

TOWN OF LEWISBORO
Westchester County, New York

Zoning Board of Appeals
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3822
Fax: (914) 533-0097
Email: zoning@Lewisborogov.com

AGENDA

Wednesday, May 25, 2022, 7:30 P.M.

79 Bouton Road, South Salem,
Justice Court

- I. Review and adoption of the Minutes of April 2022**
- II. PUBLIC HEARING**

CAL. NO. 08-22-BZ

Application of Michael Liffland, [Liffland, Michael V. & Corrie L., owner of record], 1187 Route 35, South Salem, NY for the following variance of a proposed 6ft high fence whereas a 4ft high fence is allowed per Article IV Section 220-12E of the Town of Lewisboro Zoning Code.

The property is located on the south side of (#1187) Route 35 South Salem, NY designated on the Tax Map as Sheet 0031, Block 12669 Lot 030, in an R-1/2A, Half-Acre Residential District consisting of approximately 1.19 acres

CAL. NO. 01-22-SP

Application of Anthony and Annemarie Mendola, 1320 Route 35, South Salem, NY 10590 for the renewal of a Special Permit pursuant to Article IV, § 220-23A (9) and Article V, § 220-38 of the Zoning Ordinance to allow the storage of Contractor's Equipment.

The property is located on the north side of NYS Route 35, designated on the Tax Map as Sheet 39, Block 10543, Lot 39, in an R-2A, Two-Acre Residential District consisting of approximately 2.00 acres.

CAL. NO. 10-22-BZ

Application of Barbara Arnold [Arnold, Stephen & Barbara S., owner of record], 28 Main Street, South Salem, NY for the following variance of the proposed generator will have a southern side yard setback of 3.4' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code; the proposed LP tanks will have a southern side yard setback of 5' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code; the proposed LP tanks will have a eastern front yard setback of 40.2' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#28) Main Street, South Salem, NY designated on the Tax Map as Sheet 0031 Block 10805 Lot 019, in a SCR-2AC, Special Character Two-Acre Residential District, consisting of approximately 2.00 acres.

CAL. NO. 11-22-BZ

Application of Robert Andrews, [Andrews, Suzanne C., owner of record], 284 Smith Ridge Road, South Salem, NY for the following variance of the proposed accessory garage/office will have a floor area of 667 square feet whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#284) Smith Ridge Road, South Salem, NY designated on the Tax Map as Sheet 0049, Block 09827, Lot 013, in an R-4AC, Four Acre Residential District consisting of approximately 21.82 acres.

CAL. NO. 12-22-BZ

Application of Waccabuc Country Club, [Waccabuc Country Club Co., owner of record], 0 Carriage House Road, Waccabuc, NY and Donald A. & Teresa E. Harder [The Donald A. Harder Revocable Living Trust & The Teresa E. Harder Revocable Living Trust, owner of record] 128 Mead Street, Waccabuc, NY, for the following lot line change; The Waccabuc Country Club, which is an existing non-conforming use, proposes to acquire a portion of a neighboring lot whereas this is not permitted per Article III Section 220-9B(1).

The property is located on the north side of (#0) Carriage House Road, Waccabuc, NY, designated on the Tax Map as Sheet 0022, Block 10802 Lot 036, in an R-4A, Four-Acre Residential District consisting of approximately 42.50 acres; and the west side of (#128) Mead Street, Waccabuc, NY, designated on the Tax Map as Sheet 0022, Block 10802 Lot 059 & 083, in an R-4A, Four-Acre Residential District consisting of approximately 48.62 acres.

CAL. NO. 13-22-BZ

Application of Rini, James & Langel, Elizabeth, [Rini, James M. & Langel, Elizabeth M., owner of record], 15 Benedict Road, South Salem, NY for the following variance of the proposed accessory garage/office will have a floor area of 1875 square feet whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code.

The property is located on the north side of (#15) Benedict Road, South Salem, NY designated on the Tax Map as Sheet 0033, Block 11155, Lot 010, in an R-2AC, Two Acre Residential District consisting of approximately 1.07 acres.

III. CORRESPONDENCE & GENERAL BUSINESS

Board to discuss Town of Lewisboro Planning Board, DECLARATION OF INTENT TO BE LEAD AGENCY for the Waccabuc Beach Club Improvements.

IV. NEXT MEETING

June 22, 2022

V. ADJOURN MEETING

(914) 763-3822
FAX (914) 875-9148
TTY 800-662-1220
Email: zoning@lewisborogov.com
www.lewisborogov.com



TOWN OF LEWISBORO
Zoning Department
79 Bouton Road
South Salem, NY 10590

TOWN OF LEWISBORO, WESTCHESTER COUNTY

ZONING DEPARTMENT

ZONING BOARD OF APPEALS – MAY 25, 2022

<u>APPLICANT</u>	<u>CAL #</u>	<u>PAGE(S)</u>
LIFFLAND	08-22-BZ	4 to 7
MENDOLA	01-22-SP	8 to 9
ARNOLD	10-22-BZ	10 to 13
ANDREWS	11-22-BZ	14 to 22
WACCABUC COUNTRY CLUB	12-22-BZ	23 to 25
RINI	13-22-BZ	26 to 33
DECLARATION OF INTENT TO BE LEAD AGENCY	Waccabuc Beach Club Improvements	34 to 62

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, April 27, 2022, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 08-22-BZ

Application of Michael Liffland, [Liffland, Michael V. & Corrie L., owner of record], 1187 Route 35, South Salem, NY for the following variance of a proposed 6ft high fence whereas a 4ft high fence is allowed per Article IV Section 220-12E of the Town of Lewisboro Zoning Code.

The property is located on the south side of (#1187) Route 35 South Salem, NY designated on the Tax Map as Sheet 0031, Block 12669 Lot 030, in an R-1/2A, Half-Acre Residential District consisting of approximately 1.19 acres.

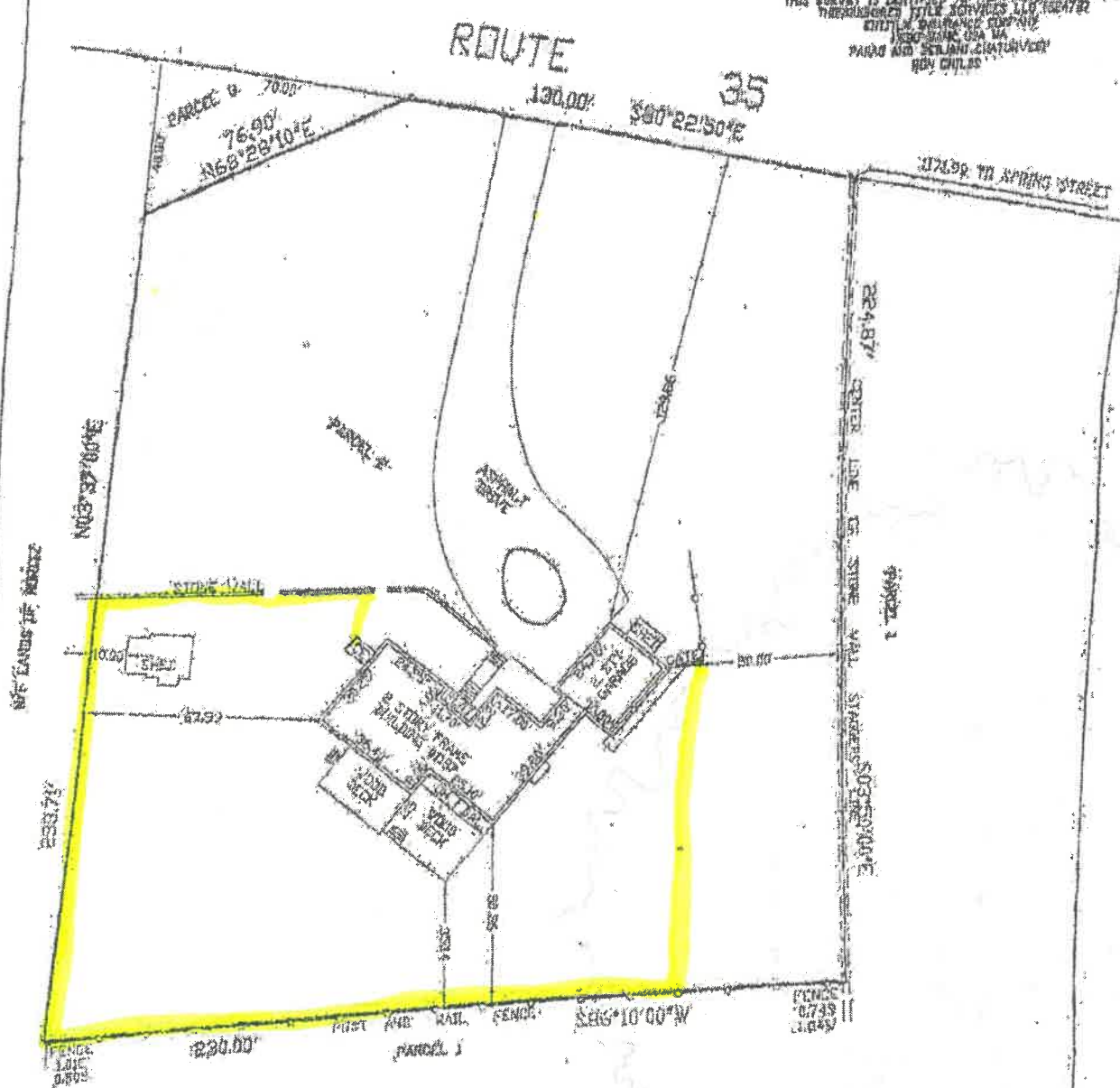
Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 1st day of April 2022
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

THIS SURVEY IS CERTIFIED TO THE FOLLOWING PARTIES
 REPRESENTED BY THE SURVEYOR'S LICENSE
 EDITH L. BURMAN, SURV.
 WESTBANK USA, INC.
 PARCEL AND SETBACK CALCULATED
 BY CHAS.



THIS SURVEY IS CERTIFIED TO THE FOLLOWING PARTIES
 REPRESENTED BY THE SURVEYOR'S LICENSE
 EDITH L. BURMAN, SURV.
 WESTBANK USA, INC.
 PARCEL AND SETBACK CALCULATED
 BY CHAS.



SURVEY OF
 PARCEL 1
 MAP OF PROPERTY PREPARED FOR
 EDITH L. BURMAN, SURV.
 WESTBANK USA, INC.
 PARCEL AND SETBACK CALCULATED
 BY CHAS.

TITLE SURVEY	
PREPARED FOR CHATHAM	
STATE OF NEW YORK	
1157 ROUTE 35, SOUTH SALEM WESTBANK COUNTY, NEW YORK	
DSP SURVEYING	PREPARED BY
178 BELL HOLLOW ROAD	
PUTNAM VALLEY, NY 10029	
ME No. 7220	DATE: 8/2/18
	SCALE: 1"=40'



OFFICE.MIDHUDSONFENCE@GMAIL.COM

DEPOSITS ARE NON REFUNDABLE.

THIS PRICE QUOTE IS GUARANTEED UNTIL FRIDAY, MARCH 18, 2022 AT NOON
PRICING BASED ON CHECK PAYMENTS. CREDIT CARD PAYMENTS WILL INCUR A
2.25% COURTESY FEE. 50% DEPOSIT IS REQUIRED TO SECURE MATERIALS.

*the clearing of all fence lines or any obstruction all underground wires (CALL BEFORE YOU DIG 811), pipes and sprinklers not indicated to our installers prior to digging Supplying of survey stakes or marking of fence lines and to be fully responsible for the location of fence. ALL added charges for changes in contract after material is made/or any delays caused by owner or owners agent to our installers, prior to or after installation has started

*Rock drilling, core drilling, etc. will be added to final invoice

*It is fully understood that the installed fence remains the property of Mid-Hudson Fence until paid for in full.

FULL PAYMENT OF CONTRACT DUE TO INSTALLERS AT COMPLETION

*All balances are subject to a service charge of 2% per month. (Annual Percentage Rate of 24%) Delinquent accounts will be liable for collection and legal fees incurred.

TO CONFIRM: Kindly return, signed with deposit. Materials are ordered once deposits are received. Deposits are non-refundable.

Any add on materials after deposit has been made will be charged at the current market pricing. Credit Card transactions incur a 2.25% fee

SUB TOTAL	\$ 25,200.00
SALES TAX	
TOTAL	\$ 25,200.00
DEPOSIT (50%)	\$ 12,600.00
BALANCE DUE AT COMPLETION)	\$ 12,600.00

CK#:

Date: _____

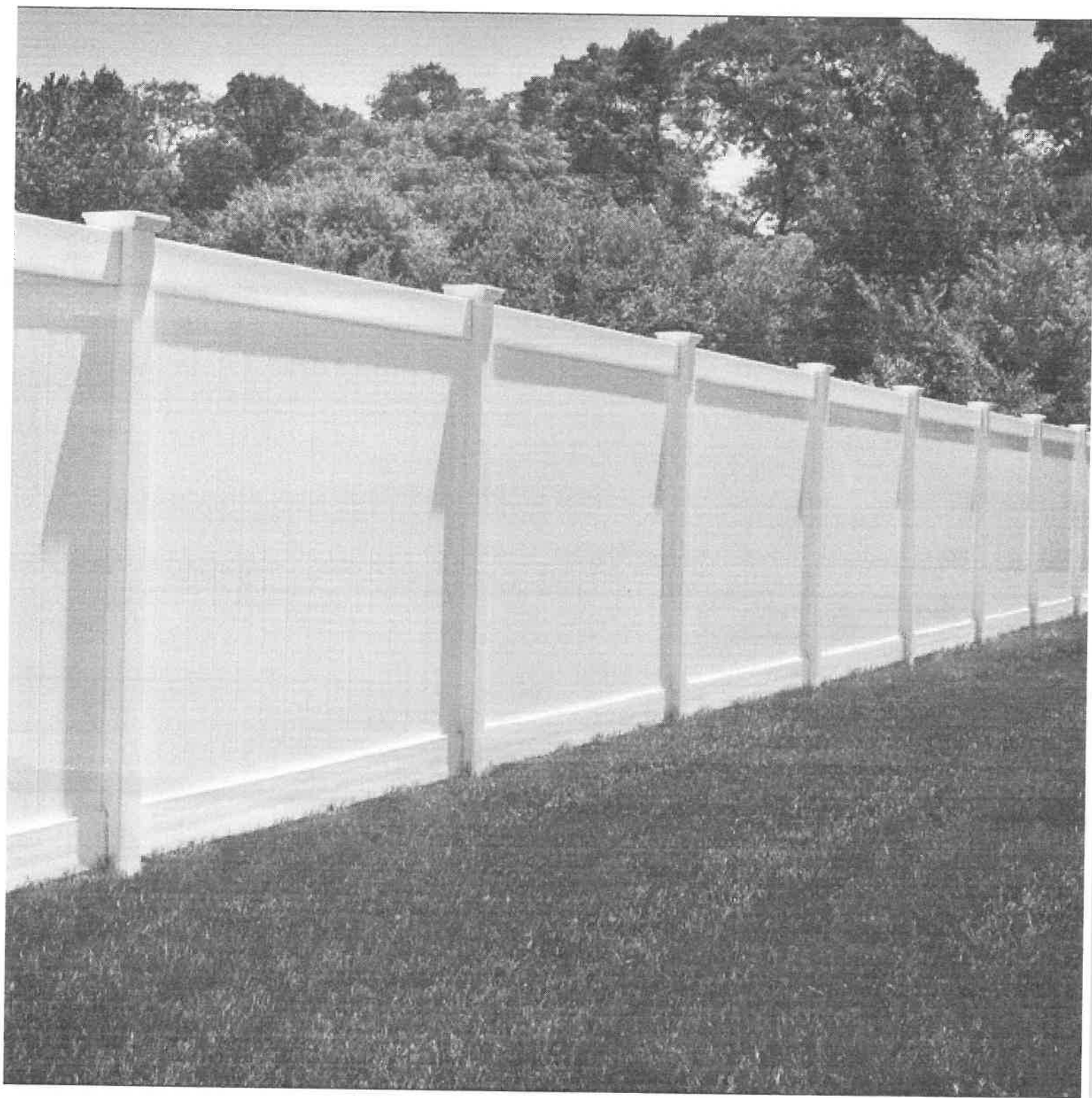
CK#:

Date:

INITIAL DEPOSIT (50%)	\$ 12,600.00
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FINAL BALANCE (DUE ON COMPLETION)	\$ 12,600.00
--	---------------------

DATE: _____



ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

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CAL. NO. 01-22-SP

Application of Anthony and Annemarie Mendola, 1320 Route 35, South Salem, NY 10590 for the renewal of a Special Permit pursuant to Article IV, § 220-23A (9) and Article V, § 220-38 of the Zoning Ordinance to allow the storage of Contractor's Equipment.

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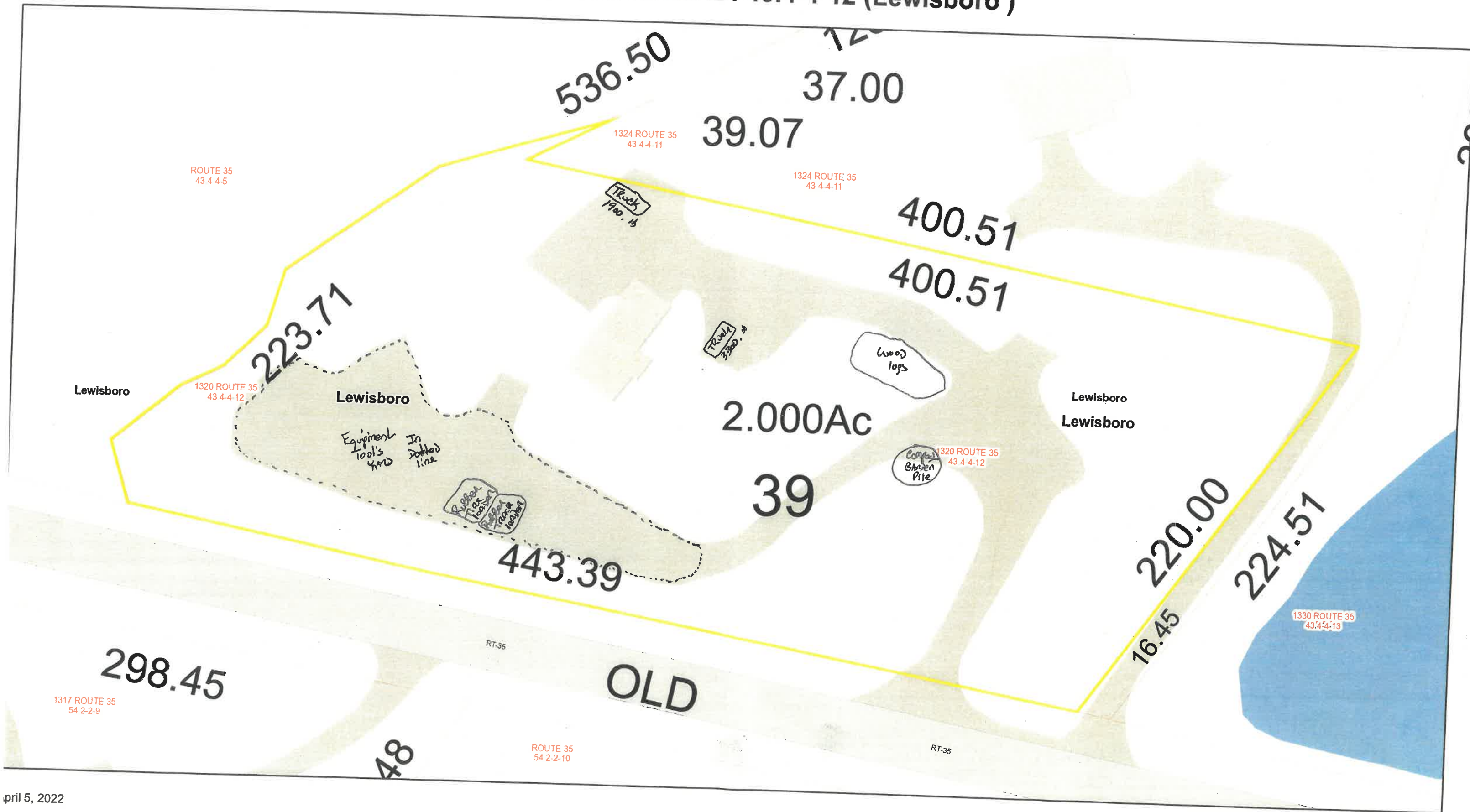
Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals at the Town Offices at 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 22nd day of April, 2022
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: Robin Price, Jr.
CHAIRMAN**

The town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

1320 ROUTE 35. ID: 43.4-4-12 (Lewisboro)



April 5, 2022

Map data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

1:500

N

0 20 40 80 ft

Westchester County GIS

<http://giswww.westchestergov.com>
Michaelian Office Building
148 Martine Avenue Rm 214

ZONING BOARD OF APPEALS

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By: ROBIN PRICE
CHAIR**

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"SUBDIVISION MAP PREPARED FOR HENRY SCHMIDT, ETC."
FILED JUNE 3, 1968 AS MAP NO. 16047



JOB NO. F22-010

ARNOLD GENERATOR & TANK
28 MAIN ST, SO. SALEM





ARNOLD GENERATOR & TANK

28 MAIN ST. SO. SALEM

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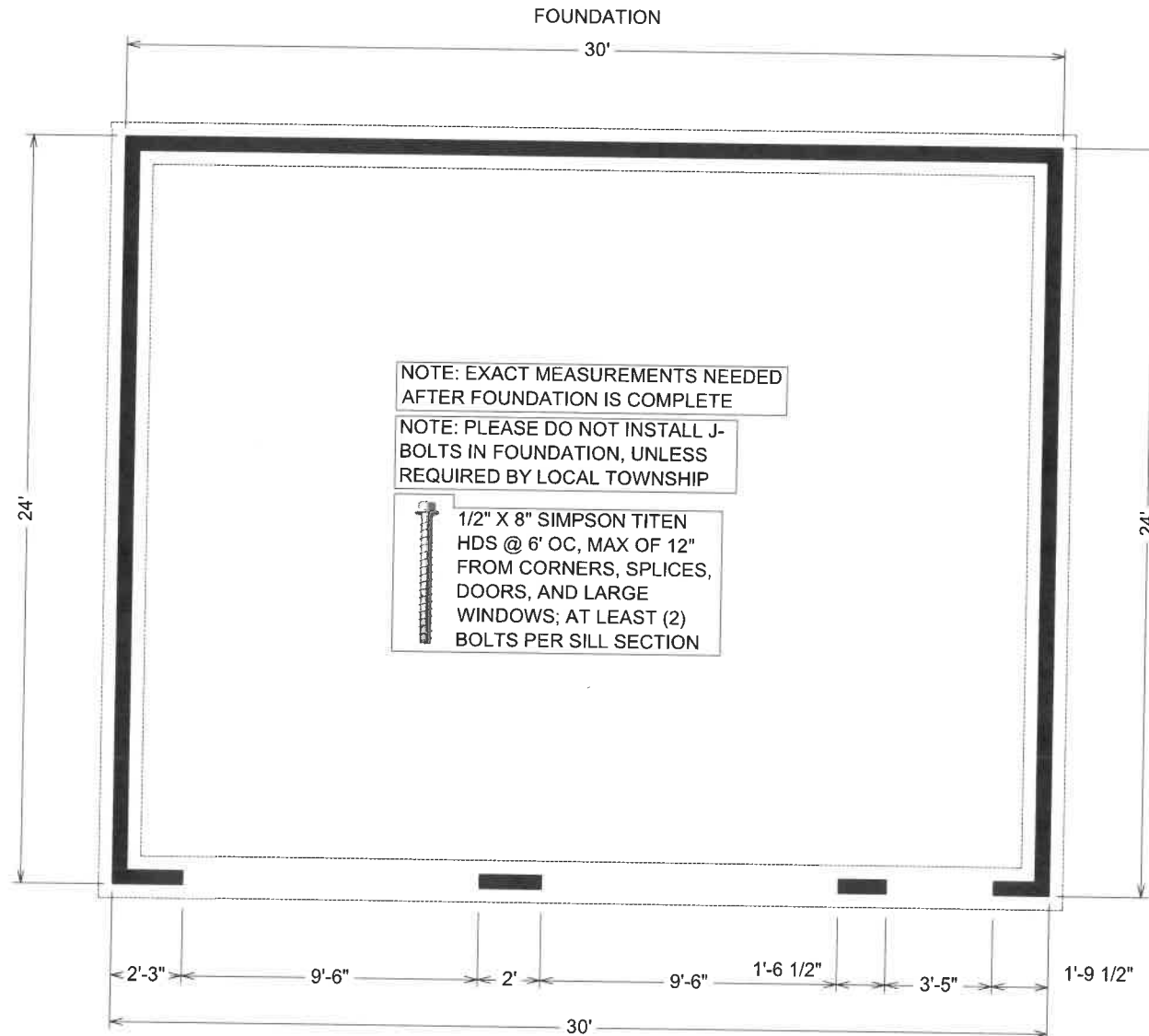
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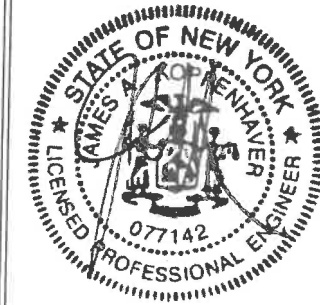
**Dated this 29th day of April 2022
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

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seal:



REVISIONS:			
2/24/2022			
3/14/2022			
3/23/2022			

Est. #1001346 Job Name:

Robert Andrews
284 Smith Ridge Rd.
South Salem, NY 10590

Sheds Unlimited LLC
2025 Valley Rd
Morgantown, PA 19543

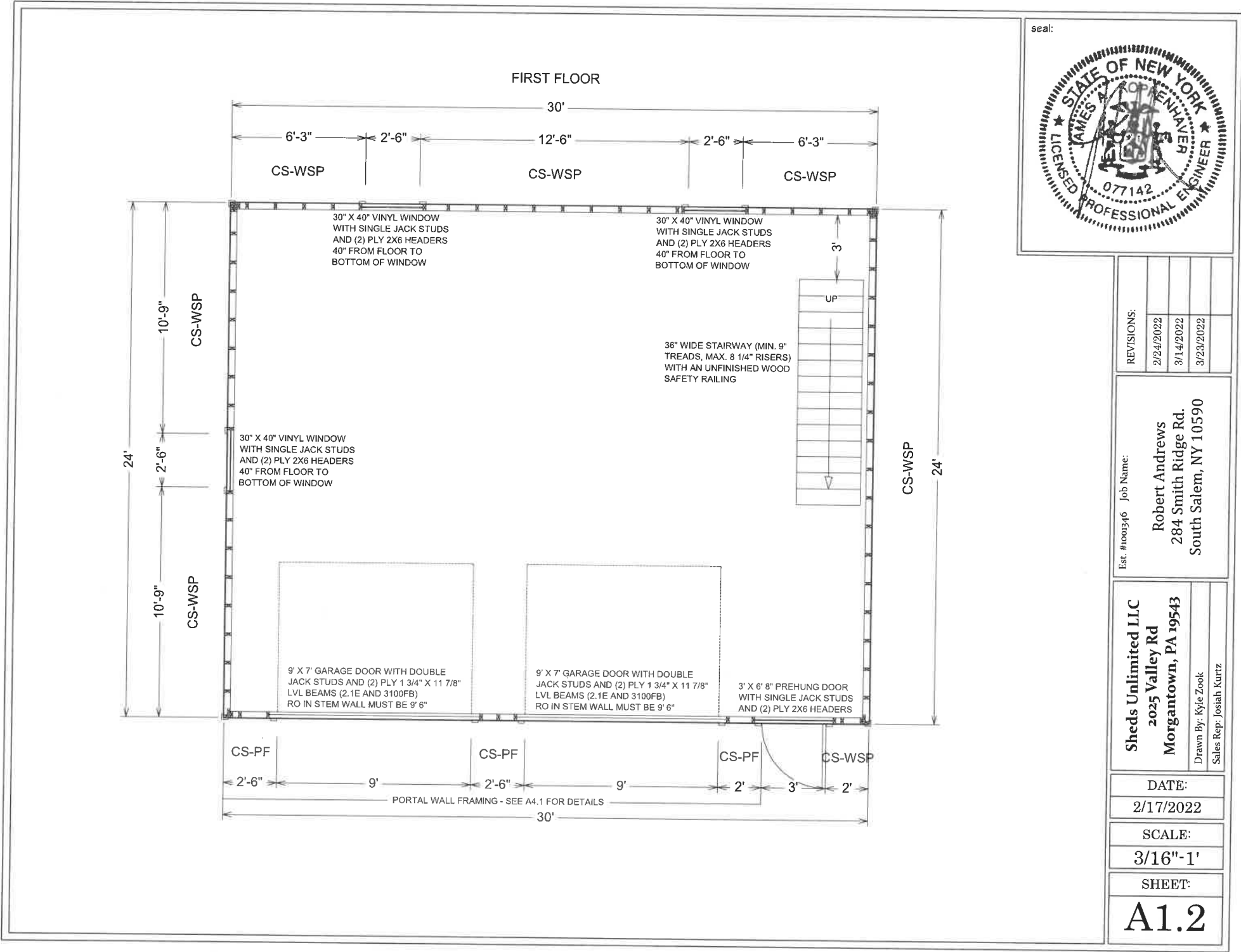
Drawn By: Kyle Zook

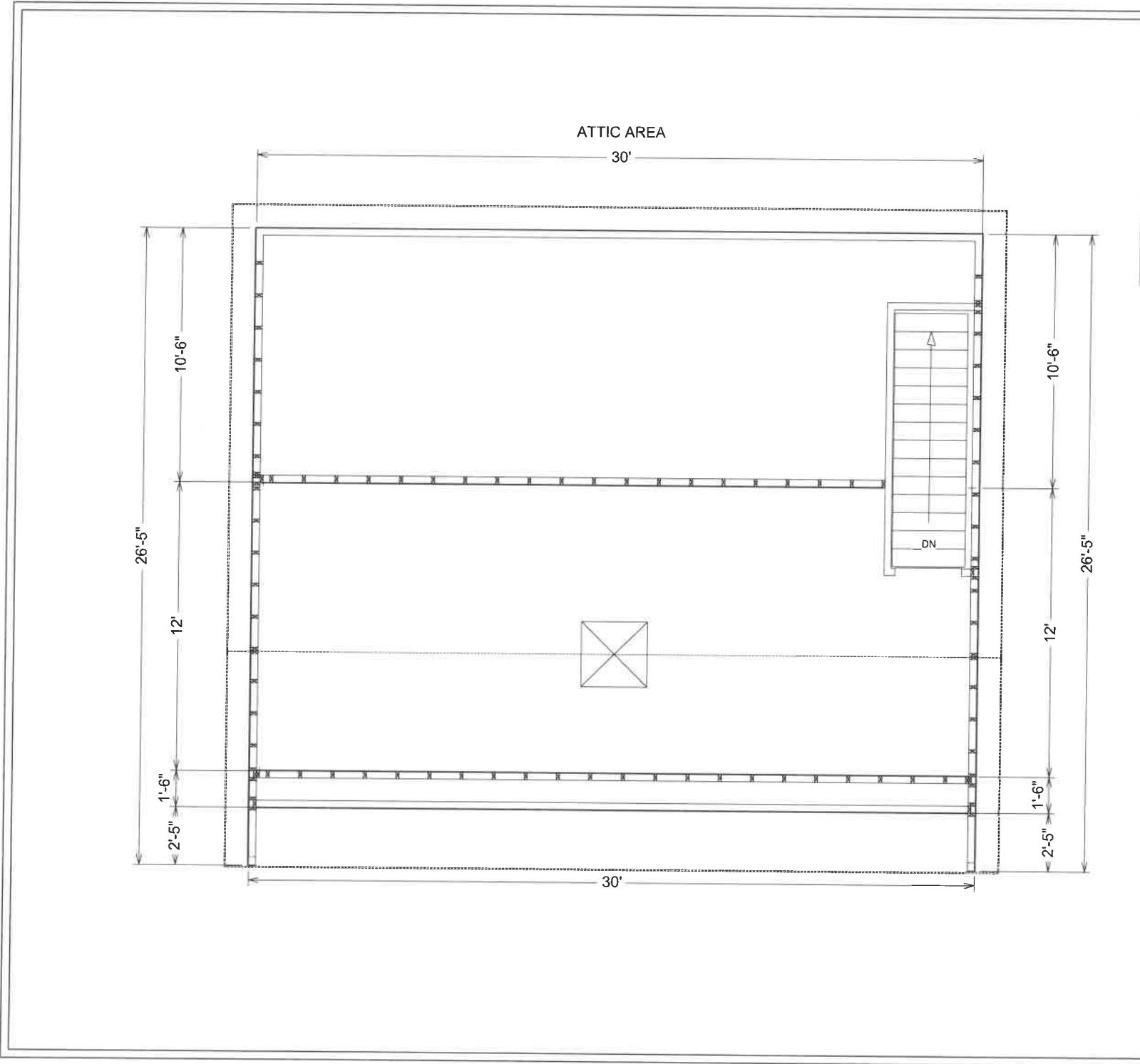
Sales Rep: Josiah Kurtz

DATE:
2/17/2022

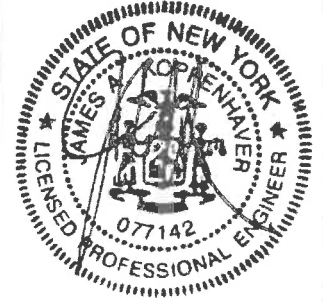
SCALE:
3/16"-1'

SHEET:
A1.1





seal:



REVISIONS:			
2/24/2022			
3/14/2022			
3/23/2022			

Est. #1001346 Job Name:
Robert Andrews
284 Smith Ridge Rd.
South Salem, NY 10590

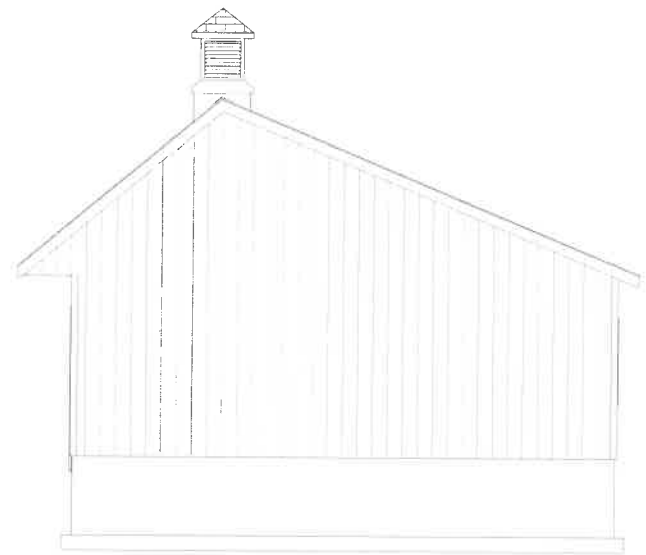
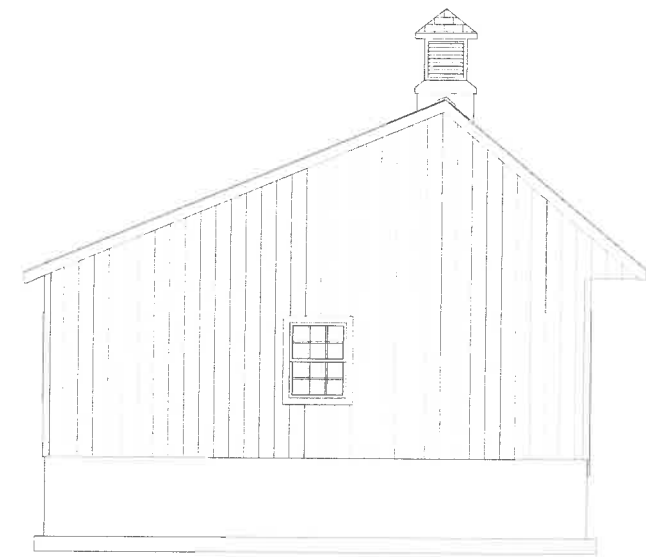
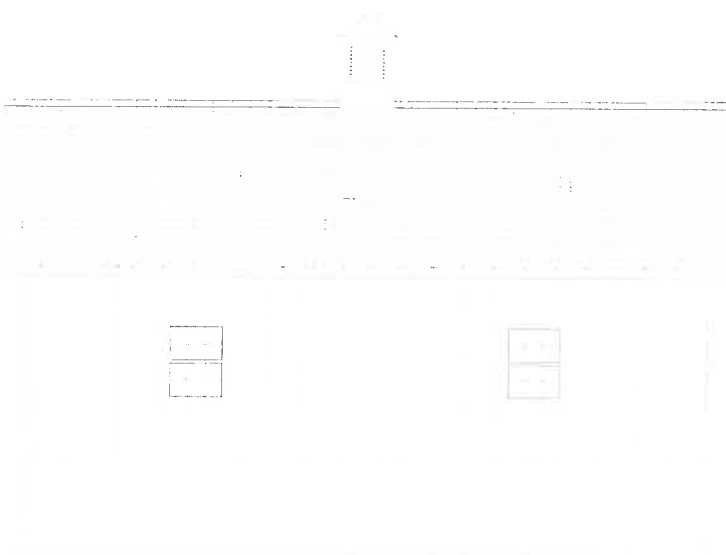
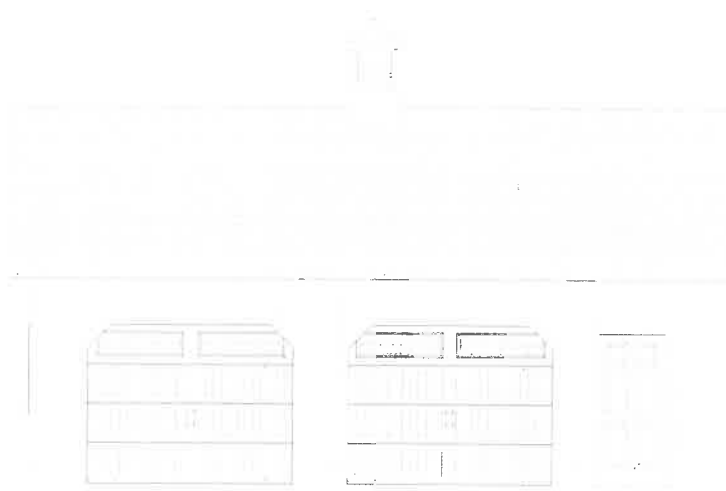
Sheds Unlimited LLC
2025 Valley Rd
Morgantown, PA 19543
Drawn By: Kyle Zook
Sales Rep: Josiah Kurtz

DATE:
2/17/2022

SCALE:
3/16"-1'

SHEET:

A1.3



seal:



REVISIONS:			
	2/24/2022	3/14/2022	3/23/2022

Est. #100346 Job Name:
Robert Andrews
284 Smith Ridge Rd.
South Salem, NY 10590

Sheds Unlimited LLC
2025 Valley Rd
Morgantown, PA 19543
Drawn By: Kyle Zook
Sales Rep: Josiah Kurtz

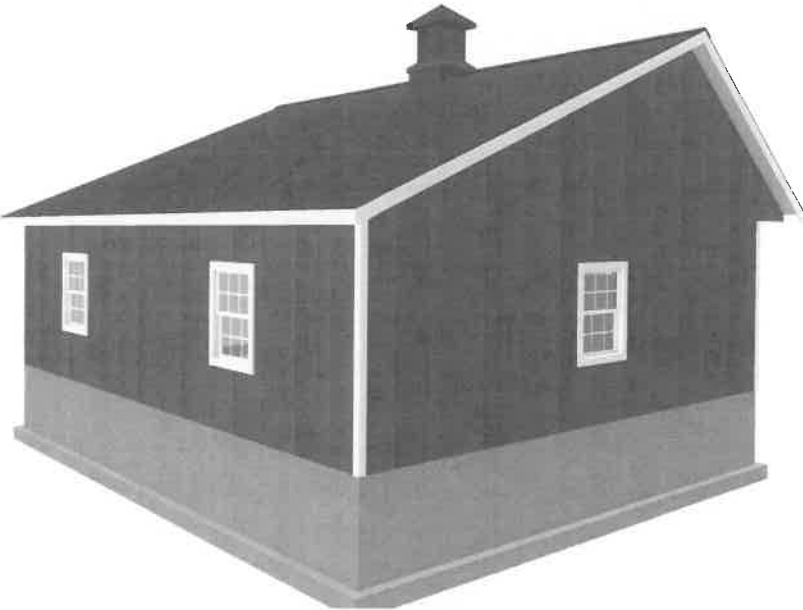
DATE:
2/17/2022

SCALE:
1/8"-1'

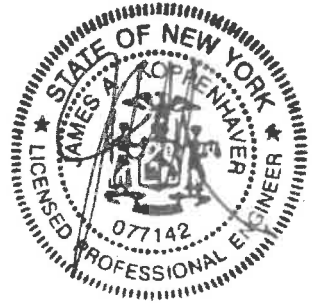
SHEET:
A2.1



IMAGES ARE NOT TO SCALE AND COLORS ARE EXAMPLES ONLY



seal:



REVISIONS:	
	2/24/2022
	3/14/2022
	3/23/2022

Est. #100346 Job Name:

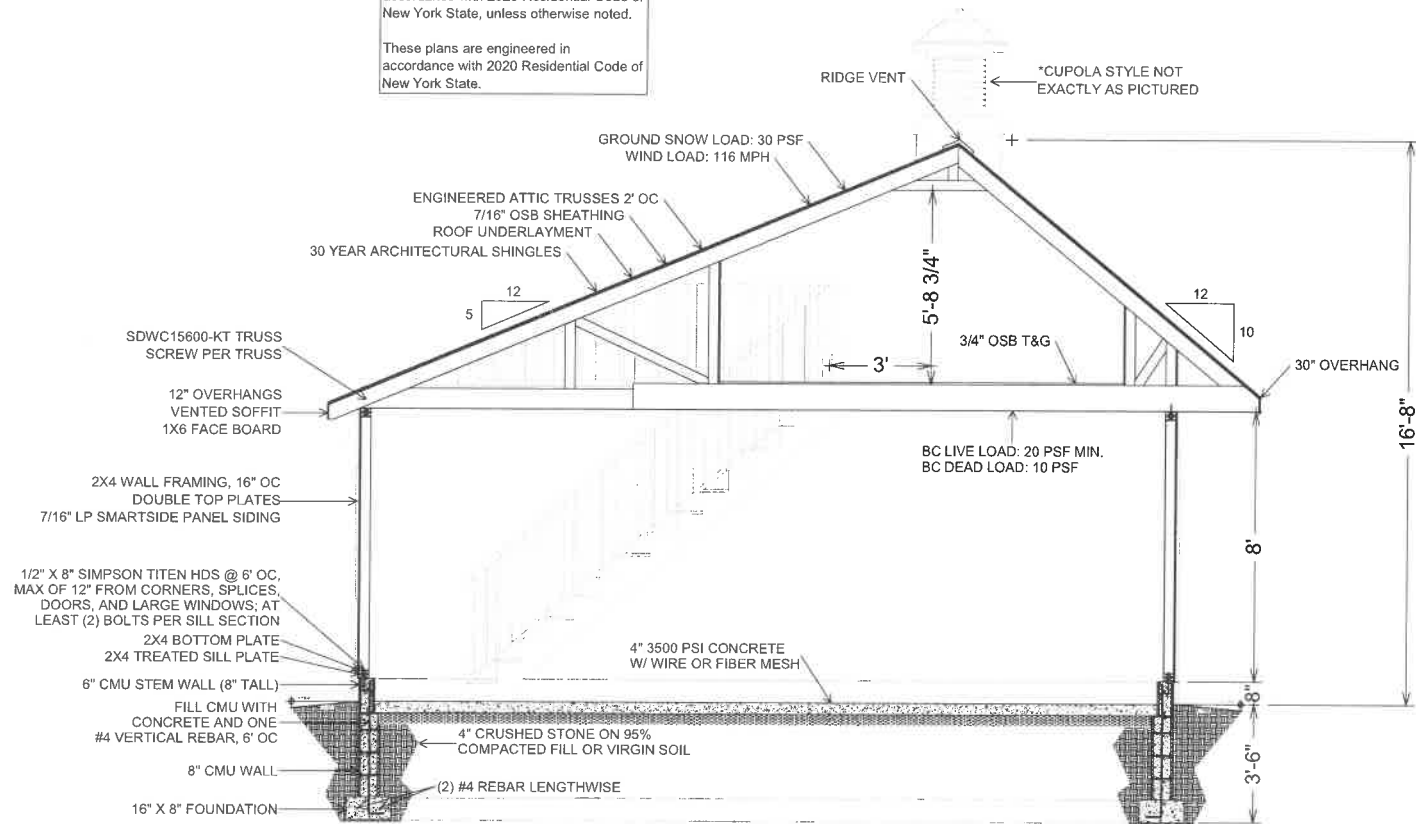
Robert Andrews
284 Smith Ridge Rd.
South Salem, NY 10590

Sheds Unlimited LLC
2025 Valley Rd
Morgantown, PA 19543

Drawn By: Kyle Zook
Sales Rep: Josiah Kurtz

DATE:
2/17/2022
SCALE:
NTS
SHEET:
A2.2

These plans are engineered in accordance with 2020 Residential Code of New York State.



A circular professional engineer seal for the State of New York. The outer ring contains the text "STATE OF NEW YORK" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. Inside the ring, the name "JAMES A. ROPAR" is written in an arc. The center of the seal features a graphic of a balance scale. Below the scale, the license number "077142" is printed.

REVISIONS:	
2/24/2022	
3/14/2022	
3/23/2022	

Est. #1001346 Job Name:

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South Salem, NY 10590

Sheds Unlimited LLC
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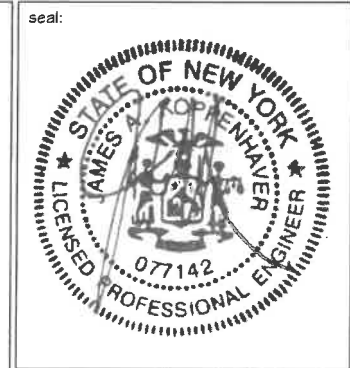
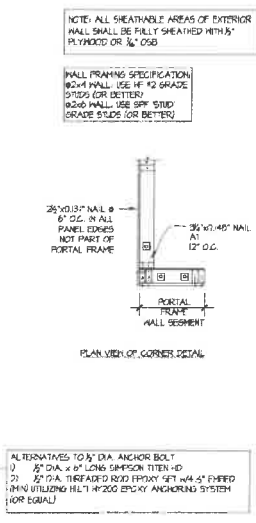
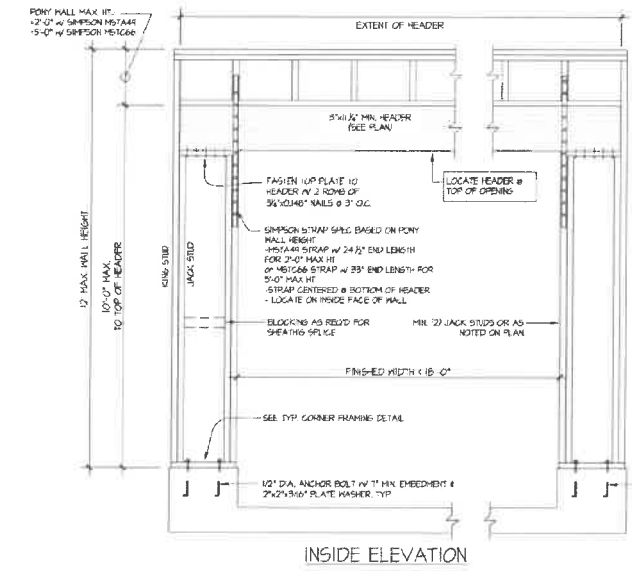
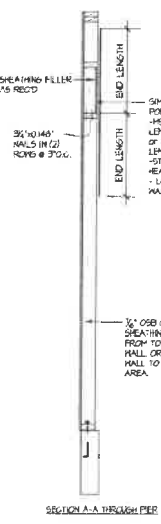
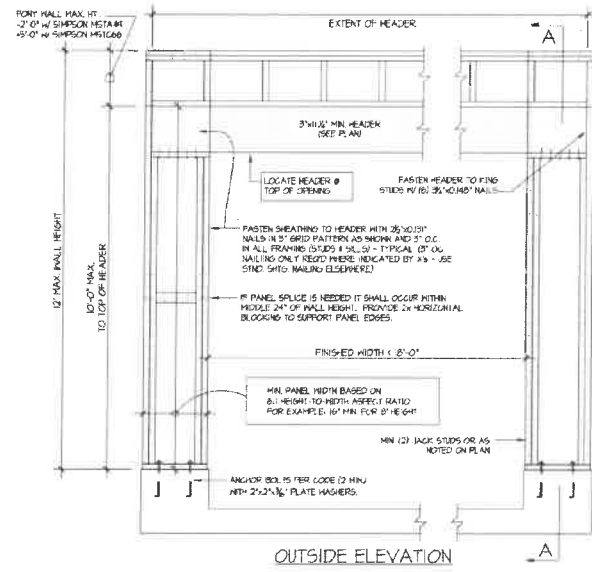
Drawn By: Kyle Zook
Sales Rep: Josiah Kurtz

DATE:
2/17/2022

SCALE:
3/16"-1'

SHEET:

A3.1



REVISIONS:			
	2/24/2022		
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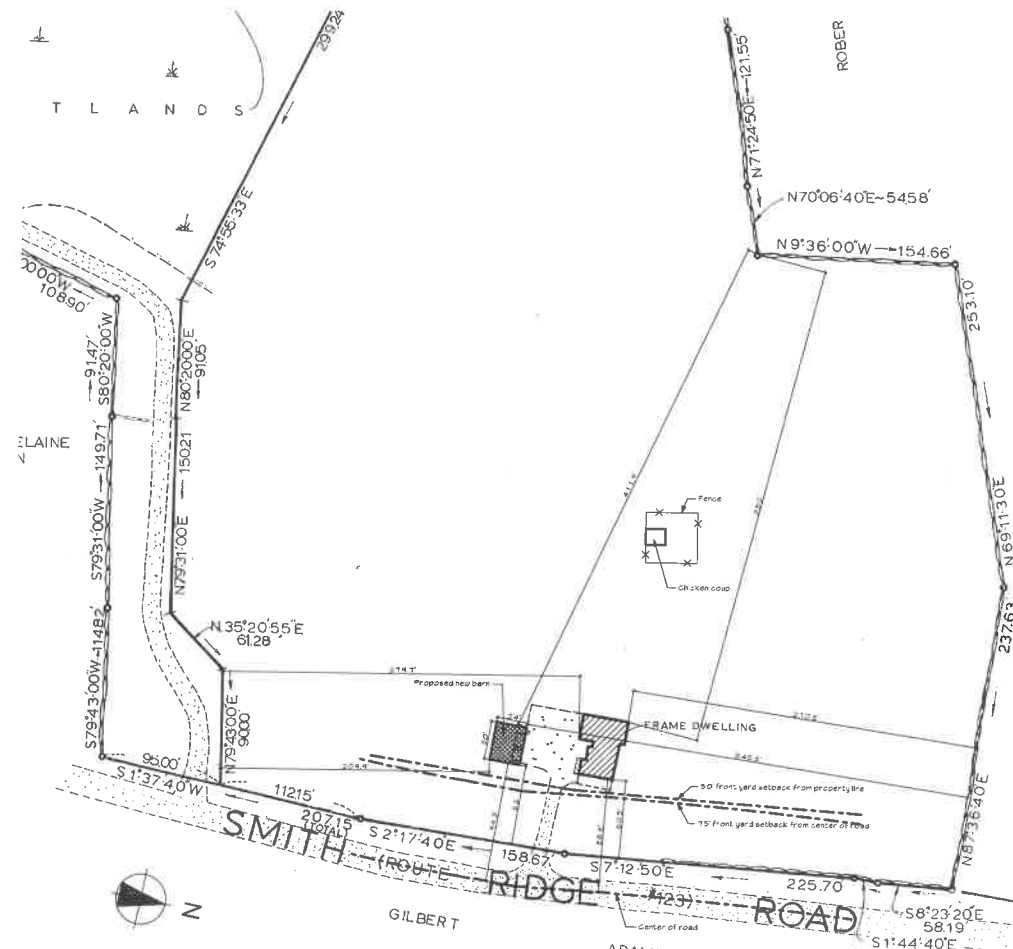
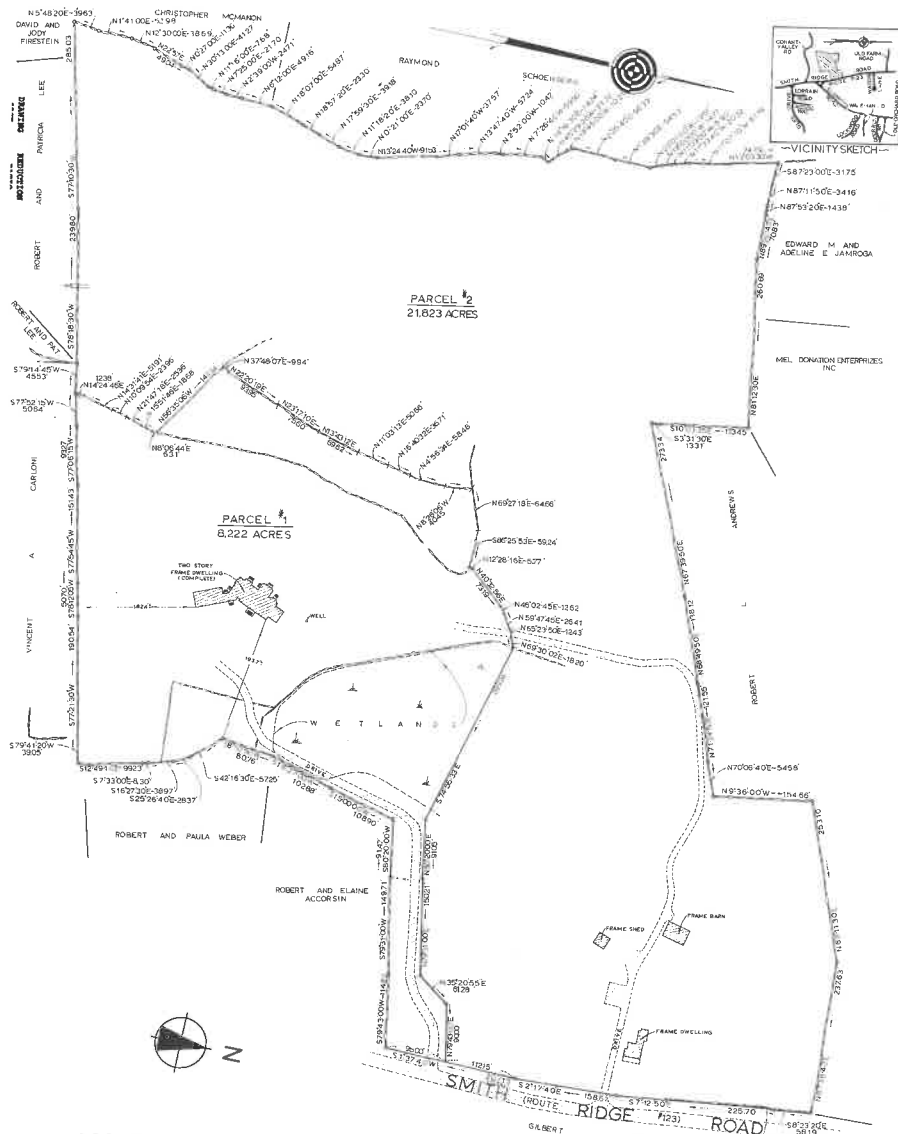
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Drawn By: Kyle Zook
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DATE:
2/17/2022

SCALE:
NTS

SHEET:
A4.1

1 GARAGE PORTAL FRAME DRAWING ELEVATION
SCALE: NTS
50% SIDS OF GARAGE DOOR
5 MPH WIND SPEED LIFT



Zoning analysis

New barn/garage
284 Smith Ridge Road

Section:	66.2
Block:	2
Lot:	33
Zone:	R-4A
Lot size (acres):	21.823
Lot size (square feet):	950,610

Regulation	Minimum	Maximum	Actual (Existing)	Proposed	Remarks
Min. lot size (square feet)	4 acres		21,823		
Min. lot width	250				
Front yard (Feet) from street center line	75		88.8	94.3	1
Front yard (Feet) from front lot line	50		60.5	62.0	1
Side yard one (Feet)	50		278.7	200.9	1
Side yard two (Feet)	50		270.8	348.8	1
Rear yard (Feet)	50		380	411.9	1
Max. height, stories		2 1/2	2		
Max. height, feet		35		17 +/-	Barn height
Building coverage		6%	0.22%	0.22%	Percentage
		85,655	1,658	2,278	Square feet

Remarks:

1 - Existing dimensions are from the existing residence, proposed dimensions are from the new barn

Patrick M. Croke Architect

20 Woodbridge Road
Katonah, New York 10536
T: 914.234.6093
F: 914.234.0548
info@pmcarchitect.com



COPYRIGHT © 2021 PATRICK M. CROKE, ARCHITECT
THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF PATRICK M. CROKE, ARCHITECT. ANY REUSE OR REPRODUCTION OF THIS PLAN OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF PATRICK M. CROKE, ARCHITECT IS PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED HEREIN.

NOTE: DO NOT SCALE DRAWINGS

This project is designed to conform to the 2020 Residential Code of NYS

1	Permit submission for referral to ZBA	03/25/22
2	Revisions:	

Project Name:

New barn/garage
284 Smith Ridge Road
South Salem, NY

Drawing Title:

Site plan and general notes

Date:

08/25/22

Project #:

22013

Scale:

As noted

Drawing Number:

A-1

ZONING BOARD OF APPEALS

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CAL. NO. 12-22-BZ

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The property is located on the north side of (#0) Carriage House Road, Waccabuc, NY, designated on the Tax Map as Sheet 0022, Block 10802 Lot 036, in an R-4A, Four-Acre Residential District consisting of approximately 42.50 acres; and the west side of (#128) Mead Street, Waccabuc, NY, designated on the Tax Map as Sheet 0022, Block 10802 Lot 059 & 083, in an R-4A, Four-Acre Residential District consisting of approximately 48.62 acres.

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**Dated this 29th day of April 2022
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

TOWN OF LEWISBORO
Westchester County, New York



Building Department
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3060
Fax: (914) 875-9148
Email: jangiello@lewisborogov.com

4/21/2022

Zoning Denial revision for permit #2021-0992

Waccabuc Country Club/Harder Lot Line Change
0 Carriage House Rd./128 Mead St.
0022-10802-036/0022-10802-059&083

1. The Waccabuc Country Club, which is an existing non-conforming use, proposes to acquire a portion of a neighboring lot whereas this is not permitted per Article III Section 220-9B(1).

Joseph Angiello

Building Inspector

DEED REFERENCE:

Lot A
Tax ID 22-10802-59 & 63
Control No. 590303141
Recorded June 21, 2019
Grantor: Donald A. Harder & Teresa E. Harder
Grantee: Donald A. Harder & Teresa E. Harder
as Co-Trustees of the Donald A. Harder Revocable
Living Trust, and Donald A. Harder & Teresa E.
Harder as Co-Trustees of the Teresa E. Harder
Revocable Living Trust.

DEED REFERENCE:

Lot B
Tax ID 22-10802-39
Liber 6345 Page 244 (Partial R)
Recorded October 7, 1983
Grantor: Shumlin Foundation, Incorporated
Grantee: Waccabuc County Club Company

"SUBDIVISION MAP SHOWING LOT LINE CHANGE"
FILED MAP NO. 20758
PAGE A

"SUBDIVISION MAP SHOWING LOT LINE CHANGE"
FILED MAP NO. 20758
PAGE B

Unauthorized alteration or addition to this survey is a violation of Section 7206, subdivision 2 of the New York State Education Law.
The attention of surveyors by anyone other than the original preparer is misleading, confusing and not in the general welfare and benefit of the public. Licensed Land Surveyors shall not alter survey maps, survey plans, or survey plats prepared by others.

Approved By Resolution of The
Lewisboro Planning Board

Janet E. Anderson, Chair

Glorian Coates, Administrator

Owners Certification

The undersigned is the owner of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Teresa E. Harder
120 Main Street,
Waccabuc, N.Y. 10597

Waccabuc Country Club Company
80 Main Street,
Waccabuc, N.Y. 10597

Prepared By
INSITE
LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place • Cornell, New York 10812
Phone (607) 255-8888 • Fax (607) 255-8777
www.insite-ny.com
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Architecture, P.C. All Rights Reserved.

Town Engineer's Certification

Reviewed for compliance with the Planning Board Resolution dated _____

Joseph Carroli, P.E. Town Consulting Engineer
Kylford Coates Consulting
Town Consulting Engineer.

Land Surveyor's Certification

I hereby certify that the survey for Lot A was completed on February 15, 2004 and the survey for Lot B was completed on December 15, 2005. This map was prepared in accordance with the existing Code of Practice for Land Surveying as adopted by the New York State Association of Professional Land Surveyors, Inc.

Jeffrey Dalton
New York State License No. 50749

TABLE OF LOT AREAS:

LOT A	LOT B
EXISTING 48,6204 AC.	EXISTING 42,4999 AC.
LOT X - 4,8037 AC.	LOT X - 4,8037 AC.
TOTAL 43,8227 AC.	TOTAL 47,3733 AC.

R-4A Zone (ONE FAMILY RESIDENCE) ZONE REQUIREMENTS:

	Lot A Tax ID 22-10802-59 & 63	Lot B Tax ID 22-10802-39
Min. Lot Area	4 Acres	4 Acres
Min. Lot Width/Depth	80'	80'
Min. Yard Setbacks		
Front	>25'	>25'
Side	>25'	>25'
Rear	>25'	>25'
Min. Building Coverage	0.08	0.08
Coverage of 1st Area		

Westchester County Dept. of Health

No Jurisdiction
Westchester County Department of Health
New Rochelle, New York

This map does not constitute a subdivision as defined by Chapter 875, Article 2 of the Westchester County Sanitary Code. Permission is hereby granted for the filing of this map in the Office of the Westchester County Clerk, Division of Land Records. The appearance of the signature of the Commissioner of Health on this map is not an endorsement and does not in any way indicate compliance with the Department's Rules and Regulations pertaining to vector control and waste disposal.

Each purchaser of property shown hereon shall be furnished a true copy of this plat showing this endorsement. Any errors, changes, additions or alterations of any kind, except the addition of signatures of other approving authority and the date thereof made on this plan after this approval, shall invalidate this approval.

Approved by the Assistant Commissioner of Health
on Behalf of the Department of Health

Property shown hereon is subject to the Rules and Regulations for the Protection from Contamination of the New York City Water Supply and its Sources.

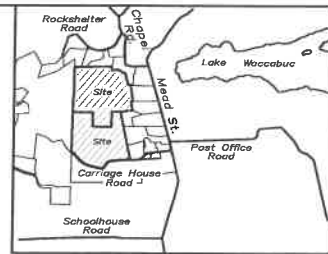
Lot Line Change Map

Prepared for
Waccabuc C.C.
and
Teresa E. Harder

Situate in the
Town of Lewisboro
Westchester County, New York

Scale 1" = 100' Date: February 6, 2022
Revised: March 26, 2022

County Sheet No. 270
County Block No. 10802
0 150 300
1600-5 PS-9 16125.200
Waccabuc CC Harder Lot Line Change.dwg



ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, May 25, 2022, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 13-22-BZ

Application of Rini, James & Langel, Elizabeth, [Rini, James M. & Langel, Elizabeth M., owner of record], 15 Benedict Road, South Salem, NY for the following variance of the proposed accessory garage/office will have a floor area of 1875 square feet whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code.

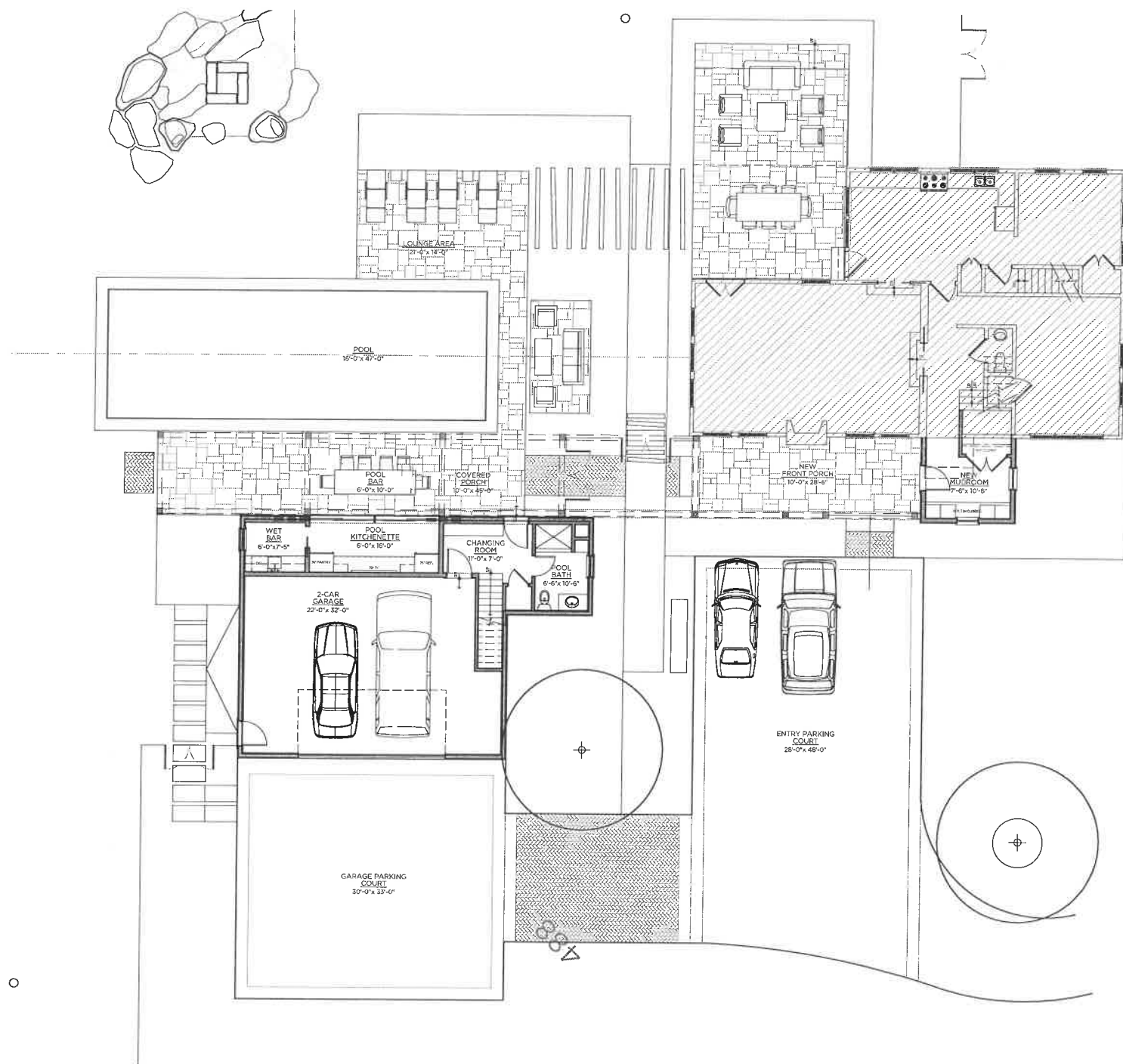
The property is located on the north side of (#15) Benedict Road, South Salem, NY designated on the Tax Map as Sheet 0033, Block 11155, Lot 010, in an R-2AC, Two Acre Residential District consisting of approximately 1.07 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 3rd day of May 2022
in South Salem, New York**

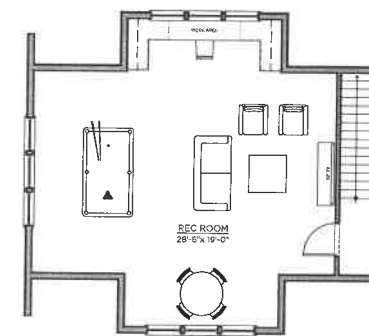
**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

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PROPOSED GARAGE AND MUDROOM

1/8" = 1'-0"



SECOND FLOOR

1/8" = 1'-0"



GRANOFF ARCHITECTS

330 RAILROAD AVENUE
GREENWICH, CT 06830
203.625.9460
WWW.GRANOFFARCHITECTS.COM

RINI RESIDENCE

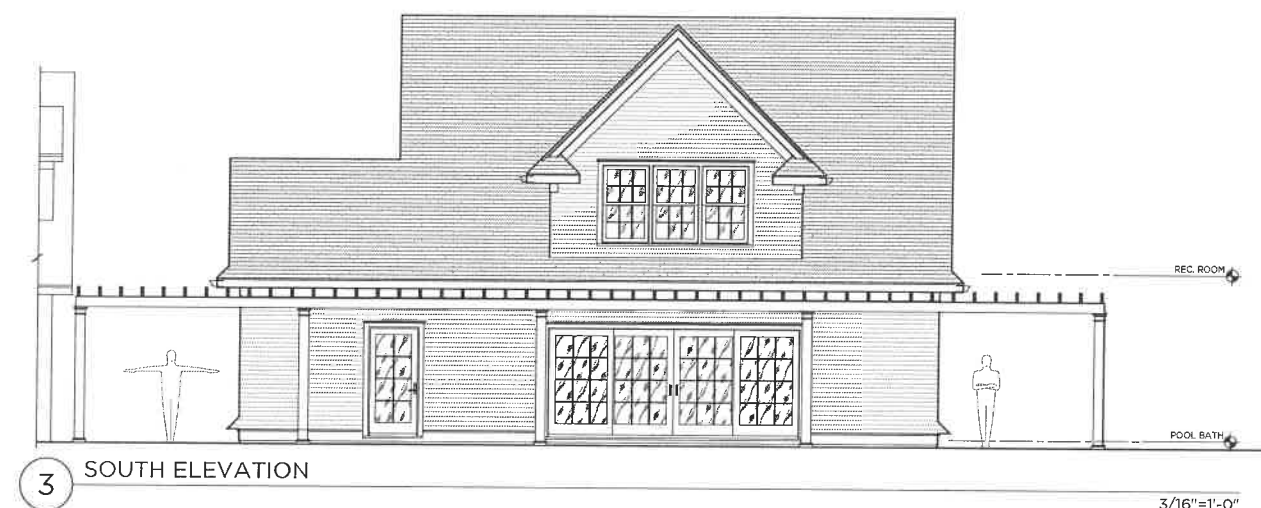
15 BENEDICT ROAD
SOUTH SALEM, NY

04.07.2022

DRAWING NO.:

A1

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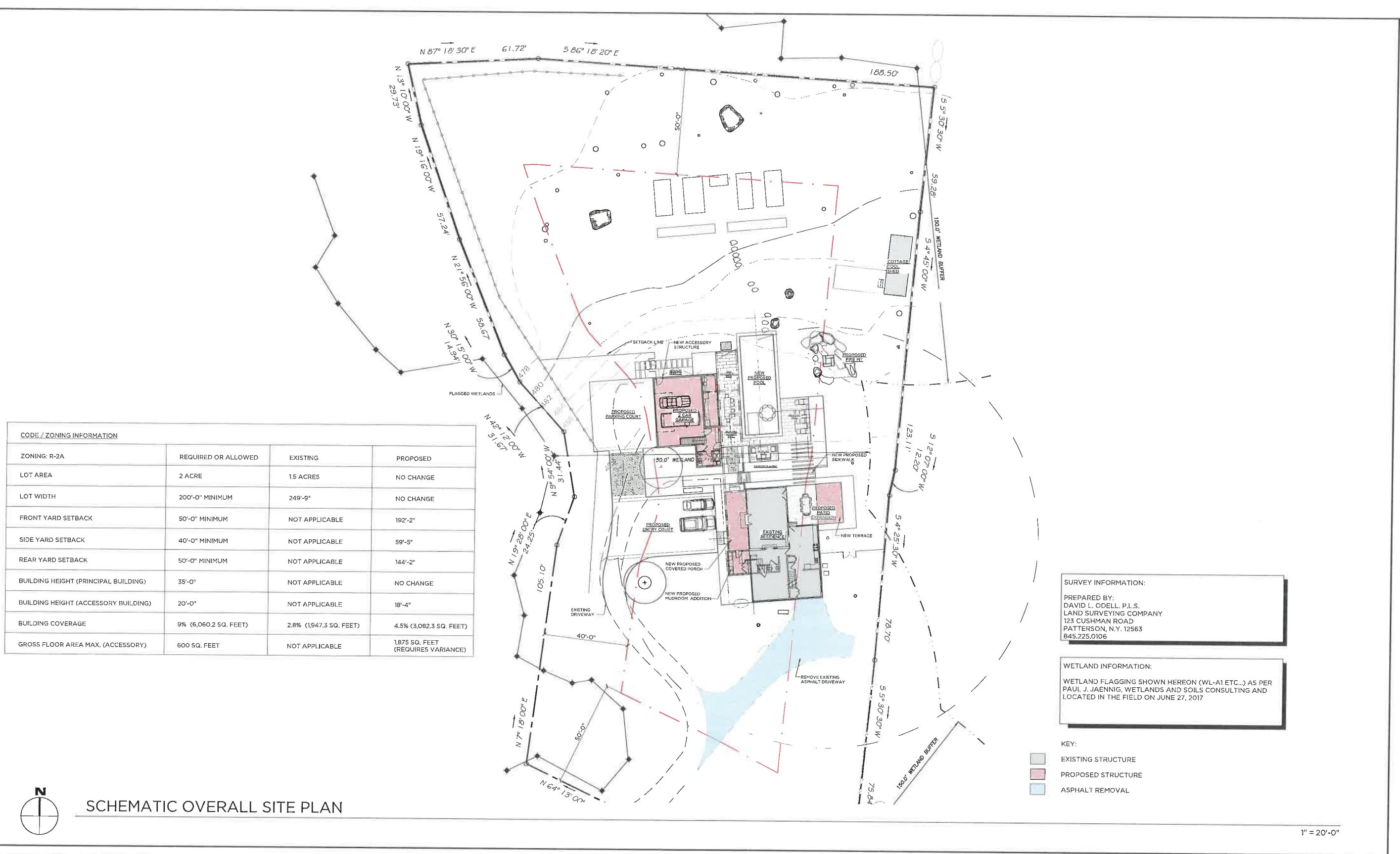
RINI RESIDENCE

15 BENEDICT ROAD
SOUTH SALEM, NY
04.07.2022

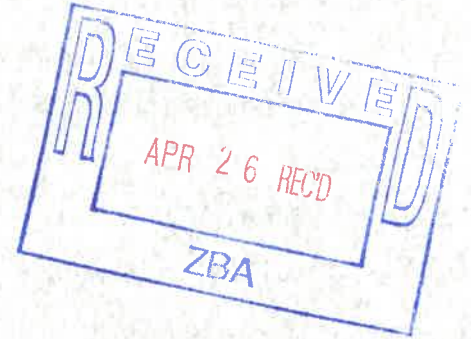
DRAWING NO.:

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Tracey B. and Martin E. Weisberg
25 Benedict Road
South Salem, NY 10590



April 22, 2022

Zoning Board of Appeals
P.O. 500
11 Main Street
Lewisboro, New York 10590
Attn: Robin Price, Jr.
Chairman

Re: 23 Benedict Road
South Salem, NY 10590

Dear Chairman Price:

We are writing with respect to the plans of Liz and James Rini to build a garage addition to their property located at 15 Benedict Road, South Salem, NY. We reside next to the Rini's at 25 Benedict Road, South Salem, NY.

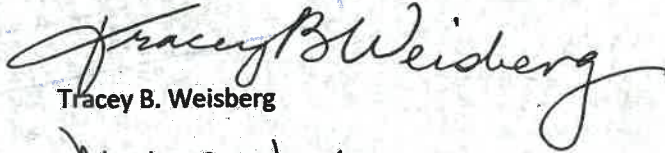
We have known the Rini's since they moved to Lewisboro and find them to be friendly, courteous and responsible neighbors. They always provide us with ample notice of any work being done to their home or property that could in any way impact us as neighbors (by way of example, having tree removal done). They are never too busy for a wave hello or quick chat.

The Rini's contacted us well in advance of the scheduled hearing date to inform us about the proposed addition to their home. Mr. Rini came to our home to discuss the proposed addition with us and he shared a copy of their architects' renderings with us so we would have visual understanding of the proposal. The proposed addition will not be visible from our property and will not adversely impact to serenity that we so cherish at our South Salem home. The renderings indicate that the proposed addition is in a style similar to the Rini's current residence and is the general feel of properties on Benedict Road.

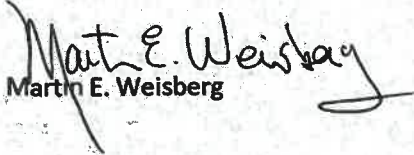
We have no objection to the proposed addition.

If you have any questions or need more information from us, we can be contacted at 914-319-8053 or traceyweisberg@me.com.

Respectfully,

A handwritten signature in cursive script that reads "Tracey B. Weisberg". The signature is written in dark ink and is positioned above the printed name.

Tracey B. Weisberg

A handwritten signature in cursive script that reads "Martin E. Weisberg". The signature is written in dark ink and is positioned above the printed name.

Martin E. Weisberg

Zoning Office

From: teahousedesign@optimum.net
Sent: Monday, May 16, 2022 2:10 PM
To: zoning@lewisborogov.com
Cc: Steven Miller
Subject: Attn Chair Robin Price Jr re Rini variance for a Garage Addition at 15 Benedict Rd S Salem.

From Steven D Miller residing at #11 Benedict Rd. S., Salem, NY 10590

To the Town of Lewisburg Zoning Board of Appeals:

Regarding zoning variance and building permit applications from my next-door neighbors, James and Elizabeth Rini at #15 Benedict Rd. S., Salem, NY 10590

I have rented, owned, and lived at number 11 Benedict Rd. since 1971, and I am very familiar with the land, the topography, the location of wetlands in the immediate area, including property which now belongs to the Rini's. I have worked on that residence for three previous owners, plus I rented the apartment in the accessory building from Helen Bilby in the 1980s.

The Rini's in a very neighborly way came to me to show me the plans for their garage and explained their project. They gave me a chance to review the project and the plot plan. I know they are on nonconforming lot because of the size of slightly under 2 acres. I think that the ZBA meeting which will be hearing their application is later in this month of May. As an adjacent neighbor, I have not as yet received the required notice in the mail of the hearing. But as I recall, there may be a 10 day window before the meeting which they are required to send out the notice to neighbors.

In my opinion the design and location of the proposed garage is conservative and connects efficiently to the house plus gives easy access from the driveway and gravel parking area. It seems to be minimally intrusive to me and any other neighbors, plus it fits well for their needs of a garage for year-round protection of their cars etc. This is considered normal and necessary for most residences in our town.

The existing house and the proposed garage addition are on the highest elevation of the property, and there is adequate permeable surface area of lawn, gardens, and gravel parking area to absorb and disperse rainwater and snow. I didn't look closely enough at the design to notice if there were gutters and leaders connecting to drainpipes etc. I assume that the ZBA would look at those conditions as part of granting a variance. In the 1980s I noticed that there was a small amount of surface and subsurface water flowing from Helen Bilby's property (#15 Benedict Rd.) through the stone wall and onto my property (#11 Benedict Rd.) through the lowest dip in elevation in the backyard sloping towards my property. It's not a constructed or designated swale, it is the pitch of the land. My concern is that construction of the garage would not direct more roof water in the direction of this intermittent water flow.

I think this is the third year the Rini's have lived at #15 Benedict Rd. and we have steadily gotten to be good and cooperative neighbors. It is a pleasure to see a family with two dedicated parents raising their children in our neighborhood. They have also been conscientious in taking care of their property, including taking down many dead and dying and dangerous trees. We are cooperating in their taking down of another diseased and dying huge red Oak tree which is on their property very close to me. It

presents an impending danger to the 7 KV overhead power lines between my two electric poles, and to my bridge, both of which are in the path of its direct leaning fall. I appreciate that they are taking responsibility for their tree, and taking action to eliminate the danger of a disaster.

The Rini's and I also have the same good intentions of controlling and attempting to eliminate non-native invasive plants on both of our properties.

Being familiar with the Building Code of the Town of Lewisboro and the Zoning Ordinances of the Town of Lewisboro I understand the legal hardship they have regarding their lot size and lot setbacks. My opinion is that their request for a variance is reasonable and positive. I am in favor of the ZBA granting the Rini's a variance for construction of the proposed garage.

If you have any questions for me or I can be of further help clarify my position please call me at both of the numbers below and or reply to this email. I thank all the ZBA members for their service to our town.

Sincerely,

Steven D Miller

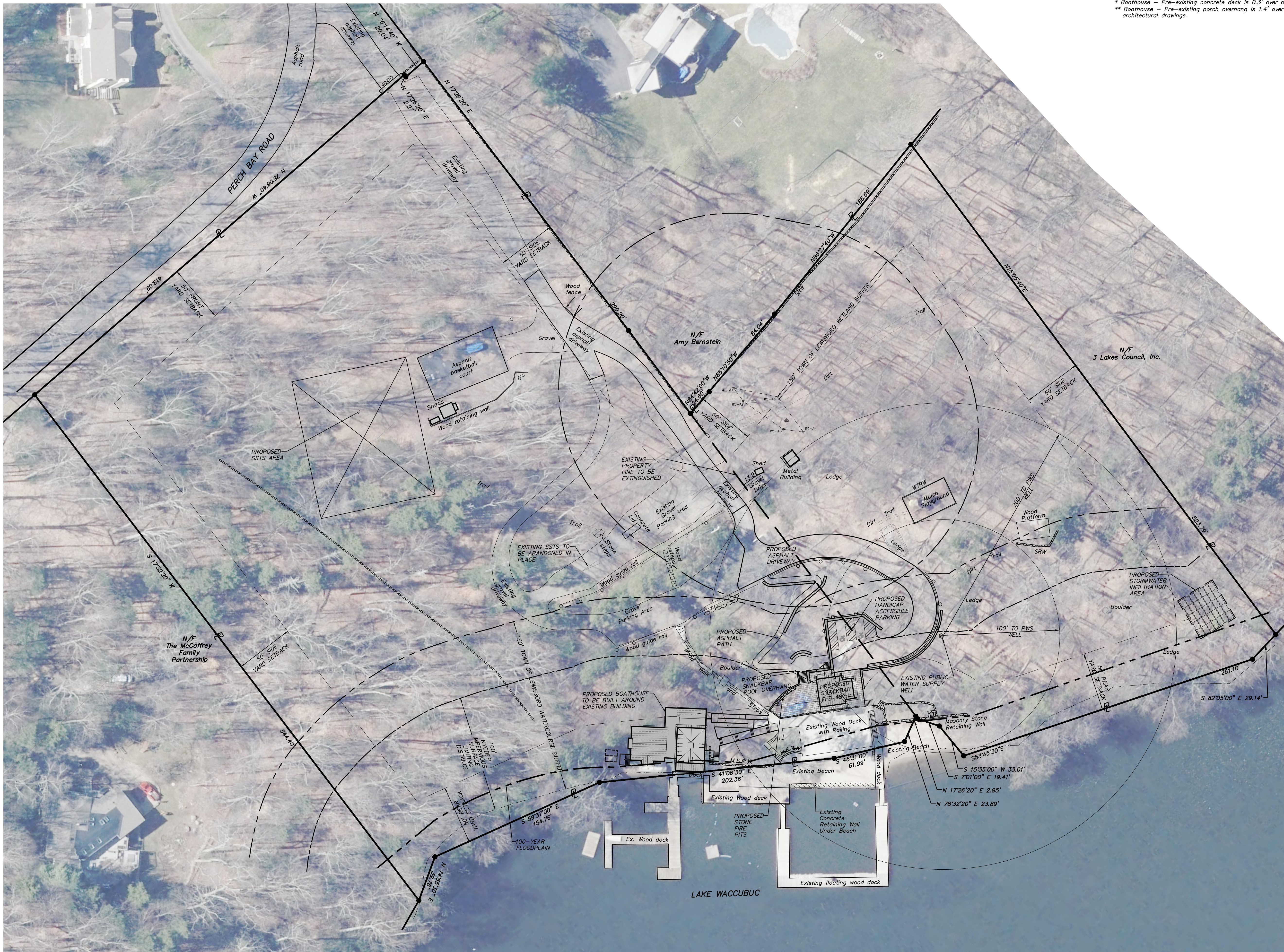
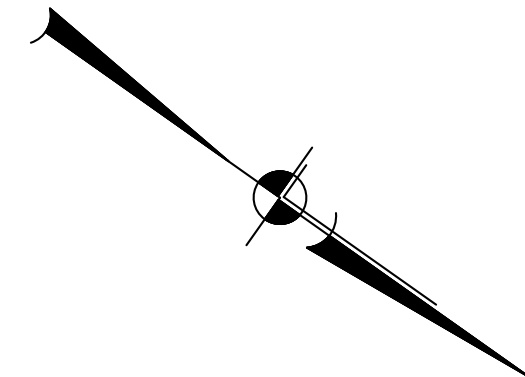
Frog Hollow PO Box 99

Waccabuc, NY 10597

914-763-3078 home/landline

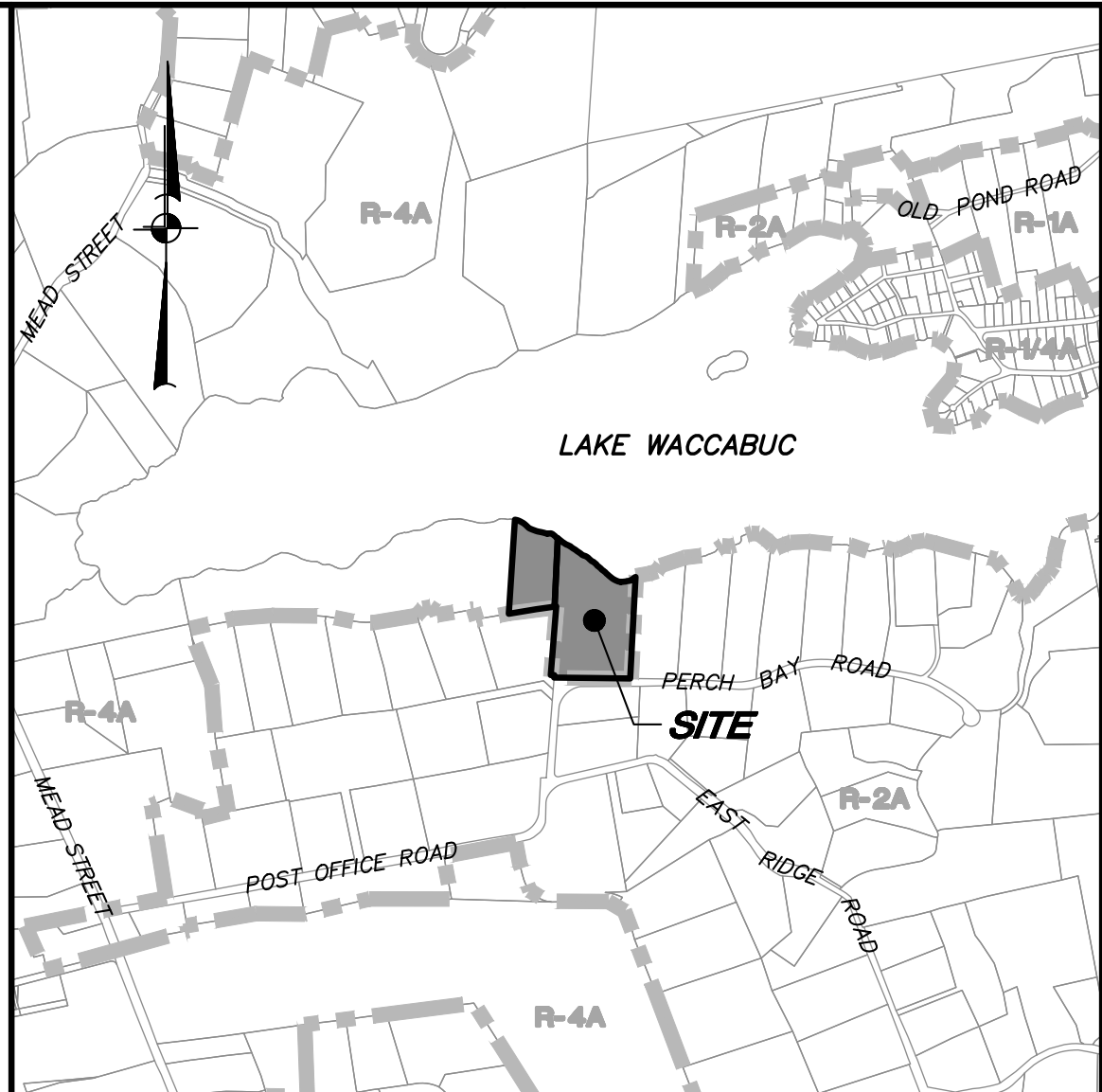
914-314-1863 cell/text

teahousedesign@optimum.net



R4-A ZONE REQUIREMENTS			
	REQUIRED/ PERMITTEE	COMBINED LOTS	
		EXISTING	PROPOSED
Minimum Lot Size:	4 AC	9.1 AC	9.1 AC
Minimum Front Yard:			
From street center line	75'	600'	573'
From front lot line	50'	576'	550'
Minimum Side Yard:	50'	29'	218'
Minimum Rear Yard:	50'	0' **	No change
Maximum Building Height:	2.5 stories/ 35'	2.5 stories/ 35'	2.5 stories/ 35'
Maximum Building Coverage:	6%	0.5%	1.1%

* Bathhouse - Pre-existing concrete deck is 0.3' over property line per survey.
** Bathhouse - Pre-existing porch overhang is 1.4' over property line per architectural drawings.



LOCATION MAP

SCALE: 1" = 1,000'±

OWNER/APPLICANT:	SITE DATA:
WACCABUC COUNTRY CLUB 90 MEAD STREET WACCABUC, NY 10597	Zone: R-4A (4 Acre Residential) Total Acreage 9.1 AC± Tax Map No.: 1. Sheet 25A-Block 10813-Lot 01 2. Sheet 25-Block 148-Lot 25

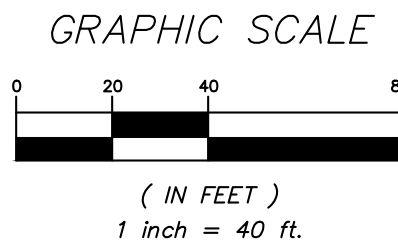
- GENERAL NOTES:**
- Property lines, existing conditions and topography as shown hereon based off of survey mapping prepared by Bunney Associates Land Surveyors completed 2007 and 4-4-2012, and by Insite Engineering, Surveying & Landscape Architecture P.C., completed 7-28-2018 and 6-7-2021.
 - Topography shown hereon (outside property lines) taken from both the Westchester County 2' contour, 1" = 100 scale GIS dataset dated April 2004 (elevations reference the North American Vertical Datum of 1988, NAVD 88).
 - Wetlands shown hereon delineated by James Bates of Ecological Analysis on April 21, 2021, and survey located by Insite Engineering, Surveying & Landscape Architecture, P.C. on June 7, 2021.
 - Based on a watercourse walk conducted with Miriyam Zachariah of NYCDEP on April 26, 2021, there are no NYCDEP watercourses on the project site.
 - It is the applicants intent to merge the 2 parcels into one lot as part of this project.
 - Disturbance limits shall be staked in the field prior to construction.
 - All walls equal to or greater than four (4) feet in height shall be designed by a NYS Licensed Professional Engineer.
 - Construction of all walls equal to or greater than four (4) feet in height shall be certified by the Design Professional prior to the issuance of a Certificate of Occupancy/Completion.

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING BUILDING
	EXISTING BUILDING TO BE REMOVED
	EXISTING STONE WALL
	EXISTING MASONRY STONE WALL
	EXISTING WOODEN RETAINING WALL
	EXISTING DIRT TRAIL
	EXISTING GUIDE RAIL
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING ROCK LEDGE
	PROPOSED 150' WATERCOURSE BUFFER
	PROPOSED 100' IMPERVIOUS LIMITING DISTANCE

PLANNING BOARD APPROVAL	
Approved by the Resolution of the Lewisboro Planning Board.	
Chair	Date
Administrator	Date

TOWN ENGINEER'S CERTIFICATION	
Reviewed for compliance with the Planning Board Resolution dated _____	
Joseph Cerniele, P.E. Kellard Sessions Consulting Town Consulting Engineer	Date

OWNER'S / APPLICANT'S CERTIFICATIONS	
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.	
Waccabuc Country Club 90 Mead Street Waccabuc, NY 10597	Date



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

1	3-29-22	REVISED PER TOWN COMMENTS	SMR
NO.	DATE	REVISION	BY

ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS	
80 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY	
DRAWING: OVERALL PLAN	

PROJECT NUMBER 20228.100	PROJECT MANAGER Z.M.P.	DRAWING NO. OP-1	SHEET 1
DATE 2-8-22	DRAWN BY E.R.A.		
SCALE 1" = 40'	CHECKED BY D.L.M.		8





PLANT LIST			
SYMBOL	BOTANICAL/COMMON NAME	SIZE	ROOT/NOTES
SHADE TREES			
	Acer rubrum / Red Maple	10' HT.	B&B
	Betula lenta / Black Birch	10' HT.	B&B
	Fagus grandifolia / American Beech	10' HT.	B&B
	Liriodendron tulipifera / Tulip Tree	10' HT.	B&B
	Nyssa sylvatica / Black Gum	10' HT.	B&B
FLOWERING TREES			
	Cercis canadensis / Redbud	8' HT.	B&B
	Cornus florida 'Cherokee' / Flowering Dogwood	8' HT.	B&B
	Magnolia virginiana / Sweetbay Magnolia	6' HT.	B&B (Multi-stem)
EVERGREEN TREES			
	Ilex opaca / American Holly	6' HT.	B&B
	Pinus strobus / White Pine	6' HT.	B&B
	Taxus 'Traveler' / Traveler Hemlock	6' HT.	B&B
SHRUBS			
	Asclepias parviflora / Butterfly Bush	3' HT.	#3 CONT./6' O.C.
	Hamamelis virginiana / Witchhazel	3' HT.	#3 CONT./6' O.C.
	Hydrangea quercifolia / Oakleaf Hydrangea	3' HT.	#3 CONT./6' O.C.
	Itea virginica / Virginia Sweetpire	2' HT.	#3 CONT./6' O.C.
	Kalmia latifolia / Mountain Laurel	3' HT.	#3 CONT./6' O.C.
	Rhododendron atlanticum / Deciduous Azalea	3' HT.	#3 CONT./6' O.C.
	Rosa 'Blushing' / Blushing Knockout Rose	2' HT.	#3 CONT./6' O.C.
PERENNIALS/GROUND COVERS			
	Athyrium filix-femina / Lady Fern	#1 CONT./18" O.C.	
	Deschampsia cespitosa / Tufted Hair Grass	#1 CONT./18" O.C.	
	Echinacea purpurea / Coneflower	#1 CONT./18" O.C.	
	Mertensia virginica / Virginia Bluebells	#1 CONT./18" O.C.	
	Polygatum acrostichoides / Christmas Fern	#1 CONT./18" O.C.	
	Sporobolus heterolepis / Prairie Dropseed	#1 CONT./18" O.C.	

TREE LEGEND	
	DECIDUOUS TREE
	EVERGREEN TREE
AS	ASH
BB	BLACK BIRCH
BE	BEECH
BR	BIRCH
HK	HICKORY
HM	HEMLOCK
MA	MAPLE
OA	OAK
TR	UNKNOWN SPECIES
TU	TULIP

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING BUILDING
	EXISTING STONE WALL
	EXISTING MASONRY STONE WALL
	EXISTING WOODEN RETAINING WALL
	EXISTING DIRT TRAIL
	EXISTING GUIDE RAIL
	EXISTING ASPHALT
	EXISTING CURB
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING DECIDUOUS TREE
	EXISTING EVERGREEN TREE
	EXISTING ROCK LEDGE
	EXISTING POST MOUNTED LIGHT
	EXISTING INDIVIDUAL TREE
	EXISTING WELL
	PROPOSED 150' WATERCOURSE BUFFER
	PROPOSED 100 IMPERVIOUS LIMITING DISTANCE
	PROPOSED LANDSCAPING
	PROPOSED WOOD GUIDE RAIL
	PROPOSED CONCRETE CURB
	PROPOSED ASPHALT DRIVEWAY
	PROPOSED FENCE

SEEDING NOTES:

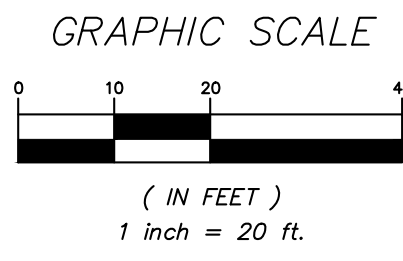
- All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material. Topsoil shall be placed using a method that will not cause compaction.
- Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
 - select seed mixture per drawings and seeding notes.
 - lawn starter fertilizer to be applied only as needed based on results of soil testing and relative recommendations.
 - no fertilizer is to be used in lawn areas, within wetland buffers, or with native seed mixes within areas to be naturalized. Nutrient requirements shall be met by incorporation of acceptable organic matter based on results of soil testing.
 - mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005.
 - if the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
- Seeding should begin immediately upon completion of finish grading and seed bed preparation while soil is still friable and before weeds can emerge. If seeding area is crusted or compacted, it should be loosened by discing or tilling. If weeds are present, they should be mowed short and removed or killed under before seed is applied.
- Seed mixtures shall be planted between March 21 and May 20, or between August 15, and October 15 or as directed by project representative. The seed mixes as specified on these drawings are as follows:
 - A. Seed Mix #1 for disturbed woodland areas shall be (ERNMX-132-1) Right of Way Native Woods Mix with annual ryegrass at a rate of 30 lbs./acre.
 - B. Seed Mix #2 for the area between the parking lot and deck shall be (ERNMX-181) Native Steep Slopes Mix with annual ryegrass at a rate of 60 lbs./acre.
 - C. Temporary Seed Mix for temporary seeding shall be annual or perennial ryegrass. In spring, summer or early fall, at a rate of 30 lbs./acre or winter rye (cereal rye) in late fall or early winter at a rate of 100 lbs./acre.

NOTE:

Refer to architectural drawings by Doyle Coffin Architecture for details of proposed buildings.

PLANTING NOTES:

- All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
- Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
- All plant material to be nursery grown.
- Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
- Plant material shall be taken from healthy nursery stock.
- All plants shall be grown under climate conditions similar to those in the locality of the project.
- Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
- The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
- Provide a 3" layer of shredded bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
- All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.



TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated _____

Joseph Cerniele, P.E.
Kellard Sessions Consulting
Town Consulting Engineer

OWNER'S / APPLICANT'S CERTIFICATIONS

The undersigned is the owner(s) of the property shown herein, is familiar with this drawing and its contents, and hereby approves the same for filing.

Waccubuc Country Club
90 Mead Street
Waccubuc, NY 10597

PLANNING BOARD APPROVAL

Approved by the Resolution of the Lewisboro Planning Board.

Chair _____ Date _____

Administrator _____ Date _____

NO.	DATE	REVISION	SMR
-----	------	----------	-----

ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: WACCUBUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS
90 MEAD ST., WACCUBUC, TOWN OF LEWISBORO, WESTCHESTER CNTY, NY

DRAWING: LAYOUT & LANDSCAPE PLAN

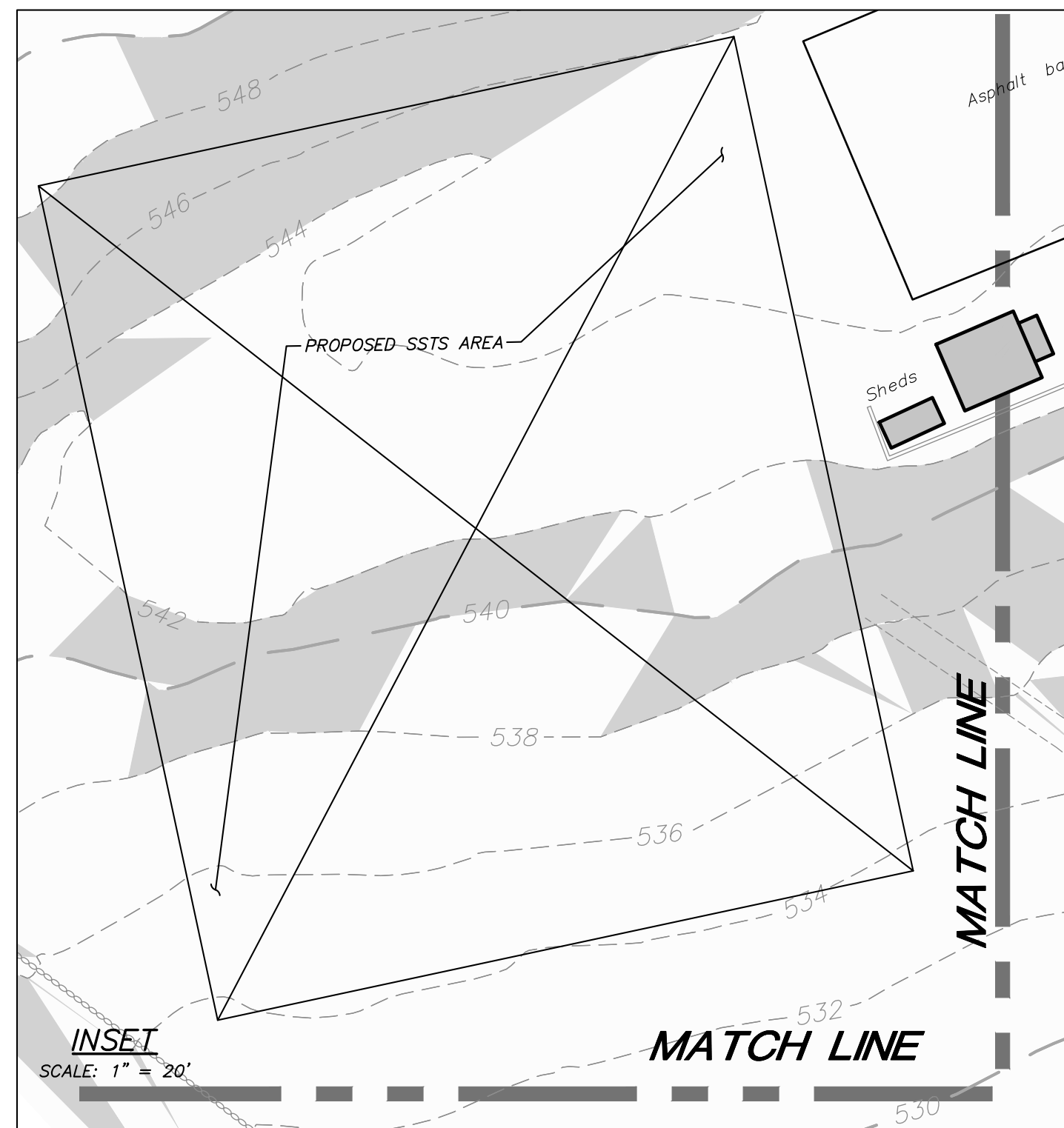
PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SP-1
DATE	2-8-22	DRAWN BY	E.R.A.	SHEET	3
SCALE	1" = 20'	CHECKED BY	D.L.M.		8



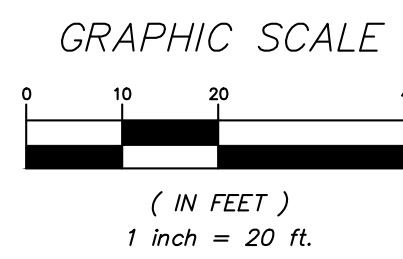
SLOPES TABLE				
Number	Minimum Slope	Maximum Slope	Color	Area (sf)
1	0%	15%		209,000
2	15%	100%		187,400

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING BUILDING
	EXISTING STONE WALL
	EXISTING MASONRY STONE WALL
	EXISTING WOODEN RETAINING WALL
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING DRAIN INLET
	EXISTING WELL
	EXISTING SSTS
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	EXISTING UTILITY POLE w/ guy & overhead wires
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
	PROPOSED TOP OF WALL & BOTTOM OF WALL ELEVATIONS
	PROPOSED DRAINAGE PIPE
	PROPOSED ROOF DRAIN
	PROPOSED DRAINAGE STRUCTURE
	PROPOSED DRAINAGE MANHOLE
	PROPOSED END SECTION WITH RIPRAP

PROPOSED DRAINAGE TABLE					
STRUCTURE	RIM	INV.	PIPE	LENGTH	SLOPE
DI 14	493.3	490.4	8" HDPE	34 L.F.	3.8%
DI 13	492.0	489.1	8" HDPE	22 L.F.	22.7%
DI 12	487.0	484.1	12" HDPE	46 L.F.	1.1%
DI 11	486.9	483.3	12" HDPE	82 L.F.	1.1%
DMH 10	485.6	482.4	12" HDPE	186 L.F.	3.4%
FS 1.1	480.2	476.0	6" HDPE	10 L.F.	13.0%
HDS 1.1	480.2	474.7	6" HDPE	10 L.F.	12.0%
1:1 P	-	475.5	6" HDPE	14 L.F.	3.6%
ES 9B	-	473.0	6" HDPE	14 L.F.	3.6%
DI 11A	488.5	485.3	12" HDPE	36 L.F.	5.6%
DI 11	486.9	483.3	12" HDPE	36 L.F.	5.6%
TD 12A	487.0	485.1	8" HDPE	33 L.F.	3.0%
DI 12	487.0	484.1	8" HDPE	33 L.F.	3.0%
FS 1.1	480.2	476.9	12" HDPE	55 L.F.	7.1%
ES 9A	-	473.0	12" HDPE	55 L.F.	7.1%
DI 8	515.0	511.8	12" HDPE	17 L.F.	2.9%
DI 7	515.7	511.3	12" HDPE	26 L.F.	15.4%
DI 6	510.5	507.3	12" HDPE	30 L.F.	5.0%
DMH 5	509.0	505.8	12" HDPE	74 L.F.	13.9%
DMH 4	499.7	495.5	15" HDPE	73 L.F.	7.0%
DMH 3	492.3	490.2	15" HDPE	56 L.F.	14.6%
ES 2	-	482.0	15" HDPE	56 L.F.	14.6%
SDI 4A	499.7	496.3	15" HDPE	95 L.F.	1.1%
DMH 4	499.7	495.3	15" HDPE	95 L.F.	1.1%



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.



TOWN ENGINEER'S CERTIFICATION Reviewed for compliance with the Planning Board Resolution dated _____ Joseph Cermela, P.E. Kieldar Sessions Consulting Town Consulting Engineer Date _____	
OWNER'S / APPLICANT'S CERTIFICATIONS The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing. Waccabuc Country Club 92 Mead Street Waccabuc, NY 10597 Date _____	
PLANNING BOARD APPROVAL Approved by the Resolution of the Lewisboro Planning Board. Chair _____ Date _____ Administrator _____ Date _____	

1	3-29-22	REVISED PER TOWN COMMENTS	SMR
NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. 3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com			
PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS 90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY			
DRAWING: GRADING & UTILITIES PLAN			
PROJECT NUMBER 20228.100	PROJECT MANAGER Z.M.P.	DRAWN BY E.R.A.	DRAWING NO. SP-2
DATE 2-8-22	CHECKED BY D.L.M.	SHEET 4	
SCALE 1" = 20'			



LEGEND

- EXISTING PROPERTY LINE
- EXISTING BUILDING
- EXISTING STONE WALL
- EXISTING MASONRY STONE WALL
- EXISTING WOODEN RETAINING WALL
- EXISTING UNDERGROUND DRAINAGE PIPE
- EXISTING DRAIN INLET
- EXISTING WELL
- EXISTING SSTS
- EXISTING WATERCOURSE
- EXISTING EDGE OF WATER
- EXISTING WETLAND
- EXISTING WETLAND FLAG
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING SPOT GRADE
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
- PROPOSED TOP OF WALL & BOTTOM OF WALL ELEVATIONS
- PROPOSED SILT FENCE
- PROPOSED CONSTRUCTION FENCE
- PROPOSED TURBIDITY CURTAIN
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED TOPSOIL STOCKPILE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE

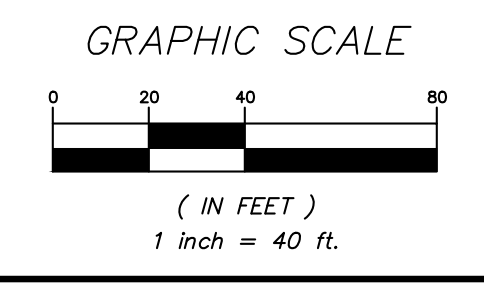
- CONSTRUCTION SEQUENCE:**
1. Install stabilized construction entrance and silt fence in general locations as shown hereon. Install construction fence around the proposed subsurface infiltration system and SSTS area.
 2. Place existing storage building and snack bar.
 3. Demolish existing features to be removed and clear existing trees to be removed.
 4. Strip and stockpile topsoil on site for later use in lawn and landscape areas.
 5. Begin earthwork operations for proposed driveway, path, and parking area.
 6. Begin construction of proposed snack bar, boat house, and associated decking and appurtenances.
 7. Install proposed drainage and conveyance system, and roof drains.
 8. Install proposed subsurface infiltration system. Infiltration system to remain offline until all contributing areas are stabilized. Plug primary outlet in upstream flow splitter to infiltration system.
 9. Install proposed SSTS.
 10. Upon completion of all grading operations, install finished asphalt surfaces.
 11. Topsoil, seed and mulch all disturbed areas as soon as practical in accordance with the erosion and sediment control notes on the project plans.
 12. Once final stabilization has been achieved, remove all temporary erosion and sediment control measures.
 13. Remove plug flow splitter.

- EROSION & SEDIMENT CONTROL NOTES:**
1. The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
 2. All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
 3. Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
 4. When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
 5. Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
 6. All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. "Aristook" Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
 7. Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
 - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 100 pounds per acre in the following proportions:
 - Kentucky Bluegrass 20%
 - Creeping Red Fescue 40%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
 - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
 8. Grass seed mix may be applied by either mechanical or hydroseding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseding shall be performed using materials and methods as approved by the site engineer.
 9. Cut or fill slopes steeper than 3:1 shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.
 10. Paved roadways shall be kept clean at all times.
 11. The site shall at all times be graded and maintained such that all stormwater runoff is directed to soil erosion and sediment control facilities.
 12. All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
 13. Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
 14. Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
 15. Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
 16. Cut and fills shall not endanger adjoining property, nor divert water into the property of others.
 17. All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
 18. The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
 19. As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
 20. Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE					
MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS		
PRACTICE	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	—	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	—	Inspect	Clean/Replace Stone and Fabric	Remove
DUST CONTROL	Inspect	—	Inspect	Mulching/Spraying Water	N/A
VEGETATIVE ESTABLISHMENT	—	Inspect	Inspect	Water/Reseed/Remove	Reseed to 80% Coverage
INLET PROTECTION	—	Inspect	Inspect	Clean/Repair/Replace	Remove
SOIL STOCKPILES	—	Inspect	Inspect	Mulching/Silt Fence Repair	Remove
CONCRETE DRAINAGE STRUCTURES	—	Inspect	Inspect	Clean Sumps/Remove Debris/Repair/Replace	Clean Sumps/Remove Debris/Repair/Replace
DRAINAGE PIPES	—	Inspect	Inspect	Clean/Repair	Clean/Repair
ROAD & PAVEMENT	—	Inspect	Inspect	Clean	Clean
*STORMWATER MANAGEMENT PRACTICE	—	Inspect	Inspect	Clean/Mulch/Repair/Reseed	See Permanent Stormwater Facilities Maintenance Schedule

* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized. Note: The party responsible for implementation of the maintenance schedule during and after construction is:
WACCABUC COUNTRY CLUB
90 MEAD STREET
WACCABUC, NY 10597
and/or the current owner(s) of the subject property.

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 1209 OF ARTICLE 145 OF THE EDUCATION LAW.



PLANNING BOARD APPROVAL

Approved by the Resolution of the Lewisboro Planning Board.

Chair _____ Date _____

Administrator _____ Date _____

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated _____

Joseph Cerreto, P.E.
Kellard Sessions Consulting
Town Consulting Engineer

Date _____

OWNER'S / APPLICANT'S CERTIFICATIONS

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.

Waccabuc Country Club _____ Date _____
Waccabuc, NY 10597

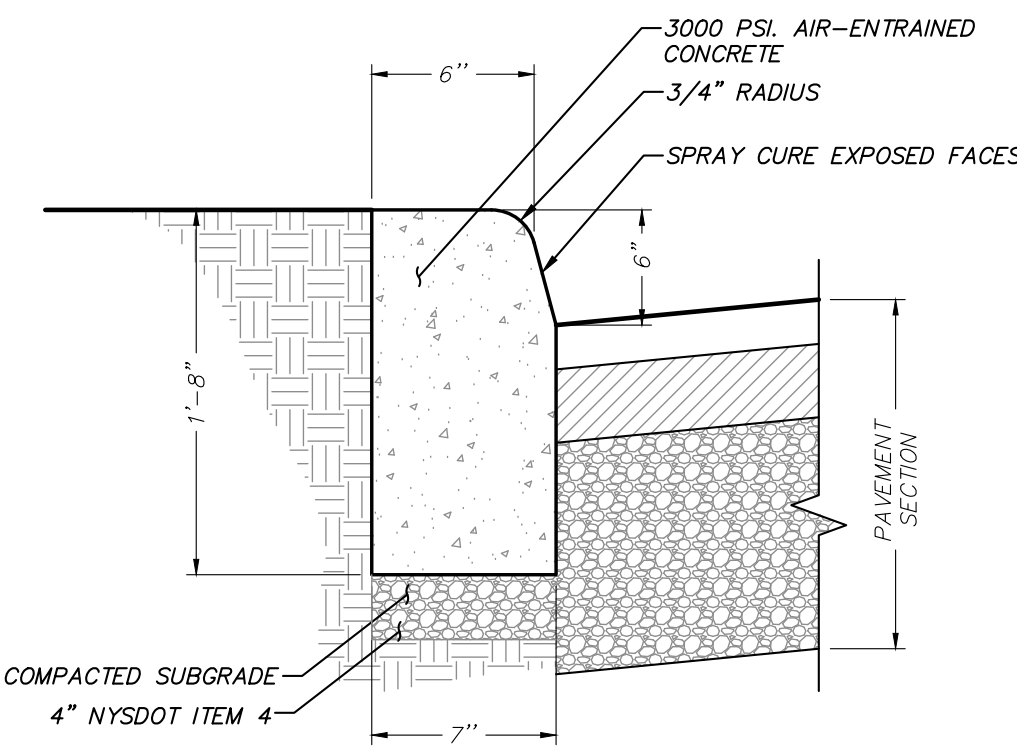
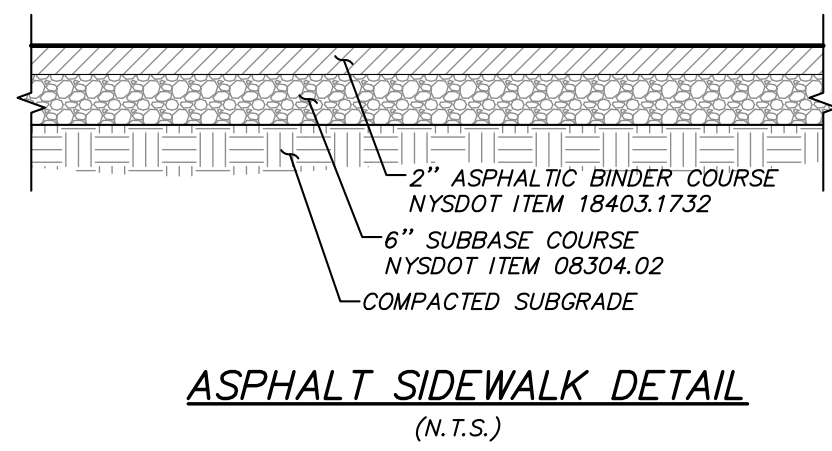
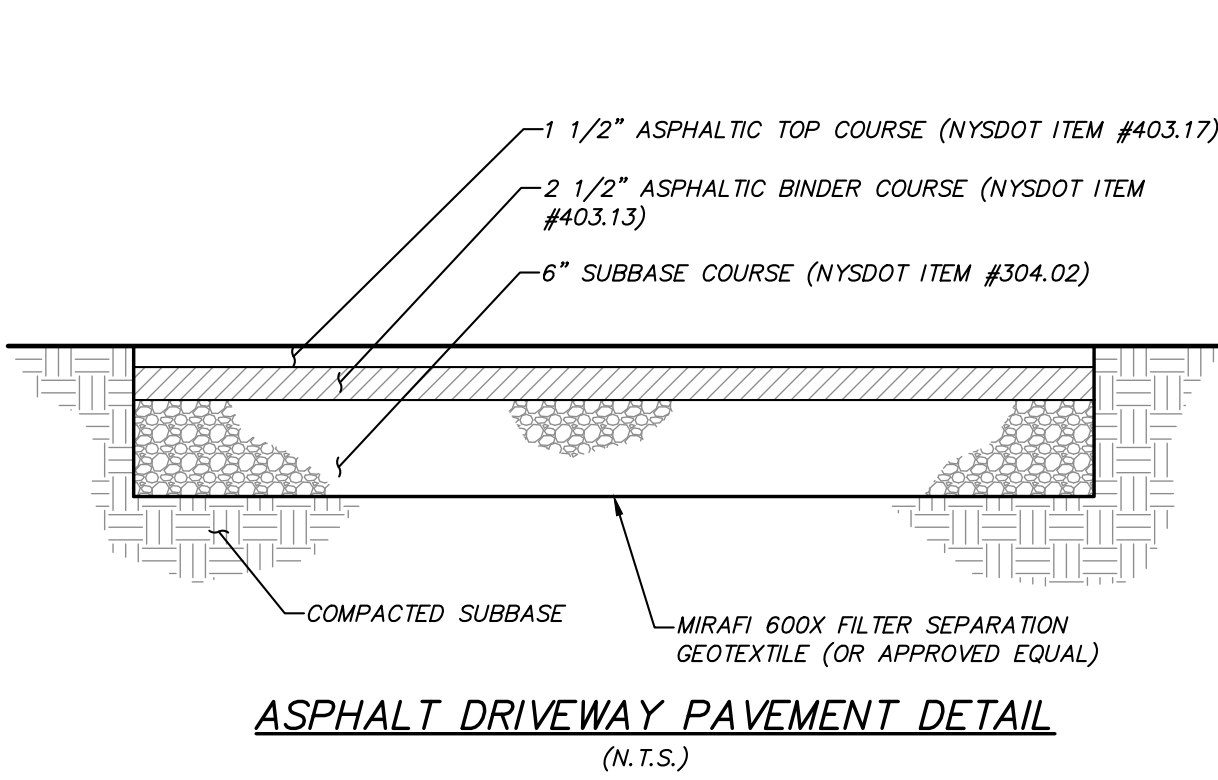
INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

PROJECT:
**WACCABUC COUNTRY CLUB
BEACH CLUB IMPROVEMENTS**

90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY

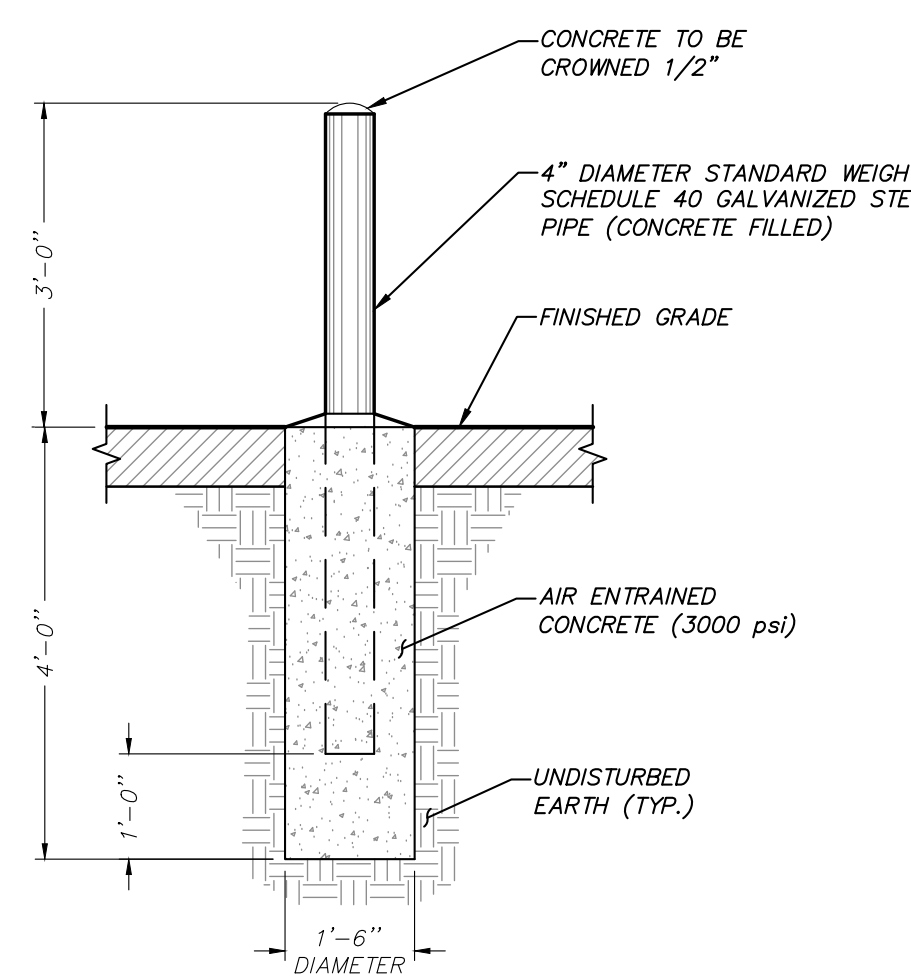
DRAWING:
**EROSION & SEDIMENT CONTROL
PLAN**

PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SHEET
DATE	2-8-22	DRAWN BY	E.R.A.	SP-3	5
SCALE	1" = 40'	CHECKED BY	D.L.M.		8



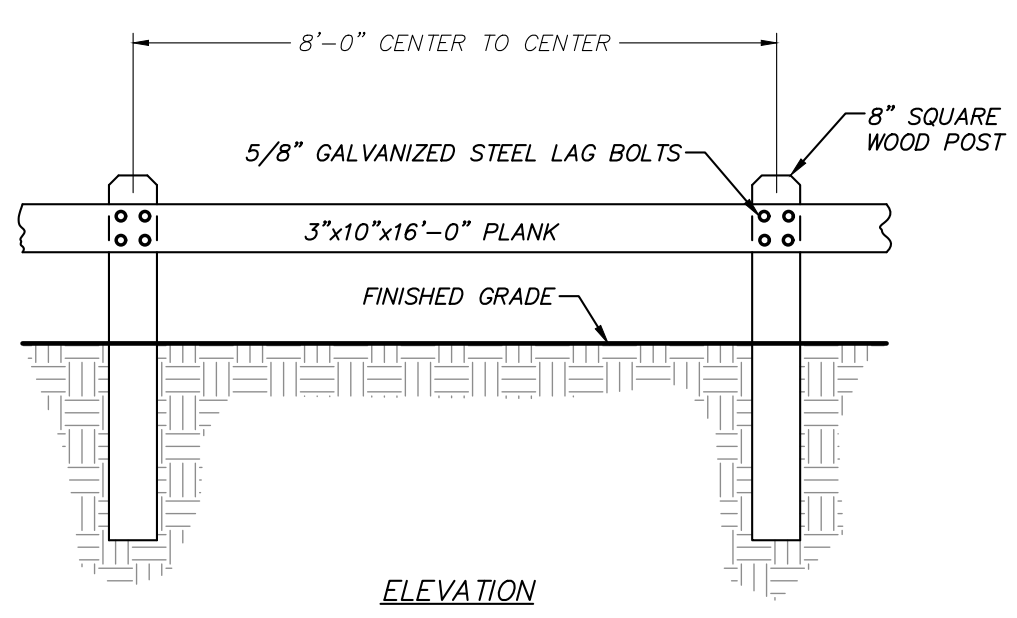
NOTE: ISOLATION JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH CELLULAR COMPRESSION MATERIALS RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.

CONCRETE CURB DETAIL (N.T.S.)



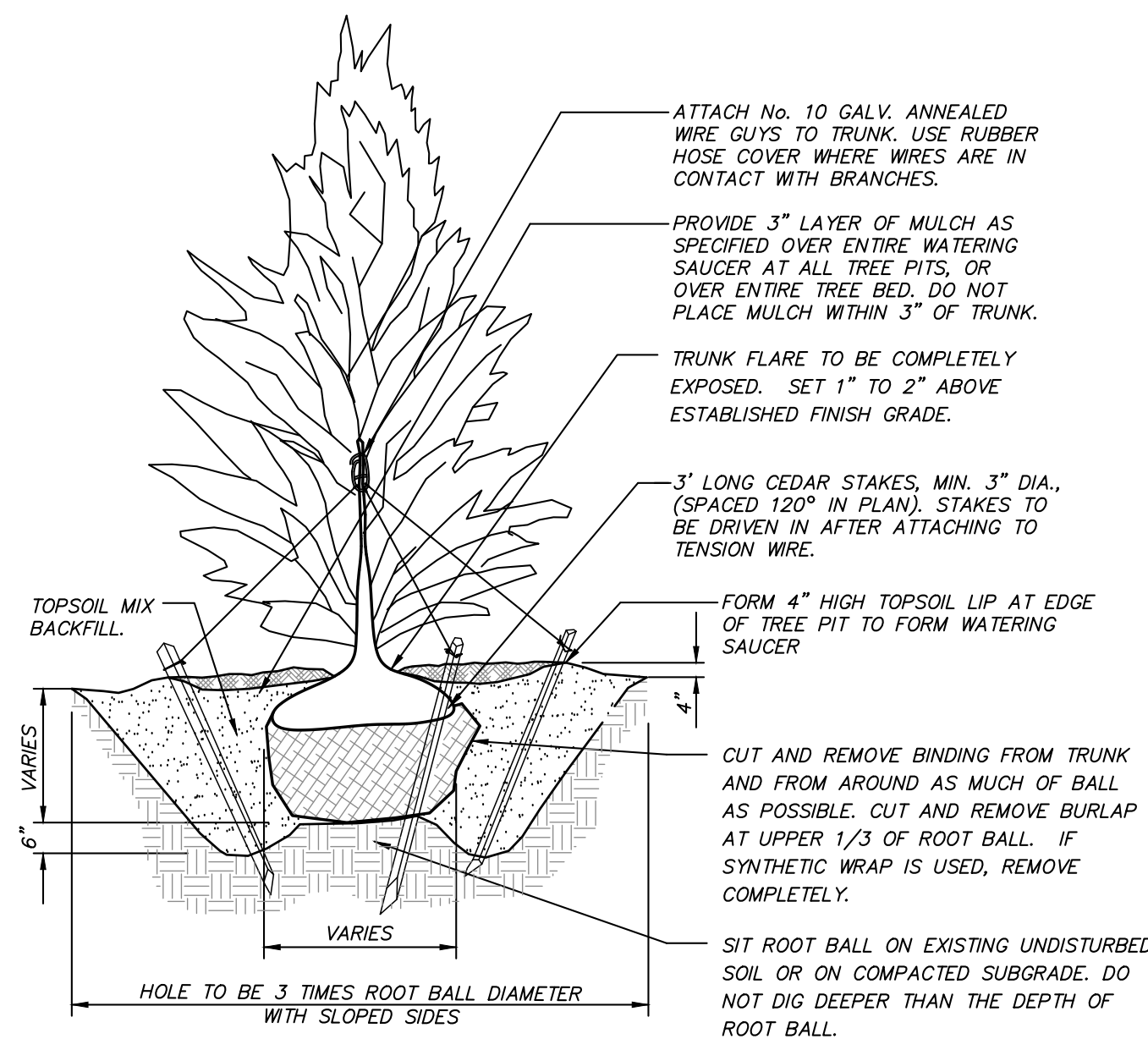
NOTE: WHEN PROTECTION POSTS ARE TO BE USED FOR PROTECTION OF HANDICAP PARKING SIGNS OR OTHER TRAFFIC SIGNS, SIGN SUPPORTING POST SHALL BE EMBEDDED A MINIMUM OF THREE (3) FEET INTO THE CONCRETE.

STEEL BOLLARD DETAIL (N.T.S.)



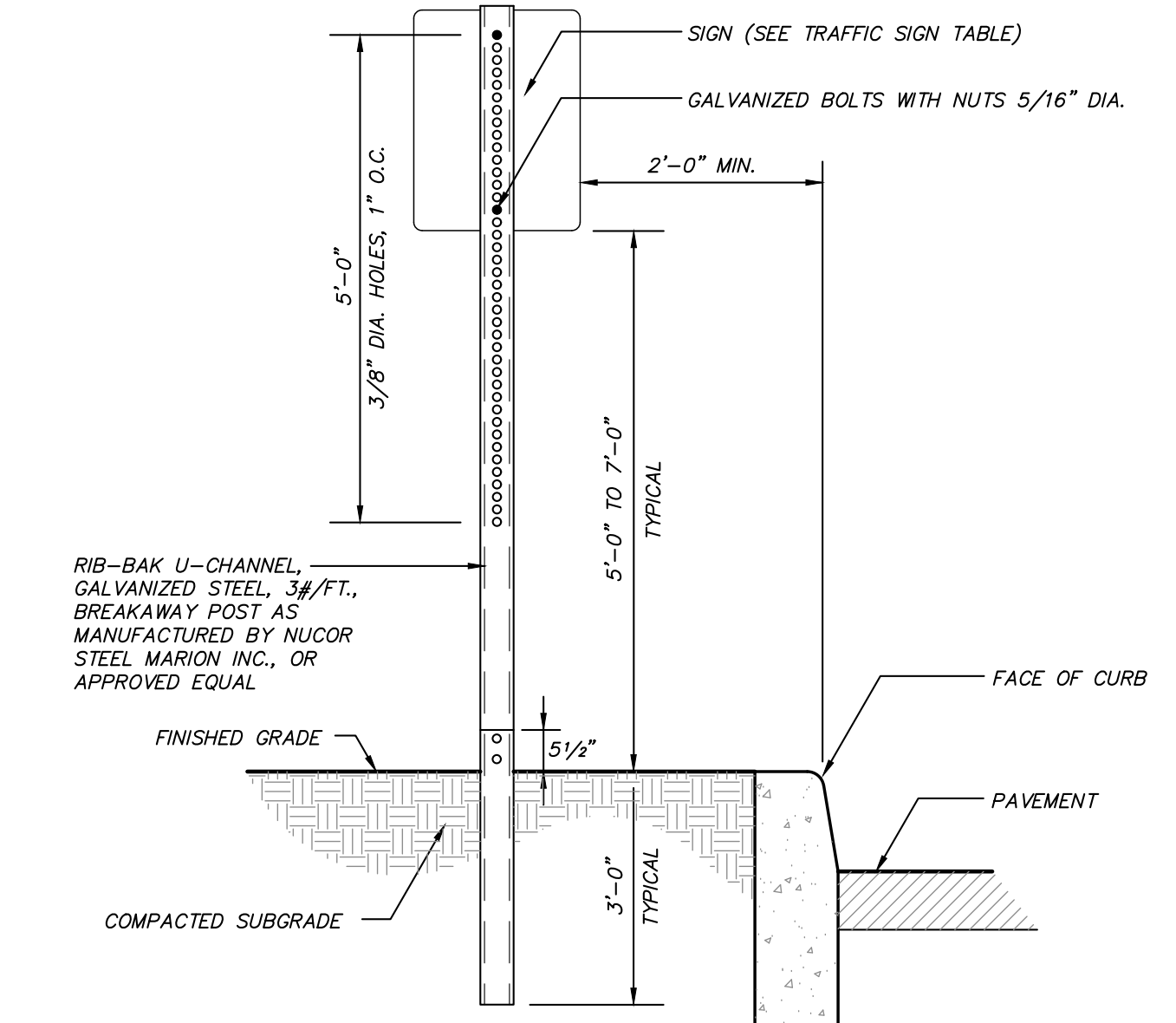
NOTES:
1. ALL WOOD TO BE SEASONED NO.1 DOUGLAS FIR, SOUTHERN YELLOW PINE OR OTHER APPROVED STRUCTURAL LUMBER.
2. ALL WOOD TO BE TREATED WITH AN APPROVED WOOD PRESERVATIVE SUITABLE FOR INSTALLATION IN AND ADJACENT TO GROUND SURFACES.

WOOD GUIDERAIL DETAIL (N.T.S.)



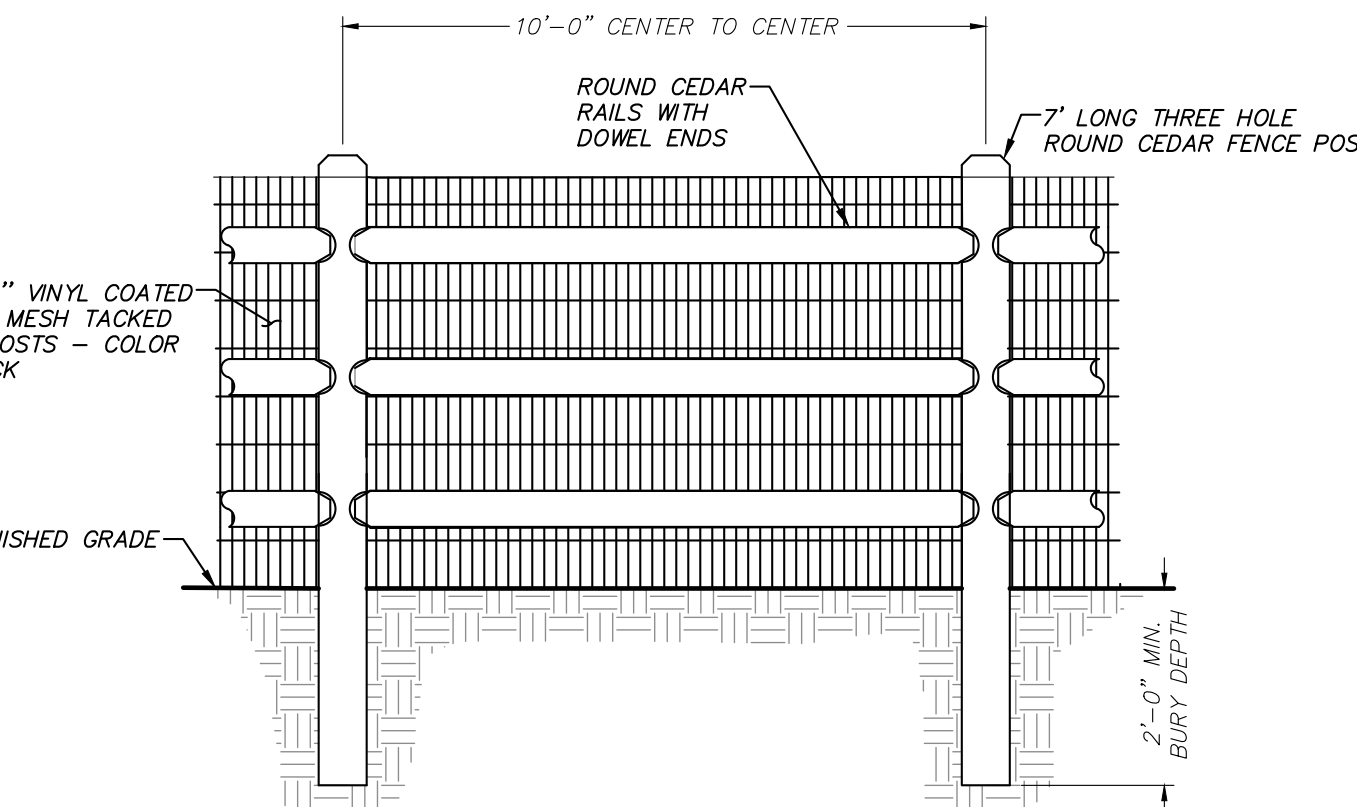
NOTE: PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V, IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE MONTHS OF PLANTING.

EVERGREEN TREE PLANTING DETAIL (N.T.S.)

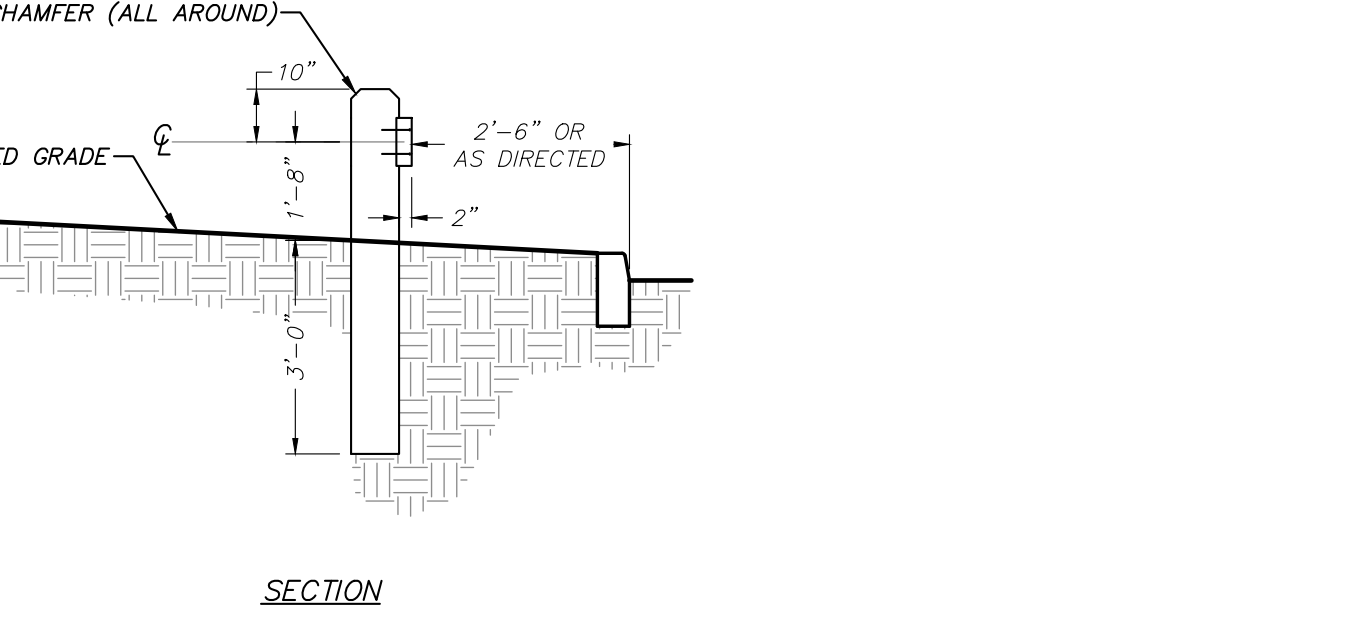


NOTE: FOR HANDICAP PARKING SIGNAGE, SIGNS SHALL BE INSTALLED AT A CLEAR HEIGHT OF BETWEEN 5'-0" AND 7'-0" ABOVE GRADE OF PARKING SPACE AND SUCH THAT SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.

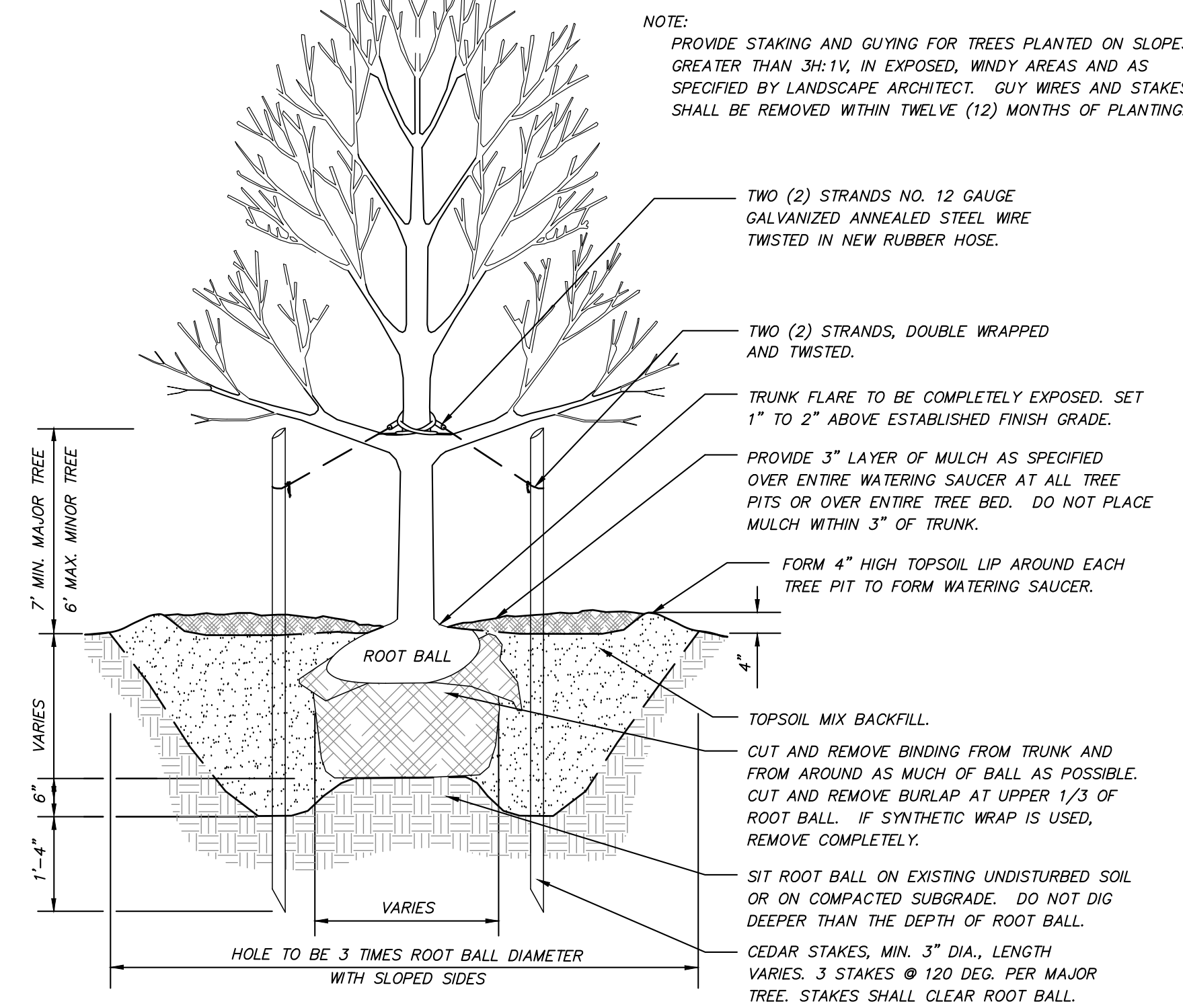
TRAFFIC SIGN DETAIL (N.T.S.)



POST AND RAIL FENCE DETAIL (N.T.S.)

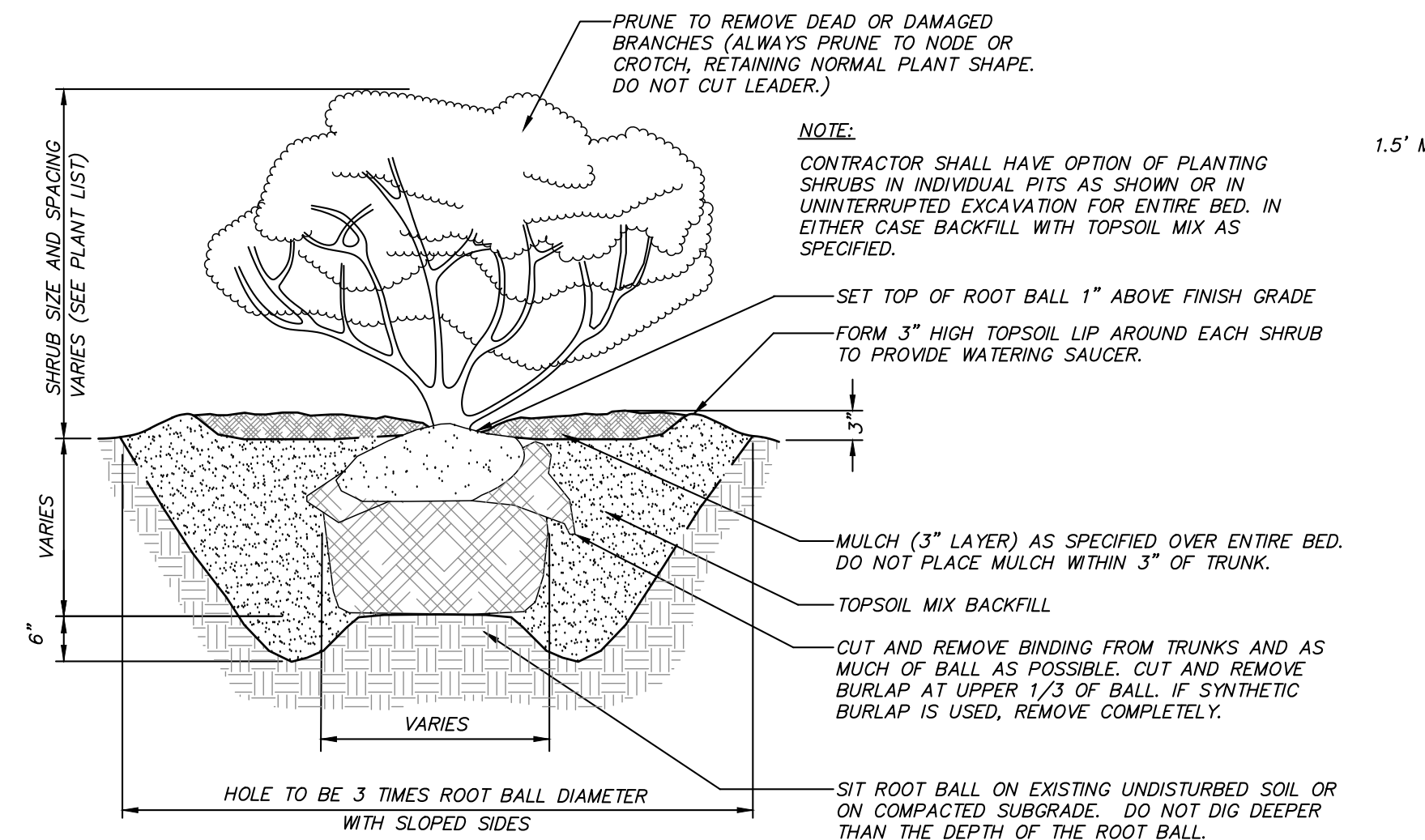


SECTION

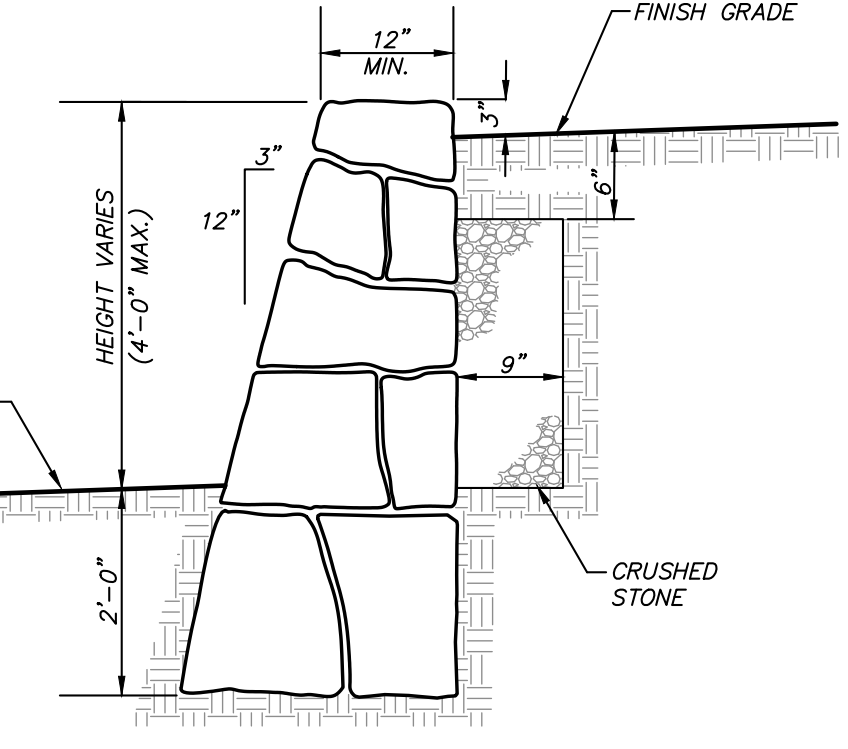


NOTE: PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V, IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE (12) MONTHS OF PLANTING.

TREE PLANTING DETAIL (N.T.S.)

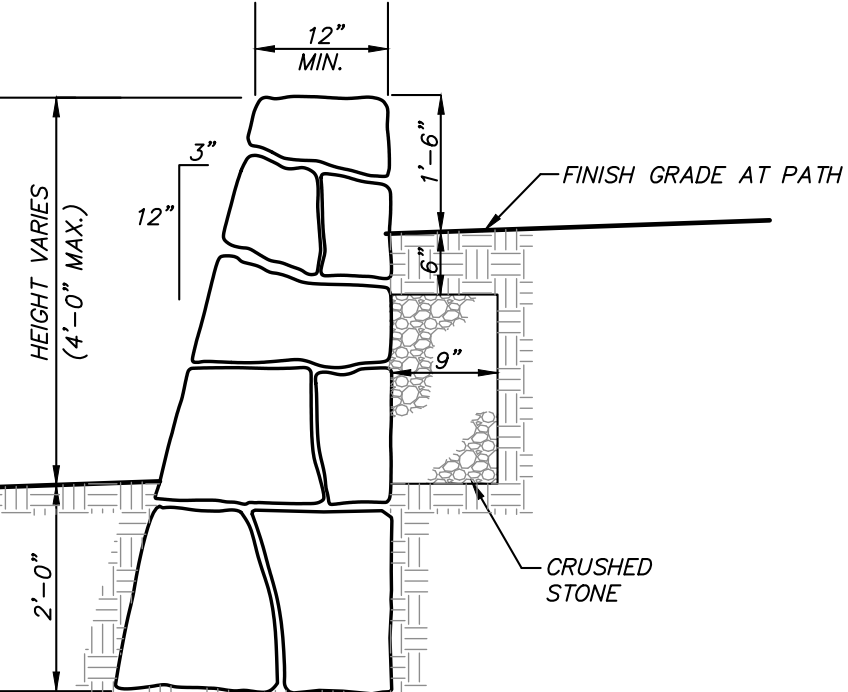


SHRUB PLANTING DETAIL (N.T.S.)



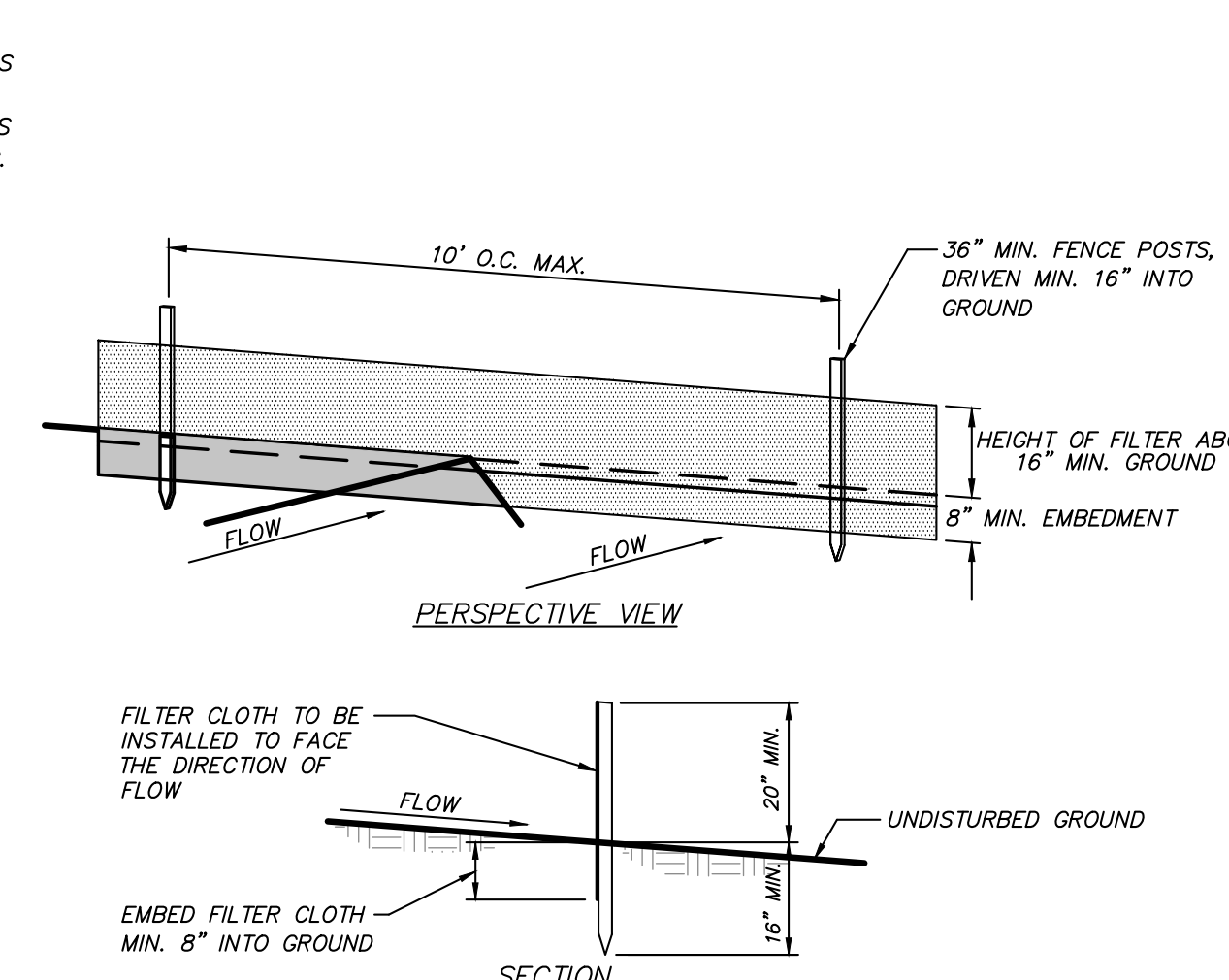
NOTE: EACH STONE IS TO BE SET FIRM & FLUSH ON PREVIOUS STONE TO PREVENT ANY "PLAY" OR MOVEMENT.

STONE RETAINING WALL (N.T.S.)



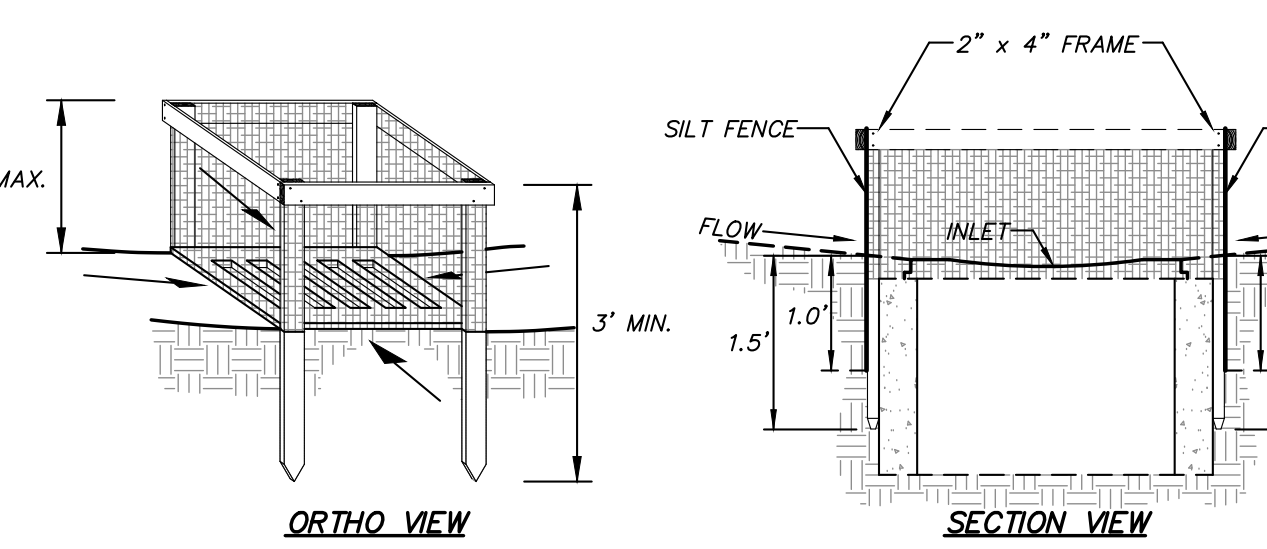
NOTE: EACH STONE IS TO BE SET FIRM & FLUSH ON PREVIOUS STONE TO PREVENT ANY "PLAY" OR MOVEMENT.

STONE SITTING WALL (N.T.S.)



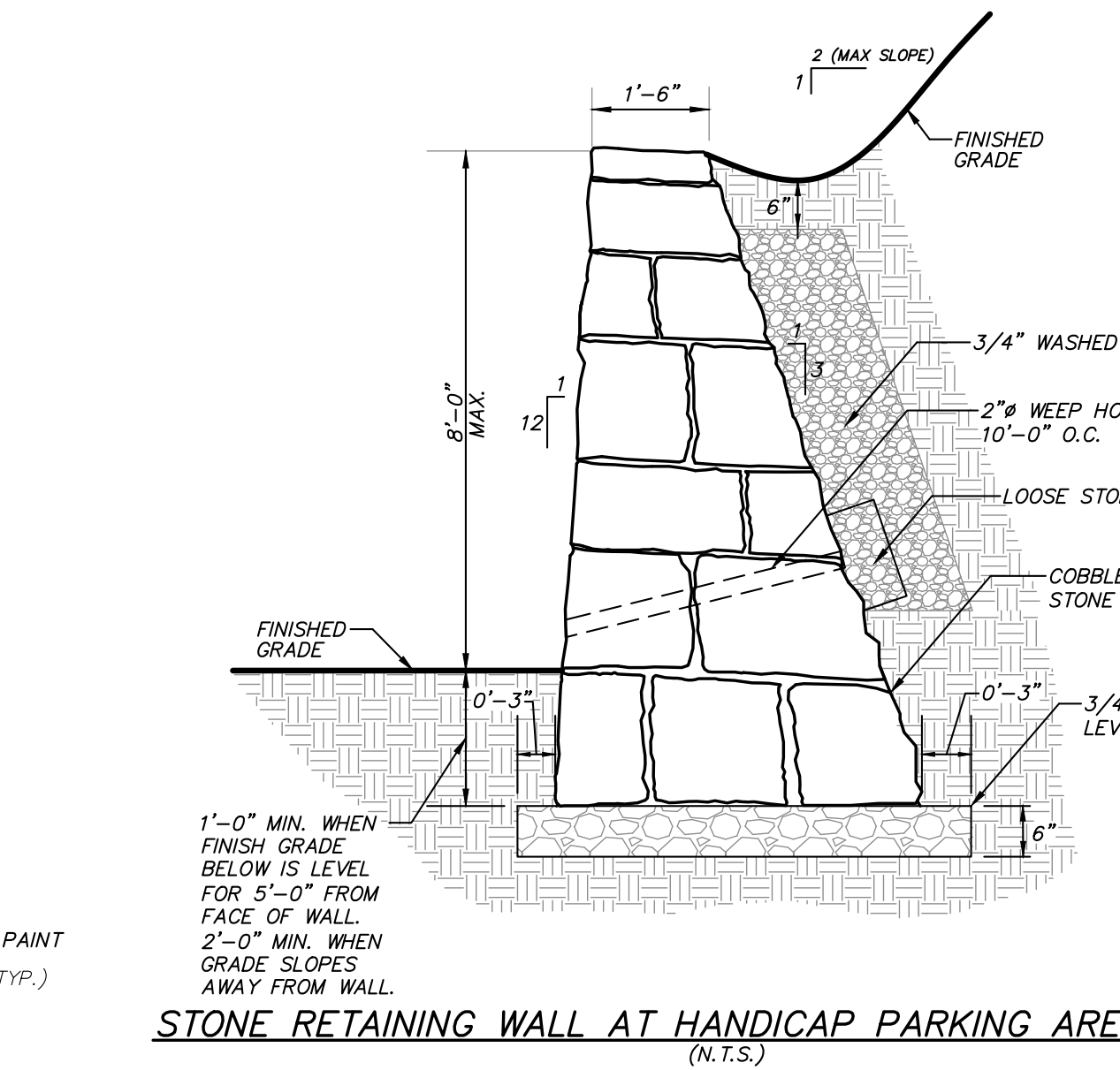
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE:
1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL (N.T.S.)

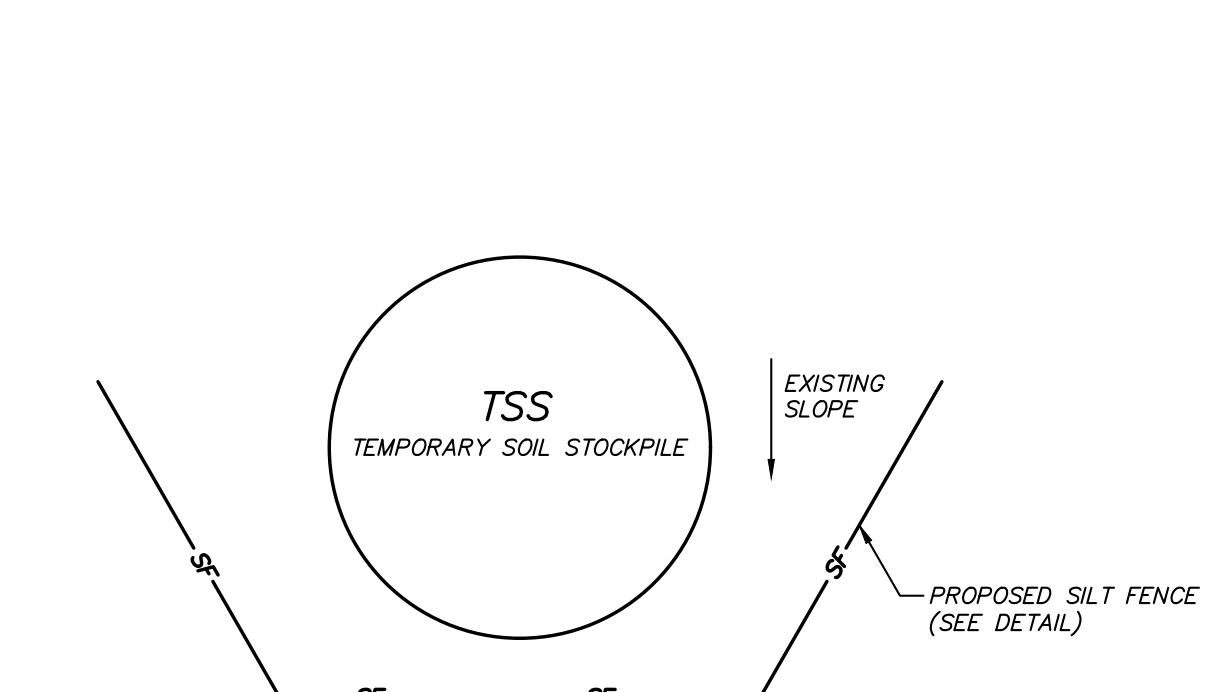


INSTALLATION NOTES:
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAYBE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
MAXIMUM DRAINAGE AREA 1 ACRE

FILT FABRIC INLET PROTECTION DETAIL (N.T.S.)

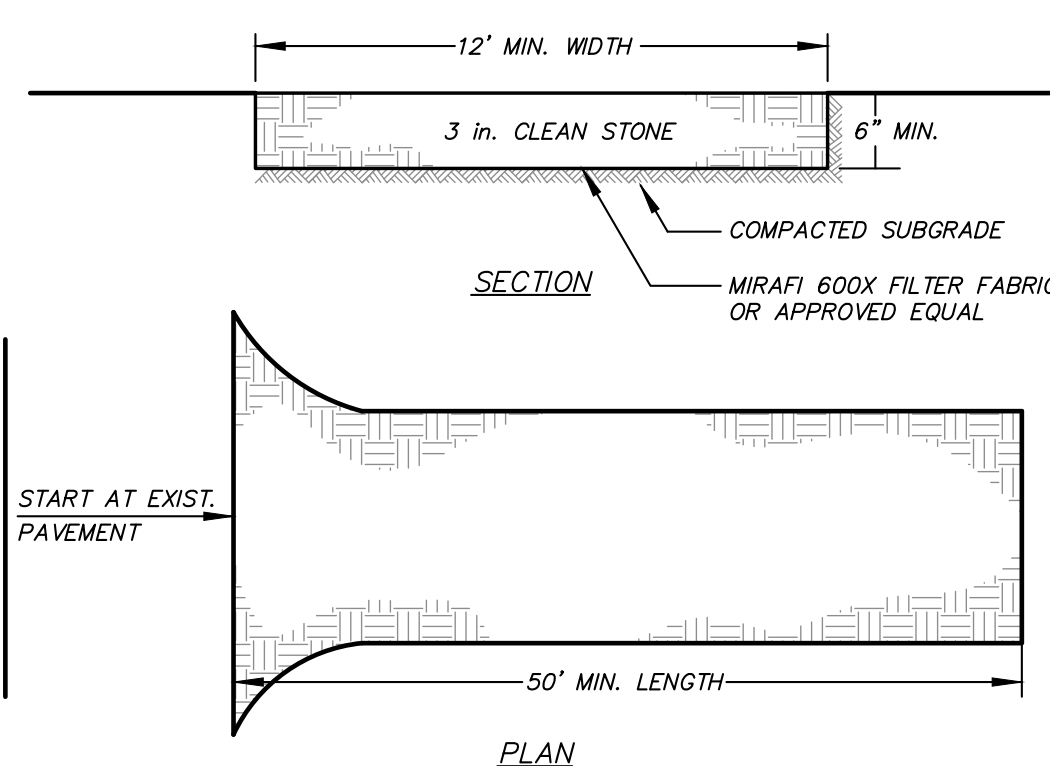


STONE RETAINING WALL AT HANDICAP PARKING AREA DETAIL (N.T.S.)



NOTES:
1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDED WITH K31 PERENNIAL TALL FESCUE.
4. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)



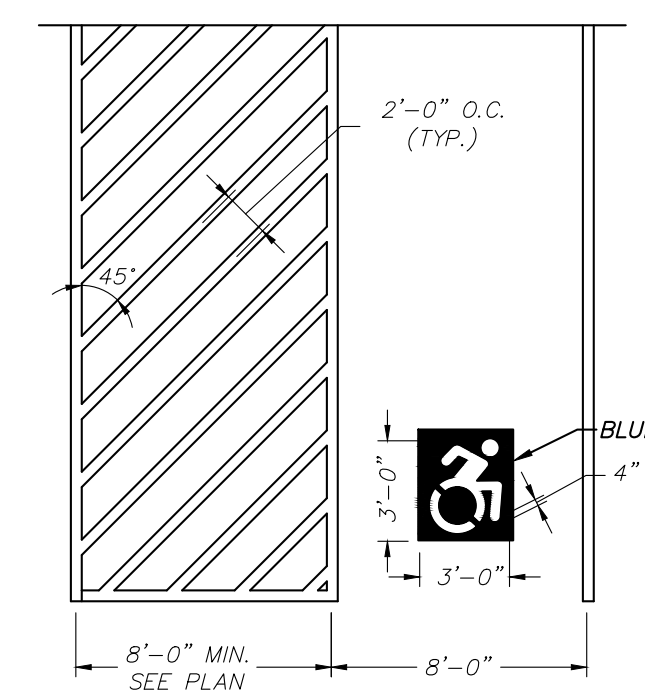
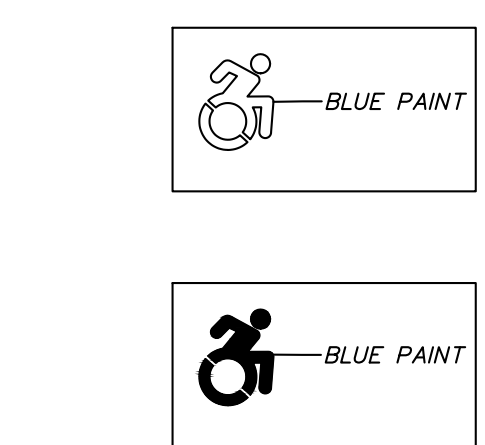
PLAN

INSTALLATION NOTES:
1. STONE SIZE - USE 3" STONE
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)

NOTES:
1. ALL WALLS EQUAL TO OR GREATER THAN FOUR (4) FEET IN HEIGHT SHALL BE DESIGNED BY A NYS LICENSED PROFESSIONAL ENGINEER.
2. ALL WALLS EQUAL TO OR GREATER THAN FOUR (4) FEET IN HEIGHT SHALL BE CERTIFIED BY THE DESIGN PROFESSIONAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLETION.
3. CONTRACTOR SHALL RETAIN QUALIFIED MATERIAL TESTING COMPANY TO VERIFY CONFORMANCE OF SOIL CONDITIONS, MATERIAL SPECIFICATIONS, SOIL COMPACTION, AND OTHER REQUIREMENTS OF THE WALL DESIGN.
4. STRIP VEGETATION AND ORGANIC SOIL FROM WALL AREA.
5. DESIGN PARAMETERS:
a. FRICTION ANGLE COHESION UNIT WEIGHT
RETAINED SOIL - 33° 0 110 pcf
FOUNDATION SOIL - BEARING STRESS 3,000 PSI
GROUND WATER - BELOW BASE OF FOOTING
b. TESTING FREQUENCY:
FOUNDATION BEARING - 3 LOCATIONS ALONG WALL
RETAINED SOIL - 3 RANDOM SAMPLES PER MATERIAL SOURCE
6. BENCH CUT ALL EXCAVATED SLOPES.
7. DO NOT OVER EXCAVATE UNLESS DIRECTED BY DESIGN ENGINEER TO REMOVE UNSUITABLE SOIL.
8. DESIGN ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN STANDARDS AND PARAMETERS, BY USING THE TEST RESULTS SUPPLIED BY CONTRACTOR'S TESTING COMPANY.
9. LEVELING PAD SHALL CONSIST OF 3/4" CRUSHED GRAVEL, 6" THICK MIN.
10. MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE 1'-0" OR AS SHOWN.
11. DRAINAGE AGGREGATE SHALL BE INSTALLED DIRECTLY BEHIND THE WALL WITHIN 6" OF THE TOP OF THE WALL. DRAINAGE AGGREGATE SHALL NOT EXTEND BELOW FINAL GRADE IN FRONT OF WALL.
12. CONTRACTOR SHALL DIRECT SURFACE RUNOFF TO AVOID DAMAGING WALL WHILE UNDER CONSTRUCTION.
13. ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT, OR TURF SHALL BE INSTALLED IMMEDIATELY AFTER WALL IS COMPLETED.

PAINTED NYS ACCESSIBLE PARKING DETAIL (N.T.S.)



NOTE: ALL HANDICAP STRIPING SHALL BE 4" WIDE BLUE PAINT.

PAINTED NYS ACCESSIBLE PARKING DETAIL (N.T.S.)

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated _____

Joseph Cerniele, P.E.
Kellard Sessions Consulting
Town Consulting Engineer

DATE _____

PLANNING BOARD APPROVAL

Approved by the Resolution of the Lewisboro Planning Board.

Chair _____ Date _____

Administrator _____ Date _____

OWNER'S / APPLICANT'S CERTIFICATIONS

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.

Waccabuc Country Club
90 Mead Street
Waccabuc, NY 10597

DATE _____

1	3-29-22	REVISED PER TOWN COMMENTS	SMR
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place
Cortlandt, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS

90 Mead St., Waccabuc, Town of Lewisboro, Westchester Cty, NY

DRAWING: SITE DETAILS

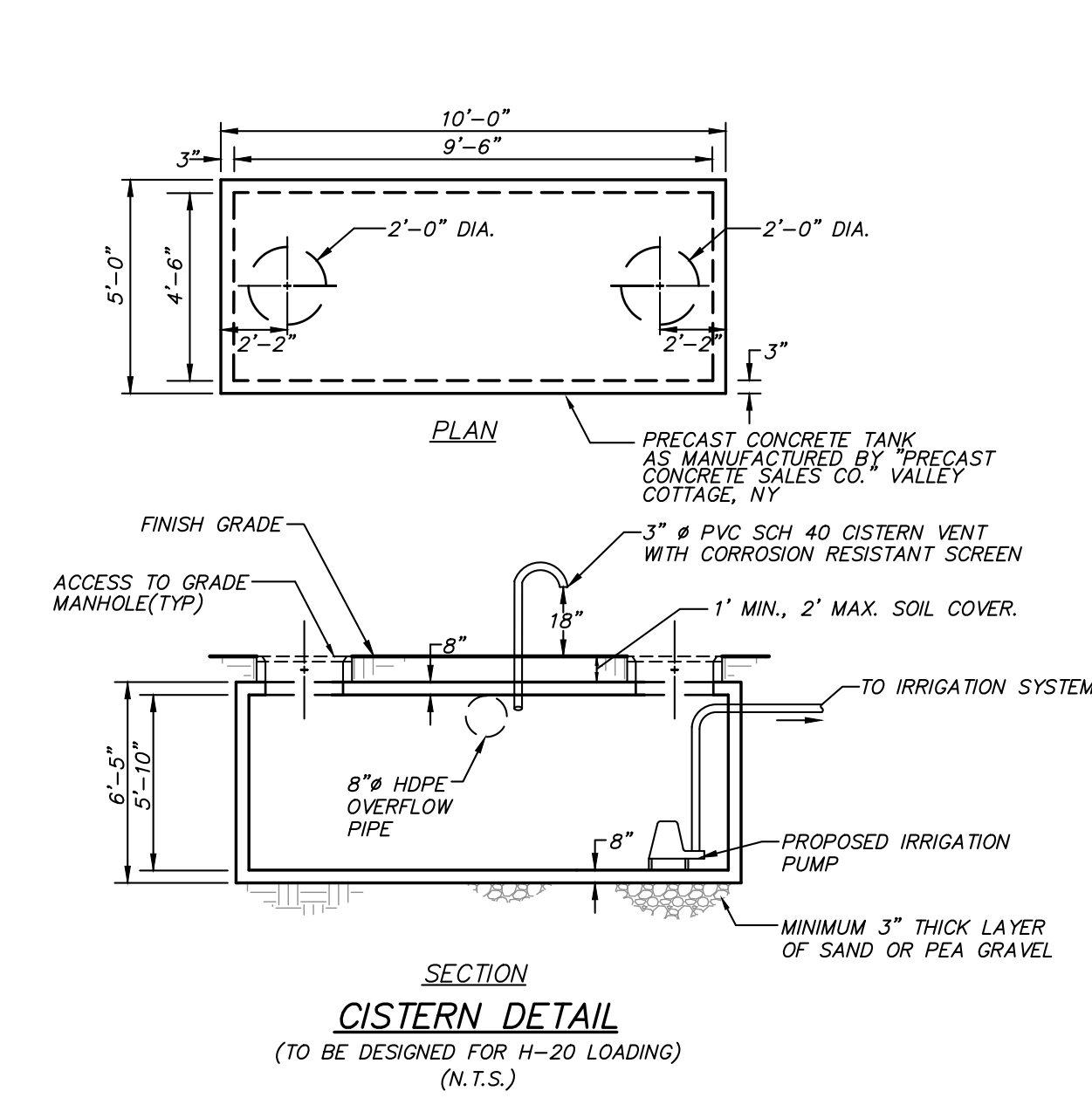
PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.
DATE	2-8-22	DRAWN BY	E.R.A.
SCALE	AS SHOWN	CHECKED BY	D.L.M.

DRAWING NO. D-1

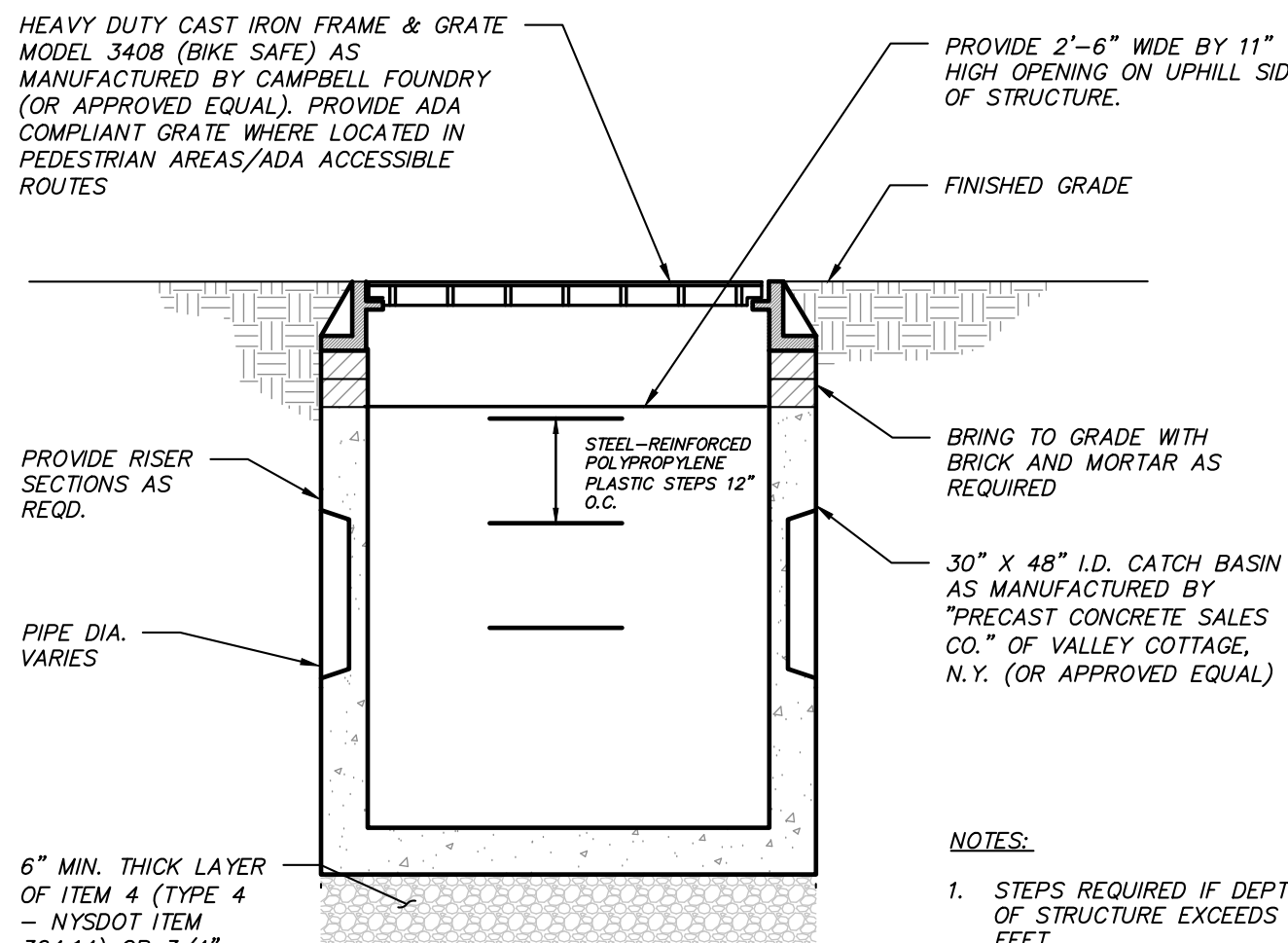
SHEET 6

IRRIGATION SYSTEM NOTES:

1. A cistern system is proposed to capture roof runoff from the proposed boat house. The cistern will be used regularly to ensure storage capacity is provided for future storm events and to prevent the stored runoff from becoming stagnant.
2. The cistern shall be installed with a pump and distribution piping capable of servicing the onsite landscaped areas. Irrigation system to be designed by others.
3. The cistern system shall consist of two (2) concrete tanks connected together for a total storage volume of 3,200 gallons.
4. The cistern system shall be installed prior to the installation of finished asphalt and concrete surfaces.
5. Irrigation distribution and piping shall be installed prior to the installation of finished asphalt and concrete surfaces.
6. Water levels in the cisterns must be lowered at the beginning of winter to prevent possible ice damage and provide the needed storage in the cistern for capturing runoff from spring snow melt.
7. Contractor to connect both tanks with 6" PVC SDR 35 equalization pipes. Equalization pipes shall be laid level at the bottom of the tanks.
8. A 3" PVC SCH 40 vent shall be provided for each tank. The vents shall be collected with a manifold to an open vent in the adjacent lawn area.

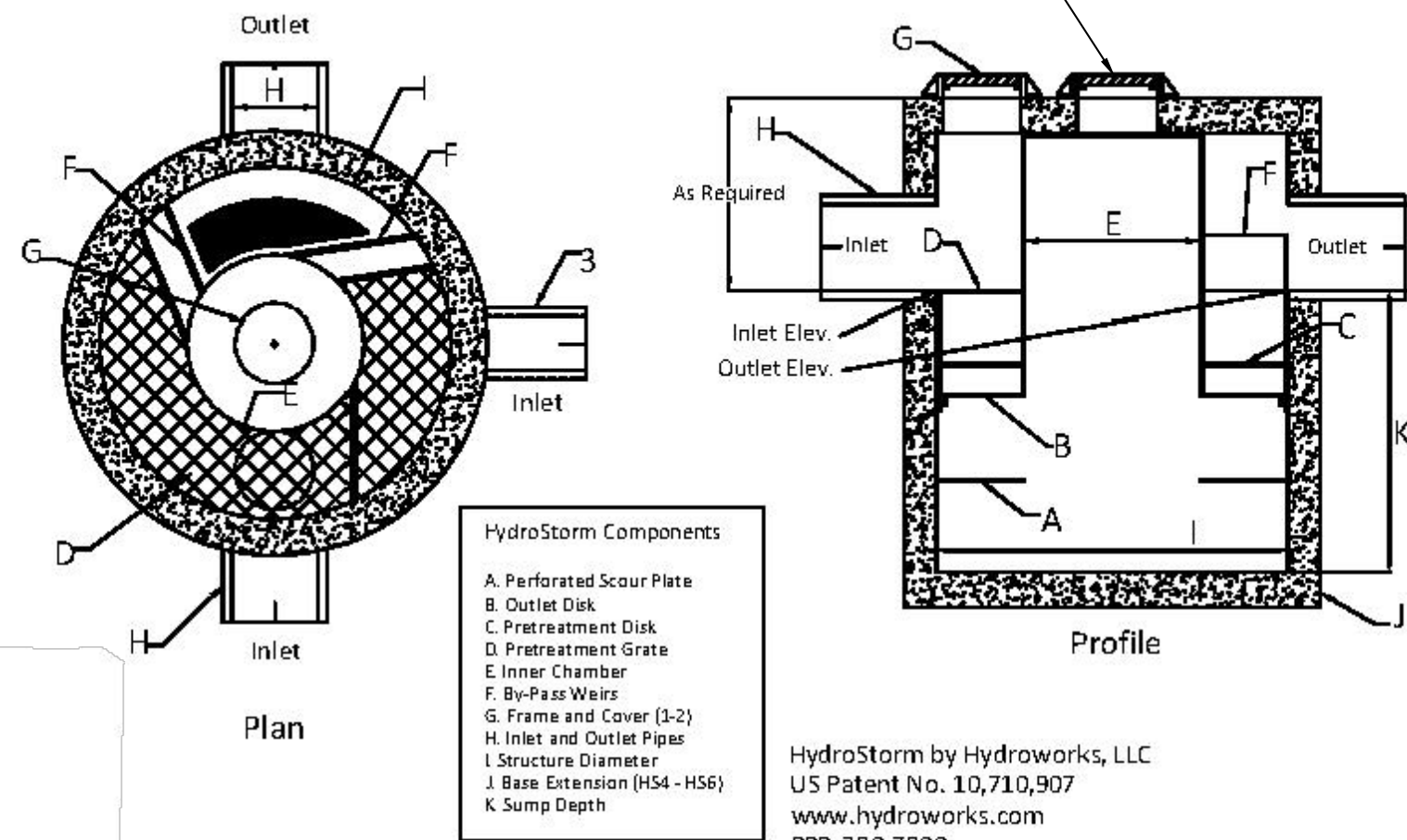


FLOW SPLITTER FS 1.1 DETAIL (N.T.S.)



SIDE DRAIN INLET DETAIL (N.T.S.)

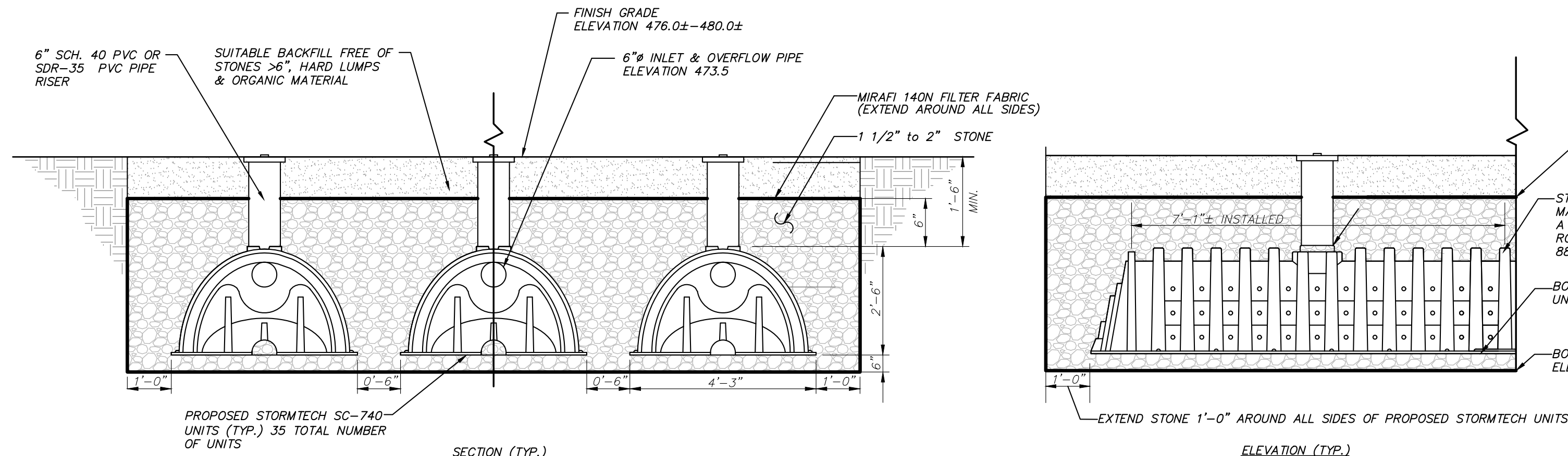
PROPOSED HYDROWORKS HYDROSTORM HYDRODYNAMIC SEPARATOR MODEL HS 4



Notes:

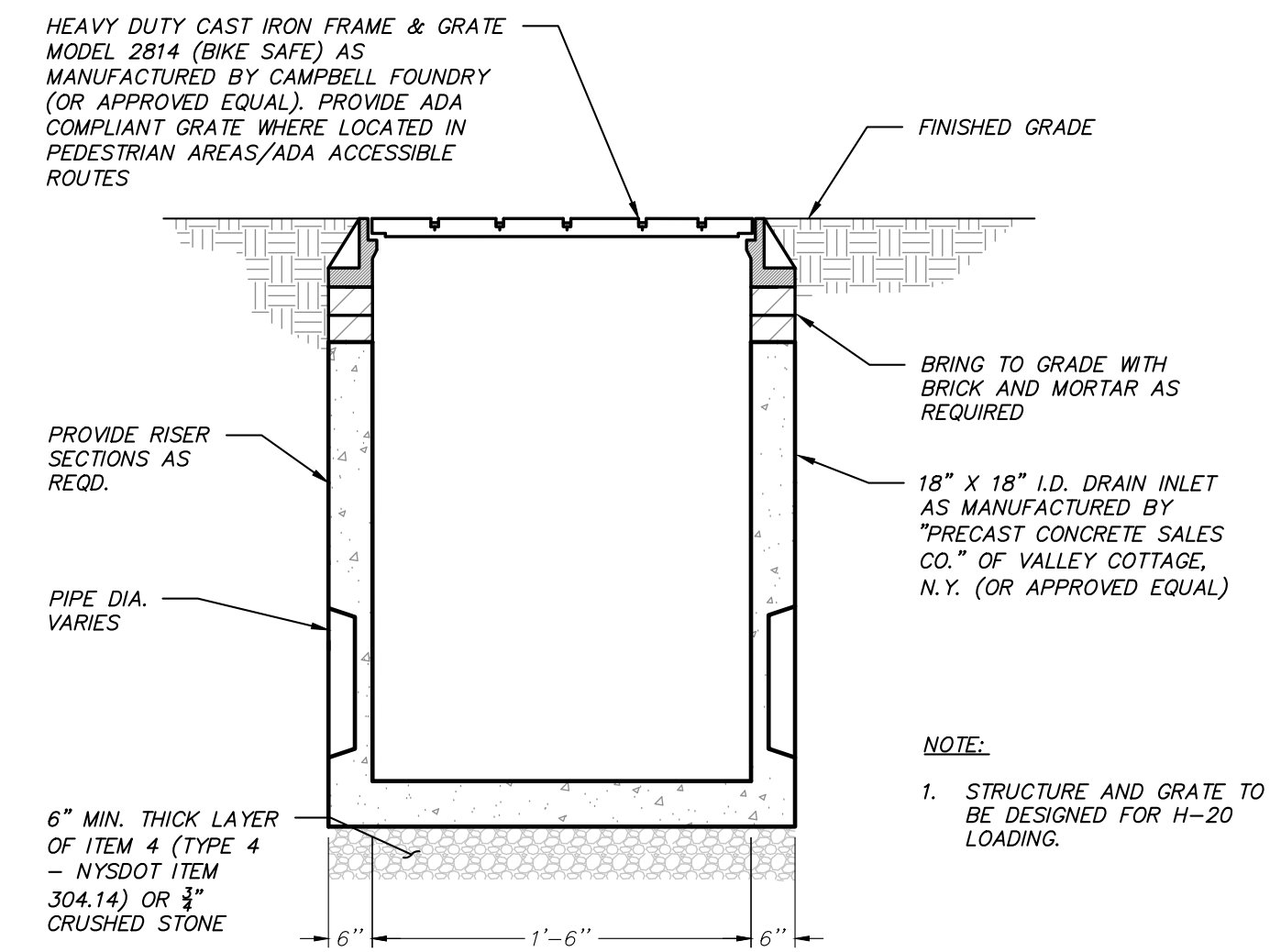
1. Headloss K factor of 1.04 for hydraulic gradeline calculations
2. Sump depths shown are typical. Additional depth can be added as required
3. Multiple inlet pipes allowed
4. Drops allowed
5. Inlet invert elevations should be the same or higher than the outlet invert elevation. Inlet can be up to 12" (300 mm) lower than outlet if pretreatment area is omitted but 12" (300 mm) must be added to sump depth to maintain overall treatment volume.
6. Solid Cover shown. HydroStorm can be designed with an inlet grate if required.
7. Oil captures given are spill capacities.
8. Sediment depths are maximum holding capacities and not recommended capacities for regular maintenance
9. Capacities are rounded down to nearest 5 gal or ft3 (1L or 0.1 m3 for metric units)
10. Base Extensions not provided on standard units larger than the HS 6. Extensions can be provided if required due to groundwater/buoyancy concerns at the request of the engineer of record.
11. HS4 to HS6 models require one frame and cover. HS7 to HS12 models require two covers

HYDROWORKS HYDROSTORM HYDRODYNAMIC SEPARATOR DETAIL (N.T.S.)

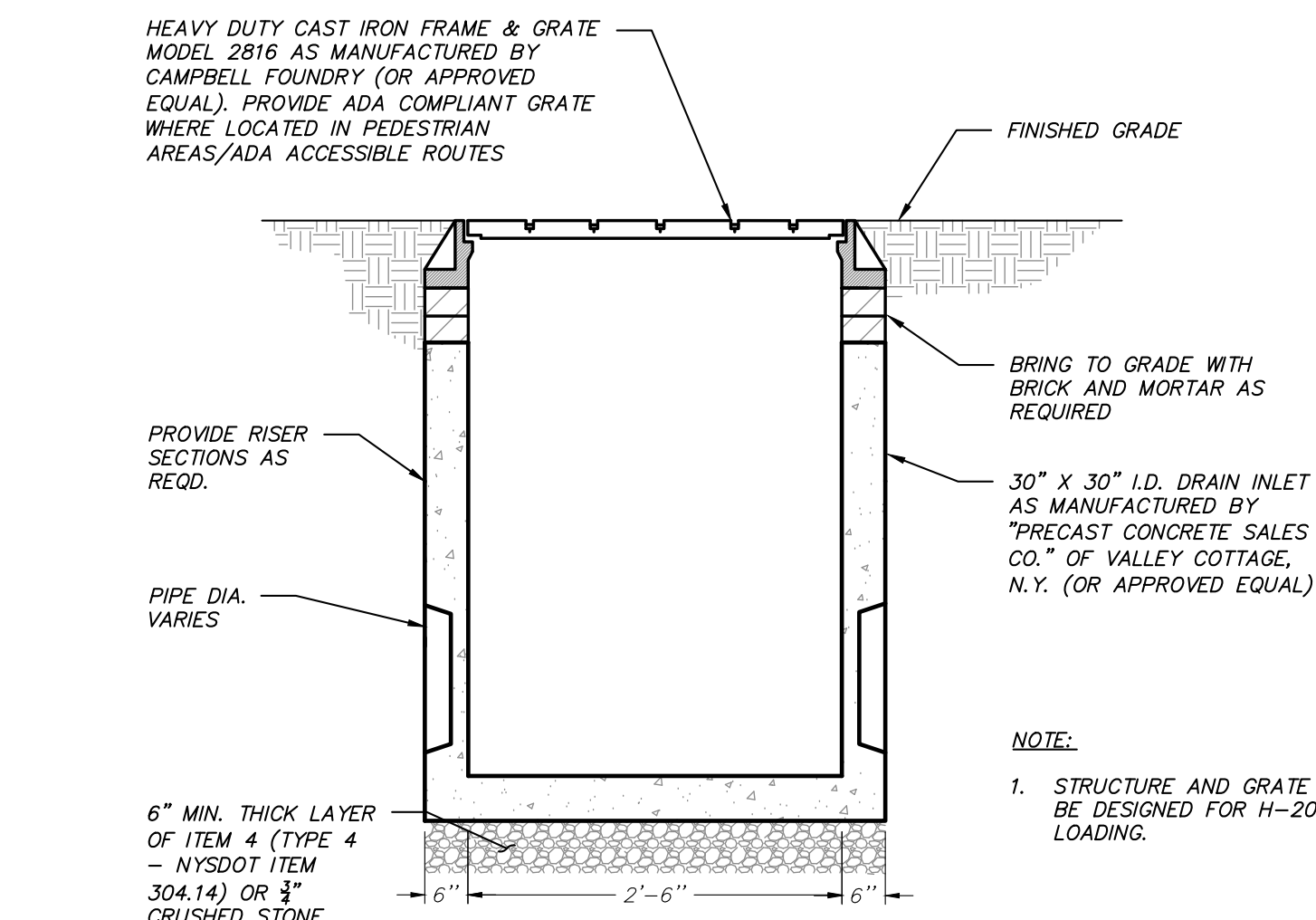


STORMWATER INFILTRATION SYSTEM (NYSDEC DESIGN I-4) DETAIL (N.T.S.)

DRAINAGE MANHOLE DETAIL (N.T.S.)



18" X 18" DRAIN INLET DETAIL (N.T.S.)

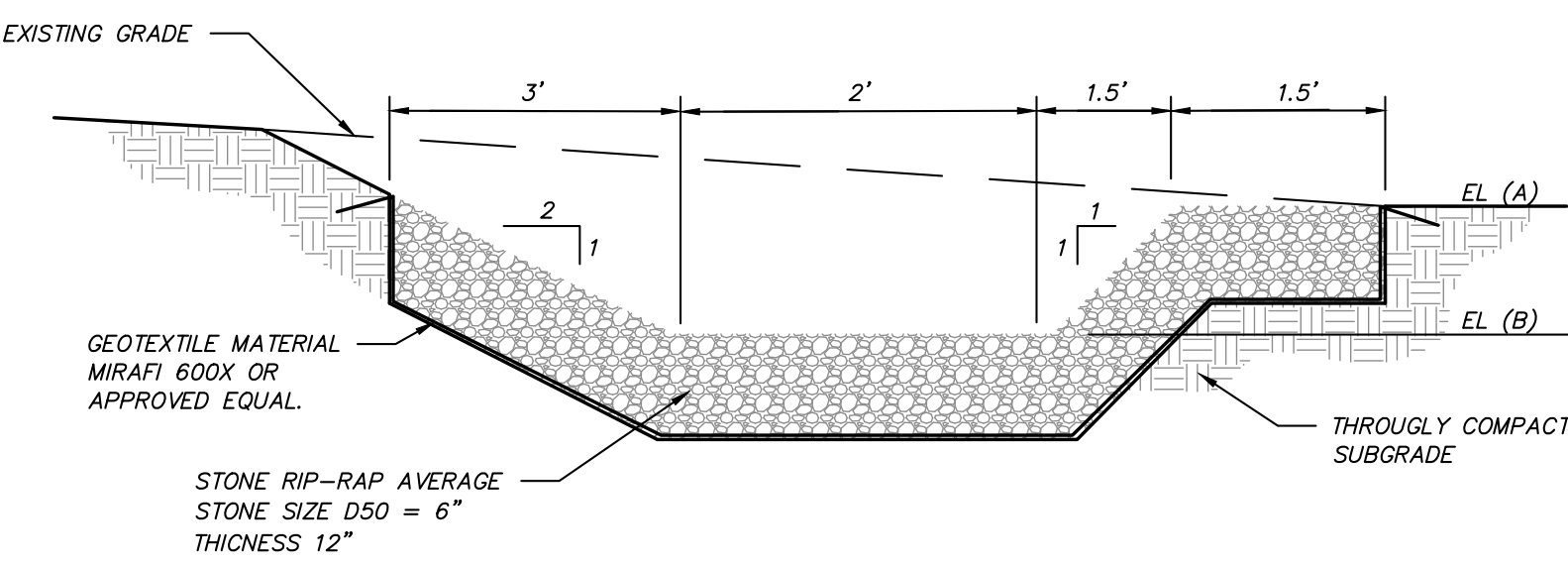


30" X 30" DRAIN INLET DETAIL (N.T.S.)

PRACTICE/FACILITY	MONTHLY	AFTER MAJOR STORM EVENTS	BI-ANNUALLY	YEARLY	EVERY 5 to 10 YEARS
INFILTRATION UNITS	-	Confirm infiltrators deater within 40 hours	Inspect & clean	Inspect outlet structures & remove accumulated sediment	Clean isolator row per manufactures recommendations
SUBSURFACE STORMWATER COLLECTION SYSTEMS	-	-	Inspect & clean	Inspect, clean, repair and/or replace structures. Remove debris.	-
CISTERN	Inspect tanks and irrigation pump and provide maintenance as required	-	-	Inspect for & remove accumulated sediment	-

Note: The party responsible for implementation of the maintenance schedule during and after construction is:

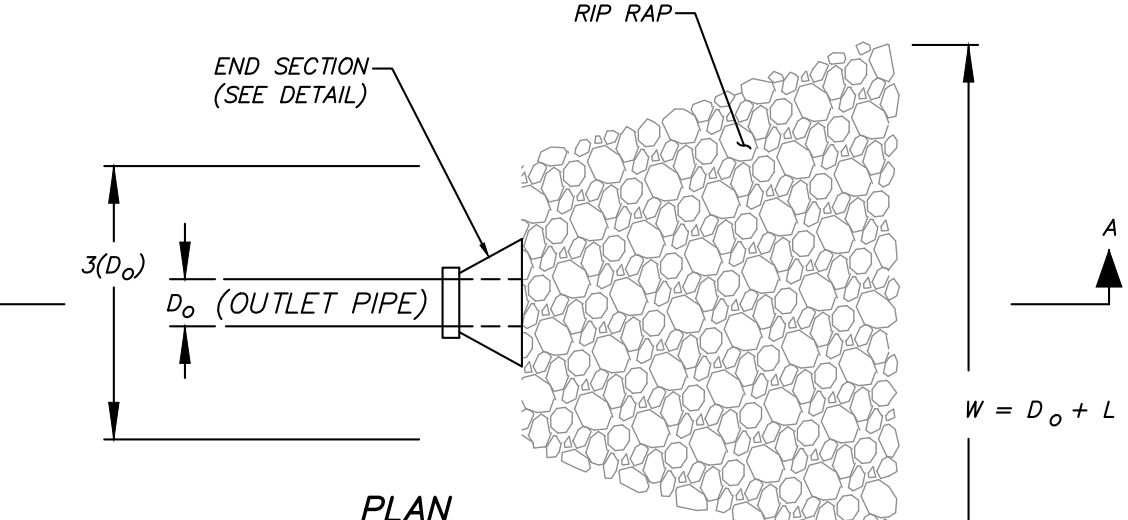
WACCABUC COUNTRY CLUB
90 MEAD STREET
WACCABUC, NY 10597



END SECTION	100-YEAR PEAK FLOW (cfs)	LENGTH (ft)	100-YEAR PEAK OUTFLOW PER LENGTH FOOT (cfs)	ELEVATION (A)	ELEVATION (B)
ES 9A & 9B	2.43	10	0.24	483.0	491.5
ES 2	7.2	15	0.48	482.0	480.5

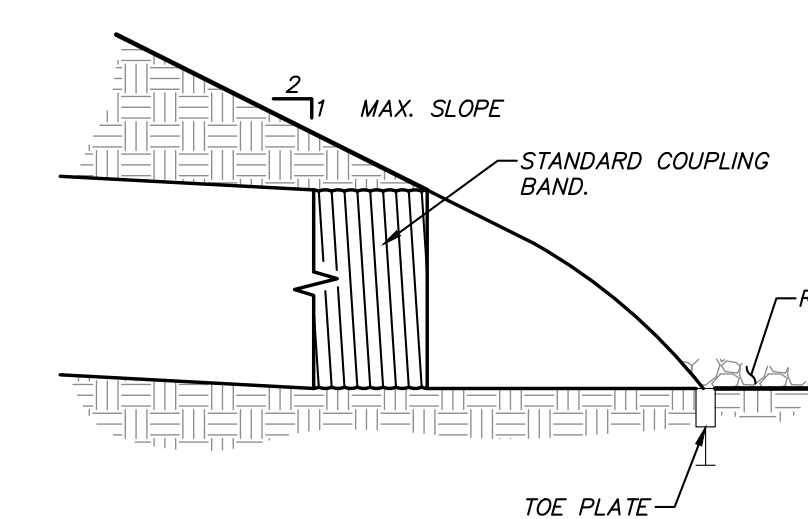
- NOTES:
1. THE LEVEL SPREADERS HAVE BEEN SIZED TO PROVIDE LESS THAN 0.5 CFS PER LINEAR FOOT IN ACCORDANCE WITH THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", LATEST EDITION.
 2. THE 100-YEAR PEAK FLOW FOR THE LEVEL SPREADER WAS TAKEN FROM THE POST-DEVELOPMENT COMPUTER DATA CONTAINED IN APPENDIX C OF THE PROJECT STORMWATER POLLUTION PREVENTION PLAN.

LEVEL SPREADER DETAIL (N.T.S.)

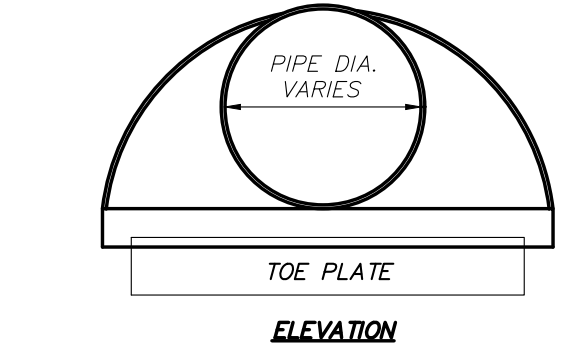


SECTION A-A

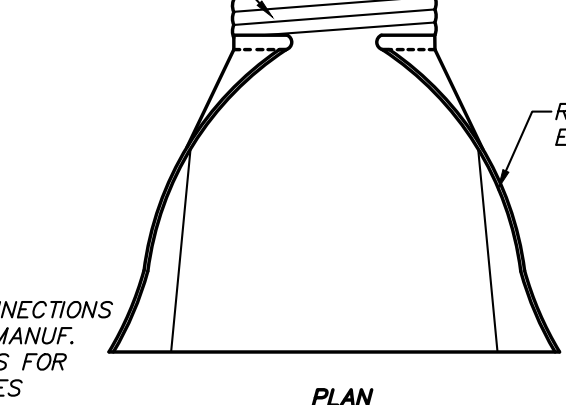
VELOCITY DISSIPATOR DETAIL (N.T.S.)



SECTION



ELEVATION



PLAN

END SECTION DETAIL (N.T.S.)

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated _____

Joseph Cernale, P.E.
Kellard Sessions Consulting
Town Consulting Engineer

OWNER'S / APPLICANT'S CERTIFICATIONS

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.

Waccabuc Country Club
90 Mead Street
Waccabuc, NY 10597

REQUIRED SWPPP CONTENTS PER GP-0-20-001:

1. Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plan (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control". Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1a-1 of General Permit GP-0-20-001:

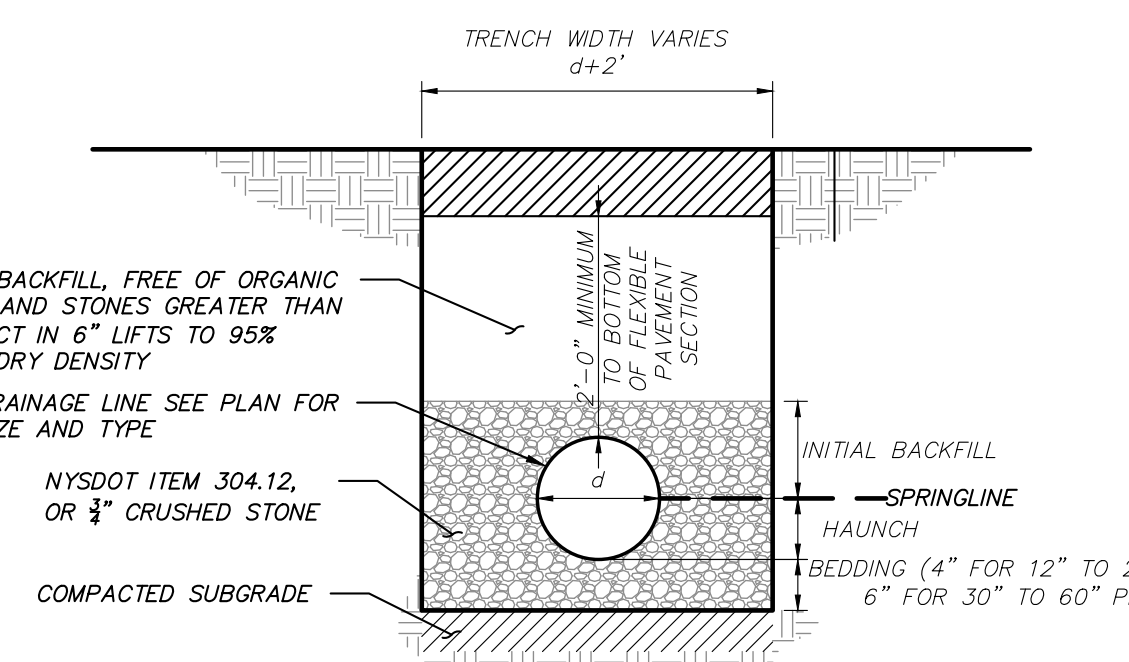
Background Information: The subject project consists of the redevelopment of the existing Beach Club portion of Waccabuc Country Club including modifications to the existing concession stand and boat house and construction of a covered deck, access driveway, handicap accessible parking area and associated appurtenances.

- a. Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.
- b. Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Chaffee-Charlton Complex (Csd), and Paxton Fine Sandy Loam (Foc), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Groups "A" and "B".
- c. Construction phasing plan / sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Sedimentation and Erosion Control Notes contained hereon outline a general erosion control plan for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
- d. Description of erosion and sediment control practices: This plan, and details / notes shown hereon serve to satisfy this SWPPP requirement.
- e. Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided herein identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
- f. Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.
- g. The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
- h. An inspection schedule: Inspections are to be performed twice weekly and by a qualified professional as required by the General Permit GP-0-15-002. In addition the NYSDEC Training Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.

- i. A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
- j. A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
- k. Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control": All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control".

2. Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in conformance with the most current version of the technical standard, New York State Stormwater Management Design Manual ("Design Manual"). Where post-construction stormwater management practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part III.B.2-1 and III.B.3:
- a. Identification of all post-construction stormwater management practices to be constructed as part of the project: This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
- b. A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice: This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
- c. A Stormwater Modeling and Analysis Report including pre-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that each practice has been designed in conformance with the sizing criteria, identification of any deviations for any deviations from the Design Manual, and identification of any design criteria that are not required. The required analysis is provided in the report titled Stormwater Pollution Prevention Plan for Waccabuc Country Club - Beach Club Improvements.
- d. Soil testing results and locations: This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for Waccabuc Country Club - Beach Club Improvements.
- e. Infiltration testing results: This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for Waccabuc Country Club - Beach Club Improvements.

1. An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continuous and effective operation of each post-construction stormwater management practice. The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The Permanent Stormwater Facilities Maintenance Schedule provided on these plans serves to satisfy this requirement.
3. Enhanced Phosphorus Removal Standards - Beginning on September 30, 2008, all construction projects identified in Table 2 of Appendix B that are located in the watersheds identified in Appendix C shall prepare a SWPPP that includes post-construction stormwater management practices designed in conformance with the Enhanced Phosphorus Removal Standards included in the most current version of the technical standard, New York State Stormwater Management Design Manual. At a minimum, the post-construction stormwater management practice component of the SWPPP shall include items 2.a - 2.f. above. The permanent stormwater practices for this project have been sized according to chapter 10 of the Design Manual Enhanced Phosphorus Removal Standards. Please see 2.a - 2.f. above.



DRAINAGE LINE TRENCH DETAIL (N.T.S.)

NO.	DATE	REVISION	SMR	BY
-----	------	----------	-----	----

INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

PROJECT: WACCABUC COUNTRY CLUB
BEACH CLUB IMPROVEMENTS

90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CITY, NY

DRAWING: _____

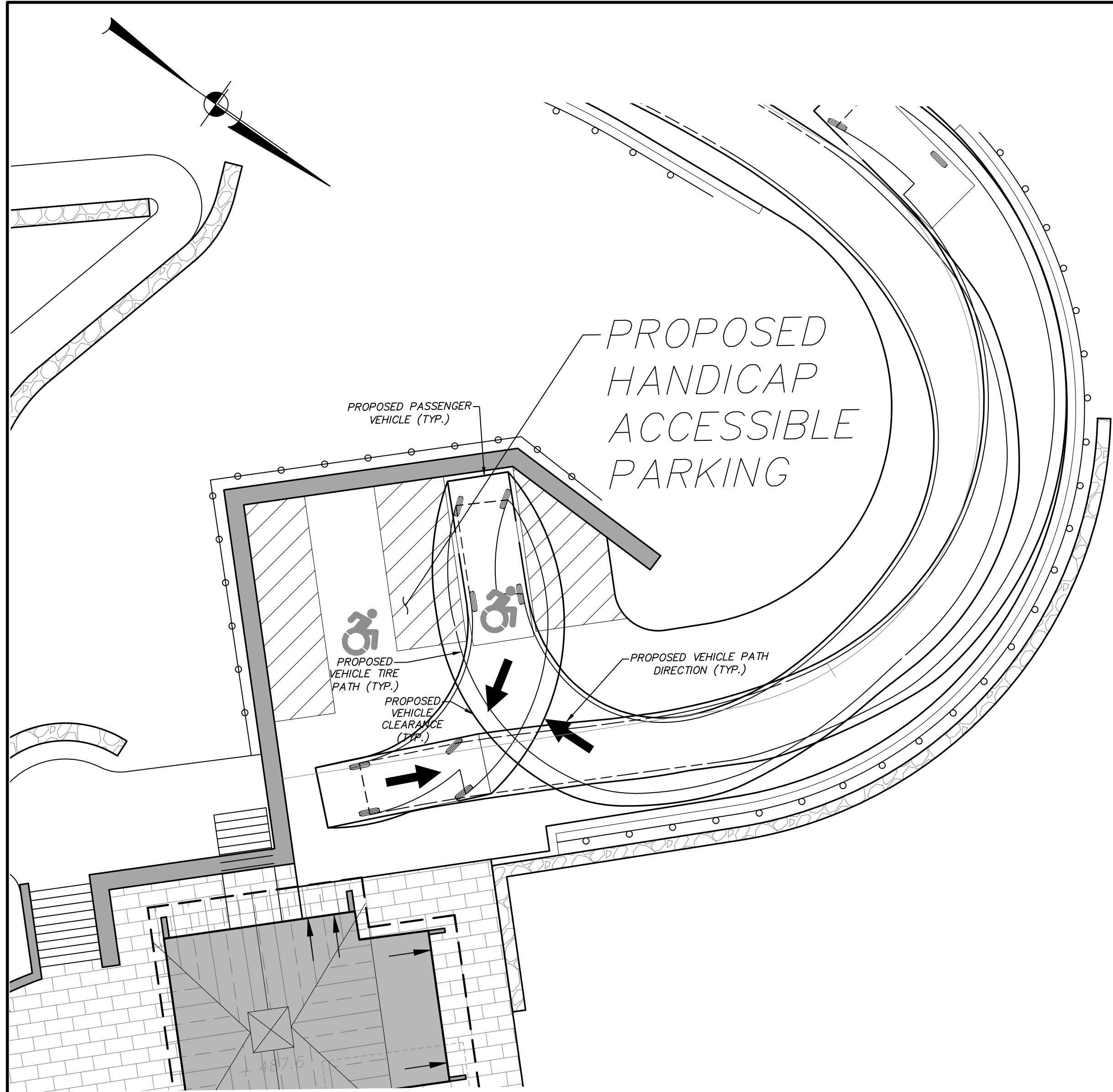
PROJECT NUMBER 20228.100 PROJECT MANAGER Z.M.P.

DATE 2-8-22 DRAWN E.R.A.

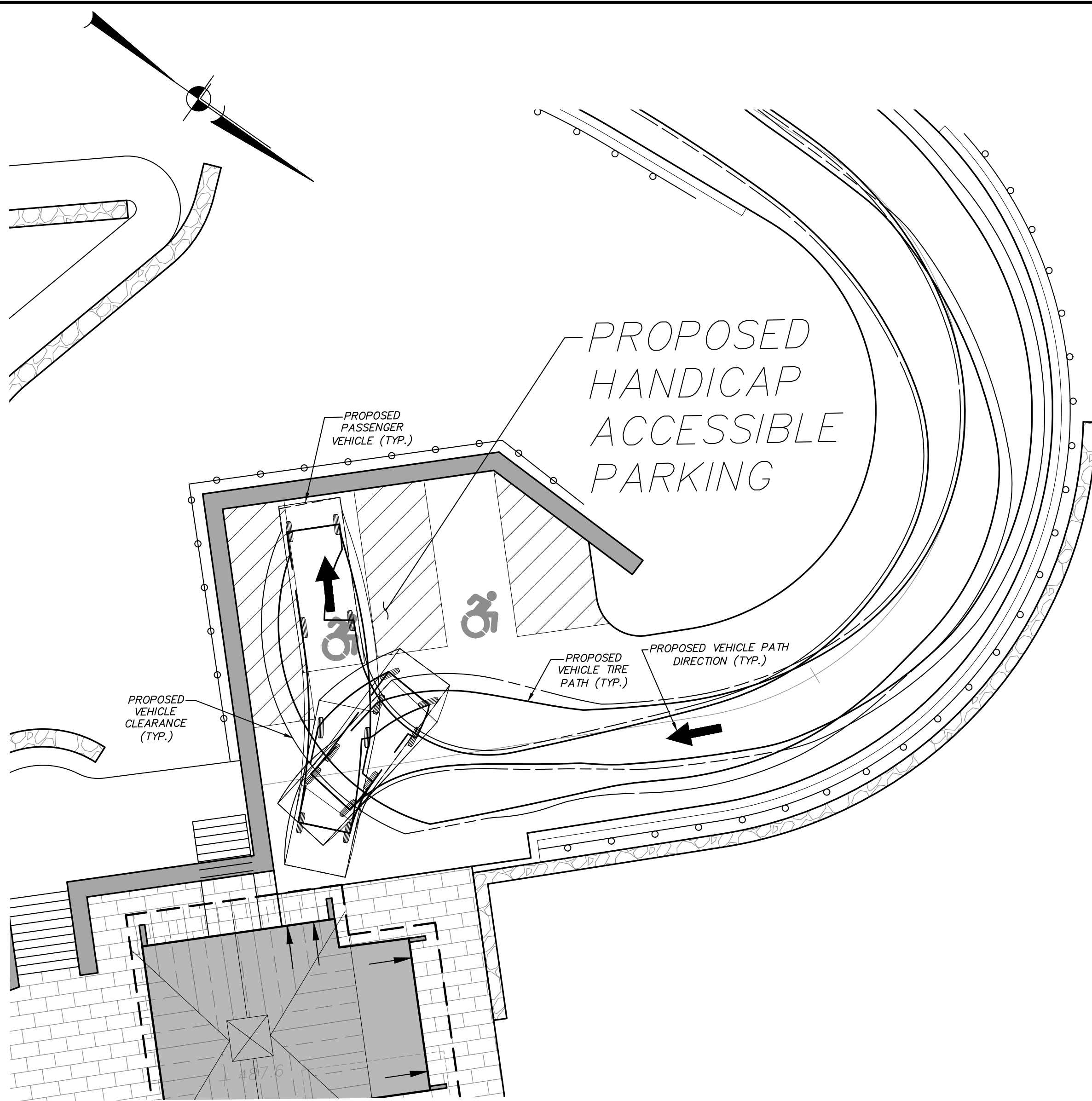
SCALE AS SHOWN CHECKED BY D.L.M.

DRAWING NO. 7

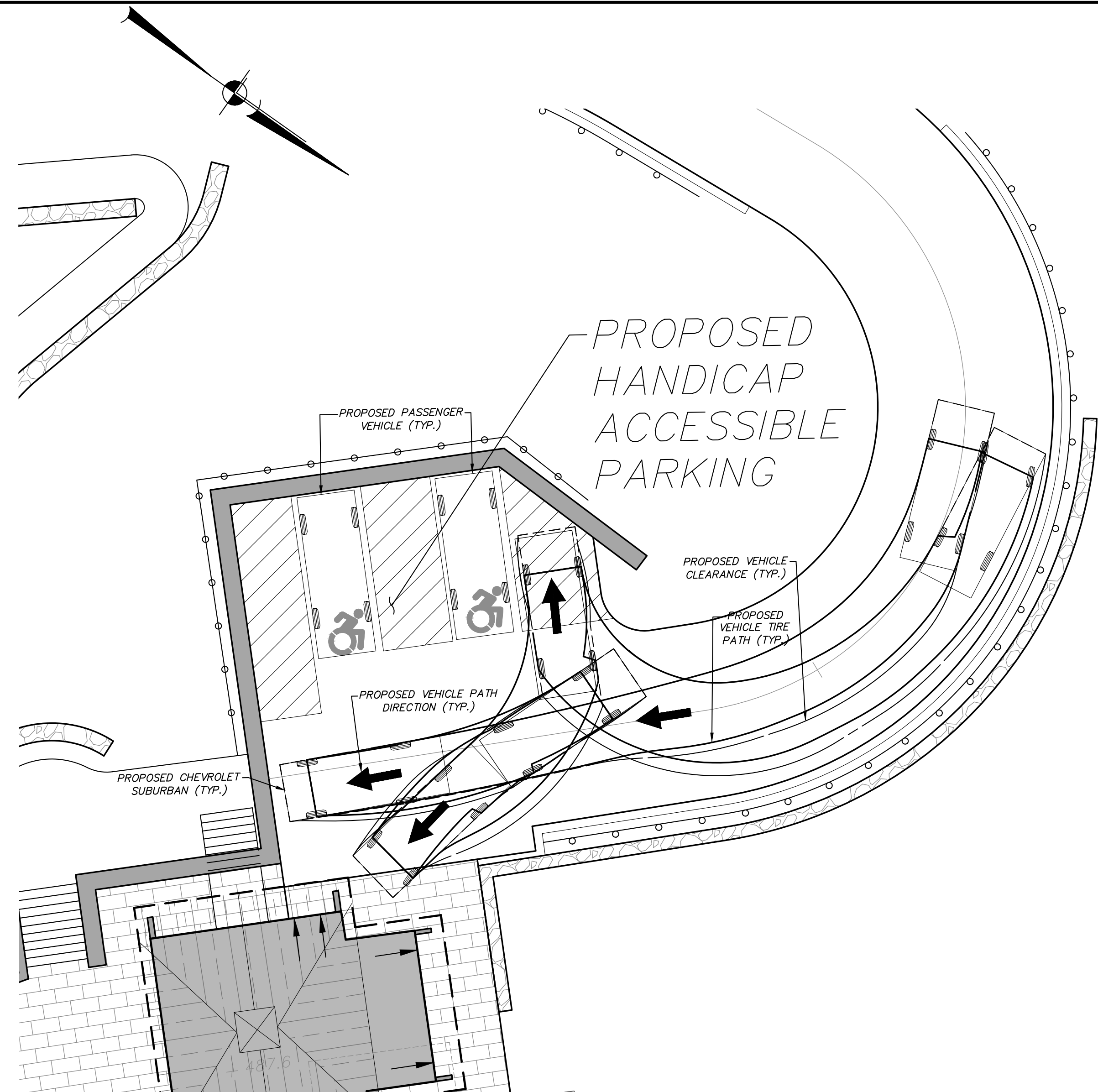
SHEET 8



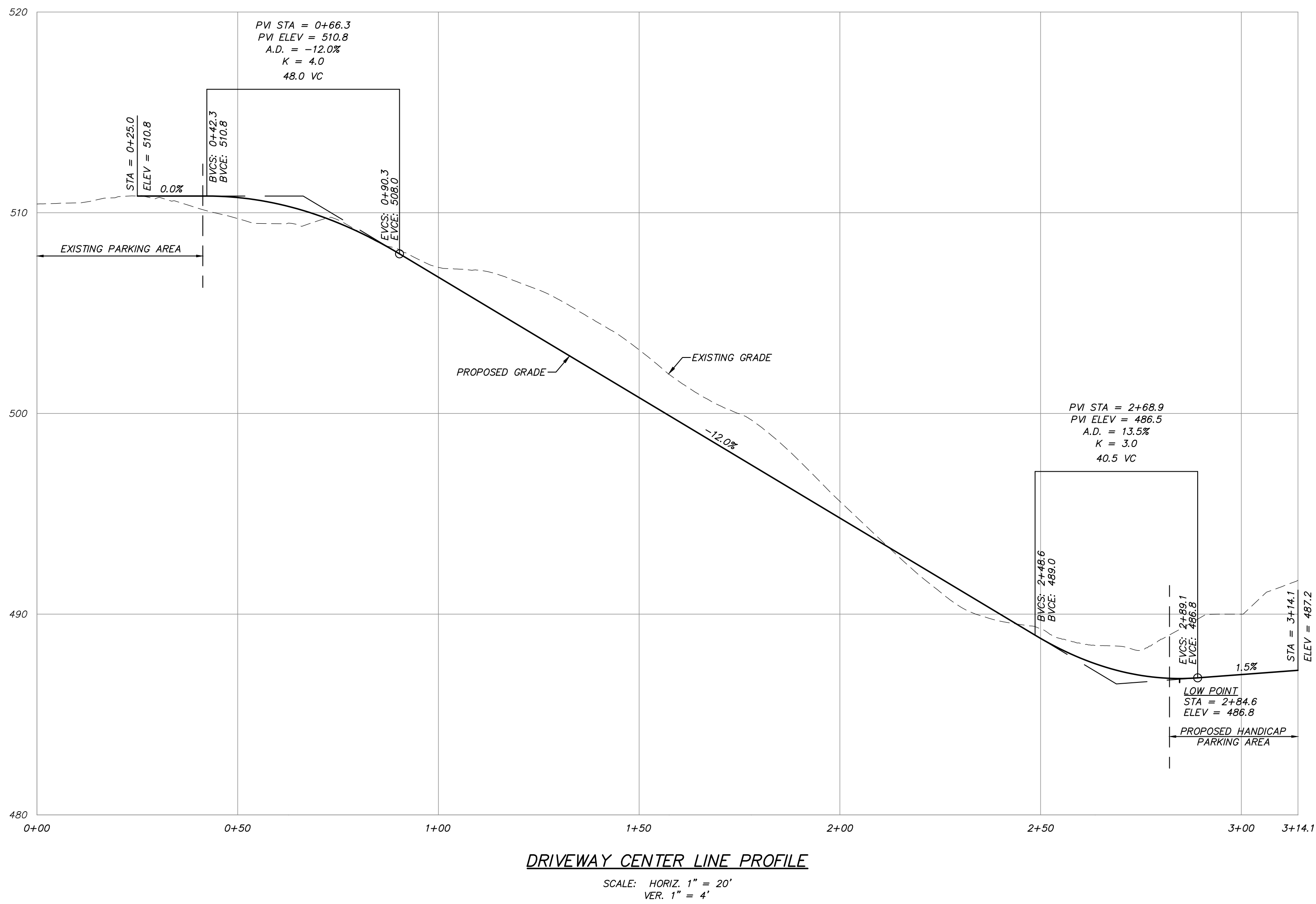
1. PASSENGER VEHICLE TURNING STUDY WITH PASSENGER CAR
SCALE: 1" = 10'



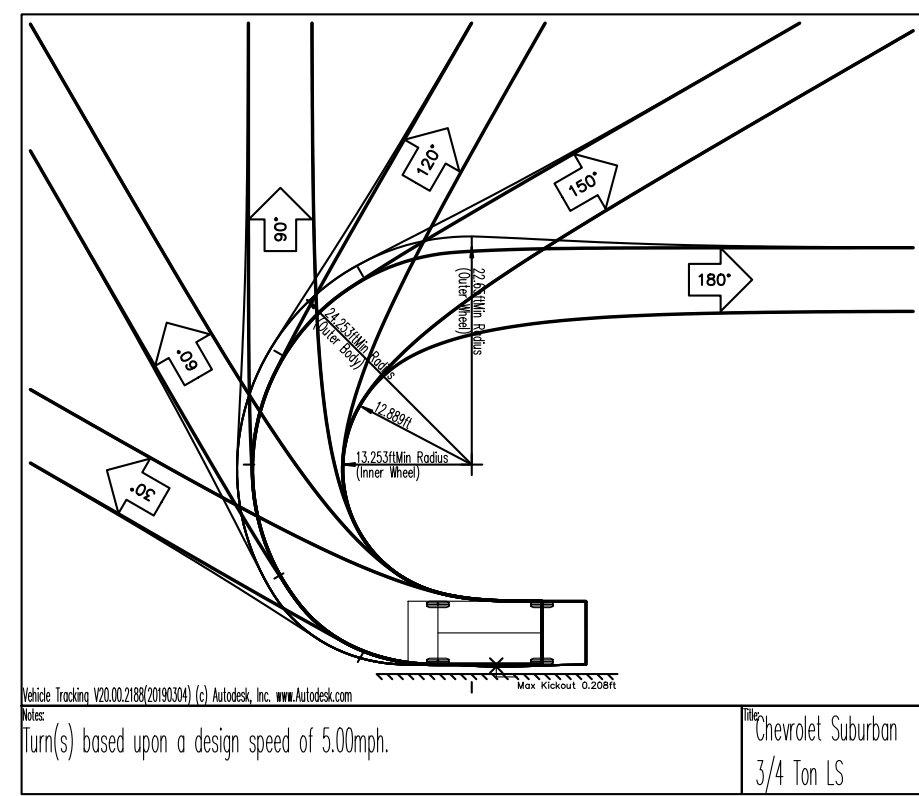
2. PASSENGER VEHICLE TURNING STUDY WITH PASSENGER CAR
SCALE: 1" = 10'



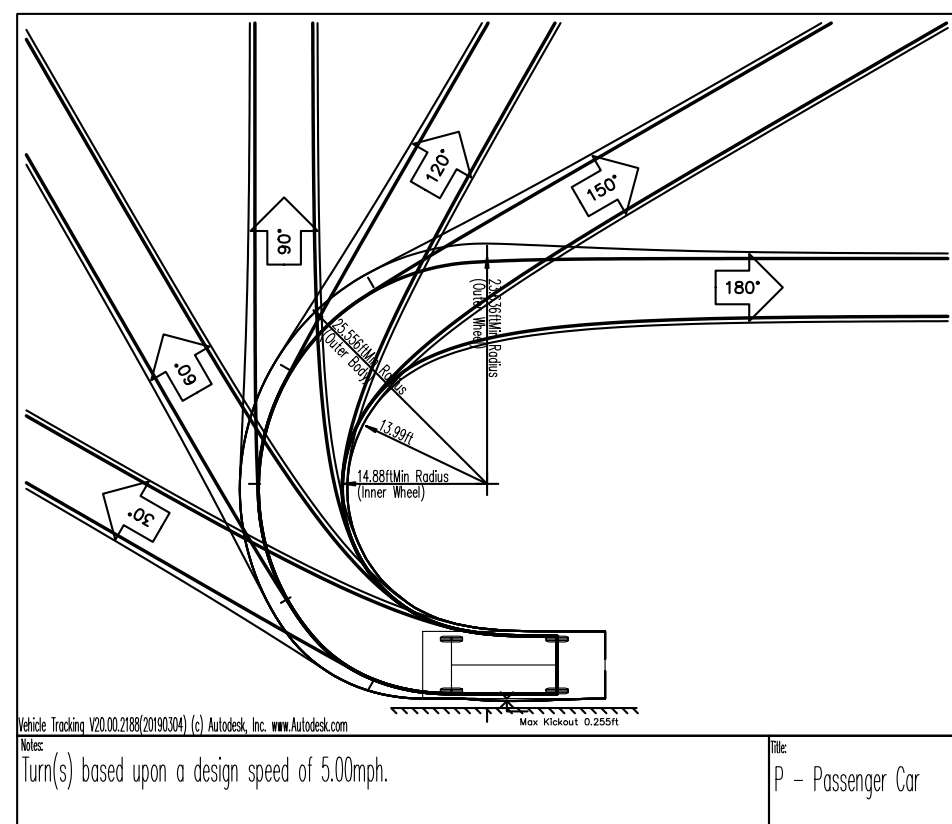
3. PASSENGER VEHICLE TURNING STUDY WITH CHEVROLET SUBURBAN
SCALE: 1" = 10'



DRIVEWAY CENTER LINE PROFILE
SCALE: HORIZ. 1" = 20'
VER. 1" = 4'

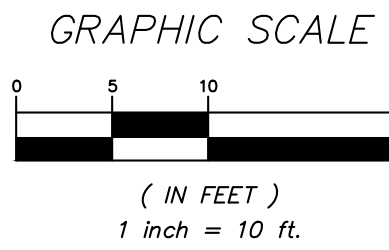


CHEVROLET SUBURBAN TEMPLATE



PASSENGER VEHICLE TEMPLATE

PLANNING BOARD APPROVAL	
Approved by the Resolution of the Lewisboro Planning Board.	
Chair	Date
Administrator	Date
TOWN ENGINEER'S CERTIFICATION	
Reviewed for compliance with the Planning Board Resolution dated _____	
Joseph Cermelo, P.E. Kellard Sessions Consulting Town Consulting Engineer	Date
OWNER'S / APPLICANT'S CERTIFICATIONS	
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.	
Waccabuc Country Club 90 Mead Street Waccabuc, NY 10597	Date



NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS			
90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY			
DRAWING: DETAILS			
PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.
DATE	3-29-22	DRAWN BY	S.M.R.
SCALE	AS SHOWN	CHECKED BY	D.L.M.
DRAWING NO.	SHEET		
D-3		8	8

**PLANNING BOARD
TOWN OF LEWISBORO, WESTCHESTER COUNTY, NY**

COORDINATED ENVIRONMENTAL REVIEW

**NOTICE TO INVOLVED AGENCIES
DECLARATION OF INTENT TO BE LEAD AGENCY**

**Waccabuc Beach Club Improvements
Sheet 25A, Block 10813, Lot 1
Sheet 25, Block 11155, Lot 148**

Date Mailed: 5/11/22
Hand delivered

PLEASE TAKE NOTICE, that at its meeting held on April 19, 2022, the Town of Lewisboro Planning Board declared its intent to serve as Lead Agency for the coordinated environmental review of the proposed Unlisted Action described below; agreement among the Involved Agencies is requested pursuant to the applicable requirements set forth in SEQRA, 6 NYCRR Part 617.

PROPOSED ACTION

The subject property consists of ±9.1 acres of land and is located off of Perch Bay Road within the R-4A Zoning District. The property is owned by the Waccabuc County Club, has frontage on Lake Waccabuc, and is developed with various recreational buildings and amenities to support its private membership. The property obtains access from Perch Bay Road and contains parking areas, a public water well and septic system. The applicant is proposing to renovate the existing boathouse, construct a covered pavilion, replace the existing docks, demolish an existing building, install an outdoor seating area, construct a new snack bar and construct driveways, walkways, handicap access, a new septic system, and stormwater management facilities. The subject property consists of two (2) parcels that are proposed to be merged.

SITE LOCATION

Perch Bay Road, Waccabuc, NY (Town of Lewisboro, Westchester County, NY)

SEQRA CLASSIFICATION AND IDENTIFIED INVOLVED AND INTERESTED AGENCIES

The proposed action has been preliminarily classified as an Unlisted Action, pursuant to 6 NYCRR Part 617. The following potential Involved and Interested Agencies have been identified:

INVOLVED AGENCIES:

- Town of Lewisboro Planning Board
- Town of Lewisboro Zoning Board of Appeals
- Town of Lewisboro Architecture and Community Appearance Board
- Town of Lewisboro Building Department
- Westchester County Department of Health
- New York City Department of Environmental Protection (NYCDEP)
- New York State Department of Environmental Conservation (NYSDEC)
- New York State Historic Preservation Office

INTERESTED AGENCIES

- Westchester County Planning Board
- South Salem Fire Department

COORDINATED ENVIRONMENTAL REVIEW PROCEDURES

Under the applicable standards of SEQRA, 6 NYCRR Part 617, the Town of Lewisboro Planning Board has concluded that it is the appropriate agency to serve as Lead Agency for the coordinated environmental review of the proposed action discussed above. At its meeting held on April 19, 2022, the Planning Board declared its intent to serve as Lead Agency and authorized the circulation of this Notice to the Involved and Interested Agencies.

This Notice, along with a copy of the Planning Board Application Form, Part 1 of the Full Environmental Assessment Form (EAF), and the submitted plans, is being sent to all Involved and Interested Agencies. Each Involved Agency is hereby requested to fill out the attached Lead Agency Agreement. If any Involved Agency does not agree that the Town of Lewisboro Planning Board should be designated as the Lead Agency, it may follow the procedures set forth in SEQRA 6 NYCRR Part 617. If you have any questions or comments, you may contact:

Ciorsdan Conran, Planning Board Administrator
Town of Lewisboro
79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 763-3637
Email: Planning@lewisborogov.onmicrosoft.com

Please return the completed Lead Agency Agreement, and any comments you may have on the application, to the above address within 30 days of mailing. If you do not respond within 30 days, it will be interpreted as your consent that the Town of Lewisboro Planning Board serve as Lead Agency.

**TOWN OF LEWISBORO PLANNING BOARD
COORDINATED ENVIRONMENTAL REVIEW**

LEAD AGENCY AGREEMENT

**Waccubuc Beach Club Improvements
Perch Bay Road
Cal# 06-22PB**

On behalf of _____
(INSERT NAME OF AGENCY)

I acknowledge receipt of the Lead Agency Notice on the above referenced matter, which was mailed on _____.

The above named Involved Agency hereby:

(Please Check One)

- () **AGREES** that the Lewisboro Planning Board serve as Lead Agency for the coordinated environmental review of the proposed action and requests that the undersigned continue to be notified of all filings and hearings on this matter.
- () **DOES NOT AGREE** to the Lewisboro Planning Board serving as Lead Agency and wishes that _____ serve as Lead Agency. To contest Lead Agency designation, the undersigned intends to follow the procedures in accordance with SEQRA 6 NYCRR Part 617.6.

Please return within 30 days of the mailing of this correspondence. In addition, please specify the jurisdiction that your agency has over this project, what issues you believe are relevant in connection with this project and any addition comments or questions.

**Ciorsdan Conran, Planning Board Administrator
Town of Lewisboro
79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 763-3637
Email: Planning@lewisborogov.onmicrosoft.com**

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590 Tel: (914) 763-5592 Email: planning@lewisborogov.com

Site Development Plan/Subdivision Plat Application - Check all that apply:

Waiver of Site Development Plan Procedures ☐
Site Development Plan Approval ☐
Special Use Permit Approval ☐
Subdivision Plat Approval ☐

Step I ☒
Step I ☐
Step I ☐

Step II ☐
Step II ☐
Step II ☐

Step III ☐

Project Information

Project Name: Waccabuc Beach Club Accessibility Improvements

Project Address: Perch Bay Road, Waccabuc, NY

Gross Parcel Area: 8.76 AC +/- Zoning District: R-4A Sheet(s): 25A Block (s): 10813 Lot(s): 01
11155 148

Project Description: Proposed improvements for the Waccabuc Beach Club beachfront area:

Renovate existing "Boathouse" building; replace adjacent storage building with covered outdoor seating area "The Pavillion"; replace existing Snack Bar building; provide handicap parking area with access driveway; construct ramps to provide handicap accessibility to Boathouse and Pavillion; including associated stormwater management and OWTS improvements.

Is the site located within 500 feet of any Town boundary?

YES ☐

NO ☒

Is the site located within the New York City Watershed?

YES ☒

NO ☐

Is the site located on a State or County Highway?

YES ☐

NO ☒

Does the proposed action require any other permits/approvals from other agencies/departments?

Town Board ☐

ZBA ☒

Building Dept. ☒

Town Highway ☐

ACARC ☒

NYSDEC ☒

NYCDEP ☒

WCDH ☒

NYSDOT ☐

Town Wetland ☒

Town Stormwater ☒

Other

Owner's Information

Name: Waccabuc Country Club Email: jdassuma@optonline.net

Address: 90 Mead Street, PO Box 400, Waccabuc NY 10597 Phone: 914-763-3144

Applicant's Information (if different)

Name: same as owner Email:

Address: Phone:

Authorized Agent's Information

Name: Zachary Pearson, P.E. Senior Project Engineer Email: zpearson@insite-eng.com

Address: Insite Engineering, Surveying, and Landscape Architecture, P.C., 3 Garrett Place, Carmel, NY 10512 Phone: 845-225-9690

THE APPLICANT understands that any application is considered complete only when all information and documents required have been submitted and received by the Planning Board. The applicant further understands that the applicant is responsible for the payment of all application and review fees incurred by the Planning Board.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief, and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

APPLICANT'S SIGNATURE John D. Assuma

DATE 02-07-2022

OWNER'S SIGNATURE John D. Assuma

DATE 02-07-2022

Application No.: _____

Fee: _____ Date: _____

**TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION**

79 Bouton Road, South Salem, NY 10590

Phone: (914) 763-5592

Fax: (914) 875-9148

Project Address: Perch Bay Road, Waccabuc, NY 10597

Sheet: 254 ^{25A} Block: 10813 Lot(s): 01
25 11155 148

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): Proposed improvements for the Waccabuc Beach Club beachfront area: Renovate existing "Boathouse" building; replace adjacent storage building with covered outdoor seating area "The Pavillion"; replace existing Snack Bar building; provide handicap parking area with access driveway; construct ramps to provide handicap accessibility to Boathouse and Pavillion; including associated stormwater management and OWTS improvements.

Owner's Name: Waccabuc Country Club Phone: 914-763-3144

Owner's Address: 90 Mead Street, PO Box 400, Waccabuc, NY 10597 Email: jdassuma@optonline.net

Applicant's Name (if different): same as owner Phone: _____

Applicant's Address: _____ Email: _____

Agent's Name (if applicable): Zachary Pearson, P.E., Sr. Project Engineer Phone: 845-225-9690

Agent's Address: Insite Engineering, Surveying & Landscape Architecture, P.C., 3 Garrett Place, Carmel, NY 10512 Email: zpearson@insite-eng.com

TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

Administrative ☐ Planning Board ☒

Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No

Total area of proposed disturbance: ☐ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☐ x ☐ ≥ 1 acre

Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: _____
Wetland Inspector, ZBA, Building Dept., ACARC, NYSDEC, NYCDEP, and WCDOH

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: _____

Date: 02-07-2022

Application No.: _____

Fee: _____ Date: _____

**TOWN OF LEWISBORO
STORMWATER PERMIT APPLICATION**

79 Bouton Road, South Salem, NY 10590

Phone: (914) 763-5592

Fax: (914) 875-9148

Project Address: Perch Bay Road, Waccabuc, NY 10597

Sheet: 25A Block: 10813 Lot(s): 01
25 11155 148

Project Description (describe overall project including all proposed land development activities):

Proposed improvements for the Waccabuc Beach Club beachfront area:

Renovate existing "Boathouse" building; replace adjacent storage building with covered outdoor seating area "The Pavillion"; replace existing Snack Bar building; provide handicap parking area with access driveway; construct ramps to provide handicap accessibility to Boathouse and Pavillion; including associated stormwater management and OWTS improvements.

Owner's Name: Waccabuc Country Club Phone: 914-763-3144

Owner's Address: 90 Mead Street, PO Box 400, Waccabuc, NY 10597 Email: jdassuma@optonline.net

Applicant's Name (if different): same as owner Phone: _____

Applicant's Address: _____ Email: _____

Agent's Name (if applicable): Zachary Pearson, P.E. Senior Project Engineer Phone: (845) 225-9690

Agent's Address: Insite Engineering, Surveying, and Landscape Architecture, P.C., 3 Garrett Place, Carmel, NY 10512 Email: zpearson@insite-eng.com

TO BE COMPLETED BY OWNER/APPLICANT

The approval authority is? (see §189-5 of the Town Code)

Town Engineer and Stormwater Management Officer ☒ Planning Board


Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No

Total area of proposed disturbance: 5,000 s.f. - < 1 acre ☒ ≥ 1 acre

Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity? ☒ Yes ☐ No ☐ Requires post-construction stormwater practice

Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: Wetland Inspector, ZBA, Building Dept., ACARC, NYSDEC, NYCDEP, WCDOH

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under §189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

Owner Signature: 

Date: 02-07-2022

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Waccabuc Beach Club Building and Site Improvements		
Project Location (describe, and attach a general location map): Perch Bay Road, Waccabuc, NY Tax Map Sheet 25 Block 11155 Lot 148 and Sheet 25A Block 10813 Lot 04		
Brief Description of Proposed Action (include purpose or need): The project includes the renovation of the existing Boathouse, replacement of the adjacent existing storage building with a covered outdoor seating area (The Pavillion), and replacement of the existing snackbar. The project also includes handicap parking spaces located by the beachfront area, new ramps to provide handicap accessibility to the Boathouse and the Pavillion, relocation of the existing access driveway down to the lake, and stormwater management and OWTS improvements associated with the project. The 2 subject parcels will be merged to facilitate the project.		
Name of Applicant/Sponsor: Waccabuc Country Club		Telephone: 914-763-3144
		E-Mail: jdassuma@optonline.net
Address: 90 Mead Street, P.O. Box 400		
City/PO: Waccabuc	State: NY	Zip Code: 10597
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Site plan, Wetland Permit, Stormwater Permit, MS4 SWPPP Acceptance	2/8/22
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Zoning Board Area Variances and expansion of nonconforming use approval	To Be Determined
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Building Permit ACARC Approval	To Be Determined Approved 4/13/22
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	WCDOH OWTS Approval	To Be Determined
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYCDEP OWTS Approval; NYCDEP Variance for Impervious	To Be Determined To Be Determined
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC GP 0-20-001 coverage; NYSOPRHP Review	To Be Determined To Be Determined
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☒ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☒ Yes ☐ No

If Yes, identify the plan(s):
NYC Watershed Boundary

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.
If Yes, what is the zoning classification(s) including any applicable overlay district?

☒ Yes ☐ No

R4-A Residential, and Waccabuc Historic District- boathouse is Historically Designated.

b. Is the use permitted or allowed by a special or conditional use permit?

☐ Yes ☒ No

c. Is a zoning change requested as part of the proposed action?

☐ Yes ☒ No

If Yes,

i. What is the proposed new zoning for the site?

C.4. Existing community services.

a. In what school district is the project site located? Katonah-Lewisboro School District

b. What police or other public protection forces serve the project site?

Town of Lewisboro Police Department

c. Which fire protection and emergency medical services serve the project site?

Lewisboro Volunteer Ambulance Corps; South Salem Fire Department

d. What parks serve the project site?

Mountain Lakes Park; Lewisboro Town Park; Long Pond Preserve; Pine Croft Meadow Preserve

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Recreational

b. a. Total acreage of the site of the proposed action?

9.1 +/- acres

b. Total acreage to be physically disturbed?

1.2 +/- acres

c. Total acreage (project site and any contiguous properties) owned
or controlled by the applicant or project sponsor?

9.1 +/- acres

c. Is the proposed action an expansion of an existing project or use? Expansion of building square footage.

☒ Yes ☐ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 254 Units: Square feet Net increase 2,374 sf

d. Is the proposed action a subdivision, or does it include a subdivision?

☒ Yes ☐ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

Lot merger

ii. Is a cluster/conservation layout proposed?

☐ Yes ☒ No

iii. Number of lots proposed? 0

iv. Minimum and maximum proposed lot sizes? Minimum Maximum

e. Will the proposed action be constructed in multiple phases?

☐ Yes ☒ No

i. If No, anticipated period of construction:

12 months

ii. If Yes:

- Total number of phases anticipated

- Anticipated commencement date of phase 1 (including demolition)

month year

- Anticipated completion date of final phase

month year

- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases:

f. Does the project include new residential uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, show numbers of units proposed.			
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>
Initial Phase	_____	_____	_____
At completion of all phases	_____	_____	_____
g. Does the proposed action include new non-residential construction (including expansions)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes,			
i. Total number of structures <u>2</u> To replace one building and expand another building			
ii. Dimensions (in feet) of largest proposed structure: <u>20'±</u> height; <u>54'±</u> width; and <u>66'±</u> length			
iii. Approximate extent of building space to be heated or cooled: <u>1,504±</u> square feet			
h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes,			
i. Purpose of the impoundment: _____			
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____			
iii. If other than water, identify the type of impounded/contained liquids and their source. _____			
iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres			
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length			
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____			
D.2. Project Operations			
a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)			
If Yes:			
i. What is the purpose of the excavation or dredging? _____			
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?			
• Volume (specify tons or cubic yards): _____			
• Over what duration of time? _____			
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____			
iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe. _____			
v. What is the total area to be dredged or excavated? _____ acres			
vi. What is the maximum area to be worked at any one time? _____ acres			
vii. What would be the maximum depth of excavation or dredging? _____ feet			
viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No			
ix. Summarize site reclamation goals and plan: _____			

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes:			
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): <u>Local wetland buffer; Lake Waccabuc - NYSDEC Class A Watercourse</u>			

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

A portion of the paved driveway extension will be within the local wetland 150' buffer. Total disturbance within the wetland buffer is approx. 15,000 square feet. The pavilion addition, snack bar replacement, paved patio, and a portion of the paved handicap parking will be within the 100' NYCDEP impervious surface limiting distance to Lake Waccabuc as well as the 150' Town of Lewisboro Watercourse Buffer. A total of approximately 7,615 square feet of new impervious surface will be within the NYCDEP limiting distance.

iii. Will the proposed action cause or result in disturbance to bottom sediments?

☐ Yes ☒ No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?

☐ Yes ☒ No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

Proposed stormwater management practices as detailed in SWPPP: native vegetation and tree plantings.

c. Will the proposed action use, or create a new demand for water? Project is upgrading existing facilities and not expansion of use. ☐ Yes ☒ No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?

☐ Yes ☐ No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No
- Do existing lines serve the project site? ☐ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project?

☐ Yes ☐ No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site?

☐ Yes ☐ No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes?

☒ Yes ☐ No

If Yes:

i. Total anticipated liquid waste generation per day: _____ 1,800 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?

☐ Yes ☒ No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will a line extension within an existing district be necessary to serve the project? If Yes: <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ 	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? If Yes: <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): <u>Private onsite wastewater treatment system will be installed for the project to replace the existing, non-compliant system.</u>	
vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____ <u>N/A</u>	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? If Yes: <ul style="list-style-type: none"> i. How much impervious surface will the project create in relation to total size of project parcel? _____ Square feet or <u>0.22±</u> acres (impervious surface) _____ Square feet or <u>9.1±</u> acres (parcel size) ii. Describe types of new point sources. <u>Roof runoff from boathouse addition, new snack bar building, new driveway and handicap parking area, retaining walls.</u> iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? <u>On-site stormwater management practices.</u> • If to surface waters, identify receiving water bodies or wetlands: _____ <u>Stormwater practices will overflow to Lake Waccabuc</u> • Will stormwater runoff flow to adjacent properties? _____ 	
iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? If Yes, identify: <ul style="list-style-type: none"> i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____ ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____ iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____ 	
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? If Yes: <ul style="list-style-type: none"> i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____ ii. In addition to emissions as calculated in the application, the project will generate: <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐ Yes ☒ No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐ Yes ☒ No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐ Yes ☒ No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐ Weekend
☐ Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? ☐ Yes ☐ No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? ☐ Yes ☐ No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐ Yes ☐ No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐ Yes ☐ No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☐ Yes ☐ No N/A

If Yes: Project is recreational (not commercial or industrial).

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? ☐ Yes ☐ No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____ 8am - sunset _____
- Saturday: _____ 8am - sunset _____
- Sunday: _____
- Holidays: _____

ii. During Operations:

- Monday - Friday: _____ Hours vary seasonally - refer to _____
- Saturday: _____ Waccabuc Beach Club Business _____
- Sunday: _____ Plan for Details. _____
- Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? ☒ Yes ☐ No
 Increase in noise levels is anticipated during construction. No increase in noise levels over existing are anticipated during operation.

If yes:

i. Provide details including sources, time of day and duration: Construction noises are anticipated to exceed existing ambient noise levels. Hours of construction will be limited to Monday to Saturday 8:00 AM to Sunset. During operations, there will be the same number of users as currently use the site, and there may be new activity in the pavilion. The existing boat house is 370 ft. from the nearest residence, and the pavilion will be 350 ft. from the nearest residence.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? ☐ Yes ☒ No
 Describe: Existing perimeter vegetation will be preserved to the maximum extent possible. Screening at waterfront will remain the same, with the exception of selected trees removed on the far northwest portion of the property & a few trees to the east of the pavilion. Additional trees to be removed between existing buildings & areas internal to the site. Some activities will be relocated to the pavilion, but it is not anticipated to have higher noise levels at the site during operation.

n. Will the proposed action have outdoor lighting? ☒ Yes ☐ No
 If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
 Recessed lights & sconces in covered outdoor areas, post-mounted area lights in new handicap parking area and firepit area. All new lights will be a minimum of 350 feet from nearest residences. Post-mounted lights will be dark sky compliant, 8ft. max mounted height.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? ☒ Yes ☐ No
 Screening at waterfront will remain the same, with the exception of selected trees removed on the far northwest portion of the property and a few to the east of the pavilion. Additional trees will be removed on the interior of the site. Trees will be replanted near where they are removed to re-establish screening.

o. Does the proposed action have the potential to produce odors for more than one hour per day? ☐ Yes ☒ No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:
 Snack bar and fire pits.

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? ☐ Yes ☒ No
 If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? ☐ Yes ☒ No
 If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? ☐ Yes ☐ No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? ☐ Yes ☒ No
 If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation: _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Rural (non-farm)

☒ Forest ☐ Agriculture ☐ Aquatic ☒ Other (specify): Recreational

ii. If mix of uses, generally describe: _____

b. Land uses and covertsypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.00	1.22	0.22 +/-
• Forested	8.00	7.78	-0.22 +/-
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	No change
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	No change
• Surface water features (lakes, ponds, streams, rivers, etc.)	0.07	0.07	No change
• Wetlands (freshwater or tidal)	0.02	0.02	No change
• Non-vegetated (bare rock, earth or fill)	0.01	0.01	No change
• Other Describe: _____			

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v. Is the project site subject to an institutional control limiting property uses? ☐ Yes ☐ No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? ☐ Yes ☐ No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? Greater than 6.5 feet

b. Are there bedrock outcroppings on the project site? ☒ Yes ☐ No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? .01 %

c. Predominant soil type(s) present on project site:

PoC Paxton Fine Sandy Loam	50 %
CsD- Chatfield-Charlton Complex	37 %
PnC - Paxton Fine Sandy Loam	12 %
Water	1%

d. What is the average depth to the water table on the project site? Average: 2.3 feet

e. Drainage status of project site soils: ☒ Well Drained: 98 % of site
☐ Moderately Well Drained: _____ % of site
☒ Poorly Drained 2 % of site

f. Approximate proportion of proposed action site with slopes: ☒ 0-10%: 7 % of site
☒ 10-15%: 44 % of site
☒ 15% or greater: 49 % of site

g. Are there any unique geologic features on the project site? ☐ Yes ☒ No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? ☒ Yes ☐ No

ii. Do any wetlands or other waterbodies adjoin the project site? ☒ Yes ☐ No
 If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? ☒ Yes ☐ No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name Lake Waccabuc Classification A
- Wetlands: Name Federal Waters, Federal Waters, Federal Waters Approximate Size 0.02 ac
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? ☐ Yes ☒ No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? ☐ Yes ☒ No

j. Is the project site in the 100-year Floodplain? ☒ Yes ☐ No

k. Is the project site in the 500-year Floodplain? ☐ Yes ☒ No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? ☐ Yes ☒ No
 If Yes:
 i. Name of aquifer: _____

<p>m. Identify the predominant wildlife species that occupy or use the project site: <u>Deer, birds, small mammals and aquatic</u> species _____ _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres</p>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Species and listing (endangered or threatened): _____ _____ _____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Species and listing: _____ _____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____</p>	

*Per the National Park Service website, the only one noted in Westchester County is the Mianus River Gorge, which is not located within 500 feet of the subject property.

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District</p> <p>ii. Name: Waccabuc Historic District (2014)</p> <p>iii. Brief description of attributes on which listing is based: Boathouse building at least 50 years old.</p>	
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe possible resource(s): _____</p> <p>ii. Basis for identification: _____</p>	
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Identify resource: _____</p> <p>ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p>iii. Distance between project and resource: _____ miles.</p>	
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Identify the name of the river and its designation: _____</p> <p>ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

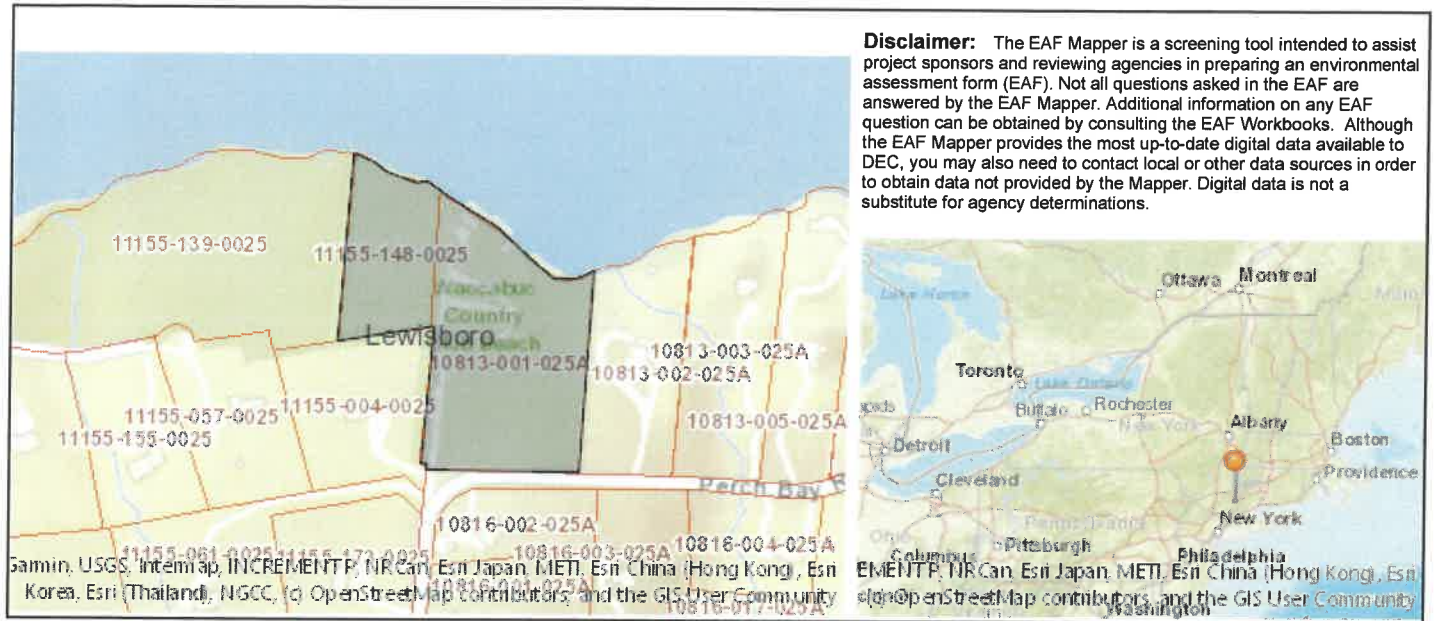
G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Zachary M. Pearson, P.E. Date March 29, 2022
Insite Engineering, Surveying & Landscape Architecture, P.C.

Signature  Title Senior Project Engineer

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B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYC Watershed Boundary
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Waccabuc Historic District (2014)
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No