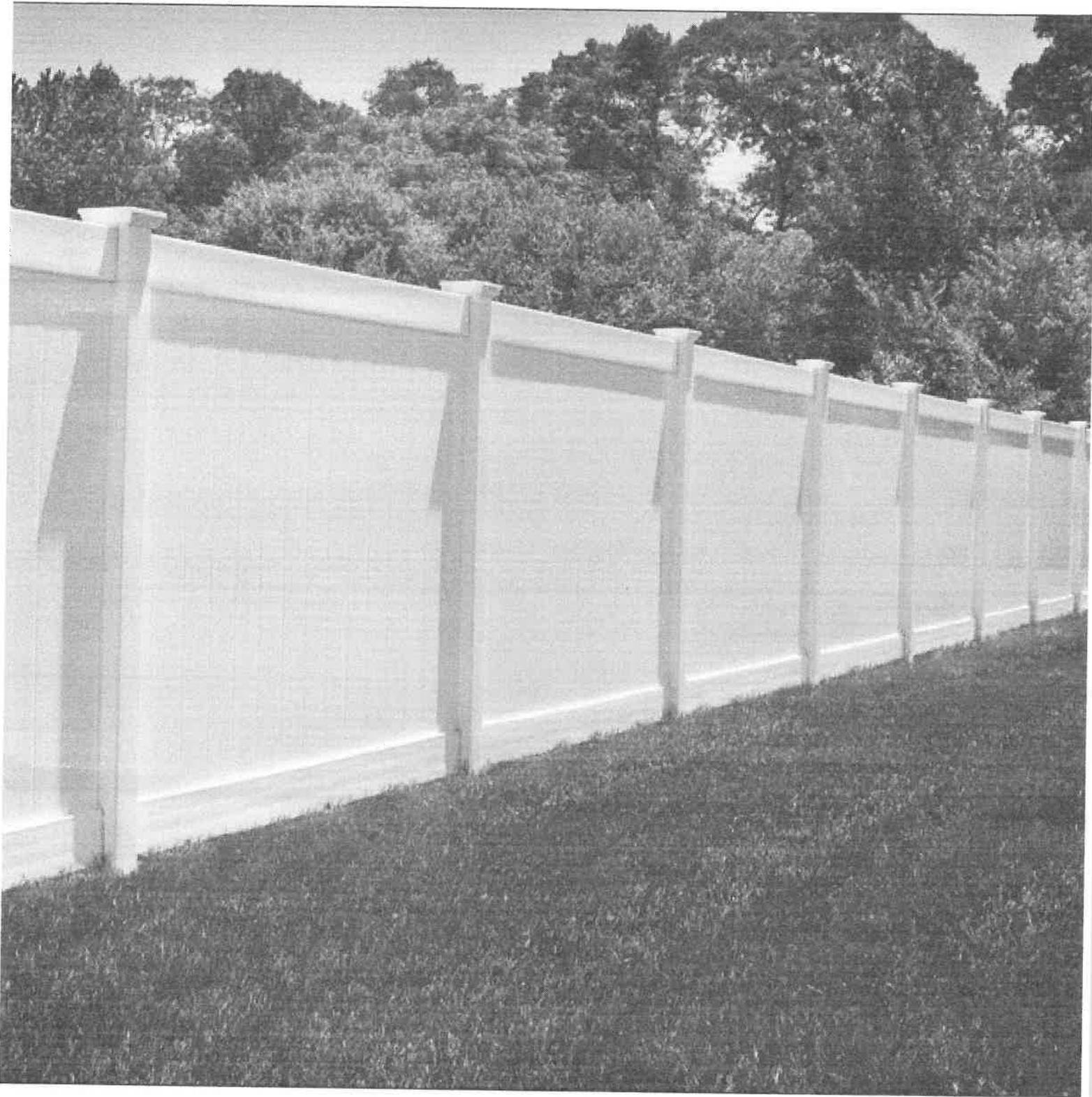
**Dated this 1st day of April 2022  
in South Salem, New York**

**ZONING BOARD OF APPEALS  
TOWN OF LEWISBORO  
By: ROBIN PRICE, JR.  
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.







**ZONING BOARD OF APPEALS**

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**NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will hold a Public Hearing on Wednesday, May 25, 2022 at 7:30 P.M., at the Town of Lewisboro Offices, 79 Bouton Road, South Salem, New York regarding the following:**

**CAL. NO. 01-22-SP**

**Application of Anthony and Annemarie Mendola, 1320 Route 35, South Salem, NY 10590 for the renewal of a Special Permit pursuant to Article IV, § 220-23A (9) and Article V, § 220-38 of the Zoning Ordinance to allow the storage of Contractor's Equipment.**

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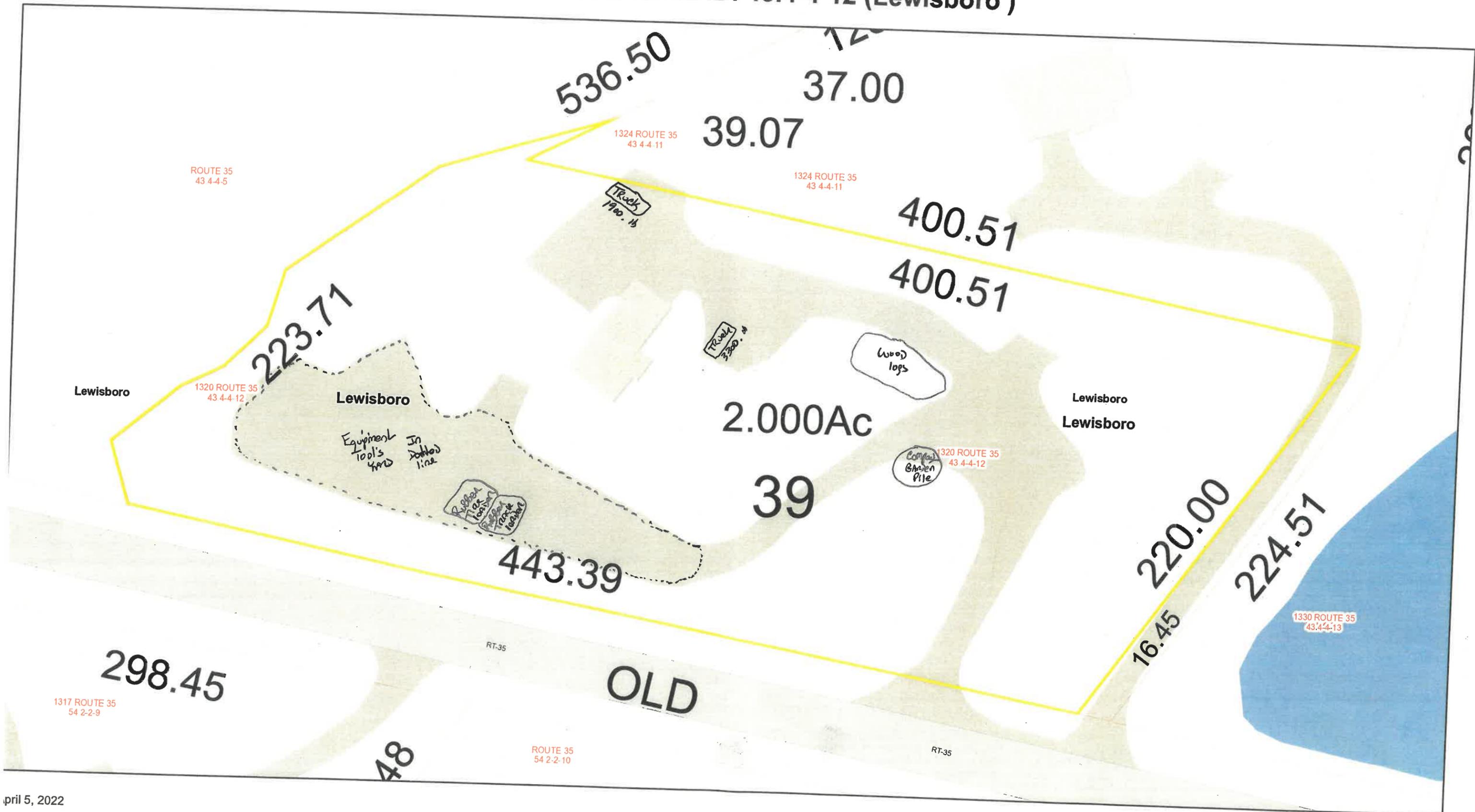
**Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals at the Town Offices at 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.**

**Dated this 22nd day of April, 2022  
in South Salem, New York**

**ZONING BOARD OF APPEALS  
TOWN OF LEWISBORO  
By: Robin Price, Jr.  
CHAIRMAN**

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# 1320 ROUTE 35. ID: 43.4-4-12 (Lewisboro )



April 5, 2022

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

1:500



**Westchester County GIS**  
GIS  
<http://giswww.westchestergov.com>  
Michaelian Office Building  
148 Martine Avenue Rm 214

**ZONING BOARD OF APPEALS**

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**Application of Barbara Arnold [Arnold, Stephen & Barbara S., owner of record], 28 Main Street, South Salem, NY for the following variance of the proposed generator will have a southern side yard setback of 3.4' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code; the proposed LP tanks will have a southern side yard setback of 5' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code; the proposed LP tanks will have a eastern front yard setback of 40.2' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.**

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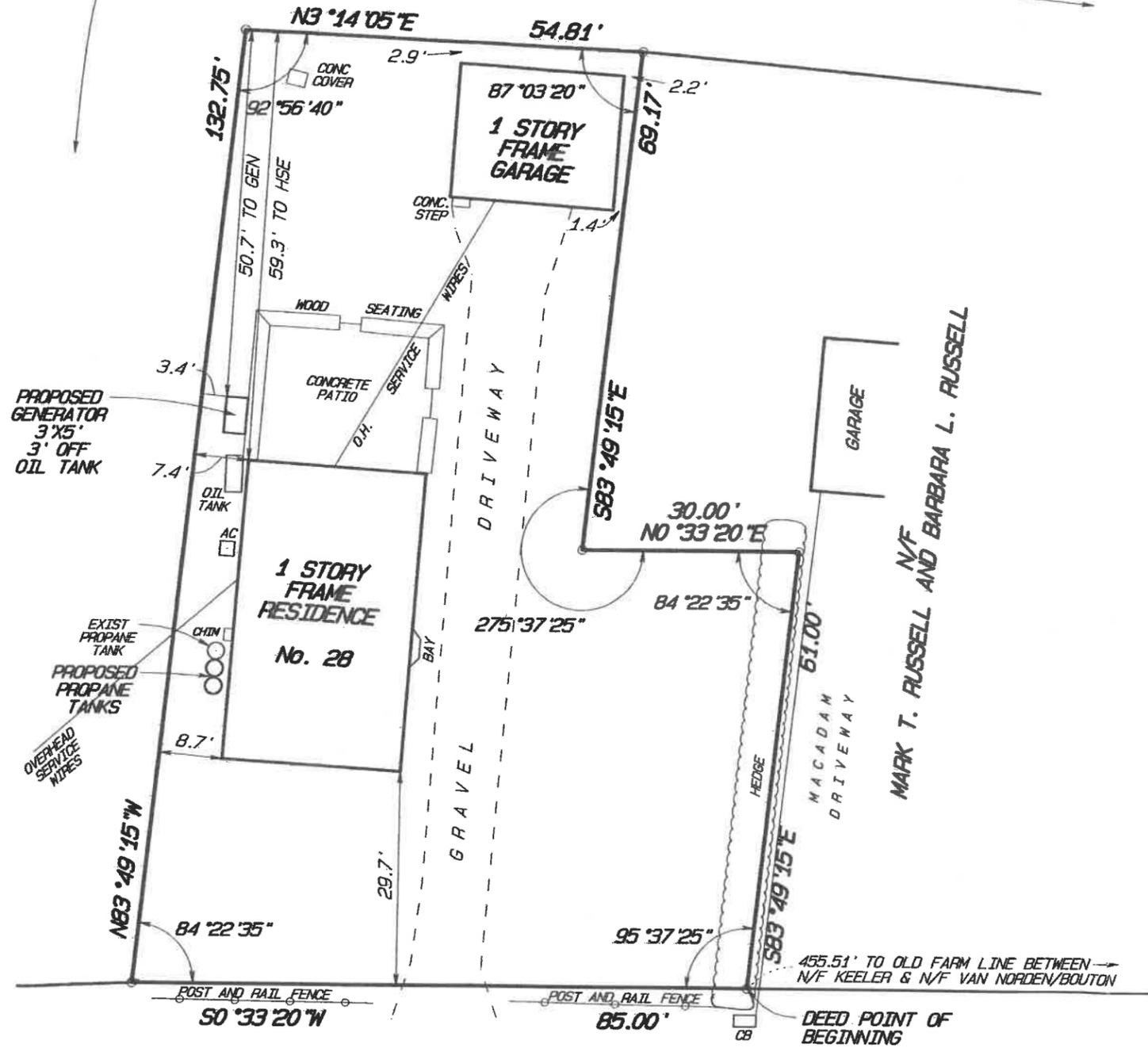
**Dated this 22nd day of April 2022  
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TOWN OF LEWISBORO  
By: ROBIN PRICE  
CHAIR**

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PARCEL 7

"SUBDIVISION MAP PREPARED FOR HENRY SCHMIDT, ETC."  
FILED JUNE 3, 1968 AS MAP NO. 16047



Area = 9,017 S.F. or 0.207 Acres.

Deed Reference: Liber 7343 Page 145.

Tax Identification: Sheet 31 Block 10805 Lot 19.

In accordance with the existing Code of Practice for Land Surveys as adopted by The New York State Association of Professional Land Surveyors, Inc.

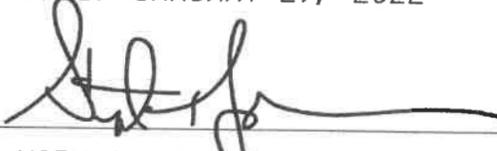
Unauthorized alteration or addition to a survey map bearing a Licensed Land Surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

All certifications are valid for this map and copies thereof only if said map or copies bear the impressed seal of the surveyor whose signature appears hereon.

The location of underground improvements or encroachments hereon, if any exist, are not certified or shown.

SURVEYED: JANUARY 24, 2022  
MAP PREPARED: JANUARY 27, 2022



BY:   
NEW YORK STATE LICENSED LAND SURVEYOR NO. 49749  
STEPHEN T. JOHNSON, P.L.S.

**SURVEY OF PROPERTY**  
PREPARED FOR  
**STEPHEN H. ARNOLD**  
&  
**BARBARA S. ARNOLD**

SITUATE IN THE  
**TOWN OF LEWISBORO**  
**WESTCHESTER COUNTY, NEW YORK**

SCALE: 1" = 20'



H. STANLEY JOHNSON AND COMPANY  
LAND SURVEYORS, P.C.  
42 SMITH AVENUE P.O. BOX 93  
MT. KISCO, N.Y. 10549  
TEL. 914-241-3872  
FAX. 914-241-0438

PP'D BY: STJ, SMS CK'D BY: STJ

JOB NO. F22-010



ARNOLD GENERATOR & TANK  
28 MAIN ST, SO. SALEM



ARNOLD GENERATOR & TANK  
28 MAIN ST. SO. SALEM

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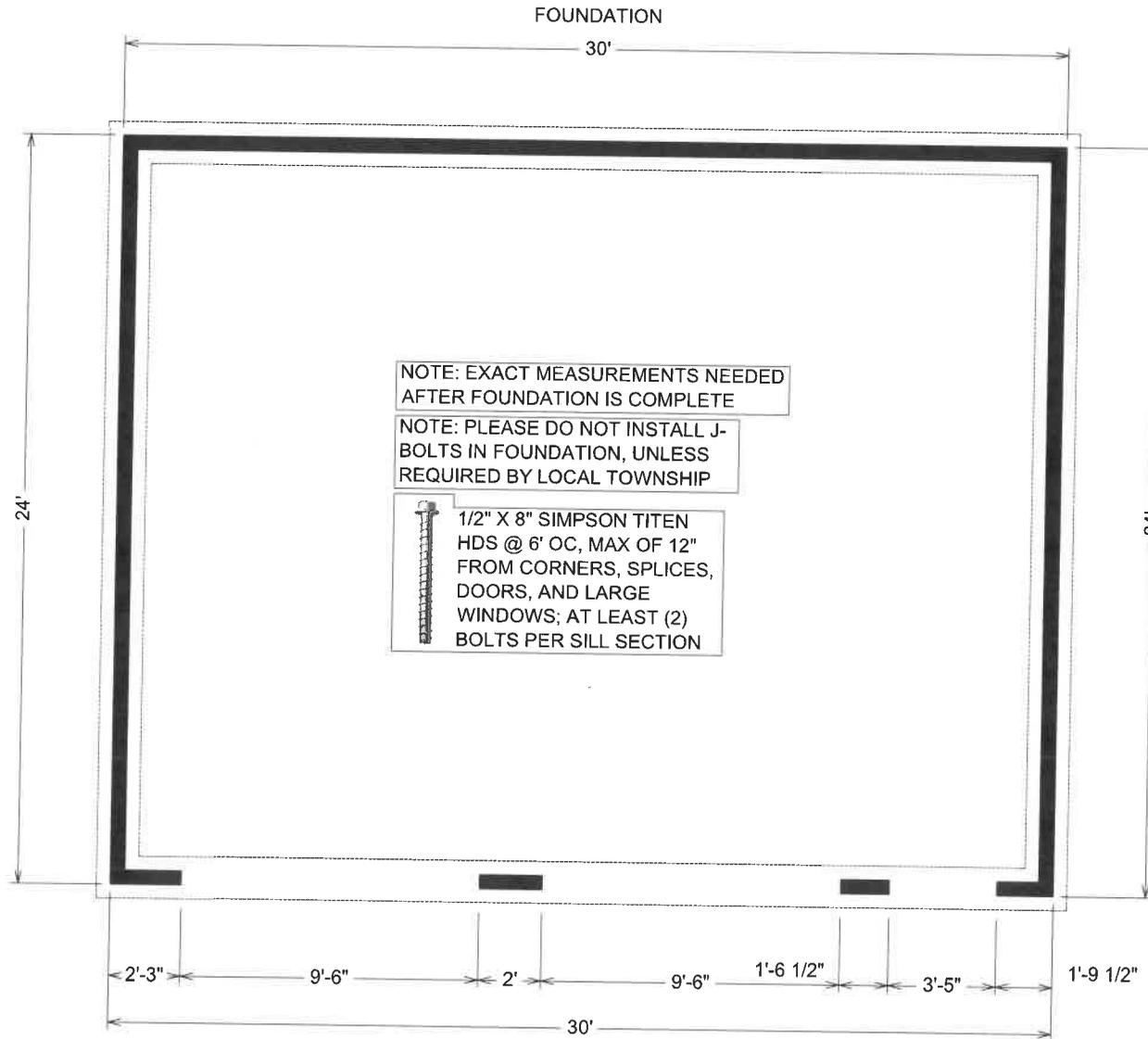
**The property is located on the west side of (#284) Smith Ridge Road, South Salem, NY designated on the Tax Map as Sheet 0049, Block 09827, Lot 013, in an R-4AC, Four Acre Residential District consisting of approximately 21.82 acres.**

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**Dated this 29th day of April 2022  
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TOWN OF LEWISBORO  
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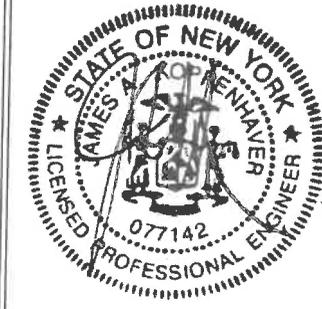


NOTE: EXACT MEASUREMENTS NEEDED  
AFTER FOUNDATION IS COMPLETE

NOTE: PLEASE DO NOT INSTALL J-  
BOLTS IN FOUNDATION, UNLESS  
REQUIRED BY LOCAL TOWNSHIP

 1/2" X 8" SIMPSON TITEN  
HDS @ 6' OC, MAX OF 12"  
FROM CORNERS, SPLICES,  
DOORS, AND LARGE  
WINDOWS; AT LEAST (2)  
BOLTS PER SILL SECTION

seal:



REVISIONS:	
2/24/2022	
3/14/2022	
3/23/2022	

Est. #1001346 Job Name:  
**Robert Andrews**  
284 Smith Ridge Rd.  
South Salem, NY 10590

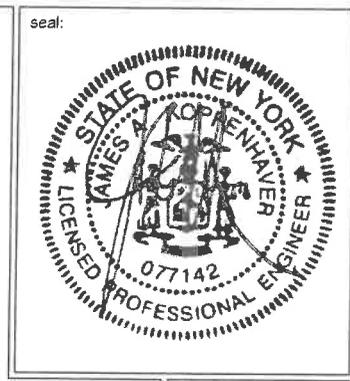
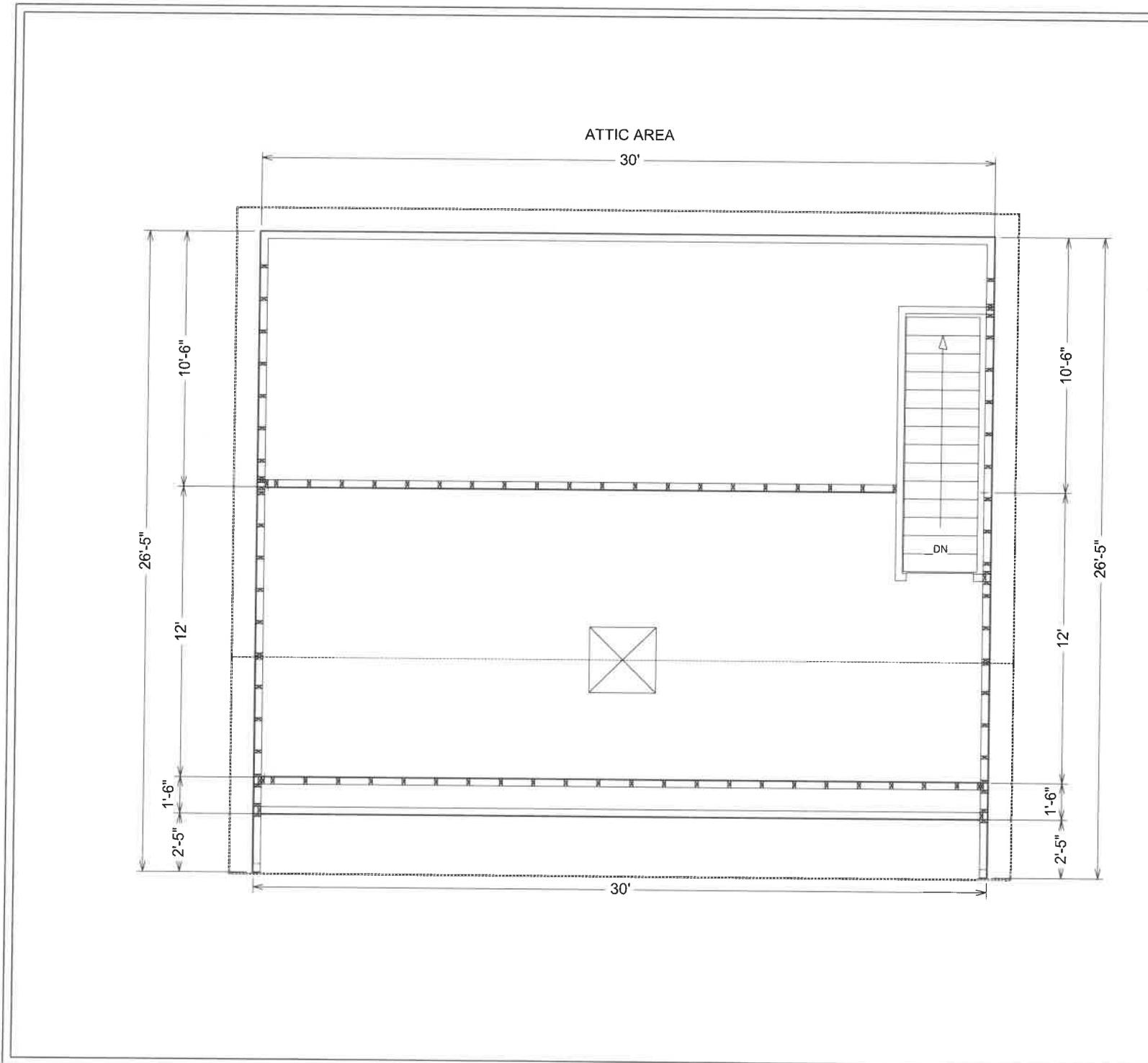
**Sheds Unlimited LLC**  
2025 Valley Rd  
Morgantown, PA 19543  
Drawn By: Kyle Zook  
Sales Rep: Josiah Kurtz

DATE:  
2/17/2022

SCALE:  
3/16"-1'

SHEET:  
**A1.1**





REVISIONS:	
2/24/2022	
3/14/2022	
3/23/2022	

Est. #000346 Job Name:  
**Robert Andrews**  
 284 Smith Ridge Rd.  
 South Salem, NY 10590

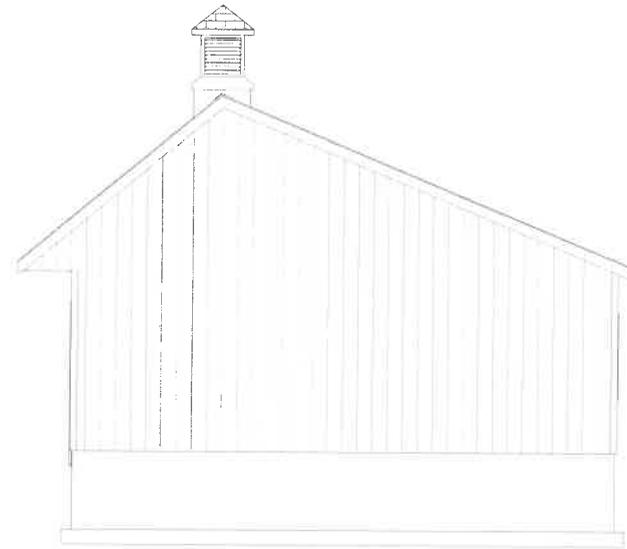
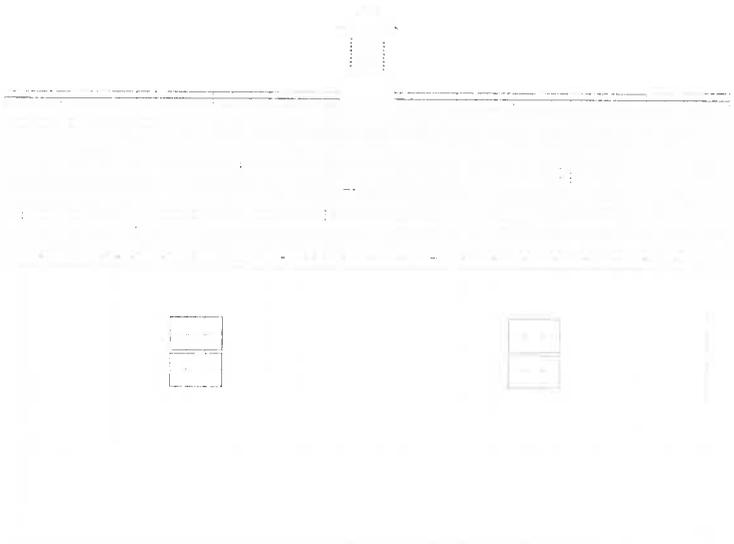
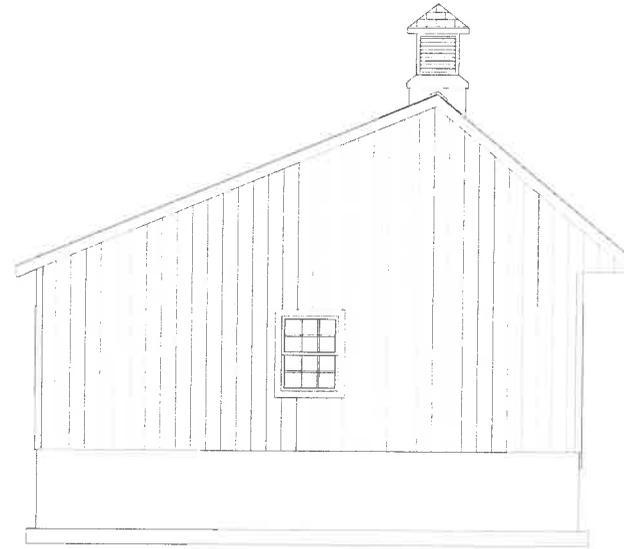
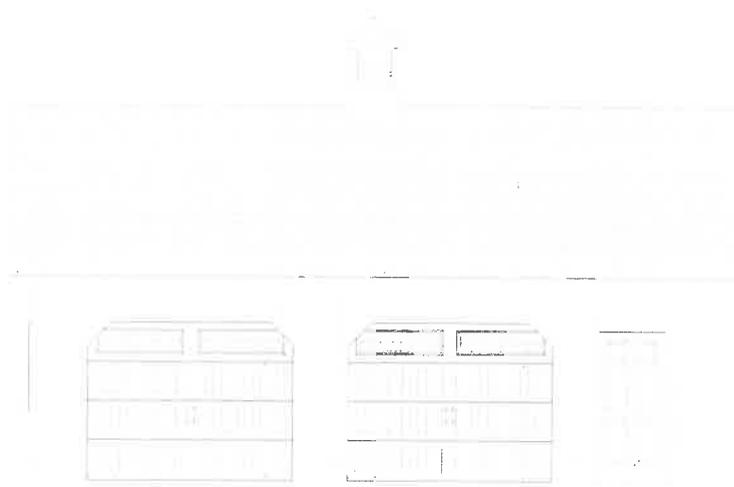
**Sheds Unlimited LLC**  
 2025 Valley Rd  
 Morgantown, PA 19543  
 Drawn By: *Kyle Zook*  
 Sales Rep: *Josiah Kurtz*

DATE:  
 2/17/2022

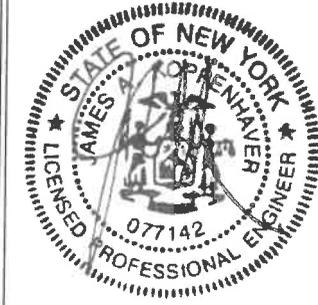
SCALE:  
 3/16"-1'

SHEET:

**A1.3**



seal:



REVISIONS:			
	2/24/2022	3/14/2022	3/23/2022

Est. #100346 Job Name:

Robert Andrews  
284 Smith Ridge Rd.  
South Salem, NY 10590

**Sheds Unlimited LLC**  
2025 Valley Rd  
Morgantown, PA 19543

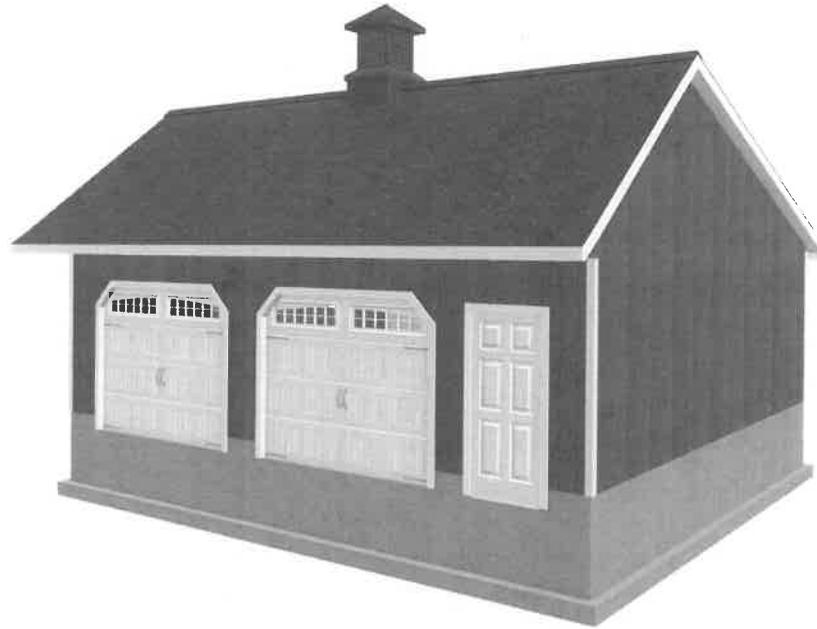
Drawn By: Kyle Zook  
Sales Rep: Josiah Kurtz

DATE:  
2/17/2022

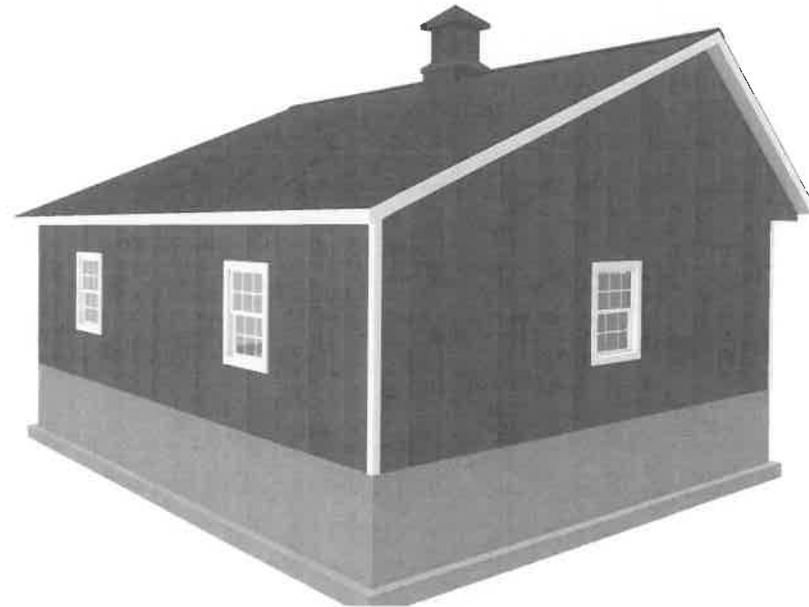
SCALE:  
1/8" = 1'

SHEET:

**A2.1**



IMAGES ARE NOT TO SCALE AND COLORS ARE EXAMPLES ONLY



seal:



REVISIONS:			
	2/24/2022	3/14/2022	3/23/2022

Est. #100376 Job Name:  
**Robert Andrews**  
 284 Smith Ridge Rd.  
 South Salem, NY 10590

**Sheds Unlimited LLC**  
 2025 Valley Rd  
 Morgantown, PA 19543  
 Drawn By: Kyle Zook  
 Sales Rep: Josiah Kurtz

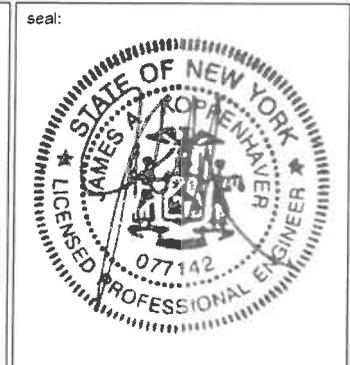
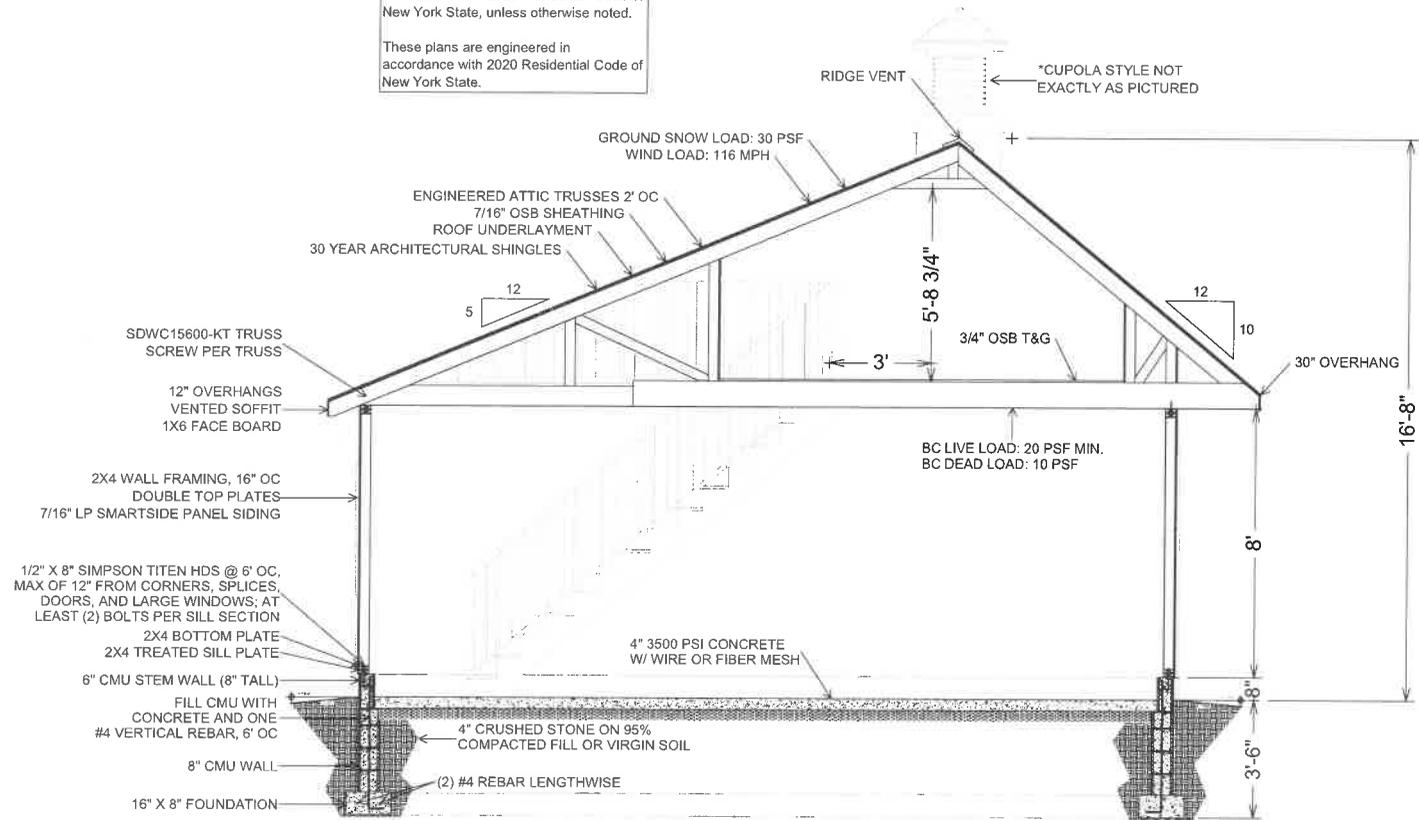
DATE:  
 2/17/2022

SCALE:  
 NTS

SHEET:  
**A2.2**

The fastening schedule to be in accordance with 2020 Residential Code of New York State, unless otherwise noted.

These plans are engineered in accordance with 2020 Residential Code of New York State.



REVISIONS:			
	2/24/2022		
	3/14/2022		
	3/23/2022		

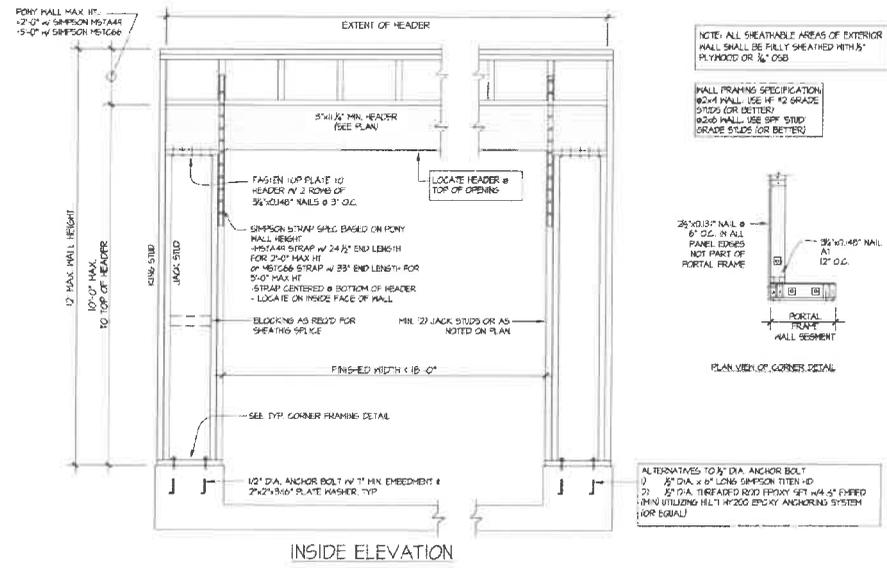
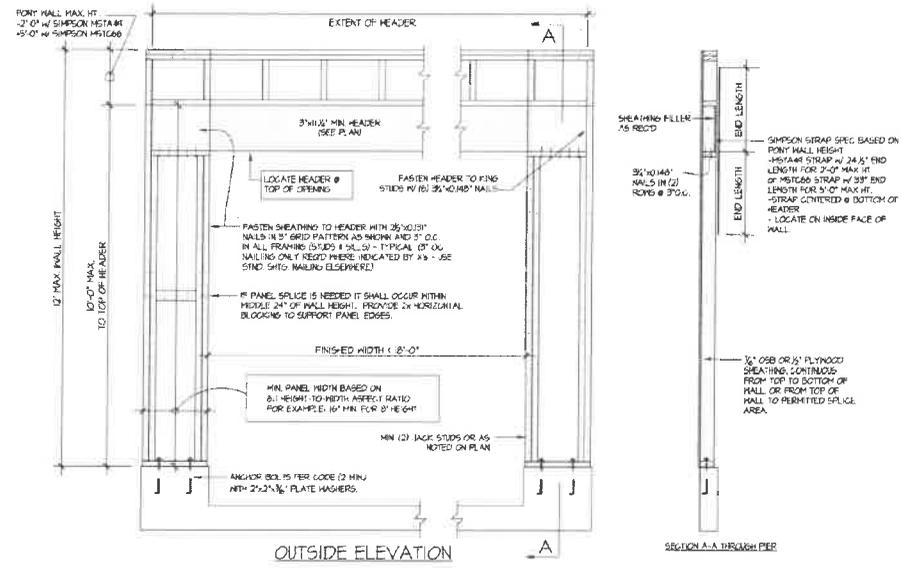
Est. #1001346 Job Name:  
**Robert Andrews**  
 284 Smith Ridge Rd.  
 South Salem, NY 10590

**Sheds Unlimited LLC**  
 2025 Valley Rd  
 Morgantown, PA 19543  
 Drawn By: Kyle Zook  
 Sales Rep: Josiah Kurtz

DATE:  
 2/17/2022

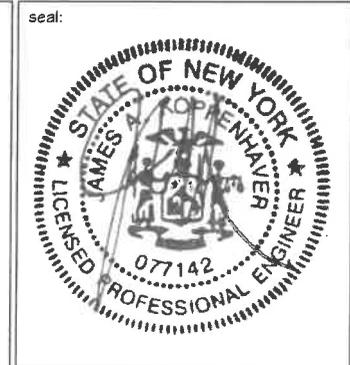
SCALE:  
 3/16"-1'

SHEET:  
**A3.1**



1 GARAGE PORTAL FRAME DRAWING ELEVATION  
 SCALE: NTS

BOTH SIDES OF GARAGE DOOR  
 5' MIN. AND SPACED 12"



REVISIONS:			
	2/24/2022		
	3/14/2022		
	3/23/2022		

Est. #100346 Job Name:  
**Robert Andrews**  
 284 Smith Ridge Rd.  
 South Salem, NY 10590

**Sheds Unlimited LLC**  
 2025 Valley Rd  
 Morgantown, PA 19543  
 Drawn By: Kyle Zook  
 Sales Rep: Josiah Kurtz

DATE: 2/17/2022
SCALE: NTS
SHEET: <b>A4.1</b>



**ZONING BOARD OF APPEALS**

**NOTICE OF PUBLIC HEARINGS**

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**CAL. NO. 12-22-BZ**

**Application of Waccabuc Country Club, [Waccabuc Country Club Co., owner of record], 0 Carriage House Road, Waccabuc, NY and Donald A. & Teresa E. Harder [The Donald A. Harder Revocable Living Trust & The Teresa E. Harder Revocable Living Trust, owner of record] 128 Mead Street, Waccabuc, NY, for the following lot line change; The Waccabuc Country Club, which is an existing non-conforming use, proposes to acquire a portion of a neighboring lot whereas this is not permitted per Article III Section 220-9B(1).**

**The property is located on the north side of (#0) Carriage House Road, Waccabuc, NY, designated on the Tax Map as Sheet 0022, Block 10802 Lot 036, in an R-4A, Four-Acre Residential District consisting of approximately 42.50 acres; and the west side of (#128) Mead Street, Waccabuc, NY, designated on the Tax Map as Sheet 0022, Block 10802 Lot 059 & 083, in an R-4A, Four-Acre Residential District consisting of approximately 48.62 acres.**

**Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.**

**Dated this 29th day of April 2022  
in South Salem, New York**

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TOWN OF LEWISBORO  
By: ROBIN PRICE, JR.  
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**TOWN OF LEWISBORO**  
**Westchester County, New York**

**Building Department**  
**79 Bouton Road**  
**South Salem, New York 10590**



**Tel: (914) 763-3060**  
**Fax: (914) 875-9148**  
**Email: jangiello@lewisborogov.com**

**4/21/2022**

**Zoning Denial revision for permit #2021-0992**

**Waccabuc Country Club/Harder Lot Line Change**  
**0 Carriage House Rd./128 Mead St.**  
**0022-10802-036/0022-10802-059&083**

1. The Waccabuc Country Club, which is an existing non-conforming use, proposes to acquire a portion of a neighboring lot whereas this is not permitted per Article III Section 220-9B(1).

Joseph Angiello

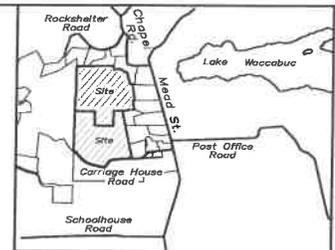
Building Inspector

**DEED REFERENCE:**

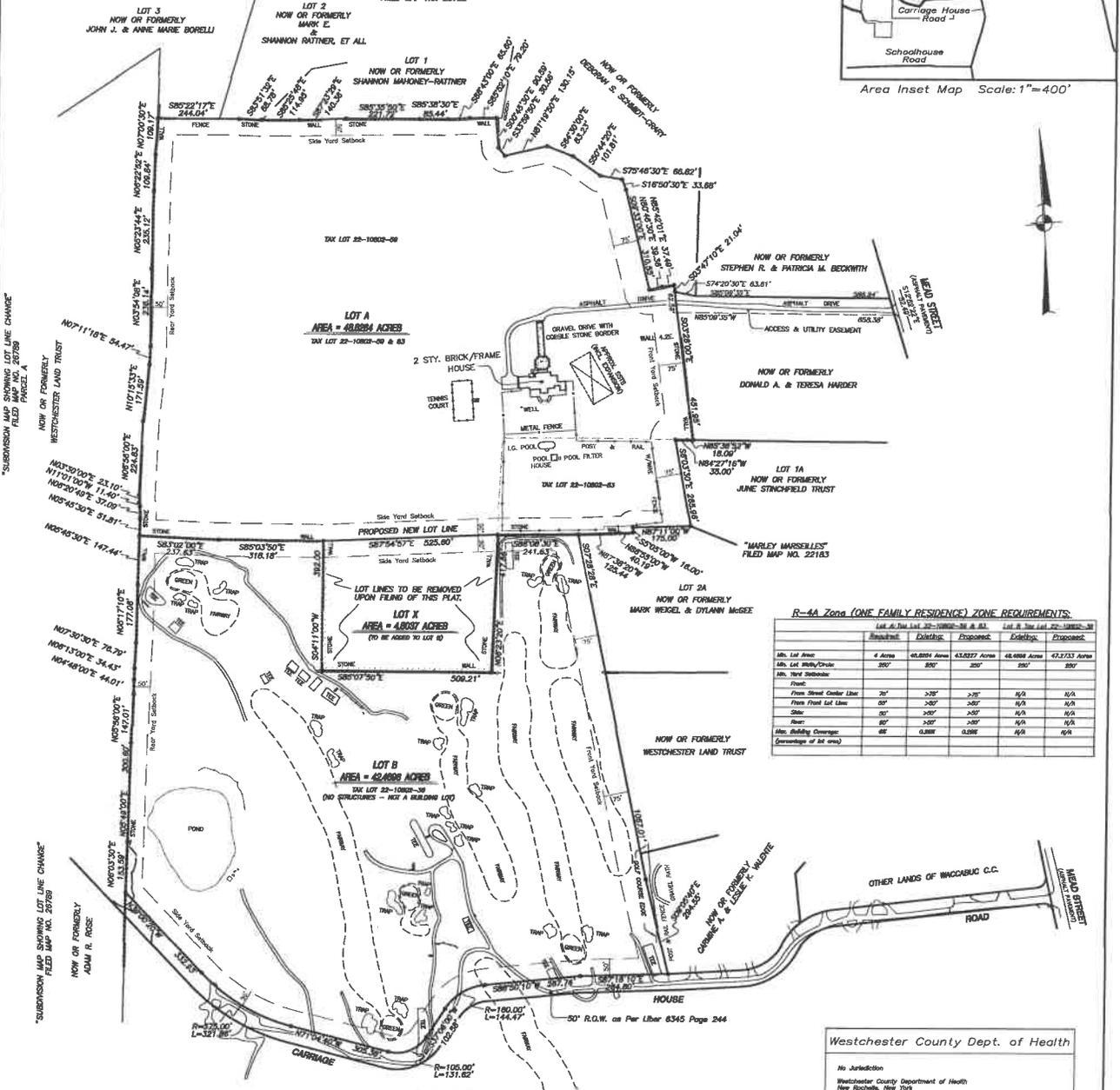
Lot A  
Tax ID 22-10802-59 & 83  
Control No. 590303141  
Recorded June 21, 2019  
Grantor: Donald A. Harder & Teresa E. Harder  
Grantee: Donald A. Harder & Teresa E. Harder  
as Co-Trustees of the Donald A. Harder Revocable Living Trust, and Donald A. Harder & Teresa E. Harder as Co-Trustees of the Teresa E. Harder Revocable Living Trust.

**DEED REFERENCE:**

Lot B  
Tax ID 22-10802-39  
Liber 6345 Page 244 (Parcel B)  
Recorded October 7, 1983  
Grantor: Shustell Foundation, Incorporated  
Grantee: Waccabuc Country Club Company



Area Inset Map Scale: 1"=400'



**R-4A Zone (ONE FAMILY RESIDENCE) ZONE REQUIREMENTS:**

	Lot A Tax ID 22-10802-59 & 83	Lot B Tax ID 22-10802-39
Min. Lot Area	4 Acres	43,8227 Acres
Min. Lot Width/Depth	80'	200'
Min. Yrd. Setback	20'	20'
Front Street Center Line	70'	>70'
Front Front Lot Lines	50'	>50'
Side	20'	>20'
Rear	20'	>20'
Max. Building Coverage (Percentage of 44 area)	6%	6%

Unauthorized alteration or addition to this survey is a violation of Section 7206, subdivision 2 of the New York State Education Law.

The attention of survey maps by anyone other than the original preparer is misleading, confusing and not in the general welfare and benefit of the public. Licensed Land Surveyors shall not alter survey maps, survey plans, or survey plats prepared by others.

Approved By Resolution of The  
**Lewisboro Planning Board**

Janet E. Anderson, Chair  
Date \_\_\_\_\_

Cleveland Coonan, Administrator  
Date \_\_\_\_\_

**Owners Certification**

The undersigned is the owner of the property shown hereon, is familiar with the drawing and its contents, and hereby approves same for filing.

Teresa E. Harder  
198 Mead Street,  
Waccabuc, N.Y. 10597  
Date \_\_\_\_\_

Waccabuc Country Club Company  
80 Mead Street,  
Waccabuc, N.Y. 10597  
Date \_\_\_\_\_

**Town Engineer's Certification**

Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_

Joseph Carmella, P.E. Town Consulting Engineer  
Wardlaw Coonan Consulting  
Town Consulting Engineer.  
Date \_\_\_\_\_

Prepared By  
**INSITE**  
LANDSCAPE ARCHITECTURE, P.C.  
3 Garrett Place • Cornell, New York 10812  
Phone (607) 255-1600 • Fax (607) 255-9717  
www.insite-ny.com

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**Land Surveyor's Certification**

I hereby certify that the survey for Lot A was completed on February 15, 2024 and the survey for Lot B was completed on December 13, 2023. This map was prepared in accordance with the existing Code of Practice for Land Surveyors as adopted by the New York State Association of Professional Land Surveyors, Inc.

Jeffrey DuRosa  
New York State License No. 50749

Westchester County Dept. of Health

No Jurisdiction

Westchester County Department of Health  
New Rochelle, New York

This map does not constitute a subdivision as defined by Chapter 273-A Article 2 of the Westchester County Sanitary Code. Permission is hereby granted for the filing of this map in the Office of the Westchester County Clerk, Division of Land Records. The appearance of the signature of the Commissioner of Health on this map is not an endorsement and does not in any way indicate concurrence with the Department's Rules and Regulations pertaining to vector mapping and map dissemination.

Each purchaser of property shown hereon shall be furnished a true copy of this plat showing this endorsement. Any errors, changes, additions or alterations of any kind, except the addition of signatures of other approved authority and the date thereof made on this plan after this approval, shall invalidate this approval.

Approved by the Assistant Commissioner of Health  
on behalf of the Department of Health Date \_\_\_\_\_

Property shown hereon is subject to the "Dikes and Depositions for the Protection from Ocean Storms of the New York City Water Supply and its Sources".

**Lot Line Change Map**  
Prepared for  
**Waccabuc C.C.**  
and  
**Teresa E. Harder**

Situate in the  
**Town of Lewisboro**  
**Westchester County, New York**

Scale 1" = 100' Date: February 6, 2022  
Revised: March 20, 2022

County Sheet No. 270  
County Block No. 10802

1800-5 PS-9 16125.230  
Waccabuc CC Harder Lot Line Change.dwg

**ZONING BOARD OF APPEALS**

**NOTICE OF PUBLIC HEARINGS**

**NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, May 25, 2022, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.**

**CAL. NO. 13-22-BZ**

**Application of Rini, James & Langel, Elizabeth, [Rini, James M. & Langel, Elizabeth M., owner of record], 15 Benedict Road, South Salem, NY for the following variance of the proposed accessory garage/office will have a floor area of 1875 square feet whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code.**

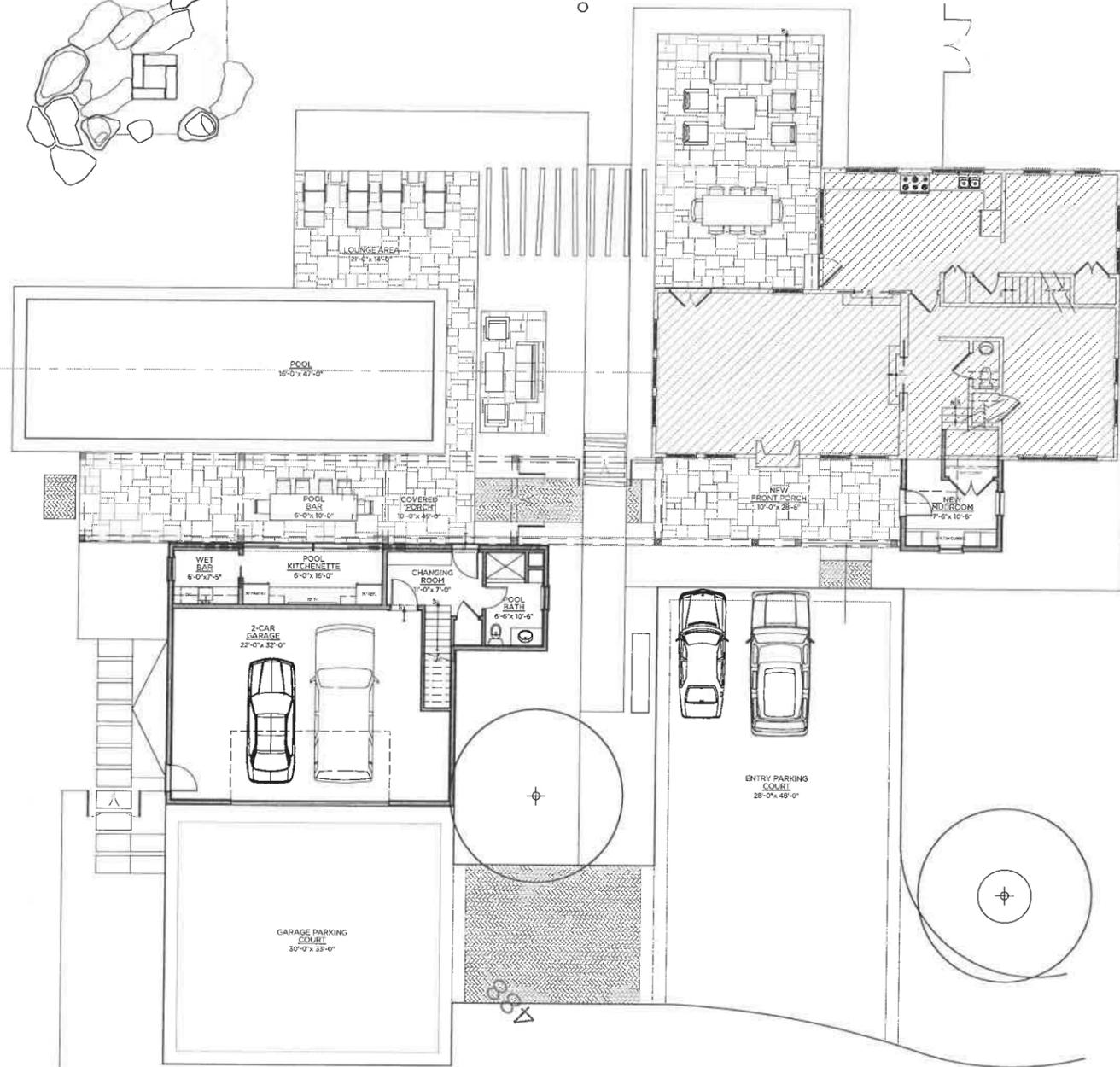
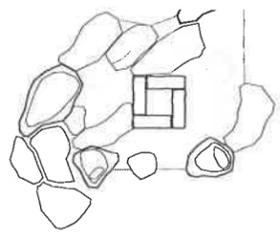
**The property is located on the north side of (#15) Benedict Road, South Salem, NY designated on the Tax Map as Sheet 0033, Block 11155, Lot 010, in an R-2AC, Two Acre Residential District consisting of approximately 1.07 acres.**

**Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.**

**Dated this 3rd day of May 2022  
in South Salem, New York**

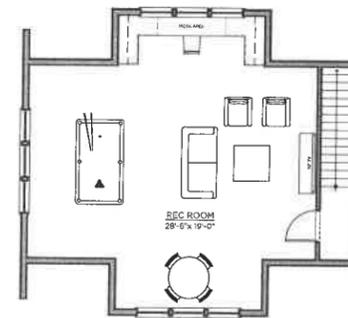
**ZONING BOARD OF APPEALS  
TOWN OF LEWISBORO  
By: ROBIN PRICE, JR.  
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.



PROPOSED GARAGE AND MUDROOM

1/8" = 1'-0"



SECOND FLOOR

1/8" = 1'-0"



GRANOFF ARCHITECTS

330 RAILROAD AVENUE  
GREENWICH, CT 06830  
203.625.9460  
WWW.GRANOFFARCHITECTS.COM

# RINI RESIDENCE

15 BENEDICT ROAD  
SOUTH SALEM, NY  
04.07.2022

DRAWING NO.:

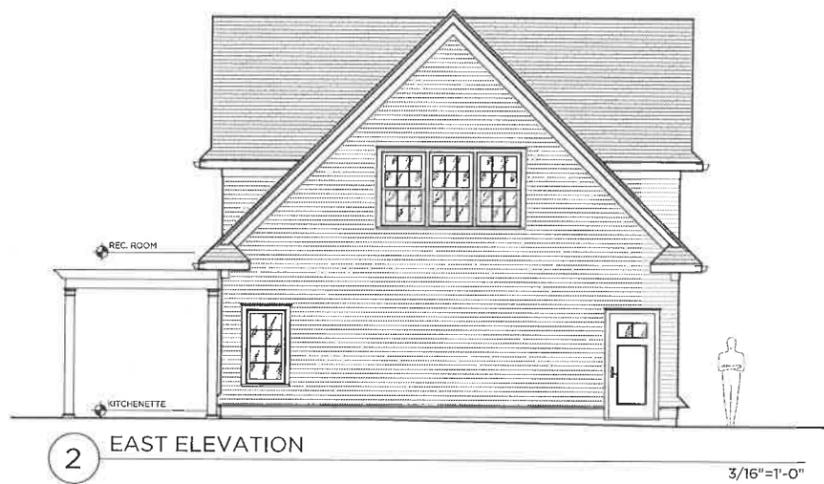
# A1

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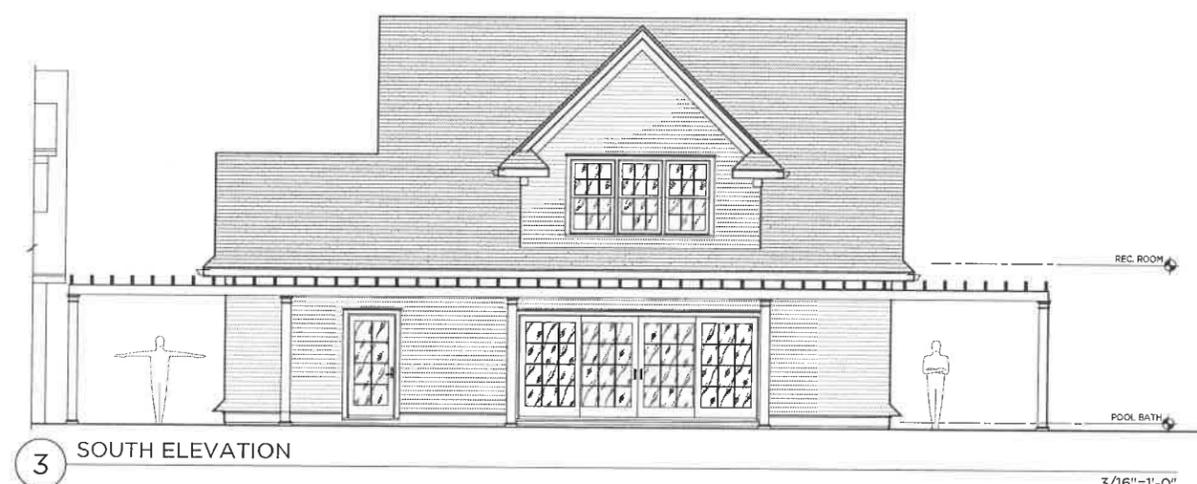
1 NORTH ELEVATION

3/16"=1'-0"



2 EAST ELEVATION

3/16"=1'-0"



3 SOUTH ELEVATION

3/16"=1'-0"

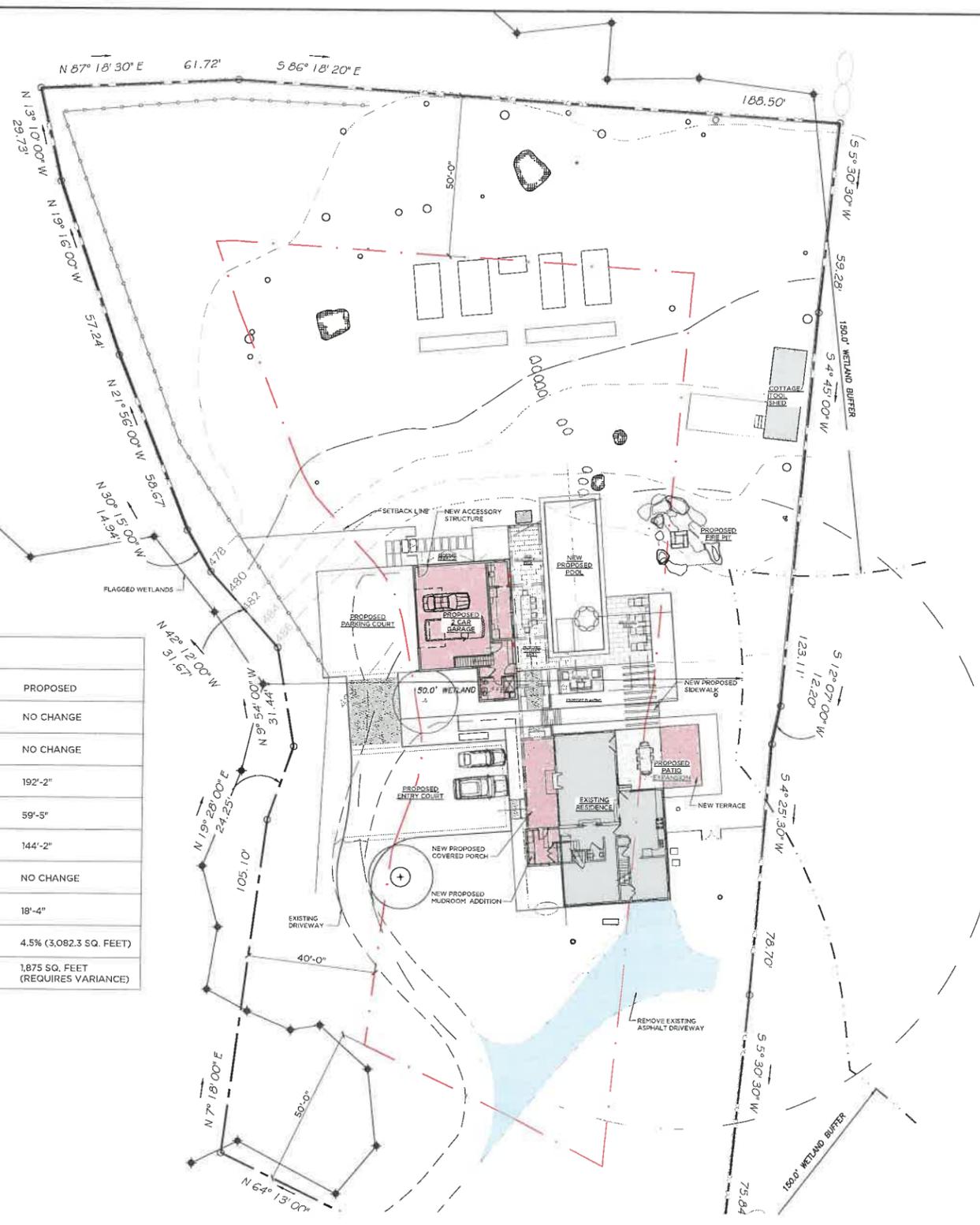


4 WEST ELEVATION

3/16"=1'-0"

# RINI RESIDENCE

CODE / ZONING INFORMATION			
ZONING: R-2A	REQUIRED OR ALLOWED	EXISTING	PROPOSED
LOT AREA	2 ACRE	1.5 ACRES	NO CHANGE
LOT WIDTH	200'-0" MINIMUM	249'-9"	NO CHANGE
FRONT YARD SETBACK	50'-0" MINIMUM	NOT APPLICABLE	192'-2"
SIDE YARD SETBACK	40'-0" MINIMUM	NOT APPLICABLE	59'-5"
REAR YARD SETBACK	50'-0" MINIMUM	NOT APPLICABLE	144'-2"
BUILDING HEIGHT (PRINCIPAL BUILDING)	35'-0"	NOT APPLICABLE	NO CHANGE
BUILDING HEIGHT (ACCESSORY BUILDING)	20'-0"	NOT APPLICABLE	18'-4"
BUILDING COVERAGE	9% (6,060.2 SQ. FEET)	2.8% (1,947.3 SQ. FEET)	4.5% (3,082.3 SQ. FEET)
GROSS FLOOR AREA MAX. (ACCESSORY)	600 SQ. FEET	NOT APPLICABLE	1,875 SQ. FEET (REQUIRES VARIANCE)



**SURVEY INFORMATION:**  
 PREPARED BY:  
 DAVID L. ODELL, P.L.S.  
 LAND SURVEYING COMPANY  
 123 CUSHMAN ROAD  
 PATTERSON, N.Y. 12563  
 845.225.0106

**WETLAND INFORMATION:**  
 WETLAND FLAGGING SHOWN HEREON (WL-A1 ETC...) AS PER  
 PAUL J. JAENNIG, WETLANDS AND SOILS CONSULTING AND  
 LOCATED IN THE FIELD ON JUNE 27, 2017

- KEY:**
- EXISTING STRUCTURE
  - PROPOSED STRUCTURE
  - ASPHALT REMOVAL



SCHEMATIC OVERALL SITE PLAN

1" = 20'-0"

# RINI RESIDENCE

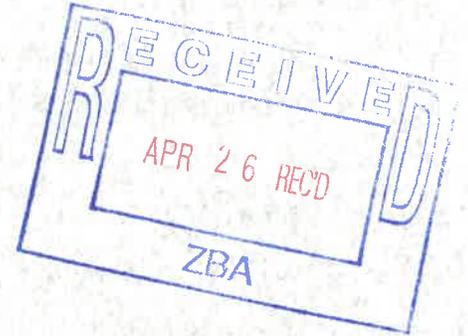
15 BENEDICT ROAD  
 SOUTH SALEM, NY  
 DATE: 04.07.2022

DRAWING NO.:

## SD1

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**Tracey B. and Martin E. Weisberg**  
**25 Benedict Road**  
**South Salem, NY 10590**



**April 22, 2022**

**Zoning Board of Appeals**  
**P.O. 500**  
**11 Main Street**  
**Lewisboro, New York 10590**  
**Attn: Robin Price, Jr.**  
**Chairman**

**Re: 23 Benedict Road**  
**South Salem, NY 10590**

**Dear Chairman Price:**

**We are writing with respect to the plans of Liz and James Rini to build a garage addition to their property located at 15 Benedict Road, South Salem, NY. We reside next to the Rini's at 25 Benedict Road, South Salem, NY.**

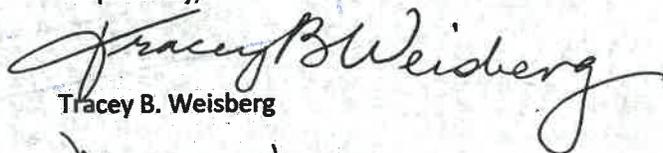
**We have known the Rini's since they moved to Lewisboro and find them to be friendly, courteous and responsible neighbors. They always provide us with ample notice of any work being done to their home or property that could in any way impact us as neighbors (by way of example, having tree removal done). They are never too busy for a wave hello or quick chat.**

**The Rini's contacted us well in advance of the scheduled hearing date to inform us about the proposed addition to their home. Mr. Rini came to our home to discuss the proposed addition with us and he shared a copy of their architects' renderings with us so we would have visual understanding of the proposal. The proposed addition will not be visible from our property and will not adversely impact to serenity that we so cherish at our South Salem home. The renderings indicate that the proposed addition is in a style similar to the Rini's current residence and is the general feel of properties on Benedict Road.**

**We have no objection to the proposed addition.**

If you have any questions or need more information from us, we can be contacted at 914-319-8053 or [traceyweisberg@me.com](mailto:traceyweisberg@me.com).

Respectfully,

A handwritten signature in cursive script that reads "Tracey B. Weisberg". The signature is written in black ink and is positioned above the printed name.

Tracey B. Weisberg

A handwritten signature in cursive script that reads "Martin E. Weisberg". The signature is written in black ink and is positioned above the printed name.

Martin E. Weisberg

## Zoning Office

---

**From:** teahousedesign@optimum.net  
**Sent:** Monday, May 16, 2022 2:10 PM  
**To:** zoning@lewisborogov.com  
**Cc:** Steven Miller  
**Subject:** Attn Chair Robin Price Jr re Rini variance for a Garage Addition at 15 Benedict Rd S Salem.

From Steven D Miller residing at #11 Benedict Rd. S., Salem, NY 10590

To the Town of Lewisburg Zoning Board of Appeals:

Regarding zoning variance and building permit applications from my next-door neighbors, James and Elizabeth Rini at #15 Benedict Rd. S., Salem, NY 10590

I have rented, owned, and lived at number 11 Benedict Rd. since 1971, and I am very familiar with the land, the topography, the location of wetlands in the immediate area, including property which now belongs to the Rini's. I have worked on that residence for three previous owners, plus I rented the apartment in the accessory building from Helen Bilby in the 1980s.

The Rini's in a very neighborly way came to me to show me the plans for their garage and explained their project. They gave me a chance to review the project and the plot plan. I know they are on nonconforming lot because of the size of slightly under 2 acres. I think that the ZBA meeting which will be hearing their application is later in this month of May. As an adjacent neighbor, I have not as yet received the required notice in the mail of the hearing. But as I recall, there may be a 10 day window before the meeting which they are required to send out the notice to neighbors.

In my opinion the design and location of the proposed garage is conservative and connects efficiently to the house plus gives easy access from the driveway and gravel parking area. It seems to be minimally intrusive to me and any other neighbors, plus it fits well for their needs of a garage for year-round protection of their cars etc. This is considered normal and necessary for most residences in our town.

The existing house and the proposed garage addition are on the highest elevation of the property, and there is adequate permeable surface area of lawn, gardens, and gravel parking area to absorb and disperse rainwater and snow. I didn't look closely enough at the design to notice if there were gutters and leaders connecting to drainpipes etc. I assume that the ZBA would look at those conditions as part of granting a variance. In the 1980s I noticed that there was a small amount of surface and subsurface water flowing from Helen Bilby's property (#15 Benedict Rd.) through the stone wall and onto my property (#11 Benedict Rd.) through the lowest dip in elevation in the backyard sloping towards my property. It's not a constructed or designated swale, it is the pitch of the land. My concern is that construction of the garage would not direct more roof water in the direction of this intermittent water flow.

I think this is the third year the Rini's have lived at #15 Benedict Rd. and we have steadily gotten to be good and cooperative neighbors. It is a pleasure to see a family with two dedicated parents raising their children in our neighborhood. They have also been conscientious in taking care of their property, including taking down many dead and dying and dangerous trees. We are cooperating in their taking down of another diseased and dying huge red Oak tree which is on their property very close to me. It

presents an impending danger to the 7 KV overhead power lines between my two electric poles, and to my bridge, both of which are in the path of its direct leaning fall. I appreciate that they are taking responsibility for their tree, and taking action to eliminate the danger of a disaster.

The Rini's and I also have the same good intentions of controlling and attempting to eliminate non-native invasive plants on both of our properties.

Being familiar with the Building Code of the Town of Lewisboro and the Zoning Ordinances of the Town of Lewisboro I understand the legal hardship they have regarding their lot size and lot setbacks. My opinion is that their request for a variance is reasonable and positive. I am in favor of the ZBA granting the Rini's a variance for construction of the proposed garage.

If you have any questions for me or I can be of further help clarify my position please call me at both of the numbers below and or reply to this email. I thank all the ZBA members for their service to our town.

Sincerely,

Steven D Miller

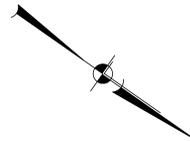
Frog Hollow PO Box 99

Waccabuc, NY 10597

914-763-3078 home/landline

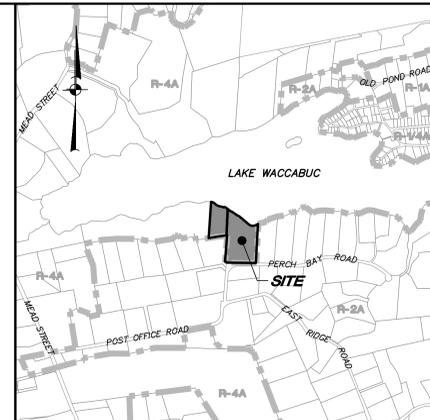
914-314-1863 cell/text

teahousedesign@optimum.net



	COMBINED LOTS		
	REQUIRED/ PERMITTED	EXISTING	PROPOSED
Minimum Lot Size:	4 AC	9.1 AC	9.1 AC
Minimum Front Yard:			
From street center line	75'	600'	573'
From front lot line	50'	576'	550'
Minimum Side Yard:	50'	29'	218'
Minimum Rear Yard:	50'	0' **	No change
Maximum Building Height:	2.5 stories/ 35'	2.5 stories/ 35'	2.5 stories/ 35'
Maximum Building Coverage:	6%	0.5%	1.1%

\* Bathhouse - Pre-existing concrete deck is 0.3' over property line per survey.  
 \*\* Bathhouse - Pre-existing porch overhang is 1.4' over property line per architectural drawings.

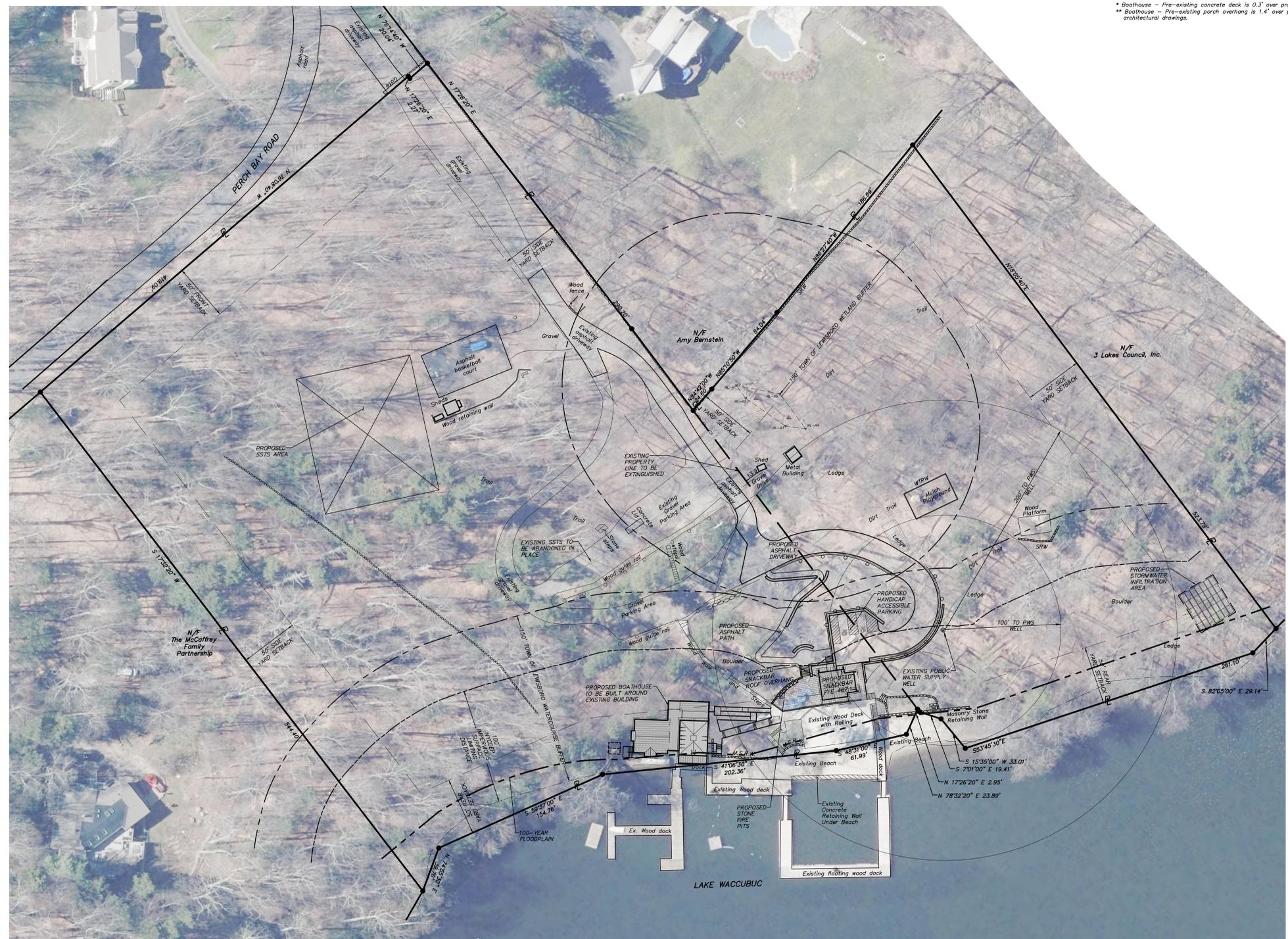


LOCATION MAP SCALE: 1" = 1,000'±

**OWNER/APPLICANT:** WACCABUC COUNTRY CLUB  
 90 MEAD STREET  
 WACCABUC, NY 10597

**SITE DATA:** Zone: R-4A (4 Acre Residential)  
 Total Acreage: 9.1 AC±  
 Top Map No.: 1. Sheet 25A-Block 10813-Lot 01  
 2. Sheet 25-Block 148-Lot 25

- GENERAL NOTES:**
- Property lines, existing conditions and topography as shown hereon based off of survey mapping prepared by Bunney Associates Land Surveyors completed 2007 and 4-4-2012, and by Insite Engineering, Surveying & Landscape Architecture P.C., completed 7-28-2018 and 6-7-2021.
  - Topography shown hereon (outside property lines) taken from both the Westchester County 2' contour, 1" = 100 scale GIS dataset dated April 2004 (elevations reference the North American Vertical Datum of 1988, NAVD 88).
  - Wetlands shown hereon delineated by James Bates of Ecological Analysis on April 21, 2021, and survey located by Insite Engineering, Surveying & Landscape Architecture, P.C. on June 7, 2021.
  - Based on a watercourse walk conducted with Miryam Zachariah of NYCDEP on April 26, 2021, there are no NYCDEP watercourses on the project site.
  - It is the applicant's intent to merge the 2 parcels into one lot as part of this project.
  - Disturbance limits shall be staked in the field prior to construction.
  - All walls equal to or greater than four (4) feet in height shall be designed by a NYS Licensed Professional Engineer.
  - Construction of all walls equal to or greater than four (4) feet in height shall be certified by the Design Professional prior to the issuance of a Certificate of Occupancy/Completion.



**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING BUILDING
	EXISTING BUILDING TO BE REMOVED
	EXISTING STONE WALL
	EXISTING MASONRY STONE WALL
	EXISTING WOODEN RETAINING WALL
	EXISTING DIRT TRAIL
	EXISTING GUIDE RAIL
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING ROCK LEDGE
	PROPOSED 150' WATERCOURSE BUFFER
	PROPOSED 100' IMPERVIOUS LIMITING DISTANCE

**PLANNING BOARD APPROVAL**

Approved by the Resolution of the Lewisboro Planning Board.

Chair \_\_\_\_\_ Date \_\_\_\_\_

Administrator \_\_\_\_\_ Date \_\_\_\_\_

**TOWN ENGINEER'S CERTIFICATION**

Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_

Joseph Carmelo, P.E.  
 Kellard Sessions Consulting  
 Town Consulting Engineer

\_\_\_\_\_ Date \_\_\_\_\_

**OWNER'S / APPLICANT'S CERTIFICATIONS**

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.

Waccabuc Country Club  
 90 Mead Street  
 Waccabuc, NY 10597

\_\_\_\_\_ Date \_\_\_\_\_

NO.	DATE	REVISION	SMR
1	3-29-22	REVISED PER TOWN COMMENTS	SMR

**INSITE**  
 ENGINEERING, SURVEYING &  
 LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place  
 Carmel, NY 10512  
 (845) 225-9690  
 (845) 225-9717 fax  
 www.insite-eng.com

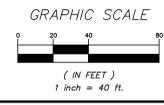
PROJECT: **WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS**

90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY

DRAWING: **OVERALL PLAN**

PROJECT NUMBER: 20228.100 PROJECT MANAGER: Z.M.P.  
 DATE: 2-8-22 DRAWN BY: E.R.A.  
 SCALE: 1" = 40' CHECKED BY: D.L.M.

DRAWING NO. SHEET: **OP-1** / 8



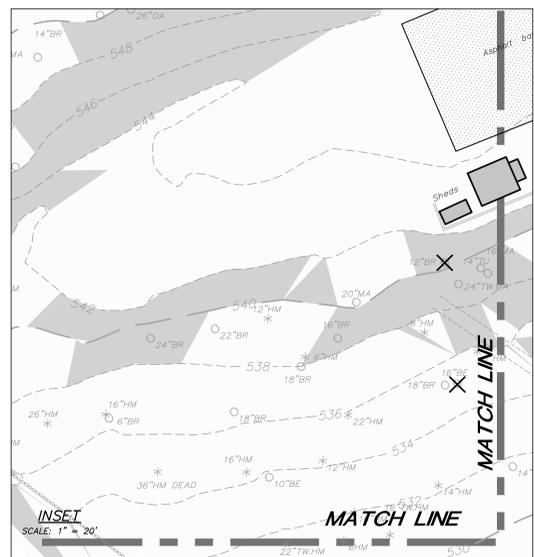
ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.



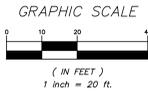
SLOPES TABLE			
Number	Minimum Slope	Maximum Slope	Color
1	0%	15%	White
2	15%	100%	Grey

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING BUILDING
	EXISTING BUILDING TO BE REMOVED
	EXISTING STONE WALL
	EXISTING MASONRY STONE WALL
	EXISTING WOODEN RETAINING WALL
	EXISTING DIRT TRAIL
	EXISTING GUIDE RAIL
	EXISTING ASPHALT
	EXISTING CURB
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING DRAIN INLET
	EXISTING WELL
	EXISTING SSIS
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	EXISTING INDIVIDUAL TREE
	EXISTING DECIDUOUS TREE
	EXISTING EVERGREEN TREE
	EXISTING TREE TO BE REMOVED
	EXISTING ROCK LEDGE
	EXISTING POST MOUNTED LIGHT

TREE LEGEND	
	DECIDUOUS TREE
	EVERGREEN TREE
AS	ASH
BB	BLACK BIRCH
BE	BEECH
BR	BIRCH
HK	HICKORY
HM	HEMLOCK
MA	MAPLE
OA	OAK
TR	UNKNOWN SPECIES
TU	TULIP



LAKE WACCUBUC



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

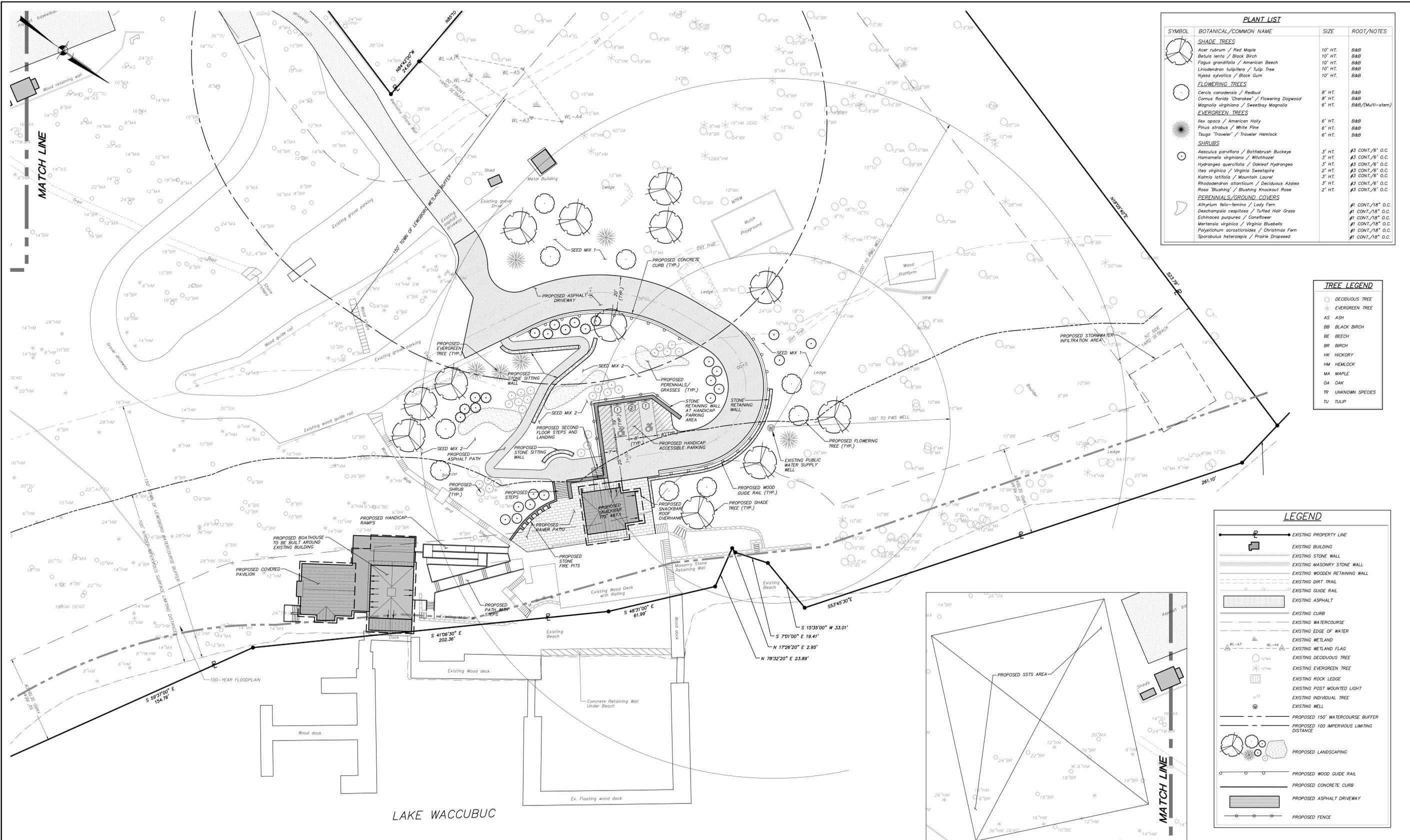
<p align="center"><b>PLANNING BOARD APPROVAL</b></p> <p>Approved by the Resolution of the Lewisboro Planning Board.</p>		<p align="center"><b>TOWN ENGINEER'S CERTIFICATION</b></p> <p>Reviewed for compliance with the Planning Board Resolution dated _____ Date</p> <p align="right">Joseph Carmela, P.E. Kielard Sessions Consulting Town Consulting Engineer</p>	
<p>Chair _____ Date _____</p> <p>Administrator _____ Date _____</p>		<p align="center"><b>OWNER'S / APPLICANT'S CERTIFICATIONS</b></p> <p>The undersigned is the owner(s) of the property shown herein, is familiar with this drawing and its contents, and hereby approves the same for filing.</p> <p align="right">Waccubuc Country Club Waccubuc, NY 10597</p>	

PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SHEET
DATE	2-8-22	DRAWN BY	E.R.A.	EX-1	2
SCALE	1" = 20'	CHECKED BY	D.L.M.		8

NO.	DATE	REVISION	SMR
1	3-29-22	REVISED PER TOWN COMMENTS	

**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

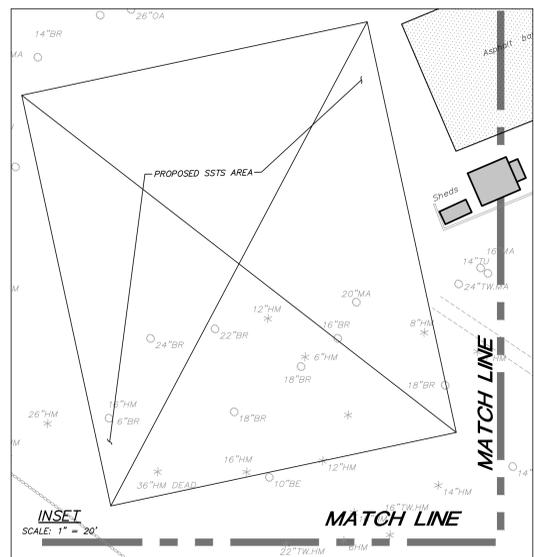
3 Garrett Place  
Carmel, NY 10512  
(845) 225-9690  
(845) 225-9717 fax  
www.insite-eng.com



PLANT LIST			
SYMBOL	BOTANICAL/COMMON NAME	SIZE	ROOT/NOTES
<b>SHADE TREES</b>			
	Acer rubrum / Red Maple	10' HT.	B&B
	Betula lenta / Black Birch	10' HT.	B&B
	Fagus grandifolia / American Beech	10' HT.	B&B
	Liriodendron tulipifera / Tulip Tree	10' HT.	B&B
	Nyssa sylvatica / Black Gum	10' HT.	B&B
<b>FLOWERING TREES</b>			
	Cercis canadensis / Redbud	8' HT.	B&B
	Cornus florida 'Cherokee' / Flowering Dogwood	8' HT.	B&B
	Magnolia virginiana / Sweetbay Magnolia	6' HT.	B&B/(Multi-stem)
<b>EVERGREEN TREES</b>			
	Ilex opaca / American Holly	6' HT.	B&B
	Pinus strobus / White Pine	6' HT.	B&B
	Tsuga 'Traveller' / Traveller Hemlock	6' HT.	B&B
<b>SHRUBS</b>			
	Aucubus parviflora / Bottlebrush Buckeye	3' HT.	#3 CONT./6' O.C.
	Hamamelis virginiana / Witchhazel	3' HT.	#3 CONT./6' O.C.
	Hydrangea quercifolia / Oakleaf Hydrangea	3' HT.	#3 CONT./6' O.C.
	Itea virginica / Virginia Sweetpire	2' HT.	#3 CONT./6' O.C.
	Kalmia latifolia / Mountain Laurel	3' HT.	#3 CONT./6' O.C.
	Rhododendron alternifolium / Deciduous Azalea	3' HT.	#3 CONT./6' O.C.
	Rosa 'Blushing' / Blushing Knockout Rose	2' HT.	#3 CONT./6' O.C.
<b>PERENNIALS/GROUND COVERS</b>			
	Athyrium filix-femina / Lady Fern	#1 CONT./18" O.C.	
	Deschampsia cespitosa / Tufted Hair Grass	#1 CONT./18" O.C.	
	Echinacea purpurea / Coneflower	#1 CONT./18" O.C.	
	Mertensia virginica / Virginia Bluebell	#1 CONT./18" O.C.	
	Polystichum acrostichoides / Christmas Fern	#1 CONT./18" O.C.	
	Sporobolus heterolepis / Prairie Dropseed	#1 CONT./18" O.C.	

TREE LEGEND	
	DECIDUOUS TREE
	EVERGREEN TREE
	ASH
	BLACK BIRCH
	BEECH
	BIRCH
	HICKORY
	HEMLOCK
	MAPLE
	OAK
	UNKNOWN SPECIES
	TULIP

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING BUILDING
	EXISTING STONE WALL
	EXISTING MASONRY STONE WALL
	EXISTING WOODEN RETAINING WALL
	EXISTING DIRT TRAIL
	EXISTING GUIDE RAIL
	EXISTING ASPHALT
	EXISTING CURB
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING DECIDUOUS TREE
	EXISTING EVERGREEN TREE
	EXISTING ROCK LEDGE
	EXISTING POST MOUNTED LIGHT
	EXISTING INDIVIDUAL TREE
	EXISTING WELL
	PROPOSED 150' WATERCOURSE BUFFER
	PROPOSED 100 IMPERVIOUS LIMITING DISTANCE
	PROPOSED LANDSCAPING
	PROPOSED WOOD GUIDE RAIL
	PROPOSED CONCRETE CURB
	PROPOSED ASPHALT DRIVEWAY
	PROPOSED FENCE



**SEEDING NOTES:**

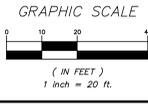
- All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material. Topsoil shall be placed using a method that will not cause compaction.
- Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
  - select seed mixture per drawings and seeding notes.
  - low starter fertilizer to be applied only as needed based on results of soil testing and relative recommendations.
  - no fertilizer is to be used in lawn areas, within wetland buffers, or with native seed mixes within areas to be naturalized. Nutrient requirements shall be met by incorporation of acceptable organic matter based on results of soil testing.
  - mulch: soft hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005.
  - if the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
- Seeding should begin immediately upon completion of finish grading and seed bed preparation while soil is still friable and before weeds can emerge. If seeding area is crusted or compacted, it should be loosened by discing or tilling. If weeds are present, they should be mowed short and removed or tilled under before seed is applied.
- Seed mixtures shall be planted between March 21 and May 20, or between August 15, and October 15 or as directed by project representative. The seed mixes as specified on these drawings are as follows:
  - A. Seed Mix #1 for disturbed woodland areas shall be (ERNMX-132-1) Right of Way Native Woods Mix with annual ryegrass at a rate of 30 lbs./acre.
  - B. Seed Mix #2 for the area between the parking lot and deck shall be (ERNMX-18) Native Steep Slopes Mix with annual ryegrass at a rate of 30 lbs./acre.
  - C. Temporary Seed Mix for temporary seeding shall be annual or perennial ryegrass, in spring, summer or early fall, at a rate of 30 lbs./acre or winter rye (cereal rye) in late fall or early winter at a rate of 100 lbs./acre.

**NOTE:**

Refer to architectural drawings by Doyle Coffin Architecture for details of proposed buildings.

**PLANTING NOTES:**

- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
- All plant material to be nursery grown.
- Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
- Plant material shall be taken from healthy nursery stock.
- All plants shall be grown under climate conditions similar to those in the locality of the project.
- Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
- The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
- Provide a 3" layer of shredded bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
- All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.



**TOWN ENGINEER'S CERTIFICATION**

Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_ Date \_\_\_\_\_  
 Joseph Carmela, P.E.  
 Kellard Sessions Consulting  
 Town Consulting Engineer

**PLANNING BOARD APPROVAL**

Approved by the Resolution of the Lewisboro Planning Board.  
 Chair \_\_\_\_\_ Date \_\_\_\_\_  
 Administrator \_\_\_\_\_ Date \_\_\_\_\_

**OWNER'S / APPLICANT'S CERTIFICATIONS**

The undersigned is the owner(s) of the property shown herein, is familiar with this drawing and its contents, and hereby approves the same for filing.  
 Waccubuc Country Club  
 92 Mead Street  
 Waccubuc, NY 10987  
 Date \_\_\_\_\_

1	3-29-22	REVISED PER TOWN COMMENTS	SMR
NO.	DATE	REVISION	BY
PROJECT: <b>WACCUBUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS</b> 90 MEAD ST., WACCUBUC, TOWN OF LEWISBORO, WESTCHESTER CNTY, NY			
DRAWING: <b>LAYOUT &amp; LANDSCAPE PLAN</b>			
PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.
DATE	2-8-22	DRAWN BY	E.R.A.
SCALE	1" = 20'	CHECKED BY	D.L.M.
DRAWING NO.			SHEET
SP-1			3
			8

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.



**SLOPES TABLE**

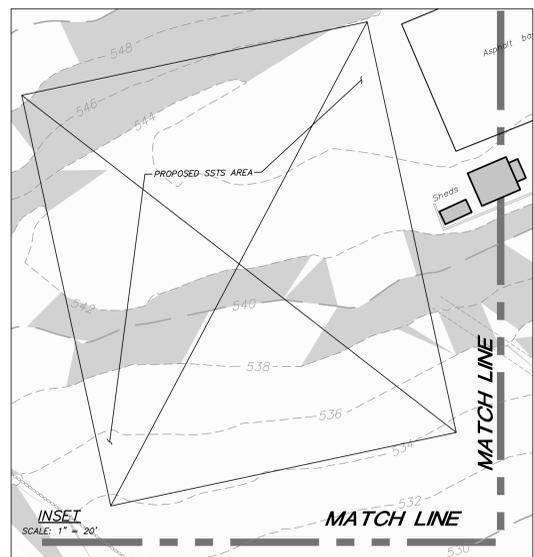
Number	Minimum Slope	Maximum Slope	Color	Area (sf)
1	0%	15%	[Light Gray Box]	209,000
2	15%	100%	[Dark Gray Box]	187,400

**LEGEND**

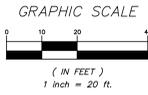
- EXISTING PROPERTY LINE
- EXISTING BUILDING
- EXISTING STONE WALL
- EXISTING MASONRY STONE WALL
- EXISTING WOODEN RETAINING WALL
- EXISTING UNDERGROUND DRAINAGE PIPE
- EXISTING DRAIN INLET
- EXISTING WELL
- EXISTING SSTS
- EXISTING WATERCOURSE
- EXISTING EDGE OF WATER
- EXISTING WETLAND
- EXISTING WETLAND FLAG
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING SPOT GRADE
- EXISTING UTILITY POLE w/ guy & overhead wires
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
- PROPOSED TOP OF WALL & BOTTOM OF WALL ELEVATIONS
- PROPOSED DRAINAGE PIPE
- PROPOSED ROOF DRAIN
- PROPOSED DRAINAGE STRUCTURE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED END SECTION WITH RIPRAP

**PROPOSED DRAINAGE TABLE**

STRUCTURE	R/W	INV.	PIPE	LENGTH	SLOPE
DI 14	493.3	490.4	8" HDPE	34 L.F.	3.8%
DI 13	492.0	489.1	8" HDPE	22 L.F.	22.7%
DI 12	487.0	484.1	12" HDPE	46 L.F.	1.1%
DI 11	486.9	483.3	12" HDPE	46 L.F.	1.1%
DMH 10	485.6	482.4	12" HDPE	186 L.F.	3.4%
FS 1.1	480.2	476.0	6" HDPE	10 L.F.	13.0%
HDS 1.1	480.2	474.7	12" HDPE	74 L.F.	13.9%
1.1 P	-	473.5	6" HDPE	10 L.F.	12.0%
ES 9B	-	473.0	6" HDPE	14 L.F.	3.6%
DI 11A	488.5	485.3	12" HDPE	36 L.F.	5.6%
DI 11	486.9	483.3	12" HDPE	36 L.F.	5.6%
TD 12A	487.0	485.1	8" HDPE	33 L.F.	3.0%
DI 12	487.0	484.1	8" HDPE	33 L.F.	3.0%
FS 1.1	480.2	476.9	12" HDPE	55 L.F.	7.1%
ES 9A	-	473.0	12" HDPE	55 L.F.	7.1%
DI 7	515.0	511.8	12" HDPE	17 L.F.	2.9%
DI 7	515.7	511.3	12" HDPE	26 L.F.	15.4%
DI 6	510.5	507.3	12" HDPE	30 L.F.	5.0%
DMH 5	509.0	505.8	12" HDPE	74 L.F.	13.9%
DMH 4	499.7	495.5	15" HDPE	73 L.F.	7.0%
DMH 3	492.3	490.2	15" HDPE	56 L.F.	14.6%
ES 2	-	482.0	-	-	-
SDI 4A	499.7	496.3	15" HDPE	95 L.F.	1.1%
DMH4	499.7	495.3	15" HDPE	95 L.F.	1.1%



LAKE WACCUBUC



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

**TOWN ENGINEER'S CERTIFICATION**

Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_ Date \_\_\_\_\_

**PLANNING BOARD APPROVAL**

Approved by the Resolution of the Lewisboro Planning Board.

Chair \_\_\_\_\_ Date \_\_\_\_\_

Administrator \_\_\_\_\_ Date \_\_\_\_\_

**OWNER'S / APPLICANT'S CERTIFICATIONS**

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.

Joseph Carmelo, P.E.  
Kellard Sessions Consulting  
Town Consulting Engineer

Waccubuc Country Club  
92 Mead Street  
Waccubuc, NY 10997

1	3-29-22	REVISED PER TOWN COMMENTS	SMR
NO.	DATE	REVISION	BY

**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

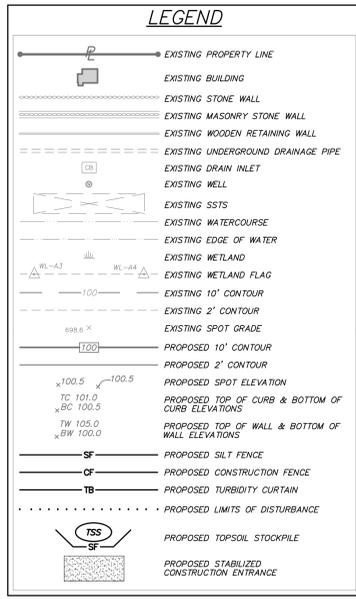
3 Garrett Place  
Carmel, NY 10512  
(845) 225-9690  
(845) 225-9717 fax  
www.insite-eng.com

PROJECT:  
**WACCUBUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS**

90 MEAD ST., WACCUBUC, TOWN OF LEWISBORO, WESTCHESTER CNTY, NY

DRAWING:  
**GRADING & UTILITIES PLAN**

PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SHEET
DATE	2-8-22	DRAWN BY	E.R.A.	<b>SP-2</b>	4
SCALE	1" = 20'	CHECKED BY	D.L.M.		8



- ### EROSION & SEDIMENT CONTROL NOTES:
- The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
  - All construction activities involving the removal or disposal of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposal within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
  - Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
  - When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceases. Disturbance shall be minimized to the areas required to perform construction.
  - Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
  - All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. "Aristook" Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
  - Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
    - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 as directed by project representative at a rate of 100 pounds per acre in the following proportions:
      - Kentucky Bluegrass 20%
      - Creeping Red Fescue 40%
      - Perennial Ryegrass 20%
      - Annual Ryegrass 20%
    - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
  - Grass seed mix may be applied by either mechanical or hydroseding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseding shall be performed using materials and methods as approved by the site engineer.
  - Cut or fill slopes steeper than 3:1 shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.
  - Paved roadways shall be kept clean at all times.
  - The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
  - All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
  - Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
  - Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
  - Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
  - Cut and fill shall not endanger adjoining property, nor divert water into the property of others.
  - All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
  - The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
  - As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
  - Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

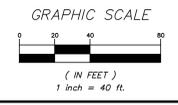
- ### CONSTRUCTION SEQUENCE:
- Install stabilized construction entrance and silt fence in general locations as shown hereon. Install construction fence around the proposed subsurface infiltration system and SSTS area.
  - Raze existing storage building and snack bar.
  - Demolish existing features to be removed and clear existing trees to be removed.
  - Strip and stockpile topsoil on site for later use in lawn and landscape areas.
  - Begin earthwork operations for proposed driveway, path, and parking areas.
  - Begin construction of proposed snack bar, boat house, and associated decking and appurtenances.
  - Install proposed drainage and conveyance system, and roof drains.
  - Install proposed subsurface infiltration system. Infiltration system to remain offline until all contributing areas are stabilized. Plug primary outlet in upstream flow splitter to infiltration system.
  - Install proposed SSTS.
  - Upon completion of all grading operations, install finished asphalt surfaces.
  - Topsoil, seed and mulch all disturbed areas as soon as practical in accordance with the erosion and sediment control notes on the project plans.
  - Once final stabilization has been achieved, remove all temporary erosion and sediment control measures.
  - Remove plug flow splitter.

### EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

PRACTICE	MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS	
	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	-	Inspect	Inspect	Clean/Replace Stone and Fabric	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	-	Inspect	Clean/Replace Mulching/Spraying Water	Remove
DUST CONTROL	Inspect	-	Inspect	Water/Reseed/Remove	N/A
VEGETATIVE ESTABLISHMENT	-	Inspect	Inspect	Clean/Repair/Replace	Reseed to 80% Coverage
INLET PROTECTION	-	Inspect	Inspect	Clean/Repair/Replace	Remove
SOIL STOCKPILES	-	Inspect	Inspect	Mulching/Silt Fence Repair	Remove
CONCRETE DRAINAGE STRUCTURES	-	Inspect	Inspect	Clean Sumps/Repair/Replace	Clean Sumps/Repair/Replace
DRAINAGE PIPES	-	Inspect	Inspect	Clean/Repair	Clean/Repair
ROAD & PAVEMENT	-	Inspect	Inspect	Clean	Clean
*STORMWATER MANAGEMENT PRACTICE	-	Inspect	Inspect	Clean/Mulch/Repair/Reseed	See Permanent Stormwater Facilities Maintenance Schedule

\* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized. Note: The party responsible for implementation of the maintenance schedule during and after construction is:  
 WACCCUB COUNTRY CLUB  
 90 MEAD STREET  
 WACCCUB, NY 10597  
 and/or the current owner(s) of the subject property.

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.



### PLANNING BOARD APPROVAL

Approved by the Resolution of the Lewisboro Planning Board.

Chair \_\_\_\_\_ Date \_\_\_\_\_

Administrator \_\_\_\_\_ Date \_\_\_\_\_

### TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_ Date \_\_\_\_\_

Joseph Cernate, P.E.  
 Killard Sessions Consulting  
 Town Consulting Engineer

### OWNER'S / APPLICANT'S CERTIFICATIONS

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.

Waccub Country Club \_\_\_\_\_ Date \_\_\_\_\_  
 90 Mead Street  
 Waccub, NY 10597

PROJECT: WACCCUB COUNTRY CLUB BEACH CLUB IMPROVEMENTS

90 MEAD ST., WACCCUB, TOWN OF LEWISBORO, WESTCHESTER CTY, NY

DRAWING: EROSION & SEDIMENT CONTROL PLAN

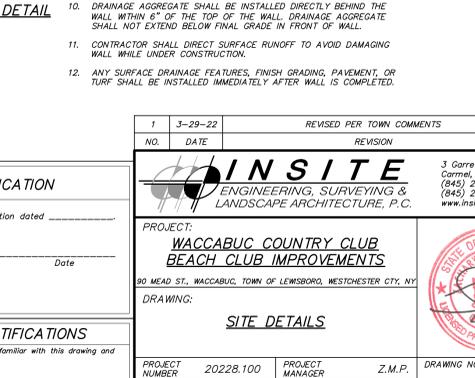
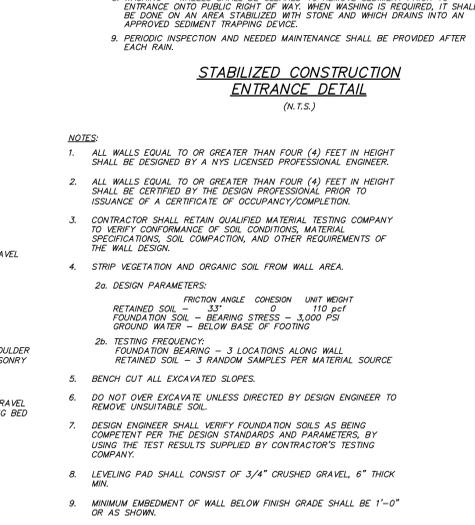
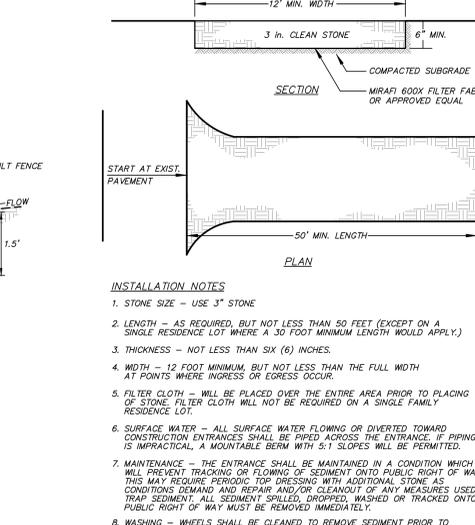
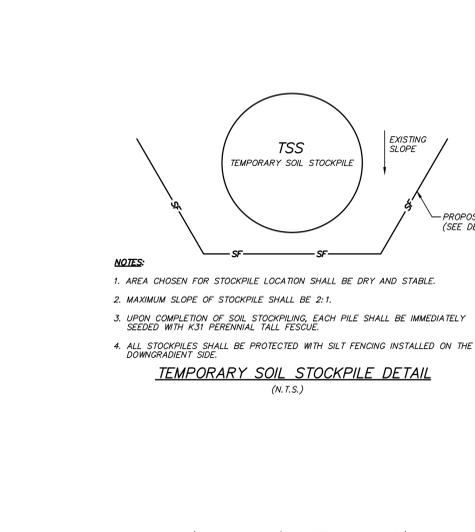
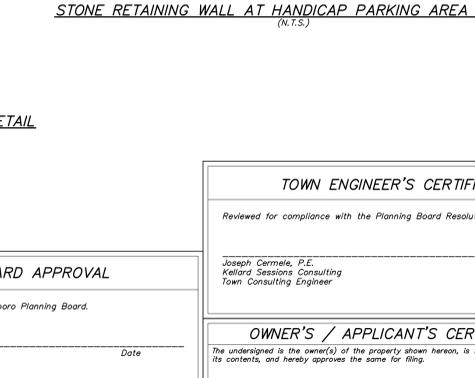
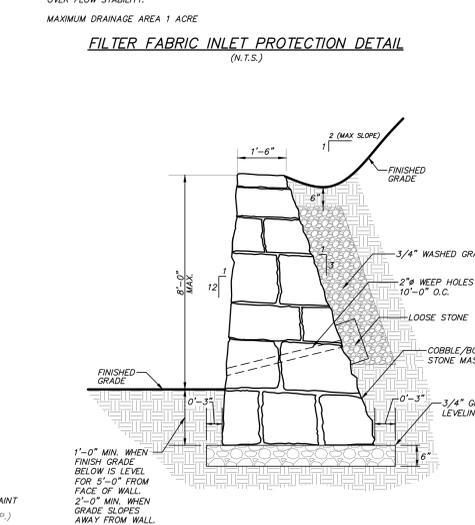
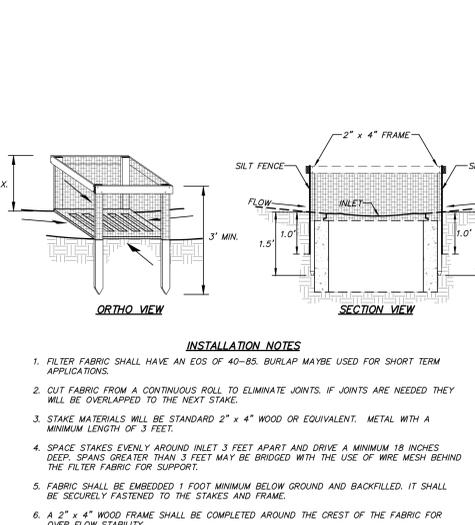
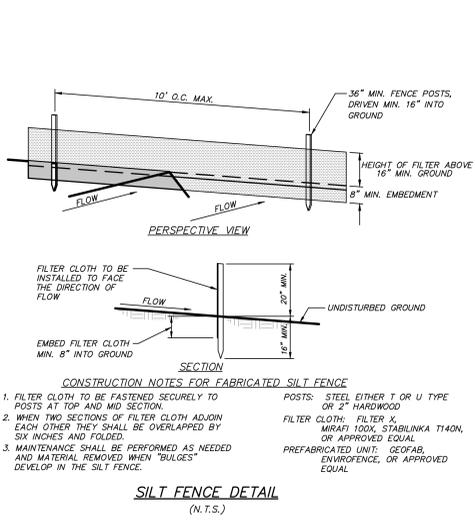
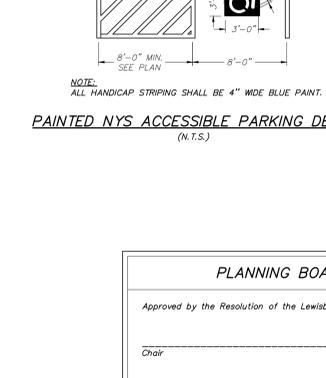
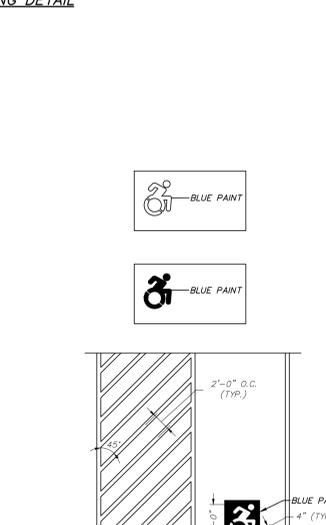
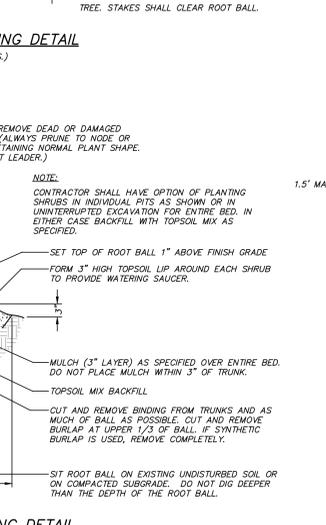
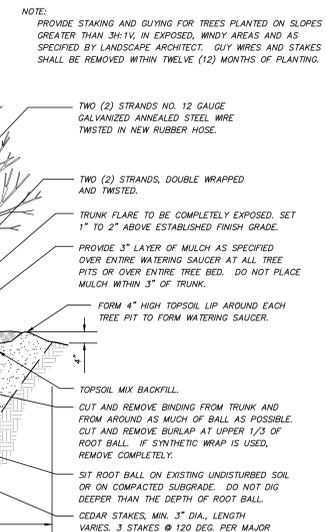
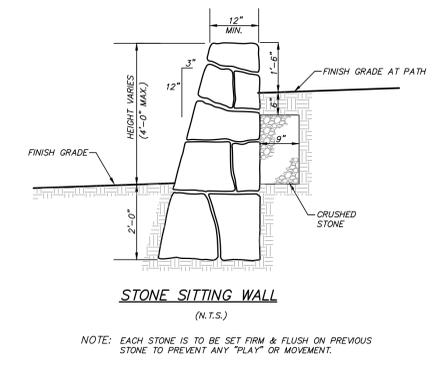
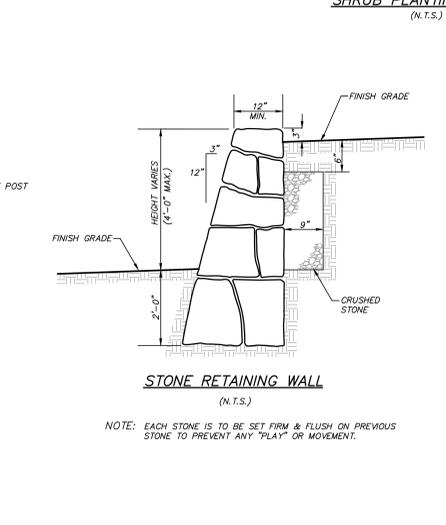
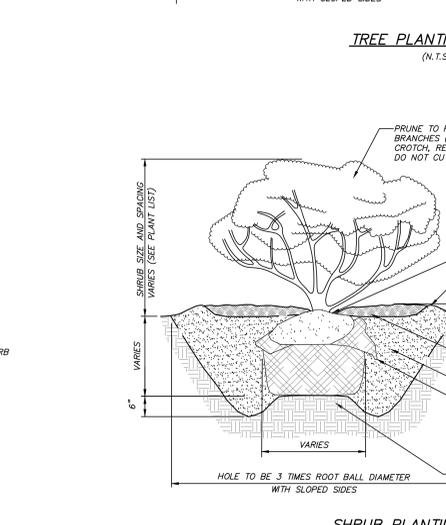
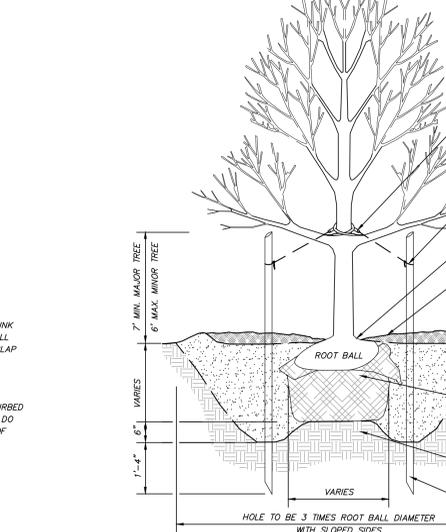
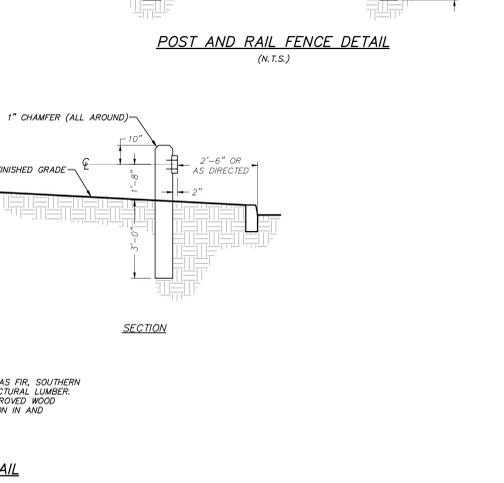
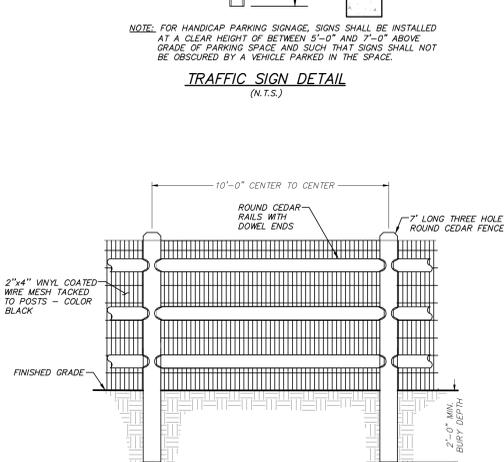
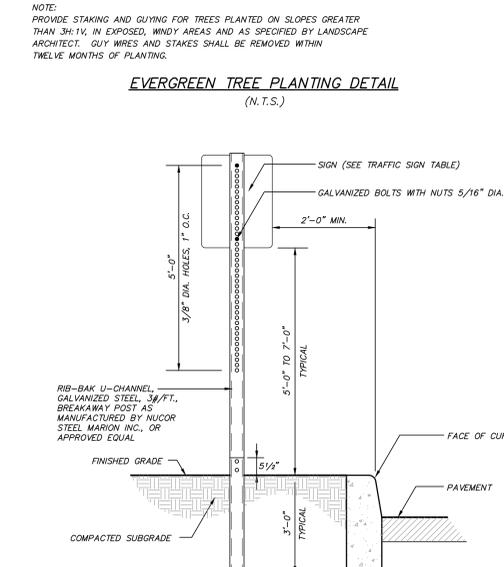
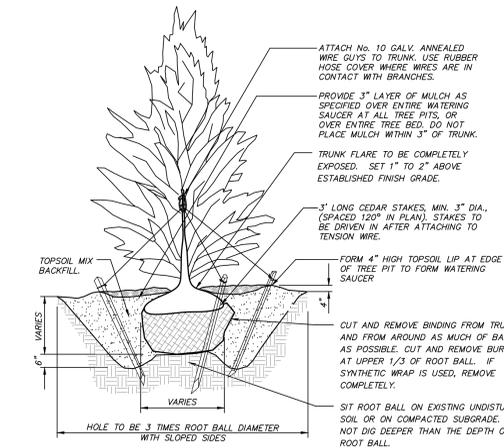
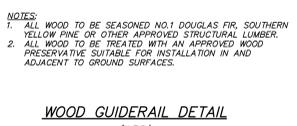
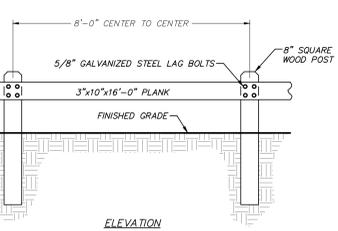
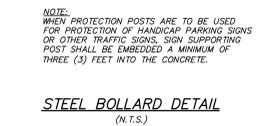
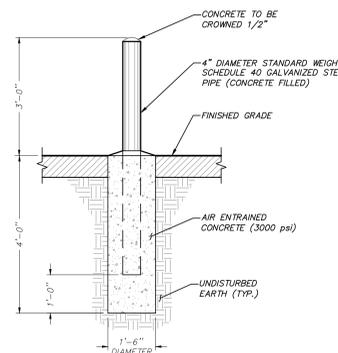
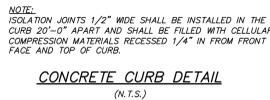
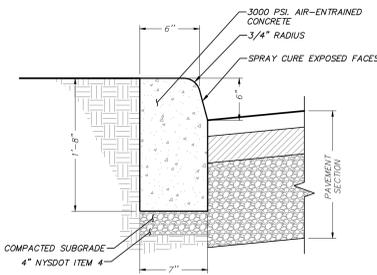
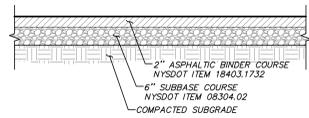
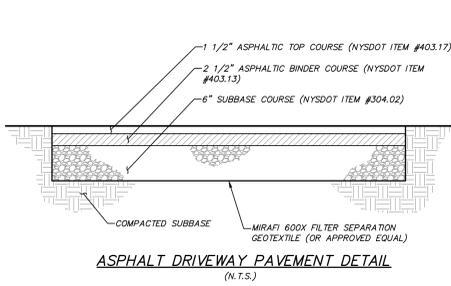
3 Garrett Place  
 Carmel, NY 10512  
 (845) 225-9690  
 (845) 225-9717 fax  
 www.insite-eng.com

1	3-29-22	REVISED PER TOWN COMMENTS	SMR
NO.	DATE	REVISION	BY

PROJECT NUMBER: 20228.100  
 DATE: 2-8-22  
 SCALE: 1" = 40'

PROJECT MANAGER: Z.M.P.  
 DRAWN BY: E.R.A.  
 CHECKED BY: D.L.M.

DRAWING NO. SHEET  
**SP-3** 5  
 8



NO.	DATE	REVISION	BY
1	3-29-22	REVISED PER TOWN COMMENTS	SMR

**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS

90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY

DRAWING: SITE DETAILS

PROJECT NUMBER: 20228.100  
DATE: 2-8-22  
SCALE: AS SHOWN

PROJECT MANAGER: Z.M.P.  
DRAWN BY: E.R.A.  
CHECKED BY: D.L.M.

DRAWING NO. SHEET: D-1 6

**TOWN ENGINEER'S CERTIFICATION**

Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_ Date

Joseph Carmela, P.E.  
Vice President/Consulting  
Town Consulting Engineer

**PLANNING BOARD APPROVAL**

Approved by the Resolution of the Lewisboro Planning Board.

Chair \_\_\_\_\_ Date \_\_\_\_\_  
Administrator \_\_\_\_\_ Date \_\_\_\_\_

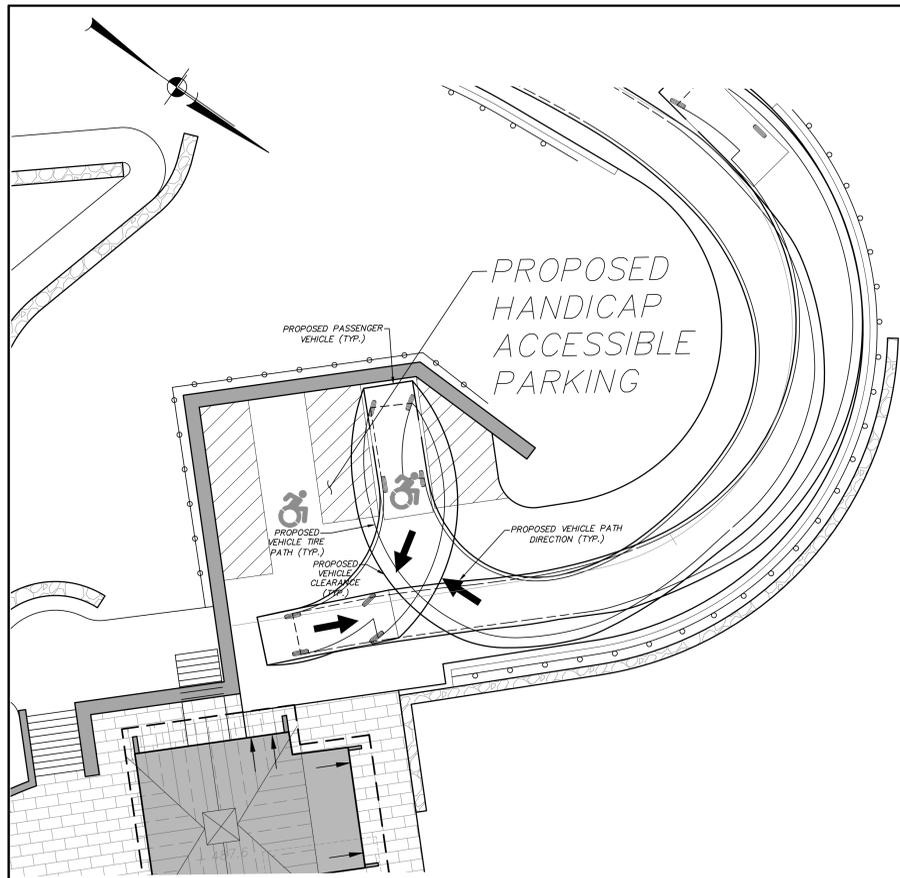
**OWNER'S / APPLICANT'S CERTIFICATIONS**

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.

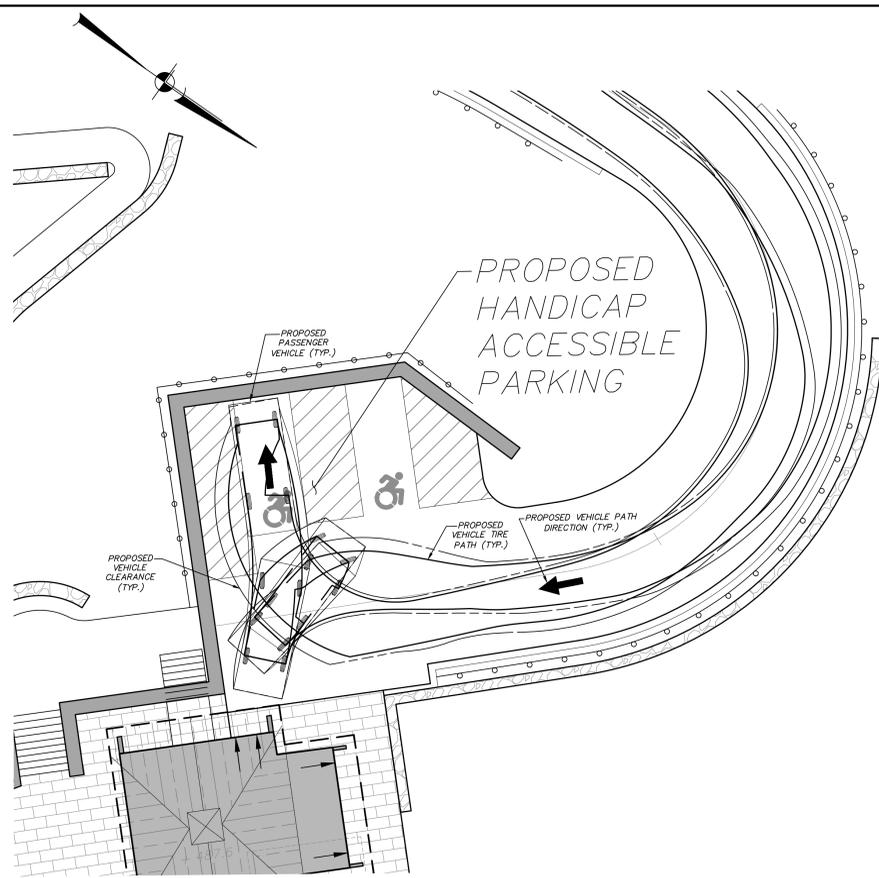
Waccabuc Country Club  
90 Mead Street  
Waccabuc, NY 10597

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

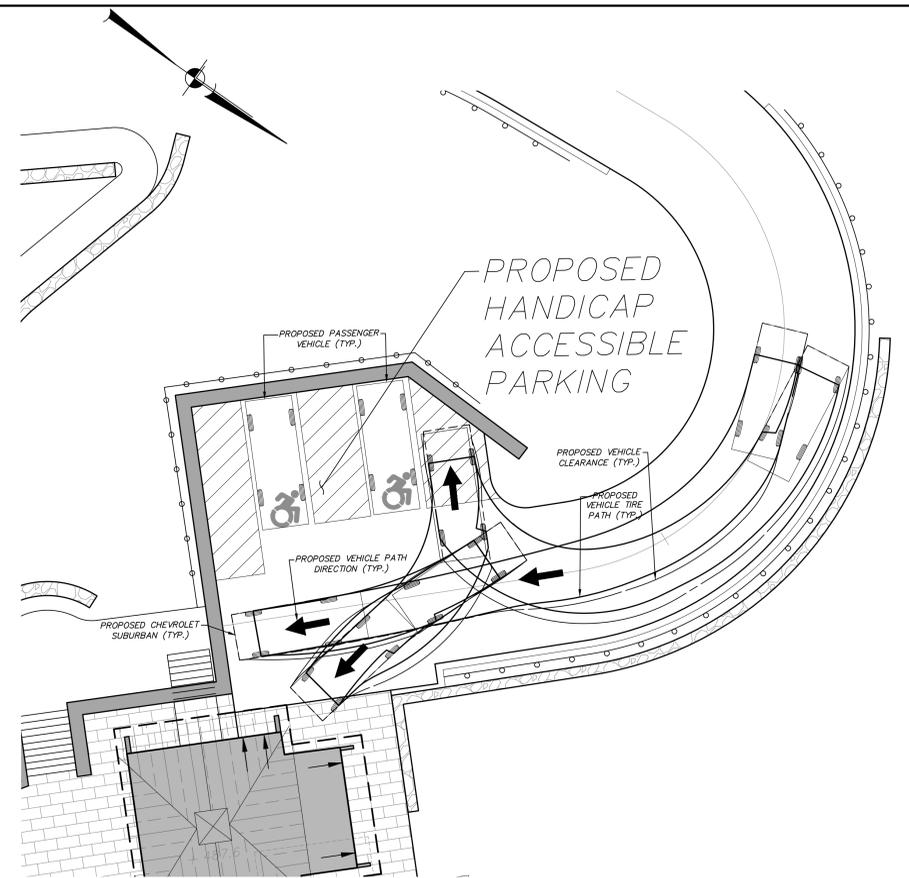




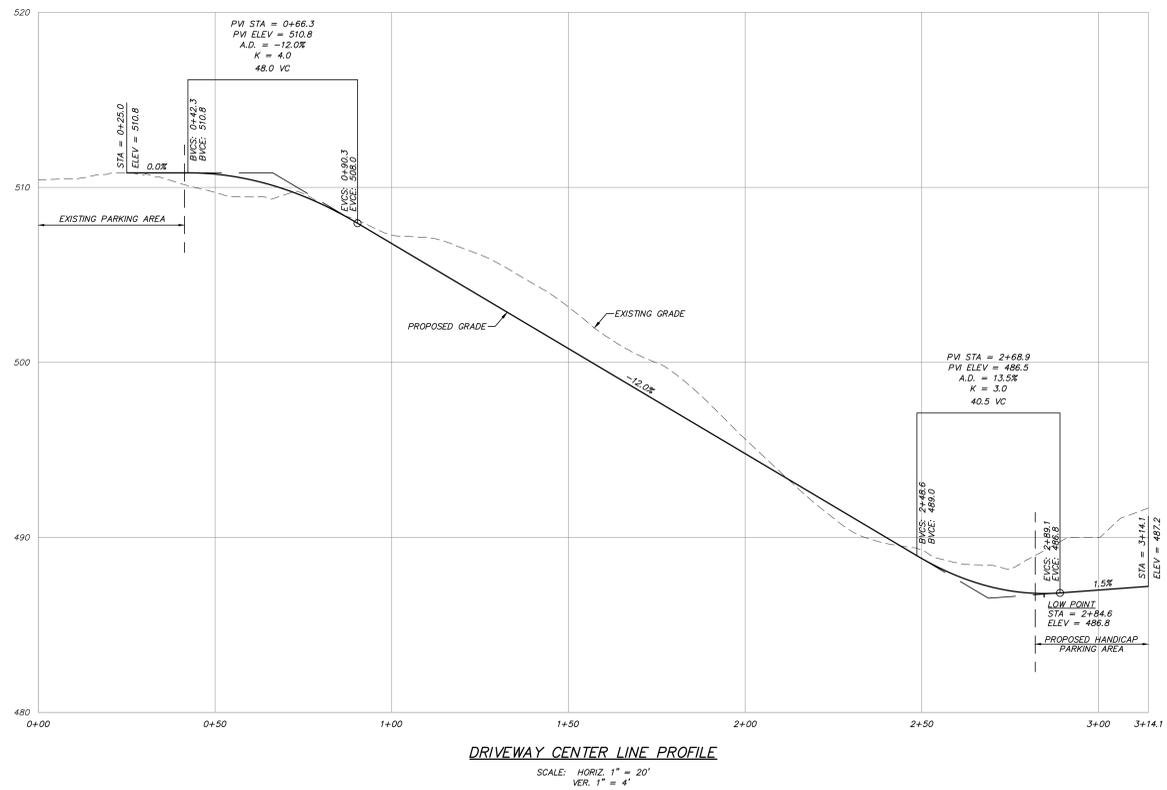
1. PASSENGER VEHICLE TURNING STUDY WITH PASSENGER CAR  
SCALE: 1" = 10'



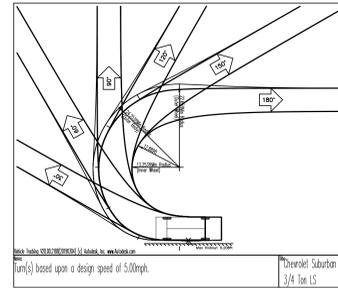
2. PASSENGER VEHICLE TURNING STUDY WITH PASSENGER CAR  
SCALE: 1" = 10'



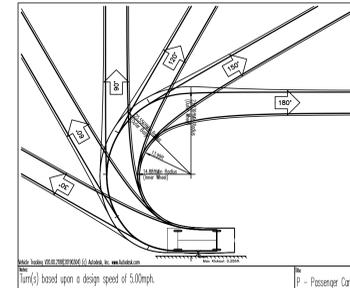
3. PASSENGER VEHICLE TURNING STUDY WITH CHEVROLET SUBURBAN  
SCALE: 1" = 10'



DRIVEWAY CENTER LINE PROFILE  
SCALE: HORIZ 1" = 20'  
VER 1" = 4'



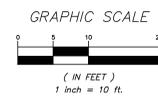
CHEVROLET SUBURBAN TEMPLATE



PASSENGER VEHICLE TEMPLATE

PLANNING BOARD APPROVAL	
Approved by the Resolution of the Lewisboro Planning Board.	
Chair _____	Date _____
Administrator _____	Date _____
TOWN ENGINEER'S CERTIFICATION	
Reviewed for compliance with the Planning Board Resolution dated _____	
Joseph Carmelo, P.E. Kellard Sessions Consulting Town Consulting Engineer	Date _____
OWNER'S / APPLICANT'S CERTIFICATIONS	
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.	
Waccabuc Country Club 90 Mead Street Waccabuc, NY 10587	Date _____

NO.	DATE	REVISION	BY
PROJECT: <b>WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS</b>		PROJECT MANAGER: Z.M.P.	
DRAWING: <b>DETAILS</b>		DRAWN BY: S.M.R.	
PROJECT NUMBER: 20228.100	DATE: 3-29-22	CHECKED BY: D.L.M.	DRAWING NO.: D-3
PROJECT MANAGER: Z.M.P.		SHEET: 8	
DATE: 3-29-22		DRAWN BY: S.M.R.	
SCALE: AS SHOWN		CHECKED BY: D.L.M.	



**PLANNING BOARD  
TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY**

**COORDINATED ENVIRONMENTAL REVIEW**

**NOTICE TO INVOLVED AGENCIES  
DECLARATION OF INTENT TO BE LEAD AGENCY**

**Waccabuc Beach Club Improvements  
Sheet 25A, Block 10813, Lot 1  
Sheet 25, Block 11155, Lot 148**

Date Mailed: 5/11/22

*Hand delivered*

**PLEASE TAKE NOTICE**, that at its meeting held on April 19, 2022, the Town of Lewisboro Planning Board declared its intent to serve as Lead Agency for the coordinated environmental review of the proposed Unlisted Action described below; agreement among the Involved Agencies is requested pursuant to the applicable requirements set forth in SEQRA, 6 NYCRR Part 617.

**PROPOSED ACTION**

The subject property consists of ±9.1 acres of land and is located off of Perch Bay Road within the R-4A Zoning District. The property is owned by the Waccabuc County Club, has frontage on Lake Waccabuc, and is developed with various recreational buildings and amenities to support its private membership. The property obtains access from Perch Bay Road and contains parking areas, a public water well and septic system. The applicant is proposing to renovate the existing boathouse, construct a covered pavilion, replace the existing docks, demolish an existing building, install an outdoor seating area, construct a new snack bar and construct driveways, walkways, handicap access, a new septic system, and stormwater management facilities. The subject property consists of two (2) parcels that are proposed to be merged.

**SITE LOCATION**

Perch Bay Road, Waccabuc, NY (Town of Lewisboro, Westchester County, NY)

**SEQRA CLASSIFICATION AND IDENTIFIED INVOLVED AND INTERESTED AGENCIES**

The proposed action has been preliminarily classified as an Unlisted Action, pursuant to 6 NYCRR Part 617. The following potential Involved and Interested Agencies have been identified:

### **INVOLVED AGENCIES:**

- Town of Lewisboro Planning Board
- Town of Lewisboro Zoning Board of Appeals
- Town of Lewisboro Architecture and Community Appearance Board
- Town of Lewisboro Building Department
- Westchester County Department of Health
- New York City Department of Environmental Protection (NYCDEP)
- New York State Department of Environmental Conservation (NYSDEC)
- New York State Historic Preservation Office

### **INTERESTED AGENCIES**

- Westchester County Planning Board
- South Salem Fire Department

### **COORDINATED ENVIRONMENTAL REVIEW PROCEDURES**

Under the applicable standards of SEQRA, 6 NYCRR Part 617, the Town of Lewisboro Planning Board has concluded that it is the appropriate agency to serve as Lead Agency for the coordinated environmental review of the proposed action discussed above. At its meeting held on April 19, 2022, the Planning Board declared its intent to serve as Lead Agency and authorized the circulation of this Notice to the Involved and Interested Agencies.

This Notice, along with a copy of the Planning Board Application Form, Part 1 of the Full Environmental Assessment Form (EAF), and the submitted plans, is being sent to all Involved and Interested Agencies. Each Involved Agency is hereby requested to fill out the attached Lead Agency Agreement. If any Involved Agency does not agree that the Town of Lewisboro Planning Board should be designated as the Lead Agency, it may follow the procedures set forth in SEQRA 6 NYCRR Part 617. If you have any questions or comments, you may contact:

**Ciorsdan Conran, Planning Board Administrator**  
**Town of Lewisboro**  
**79 Bouton Road, South Salem, NY 10590**  
**Phone: (914) 763-5592**  
**Fax: (914) 763-3637**  
**Email: [Planning@lewisborogov.onmicrosoft.com](mailto:Planning@lewisborogov.onmicrosoft.com)**

Please return the completed Lead Agency Agreement, and any comments you may have on the application, to the above address within 30 days of mailing. If you do not respond within 30 days, it will be interpreted as your consent that the Town of Lewisboro Planning Board serve as Lead Agency.

**TOWN OF LEWISBORO PLANNING BOARD  
COORDINATED ENVIRONMENTAL REVIEW**

**LEAD AGENCY AGREEMENT**

**Waccubuc Beach Club Improvements  
Perch Bay Road  
Cal# 06-22PB**

On behalf of \_\_\_\_\_  
**(INSERT NAME OF AGENCY)**

I acknowledge receipt of the Lead Agency Notice on the above referenced matter, which was mailed on \_\_\_\_\_.

The above named Involved Agency hereby:

***(Please Check One)***

- ( ) **AGREES** that the Lewisboro Planning Board serve as Lead Agency for the coordinated environmental review of the proposed action and requests that the undersigned continue to be notified of all filings and hearings on this matter.
  
- ( ) **DOES NOT AGREE** to the Lewisboro Planning Board serving as Lead Agency and wishes that \_\_\_\_\_ serve as Lead Agency. To contest Lead Agency designation, the undersigned intends to follow the procedures in accordance with SEQRA 6 NYCRR Part 617.6.

Please return within 30 days of the mailing of this correspondence. In addition, please specify the jurisdiction that your agency has over this project, what issues you believe are relevant in connection with this project and any addition comments or questions.

**Ciorsdan Conran, Planning Board Administrator  
Town of Lewisboro  
79 Bouton Road, South Salem, NY 10590  
Phone: (914) 763-5592  
Fax: (914) 763-3637  
Email: Planning@lewisborogov.onmicrosoft.com**

**TOWN OF LEWISBORO PLANNING BOARD**

79 Bouton Road, South Salem, NY 10590 Tel: (914) 763-5592 Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)

**Site Development Plan/Subdivision Plat Application - Check all that apply:**

Waiver of Site Development Plan Procedures	<input type="checkbox"/>			
Site Development Plan Approval	Step I	<input checked="" type="checkbox"/>	Step II	<input type="checkbox"/>
Special Use Permit Approval	Step I	<input type="checkbox"/>	Step II	<input type="checkbox"/>
Subdivision Plat Approval	Step I	<input type="checkbox"/>	Step II	<input type="checkbox"/>
			Step III	<input type="checkbox"/>

**Project Information**

Project Name: Waccabuc Beach Club Accessibility Improvements

Project Address: Perch Bay Road, Waccabuc, NY

Gross Parcel Area: 8.76 AC +/- Zoning District: R-4A Sheet(s): 25<sup>A</sup> Block (s): 10813 / 11155 Lot(s): 01 / 148

Project Description: Proposed improvements for the Waccabuc Beach Club beachfront area:

Renovate existing "Boathouse" building; replace adjacent storage building with covered outdoor seating area "The Pavillion"; replace existing Snack Bar building; provide handicap parking area with access driveway; construct ramps to provide handicap accessibility to Boathouse and Pavillion; including associated stormwater management and OWTS improvements.

Is the site located within 500 feet of any Town boundary?	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>
Is the site located within the New York City Watershed?	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>
Is the site located on a State or County Highway?	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>

Does the proposed action require any other permits/approvals from other agencies/departments?

Town Board	<input type="checkbox"/>	ZBA	<input checked="" type="checkbox"/>	Building Dept.	<input checked="" type="checkbox"/>	Town Highway	<input type="checkbox"/>
ACARC	<input checked="" type="checkbox"/>	NYSDEC	<input checked="" type="checkbox"/>	NYCDEP	<input checked="" type="checkbox"/>	WCDH	<input checked="" type="checkbox"/>
NYSDOT	<input type="checkbox"/>	Town Wetland	<input checked="" type="checkbox"/>	Town Stormwater	<input checked="" type="checkbox"/>		

Other \_\_\_\_\_

**Owner's Information**

Name: Waccabuc Country Club Email: jdassuma@optonline.net

Address: 90 Mead Street, PO Box 400, Waccabuc NY 10597 Phone: 914-763-3144

**Applicant's Information (if different)**

Name: same as owner Email: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

**Authorized Agent's Information**

Name: Zachary Pearson, P.E. Senior Project Engineer Email: zpearson@insite-eng.com

Address: Insite Engineering, Surveying, and Landscape Architecture, P.C., 3 Garrett Place, Carmel, NY 10512 Phone: 845-225-9690

THE APPLICANT understands that any application is considered complete only when all information and documents required have been submitted and received by the Planning Board. The applicant further understands that the applicant is responsible for the payment of all application and review fees incurred by the Planning Board.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief, and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

APPLICANT'S SIGNATURE *John D. Assuma* DATE 02-07-2022

OWNER'S SIGNATURE *John D. Assuma* DATE 02-07-2022

Application No.: \_\_\_\_\_

Fee: \_\_\_\_\_ Date: \_\_\_\_\_

**TOWN OF LEWISBORO  
WETLAND PERMIT APPLICATION**

79 Bouton Road, South Salem, NY 10590

Phone: (914) 763-5592

Fax: (914) 875-9148

Project Address: Perch Bay Road, Waccabuc, NY 10597

Sheet: 25A ~~25~~ Block: 10813 11155 Lot(s): 01 148

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): Proposed improvements for the Waccabuc Beach Club beachfront area: Renovate existing "Boathouse" building; replace adjacent storage building with covered outdoor seating area "The Pavillion"; replace existing Snack Bar building; provide handicap parking area with access driveway; construct ramps to provide handicap accessibility to Boathouse and Pavillion; including associated stormwater management and OWTS improvements.

Owner's Name: Waccabuc Country Club Phone: 914-763-3144

Owner's Address: 90 Mead Street, PO Box 400, Waccabuc, NY 10597 Email: jdassuma@optonline.net

Applicant's Name (if different): same as owner Phone: \_\_\_\_\_

Applicant's Address: \_\_\_\_\_ Email: \_\_\_\_\_

Agent's Name (if applicable): Zachary Pearson, P.E., Sr. Project Engineer Phone: 845-225-9690

Agent's Address: Insite Engineering, Surveying & Landscape Architecture, P.C., 3 Garrett Place, Carmel, NY 10512 Email: zpearson@insite-eng.com

**TO BE COMPLETED BY OWNER/APPLICANT**

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

Administrative  Planning Board

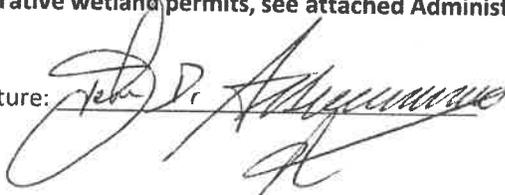
Is the project located within the NYCDEP Watershed?  Yes  No

Total area of proposed disturbance:  < 5,000 s.f.  5,000 s.f. - < 1 acre  x  ≥ 1 acre

Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: \_\_\_\_\_  
Wetland Inspector, ZBA, Building Dept., ACARC, NYSDEC, NYCDEP, and WCDOH

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

**For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.**

Owner Signature: 

Date: 02-07-2022

Application No.: \_\_\_\_\_  
Fee: \_\_\_\_\_ Date: \_\_\_\_\_

**TOWN OF LEWISBORO  
STORMWATER PERMIT APPLICATION**

79 Bouton Road, South Salem, NY 10590  
Phone: (914) 763-5592  
Fax: (914) 875-9148

Project Address: Perch Bay Road, Waccabuc, NY 10597

Sheet: 25A Block: 10813 Lot(s): 01  
25 11155 148

Project Description (describe overall project including all proposed land development activities):

Proposed improvements for the Waccabuc Beach Club beachfront area:

Renovate existing "Boathouse" building; replace adjacent storage building with covered outdoor seating area "The Pavillion"; replace existing Snack Bar building; provide handicap parking area with access driveway; construct ramps to provide handicap accessibility to Boathouse and Pavillion; including associated stormwater management and OWTS improvements.

Owner's Name: Waccabuc Country Club Phone: 914-763-3144

Owner's Address: 90 Mead Street, PO Box 400, Waccabuc, NY 10597 Email: jdassuma@optonline.net

Applicant's Name (if different): same as owner Phone: \_\_\_\_\_

Applicant's Address: \_\_\_\_\_ Email: \_\_\_\_\_

Agent's Name (if applicable): Zachary Pearson, P.E. Senior Project Engineer Phone: (845) 225-9690

Agent's Address: Insite Engineering, Surveying, and Landscape Architecture, P.C., 3 Garrett Place, Carmel, NY 10512 Email: zpearson@insite-eng.com

**TO BE COMPLETED BY OWNER/APPLICANT**

The approval authority is? (see §189-5 of the Town Code)

Town Engineer and Stormwater Management Officer  Planning Board

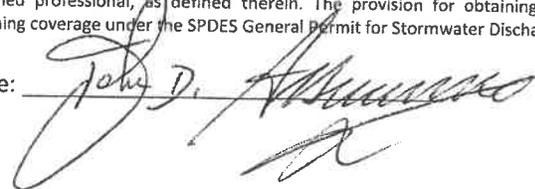
Is the project located within the NYCDEP Watershed?  Yes  No

Total area of proposed disturbance: 5,000 s.f. - < 1 acre  ≥1 acre

Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity?  Yes  No  Requires post-construction stormwater practice

Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: Wetland Inspector, ZBA, Building Dept., ACARC, NYSDEC, NYCDEP, WCDOH

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under §189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

Owner Signature: 

Date: 02-07-2022

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Waccabuc Beach Club Building and Site Improvements		
Project Location (describe, and attach a general location map): Perch Bay Road, Waccabuc, NY Tax Map Sheet 25 Block 11155 Lot 148 and Sheet 25A Block 10813 Lot 04		
Brief Description of Proposed Action (include purpose or need): The project includes the renovation of the existing Boathouse, replacement of the adjacent existing storage building with a covered outdoor seating area (The Pavillion), and replacement of the existing snackbar. The project also includes handicap parking spaces located by the beachfront area, new ramps to provide handicap accessibility to the Boathouse and the Pavillion, relocation of the existing access driveway down to the lake, and stormwater management and OWTS improvements associated with the project. The 2 subject parcels will be merged to facilitate the project.		
Name of Applicant/Sponsor: Waccabuc Country Club		Telephone: 914-763-3144
		E-Mail: jdassuma@optonline.net
Address: 90 Mead Street, P.O. Box 400		
City/PO: Waccabuc	State: NY	Zip Code: 10597
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Site plan, Wetland Permit, Stormwater Permit, MS4 SWPPP Acceptance	2/8/22
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Zoning Board Area Variances and expansion of nonconforming use approval	To Be Determined
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Building Permit ACARC Approval	To Be Determined Approved 4/13/22
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	WCDOH OWTS Approval	To Be Determined
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYCDEP OWTS Approval; NYCDEP Variance for Impervious	To Be Determined To Be Determined
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC GP 0-20-001 coverage; NYSOPRHP Review	To Be Determined To Be Determined
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, identify the plan(s): NYC Watershed Boundary _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s): _____ _____ _____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
R4-A Residential, and Waccabuc Historic District- boathouse is Historically Designated.

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site?

**C.4. Existing community services.**

a. In what school district is the project site located? Katonah-Lewisboro School District

b. What police or other public protection forces serve the project site?  
Town of Lewisboro Police Department

c. Which fire protection and emergency medical services serve the project site?  
Lewisboro Volunteer Ambulance Corps; South Salem Fire Department

d. What parks serve the project site?  
Mountain Lakes Park; Lewisboro Town Park; Long Pond Preserve; Pine Croft Meadow Preserve

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Recreational

b. a. Total acreage of the site of the proposed action? 9.1 +/- acres  
b. Total acreage to be physically disturbed? 1.2 +/- acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 9.1 +/- acres

c. Is the proposed action an expansion of an existing project or use? Expansion of building square footage.  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 254 Units: Square feet Net increase 2,374 sf

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
Lot merger  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? 0  
iv. Minimum and maximum proposed lot sizes? Minimum Maximum

e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: 12 months  
ii. If Yes:  
• Total number of phases anticipated  
• Anticipated commencement date of phase 1 (including demolition) month year  
• Anticipated completion date of final phase month year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases:

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures 2 To replace one building and expand another building

ii. Dimensions (in feet) of largest proposed structure: 20± height; 54± width; and 66± length

iii. Approximate extent of building space to be heated or cooled: 1,504± square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

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**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  Yes  No  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

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b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): Local wetland buffer: Lake Waccabuc - NYSDEC Class A Watercourse

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:  
 A portion of the paved driveway extension will be within the local wetland 150' buffer. Total disturbance within the wetland buffer is approx. 15,000 square feet. The pavilion addition, snack bar replacement, paved patio, and a portion of the paved handicap parking will be within the 100' NYCDEP impervious surface limiting distance to Lake Waccabuc as well as the 150' Town of Lewisboro Watercourse Buffer. A total of approximately 7,615 square feet of new impervious surface will be within the NYCDEP limiting distance.

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No  
 If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
 If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_  
 Proposed stormwater management practices as detailed in SWPPP; native vegetation and tree plantings.

c. Will the proposed action use, or create a new demand for water? Project is upgrading existing facilities and not expansion of use.  Yes  No  
 If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
 If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
 If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No  
 If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 1,800 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
 Sanitary wastewater \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
 If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will a line extension within an existing district be necessary to serve the project?  Yes  No

 If Yes:
 

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:
 

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
Private onsite wastewater treatment system will be installed for the project to replace the existing, non-compliant system.

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
N/A

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e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:
 

- How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or 0.22± acres (impervious surface)  
 \_\_\_\_\_ Square feet or 9.1± acres (parcel size)
- Describe types of new point sources. Roof runoff from boathouse addition, new snack bar building, new driveway and handicap parking area, retaining walls.  
 \_\_\_\_\_
- Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
On-site stormwater management practices.

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
Stormwater practices will overflow to Lake Waccabuc
- Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:
 

- Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_
- Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_
- Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:
 

- Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No
- In addition to emissions as calculated in the application, the project will generate:
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
  - \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
  - \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
  - \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

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k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No N/A

If Yes: Project is recreational (not commercial or industrial).

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 8am - sunset _____</li> <li>• Saturday: _____ 8am - sunset _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ Hours vary seasonally - refer to _____</li> <li>• Saturday: _____ Waccabuc Beach Club Business _____</li> <li>• Sunday: _____ Plan for Details. _____</li> <li>• Holidays: _____</li> </ul>
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m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 Increase in noise levels is anticipated during construction. No increase in noise levels over existing are anticipated during operation.

If yes:  
 i. Provide details including sources, time of day and duration: Construction noises are anticipated to exceed existing ambient noise levels. Hours of construction will be limited to Monday to Saturday 8:00 AM to Sunset. During operations, there will be the same number of users as currently use the site, and there may be new activity in the pavilion. The existing boat house is 370 ft. from the nearest residence, and the pavilion will be 350 ft. from the nearest residence.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: Existing perimeter vegetation will be preserved to the maximum extent possible. Screening at waterfront will remain the same, with the exception of selected trees removed on the far northwest portion of the property & a few trees to the east of the pavilion. Additional trees to be removed between existing buildings & areas internal to the site. Some activities will be relocated to the pavilion, but it is not anticipated to have higher noise levels at the site during operation.

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 Recessed lights & sconces in covered outdoor areas, post-mounted area lights in new handicap parking area and firepit area. All new lights will be a minimum of 350 feet from nearest residences. Post-mounted lights will be dark sky compliant, 8ft. max mounted height.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Screening at waterfront will remain the same, with the exception of selected trees removed on the far northwest portion of the property and a few to the east of the pavilion. Additional trees will be removed on the interior of the site. Trees will be replanted near where they are removed to re-establish screening.

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:  
 Snack bar and fire pits.

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 • Operation: \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 • Operation: \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): Recreational

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertsypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.00	1.22	0.22 +/-
• Forested	8.00	7.78	-0.22 +/-
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	No change
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	No change
• Surface water features (lakes, ponds, streams, rivers, etc.)	0.07	0.07	No change
• Wetlands (freshwater or tidal)	0.02	0.02	No change
• Non-vegetated (bare rock, earth or fill)	0.01	0.01	No change
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

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**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? Greater than 6.5 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? .01 %

c. Predominant soil type(s) present on project site:

PoC Paxton Fine Sandy Loam	50 %
CsD- Chatfield-Charlton Complex	37 %
PnC - Paxton Fine Sandy Loam	12 %
Water	1%

d. What is the average depth to the water table on the project site? Average: 2.3 feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained:	<u>98</u> % of site
<input type="checkbox"/> Moderately Well Drained:	<u>      </u> % of site
<input checked="" type="checkbox"/> Poorly Drained	<u>2</u> % of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	<u>7</u> % of site
<input checked="" type="checkbox"/> 10-15%:	<u>44</u> % of site
<input checked="" type="checkbox"/> 15% or greater:	<u>49</u> % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

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h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name Lake Waccabuc Classification A
- Wetlands: Name Federal Waters, Federal Waters, Federal Waters Approximate Size 0.02 ac
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

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i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:

i. Name of aquifer: \_\_\_\_\_

<p>m. Identify the predominant wildlife species that occupy or use the project site:  Deer, birds, small mammals and aquatic species _____  _____</p>	
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>  If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____  _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>  If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____  _____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>  If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____  _____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>  If yes, give a brief description of how the proposed action may affect that use: _____  _____</p>	
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>  If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>  i. If Yes: acreage(s) on project site? _____  ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>  If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p style="margin-left: 40px; font-size: small;">*Per the National Park Service website, the only one noted in Westchester County is the Mianus River Gorge, which is not located within 500 feet of the subject property.</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>  If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: Waccabuc Historic District (2014)

iii. Brief description of attributes on which listing is based:  
Boathouse building at least 50 years old.

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f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

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g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

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h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: \_\_\_\_\_

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_

iii. Distance between project and resource: \_\_\_\_\_ miles.

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i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

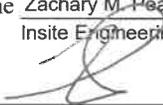
Attach any additional information which may be needed to clarify your project.

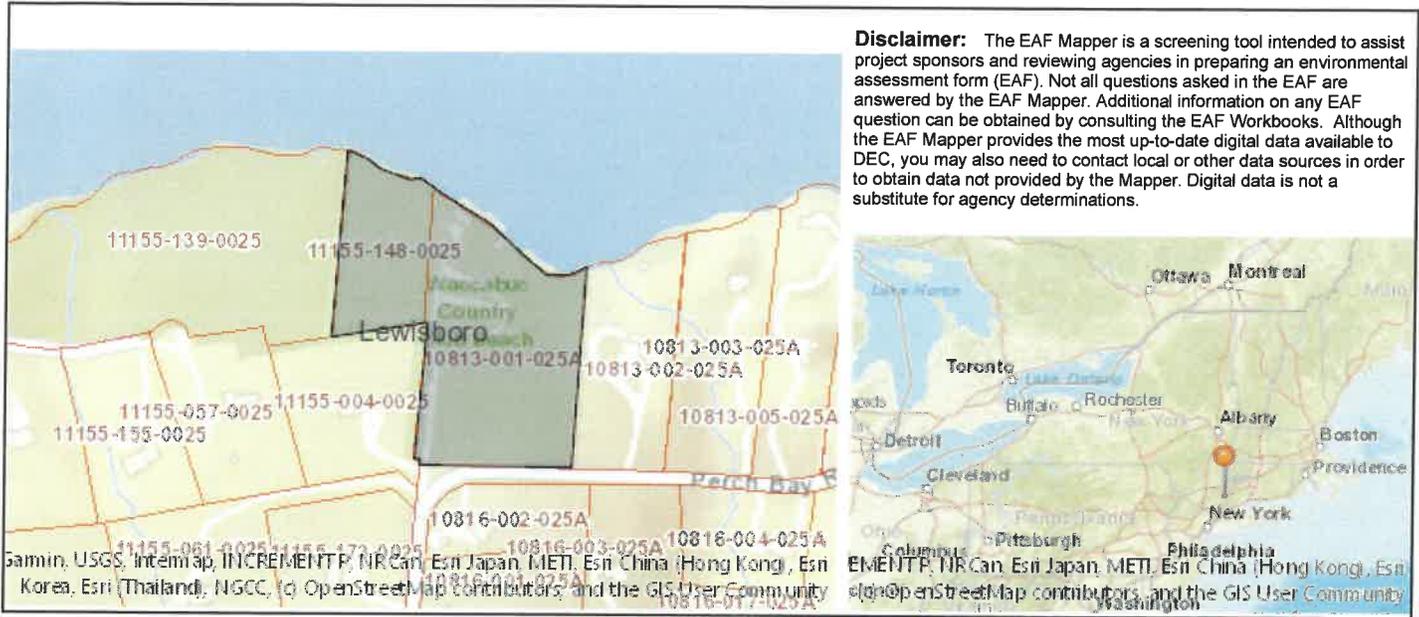
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Zachary M. Pearson, P.E. Date March 29, 2022  
Insite Engineering, Surveying & Landscape Architecture, P.C.

Signature  Title Senior Project Engineer



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYC Watershed Boundary
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Waccabuc Historic District (2014)
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No