

**AGENDA PACKET**

**SEPTEMBER 20, 2022 MEETING**

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<b>COMPREHENSIVE PLAN</b> – schedule a special meeting with the consultants Nelson Pope Voorhis	<b>N/A</b>	<b>-</b>
<b>North Salem, NY Town Board to amend its Town Code §250-5 and §250-54</b> – updating the zoning standards regulating landscaping and lighting within the town.	<b>N/A</b>	
Public hearing notice, Town of North Salem, NY dated August 16, 2022		<b>153</b>
<b>North Salem, NY Town Board to amend its Town Code §250-5 and §250-37 through §250-44</b> – updating the zoning standards regulating exterior signs within the town.	<b>N/A</b>	
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**TOWN OF LEWISBORO**  
**Westchester County, New York**



**Planning Board**  
**79 Bouton Road**  
**South Salem, New York 10590**

**Tel: (914) 763-5592**  
**Fax: (914) 875-9148**  
**Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)**

**AGENDA**

**Tuesday, September 20, 2022**

**Courtroom at 79 Bouton Road**

Meeting will start at 7:30 p.m. and end at or before 11:00 p.m.

**I. DECISION**

**Cal #10-22PB**

**JJE33 Holdings LLC, 27 Old Oscaleta Road, South Salem, NY 10590; Sheet 35, Block 11826, Lots 3, 11 & 12 (JJE33 Holdings LLC, owner of record) – Application for a lot-line change.**

**II. EXTENSION OF TIME REQUEST**

**Cal #03-20PB, Cal #37-20WP**

**Gossett Brothers Nursery, 1202 Route 35, South Salem, NY 10590; Sheet 31 Block 10805 Lot 46 (Thomas Gossett for T. Gossett Revocable Trust – owner of record) - Application for Site Development Plan Approval and Wetland Activity Permit Approval for an existing nursery.**

**III. PUBLIC HEARINGS**

**Cal #09-21PB**

**ATC Tower, 1065 NYS Route 35 (Town Park), South Salem, NY 10590; Sheet 21, Block 10541, Lot 5 (Town of Lewisboro, owner of record) - Application for special use permit renewal for an existing cell tower.**

**Cal #02-22PB, Cal #03-22WP and Cal #02-22SW**

**Hollander/Audemard residences, 153 Post Office Road, South Salem, NY 10590; Sheet 32A, Block 10804, Lot 19 (Cassie & Seth Hollander, owners of record) and 151 Post Office Road Sheet 32A, Block 10804, Lot 91 (Olivier & Rebecca Audemard, owners of record) - Application for lot line change and driveway work.**

**Cal #06-22PB, Cal #05-22WP, Cal #03-22SW**

**Waccabuc Country Club Snack Bar, 0 Perch Bay Road, Waccabuc, NY 10597; Sheet 25, Block 11155, Lot 148 & Sheet 25A, Block 10813, Lot 1 (Waccabuc Country Club Co., owner of record for both lots) - Application for beachfront improvements including renovation of the boathouse, construction of a pavilion, replacement of the snack bar, and installation of accessible parking and walkways.**

**IV. SITE DEVELOPMENT PLAN REVIEW**

**Cal #14-22PB**

**Vista Market LP tanks, 469 Smith Ridge Road, South Salem, NY 10590; Sheet 53, Block 9834, Lot 32 (Visnor Property, LLC, owner of record) - Application for three LP tanks.**

**V. WETLAND PERMIT REVIEWS**

**Cal #29-21WP, #03-20WV**

**Schilke Residence, 3 Beaver Pond, South Salem, NY 10590; Sheet 46, Block 9827, Lot 184 (Sophia Chenevert-Schilke and D. Chenevert, owners of record) - Application for the remediation of wetlands.**

**Cal #34-22WP, Cal #01-21WV**

**Maple Tree Farm, 400 Smith Ridge Road, South Salem; Sheet 24, Block 9831, Lot 49B (Maple Tree Farm, LLC, owner of record) - Application for the remediation of wetlands.**

**VI. DISCUSSIONS**

**Scheduling a special meeting to discuss the comprehensive plan process with Nelson Pope Voorhis.**

**North Salem, NY Town Board to amend its Town Code §250-5 and §250-54** – updating the zoning standards regulating landscaping and lighting within the town.

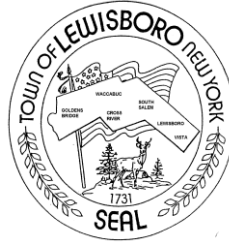
**North Salem, NY Town Board to amend its Town Code §250-5 and §250-37 through §250-44** – updating the zoning standards regulating exterior signs within the town.

**VII. MINUTES OF August 16, 2022.**

**VIII. NEXT MEETING DATE: October 18, 2022.**

**IX. ADJOURN MEETING.**

**TOWN OF LEWISBORO**  
**Westchester County, New York**



**Building Department**  
**79 Bouton Road**  
**South Salem, New York 10590**

**Tel: (914) 763-3060**  
**Fax: (914) 875-9148**  
**Email: jfarrell@lewisborogov.com**

July 11, 2022

Ms. Janet Andersen, Chair  
Town of Lewisboro Planning Board

Re: Cal#10-22PB

JJE33 Holdings LLC-owner of record, 27 Old Oscaleta Rd., sheet 0035, block 11826, lots 3, 11, 12

Dear Ms. Andersen and Members of the Board,

I have reviewed the site plan from H. Stanley Johnson and Company Land Surveyors dated 5/16/22, as well as the memo from Jan K. Johannessen, AICPI and Joseph M. Cermele, P.E. dated 6/16/2022. I agree with the comments from our Town Consulting Professionals and will not repeat them here. I believe all zoning related items have been addressed except for comment #4 regarding the solar panel. I have the following comments:

1. The subdivision of the property and reconfiguration will create a zoning non-conformity with the existing solar field array. Section 220-12G(2)(a) states that such panels be located within the side or rear yards only. This modification will result in the array now being within the front yard.
2. Both divided parcels appear to be zoning compliant, aside from the previously mentioned solar fields. All area requirements appear to be adhered to according to the proposed site plan.
3. Based on recent permits and certificates none of the other existing or proposed structures will create a zoning non-conformity.
4. This property has no expired permits or violations.

Please do not hesitate to contact me with any questions.

Sincerely,

Jeff Farrell  
Acting Building Inspector

July 7, 2022

Town of Lewisboro Planning Board  
79 Bouton Road  
South Salem, NY 10590-1430

Attn: Ms. Janet Andersen, Chair

Re: Proposed Lot Line Change  
JJE33 Holdings, LLC  
27 Old Oscaleta Road  
T.M. #35-11826 Lots 3, 11 & 12

Dear Chair and Members of the Board:

This letter and attachments will serve to respond to your Board's Consultant's review memo of 6/16/2022. Please note our responses below have been keyed to that memo. Also attached are 3 copies/prints of the following:

- Proposed Plat, dated last revised July 7, 2022, prepared by H. Stanley Johnson, L.S.
- Proposed Site Integrated Plot Plan, dated 7/6/2022
- Short Environmental Assessment Form (SEAF), Parts I & II
- Property Deeds
- Draft Driveway Easement

**Responses to Kellard Sessions Memorandum, dated June 16, 2022**

1. The application has been referred to the Building Department for review and their positive feedback is anticipated.
2. The proposed property line has been adjusted.
3. The plan has been revised to show the required access and easement for both lots. A copy of the draft driveway easement is enclosed.
4. The existing ground mounted solar panels shown on the proposed Parcel #2, given the orientation of the existing cottage facing eastward, are located in the cottage's rear yard. Please note also that these panels currently meet the intent of the Code as they are not visible from any adjacent residences.
5. The required contiguous buildable area in accordance with § 220-10E of the Zoning Code is now shown on both parcels.
6. There are no horses at the site currently, and none proposed by the owners in the future.

*Site Design ♦ Environmental*

7. The electric overhead lines are shown on the plan serving both lots. Note both lots will be served by their own wells and septic systems and are also shown on the plan.
8. See #7 above.
9. Several proposed features (new house, pool, gym, septic systems, stormwater management facilities, etc.) are now shown on the improvement plan, and unless required by Westchester County Department of Health (WCDH), will not be shown on the plat.
10. All known wetlands and buffers are now shown on both the plat and improvement plans.
11. All known existing pathways are now shown on the plan.
12. All current and applicable property deeds are attached.
13. Please find attached a completed SEAF, Parts I & II.

We trust the above addresses all of your review comments and we look forward to continuing our discussions for this proposed lot line change at your next Planning Board meeting.

Very truly yours,

A handwritten signature in blue ink, appearing to read 'E. Delaney, Jr.', with a stylized flourish at the end.

Edward J. Delaney, Jr.  
*Project Manager*

EJD/mme  
Enclosures

cc: Jan Johannessen (w/encls)  
Brian Ninnis (via email w/encls)  
Michael Sirignano, Esq. (via email w/encls)  
Matt Gironda, P.E.



WESTCHESTER COUNTY DEPARTMENT OF HEALTH

Mount Kisco, New York  
Approved pursuant to Chapter 873, Article X, Sections 873.951, 873.1001 and Articles VII and VIII of the Westchester County Sanitary Code, subject to the provision of individual well water supply and separate sewage treatment facilities to serve each habitable building hereafter constructed. These facilities are to be installed in accordance with land improvement plans and specifications approved by and filed in this office prior to the construction of such building.

Each purchaser of property shown hereon shall be furnished a true copy of this plat showing this endorsement. Any assurances, changes, additions or alterations of any kind except the addition of signatures of town approving authority and the date thereof made on this plan after this approval, shall invalidate this approval.

Approved by the Assistant Commissioner of Health  
on behalf of the Department of Health

Property shown hereon is subject to the Rules and Regulations for the Protection from Contamination of the New York City Water Supply and its Sources.

Approved by Resolution of the Town of Lewisboro Planning Board

Chair

Administrator

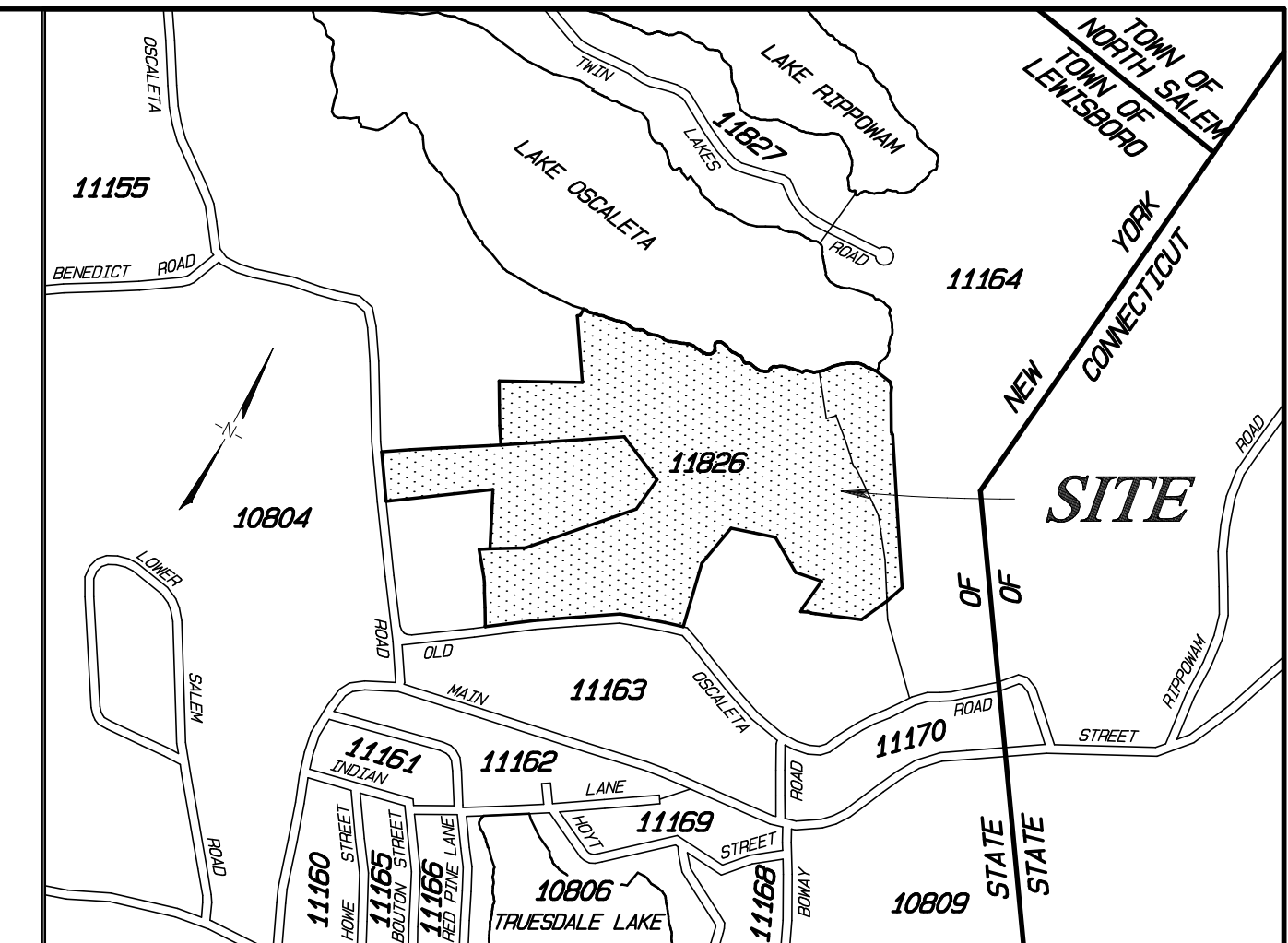
LAND AREA SCHEDULE

LOT No.'S	EXISTING AREAS	PROPOSED AREAS:	
		PARCEL 1	PARCEL 2
PARCEL A F.M. 29401	68.098 Ac	59.399 Ac	8.699 Ac
SHEET BLOCK LOT			
35 11826 11	1.536 Ac	-	1.536 Ac
35 11826 12	3.685 Ac	-	3.685 Ac
TOTAL AREA	73.319 Ac	59.399 Ac	13.920 Ac

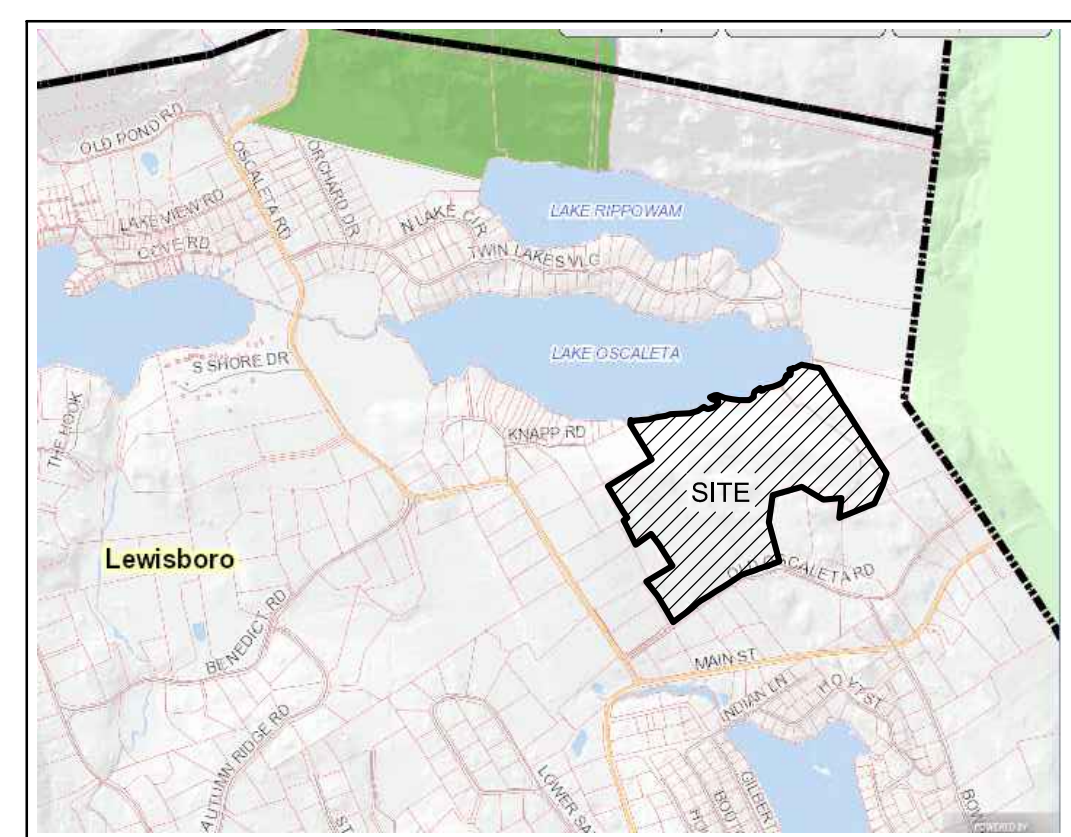
The undersigned owners of the property shown hereon, are familiar with this drawing and its contents, and hereby approves same for filing.

Owner: Paul Zukowsky, Manager  
JJE33 Holdings, LLC  
M. Management Partners,  
888 7th Ave, 4th Floor  
New York, NY 10016

Date





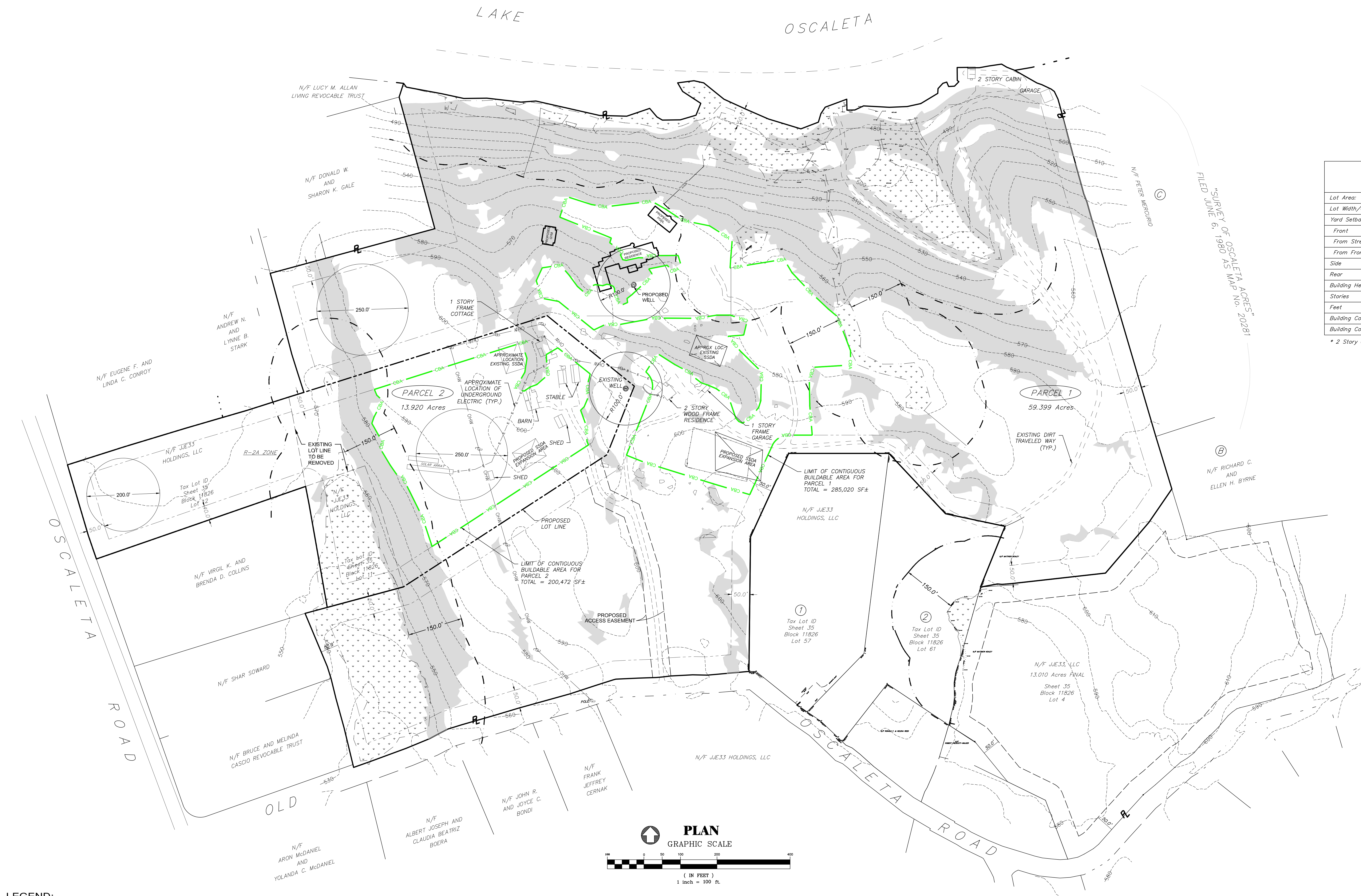


LOCATION MAP  
NTS

BULK ZONING TABLE  
R-4A RESIDENTIAL ZONE

	REQUIRED	EXISTING Parcel "A" Filed Map 29401	PROPOSED AREAS	
Lot Area:	4 Ac. Min.	68.098 Ac	PARCEL 1	PARCEL 2
Lot Width/Circle	250' Min.	>250'	59.399 Ac	13.920 Ac
Yard Setbacks				
Front				
From Street Center Line	75' Min.	>75'	>75'	>75'
From Front Lot Line	50' Min.	621.5'	753.5'	1,248'
Side	50' Min.	11.8'	11.8'	50.0'
Rear	50' Min.	-2.9'	-2.9'	50.0'
Building Height (Main Residences)				
Stories	2 1/2 Sty. Max.	2	2	1
Feet	35' Max.	<35'	<35'	<35'
Building Coverage Allowed	6% Max.	6%	6%	6%
Building Coverage	6% Max.	0.27%	0.14%	0.76%

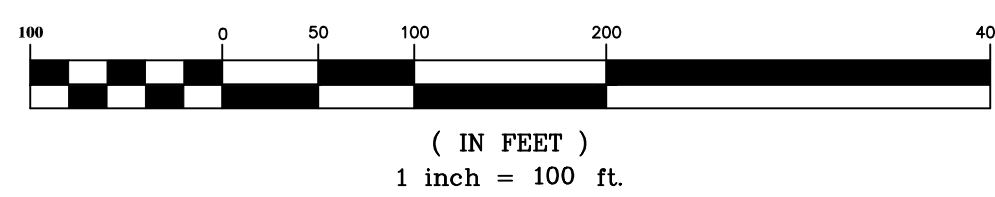
\* 2 Story Cabin 2.9' Over Rear Property Line



LEGEND:

- EXISTING 10' CONTOUR
- EXISTING STONE WALL
- PROP. RESIDENCE
- EXISTING SDA
- PROP. WELL
- WETLAND BOUNDARY
- 100' WETLAND SETBACK
- PROPOSED LOT LINE
- PROPOSED EASEMENT LINE
- EXISTING OVERHEAD SERVICE WIRES
- CONTINUOUS BUILDING AREA
- SLOPES 15% AND GREATER

PLAN  
GRAPHIC SCALE



HEALTH DEPARTMENT SEPTIC SCHEDULE

LOT NO.	LOT AREA (AC.)	TEST PIT DESCRIPTION	SDS AREA (S.F.)	% SLOPE OF S.D.A.	PERC RATE MIN./IN.	G.W. ELEV.	IMPERV. LAYER ELEV.	LF OF FIELDS		BANK RUN FILL		CURTAIN DRAIN		REMARKS
								4 BORM	ADDITIONAL BORM	DEPTH (FT)	VOLUME (CY)	DEPTH (FT)	LINEAL (FT)	
PARCEL 1	59.399	TOPSOIL OVER MODERATELY COMPACTED MEDIUM TO FINE SANDS	14,400	+/- 7.0	8-10	>7"	>7"	245'	125'	N/A	N/A	N/A	N/A	EXISTING 4-BEDROOM RESIDENCE, NO RECORDS FOUND ON EXISTING OWTS. PUMP TO EXPANSION AREA MAY BE REQUIRED.
PARCEL 2	13.920	TOPSOIL OVER MODERATELY COMPACTED FINE MEDIUM SANDY LOAM OVER MODERATELY COMPACTED MEDIUM TO COARSE SANDS	6,500	+/- 7.8	11-15	>7"	>7"	339'	70'	N/A	N/A	N/A	N/A	NO RECORDS FOUND FOR EXISTING COTTAGE, PUMPING TO EXPANSION AREA MAY BE REQUIRED.

\* DESIGN DATA INFORMATION INFORMATION REFERS TO FIELD TESTING WITNESSED BY THE WESTCHESTER COUNTY HEALTH DEPARTMENT AND NYCDOP ON 5/16, 5/4/22, AND 6/8/22.

SITE DATA

- TOTAL AREA OF PARCEL: 68.098Ac ±
- OWNER:  
J.E.33 HOLDINGS, LLC  
PAUL ZUKOWSKY MANAGER  
ML MANAGEMENT PARTNERS  
888 7TH AVE. 4TH FLOOR  
NEW YORK, NY 10016
- ZONING DISTRICT: R-4A / R-2A RESIDENTIAL
- TAX I.D. #:  
SEC. 35, BLOCK 11826, LOT 11  
SEC. 35, BLOCK 11826, LOT 12  
SEC. 35, BLOCK 11164, P/O LOT 2
- SURVEY BY:  
H. STANLEY JOHNSON, CO.  
42 SMITH AVE.  
MT. KISCO, N.Y.  
LAST UPDATED JUNE 28, 2022
- WETLAND BOUNDARIES FLAGGED BY:  
PAUL J. JACIRING  
DATED: FEBRUARY 27, 2009

DATE: DESCRIPTION BY/CK DATE: DESCRIPTION BY/CK

STATE OF NEW YORK  
COUNTY OF WESTCHESTER  
J.E.33 HOLDINGS, LLC  
27 OLD OSCALETA ROAD  
TOWN OF LEWISBORO, WESTCHESTER COUNTY

**B**  
BIBBO ASSOCIATES, LLP  
293 ROUTE 100 SUITE 203  
SOMERS, NEW YORK 10589  
TEL. 914 277 5805

DATE: 7-6-2022  
SCALE: 1" = 100'  
FILE: ---  
DSGN: MG  
CHK: ---  
DRN. BY: AW  
SHT NO. 1 OF 1  
DWN. NO. **IPP-1**

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF THE PROFESSIONAL SEAL OF THE NEW YORK STATE ENGINEERING BOARD. ANY VIOLATION WILL BE REPORTED TO THE NEW YORK STATE ENGINEERING BOARD FOR PROSECUTION.



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

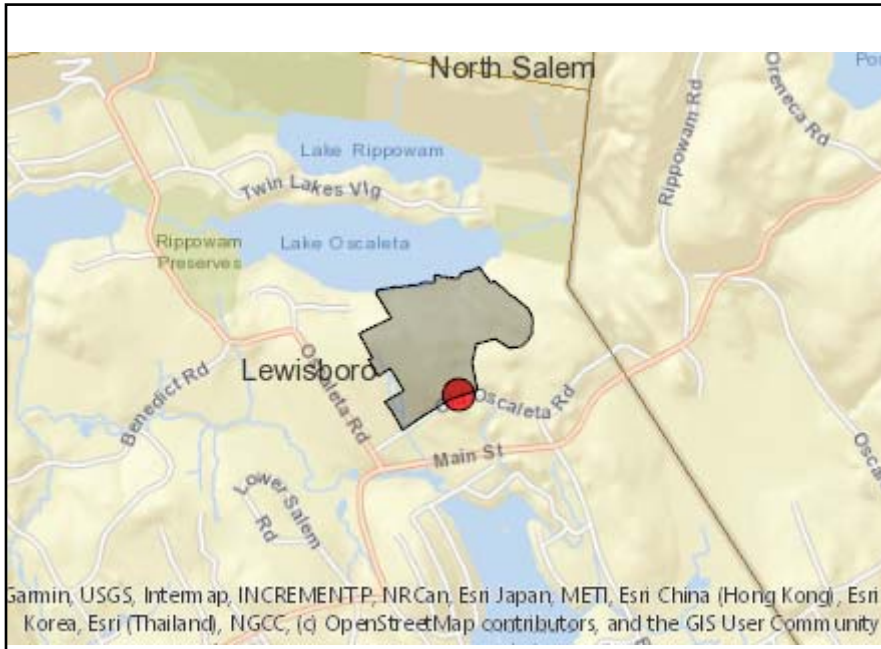
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
<b>Name of Action or Project:</b> JJE33 Holdings, LLC - Subdivision			
<b>Project Location (describe, and attach a location map):</b> 27 Old Oscaleta Road, South Salem - Lewisboro (T)			
<b>Brief Description of Proposed Action:</b> Proposed lot line change.			
<b>Name of Applicant or Sponsor:</b>  JJE33 Holdings, LLC - Paul Zukowsky, Manager		<b>Telephone:</b> (646) 531-5500  <b>E-Mail:</b> randbsycamore@gmail.com	
<b>Address:</b> 888 7th Ave., 4th Floor			
<b>City/PO:</b> New York		<b>State:</b> NY	<b>Zip Code:</b> 10106
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO  <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Westchester County Dept. of Health - Residential Subdivision Approval.			YES  <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? <span style="float: right;">73.3 +/- acres</span> b. Total acreage to be physically disturbed? <span style="float: right;">0 acres</span> c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <span style="float: right;">92.1 +/- acres</span>			
4. Check all land uses that occur on, are adjoining or near the proposed action: 5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			



5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ On-site drilled wells. _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ On-site subsurface sewage treatment systems. _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: _____ <u>MATTHEW GILBERT, P.E.</u> Date: <u>7-7-22</u>		
Signature: _____ <u>[Signature]</u> Title: <u>PROJECT ENGINEER</u>		



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

Project:

Date:

## *Short Environmental Assessment Form*

### *Part 2 - Impact Assessment*

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project:

Date:

## *Short Environmental Assessment Form*

### *Part 3 Determination of Significance*

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- ☐ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- ☐ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

---

 Name of Lead Agency

---

 Date

---

 Print or Type Name of Responsible Officer in Lead Agency

---

 Title of Responsible Officer

---

 Signature of Responsible Officer in Lead Agency

---

 Signature of Preparer (if different from Responsible Officer)

**PRINT FORM**

The Office of the Westchester County Clerk. This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



\*581613001DED002P\*

## Westchester County Recording & Endorsement Page

### Submitter Information

Name: Court Street Abstract, Inc. Phone: 914-328-6206  
Address 1: 99 Court Street Fax: 914-328-6207  
Address 2: Paul Baran Email: vgyug@courtstabstract.com  
City/State/Zip: White Plains NY 10601 Reference for Submitter: Eckerson

### Document Details

Control Number: **581613001** Document Type: **Deed (DED)**  
Package ID: 2018061000002001001 Document Page Count: **19** Total Page Count: **21**

### Parties

☐ Additional Parties on Continuation page

#### 2nd PARTY

1st PARTY  
1: ECKERSON JOHN E - Individual 1: JJE33 HOLDINGS LLC - Other  
2: JJE33 LLC - Other 2:

### Property

☒ Additional Properties on Continuation page

Street Address: 27 OLD OSCALETA ROAD Tax Designation: 35-11826-3  
City/Town: LEWISBORO Village:

### Cross-References

☐ Additional Cross-Refs on Continuation page

1: 2: 3: 4:

### Supporting Documents

1: RP-5217 2: TP-584

### Recording Fees

Statutory Recording Fee: \$40.00  
Page Fee: \$100.00  
Cross-Reference Fee: \$0.00  
Mortgage Affidavit Filing Fee: \$0.00  
RP-5217 Filing Fee: \$125.00  
TP-584 Filing Fee: \$5.00  
Total Recording Fees Paid: **\$270.00**

### Transfer Taxes

Consideration: \$12,000,000.00  
Transfer Tax: \$48,000.00  
Mansion Tax: \$120,000.00  
Transfer Tax Number: 14598

### Mortgage Taxes

Document Date:  
Mortgage Amount:  
Basic: \$0.00  
Westchester: \$0.00  
Additional: \$0.00  
MTA: \$0.00  
Special: \$0.00  
Yonkers: \$0.00  
Total Mortgage Tax: **\$0.00**

Dwelling Type: Exempt: ☐  
Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 06/20/2018 at 11:03 AM  
Control Number: **581613001**  
Witness my hand and official seal

*Timothy C. Idoni*

Timothy C. Idoni  
Westchester County Clerk

### Record and Return To

☐ Pick-up at County Clerk's office

Michael Sirignano, Esq.  
892 Route 35  
Old Post Road Professional Building  
Cross River, NY 10518



The Office of the Westchester County Clerk. This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.

\*581613001DED002P\*

### Westchester County Recording & Endorsement Page

#### Document Details

Control Number: **581613001**

Document Type: **Deed (DED)**

Package ID: 2018061000002001001

Document Page Count: 19

Total Page Count: 21

#### Properties Addendum

NO # OLD OSCALETA ROAD 10590	LEWISBORO	35 11163 4
NO # OLD OSCALETA ROAD 10590	LEWISBORO	35 11826 11
NO # OLD OSCALETA ROAD 10590	LEWISBORO	35 11826 12
65 OLD OSCALETA ROAD 10590	LEWISBORO	35 11164 2
NO # OLD OSCALETA ROAD 10590	LEWISBORO	35 11826 10
33 OLD OSCALETA ROAD 10590	LEWISBORO	35 11826 57
NO # OLD OSCAETA ROAD 10590	LEWISBORO	35 11826 61

## DEED

THIS INDENTURE, made the 12<sup>th</sup> day of June, 2018

BETWEEN

JOHN EDWIN ECKERSON AND JJE33, LLC  
54 Old Stone Hill Road  
Pound Ridge, New York 10576

party of the first part, and

JJE33 HOLDINGS, LLC  
c/o ML Management Partners, LLC  
250 West 57<sup>th</sup> Street, 26<sup>th</sup> Floor  
New York, New York 10107

party of the second part,

**WITNESSETH** that the party of the first part, in consideration of Ten Dollars (\$10.00) and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, and the heirs or successors and assigns of the party of the second part, forever:

**ALL** those certain plots, pieces or parcels of land, with buildings and improvements thereon erected, situate, lying and being in the Town of Lewisboro, County of Westchester and State of New York, more particularly described in Schedule "A" attached hereto and made a part hereof.

**TOGETHER** with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; **TOGETHER** with the appurtenances and all the estate and rights of the party of the first part in and to said premises; **TO HAVE AND TO HOLD** the premises herein granted unto the party of the second part, the heirs and assigns of the party of the second part forever.

**AND** the party of the first part covenants that the party of the first part has not done or suffered anything whereby the premises have been encumbered in any way whatever, except as aforesaid. **AND** the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.



IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

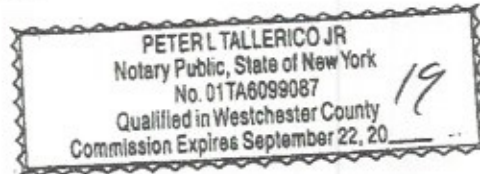
*John Edwin Eckerson*  
By: *John L. Arons* as Agent  
John Edwin Eckerson  
By: John L. Arons, as Agent

JJE33, LLC  
By: *John L. Arons*  
John L. Arons, Authorized Signatory

STATE OF NEW YORK, COUNTY OF WESTCHESTER ss:

On the 12<sup>TH</sup> day of June, 2018, before me, the undersigned, personally appeared  
**JOHN L. ARONS**  
personally known to me, *or proved to me* on the basis of satisfactory evidence to be the individual whose name is  
subscribed to the within instrument and acknowledged to me that he executed the same in his capacity,  
and that by his signature on the instrument, the individual acted and executed the same.  
*OR THE PERSON upon behalf of which he*  
*individual*

Notary Public



**BARGAIN AND SALE DEED**  
With Covenant Against Grantors Acts  
Title No.

**JOHN EDWIN ECKERSON and JJE33, LLC**

to

**JJE33 HOLDINGS, LLC**

RETURN BY MAIL TO:

Michael Fuller Sirignano, Esq.  
892 Route 35, Box 784  
Cross River, New York 10518

## Schedule A Description

Title Number CSA18-07281-W

Policy Number: OX-12272825

Page 1

PARCEL I CONSISTING OF TAX LOT 3; TAX LOT 11 and TAX LOT 12

PERIMETER DESCRIPTION BASED ON SURVEY OF ROBERT S. JOHNSON  
DATED MAY 25, 2018.

THE PERIMETER OF SAID PARCELS SHEET 35 BLOCK 11826 LOTS 3, 11  
& 12, when taken together are described as follows:

ALL that certain piece or parcel of land situate, lying and being in the Town of  
Lewisboro, County of Westchester and State of New York, bounded and  
described as follows:

BEGINNING at a point on the northerly side of Old Oscaleta Road, being the  
highway leading to Ridgefield, where the said highway is intersected by the  
dividing line between the westerly side of the premises herein described and the  
easterly side of lands now or formerly of Bruce and Melinda C. Cascio and at or  
opposite a stone wall, which point of beginning is also distant easterly 425 feet  
more or less, as measured along the northerly side of said Old Oscaleta Road,  
from the corner formed by the intersection of the easterly side of Oscaleta Road,  
being the highway leading from South Salem to North Salem, and the aforesaid  
northerly side of Old Oscaleta Road;

RUNNING THENCE along the easterly side of lands now or of Bruce and  
Melinda C. Cascio, and along the said stone wall, the following courses and  
distances:

North 13 degrees 37 minutes 10 seconds West a distance of 111.50 feet;  
North 15 degrees 26 minutes 00 seconds West, a distance of 83.32 feet;  
North 13 degrees 42 minutes 30 seconds West, a distance of 56.60 feet;  
North 17 degrees 30 minutes 00 seconds West, a distance of 33.85 feet; and  
North 22 degrees 42 minutes 10 seconds West a distance of 157.77 feet to  
lands formerly of Frederick W. Smith, et. al., now or formerly of Thomas and  
Joann Fogarty;

THENCE along said lands and along stone walls, a part of the way, the following  
courses and distances:

North 74 degrees 55 minutes 50 seconds East 62.82 feet;  
North 9 degrees 59 minutes 10 seconds West 285.49 feet;  
North 10 degrees 55 minutes 57 seconds West 50.70 feet;  
South 70 degrees 51 minutes 50 seconds West 605.84 feet;

Continued On Next Page

## Schedule A Description - continued

Title Number CSA18-07281-W

Policy Number: OX-12272825

Page 2

North 18 degrees 54 minutes 40 seconds West 68.40 feet;  
North 16 degrees 25 minutes 50 seconds West 200.80 feet;  
North 72 degrees 19 minutes 00 seconds East 160.46 feet;  
North 73 degrees 09 minutes 20 seconds East 177.16 feet;  
North 73 degrees 47 minutes 00 seconds East 174.85 feet;  
North 72 degrees 21 minutes 20 seconds East 120.80 feet;  
North 72 degrees 38 minutes 20 seconds East 43.28 feet;  
North 17 degrees 46 minutes 10 seconds West 56.19 feet;  
North 17 degrees 28 minutes 20 seconds West 53.40 feet;  
North 14 degrees 40 minutes 40 seconds West 119.31 feet;  
North 15 degrees 10 minutes 40 seconds West 109.56 feet;  
North 74 degrees 49 minutes 20 seconds East 466.48 feet;  
North 15 degrees 10 minutes 40 seconds West 373.17 feet; and  
North 18 degrees 00 minutes 10 seconds East 39.44 feet to the southerly shore  
of Lake Oscaleta;

THENCE along said southerly shore of Lake Oscaleta, the following courses  
and distances:

South 36 degrees 27 minutes 30 seconds East 12.93 feet;  
South 79 degrees 31 minutes 30 seconds East 98.43 feet;  
South 77 degrees 47 minutes 50 seconds East 61.86 feet;  
North 89 degrees 09 minutes 10 seconds East 63.15 feet;  
South 83 degrees 22 minutes 10 seconds East 93.70 feet;  
North 85 degrees 49 minutes 30 seconds East 41.04 feet;  
South 77 degrees 12 minutes 30 seconds East 178.73 feet;  
South 88 degrees 27 minutes 00 seconds East 74.37 feet;  
North 71 degrees 08 minutes 40 seconds East 66.22 feet;  
South 40 degrees 24 minutes 20 seconds East 30.87 feet;  
South 59 degrees 43 minutes 50 seconds East 16.90 feet;  
North 89 degrees 19 minutes 40 seconds East 49.10 feet;  
North 73 degrees 28 minutes 10 seconds East 44.77 feet;  
North 22 degrees 05 minutes 40 seconds East 35.11 feet;  
North 56 degrees 50 minutes 10 seconds West 59.39 feet;  
North 30 degrees 11 minutes 30 seconds West 27.09 feet;  
North 82 degrees 35 minutes 00 seconds East 45.10 feet;  
South 77 degrees 50 minutes 30 seconds East 27.20 feet;  
South 50 degrees 59 minutes 50 seconds East 71.12 feet;  
South 65 degrees 39 minutes 00 seconds East 67.21 feet;  
South 66 degrees 26 minutes 00 seconds East 66.09 feet;  
South 73 degrees 04 minutes 10 seconds East 92.82 feet;

Continued On Next Page



## Schedule A Description - continued

Title Number CSA18-07281-W

Policy Number: OX-12272825

Page 3

North 68 degrees 55 minutes 00 seconds East 51.31 feet  
North 16 degrees 37 minutes 50 seconds East 24.42 feet;  
North 33 degrees 23 minutes 10 seconds East 20.99 feet;  
North 69 degrees 46 minutes 00 seconds East 62.94 feet;  
South 0 degrees 51 minutes 40 seconds East 29.98 feet;  
North 88 degrees 25 minutes 10 seconds East 21.76 feet;  
North 64 degrees 34 minutes 50 seconds East 26.08 feet;  
South 86 degrees 49 minutes 20 seconds East 70.88 feet;  
North 87 degrees 42 minutes 00 seconds East 48.65 feet; to lands now or  
formerly of the Healey Qualified Personal Residence Trust;

RUNNING THENCE along said dividing line South 21 degrees 56 minutes 00  
East 252.92 feet;  
North 59 degrees 44 minutes 00 seconds East 58.67 feet;  
South 33 degrees 43 minutes 00 seconds East 152.00 feet;  
South 31 degrees 34 minutes 50 seconds East 103.77 feet;  
South 26 degrees 14 minutes 00 seconds East 26.04 feet;  
South 40 degrees 09 minutes 50 seconds East 24.11 feet;  
South 58 degrees 06 minutes 20 seconds East 17.76 feet;  
South 38 degrees 52 minutes 50 seconds East 263.43 feet;  
South 35 degrees 57 minutes 30 seconds East 29.86 feet;  
South 22 degrees 04 minutes 50 seconds East 24.31 feet to a point of curve;

THENCE on a curve to the right having a radius of 250.00 feet, a distance of  
178.06 feet;  
South 26 degrees 43 minutes 00 seconds West 34.00 feet;

THENCE on a curve to the left having a radius of 170.00 feet, a length of 41.32  
feet;

THENCE on a curve to the right having a radius of 160.00 feet, a length of  
111.24 feet;  
South 52 degrees 37 minutes 40 seconds West 68.00 feet;

THENCE on a curve to the right having a radius of 370.00 feet, a length of  
102.44 feet;  
North 78 degrees 01 minutes 30 seconds West 166.41 feet;  
North 43 degrees 12 minutes 40 seconds West 226.39 feet and due West  
274.00 feet;  
South 24 degrees 34 minutes 10 seconds West 251.15 feet;  
South 0 degrees 40 minutes 40 seconds West 368.04 feet to the northerly side

Continued On Next Page

## Schedule A Description - continued

Title Number CSA18-07281-W

Policy Number: OX-12272825

Page 4

of Old Oscaleta Road;

RUNNING THENCE along said northerly side of Old Oscaleta Road, South 84 degrees 53 minutes 10 seconds West 113.74 feet;  
North 89 degrees 03 minutes 30 seconds West 40.89 feet;  
South 87 degrees 04 minutes 20 seconds West 60.47 feet;  
South 82 degrees 55 minutes 00 seconds West 20.08 feet;  
South 84 degrees 55 minutes 50 seconds West 18.70 feet;  
South 88 degrees 01 minutes 20 seconds West 49.76 feet;  
South 87 degrees 23 minutes 50 seconds West 61.35 feet;  
South 75 degrees 06 minutes 40 seconds West 7.06 feet;  
South 72 degrees 15 minutes 40 seconds West 51.71 feet;  
South 71 degrees 54 minutes 40 seconds West 72.70 feet;  
South 74 degrees 23 minutes 50 seconds West 69.10 feet;  
South 74 degrees 33 minutes 40 seconds West 74.83 feet;  
South 73 degrees 20 minutes 00 seconds West 73.26 feet;  
South 73 degrees 56 minutes 50 seconds West 91.14 feet;  
South 72 degrees 45 minutes 40 seconds West 39.50 feet;  
South 62 degrees 19 minutes 10 seconds West 56.68 feet;  
South 67 degrees 35 minutes 10 seconds West 69.50 feet;  
South 69 degrees 50 minutes 00 seconds West 104.86 feet;  
South 70 degrees 33 minutes 00 seconds West 47.80 feet;  
North 13 degrees 37 minutes 10 seconds West 8.00 feet to the point or place of BEGINNING.

SEPARATE DESCRIPTIONS FOR INDIVIDUAL TAX LOTS 3, 11 and 12

SHEET 35 BLOCK 11826 TAX LOT 3

ALL that certain piece or parcel of land situate, lying and being in the Town of Lewisboro, County of Westchester and State of New York, bounded and described as follows:

BEGINNING at a point on the northerly side of Old Oscaleta Road, being the highway leading to Ridgefield, where the said highway is intersected by the dividing line between the westerly side of the premises herein described and the easterly side of lands now or formerly of George L. Hoyt and at or opposite a stone wall, which point of beginning is also distant easterly 475 feet more or less, as measured along the northerly side of said Old Oscaleta Road, from the corner formed by the intersection of the easterly side of Oscaleta Road, being the highway leading from South Salem to North Salem, and the aforesaid northerly

Continued On Next Page



**Schedule A Description - continued**

Title Number **CSA18-07281-W**

Policy Number: **OX-12272825**

Page **5**

side of Old Oscaleta Road;

RUNNING THENCE along the easterly side of lands formerly of George L. Hoyt, now or formerly of J. Dudley Hoyt, et al., and along the said stone wall, the following courses and distances:

North 13 degrees 37 minutes 10 seconds West a distance of 111.50 feet;  
North 15 degrees 26 minutes 00 seconds West, a distance of 83.32 feet;  
North 13 degrees 42 minutes 30 seconds West, a distance of 56.60 feet;  
North 17 degrees 30 minutes 00 seconds West, a distance of 33.85 feet; and  
North 22 degrees 42 minutes 10 seconds West a distance of 157.77 feet to  
lands formerly of Frederick W. Smith, et. al., now or formerly of J.S. Abrams, Jr.;

THENCE along said lands and along stone walls, a part of the way, the following courses and distances:

North 74 degrees 55 minutes 50 seconds East a distance of 278.82 feet;  
North 16 degrees 10 minutes 50 seconds West a distance of 229.43 feet; and  
North 20 degrees 30 minutes 30 seconds West a distance of 118.27 feet to the  
northeasterly corner of land of said Abrams;

THENCE along the northerly side of land of said Abrams, South 70 degrees 51 minutes 50 seconds West, a distance of 171.82 feet to lands conveyed to Reginald L. Rinder, et. al., by Constance R. Wyckoff, et. al., by deed recorded in Liber 4879 cp 265;

THENCE along said lands now or formerly of Rinder and along a stone wall, North 10 degrees 26 minutes 10 seconds West a distance of 192.43 feet and North 11 degrees 21 minutes 50 seconds West a distance of 56.31 feet to lands formerly of the Estate of Mary Benedict, now or formerly of J. S. Abrams, Jr.;

THENCE along said lands last mentioned and along stone walls, the following courses and distances:

North 72 degrees 38 minutes 20 seconds East a distance of 43.28 feet;  
North 17 degrees 46 minutes 10 seconds West a distance of 56.19 feet;  
North 17 degrees 28 minutes 20 seconds West a distance of 53.40 feet;  
North 14 degrees 40 minutes 40 seconds West a distance of 119.31 feet; and  
North 15 degrees 10 minutes 40 seconds West a distance of 109.56 feet to land now or formerly of William H. Gale, Jr.;

Continued On Next Page

## Schedule A Description - continued

Title Number CSA18-07281-W

Policy Number: OX-12272825

Page 6

THENCE along said Gale's land and continuing along land now or formerly of H. J. and E. M. McMahon, the following courses and distances:

North 74 degrees 49 minutes 20 seconds East 466.48 feet;  
North 15 degrees 10 minutes 40 seconds West 373.17 feet; and  
North 18 degrees 00 minutes 10 seconds East 39.44 feet to the southerly shore of Oscaleta Lake ( or South Pond);

THENCE along the southerly shore of Oscaleta Lake, the following courses and distances:

South 36 degrees 27 minutes 30 seconds East a distance of 12.93 feet;  
South 79 degrees 31 minutes 30 seconds East a distance of 98.43 feet;  
South 77 degrees 47 minutes 50 seconds East a distance of 61.86 feet;  
North 89 degrees 09 minutes 10 seconds East a distance of 63.15 feet;  
South 83 degrees 22 minutes 10 seconds East a distance of 93.70 feet;  
North 85 degrees 49 minutes 30 seconds East distance of 41.04 feet;  
South 77 degrees 12 minutes 30 seconds East a distance of 178.73 feet;  
South 88 degrees 27 minutes 00 seconds East a distance of 74.37 feet;  
North 71 degrees 08 minutes 40 seconds East a distance of 66.22 feet;  
South 40 degrees 24 minutes 20 seconds East a distance of 30.87 feet;  
South 59 degrees 43 minutes 50 seconds East a distance of 16.90 feet;  
North 89 degrees 19 minutes 40 seconds East a distance of 45.10 feet;  
North 73 degrees 28 minutes 10 seconds East a distance of 44.77 feet;  
North 22 degrees 05 minutes 40 seconds East a distance of 35.11 feet;  
North 56 degrees 50 minutes 10 seconds West a distance of 59.39 feet;  
North 30 degrees 11 minutes 30 seconds West a distance of 27.09 feet;  
North 82 degrees 35 minutes 00 seconds East a distance of 45.10 feet;  
South 77 degrees 50 minutes 30 seconds East a distance of 27.20 feet;  
South 50 degrees 59 minutes 50 seconds East a distance of 71.12 feet;  
South 65 degrees 39 minutes 00 seconds East a distance of 67.21 feet;  
South 66 degrees 26 minutes 00 seconds East a distance of 66.09 feet;  
South 73 degrees 04 minutes 10 seconds East a distance of 92.82 feet;  
North 68 degrees 55 minutes 00 seconds East a distance of 51.31 feet;  
North 16 degrees 37 minutes 50 seconds East a distance of 24.42 feet;  
North 33 degrees 23 minutes 10 seconds East a distance of 20.99 feet;  
North 69 degrees 46 minutes 00 seconds East a distance of 62.94 feet;  
South 00 degrees 51 minutes 40 seconds East a distance of 29.98 feet;  
North 88 degrees 25 minutes 10 seconds East a distance of 21.76 feet;  
North 64 degrees 34 minutes 50 seconds East a distance of 26.08 feet; and  
South 86 degrees 49 minutes 20 seconds East a distance of 70.88 feet to a

Continued On Next Page



## Schedule A Description - continued

Title Number CSA18-07281-W

Policy Number: OX-12272825

Page 7

brook and North 87 degrees 42 minutes 00 seconds East a distance of 48.65 feet to lands conveyed to Marian Holden by Jessie C. Lawrence by deed recorded in Liber 2280 cp 11;

THENCE along the westerly side of said lands now or formerly of Marian Holden and along rail fences and stone walls, the following courses and distances:

South 21 degrees 56 minutes 00 seconds East a distance of 252.92 feet;  
North 59 degrees 44 minutes 00 seconds East a distance of 58.67 feet;  
South 33 degrees 43 minutes 00 seconds East a distance of 152.00 feet;  
South 31 degrees 34 minutes 50 seconds East a distance of 103.77 feet;  
South 26 degrees 14 minutes 00 seconds East a distance of 26.04 feet;  
South 40 degrees 09 minutes 50 seconds East a distance of 24.11 feet;  
South 58 degrees 06 minutes 20 seconds East a distance of 17.76 feet;  
South 38 degrees 52 minutes 50 seconds East a distance of 263.43 feet;  
South 35 degrees 57 minutes 30 seconds East a distance of 29.86 feet; and  
South 22 degrees 04 minutes 50 seconds East a distance of 24.31 feet to the northwesterly corner of lands conveyed to Marian Holden by Constance R. Wyckoff, et. al., recorded in Liber 4813 of deeds at Page 7 at a point marked by a cross cut in the stone wall;

THENCE southerly and westerly along the westerly side of said last mentioned lands, the following courses and distances:

On a curve to the right having a radius of 250 feet, and a radial bearing North 75 degrees 54 minutes 30 seconds East at its northerly end, a distance of 178.06 feet to a point marked by a pipe;

THENCE South 26 degrees 43 minutes 00 seconds West a distance of 34.00 feet to a point marked by another pipe;

THENCE on a curve to the left having a radius of 170.00 feet a distance of 41.32 feet to a point of compound curve marked by another pipe;

THENCE on a curve to the right having a radius of 160.00 feet a distance of 111.24 feet to a point marked by a stake;

THENCE South 52 degrees 37 minutes 40 seconds West a distance of 68.00 feet to a point marked by a pipe;

THENCE on a curve to the right having a radius of 370.00 feet and a radial

Continued On Next Page



## Schedule A Description - continued

Title Number CSA18-07281-W

Policy Number: OX-12272825

Page 8

bearing South 21 degrees 30 minutes 30 seconds East at its southwesterly and a distance of 102.44 feet to land now or formerly of James S. Abrams III;

THENCE along said last mentioned land, the following courses and distances:

North 78 degrees 01 minutes 30 seconds West 166.41 feet;  
North 43 degrees 12 minutes 40 seconds West 226.39 feet due West 274 feet;  
South 24 degrees 34 minutes 10 seconds West 251.15 feet;  
South 00 degrees 40 minutes 40 seconds West 368.04 feet to the northerly side of Old Oscaleta Road aforesaid;

THENCE along the said northerly side of Old Oscaleta Road and along stone walls, the following courses and distances:

South 84 degrees 53 minutes 10 seconds West a distance of 113.74 feet;  
North 89 degrees 03 minutes 30 seconds West a distance of 40.89 feet;  
South 87 degrees 04 minutes 20 seconds West a distance of 60.47 feet;  
South 82 degrees 55 minutes 00 seconds West a distance of 20.08 feet;  
South 84 degrees 55 minutes 50 seconds West crossing a driveway, a distance of 18.70 feet;  
South 88 degrees 01 minutes 20 seconds West a distance of 49.76 feet;  
South 87 degrees 23 minutes 50 seconds West a distance of 61.35 feet;  
South 75 degrees 06 minutes 40 seconds West a distance of 7.06 feet;  
South 72 degrees 15 minutes 40 seconds West a distance of 51.71 feet;  
South 71 degrees 54 minutes 40 seconds West a distance of 72.70 feet;  
South 74 degrees 23 minutes 50 seconds West a distance of 69.10 feet;  
South 74 degrees 33 minutes 40 seconds West a distance of 74.83 feet;  
South 73 degrees 20 minutes 00 seconds West a distance of 73.26 feet;  
South 73 degrees 56 minutes 50 seconds West a distance of 91.14 feet;  
South 72 degrees 45 minutes 40 seconds West a distance of 39.50 feet;  
South 62 degrees 19 minutes 10 seconds West a distance of 56.68 feet;  
South 67 degrees 35 minutes 10 seconds West a distance of 69.50 feet;  
South 69 degrees 50 minutes 00 seconds West, to a brook, a distance of 104.86 feet; and  
South 70 degrees 33 minutes 00 seconds West a distance of 47.80 feet to the point or place of BEGINNING.

TAX LOT 11

All that certain lot, piece or parcel of land, situate, lying and being in the Town of

Continued On Next Page

## Schedule A Description - continued

Title Number CSA18-07281-W

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Lewisboro, County of Westchester and State of New York, being more particularly bounded and described as follows:

BEGINNING at the northwest corner of the above described property, said point being distant North 70 degrees 51 minutes 50 seconds East 605.84 feet, as measured in an easterly direction along the division line between property now of formerly belonging to John Edwin Eckerson on the north and property now or formerly belonging to Virgil K. and Brenda D. Collins on the south, from its interesection with the easterly boundary line of Oscaleta Road;

RUNNING THENCE in an easterly, southerly and westerly direction along the westerly boundary line of property now or formerly belonging to John Edwin Eckerson, the following courses and distances:

North 70 degrees 51 minutes 50 seconds East 171.82 feet; South 20 degrees 30 minutes 30 seconds East 118.27; South 16 degrees 10 minutes 50 seconds East 229.43 and South 74 degrees 55 minutes 50 seconds West 216.00 feet to a point;

THENCE in a northerly direction along the easterly boundary line of property now or formerly belonging to Virgil K. and Brenda D. Collins, North 9 degrees 59 minutes 10 seconds West 285.49 feet and North 10 degrees 55 minutes 57 seconds West 50.70 feet to the point or place of BEGINNING.

### TAX LOT 12

ALL that lot or parcel of land situate in the Town of Lewisboro, County of Westchester and State of New York, bounded and described as follows:

BEGINNING at a point formed by the intersection of the northwesterly corner of the premises herein described with the southwesterly corner of the lands now or formerly of Harry Ard with the easterly line of Oscaleta Road;

THENCE easterly along the lands now or formerly of Harry Ard and the Estate of Mary Benedict, and along a stone wall, the following courses and distances:

North 72 degrees 19 minutes 00 seconds East 160.46 feet;  
North 73 degrees 09 minutes 20 seconds East 177.16 feet;  
North 73 degrees 47 minutes 00 seconds East 174.85 feet; and

Continued On Next Page



**Schedule A Description - continued**

Title Number **CSA18-07281-W**

Policy Number: **OX-12272825**

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North 72 degrees 21 minutes 20 seconds East 120.80 feet to a corner and other land of Peter and Constance Wyckoff;

THENCE southerly along other land of Peter and Constance Wyckoff; and along a stone wall, the following courses and distances:

South 11 degrees 21 minutes 50 seconds East 56.31 feet; and  
South 10 degrees 26 minutes 10 seconds East 192.43 feet to a corner and land now or formerly of Frederick W. Smith;

THENCE westerly along the land now or formerly of Frederick W. Smith, South 70 degrees 51 minutes 50 seconds West 605.84 feet to a corner and the easterly side of the aforementioned Oscaleta Road;

THENCE northerly along the easterly side of Oscaleta Road, and along a stone wall, the following courses and distances:

North 18 degrees 54 minutes 40 seconds West 68.64 feet; and  
North 16 degrees 25 minutes 50 seconds West 200.80 feet to the point and place of BEGINNING.

**PARCEL II**

**DESCRIPTION PURSUANT TO SURVEY OF ROBERT F. JOHNSON, P.L.S.  
DATED MAY 25, 2018**

**SHEET 35 BLOCK 11163 LOT 4**

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Lewisboro, County of Westchester and State of New York, being bounded and described as follows:

BEGINNING at a point in the northerly side of Oscaleta Road (Main Street) leading from South Salem to Ridgefield at the southwesterly corner of premises and the division line between premises being described and other lands now or formerly of Gerald A. Paccione, Jr.;

RUNNING THENCE along the northerly side of Oscaleta Road (Main Street) , South 88 degrees 49 minutes 10 seconds East 145.90 feet to a point of curve;

Continued On Next Page

## Schedule A Description - continued

Title Number CSA18-07281-W

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southeasterly on a curve to the right having a radius of 1025 feet, a central angle of 5 degrees 13 minutes an arc length of 93.32 feet and South 83 degrees 36 minutes 10 seconds East 10.26 feet to land now or formerly of Helmut Epple;

RUNNING THENCE along said lands part of the way along the remains of a rail fence and wire fence and approximate line of a wall the following courses and distances:

North 63 degrees 31 minutes 00 seconds East 32.81 feet;  
North 71 degrees 18 minutes 30 seconds East 41.16 feet;  
North 70 degrees 14 minutes 20 seconds East 48.81 feet;  
North 69 degrees 12 minutes 30 seconds East 66.89 feet;  
North 66 degrees 24 minutes 40 seconds East 58.55 feet;  
North 9 degrees 16 minutes 10 seconds East 367.64 feet to the southerly side of Old Oscaleta Road;

RUNNING THENCE North 60 degrees 17 minutes 20 seconds West 33.28 feet;  
North 70 degrees 14 minutes 20 seconds West 13.40 feet;  
North 58 degrees 55 minutes 30 seconds West 55.18 feet;  
North 54 degrees 39 minutes 40 seconds West 88.14 feet;  
North 52 degrees 32 minutes 40 seconds West 38.61 feet;  
North 52 degrees 53 minutes 00 seconds West 89.75 feet;  
North 55 degrees 36 minutes 40 seconds West 123.71 feet;  
North 58 degrees 13 minutes 20 seconds West 35.93 feet;  
North 64 degrees 42 minutes 40 seconds West 76.76 feet;  
North 74 degrees 00 minutes 00 seconds West 18.83 feet;  
North 86 degrees 40 minutes 30 seconds West 15.70 feet;  
South 79 degrees 35 minutes 30 seconds West 88.56 feet;  
South 83 degrees 48 minutes 50 seconds West 54.76 feet;  
South 78 degrees 21 minutes 30 seconds West 49.36 feet;  
North 87 degrees 33 minutes 40 seconds West 70.25 feet;  
South 79 degrees 01 minutes 50 seconds West 39.41 feet;  
South 76 degrees 00 minutes 10 seconds West 72.43 feet;  
South 69 degrees 34 minutes 10 seconds West 14.81 feet; and  
South 50 degrees 40 minutes 50 seconds West 8 feet to other lands now or formerly Frank Jeffrey Chernak;

RUNNING THENCE along said lands, part of the distance along the approximate line of a wire fence on a course, South 26 degrees 58 minutes 20 seconds East 769.38 feet to the northerly side of Oscaleta Road (Main Street) and the point and place of BEGINNING.

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**Schedule A Description - continued**

Title Number **CSA18-07281-W**

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PARCELS I AND II BEING AND INTENDED TO BE THE SAME LANDS CONVEYED BY DEED DATED 10/6/2008 MADE BY CONSTRANCE C. LEAHY, AMY HOLBROOK ABRAMS AS CO-EXECUTORS UNDER THE LAST WILL OF MARGUERITE D. ABRAMS AND RECORDED 10/22/2008 AS CONTROL NO. 482900178.

PARCEL III SHEET 35, BLOCK 11826, LOT 57

ALL that certain plot, piece or parcel of land, situate lying and being in the State of New York, County of Westchester and Town of Lewisboro, being known, shown the designated as Lot #1 on that certain map entitled "Revised May 6, 1993 Subdivision Map Prepared for Thomas Huntington, Town of Lewisboro West. Co., New York." said map having been filed in the Westchester County Clerk's Office, Division of Land Records, on June 22, 1994 as Map # 25215.

SAID lot being more particularly bounded and described as follows:

BEGINNING at a point on the north side of Old Oscaleta Road, being the highway leading to Ridgefield, where the southwesterly most corner of the parcel being described herein intersects and southeasterly most corner of land now or formerly of Abrams.

RUNNING THENCE from said point of beginning along said Abrams' lands North 0 degrees 40 minutes 40 seconds East 368.04 feet;

THENCE still along Abrams land North 24 degrees 34 minutes 10 seconds East 251.15 feet;

THENCE due East still along Abrams aforesaid 274.00 feet to an iron pipe;

RUNNING THENCE along the division line between Lots 1 & 2 on filed map #25215, South 7 degrees 04 minutes 57 seconds East 551.27 feet;

THENCE continuing along said division line South 44 degrees 11 minutes 03 seconds West 223.00 feet to a point on the north side of Old Oscaleta Road;

RUNNING THENCE the following courses and distances along said Old Oscaleta Road as widened;

North 55 degrees 25 minutes 36 seconds West 22.28 feet;

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**Schedule A Description - continued**

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North 51 degrees 10 minutes 19 seconds West 155.74 feet;

THENCE North 89 degrees 14 minutes 40 seconds West 19.70 feet to the point and place of BEGINNING.

**PARCEL IV SHEET 35, BLOCK 11826, LOT 61**

ALL that certain plot piece or parcel of land, situate, lying and being in the State of New York, County of Westchester and Town of Lewisboro, being known, shown and designated as Lot #2 on that certain map entitled "REVISED May 6, 1993 subdivision map prepared for Thomas Huntington, Town of Lewisboro West. Co., New York," said map having been filed in the Westchester County Clerk's Office Division of Land Records, on June 22, 1994 as Map #25215, being more particularly bounded and described as follows:

BEGINNING at a point on the northeasterly side of Old Oscaleta Road, said point being the dividing line between Lot 1 and 2 on Filed Map 25215;

THENCE RUNNING from said point of beginning, North 44 degrees 11 minutes 03 seconds East 223.00 feet; North 07 degrees 04 minutes 37 seconds East 551.28;

THENCE South 43 degrees 12 minutes 40 seconds East 226.39 feet; South 78 degrees 01 seconds 30 minutes East 166.41 feet to the westerly side of Tax Lot, Sheet 35, Block 11826, Lot 10;

THENCE RUNNING along said dividing line South 22 degrees 01 minutes 20 seconds West 179.27 feet to a dividing line of Lot 2 and lands now or formerly of JJE33, LLC;

THENCE RUNNING the following six (6) courses and distances:

South 15 degrees 45 minutes 00 seconds West 196.75 feet; South 18 degrees 17 minutes 50 seconds West 45.73 feet; South 8 degrees 52 minutes 20 seconds West 29.86 feet; South 1 degree 38 minutes 50 seconds East 39.08; South 6 degrees 38 minutes 50 seconds West 23.65 and South 13 degrees 27 minutes 20 seconds West 54.15 feet to lands now or formerly of Ronald F. and Helena Reed;

THENCE North 56 degrees 17 minutes 00 seconds West 202.59 feet and South

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**Schedule A Description - continued**

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38 degrees 01 minutes 30 seconds West 200 feet to the northeasterly side of Old Oscaleta Road;

THENCE RUNNING along said Road North 45 degrees 50 minutes 20 seconds West 18.40 feet; North 46 degrees 33 minutes 46 seconds West 62.48 feet; and North 55 degrees 25 minutes 36 seconds West 45.00 feet to the point or place of BEGINNING.

PARCELS III AND IV being and intended to be the same lands conveyed to JJE 33, LLC by deed dated 10/28/2010 made by Stephen A. Mortati and Maryann Mortati and recorded 11/16/2010 as Control No. 502953306.

PARCEL V - SHEET 35, BLOCK 11826, LOT 10 and SHEET 35, BLOCK 11164 LOT 2

All that certain plot, piece or parcel of land situate, lying and being in the Town of Lewisboro, County of Westchester and State of New York, bounded and described as follows:

BEGINNING at a point on the northerly side of Old Oscaleta Road where it is intersected by the dividing line between the westerly line of premises herein described and the easterly line of premises now or formerly of Earl A. Billger;

RUNNING THENCE along said lands now or formerly of Billger the following courses and distances:

North 21 degrees 47 minutes 30 seconds West 172.43 feet;  
North 65 degrees 00 minutes 10 seconds West 115.46 feet;  
North 40 degrees 18' minutes 40 seconds West 141.81 feet; and  
North 58 degrees 39 minutes 00 seconds West 84.35 feet to lands now or formerly of Peter and Constance Wyckoff;

RUNNING THENCE along the same the following courses and distances:

North 12 degrees 23 minutes 30 seconds East 54.15 feet;  
North 5 degrees 35 minutes 00 seconds East 23.65 feet;  
North 2 degrees 42 minutes 40 seconds West 39.08 feet;  
North 7 degrees 48 minutes 30 seconds East 29.86 feet;.

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## Schedule A Description - continued

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North 17 degrees 14 minutes 00 seconds East 45.73 feet;  
North 14 degrees 42 minutes 10 seconds East 196.75 feet; to the point of  
BEGINNING;

RUNNING THENCE North 20 degrees 57 minutes 30 seconds East 179.27 feet  
to a point of curve; on a curve to the left having a radius of 370.00 feet a distance  
of 102.44 feet to a point of tangency;

North 51 degrees 33 minutes 50 seconds East 68.00 feet to a point of curve; on  
a curve to the left having a radius of 160.00 feet a distance of 111.24 feet to a  
point of reverse curve; on a curve to the right having a radius of 170.00 feet a  
distance of 41.32 feet to a point of tangency;

North 25 degrees 39 minutes 10 seconds East 34.00 feet to a point of curve; on  
a curve to the left having a radius of 250.00 feet a distance of 178.06 feet to a  
point of tangency;

North 23 degrees 08 minutes 40 seconds West 24.31 feet;  
North 37 degrees 01 minutes 20 seconds West 29.86 feet;  
North 39 degrees 56 minutes 40 seconds West 263.43 feet;  
North 59 degrees 10 minutes 10 seconds West 17.76 feet;  
North 41 degrees 13 minutes 40 seconds West 24.11 feet;  
North 27 degrees 17 minutes 50 seconds West 26.04 feet;  
North 32 degrees 38 minutes 40 seconds West 103.77 feet;  
North 34 degrees 46 minutes 50 seconds West 152.00 feet;  
South 58 degrees 40 minutes 10 seconds West 58.67 feet; and  
North 22 degrees 59 minutes 50 seconds West 252.92 feet to the southerly line  
of Lake Osceola.

RUNNING THENCE along the same the following courses and distances:

North 76 degrees 32 minutes 00 seconds East 38.31 feet;  
North 57 degrees 46 minutes 20 seconds East 54.18 feet;  
North 1 degree 56 minutes 20 seconds East 13.01 feet;  
North 41 degrees 55 minutes 00 seconds East 19.76 feet;  
North 70 degrees 52 minutes 30 seconds East 10.98 feet;  
South 24 degrees 07 minutes 30 seconds East 13.31 feet;  
North 85 degrees 24 minutes 50 seconds East 16.12 feet;  
North 43 degrees 05 minutes 50 seconds East 17.07 feet;  
North 53 degrees 13 minutes 50 seconds West 5.55 feet;  
North 1 degree 33 minutes 00 seconds West 35.40 feet;

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## Schedule A Description - continued

Title Number CSA18-07281-W

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North 88 degrees 27 minutes 00 seconds East 28.80 feet;  
South 1 degree 33 minutes 00 seconds East 1.10 feet;  
North 88 degrees 27 minutes 00 seconds East 32.00 feet;  
North 78 degrees 35 minutes 40 seconds East 27.15 feet;  
North 80 degrees 36 minutes 40 seconds East 34.37 feet;  
South 60 degrees 48 minutes 40 seconds East 16.60 feet;  
South 69 degrees 24 minutes 30 seconds East 23.19 feet;  
South 61 degrees 23 minutes 00 seconds East 70.00 feet;  
South 72 degrees 22 minutes 00 seconds East 13.91 feet;  
South 65 degrees 28 minutes 00 seconds East 28.50 feet;  
South 54 degrees 50 minutes 00 seconds East 10.82 feet to lands now or  
formerly of C. B. Peck;

RUNNING THENCE along the same the following courses and distances:

South 26 degrees 17 minutes 00 seconds East 23.21 feet;  
South 17 degrees 18 minutes 00 seconds East 16.43 feet;  
South 15 degrees 55 minutes 00 seconds East 91.35 feet;  
South 16 degrees 30 minutes 00 seconds East 161.00 feet;  
South 21 degrees 53 minutes 00 seconds East 24.06 feet;  
South 16 degrees 45 minutes 00 seconds East 71.01 feet;  
South 17 degrees 58 minutes 00 seconds East 50.01 feet;  
South 17 degrees 28 minutes 30 seconds East 547.30 feet;  
South 18 degrees 00 minutes 00 seconds East 251.94 feet;  
South 16 degrees 13 minutes 00 seconds East 42.27 feet;  
North 74 degrees 09 minutes 00 seconds East 83.70 feet;  
North 79 degrees 02 minutes 00 seconds East 61.05 feet;  
North 80 degrees 01 minutes 00 seconds East 121.02 feet;  
South 7 degrees 22 minutes 00 seconds East 11.72 feet;  
South 17 degrees 11 minutes 00 seconds East 116.71 feet;  
South 21 degrees 16 minutes 00 seconds East 27.26 feet;  
South 12 degrees 01 minutes 00 seconds East 13.01 feet;  
South 34 degrees 19 minutes 00 seconds East 16.06 feet;  
South 15 degrees 57 minutes 00 seconds East 67.08 feet;  
South 16 degrees 31 minutes 50 seconds East 74.36 feet;  
North 74 degrees 31 minutes 10 seconds East 17.11 feet;  
South 21 degrees 51 minutes 00 seconds East 45.09 feet;  
South 12 degrees 11 minutes 20 seconds East 33.98 feet;  
South 15 degrees 25 minutes 00 seconds East 18.58 feet;  
South 8 degrees 02 minutes 10 seconds East 12.74 feet, and  
South 18 degrees 47 minutes 00 seconds East 19.29 feet to a point on the

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**Schedule A Description - continued**

Title Number CSA18-07281-W

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northerly side of Old Oscaleta Road;

RUNNING THENCE along the same the following courses and distances:

South 61 degrees 47 minutes 20 seconds West 17.94 feet;  
South 63 degrees 00 minutes 00 seconds West 31.76 feet;  
South 72 degrees 14 minutes 50 seconds West 69.29 feet;  
South 75 degrees 37 minutes 10 seconds West 35.91 feet;  
South 73 degrees 14 minutes 50 seconds West 25.00 feet;  
South 75 degrees 04 minutes 40 seconds West 90.36 feet;  
South 70 degrees 09 minutes 40 seconds West 9.03 feet;  
South 52 degrees 53 minutes 40 seconds West 15.81 feet;  
South 47 degrees 44 minutes 30 seconds West 14.82 feet;  
South 39 degrees 14 minutes 00 seconds West 43.02 feet;  
South 43 degrees 23 minutes 20 seconds West 13.62 feet;  
South 44 degrees 41 minutes 00 seconds West 13.38 feet;  
South 46 degrees 57 minutes 40 seconds West 21.91 feet;  
South 39 degrees 12 minutes 00 seconds West 45.88 feet;  
South 51 degrees 01 minutes 20 seconds West 23.55 feet;  
South 57 degrees 22 minutes 00 seconds West 21.77 feet;  
South 47 degrees 05 minutes 00 seconds West 92.21 feet;  
South 49 degrees 26 minutes 00 seconds West 43.29 feet;  
South 41 degrees 17 minutes 00 seconds West 111.75 feet;  
South 40 degrees 24 minutes 50 seconds West 69.96 feet;  
South 49 degrees 08 minutes 50 seconds West 19.20 feet;  
South 58 degrees 22 minutes 30 seconds West 29.34 feet;  
South 63 degrees 04 minutes 20 seconds West 19.02 feet; and  
South 77 degrees 38 minutes 40 seconds West 27.97 feet to the point or place  
of BEGINNING.

TOGETHER with the benefit of an easement for operation and maintenance of  
an electric distribution line as set forth in Liber 4721 page 188.

Parcel V being and intended to be only that portion of the lands conveyed to  
JJE33, LLC by deed dated 9/10/2014 made by Matthew Healey and recorded  
9/29/2014 as Control No. 542513231

## **DECLARATION AND GRANT DRIVEWAY EASEMENT**

This Declaration and Grant of Driveway Easement is made as of the \_\_\_\_ day of \_\_\_\_\_, 2022 by JJE33 HOLDINGS, LLC, a New York limited liability company with offices c/o ML Management Partners, LLC, 888 Seventh Avenue, 4<sup>th</sup> Floor, New York, NY 10106 (“Declarant”).

### **W I T N E S S E T H:**

**WHEREAS**, Declarant is the owner of 59.399 acre Parcel 1 and 13.920 acre Parcel 2 as shown on a certain lot line change plat entitled “Final Lot Line Change Plat Prepared for JJE33 Holdings, LLC” (the “Plat”), which was filed in the Office of the Westchester County Clerk, Division of Land Records, on \_\_\_\_\_. \_\_\_\_\_, 2022 as Filed Map No. \_\_\_\_\_ (the “Filed Map”); and

**WHEREAS**, the means of access to and egress between Parcel 2 and Old Oscaleta Road is over, across and through an existing driveway on Parcel 1; and

**WHEREAS**, Declarant wishes to grant a driveway access easement in favor of Parcel 2 and record same to formally establish and delineate the future access rights benefiting Parcel 2 to use of the existing driveway on Parcel 1 as a permanent means of ingress and egress between Parcel 2 and Old Oscaleta Road; and

**WHEREAS**, the Planning Board of the Town of Lewisboro, as a condition of lot line change approval, has required that a written instrument be recorded to provide such a permanent right of driveway access, by way of an easement, over, across and through Parcel 1 for purposes of ingress and egress between Parcel 2 and Old Oscaleta Road.

**NOW, THEREFORE**, for value received, Declarant hereby declares and grants



unto Parcel 2 a perpetual access easement over, through and across Parcel 1 in the designated the Easement Area as more particularly described in the Schedule A annexed hereto and as shown on the Filed Map for ingress and egress between Parcel 2 and Old Oscaleta Road, subject to the following terms and conditions:

1. No vehicles shall be parked and no equipment shall be stored (except temporarily) in the Easement Area.
2. No fences, walls, gates or obstructions of any kind shall be erected within the Easement Area or in any proximate location that may obstruct use of the portion of the shared driveway within the Easement Area.
3. For the avoidance of doubt, this driveway easement is intended solely for the benefit of Parcel 2, and not for the general public.
4. The provisions of this Declaration and Grant of Driveway Easement shall run with the land and be deemed perpetual and binding upon any future owners of Parcel 1 and Parcel 2, their heirs, distributees, legal representatives, assigns and successors-in-interest. If either Parcel 1 or Parcel 2 come under separate ownership in the future, any and all of the provisions herein contained shall be specifically enforceable by or against the then owners of such lands.

IN WITNESS WHEREOF, this Declaration and Grant of Driveway Easement has been executed as of the day and year first above written.

JJE33 HOLDINGS, LLC

By: \_\_\_\_\_, Manager

STATE OF NEW YORK                    )  
  ) ss.:  
COUNTY OF WESTCHESTER        )

On the                day of \_\_\_\_\_, 2022 before me, the undersigned, personally appeared \_\_\_\_\_, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within Declaration and Grant of Driveway Easement and acknowledged to me that he/she executed the same in their capacity, and that by his/her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

\_\_\_\_\_  
Notary Public

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**DECLARATION AND GRANT  
OF DRIVEWAY EASEMENT**

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**Sheet: 35**

**Block: 11826**

**Lots: 12 (Parcel 2) & 3 (Parcel 1)**

**Town of Lewisboro**

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**RECORD & RETURN TO:**  
**MICHAEL FULLER SIRIGNANO, Esq.**  
**PO Box 784**  
**Cross River, NY 10518**



SEP 06 2022

Town Clerk  
Town of Lewisboro

**RESOLUTION  
TOWN OF LEWISBORO  
ZONING BOARD OF APPEALS  
IN THE MATTER OF THE APPLICATION OF  
*JJE33 Holdings LLC*  
FOR A VARIANCE OF  
ARTICLE IV 220-12G(2)(a)  
CAL. NO. 22-22-BZ**

**INTRODUCED BY:** Board Member Mr. Casper

**SECONDED BY:** Board Member Ms. Mandelker

**DATE OF CONSIDERATION/ADOPTION:** August 24, 2022

**WHEREAS**, Michael Fuller Sirignano, Esq, as the applicant, (JJE33 Holdings, LLC, owner of record) has made application to the Lewisboro Zoning Board of Appeals (the "ZBA"), on the subject premises located at, 27 Old Oscaleta Road, South Salem, NY, Tax Map as, Sheet 0035, Block 11826, Lot 003 ("the property"), for a variance for the existing solar array to remain located in the front yard location. as permitted per Article III Section 220-12G(2)(a) of the Town of Lewisboro Zoning Code.

**WHEREAS**, this application for an area variance constitutes a Type II action under 6 NYCRR Part 617, and therefore, requires no further review under the State Environmental Quality Review Act (SEQRA), and

**WHEREAS**, a public hearing at the Town Offices, 79 Bouton Road, South Salem, New York in this matter on August 24, 2022 and a site walk was conducted on August 20, 2022 to consider the application, after which a vote was taken with regard to the variance as set forth above, and

**WHEREAS**, The Lewisboro Zoning Board of Appeals has given careful consideration to the facts presented in the application at the public hearing based upon the criteria set forth in Section 267-b(3)(b) of the Town Law of the State of New York, and finds as follows:

1. The property is an approximate 68.09-acres parcel in a 4-AC, Four Acre Residential District owned by JJE33 Holdings LLC and is improved with a single-family residence. The applicant wishes to keep the existing solar array in the front yard location as permitted per Article III Section 220-12G(2)(a) of the Town of Lewisboro Zoning Code,
2. There will be no undesirable change in the character of the neighborhood or detriment to nearby properties.
3. There is no practical alternative to the variance requested.
4. The Board found that the variance is not substantial.
5. There will not be an adverse effect or impact to the physical or environmental conditions of the neighborhood.

6. The Board found that the difficulty was not self-created.

**WHEREAS**, pursuant to Section 267-b(3)(c), the ZBA hereby determines that the variance necessary in this application is that the existing solar array located in the front yard is permitted after the lot line change with parcel 2 per Article III Section 220-12G(2)(a) of the Town of Lewisboro Zoning Code, thereby permitting the solar array in the front yard.

**NOW, THEREFORE BE IT RESOLVED**, that the Lewisboro Zoning Board of Appeals hereby grants a variance of the existing solar array located in the front yard, per Article III Section 220-12G(2)(a) of the Town of Lewisboro Zoning Code.

**VOTE:**

Chair Price	-	In Favor
Board Member Mandelker	-	In Favor
Board Member Casper	-	In Favor
Board Member Infield	-	In Favor
Board Member Rendo	-	Absent

**VOTE:** Resolution carried by a vote of 4 to 0.



Robin Price Jr. Chair

Dated in South Salem, New York

This 1 day of September 2022

**STATE OF NEW YORK**

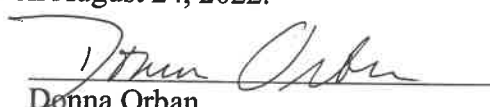
)

) ss.:

**COUNTY OF WESTCHESTER**

I, Donna Orban, Secretary of the Zoning Board of Appeals, do hereby certify that the above is an excerpt/summary/fair representation of the Resolution adopted by the Zoning Board of Appeals of the Town of Lewisboro at a meeting of said Board on August 24, 2022.

Dated: Sept. 1, 2022

  
Donna Orban

Secretary Zoning Board of Appeals

## Ciorsdan Conran

---

**From:** Sirignano Law Office <lawoffice@sirignano.us>  
**Sent:** Monday, September 12, 2022 2:20 PM  
**To:** Ciorsdan Conran  
**Cc:** Keith Staudohar; Gossett Nursery; John Vuolo  
**Subject:** Re: Gossett Nursery\_Request\_Extension\_granted 051722.pdf

Ciorsdan,

On behalf of Gossett Brothers Nursery, we respectfully request an extension of time to comply with the several conditions of approval. We hope a ninety (90) day extension will suffice. Keith Staudohar is attending to the engineering/environmental items and I am handling the recording of the Declaration.

Thank you,

Michael

**Michael Fuller Sirignano**

Attorney and Counselor at Law

Old Post Road Professional Building

892 Route 35, PO Box 784

Cross River, NY 10518

Telephone: (914) 763-5500

Fax: (914) 763-9589

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**From:** Keith Staudohar <keith@croninengineering.net>  
**Date:** Monday, September 12, 2022 at 2:11 PM  
**To:** Ciorsdan Conran <Planning@lewisborogov.onmicrosoft.com>, Gossett Nursery <gossettnursery@gmail.com>, John Vuolo <jvino65@gmail.com>  
**Cc:** Michael Sirignano <michael@sirignano.us>  
**Subject:** RE: Gossett Nursery\_Request\_Extension\_granted 051722.pdf

Ciorsdan,

Thanks for the Heads-up!

We will need a time extension and the formal request will likely come from Michael Sirignano or Gossett.

Thanks again.

Keith

**Keith Staudohar CPESC, CPSWQ**  
**Cronin Engineering P.E. P.C.**



**RESOLUTION  
LEWISBORO PLANNING BOARD**

**SPECIAL USE PERMIT APPROVAL AND RENEWAL**

**NEW YORK SMSA LIMITED PARTNERSHIP D/B/A VERIZON WIRELESS  
1065 NYS ROUTE 35**

Sheet 21, Block 10541, Lots 5 and 25  
Cal. #2-15 PB

**April 21, 2015**

**WHEREAS**, New York SMSA Limited Partnership d/b/a Verizon Wireless ("the applicant/facility owner") is proposing a modification to its existing wireless communication facility, located at 1065 NYS Route 35 and within the R-4A Zoning District ("the subject property"); and

**WHEREAS**, the subject property is identified on the Town of Lewisboro Tax Maps as Sheet 21, Block 10541, Lots 5 and 25; and

**WHEREAS**, while the wireless communication facility is located entirely on Lot 25 ( $\pm 6$  acres), portions of the proposed access driveway are located on adjacent Lot 5 ( $\pm 54$  acres), both of which are owned by the Town of Lewisboro; and

**WHEREAS**, the subject property consists of  $\pm 60$  acres and contains the Town of Lewisboro Town Park; and

**WHEREAS**, the subject property contains a 160-foot monopole tower and related wireless telecommunication equipment which is owned and operated by the applicant/facility owner and which was approved by the Planning Board via resolution dated December 13, 2011 (see Cal. #1-11PB); and

**WHEREAS**, the applicant/facility owner is proposing the installation of replacement antennas and ancillary equipment on its existing tower facility. More specifically, the applicant is proposing to replace 12 existing panel antennas with 12 new panel antennas on the existing mounting platform and is proposing to install one (1) GPS unit, 12 RRH units, and three (3) sector distribution boxes; associated wiring will be installed internal to the tower itself; and

**WHEREAS**, while the number of panel antennas will remain the same, the size of the proposed antennas are larger than the existing (50.5"L x 14.6"W x 7.1"D (largest proposed), as compared to 47.5"L x 8.0"W x 5.9"D (largest existing)); and

**WHEREAS**, the proposed antennas will be mounted so that the top of the proposed antennas will be at the same elevation as the existing antennas; and

**WHEREAS**, according to the applicant/facility owner's calculations, the volume of antennas and equipment mounted to the tower will increase from  $\pm 12$  c.f. to  $\pm 58.17$  c.f.; and

**WHEREAS**, reference is made to a structural certification letter prepared by Structural Consulting Services, P.C., dated March 27, 2015, which certifies that the existing tower facility and associated foundation can accommodate the proposed antenna replacement and will not impact the towers ability to accommodate four (4) additional future carriers, as originally designed and approved; and

**WHEREAS**, reference is made to a report entitled "Antenna Site FCC RF Compliance Assessment and Report", prepared by Pinnacle Telecom Group, dated December 11, 2014; and

**WHEREAS**, reference is made to a memorandum of support and associated attachments, prepared by the applicant/facility owner's attorney, Snyder & Snyder, LLP, dated February 12, 2015; and

**WHEREAS**, the application was referred to the Westchester County Planning Board in accordance with Section 239-m of the General Municipal Law; and

**WHEREAS**, the application was referred to the Antenna Advisory Board and, given the proximity of the Ward Pound Ridge Reservation, the Westchester County Department of Parks; and

**WHEREAS**, unless renewed by the Planning Board, the Special Use Permit granted on December 13, 2011 will expire on December 13, 2016; and

**WHEREAS**, the applicant/facility owner has requested that the Planning Board grant a 5-year renewal of the existing Special Use Permit; and

**WHEREAS**, given the nature of the application and as no significant modifications are proposed to the existing facility, the following submission requirements have been waived by the Planning Board:

- a) Verifiable list of FCC complaints (220-41.1B(7))
- b) Communication facility siting (220-41.1C)
- c) Full Environmental Assessment Form (220-41.1D(1))
- d) Service coverage maps (220-41.1D(2) and 220-41.1E(1))
- e) Long range communication facilities plan (220-41.1D(3))

- f) Documentation demonstrating that the height of the tower is the minimum necessary (220-41.1D(4))
- g) Legal description of property (220-41.1D(5)(e))
- h) Landscaping plan (220-41.1D(9) and (220-41.1E(5))
- i) Alternatives (220-41.1E(2))
- j) Provisions for additional antennas (220-41.1E(3))
- k) Setbacks (220-41.1E(4))

**WHEREAS**, the proposed action has been determined to be an Unlisted Action, pursuant to the New York State Environmental Quality Review Act (SEQRA), 6 NYCRR Part 617.4; and

**WHEREAS**, the applicant submitted the Short Environmental Assessment Form (EAF), dated March 30, 2015; and

**WHEREAS**, the Planning Board has compared the proposed action with the Criteria for Determining Significance in 6 NYCRR 617.7 (c) and determined that the proposed action will not have a significant adverse impact on the environment; and

**WHEREAS**, the Planning Board has considered all reasonably related long-term, short-term, direct, indirect, and cumulative environmental effects associated with the proposed action including other simultaneous or subsequent actions; and

**WHEREAS**, in addition to the above, the Planning Board has considered the written and verbal comments from the Board's professional consultants, written documentation and plans submitted by the applicant/facility owner in support of its application, the verbal commentary made during Planning Board meetings, and testimony of the applicant/facility owner.

**NOW THEREFORE BE RESOLVED THAT**, the proposed action meets the purpose and intent described under Section 220-41.1A of the Zoning Code, the proposed action has been designed to satisfy the regulatory compliance standards identified under Section 220-41.1B of the Zoning Code, the proposed communication facility has been designed and sited to comply with Section 220-41.1C and Section 220-41.1E of the Zoning Code, and, unless waived by the Planning Board, the applicant/facility owner has submitted the application materials required by Section 220-41.1D of the Zoning Code; and

**BE IT FURTHER RESOLVED THAT**, the proposed action represents a minor modification to an existing facility and the Planning Board hereby reconfirms the following findings described in its December 13, 2011 Resolution:



1. The location and size of the use, the nature and intensity of the operations involved in it or conducted in connection with it, the size of the site in relation to it, and the location of the site with respect to streets giving access to it, are such that it will be in harmony with the appropriate and orderly development of the district in which it is located and that the proposed action complies with all special requirements for such use established in Section 220-32, Zoning.
2. The location, nature and height of buildings, walls and fences and the nature and extent of existing or proposed planting on the site are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings.
3. Operations in connection with the Special Use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would be the operation of any permitted use not requiring a Special Permit.
4. Parking areas will be of adequate size for the particular use, properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum and adequate safety.

**BE IT FURTHER RESOLVED THAT**, the Planning Board hereby approves a Special Use Permit, subject to the below conditions and compliance with the Special Use Permit Conditions specified below; and

**BE IT FURTHER RESOLVED THAT**, the following drawings, which shall be referred to as the "Special Use Permit Plans", prepared by Structural Consulting Services, P.C. and dated (last revised) February 13, 2015, are hereby approved, subject to the below conditions and compliance with the Special Use Permit Conditions specified below:

- Compound Plan, Antenna Elevations, Project Information, Topographic Map, and Notes (Sheet C-1)
- FAA Elevation and Antenna Orientation Plan (Sheet C-2)

**BE IT FURTHER RESOLVED THAT**, this Special Use Permit shall be deemed to authorize only the particular Special Permit Use described herein and illustrated on the approved Special Use Permit Plans referenced herein and shall expire if work is not initiated pursuant thereto within one (1) year of this Resolution, or if said use or uses shall cease for more than one (1) year for any reason, or if all required improvements are not completed within two (2) years from the date of this Resolution, or if all such required improvements are not maintained and all conditions and standards complied with throughout the duration of the use, except that the Planning Board may, upon request, extend the above time periods as determined appropriate; and

**BE IT FURTHER RESOLVED THAT**, the Special Use Permit for the tower facility and wireless telecommunication equipment owned and operated by Verizon Wireless is hereby renewed for a period of five (5) years and shall expire on December 13, 2021; and

**BE IT FURTHER RESOLVED THAT**, Conditions #1 through #7 must be fulfilled within six (6) months of the date of this Resolution. Should the below-listed conditions not be completed within the allotted time frame, this Resolution shall become null and void unless an extension is requested by the applicant/facility owner (in writing) within said six (6) month period and granted by the Planning Board.

**Conditions to be Satisfied Prior to the Signing of the Site Development Plans by the Secretary and Chairman:**

1. Each and every sheet of the Special Use Permit Plans shall contain a common revision date with notation stating "Planning Board Approval", shall contain an original seal and signature of the design professional and shall contain an original signature of the owner.
2. The following signature blocks shall appear on all sheets:

**PLANNING BOARD APPROVAL**

Approved by the Planning Board of the Town of Lewisboro,  
Westchester County, N.Y. by resolution dated \_\_\_\_\_.  
Any change, erasure, modification or revision to this Plan,  
as approved, shall void this approval.

\_\_\_\_\_  
Jerome Kerner Date

\_\_\_\_\_  
Lisa Pisera Date

**OWNER'S CERTIFICATION**

The undersigned owner of the property shown hereon is familiar with this drawing(s), its contents, and its legends and hereby approves the same for filing.

\_\_\_\_\_  
Owners Name (insert) Date  
Owners Address (insert)

**TOWN ENGINEER'S CERTIFICATION**

Reviewed for compliance with the Planning Board Resolution.

\_\_\_\_\_  
Joseph Cermele, P.E., CFM Date  
Town Consulting Engineer

3. The applicant/facility owner shall satisfy any outstanding written comments provided by the Town's consultants.
4. The applicant/facility owner shall submit a "check set" of the Final Special Use Permit Plans (two (2) sets), prepared in final form and in accordance with the conditions of this Resolution, for review by the Planning Board's consultants.

5. Any revisions required as a result of the consultant's review of the Final Special Use Permit Plans shall be made. Following review and revision (if necessary), the applicant/facility owner shall furnish the Planning Board with two (2) complete mylar plan sets, complete with all required original signatures, for final review by the Town Engineer and endorsement by the Town Engineer, Planning Board Secretary and Planning Board Chairman.
6. The applicant/facility owner shall provide a written statement to the Planning Board Secretary acknowledging that they have read and will abide by all conditions of this Resolution.
7. The applicant/facility owner shall pay to the Town of Lewisboro, by certified check, all outstanding professional review fees.

**Conditions to be Satisfied Prior to the Issuance of a Building Permit:**

8. Following the endorsement of the Final Special Use Permit Plans by the Town Engineer, Planning Board Chairman and Secretary, one (1) mylar set will be returned to the applicant/facility owner for copying and the second mylar set will be retained by the Planning Board as a record copy.
9. Within 10 days after endorsement of the Final Special Use Permit Plans by the Town Engineer, Planning Board Chairman and Planning Board Secretary, the applicant/facility owner shall deliver to the Planning Board Secretary nine (9) printed sets of the signed plans, collated and folded.

**Conditions to be Satisfied During Construction:**

10. Construction-related activities shall be conducted between 8 a.m. and sunset, Monday through Saturday.
11. During construction, the Town Engineer and/or Town Planner may conduct site inspections, as necessary, to determine compliance with the provisions of this Resolution and the approved Final Special Use Permit Plans.
12. A copy of this Resolution and approved Final Special Use Permit Plans shall be kept on site at all times.

**Conditions to be Satisfied Prior to the Issuance of a Certificate of Occupancy and/or Use:**

13. Certification by a NYS Professional Engineer that all proposed antennas and related equipment have been installed in accordance with the approved plans.
14. The Town Engineer shall conduct a site visit to determine conformance with the approved Special Use Permit Plans.

15. The applicant/facility owner shall pay to the Town of Lewisboro, by certified or Attorney check, all outstanding professional review fees.

**Special Use Permit Conditions:**

16. The applicant/facility owner shall comply with the conditions specified within the Planning Board's December 13, 2011 Resolution referenced herein.
17. Unless further extended by the Planning Board, the Special Use Permit for the tower facility and wireless telecommunication equipment owned and operated by Verizon Wireless shall expire on December 13, 2021. Any subsequent renewal application shall be subject to the same procedure, rules and regulations applicable to an original application; however, the Planning Board may waive, upon the request of the applicant/facility owner and subject to appropriate circumstances, the application submission requirements as per Section 220-41.1H(3) of the Zoning Code.

**ADOPTION OF RESOLUTION**

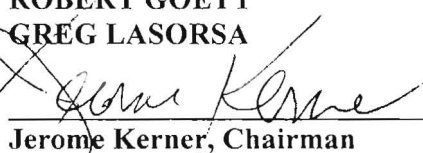
**WHEREUPON**, the Resolution herein was declared adopted by the Planning Board of the Town of Lewisboro as follows:

The motion was moved by: Mr. Tetelman

The motion was seconded by: Mr. LaSorsa

The vote was as follows:

JEROME KERNER	Aye
JOHN O'DONNELL	Absent
RON TETELMAN	Aye
ROBERT GOETT	Aye
GREG LASORSA	Aye

  
Jerome Kerner, Chairman

4/26/15  
April 21, 2015

**STATE OF NEW YORK  
COUNTY OF WESTCHESTER  
TOWN OF LEWISBORO**

I, Lisa M. Pisera, Secretary to the Planning Board of the Town of Lewisboro, County of Westchester, State of New York, do hereby certify that I have compared the preceding copy of a resolution adopted by the Planning Board of the Town Lewisboro, County Westchester at a meeting held on the 21<sup>st</sup> day of April and that the same is a true and correct copy of said original and of the whole thereof.

  
Lisa M. Pisera  
Planning Board Secretary

Dated at Cross River, New York  
This 28<sup>th</sup> day of April



**TOWN OF LEWISBORO**  
**NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on September 20, 2022 at 7:30 p.m., or soon thereafter, either in person at 79 Bouton Road, South Salem or (if permitted by law) using the videoconferencing app Zoom, regarding the following:

**Cal #09-21PB**

Application for Special Use Permit Reapproval for the ATC Tower, 1065 NYS Route 35, South Salem, NY; Sheet 21, Block 10541, Lots 25 & 25A (Town of Lewisboro, owner of record) for the existing cell tower which is accessed via a gravel drive at 1079 NYS Route 35, South Salem, NY; Sheet 21, Block 10541, Lot 5 (Town of Lewisboro, owner of record). The subject property is in Lewisboro Town Park, consists of approximately 5.97 acres and is located within a Residential Four-Acre (R-4A) Zoning District.

Due to public health and safety concerns related to the COVID-19 virus, the Planning Board is preparing to conduct the meeting either in person at 79 Bouton Road, South Salem or virtually over Zoom. If the meeting is held via Zoom, the public may view or participate through the Zoom app

at <https://us06web.zoom.us/j/87284224453?pwd=Z2hNcVBjY1ArN280YUVLNkFtVEU5QT09>

by clicking “Join a Meeting,” and entering Meeting ID: 872 8422 4453 Passcode: 194252. You may call in to the Zoom meeting at 1-929-205-6099 when prompted, enter Meeting ID: 872 8422 4453 Passcode: 194252. Please consult the Town of Lewisboro website <https://www.lewisborogov.com/planningboard> or call 914-763-5592 to confirm whether the meeting will be conducted in person or by videoconferencing.

The public will have the opportunity to review digital copies of materials and proposed site documents at <https://www.lewisborogov.com/planningboard> and a transcript will be available at a later date.

Interested members of the public are encouraged to provide written comments prior to and during the virtual public hearing by emailing Ciorsdan Conran, Planning Board Administrator, at [planning@lewisborogov.com](mailto:planning@lewisborogov.com) Please check the meeting agenda posted on the Board’s web page for additional instructions and updates.

A copy of materials and proposed site documents may be inspected at the office of the Planning Board Administrator, 79 Bouton Road, South Salem, New York during regular Planning Board hours. Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to attend the Public Hearing and all will be provided an opportunity to be heard.

**PLANNING BOARD**  
**TOWN OF LEWISBORO**  
By: Janet Andersen  
Chair

**Dated: August 22, 2022**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Administrator to the Planning Board in advance.

7022 1670 0001 7819 5127

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Postage \$0.60

Total Postage and Fees \$7.85

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Sent To JAMES BORELLI

Street and Apt. No., or PO Box No.

15 HOWLAND DR.

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Postage \$0.60

Total Postage and Fees \$7.85

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Street and Apt. No., or PO Box No.

9 HOWLAND DR.

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PS Form 3800, April 2015 PSN 7530-02-000-9047

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7022 1670 0001 7819 5134

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Postage \$0.60

Total Postage and Fees \$7.85

\$

Sent To WILLIAM + SOBRAL CASILL

Street and Apt. No., or PO Box No.

12 HUNTS LA

City, State, ZIP+4® CROSS RIVER NY 10518

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Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.60	
Total Postage and Fees	\$7.85	
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Street and Apt. No., or PO Box No. 14 HOWLAND DR.		
City, State, ZIP+4® CROSS RIVER NY 10518		

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7022 1670 0001 7819 5165

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CORTLANDT MANOR, NY 10567

Certified Mail Fee \$4.00		 0822 27 Postmark Here 08/31/2022
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.60	
Total Postage and Fees	\$7.85	
Sent To MATTHEW HEID		
Street and Apt. No., or PO Box No. 144 DOGWOOD RD.		
City, State, ZIP+4® CORTLANDT MANOR NY 10567		

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 1670 0001 7819 5158

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Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.60	
Total Postage and Fees	\$7.85	
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ATC Tower  
#9-21 PB





Lewisboro  
TOWN PARK  
RESIDENTS ONLY  
DEPARTMENT OF PARKS AND RECREATION  
1079

NOTICE  
The Planning Board is holding a public hearing on the Lewisboro Planning Board's  
Public Hearing for Lewisboro Planning Board  
and be referred to the Planning Board for its review.  
Please contact the Planning Board Secretary at  
914-261-1000  
for additional information.

Register Today!  
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• Adult League  
• Year-Round Schedule of  
Leagues, Clinics & Camps  
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St. John's Episcopal Church  
Food Pantry Ministry  
Every Saturday 9am-11am  
12 Spring Street, South Norwalk, CT  
203-761-1000 for more information  
A food pantry box  
is available in the  
church's parking lot  
Donations: food  
(perishable & non-perishable)



**TOWN OF LEWISBORO**  
**Westchester County, New York**



**Building Department**  
**79 Bouton Road**  
**South Salem, New York 10590**

**Tel: (914) 763-3060**  
**Fax: (914) 875-9148**  
**Email: jfarrell@lewisborogov.com**

August 24, 2022

Ms. Janet Andersen, Chair  
Town of Lewisboro Planning Board

Re: Cal#02-22PB  
Hollander/ Audemard residences, sheet 032A, block 10590, lots 19 and 91

Dear Ms. Andersen and Members of the Board,

I have reviewed the site plan from Caccio Engineering, PLLC, dated 6/1/22, as well as the memo from Jan K. Johannessen, AICPI and Joseph M. Cermele, P.E. dated 8/11/2022. I agree with the comments from our Town Consulting Professionals and will not repeat them here.

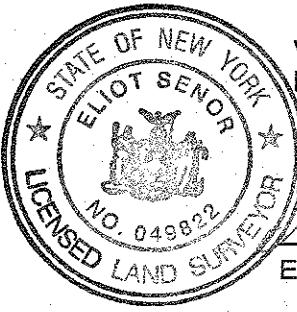
1. The lot realignment and new driveway configuration does not appear to create any zoning non-conformities.
2. These properties have multiple open and expired permits.

Please do not hesitate to contact me with any questions.

Sincerely,

Jeff Farrell  
Building Inspector

151 & 153 POST OFFICE ROAD - ZONING CHART					
LOT IDENTIFICATION		151 POST OFFICE RD	151 POST OFFICE RD	153 POST OFFICE RD	153 POST OFFICE RD
R-2A ZONE	Required/Allowable	Existing Lot	Proposed LOT	Existing Lot	Proposed LOT
Lot Area (Sq. Ft.)	87,120	89,951.5	89,951.5	252,942.9	252,942.9
Width/Circle (Ft.)	200	328	328	300	300
Front Yard Setback (Ft.) "Center Street"	75	80.9	80.9	127 (FLAG LOT)	127 (FLAG LOT)
Front Yard Setback (Ft.) "Lot Line"	50	56.9	56.9	127.0	127.0
Side Yard (Ft.)	40	111.1	111.1	65.9	65.9
Rear Yard (Ft.)	50	130.0	130.0	608.4	608.4
Building Height Stories	2.5	2.5	2.5	2.5	2.5
Building Height Feet	35	32.0	32.0	34.0	34.0
Maximum Building Coverage (%)	9%	6.6%	6.6%	1.4%	1.4%



I, ELIOT SENOR, THE SURVEYOR WHO MADE THIS MAP DO HEREBY CERTIFY THAT THE SURVEY OF THE PROPERTY SHOWN HEREON WAS COMPLETED APRIL 2, 2021 AND THAT THIS MAP WAS COMPLETED NOVEMBER 05, 2021

ELIOT SENOR, L.S. LICENSE # 049822 \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED FOR FILING IN THE WESTCHESTER COUNTY CLERK'S OFFICE DIVISION OF LAND RECORDS.

\_\_\_\_\_  
SETH H. HOLLANDER  
153 POST OFFICE ROAD  
SOUTH SALEM, NEW YORK 10590

\_\_\_\_\_  
OLIVIER AUDEMARD  
151 POST OFFICE ROAD  
SOUTH SALEM, NEW YORK 10590

ALL EXISTING LOTS ARE SERVED BY EXISTING UTILITIES WHICH WILL NOT BE ALTERED

APPROVED PURSUANT TO CHAPTER 873, OF THE WESTCHESTER COUNTY SANITARY CODE SUBJECT TO WESTCHESTER COUNTY DEPARTMENT OF HEALTH APPROVAL OF PROPOSED SEPTIC.

EACH PURCHASER OF PROPERTY SHOWN HEREON SHALL BE FURNISHED A TRUE COPY OF THIS PLAT SHOWING THIS ENDORSEMENT. ANY ERASURES, CHANGES, ADDITIONS OR ALTERATIONS OF ANY KIND, EXCEPT THE ADDITION OF SIGNATURES OF OTHER APPROVING AUTHORITY AND THE DATE THEREOF MADE ON THIS PLAN AFTER THIS APPROVAL, SHALL INVALIDATE THIS APPROVAL.

\_\_\_\_\_  
APPROVED BY THE ASSISTANT COMMISSIONER  
OF HEALTH ON BEHALF OF THE DEPARTMENT OF HEALTH  
APPROVED UNDER AUTHORITY OF A RESOLUTION ADOPTED  
BY THE PLANNING BOARD OF THE TOWN OF LEWISBORO, N.Y.

TOWN OF LEWISBORO PLANNING BOARD APPLICATION # \_\_\_\_\_  
APPROVAL: \_\_\_\_\_

\_\_\_\_\_  
CLERK TO PLANNING BOARD

ALL CONDITIONS OF APPROVAL AS NOTED IN FORMAL LETTERS OF APPROVAL OR FINDINGS ARE A PART OF THE APPROVED SITE PLAN, SUBDIVISION OR VARIANCE PLATS, DRAWINGS OR PLANS, AND ARE HEREBY REFERENCED FOR ADDITIONAL APPROVAL DETAILS.

# 151 & 153 POST OFFICE ROAD LOT LINE ADJUSTMENT LOT No.1 & No. 2

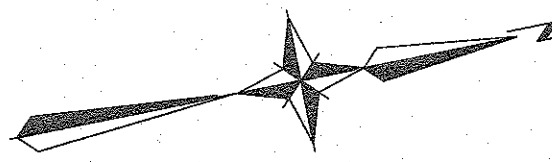
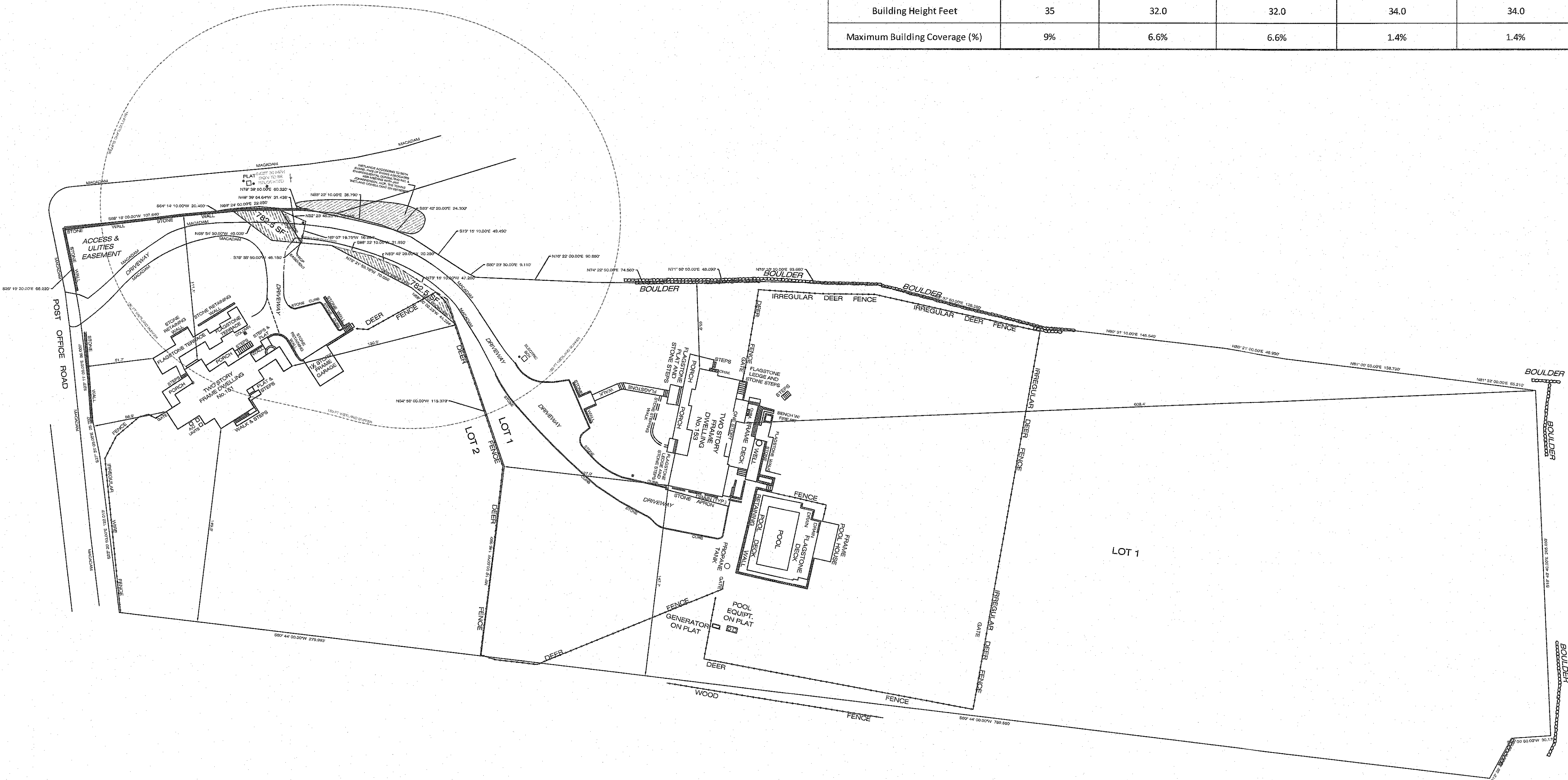
AS SHOWN ON MAP TITLED  
FINAL SUBDIVISION PLAT  
KNOWN AS  
OAK PASTURE  
SITUATE IN THE  
TOWN OF LEWISBORO  
WESTCHESTER COUNTY, NEW YORK  
WESTCHESTER COUNTY INDEX SYSTEM  
SHEET 271, BLOCK 10804

TOWN OF LEWISBORO TAX MAP DESIGNATION  
153 POST OFFICE ROAD  
SECTION 43.1 BLOCK 2 LOT 33  
151 POST OFFICE ROAD  
SECTION 43.1 BLOCK 2 LOT 28

SCALE: 1" = 50' DATE: JANUARY 01, 2022

ALL TAXES DUE TO DATE HAVE BEEN PAID. ALL TAXES DUE TO DATE HAVE BEEN PAID.

\_\_\_\_\_  
RECEIVER OF TAXES  
TOWN OF LEWISBORO  
TAX ASSESSMENT MAP DESIGNATION :  
151 POST OFFICE ROAD  
SECTION 43.1 BLOCK 2 LOT 28  
\_\_\_\_\_  
RECEIVER OF TAXES  
TOWN OF LEWISBORO  
TAX ASSESSMENT MAP DESIGNATION :  
153 POST OFFICE ROAD  
SECTION 43.1 BLOCK 2 LOT 33



**TOWN OF LEWISBORO**  
**NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on September 20, 2022 at 7:30 p.m., or soon thereafter, either in person at 79 Bouton Road, South Salem or (if permitted by law) using the videoconferencing app Zoom, regarding the following:

**Cal #02-22PB, Cal #03-22WP and Cal #02-22SW**

Application for lot line and driveway changes for the Hollander and Audemard residences: 153 Post Office Road, South Salem, NY 10590, Sheet 32A, Block 10804, Lot 19 (±5.80 acres - Cassie & Seth Hollander, owners of record) and 151 Post Office Road Sheet 32A, Block 10804, Lot 91 (±2.060 acres - Olivier & Rebecca Audemard, owners of record). The subject properties are located within a Residential Two-Acre (R-2A) Zoning District and the proposed lot line change will result in an equal transfer of land between these parcels.

Due to public health and safety concerns related to the COVID-19 virus, the Planning Board is preparing to conduct the meeting either in person at 79 Bouton Road, South Salem or virtually over Zoom. If the meeting is held via Zoom, the public may view or participate through the Zoom app

at <https://us06web.zoom.us/j/87284224453?pwd=Z2hNcVBjY1ArN280YUVLNkFtVEU5QT09>

by clicking “Join a Meeting,” and entering Meeting ID: 872 8422 4453 Passcode: 194252. You may call in to the Zoom meeting at 1-929-205-6099 when prompted, enter Meeting ID: 872 8422 4453 Passcode: 194252. Please consult the Town of Lewisboro website <https://www.lewisborogov.com/planningboard> or call 914-763-5592 to confirm whether the meeting will be conducted in person or by videoconferencing.

The public will have the opportunity to review digital copies of materials and proposed site documents at <https://www.lewisborogov.com/planningboard> and a transcript will be available at a later date.

Interested members of the public are encouraged to provide written comments prior to and during the virtual public hearing by emailing Ciorsdan Conran, Planning Board Administrator, at [planning@lewisborogov.com](mailto:planning@lewisborogov.com) Please check the meeting agenda posted on the Board’s web page for additional instructions and updates.

A copy of materials and proposed site documents may be inspected at the office of the Planning Board Administrator, 79 Bouton Road, South Salem, New York during regular Planning Board hours. Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to attend the Public Hearing and all will be provided an opportunity to be heard.

**PLANNING BOARD**  
**TOWN OF LEWISBORO**  
By: Janet Andersen  
Chair

**Dated: August 22, 2022**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Administrator to the Planning Board in advance.



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**BLUM, JOSHUA A. &  
MICHELLE G.**  
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**WINTER, CHRISTIAN &  
CATHLEEN**  
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**MAYHEW, MICHAEL D. &  
KAREN A.**  
4 AUTUMN RIDGE RD  
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HARTY, KRISTEN**  
14 STEWART RD  
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JUNE ARIAS**  
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**KENNY, BERNARD &  
ADRIENNE**  
5 BROOK MANOR DR  
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**PRESTAMO, FELIPE S. &  
SHEILA M.**  
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LIMIT  
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NOTICE

THE TOWN OF AVONDALE IS CURRENTLY CONSIDERING  
A NEW PAVING PROJECT FOR THE  
AVONDALE ROAD AND AVONDALE AVENUE  
PROJECT. THE PROJECT WILL BE COMPLETED  
IN THE FALL OF 2011.

PLEASE CONTACT THE PLANNING BOARD SECRETARY AT  
401-222-2222 FOR MORE INFORMATION.

HOLLANDER/AVDEMARD  
# 2-22PB, 3-22WP, 2-22SW



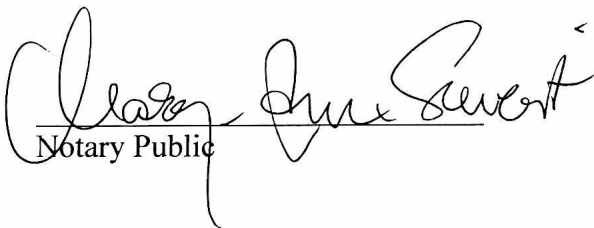
IN THE MATTER OF AN APPLICATION FOR LOT LINE AND DRIVEWAY CHANGES FOR THE  
HOLLANDER AND AUDEMARD RESIDENCES: 153 POST OFFICE ROAD, SOUTH SALEM, NY 10590,  
SHEET 32A, BLOCK 10804, LOT 19 (±5.80 ACRES - CASSIE & SETH HOLLANDER, OWNERS OF  
RECORD) AND 151 POST OFFICE ROAD SHEET 32A, BLOCK 10804, LOT 91 (±2.060 ACRES - OLIVIER  
& REBECCA AUDEMARD, OWNERS OF RECORD).

STATE OF NEW YORK

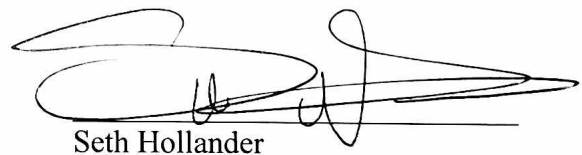
COUNTY OF WESTCHESTER

Seth Hollander, being duly sworn says on August 31, 2022, I notified the neighbors as defined  
to me by the Town of Lewisboro, via certified U.S. Mail, noticing the September 20, 2022 Planning Board  
Public Hearing.

Sworn to before me this 12<sup>th</sup> day of SEPTEMBER, 2022



Notary Public



Seth Hollander

**Mary-Ann Sievert**  
Notary Public, State of New York  
**No. 01SI6045090**  
Qualified in Putnam County  
Certified in Westchester County  
Commission Expires July 24, 2026

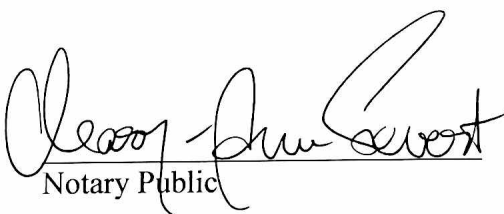
IN THE MATTER OF AN APPLICATION FOR LOT LINE AND DRIVEWAY CHANGES FOR THE  
HOLLANDER AND AUDEMARD RESIDENCES: 153 POST OFFICE ROAD, SOUTH SALEM, NY 10590,  
SHEET 32A, BLOCK 10804, LOT 19 (±5.80 ACRES - CASSIE & SETH HOLLANDER, OWNERS OF  
RECORD) AND 151 POST OFFICE ROAD SHEET 32A, BLOCK 10804, LOT 91 (±2.060 ACRES - OLIVIER  
& REBECCA AUDEMARD, OWNERS OF RECORD).

STATE OF NEW YORK

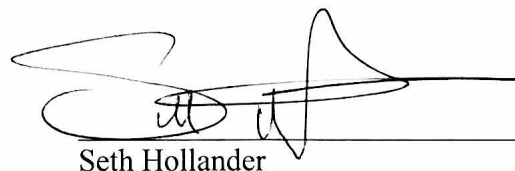
COUNTY OF WESTCHESTER

Seth Hollander, being duly sworn says on September 9, 2022, I posted a sign (provided to me by  
the Town of Lewisboro Planning Board) at the site of the proposed modifications noticing the September 20,  
2022 Planning Board Public Hearing.

Sworn to before me this 12<sup>th</sup> day of SEPTEMBER 2022



Notary Public



Seth Hollander

**Mary-Ann Sievert**  
Notary Public, State of New York  
**No. 01SI6045090**  
Qualified in Putnam County  
Certified in Westchester County  
Commission Expires July 24, 2026



SPEED  
LIMIT  
25

**NOTICE**

This property is the subject of an application before the  
Lawrence Planning Board.  
A Public Hearing has been scheduled at which time all interested parties  
will be afforded an opportunity to be heard.

Please contact the Planning Board Administrator at  
914-763-5592  
or visit  
[www.lawrenceplanningboard.com](http://www.lawrenceplanningboard.com)  
for additional information



## Ciorsdan Conran

---

**From:** Mike Devito <mikedevito@southsalemfire.com>  
**Sent:** Friday, September 2, 2022 4:10 PM  
**To:** Ciorsdan Conran  
**Cc:** chief@southsalemfire.com  
**Subject:** Re: Waccabuc CC - Beach Club - submission to Building Inspector and SSFD  
**Attachments:** Waccabuc Country Club Beach Club BI memo 040122.pdf

Joes notes cover the concern's that were discussed at out site walk trough.

Thank you

Mike DeVito.  
Chief,  
South Salem Fire Department

Cell (914) 467-0078  
Office [914-763-3706](tel:914-763-3706)

On Aug 29, 2022, at 10:10 AM, Ciorsdan Conran <Planning@lewisborogov.onmicrosoft.com> wrote:

Good morning Mike –

I am following up on the Planning Board's request for review of the improvements at the Waccabuc Country Club's Beach Club. I have attached a copy of the Building Inspector's April 2022 memo and ask that you review it and please let me know if the fire department's concerns are all covered in that memo.

Thank you,

Ciorsdan

Ciorsdan Conran  
Town of Lewisboro  
ACARC/Comprehensive Plan Steering Committee/Planning Board Administrator  
email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)  
tel # 914-763-5592, fax # 914-875-9148  
mailing and physical address: 79 Bouton Road, South Salem, NY 10590  
typical hours: 9:00 a.m. - 4:30 p.m. (call to confirm)





August 1, 2022

Town of Lewisboro Building Department  
Attn: Jeffrey Farrell, Building Inspector  
79 Bouton Road  
South Salem, NY 10590

RE: Beach Club Improvements Project  
Waccabuc Country Club  
Perch Bay Road  
Waccabuc, NY  
TM# Block 11155, Lot 148, Sheet 25 and Block 10813, Lot 01, Sheet 25A

Dear Mr. Farrell:

Please find included (via email) the following plans and documents enclosed here in support of an application for site plan development plan, wetland permit and stormwater permit approvals for the above referenced project:

- Nine (9) sheet Site Plan set, last revised July 28, 2022.
- Figure FAP-1 Fire Access Plan, dated May 31, 2022.
- Figure PS-1 Parking Study, last revised May 31, 2022.
- Statement of Use and Operations for Waccabuc Country Club – Lake Facility, date March, 29, 2022.
- Two (2) sheet Architectural Drawing Set, prepared by Doyle Coffin Architecture LLC, dated February 8, 2022.

Our office previously responded to the Building Department's April 1, 2022 memorandum as part of the May 31, 2022 submission package to the Town. Figure FAP-1, which was previously included as part of the May 31<sup>st</sup> submission, provides parking calculations based on our May 10, 2022 conversation with the Building Inspector, Joe Angiello. Mr. Angiello noted that the parking requirements should be calculated based on the golf and country club use. When we spoke with the Building Inspector at that time, he was waiting to hear back from the Fire Department. To date, we have not received further comments from the Building Department or feedback from the Fire Department. This correspondence, the included attachments and the following responses are being sent as a follow up to and to provide updated responses and information to your Department.

**Memorandum from Lewisboro Building Department, dated April 1, 2022:**

1. No response required.
2. It is acknowledged that a flood plain permit will be required, the FEMA floodplain line has been added to the revised plans. The application for a floodplain permit will be submitted under separate cover.
3. It is acknowledged that the club is a non-conforming use in the zone and requires approval from the Zoning Board of Appeals.
4. It is acknowledged that the accessory building is proposed to have a floor area greater than the maximum permitted and will require a variance from the Zoning Board of Appeals.
5. It is acknowledged that the rear yard setback for the concession building is proposed to be less than the 50' required and will require a variance from the Zoning Board of Appeals.

August 1, 2022

6. It is acknowledged that the rear yard setback for the covered pavilion is proposed to be less than the 50' required and will require a variance from the Zoning Board of Appeals.
7. A Fire Access Plan (Figure FAP-1) has been provided as part of this submission to demonstrate that a firetruck can get to within 150' of the existing / proposed buildings. As illustrated on Figure FAP-1, adequate room is available at the site for passing spaces along the existing driveway and the proposed upgrades to the driveway provide a code conforming firetruck turnaround at the existing parking area closest to the buildings. In addition, the applicant intends to provide a dry sprinkler system for each of the buildings. We will address further comments from the building department and / or the fire department once received.
8. The architect is providing a dry sprinkler system in the new buildings.
9. The new access drive to the accessible parking area is not intended for fire access.
10. The applicant will work with the Fire Code Official relative to the security gate.
11. The occupant load and parking calculations are provided herewith.
12. No response required; it is acknowledged ADA accessibility will be reviewed as part of building code review. We will address further comments from the Building Inspector as received.

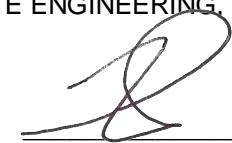
Our office would be available to meet with the Building Inspector and/or the Fire Department either at the site or at an upcoming Fire District meeting.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:



Zachary M. Pearson, PE, Sr. Associate  
Senior Project Engineer

ZMP/dlm/amk

Enclosures

cc: Mr. Peter Hall, via email  
Mr. John Assumma, via email  
Mr. John M. Doyle, AIA, Doyle Coffin Architecture LLC, via email  
Town of Lewisboro Planning Board, via email

Insite File No. 20228.100





## MEMORANDUM

**TO:** Town of Lewisboro Building Inspector  
South Salem Fire Chief  
Waccabuc Beach Club

**JOB NAME:** Waccabuc Beach Club Project  
Perch Bay Road

**FROM:** Dawn Lewis McKenzie RLA

**JOB #:** 20228.100

**DATE:** September 14, 2022

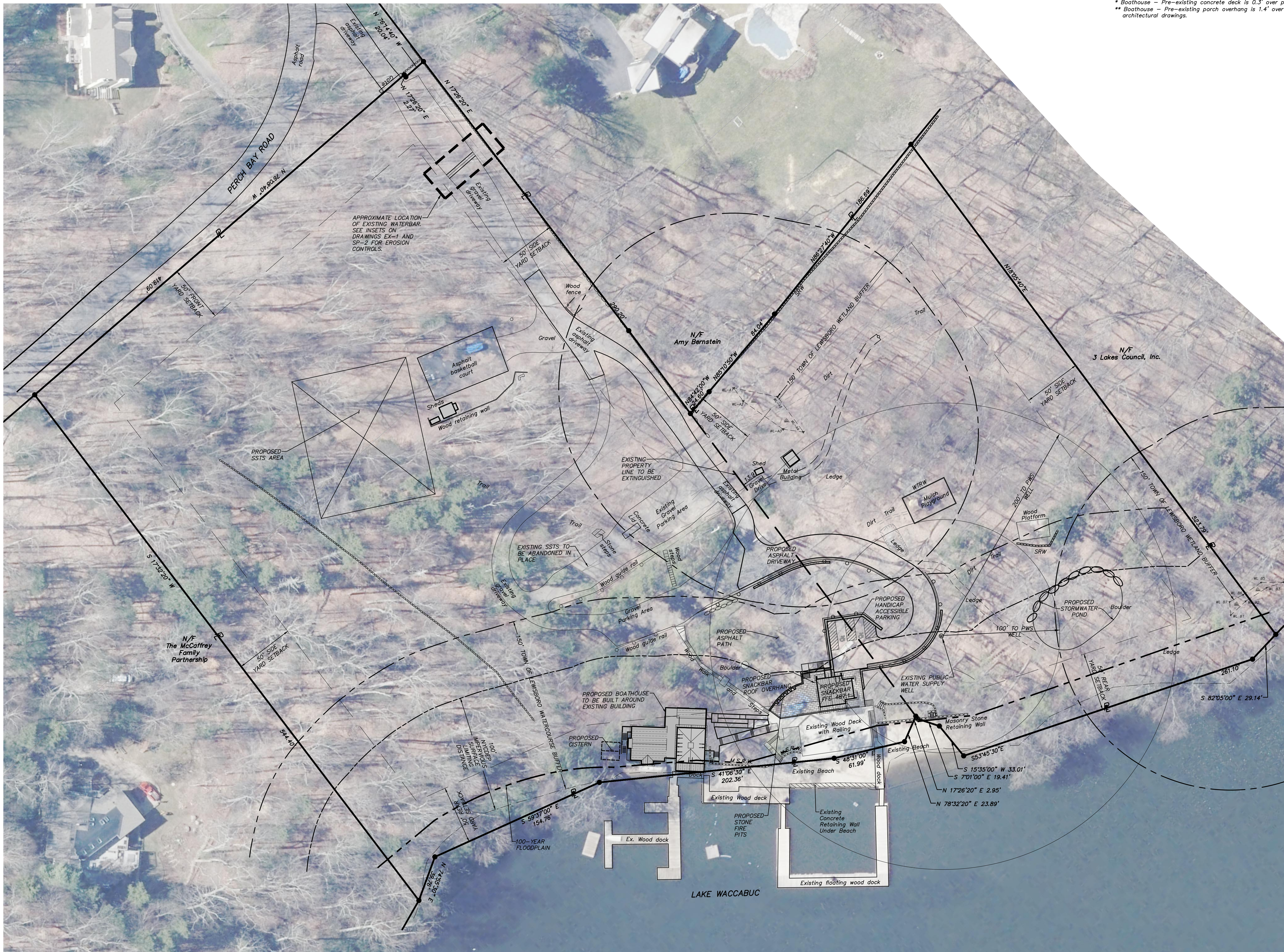
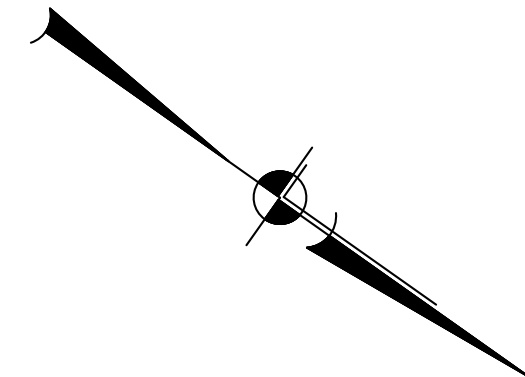
**RE:** 9/13/22 meeting at site with South  
Salem Fire Department

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**Notes based on meeting at Waccabuc Beach Club with South Salem Fire Department Chief Mike Devito and Assistant Chief Matt Yorke. In attendance from the project team: Dawn McKenzie - Insite Engineering, John Doyle - Doyle Coffin Architects, Bill Urban - Southport Engineering.**

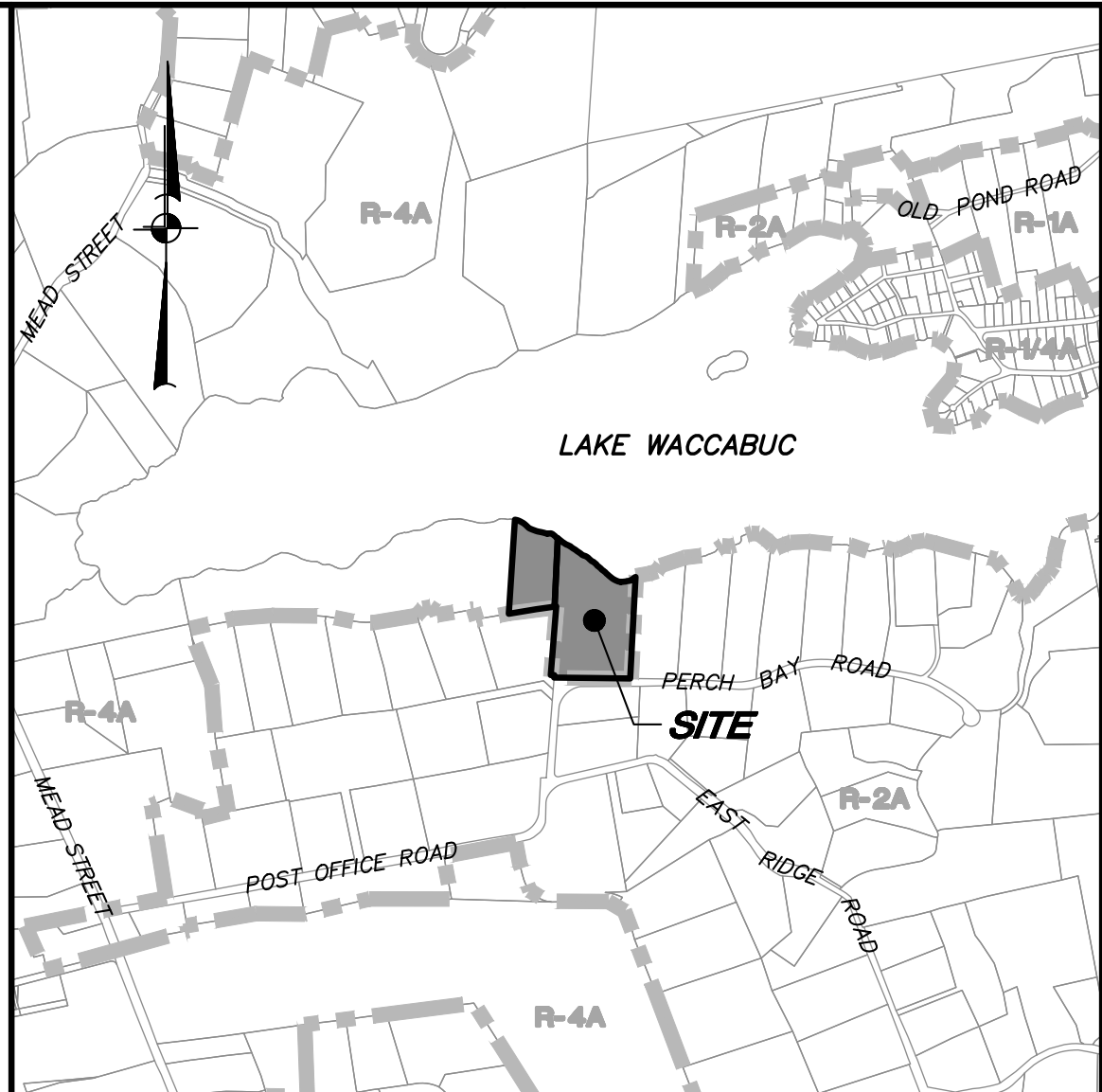
1. A knox box or a knox padlock will be provided at the entry gate for fire department access to the site, in a location to be determined during construction to the satisfaction of the fire department. This will be noted on the site plans for the current project.
2. A knox box will be provided near the buildings for fire department access to the buildings, in a location to be determined during construction to the satisfaction of the fire department. This will be noted on the site plans for the current project.
3. The boathouse and the snackbar will be provided with sprinklers. This will be noted on the site plans for the current project.
4. A water supply will be provided at the site for use by the Fire Department for fire protection at the site. Underground storage tanks are to be provided with a connection for Fire Department. The location for the water supply and the connection, as discussed in the field, would be adjacent to the lower existing gravel parking lot.
5. A sketch will be prepared by the applicant's consultant – see attached.





R4-A ZONE REQUIREMENTS			
	REQUIRED / PERMITTEE	COMBINED LOTS	
		EXISTING	PROPOSED
Minimum Lot Size:	4 AC	9.1 AC	9.1 AC
Minimum Front Yard:			
From street center line	75'	600'	573'
From front lot line	50'	576'	550'
Minimum Side Yard:	50'	29'	218'
Minimum Rear Yard:	50'	0' **	No change
Maximum Building Height:	2.5 stories / 35'	2.5 stories / 35'	2.5 stories / 35'
Maximum Building Coverage:	6%	0.5%	1.1%

\* Bathhouse - Pre-existing concrete deck is 0.3' over property line per survey.  
\*\* Bathhouse - Pre-existing porch overhang is 1.4' over property line per architectural drawings.



LOCATION MAP SCALE: 1" = 1,000'±

**OWNER/APPLICANT:**  
WACCABUC COUNTRY CLUB  
90 MEAD STREET  
WACCABUC, NY 10597

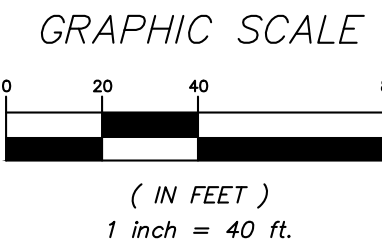
**SITE DATA:**  
Zone: R-4A (4 Acre Residential)  
Total Acreage: 9.1 AC±  
Tax Map No.: 1. Sheet 25A-Block 10813-Lot 01  
2. Sheet 25-Block 148-Lot 25

- GENERAL NOTES:**
- Property lines, existing conditions and topography as shown hereon based off of survey mapping prepared by Bunney Associates Land Surveyors completed 2007 and 4-4-2012, and by Insite Engineering, Surveying & Landscape Architecture P.C., completed 7-28-2018, 6-7-2021 and 5-17-2022.
  - Topography shown hereon (outside property lines) taken from both the Westchester County 2" contour, 1" = 100 scale GIS dataset dated April 2004 (elevations reference the North American Vertical Datum of 1988, NAVD 88).
  - Wetlands A shown hereon delineated by James Bates of Ecological Analysis on April 21, 2021, and survey located by Insite Engineering, Surveying & Landscape Architecture, P.C. on June 7, 2021. Wetlands B shown hereon delineated by James Bates of Ecological Analysis on May 11, 2021, and survey located by Insite Engineering, Surveying & Landscape Architecture, P.C. on May 13, 2022.
  - 
  - Based on a watercourse walk conducted with Miriyam Zachariah of NYCDEP on April 26, 2021, there are no NYCDEP watercourses on the project site.
  - It is the applicants intent to merge the 2 parcels into one lot as part of this project.
  - Disturbance limits shall be staked in the field prior to construction.
  - All walls equal to or greater than four (4) feet in height shall be designed by a NYS Licensed Professional Engineer.
  - Construction of all walls equal to or greater than four (4) feet in height shall be certified by the Design Professional prior to the issuance of a Certificate of Occupancy/Completion.

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING BUILDING
	EXISTING BUILDING TO BE REMOVED
	EXISTING STONE WALL
	EXISTING MASONRY STONE WALL
	EXISTING WOODEN RETAINING WALL
	EXISTING DIRT TRAIL
	EXISTING GUIDE RAIL
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND FLAG
	EXISTING ROCK LEDGE
	PROPOSED 150' WATERCOURSE BUFFER
	PROPOSED 100' IMPERVIOUS LIMITING DISTANCE

4	7-26-22	REVISED PER TOWN COMMENTS	SMR
3	6-28-22	REVISED PER TOWN COMMENTS	SMR
2	5-31-22	REVISED PER TOWN COMMENTS	SMR
1	3-29-22	REVISED PER TOWN COMMENTS	SMR
NO.	DATE	REVISION	BY
PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS			
90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY			
DRAWING: OVERALL PLAN			
PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.
DATE	2-8-22	DRAWN BY	E.R.A.
SCALE	1" = 40'	CHECKED BY	D.L.M.
DRAWING NO.	OP-1		
SHEET	1		

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 1209 OF ARTICLE 145 OF THE EDUCATION LAW.



TOWN ENGINEER'S CERTIFICATION	
Reviewed for compliance with the Planning Board Resolution dated _____	
Joseph Cermela, P.E. Kellard Sessions Consulting Town Consulting Engineer	
Date _____	
PLANNING BOARD APPROVAL	
Approved by the Resolution of the Lewisboro Planning Board.	
Chair _____	Date _____
Administrator _____	Date _____
OWNER'S / APPLICANT'S CERTIFICATIONS	
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.	
Waccabuc Country Club 90 Mead Street Waccabuc, NY 10597	
Date _____	

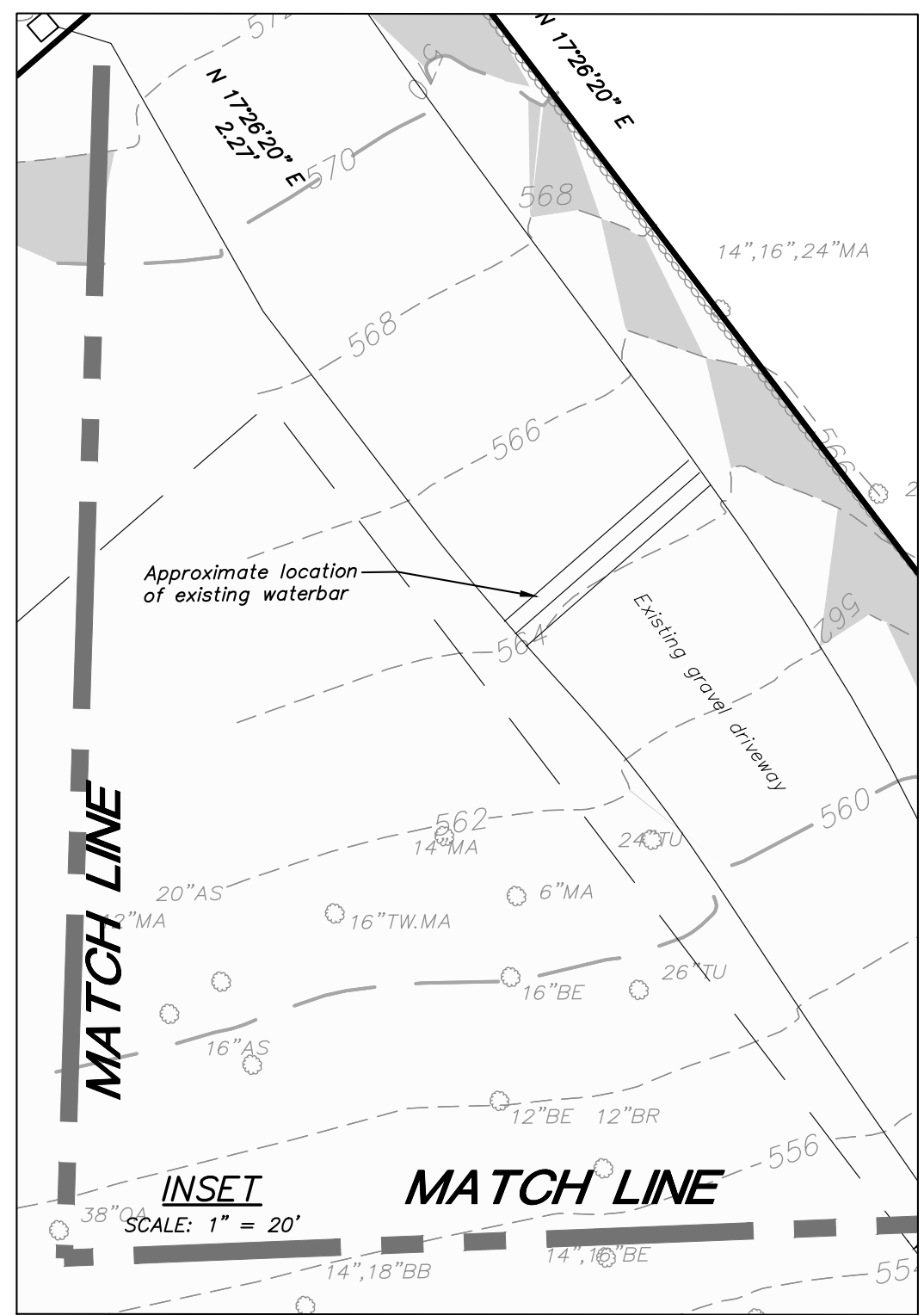
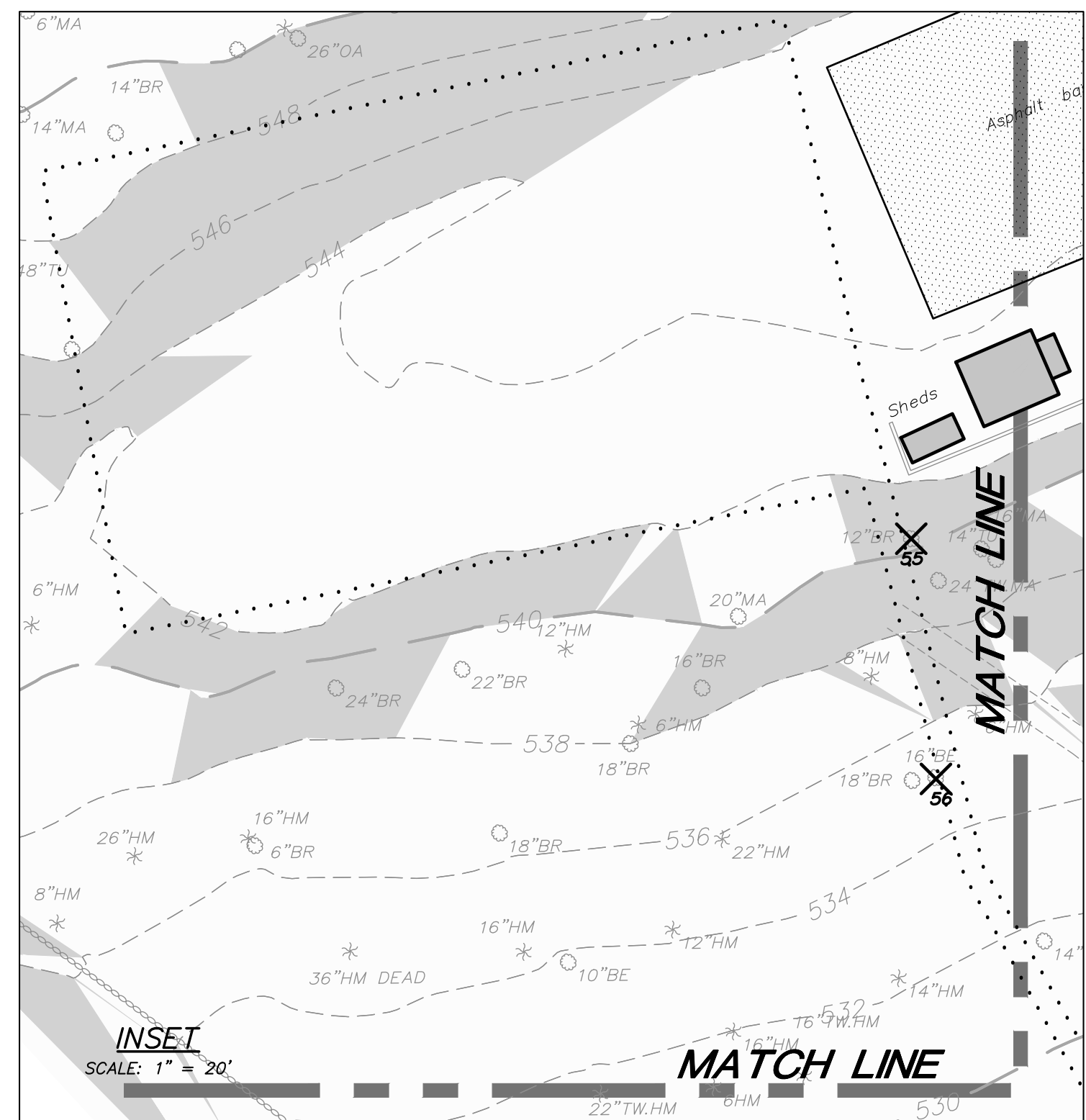




SLOPES TABLE				
Number	Minimum Slope	Maximum Slope	Color	Area (sf)
1	0%	15%		209,000
2	15%	100%		187,400

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING BUILDING
	EXISTING BUILDING TO BE REMOVED
	EXISTING STONE WALL
	EXISTING MASONRY STONE WALL
	EXISTING WOODEN RETAINING WALL
	EXISTING DIRT TRAIL
	EXISTING GUIDE RAIL
	EXISTING ASPHALT
	EXISTING CURB
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING DRAIN INLET
	EXISTING WELL
	EXISTING SSIS
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	EXISTING INDIVIDUAL TREE
	EXISTING DECIDUOUS TREE
	EXISTING EVERGREEN TREE
	EXISTING TREE TO BE REMOVED
	EXISTING ROCK LEDGE
	EXISTING POST MOUNTED LIGHT
	PROPOSED LIMITS OF DISTURBANCE

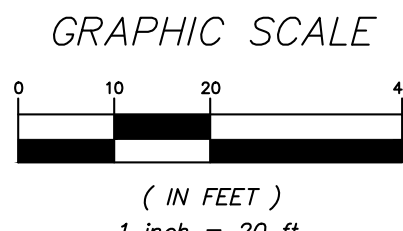
TREE LEGEND	
	DECIDUOUS TREE
	EVERGREEN TREE
	ASH
	BLACK BIRCH
	BEECH
	BIRCH
	HICKORY
	HEMLOCK
	MAPLE
	OAK
	UNKNOWN SPECIES
	TULIP



LAKE WACCABUC

TREE REMOVAL CHART

TREE NUMBER	TREE SPECIES	CONDITION	TREE NUMBER	TREE SPECIES	CONDITION	TREE NUMBER	TREE SPECIES	CONDITION
3	6" BIRCH	GOOD	29	15" & 6" MAPLE	GOOD	44	8" BIRCH	GOOD
4	12" HEMLOCK	FAIR	30	8" MAPLE	GOOD	45	10" MAPLE	GOOD
5	22" BIRCH	GOOD	31	12" MAPLE	GOOD	46	10" MAPLE	GOOD
6	28" HEMLOCK	FAIR	32	20" TULIP	GOOD	47	10" MAPLE	GOOD
7	6" BIRCH	FAIR	33	18" TULIP	FAIR	48	8" MAPLE	GOOD
8	28" HEMLOCK	FAIR	34	8" BIRCH	GOOD	49	8" MAPLE	GOOD
9	14" BIRCH	GOOD	35	18" TULIP	POOR	50	10" BLACK BIRCH	GOOD
18	24" HEMLOCK	FAIR	36	10" & 16" MAPLE	POOR	51	8" BIRCH	GOOD
19	10" BIRCH	GOOD	37	12" MAPLE	POOR	52	10" MAPLE	FAIR
20	20" TULIP	GOOD	38	24" TULIP	FAIR	53	20" TULIP	POOR
21	30" ELM	GOOD	39	22" TULIP	FAIR	54	20" TULIP	POOR
26	8" MAPLE	GOOD	40	8" BIRCH	POOR	55	12" BIRCH	FAIR
28	36" ASH	GOOD	43	10" BIRCH	GOOD	56	16" BEECH	POOR
						57	10" MAPLE	POOR
						Trees to be Removed: 40 (611" Cal.)		



**TOWN ENGINEER'S CERTIFICATION**

Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_

Joseph Cernela, P.E.  
Kellard Sessions Consulting  
Town Consulting Engineer

Date \_\_\_\_\_

**PLANNING BOARD APPROVAL**

Approved by the Resolution of the Lewisboro Planning Board.

Chair \_\_\_\_\_ Date \_\_\_\_\_

Administrator \_\_\_\_\_ Date \_\_\_\_\_

**OWNER'S / APPLICANT'S CERTIFICATIONS**

The undersigned is the owner(s) of the property shown herein, is familiar with this drawing and its contents, and hereby approves the same for filing.

Waccabuc Country Club  
90 Mead Street  
Waccabuc, NY 10597

Date \_\_\_\_\_

4	7-26-22	REVISED PER TOWN COMMENTS	SMR
3	6-28-22	REVISED PER TOWN COMMENTS	SMR
2	5-31-22	REVISED PER TOWN COMMENTS	SMR
1	3-29-22	REVISED PER TOWN COMMENTS	SMR
NO.	DATE	REVISION	BY

**INSITE**  
ENGINEERING, SURVEYING &  
LANDSCAPE ARCHITECTURE, P.C.

PROJECT:  
**WACCABUC COUNTRY CLUB  
BEACH CLUB IMPROVEMENTS**

80 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CNTY, NY

DRAWING:  
**EXISTING CONDITIONS &  
REMOVALS PLAN**

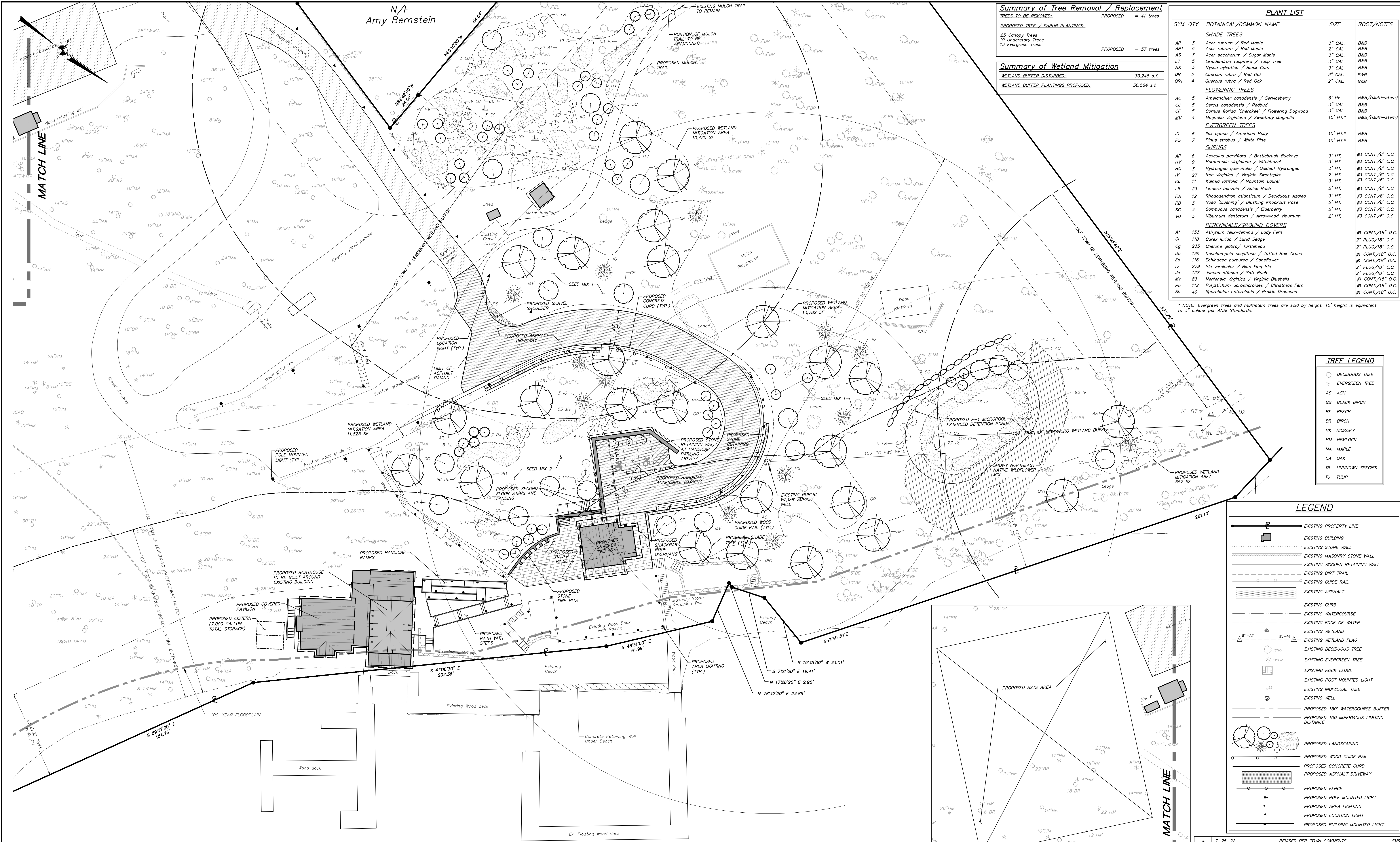
PROJECT NUMBER 20228.100 PROJECT MANAGER Z.M.P. DRAWING NO. EX-1  
DATE 2-8-22 DRAWN BY E.R.A. SHEET 2  
SCALE 1" = 20' CHECKED BY D.L.M. 9

3 Garrett Place  
Carmel, NY 10512  
(845) 225-9690  
(845) 225-9717 fax  
www.insite-eng.com

STATE OF NEW YORK  
REGISTERED PROFESSIONAL ENGINEER  
No. 25647

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 1209 OF ARTICLE 145 OF THE EDUCATION LAW.





Summary of Tree Removal / Replacement		
TREES TO BE REMOVED:		
PROPOSED TREE / SHRUB PLANTINGS:		
25 Canopy Trees		
19 Understory Trees		
13 Evergreen Trees		
		PROPOSED = 57 trees

Summary of Wetland Mitigation		
WETLAND BUFFER DISTURBED:		
WETLAND BUFFER PLANTINGS PROPOSED:		33,248 s.f.
		36,584 s.f.

PLANT LIST				
SYM	QTY	BOTANICAL/Common Name	SIZE	ROOT/NOTES
SHADE TREES				
AR	3	Acer rubrum / Red Maple	3" CAL	B&B
ARI	5	Acer rubrum / Red Maple	2" CAL	B&B
AS	3	Acer saccharum / Sugar Maple	3" CAL	B&B
LT	5	Liriodendron tulipifera / Tulip Tree	3" CAL	B&B
NS	3	Nyssa sylvatica / Black Gum	3" CAL	B&B
OR	2	Quercus rubra / Red Oak	3" CAL	B&B
ORI	4	Quercus rubra / Red Oak	2" CAL	B&B
FLOWERING TREES				
AC	5	Amelanchier canadensis / Serviceberry	6" HL	B&B/(Multi-stem)
CC	5	Cercis canadensis / Redbud	3" CAL	B&B
CF	5	Cornus florida / Cherokee / Flowering Dogwood	3" CAL	B&B
MV	4	Magnolia virginiana / Sweetbay Magnolia	10' HT.*	B&B/(Multi-stem)
EVERGREEN TREES				
IO	6	Ilex opaca / American Holly	10' HT.*	B&B
PS	7	Pinus strobus / White Pine	10' HT.*	B&B
SHRUBS				
AP	6	Aesculus parviflora / Bottlebrush Buckeye	3" HT.	#3 CONT./6' O.C.
HD	9	Hamamelis virginiana / Witchhazel	3" HT.	#3 CONT./6' O.C.
HQ	3	Hydrangea quercifolia / Oakleaf Hydrangea	3" HT.	#3 CONT./6' O.C.
IV	2	Itea virginica / Virginia Sweetspire	2' HT.	#3 CONT./6' O.C.
KL	11	Kalmia latifolia / Mountain Laurel	3" HT.	#3 CONT./6' O.C.
LB	23	Lindera benzoin / Spice Bush	2' HT.	#3 CONT./6' O.C.
RA	12	Rhododendron atlanticum / Deciduous Azalea	3" HT.	#3 CONT./6' O.C.
RB	3	Rosa 'Blushing' / Blushing Knockout Rose	2' HT.	#3 CONT./6' O.C.
SC	3	Sambucus canadensis / Elderberry	2' HT.	#3 CONT./6' O.C.
VD	3	Viburnum dentatum / Arrowwood Viburnum	2' HT.	#3 CONT./6' O.C.
PERENNIALS/GROUND COVERS				
AF	153	Athyrium filix-femina / Lady Fern		#1 CONT./18" O.C.
CI	118	Carex lurida / Lurid Sedge		2" PLUG/18" O.C.
Cg	235	Chelone glabra / Turtlehead		2" PLUG/18" O.C.
De	135	Deschampsia cespitosa / Tufted Hair Grass		2" PLUG/18" O.C.
Ep	116	Echinacea purpurea / Coneflower		#1 CONT./18" O.C.
Iv	279	Iris versicolor / Blue Flag Iris		2" PLUG/18" O.C.
Je	127	Juncus effusus / Soft Rush		2" PLUG/18" O.C.
Mv	83	Mertensia virginica / Virginia Bluebells		#1 CONT./18" O.C.
Pa	112	Polystichum acrostichoides / Christmas Fern		#1 CONT./18" O.C.
Sh	40	Sporobolus heterolepis / Prairie Dropseed		#1 CONT./18" O.C.

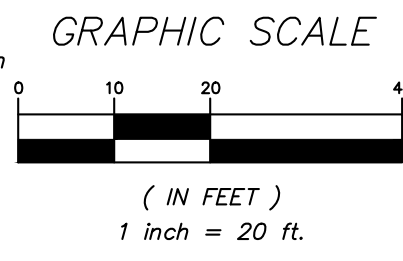
\* NOTE: Evergreen trees and multistem trees are sold by height. 10' height is equivalent to 3" caliper per ANSI Standards.

TREE LEGEND	
○	DECIDUOUS TREE
★	EVERGREEN TREE
AS	ASH
BB	BLACK BIRCH
BE	BEECH
BR	BIRCH
HK	HICKORY
HM	HEMLOCK
MA	MAPLE
OA	OAK
TR	UNKNOWN SPECIES
TU	TULIP

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING BUILDING
	EXISTING STONE WALL
	EXISTING MASONRY STONE WALL
	EXISTING WOODEN RETAINING WALL
	EXISTING DIRT TRAIL
	EXISTING GUIDE RAIL
	EXISTING ASPHALT
	EXISTING CURB
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND FLAG
	EXISTING DECIDUOUS TREE
	EXISTING EVERGREEN TREE
	EXISTING ROCK LEDGE
	EXISTING POST MOUNTED LIGHT
	EXISTING INDIVIDUAL TREE
	EXISTING WELL
	PROPOSED 150' WATERCOURSE BUFFER
	PROPOSED 100' IMPERVIOUS LIMITING DISTANCE
	PROPOSED LANDSCAPING
	PROPOSED WOOD GUIDE RAIL
	PROPOSED CONCRETE CURB
	PROPOSED ASPHALT DRIVEWAY
	PROPOSED FENCE
	PROPOSED POLE MOUNTED LIGHT
	PROPOSED AREA LIGHTING
	PROPOSED LOCATION LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

- SEEDING NOTES:**
- All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments shall be determined based on specific testing of topsoil material. Topsoil shall be placed using a method that will not cause compaction.
  - Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
    - select seed mixture per drawings and seeding notes;
    - no fertilizer is to be for seeded areas. Nutrient requirements shall be met by incorporation of acceptable organic matter based on results of soil testing;
    - mulch: soft hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005;
    - if the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
  - Seeding should begin immediately upon completion of finish grading and seed bed preparation while soil is still friable and before weeds can emerge. If seeding area is crusted or compacted, it should be loosened by discing or tillage. If weeds are present, they should be mowed short and removed or killed under before seed is applied.
  - Seed mixtures shall be planted between March 21 and May 20, or between August 15, and October 15 or as directed by project representative. The seed mixes as specified on these drawings are as follows:
    - Seed Mix #1 for disturbed woodland areas shall be (ERNMX-132-1) Right of Way Native Woods Mix with annual ryegrass at a rate of 30 lbs./acre.
    - Seed Mix #2 for the area between the parking lot and deck shall be (ERNMX-181) Native Steep Slopes Mix with annual ryegrass at a rate of 60 lbs./acre.
    - Temporary Seed Mix for temporary seeding shall be annual or perennial ryegrass. In spring, summer or early fall, at a rate of 30 lbs./acre or winter rye (cereal rye) in late fall or early winter at a rate of 100 lbs./acre.

- NOTE:**  
Refer to architectural drawings by Doyle Coffin Architecture for details of proposed buildings.
- PLANTING NOTES:**
- All proposed planting beds to receive a 12" min. depth of topsoil. No fertilizer is to be used. Nutrient requirements shall be met by incorporation of suitable organic material. Soil amendments based on specific testing of topsoil material.
  - Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
  - All plant material to be nursery grown.
  - Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
  - Plant material shall be taken from healthy nursery stock.
  - All plants shall be grown under climate conditions similar to those in the locality of the project.
  - Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
  - The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
  - Provide a 3" layer of shredded bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
  - All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.



PLANNING BOARD APPROVAL	
Reviewed for compliance with the Planning Board Resolution dated _____	
Approved by the Resolution of the Lewisboro Planning Board.	
Chair _____	Date _____
Administrator _____	Date _____

TOWN ENGINEER'S CERTIFICATION	
Reviewed for compliance with the Planning Board Resolution dated _____	
Joseph Cerniele, P.E. Kellard Sessions Consulting Town Consulting Engineer	
Date _____	
OWNER'S / APPLICANT'S CERTIFICATIONS	
The undersigned is the owner(s) of the property shown herein, is familiar with this drawing and its contents, and hereby approves the same for filing.	
Waccabuc Country Club 90 Meadow Street Waccabuc, NY 10597	
Date _____	

**INSITE**  
ENGINEERING, SURVEYING &  
LANDSCAPE ARCHITECTURE, P.C.

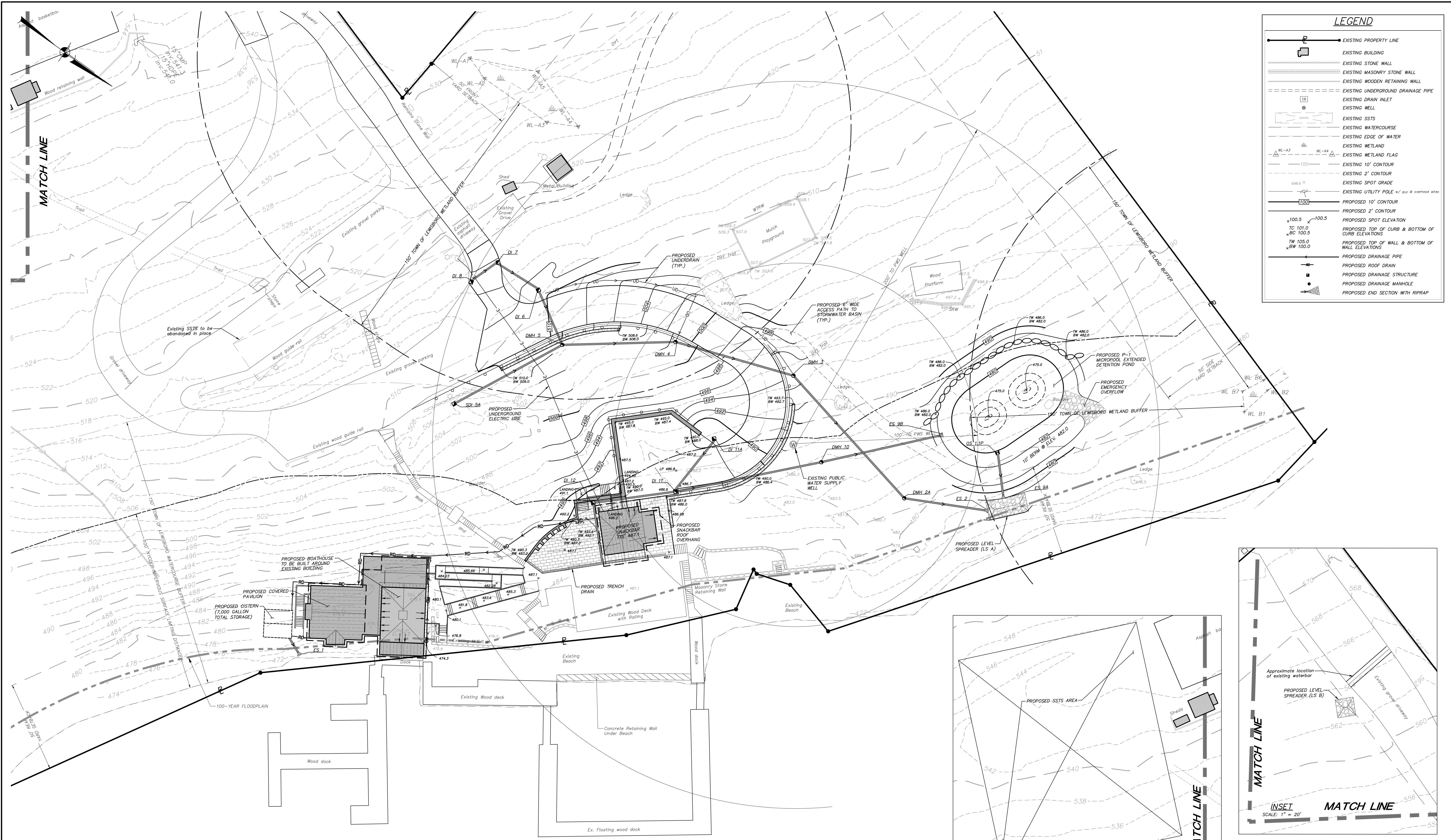
PROJECT:  
**WACCABUC COUNTRY CLUB  
BEACH CLUB IMPROVEMENTS**

DRAWING:  
**LAYOUT & LANDSCAPE PLAN**

PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SHEET
DATE	2-8-22	DRAWN BY	E.R.A.		3
SCALE	1" = 20'	CHECKED BY	D.L.M.		9

3 Garrett Place  
NY 10512  
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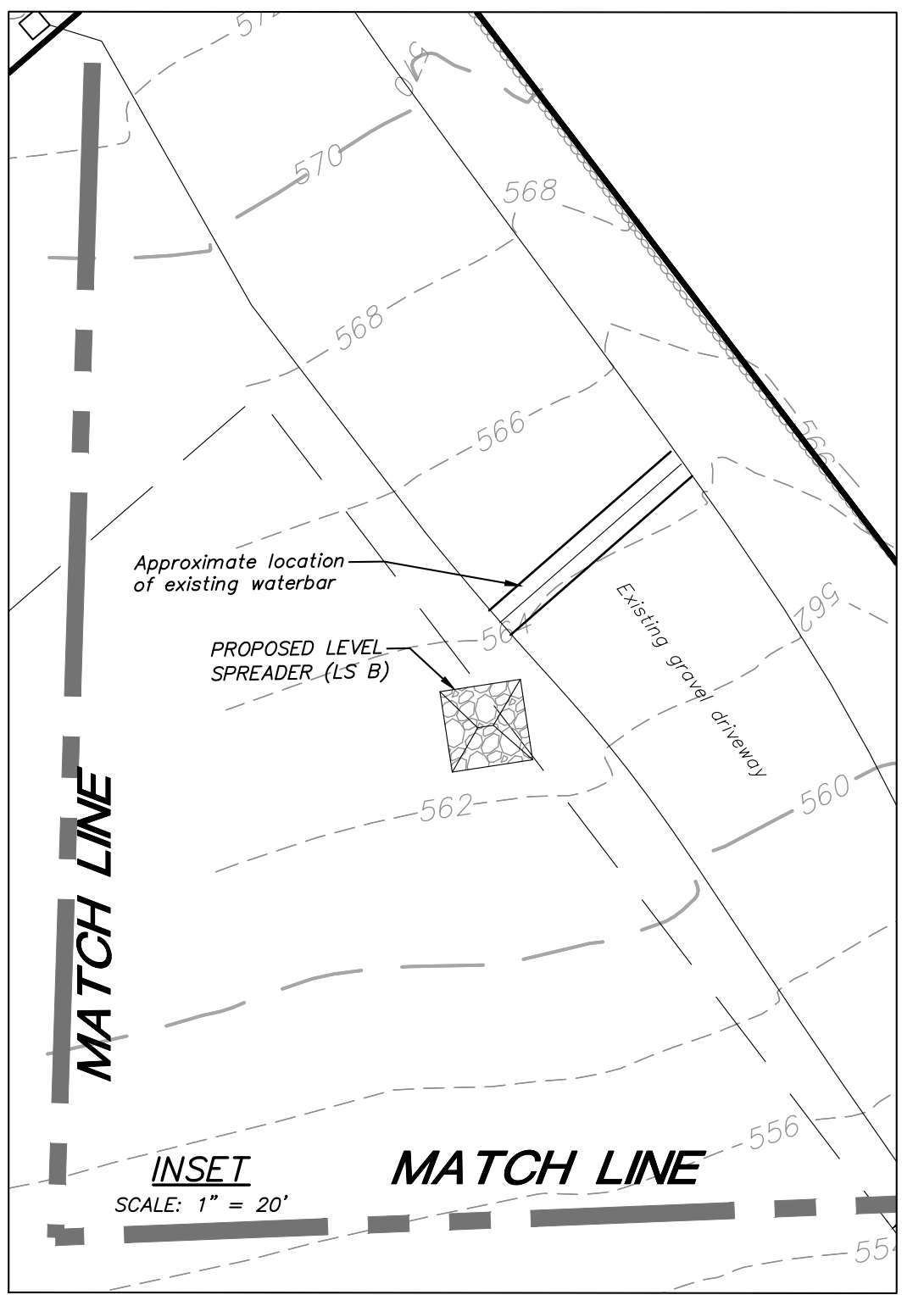
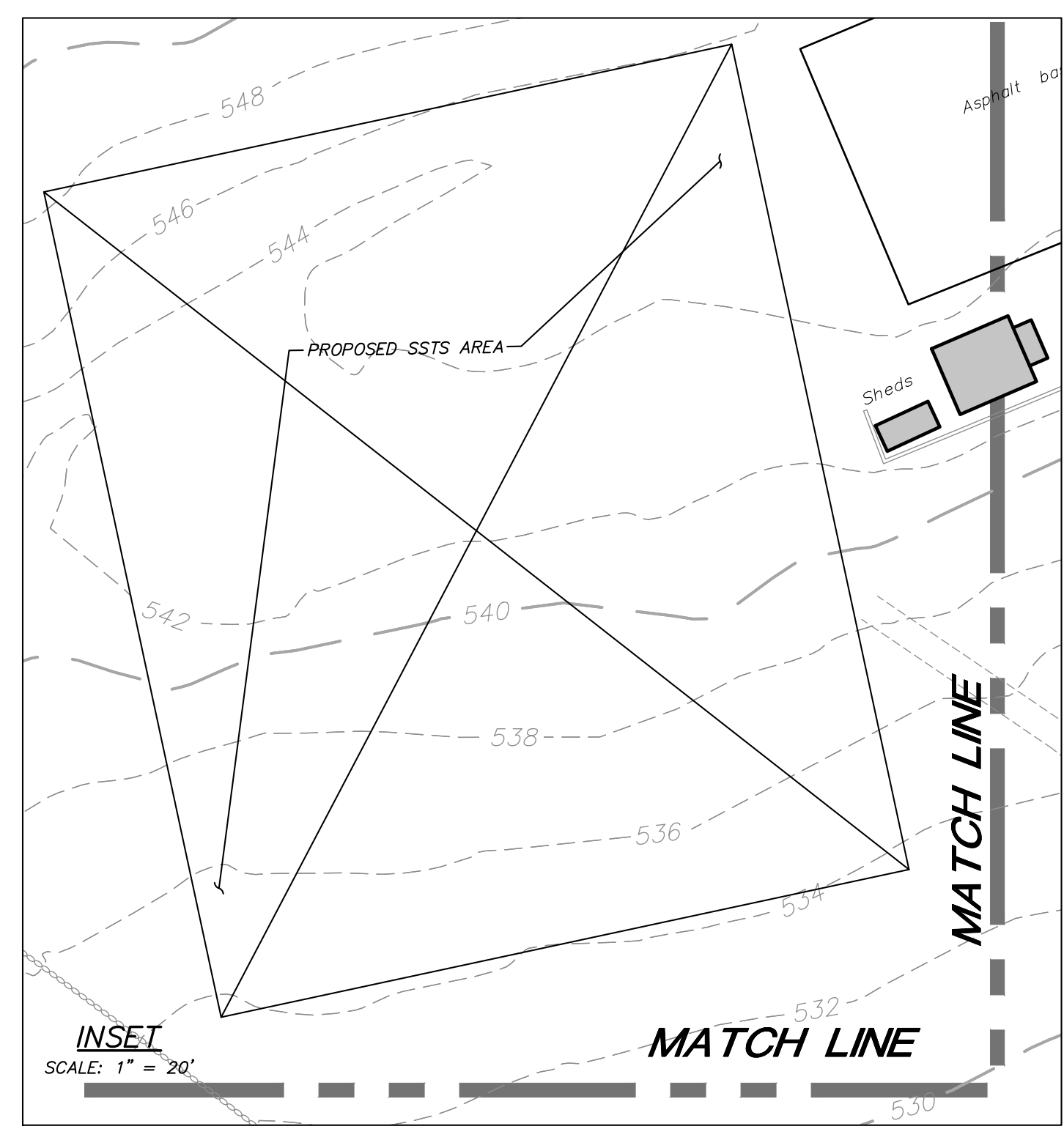
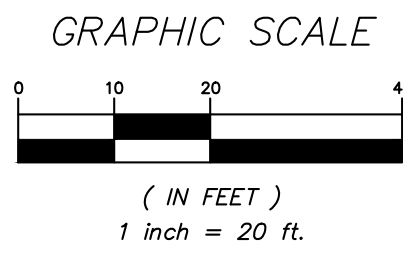
**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING BUILDING
- EXISTING STONE WALL
- EXISTING MASONRY STONE WALL
- EXISTING WOODEN RETAINING WALL
- EXISTING UNDERGROUND DRAINAGE PIPE
- EXISTING DRAIN INLET
- EXISTING WELL
- EXISTING SSTS
- EXISTING WATERCOURSE
- EXISTING EDGE OF WATER
- EXISTING WETLAND
- EXISTING WETLAND FLAG
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING SPOT GRADE
- EXISTING UTILITY POLE w/ guy & overhead wires
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
- PROPOSED TOP OF WALL & BOTTOM OF WALL ELEVATIONS
- PROPOSED DRAINAGE PIPE
- PROPOSED ROOF DRAIN
- PROPOSED DRAINAGE STRUCTURE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED END SECTION WITH RIPRAP

**PROPOSED DRAINAGE TABLE**

STRUCTURE	RIM	INV.	PIPE	LENGTH	SLOPE
DI 12	487.0	484.1	12" HDPE	46 L.F.	1.1%
DI 11	486.9	484.6 / 483.3	12" HDPE	82 L.F.	1.1%
DMH 10	485.6	482.4 / 481.0	12" HDPE	68 L.F.	1.5%
ES 9B	-	480.0	-	-	-
DI 11A	488.5	485.6	8" HDPE	36 L.F.	5.6%
DI 11	486.9	483.6	-	-	-
TD 12A	487.0	485.1	8" HDPE	33 L.F.	3.0%
DI 12	487.0	484.1	-	-	-
OS 11P	480.2	476.5	12" HDPE	30 L.F.	1.7%
ES 9A	-	476.0	-	-	-
DI 8	515.0	511.8	12" HDPE	17 L.F.	2.9%
DI 7	515.7	511.3	12" HDPE	26 L.F.	15.4%
DI 6	510.5	507.3	12" HDPE	32 L.F.	13.4%
DMH 5	506.2	503.0 / 501.7	15" HDPE	63 L.F.	5.6%
DMH 4	501.6	498.2	15" HDPE	68 L.F.	10.4%
DMH 3	494.5	491.1	15" HDPE	91 L.F.	14.6%
DMH 2A	481.2	477.8	15" HDPE	46 L.F.	3.9%
ES 2	-	476.0	-	-	-
SDI 5A	505.8	502.4	15" HDPE	67 L.F.	1.0%
DMH 5	506.2	501.7	-	-	-

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 1209 OF ARTICLE 145 OF THE EDUCATION LAW.



**TOWN ENGINEER'S CERTIFICATION**

Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_

Joseph Cernello, P.E.  
Kearney Sessions Consulting  
Town, Consulting Engineer

Date \_\_\_\_\_

**OWNER'S / APPLICANT'S CERTIFICATIONS**

The undersigned is the owner(s) of the property shown herein, is familiar with this drawing and its contents, and hereby approves the same for filing.

Waccabuc Country Club  
92 Mead Street  
Waccabuc, NY 10597

Date \_\_\_\_\_

**PLANNING BOARD APPROVAL**

Approved by the Resolution of the Lewisboro Planning Board.

Chair \_\_\_\_\_ Date \_\_\_\_\_

Administrator \_\_\_\_\_ Date \_\_\_\_\_

4	7-26-22	REVISED PER TOWN COMMENTS	SMR
3	6-28-22	REVISED PER TOWN COMMENTS	SMR
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1	3-29-22	REVISED PER TOWN COMMENTS	SMR
NO.	DATE	REVISION	BY

**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

PROJECT:  
**WACCABUC COUNTRY CLUB  
BEACH CLUB IMPROVEMENTS**

90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY

DRAWING:  
**GRADING & UTILITIES PLAN**

PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SP-2
DATE	2-8-22	DRAWN BY	E.R.A.	SHEET	4
SCALE	1" = 20'	CHECKED BY	D.L.M.		9

3 Garrett Place  
Carmel, NY 10512  
(845) 225-9690  
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www.insite-eng.com

STATE OF NEW YORK  
LICENSED PROFESSIONAL ENGINEER  
126667



CONSTRUCTION SEQUENCE:

1. Install stabilized construction entrance and silt fence in general locations as shown hereon. Install construction fence around the proposed SSIS area.
2. Contractor shall provide additional erosion and sediment control measures as needed during demolition and construction to keep sediment laden runoff from discharging into Lake Waccabuc. Additionally, the contractor shall refer to the project SWPPP for additional implementation and maintenance of the proposed stormwater facilities and erosion and sediment control measures during construction.
3. Raise existing storage building and snack bar.
4. Demolish existing features to be removed and clear existing trees to be removed.
5. Strip and stockpile topsoil on site for later use in lawn and landscape areas.
6. Begin earthwork operations associated with the proposed stormwater management pond and excavation for the proposed system.
7. Begin earthwork operations for proposed driveway, path, and parking area.
8. Begin construction of proposed snack bar, boat house, and associated decking and courtyards.
9. Install proposed drainage and conveyance system, and roof drains.
10. Install proposed SSIS.
11. Upon completion of all grading operations, install finished asphalt surfaces.
12. Topsoil, seed and mulch all disturbed areas as soon as practical in accordance with the erosion and sediment control notes on the project plans.
13. Once final stabilization has been achieved, remove all temporary erosion and sediment control measures.

EROSION & SEDIMENT CONTROL NOTES:

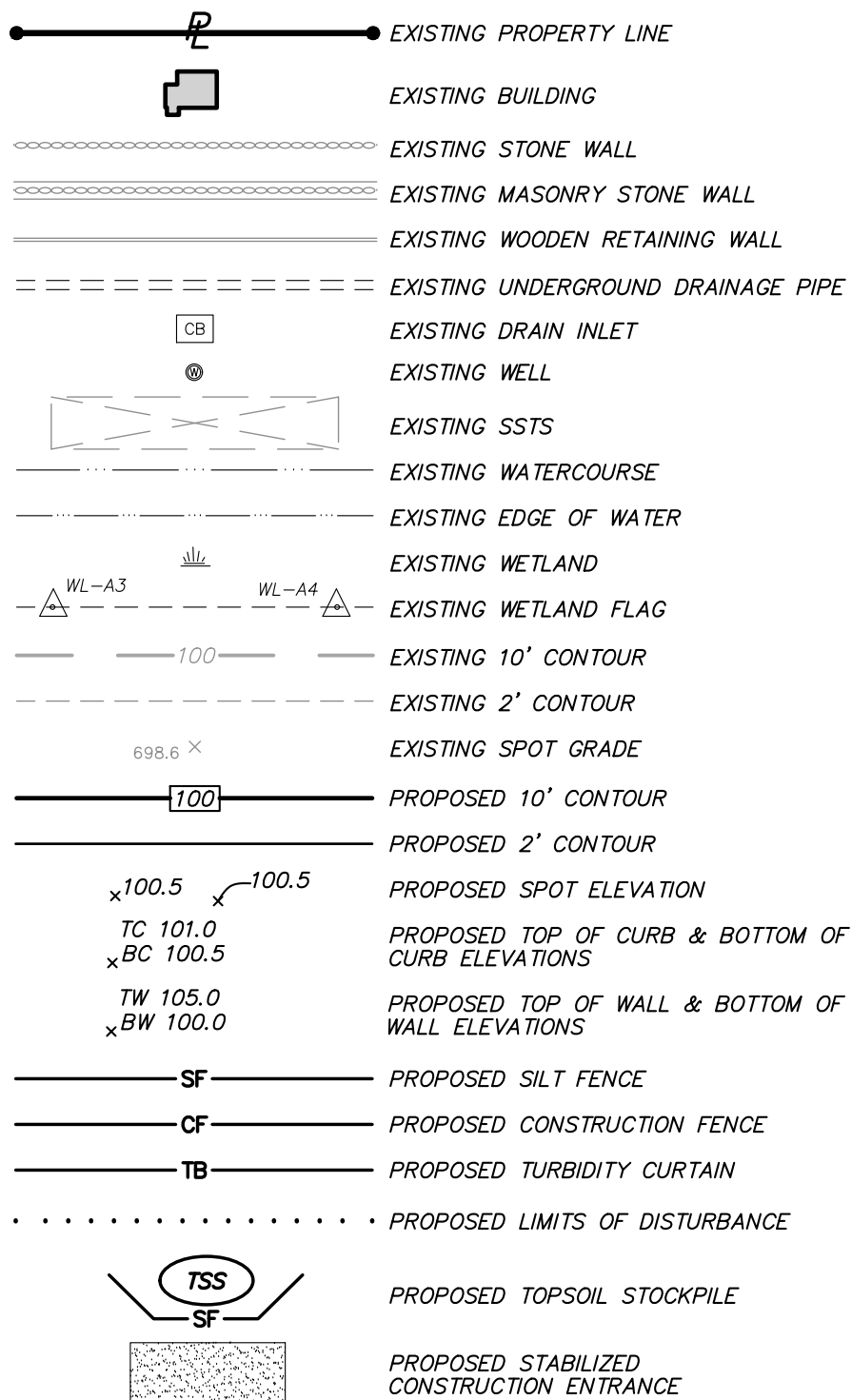
1. The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
2. All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
3. Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
4. When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
5. Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
6. All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. "Aristocrat" Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
7. Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
  - Kentucky Bluegrass 20%
  - Creeping Red Fescue 40%
  - Perennial Ryegrass 20%
  - Annual Ryegrass 20%
  - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
8. Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.
9. Cut or fill slopes steeper than 3:1 shall be stabilized immediately after grading with Curbex 1 Single Net Erosion Control Blanket, or approved equal.
10. Paved roadways shall be kept clean at all times.
11. The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
12. All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
13. Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
14. Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
15. Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
16. Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
17. All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
18. The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
19. As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
20. Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

MONITORING REQUIREMENTS				MAINTENANCE REQUIREMENTS	
PRACTICE	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	—	Inspect	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	—	Inspect	Clean/Replace Stone and Fabric	Remove
DUST CONTROL	Inspect	—	Inspect	Mulching, Spraying Water	N/A
*VEGETATIVE ESTABLISHMENT	—	Inspect	Inspect	Water/Reseed/Remulch	Reseed to 80% Coverage
INLET PROTECTION	—	Inspect	Inspect	Clean/Repair/Replace	Remove
SOIL STOCKPILES	—	Inspect	Inspect	Mulching/ Silt Fence Repair	Remove
CONCRETE DRAINAGE STRUCTURES	—	Inspect	Inspect	Clean Sumps/ Remove Debris/ Repair/Replace	Clean Sumps/ Remove Debris/ Repair/Replace
DRAINAGE PIPES	—	Inspect	Inspect	Clean/Repair	Clean/Repair
ROAD & PAVEMENT	—	Inspect	Inspect	Clean	Clean
*STORMWATER MANAGEMENT PRACTICE	—	Inspect	Inspect	Clean/Mulch/ Repair/Reseed	See Permanent Stormwater Facilities Maintenance Schedule

\* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized. Note: The party responsible for implementation of the maintenance schedule during and after construction is: WACCABUC COUNTRY CLUB 90 MEAD STREET WACCABUC, NY 10597 and/or the current owner(s) of the subject property.

LEGEND

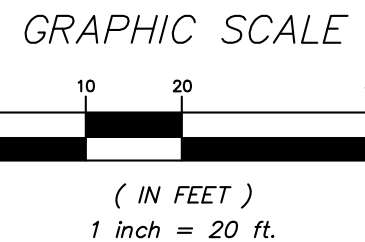


EARTHWORK TABLE		
CUT (CY)	FILL (CY)	TOTAL (CY)
-1,800	200	-1,600 (CUT)

EARTHWORK TABLE (WITHIN 100-YEAR FLOODPLAIN)		
CUT (CY)	FILL (CY)	TOTAL (CY)
-0.5	0.5	0.0

EARTHWORK NOTES:

1. All earthwork calculations are based on the difference between the existing grades and proposed finished grades. Any excavation within the proposed building footprint has not been considered in these calculations.
2. Estimated earthwork volumes are approximate and do not account for swell or compaction.
3. The use/quantity of select fill materials for road sub-base, pipe embankments, subsurface stormwater management practices, any structural fill, etc. are not accounted for in these calculations.
4. The calculations contained herein do not consider the soil characteristics of the cut/fill soils and their suitability for use as a general and/or select fill. Compaction testing shall be performed during construction in accordance with the project specifications. Should the in-situ soils not be able to meet compaction prior to rendering the in-situ material unsuitable, the project geotechnical engineer shall recommend corrective measures such as amending or mixing the soil.
5. The depth to ledge rock and/or impacts associated with rock excavation have not been considered in these calculations.
6. All Cuts and Fill Volumes have been rounded to the nearest 100 Cubic Yards.
7. All excess and unsuitable material shall be disposed of off site at the expense of the contractor in accordance with the project specifications.
8. Volumes provided in the Earthwork Table are for permitting purposes only. Contractor shall be responsible for calculating material quantities for construction.
9. The proposed grading and installation of proposed level spreader (LS A) within the FEMA 100-year Floodplain results in no net loss of flood storage within the FEMA 100-year Floodplain.



TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_

Date \_\_\_\_\_

PLANNING BOARD APPROVAL

Approved by the Resolution of the Lewisboro Planning Board.

Chair \_\_\_\_\_ Date \_\_\_\_\_  
Administrator \_\_\_\_\_ Date \_\_\_\_\_

OWNER'S / APPLICANT'S CERTIFICATIONS

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Waccabuc Country Club  
90 Mead Street  
Waccabuc, NY 10597  
Date \_\_\_\_\_

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PROJECT:  
**WACCABUC COUNTRY CLUB  
BEACH CLUB IMPROVEMENTS**

90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY

DRAWING:  
**EROSION & SEDIMENT CONTROL  
PLAN**

PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SHEET
DATE	2-8-22	DRAWN BY	E.R.A.	SP-3	5
SCALE	1" = 20'	CHECKED BY	D.L.M.		8

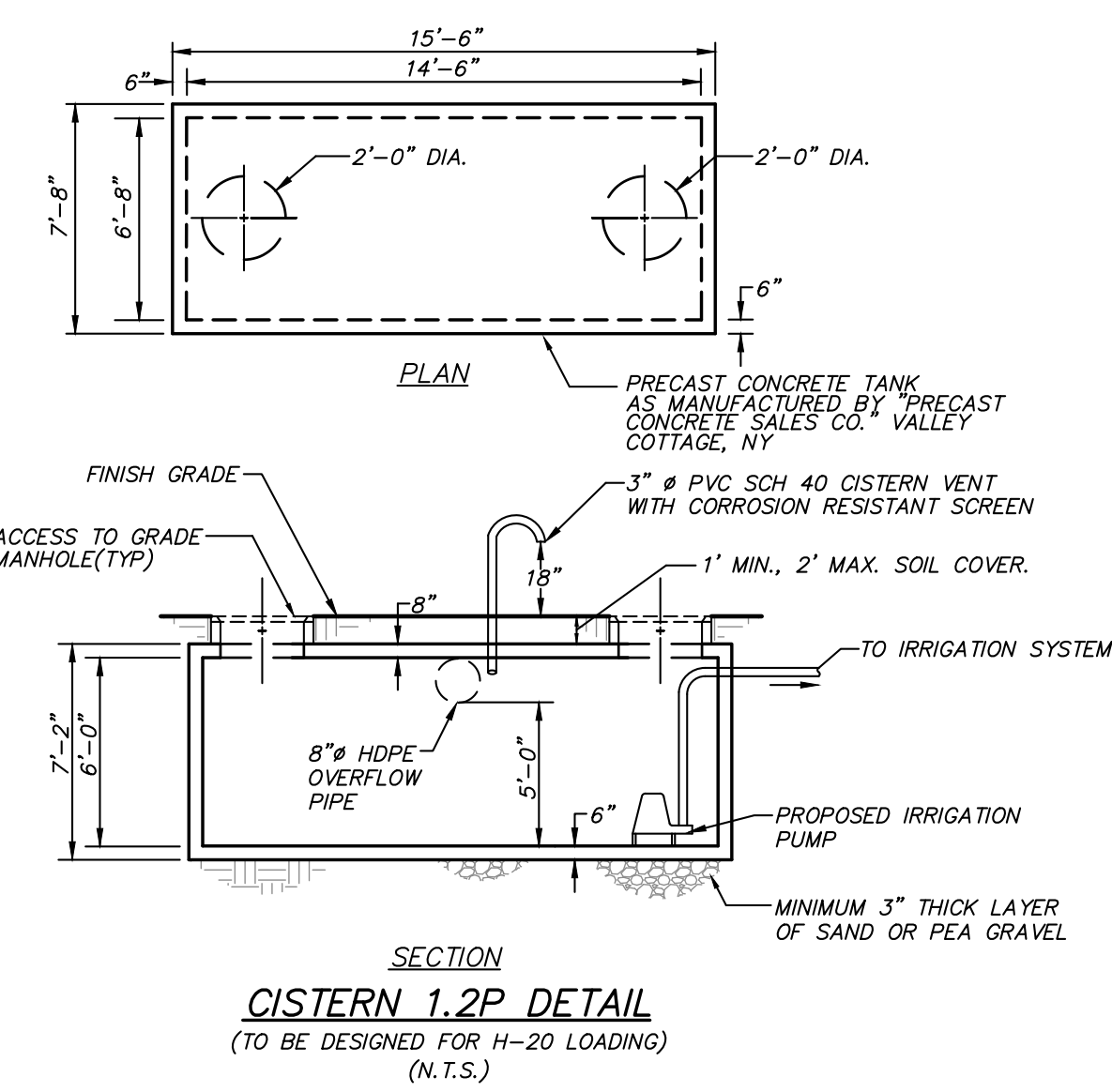






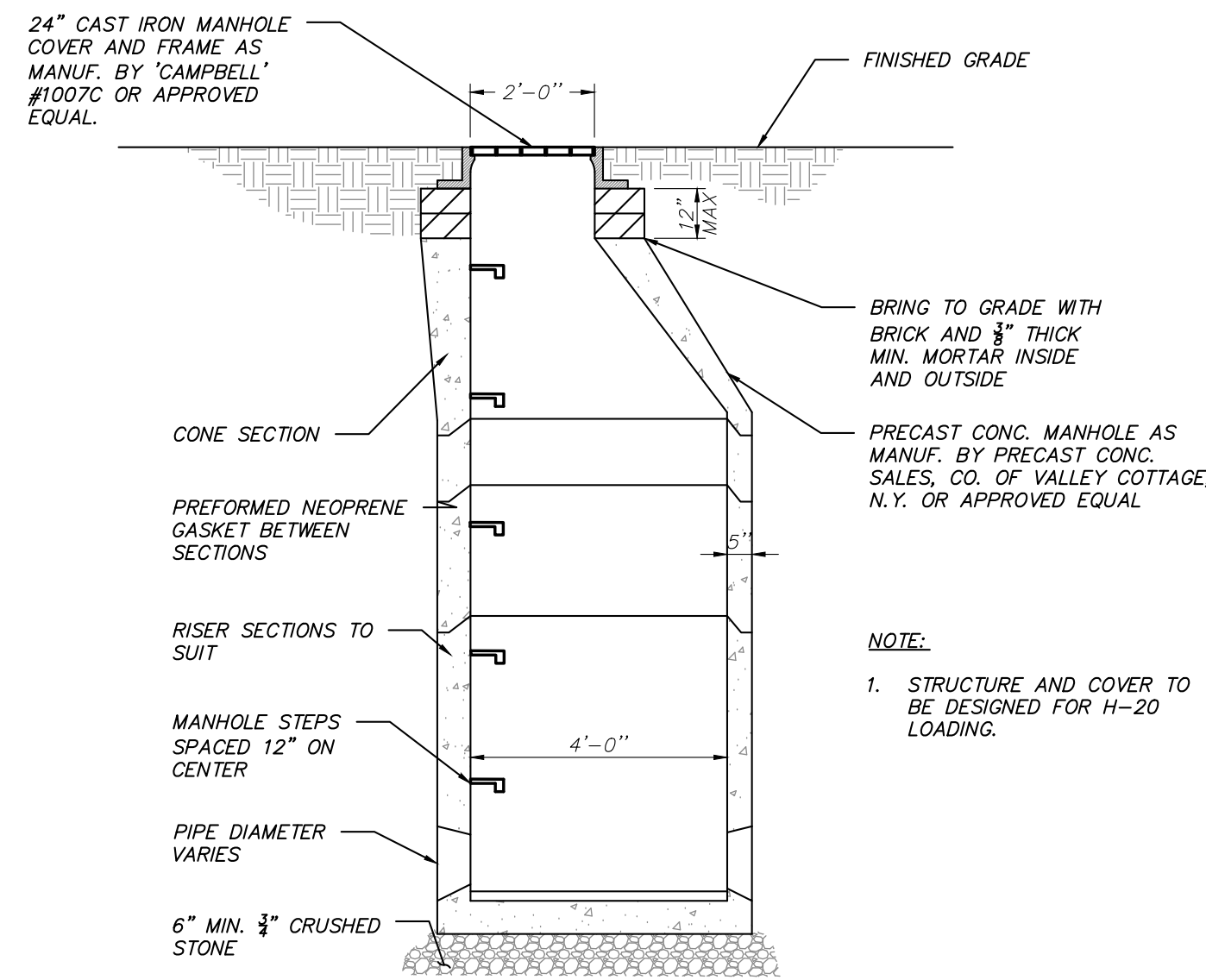




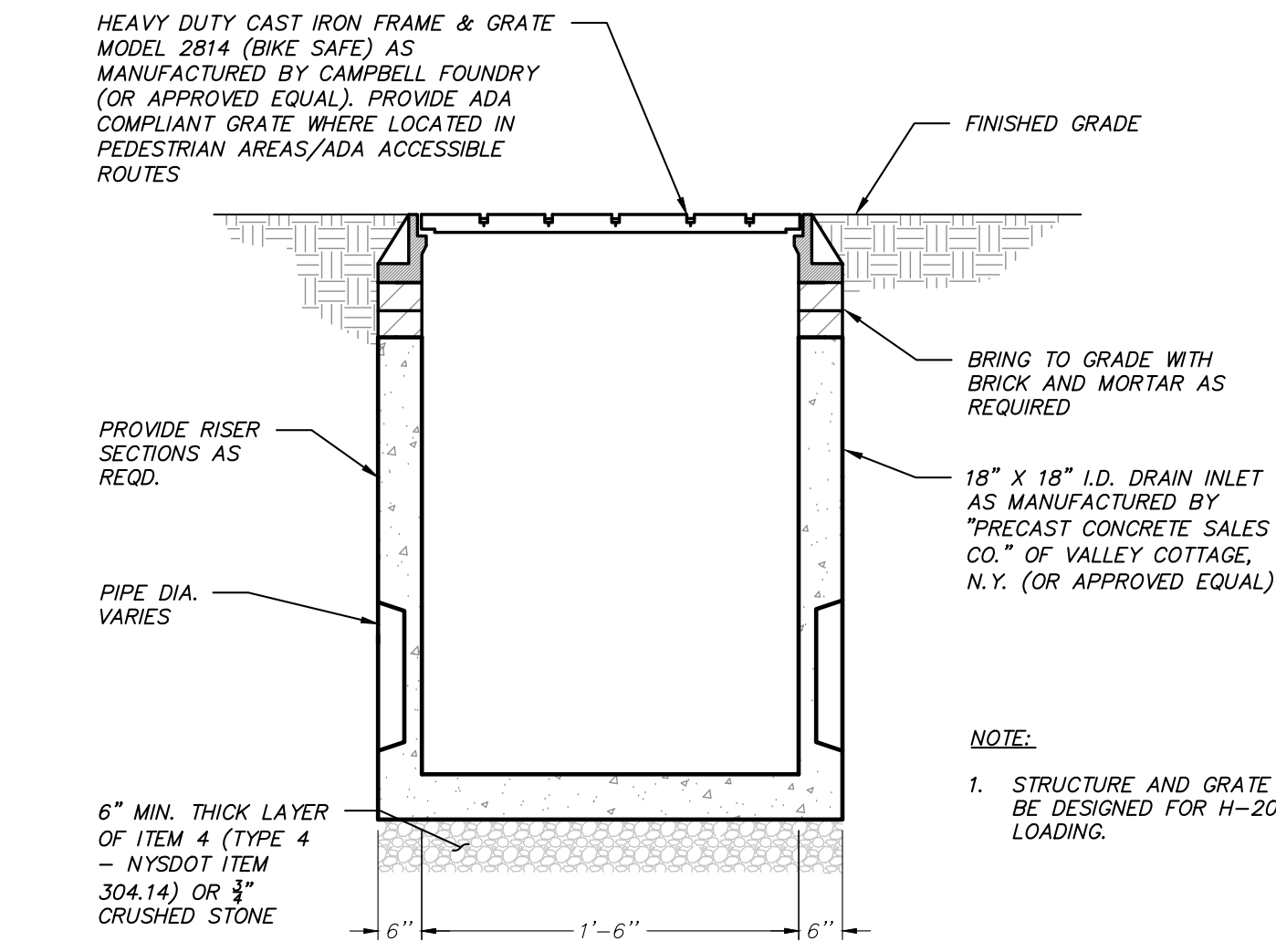


### IRRIGATION SYSTEM NOTES:

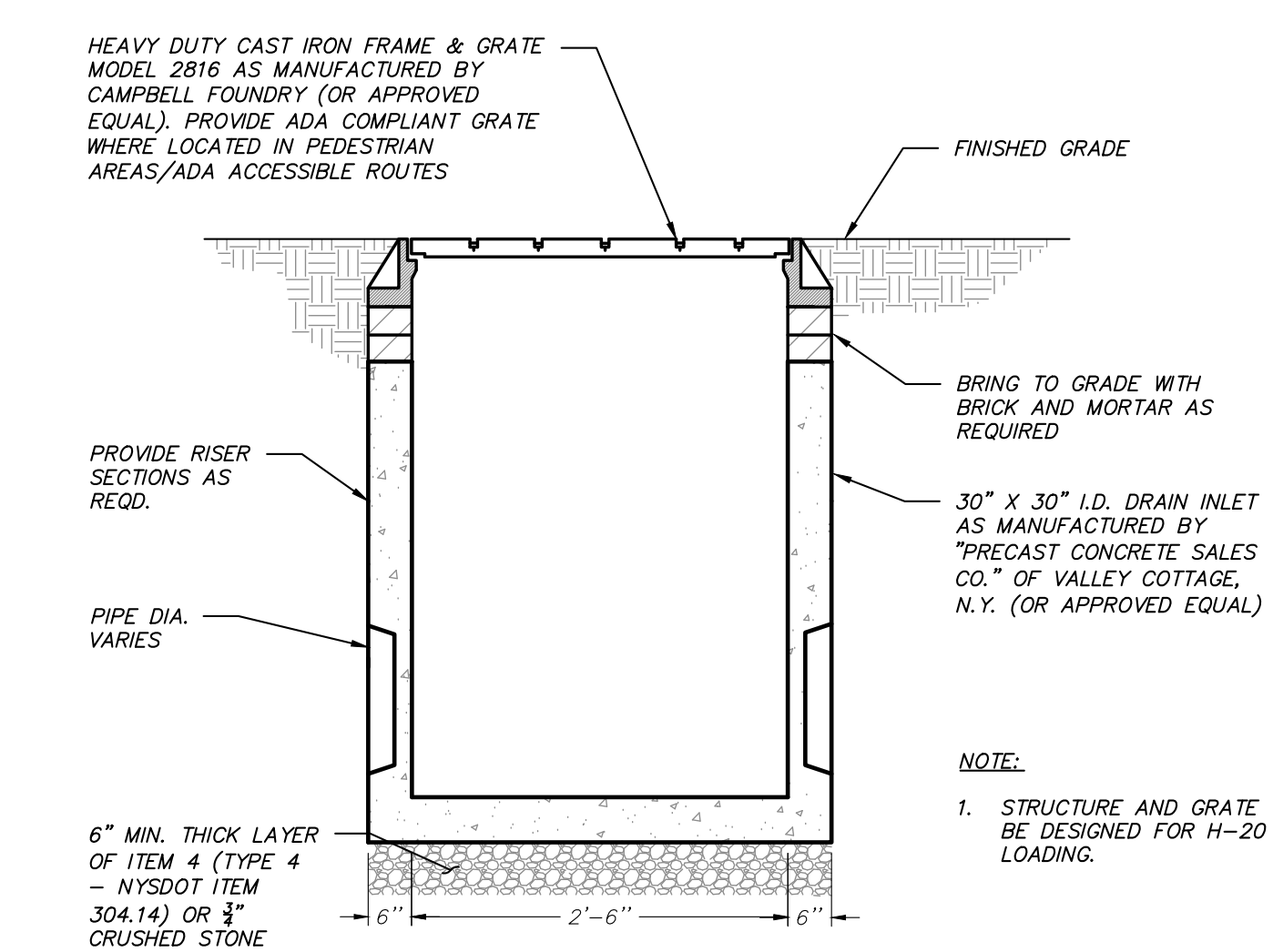
- The proposed cistern is proposed to capture stormwater runoff from the proposed boat house and snack bar. The cistern will be used regularly to ensure storage capacity is provided for future storm events and to prevent the stored runoff from becoming stagnant.
- The cistern shall be installed with a pump and distribution piping capable of servicing the onsite landscaped areas. Irrigation system to be designed by others.
- Cistern 1.2P system shall consist of two (2) concrete tanks connected together for a total storage volume of 7,000 gallons.
- Irrigation distribution and piping shall be installed prior to the installation of finished asphalt and concrete surfaces.
- Water levels in the cistern must be lowered at the beginning of winter to prevent possible ice damage and provide the needed storage in the cistern for capturing runoff from spring snow melt.
- Contractor to connect the tanks with 6" PVC SCH 35 equalization pipes. Equalization pipes shall be laid level at the bottom of the tanks.
- A 3" PVC SCH 40 vent shall be provided for each tank. The vents shall be collected with a manifold to an open vent in the adjacent lawn area.



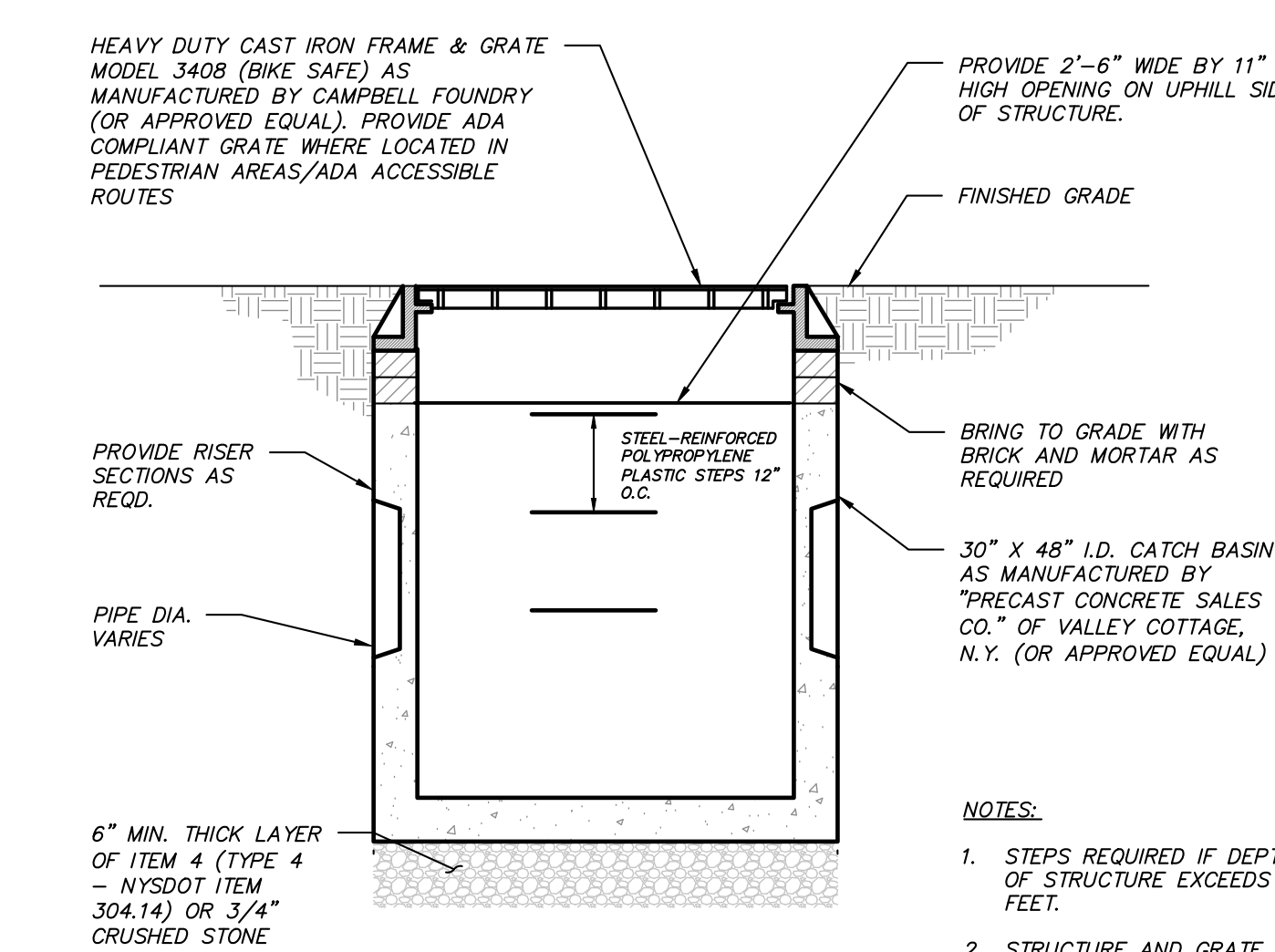
### DRAINAGE MANHOLE DETAIL (N.T.S.)



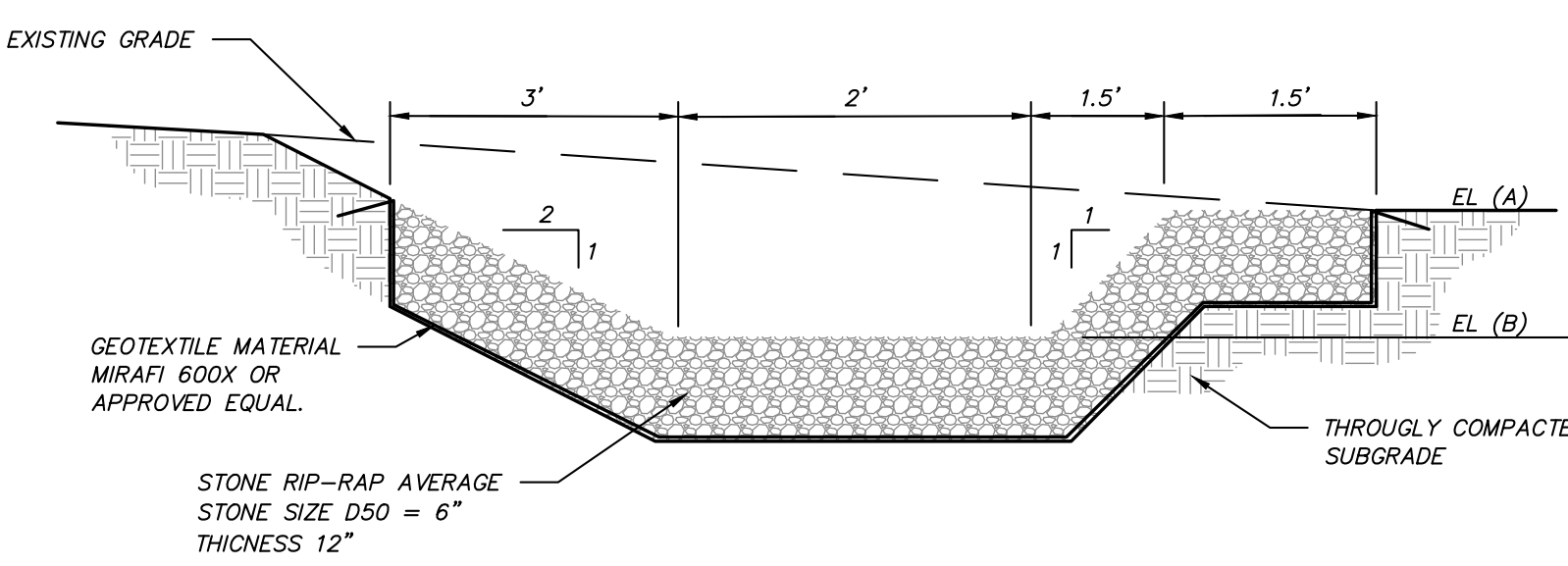
### 18" X 18" DRAIN INLET DETAIL (N.T.S.)



### 30" X 30" DRAIN INLET DETAIL (N.T.S.)



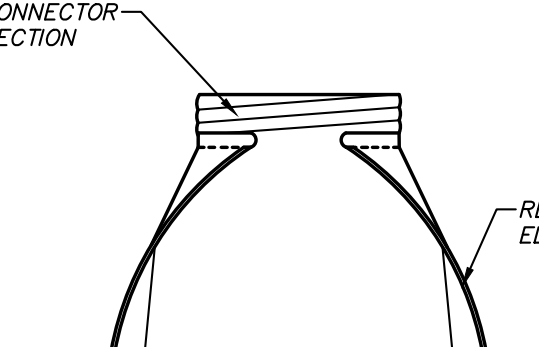
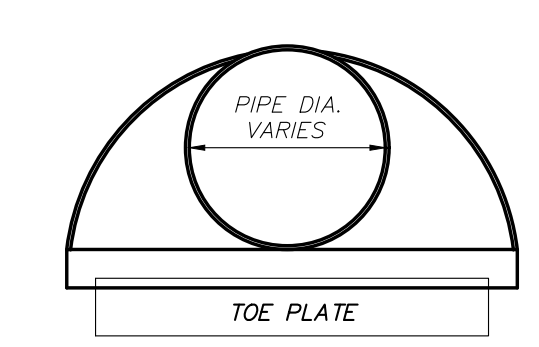
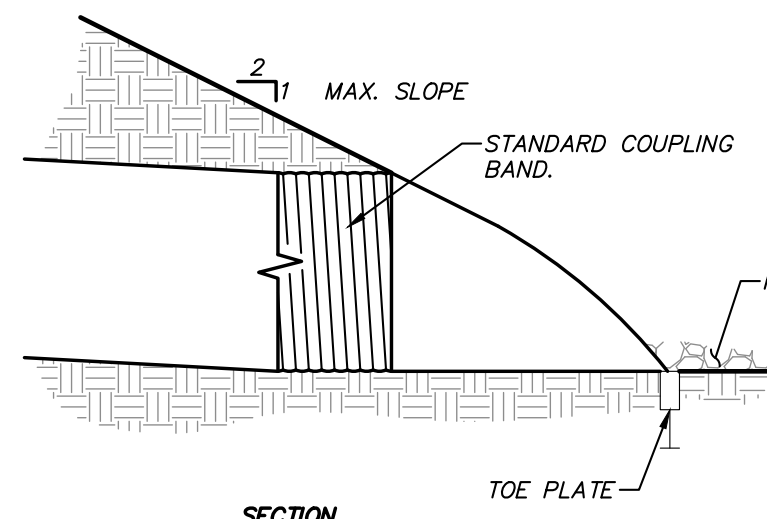
### SIDE DRAIN INLET DETAIL (N.T.S.)



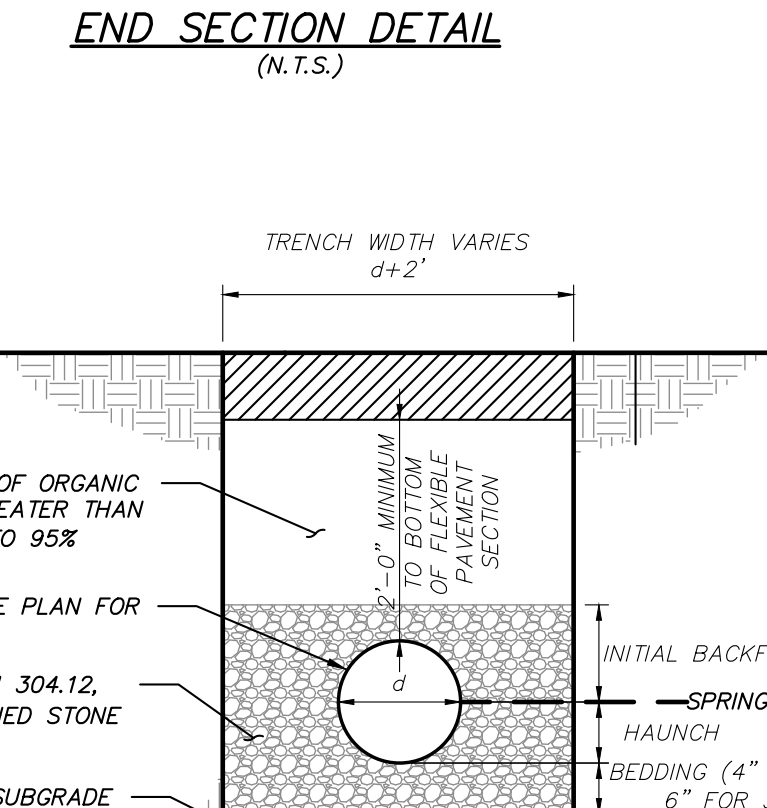
LEVEL SPREADER ID	100-YEAR PEAK FLOW (cfs)	LENGTH (ft.)	100-YEAR PEAK OUTFLOW PER LENGTH FOOT (cfs)	ELEVATION (A)	ELEVATION (B)
LS A	10.7	21	0.49	476.0	474.5
LS B	4.5	10	0.45	562.5	561.0

- NOTES:
- THE LEVEL SPREADERS HAVE BEEN DESIGNED TO PROVIDE LESS THAN 0.5 CFS PER LINEAR FOOT IN ACCORDANCE WITH THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", LATEST EDITION.
  - THE 100-YEAR PEAK FLOW FOR THE LEVEL SPREADER WAS TAKEN FROM THE POST-DEVELOPMENT COMPUTER DATA CONTAINED IN APPENDIX C OF THE PROJECT STORMWATER POLLUTION PREVENTION PLAN.
  - THE 100-YEAR PEAK FLOW FOR THE LEVEL SPREADER WAS CALCULATED BASED ON A CONTRIBUTING AREA OF 0.3 ACRES, TIME OF CONCENTRATION OF 10 MINUTES AND RAINFALL INTENSITY OF 7.50 IN/HR.

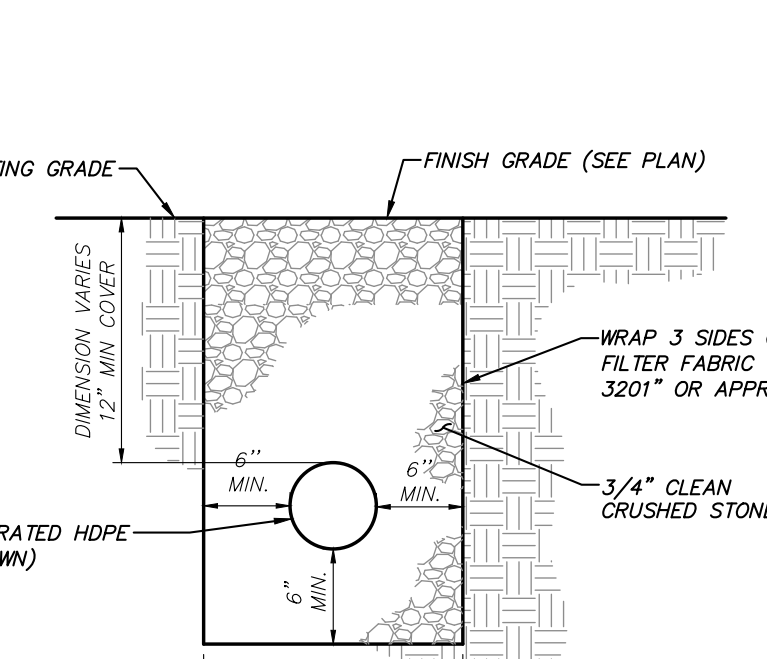
### LEVEL SPREADER DETAIL (N.T.S.)



### END SECTION DETAIL (N.T.S.)



### DRAINAGE LINE TRENCH DETAIL (N.T.S.)



### UNDERDRAIN DETAIL (N.T.S.)

STORMWATER MANAGEMENT PRACTICE	OUTLET PIPE ELEVATION (A)	OUTLET PIPE DIAMETER (B)	LOW FLOW ORIFICE DIAMETER (C)	LOW FLOW INVERT ELEV. (D)	WEIR LENGTH (H)	WEIR ELEVATION (G)	NUMBER OF WEIRS REQUIRED (H)	TOP OF BERM ELEVATION (I)	TOP OF OUTLET STRUCTURE ELEVATION (J)	BOTTOM OF POND ELEVATION (K)	PERMANENT POOL ELEVATION (L)
1.1P	476.5	12	0.6	480.0	1.5	480.7	4	482.0	481.0	475.0	480.0

### 1.1P POND (NYSDEC DESIGN P-1) PERMANENT OUTLET STRUCTURE DETAIL (N.T.S.)

PRACTICE/FACILITY	MONTHLY	AFTER MAJOR STORM EVENTS	BI-ANNUALLY	YEARLY	EVERY 5 to 10 YEARS
INFILTRATION UNITS	-	Confirm infiltrators deceler within 48 hours	Inspect & clean	Inspect outlet structures & remove accumulated sediment.	Clean isolator row per manufacturer's recommendations
STORMWATER POND	Inspect first few months after construction for erosion, debris & slippage & repair immediately	Inspect orifices, inlets & outlets for clogging, erosion, debris & slippage & repair immediately	Mow berm and exterior windings. Remove debris & litter from berm & outlet structures	-	Inspect for & remove accumulated sediment
CISTERN	Inspect tanks and irrigation pump and provide maintenance as required	-	-	Inspect for & remove accumulated sediment	-

Note: The party responsible for implementation of the maintenance schedule during and after construction is:

WACCABUC COUNTRY CLUB  
90 MEAD STREET  
WACCABUC, NY 10597

### REQUIRED SWPPP CONTENTS PER GP-0-20-001:

- Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plan (SWPPP) shall include erosion and sediment control practices designed in conformance with the most current version of the technical standard, "New York Standards and Specifications for Erosion and Sediment Control". Where erosion and sediment control practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1a-1 of General Permit GP-0-20-001:

Background Information: The subject project consists of the redevelopment of the existing Beach Club portion of Waccabuc Country Club including modifications to the existing concession stand and boat house and construction of a covered deck, access driveway, handicap accessible parking area and associated appurtenances.

- Site map / construction drawing: These plans serve to satisfy this SWPPP requirement.
- Description of the soils present at the site: Onsite soils located within the proposed limits of disturbance consist of Chertified-Charlton Complex (Cst), and Paxton Fine Sandy Loam (Pc), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Groups "A" and "B".
- Construction phasing plan / sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Erosion and Sediment Control Maintenance Schedule has been provided. The Sedimentation and Erosion Control Notes contained herein outline a general sequence of operations for the proposed project. In general all erosion and sediment control facilities shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.
- Description of erosion and sediment control practices: This plan, and details / notes shown hereon serve to satisfy this SWPPP requirement.
- Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided herein identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.
- Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.
- The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices: The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.
- An inspection schedule: Inspections are to be performed twice weekly and by a qualified professional as required by the General Permit GP-0-15-002. In addition the NYSDEC Trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.
- A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter / debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpster for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be disposed of onsite, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), material inventory, and emergency contact numbers shall be maintained by the general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.
- A description and location of any stormwater discharges associated with industrial activity other than construction at the site: There are no known industrial stormwater discharges present or proposed at the site.
- Identification of any elements of the design that are not in conformance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control": All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control."

- Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in conformance with the most current version of the technical standard, "New York State Stormwater Management Design Manual (Design Manual)". Where post-construction stormwater management practices are not designed in conformance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part III.B.2-1 and III.B.3:

- Identification of all post-construction stormwater management practices to be constructed as part of the project: This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
- A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice: This plan, and details/notes shown hereon serve to satisfy this SWPPP requirement.
- A Stormwater Modeling and Analysis Report including pre-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that each practice has been designed in conformance with the sizing criteria, identification of and justification for any deviations from the Design Manual, and identification of any design criteria that are not required. The required analysis is provided in the report titled Stormwater Pollution Prevention Plan for Waccabuc Country Club - Beach Club Improvements.
- Soil testing results and locations: This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for Waccabuc Country Club - Beach Club Improvements.
- Infiltration testing results: This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for Waccabuc Country Club - Beach Club Improvements.
- An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continuous and effective operation of each post-construction stormwater management practice: The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The Permanent Stormwater Facilities Maintenance Schedule provided on these plans serves to satisfy this requirement.
- Enhanced Phosphorus Removal Standards - Beginning on September 30, 2008, all construction projects identified in Table 2 of Appendix B that are located in the watersheds identified in Appendix C shall prepare a SWPPP that includes post-construction stormwater management practices designed in conformance with the Enhanced Phosphorus Removal Standards included in the most current version of the technical standard, "New York Stormwater Management Design Manual". At a minimum, the post-construction stormwater management practice component of the SWPPP shall include items 2.a - 2.f above. The permanent stormwater practices for this project have been sized according to chapter 10 of the Design Manual Enhanced Phosphorus Removal Standards. Please see 2.a - 2.f above.

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NO.	DATE	REVISION	BY

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www.insite-eng.com

PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS  
90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CITY, NY

DRAWING: SITE DETAILS

PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SHEET
DATE	2-8-22	DRAWN BY	E.R.A.	D-2	8
SCALE	AS SHOWN	CHECKED BY	D.L.M.		9

**TOWN ENGINEER'S CERTIFICATION**

Reviewed for compliance with the Planning Board Resolution dated \_\_\_\_\_

Joseph Cerniele, P.E.  
Kellard Sessions Consulting  
Town Consulting Engineer

Date \_\_\_\_\_

**PLANNING BOARD APPROVAL**

Approved by the Resolution of the Lewisboro Planning Board.

Chair \_\_\_\_\_ Date \_\_\_\_\_

Administrator \_\_\_\_\_ Date \_\_\_\_\_

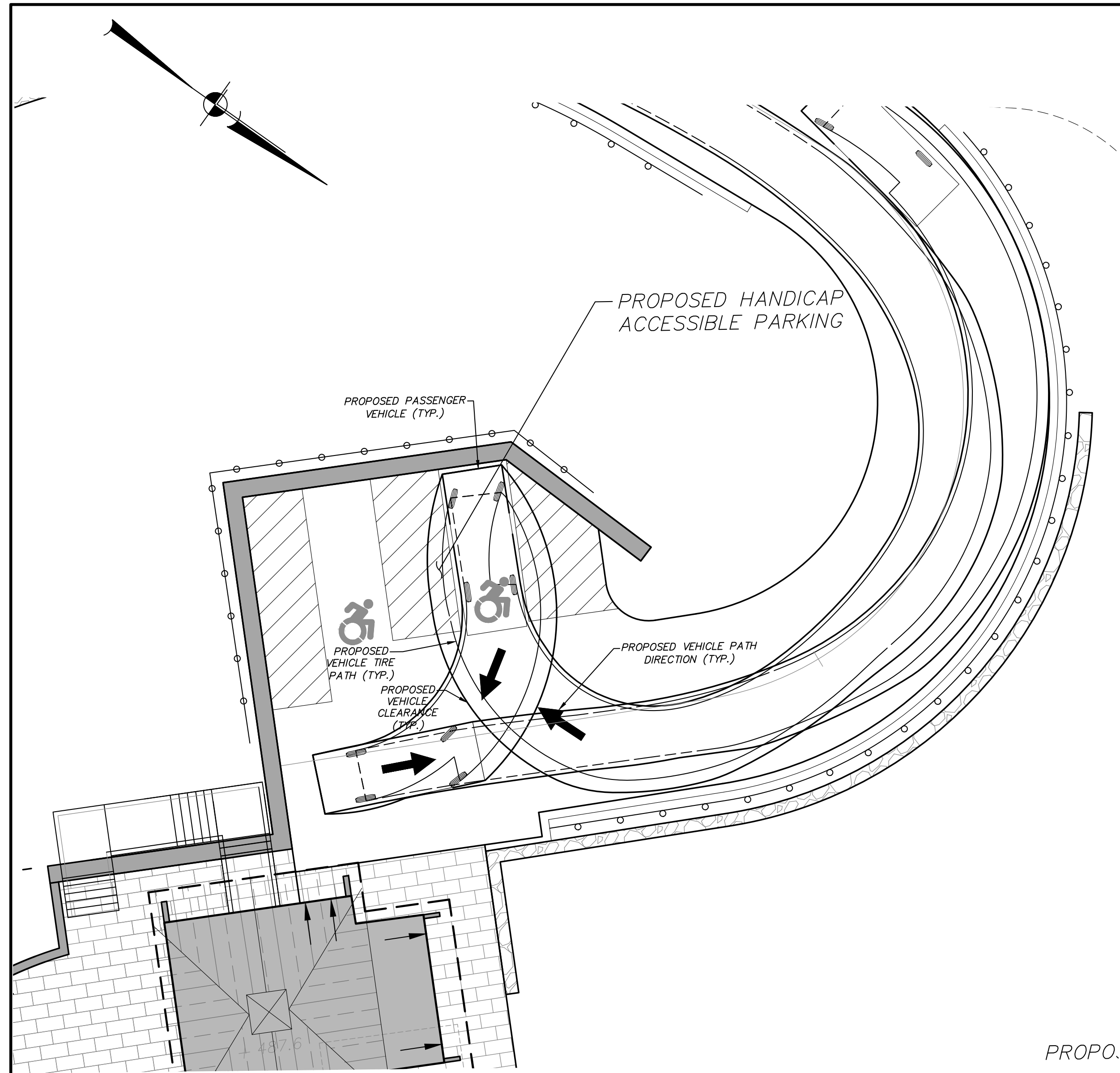
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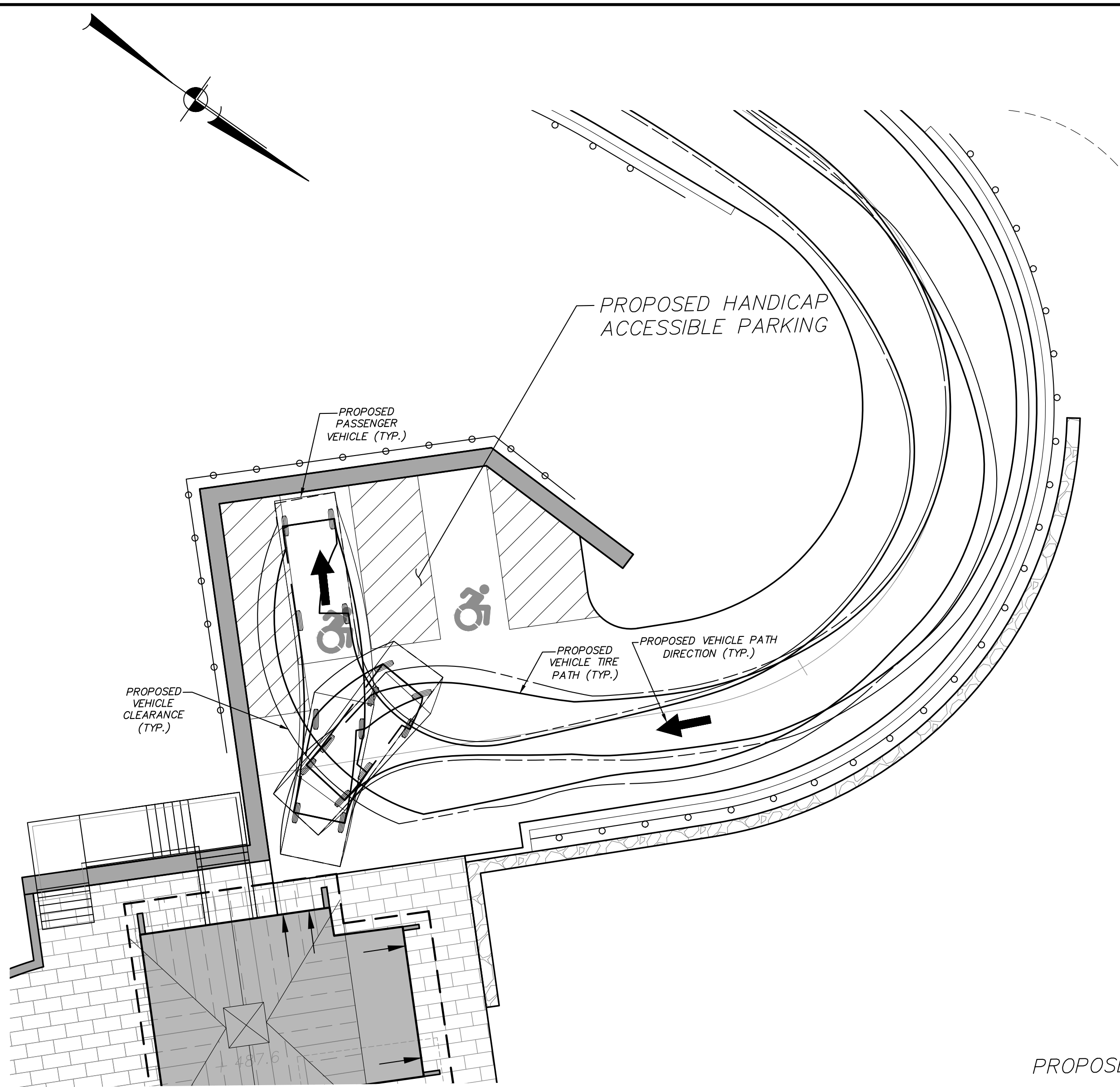
Waccabuc Country Club  
90 Mead Street  
Waccabuc, NY 10597

Date \_\_\_\_\_

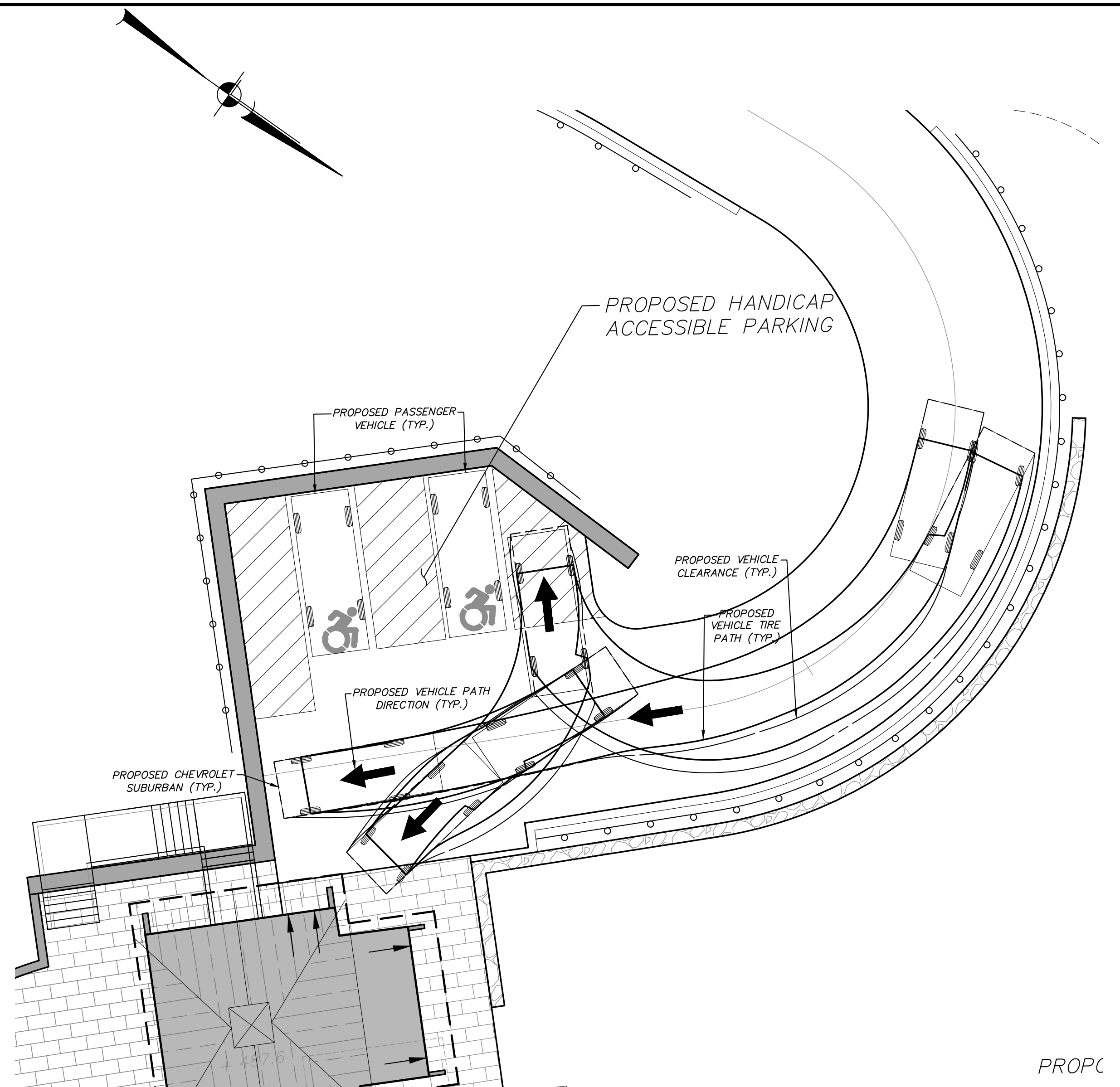




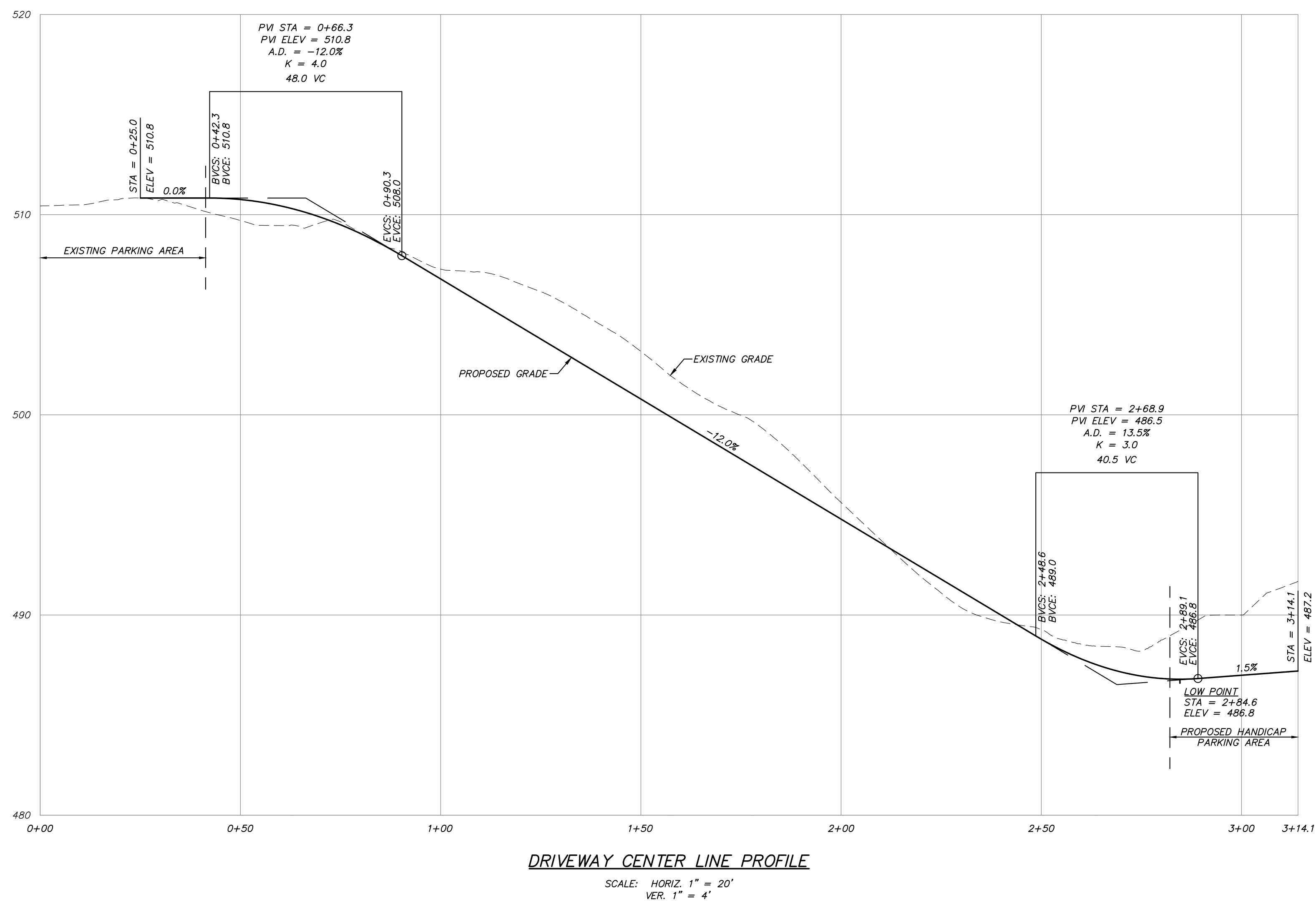
1. PASSENGER VEHICLE TURNING STUDY WITH PASSENGER CAR  
SCALE: 1" = 10'



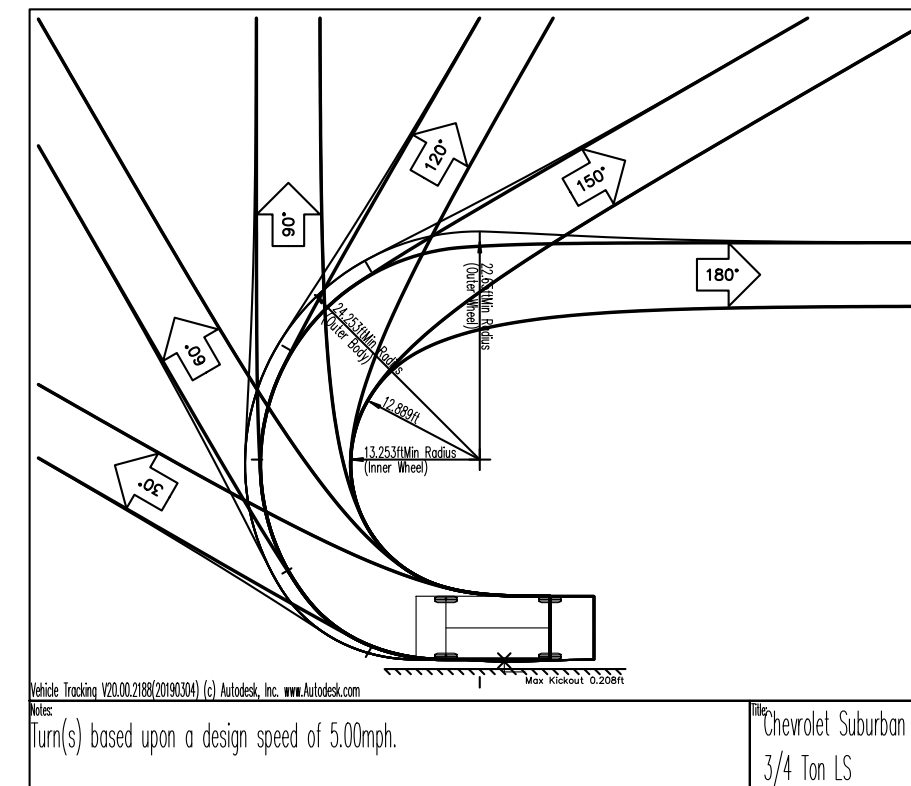
2. PASSENGER VEHICLE TURNING STUDY WITH PASSENGER CAR  
SCALE: 1" = 10'



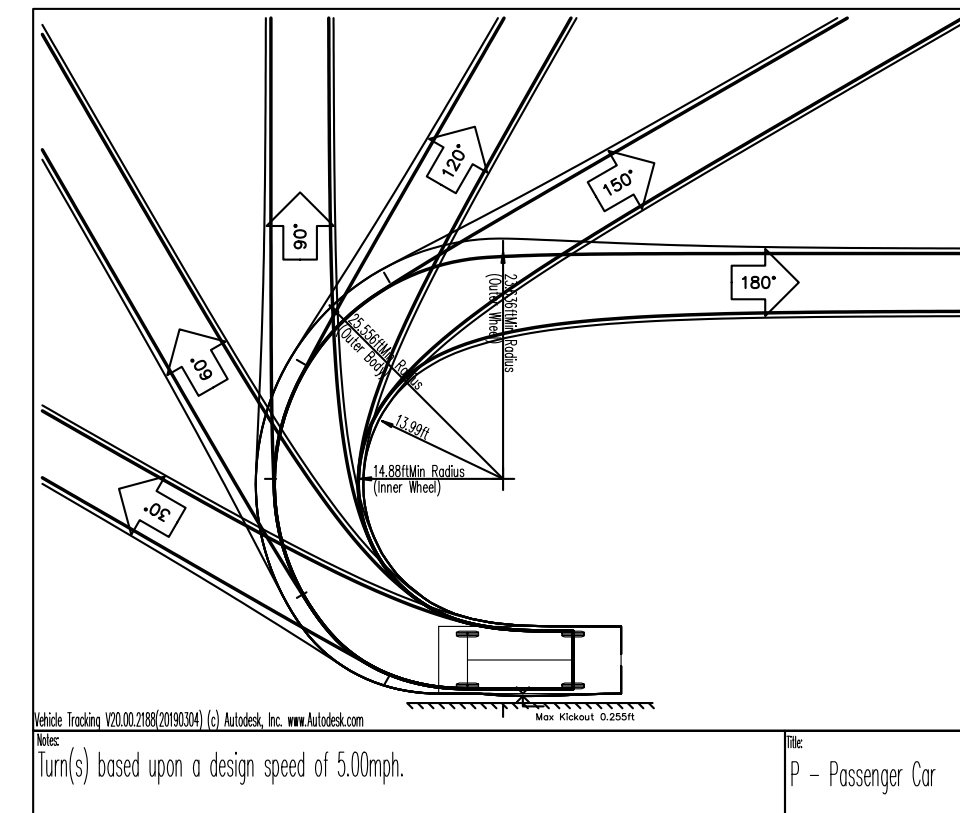
3. PASSENGER VEHICLE TURNING STUDY WITH CHEVROLET SUBURBAN  
SCALE: 1" = 10'



DRIVEWAY CENTER LINE PROFILE  
SCALE: HORIZ. 1" = 20'  
VER. 1" = 4'



CHEVROLET SUBURBAN TEMPLATE

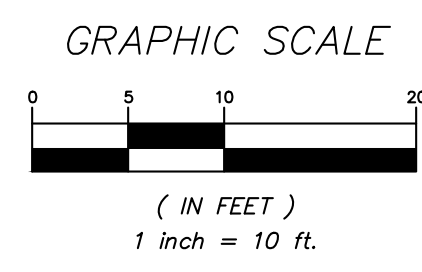


PASSENGER VEHICLE TEMPLATE

PLANNING BOARD APPROVAL	
Approved by the Resolution of the Lewisboro Planning Board.	
Chair	Date
Administrator	Date
TOWN ENGINEER'S CERTIFICATION	
Reviewed for compliance with the Planning Board Resolution dated _____	
Joseph Cermela, P.E. Kellard Sessions Consulting Town Consulting Engineer	Date
OWNER'S / APPLICANT'S CERTIFICATIONS	
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.	
Waccabuc Country Club 90 Mead Street Waccabuc, NY 10997	Date

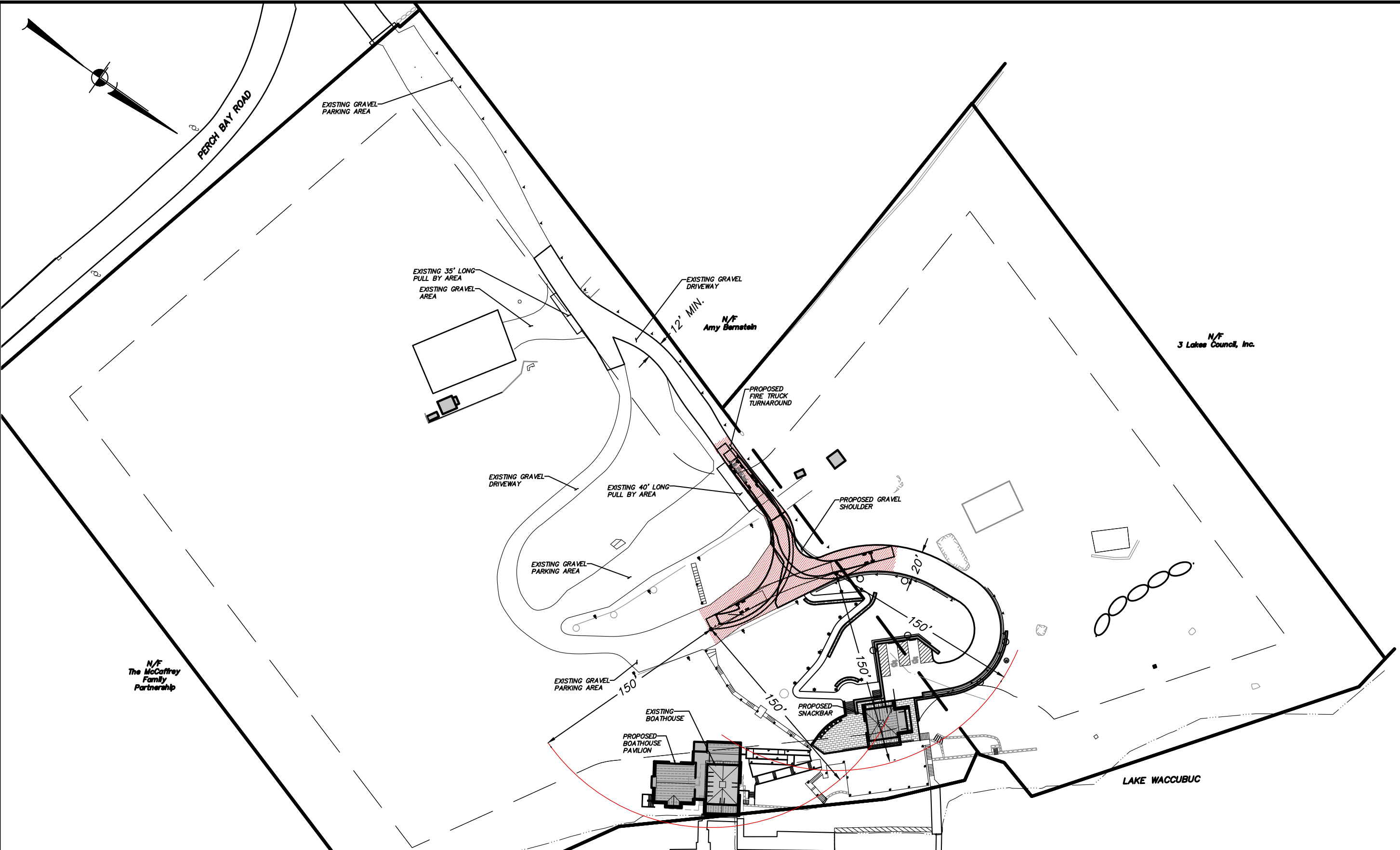
NO.	DATE	REVISION	BY
3	7-26-22	REVISED PER TOWN COMMENTS	SMR
2	6-28-22	REVISED PER TOWN COMMENTS	SMR
1	5-31-22	REVISED PER TOWN COMMENTS	SMR

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.		3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com	
PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS 90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY		DRAWING: DETAILS	
PROJECT NUMBER 20228.100	PROJECT MANAGER Z.M.P.	DRAWING NO. D-3	SHEET 9
DATE 3-29-22	DRAWN BY S.M.R.	CHECKED BY D.L.M.	
SCALE AS SHOWN			





Z:\E\20228100 Waccabuc CC-Beach Club\09 FAP-1.dwg, 5/31/2022 2:30:13 PM, srinichardsen, 1:1

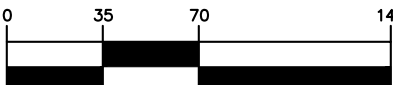


PROJECT:	WACCABUC BEACH CLUB PERCH BAY ROAD, WACCABUC, NEW YORK 10597
DRAWING:	FIRE ACCESS PLAN

PREPARED BY:

**INSITE**  
ENGINEERING, SURVEYING &  
LANDSCAPE ARCHITECTURE, P.C.  
3 Garrett Place • Carmel, New York 10512  
Phone (845) 225-9690 • Fax (845) 225-9717  
www.insite-eng.com

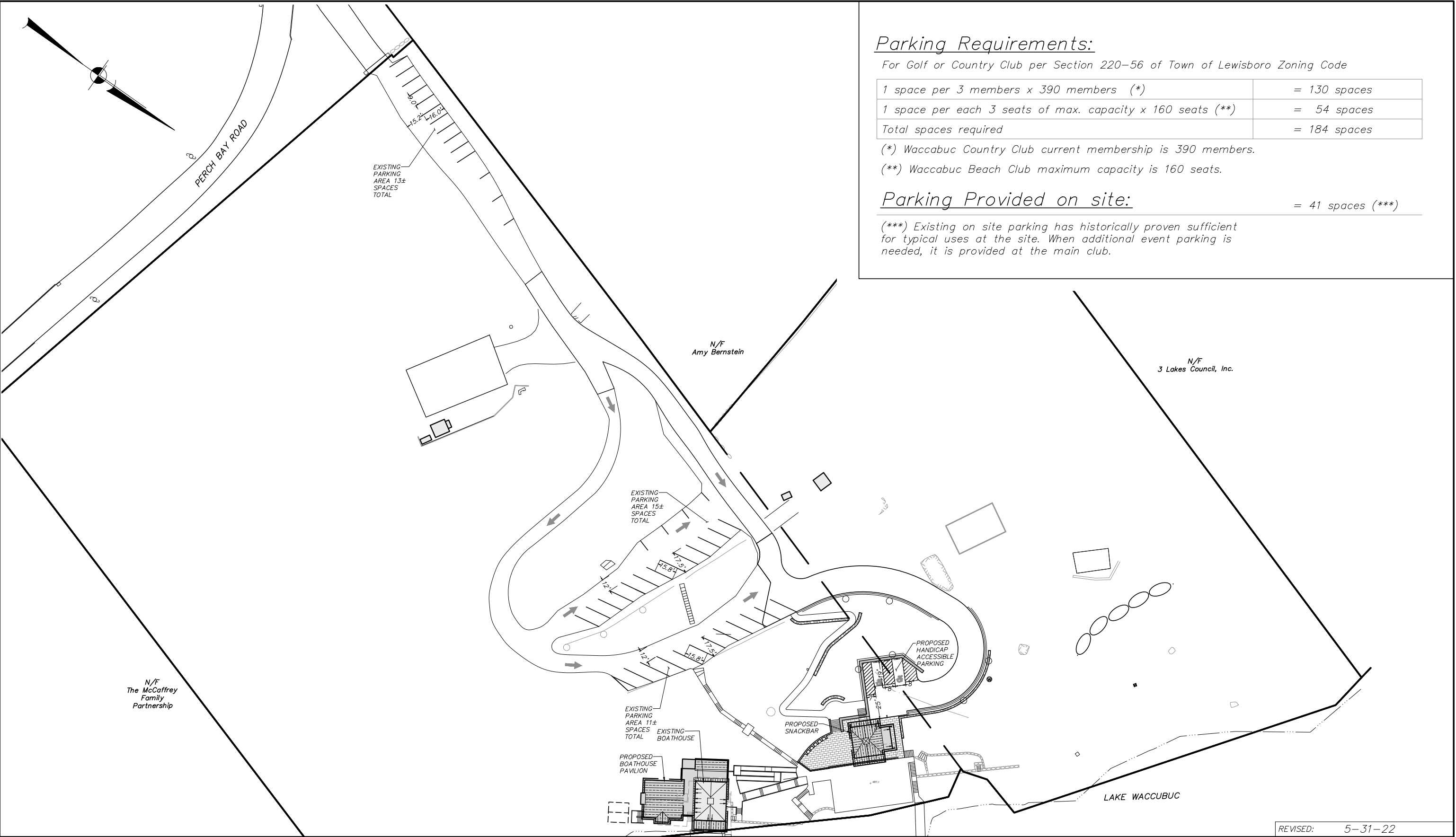
GRAPHIC SCALE

  
( IN FEET )  
1 inch = 70 ft.

DATE:	5-31-22
SCALE:	1" = 70'
PROJECT NO.:	20228.100
FIGURE:	FAP-1



Z:\E\20228100 Waccabuc CC-Beach Club\08 PS-1.dwg, 5/31/2022 1:29:41 PM, strichardsen, 1:1



Parking Requirements:

For Golf or Country Club per Section 220-56 of Town of Lewisboro Zoning Code

1 space per 3 members x 390 members (*)	= 130 spaces
1 space per each 3 seats of max. capacity x 160 seats (**)	= 54 spaces
Total spaces required	= 184 spaces

(\*) Waccabuc Country Club current membership is 390 members.

(\*\*) Waccabuc Beach Club maximum capacity is 160 seats.

Parking Provided on site:

= 41 spaces (\*\*\*)

(\*\*\*) Existing on site parking has historically proven sufficient for typical uses at the site. When additional event parking is needed, it is provided at the main club.

PROJECT:

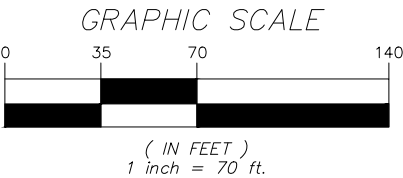
WACCABUC BEACH CLUB  
PERCH BAY ROAD, WACCABUC, NEW YORK 10597

DRAWING:

PARKING STUDY

PREPARED BY:

**INSITE**  
ENGINEERING, SURVEYING &  
LANDSCAPE ARCHITECTURE, P.C.  
3 Garrett Place • Carmel, New York 10512  
Phone (845) 225-9690 • Fax (845) 225-9717  
www.insite-eng.com



REVISED: 5-31-22

DATE: 3-29-22

SCALE: 1" = 70'

PROJECT NO.: 20228.100

FIGURE:  
PS-1

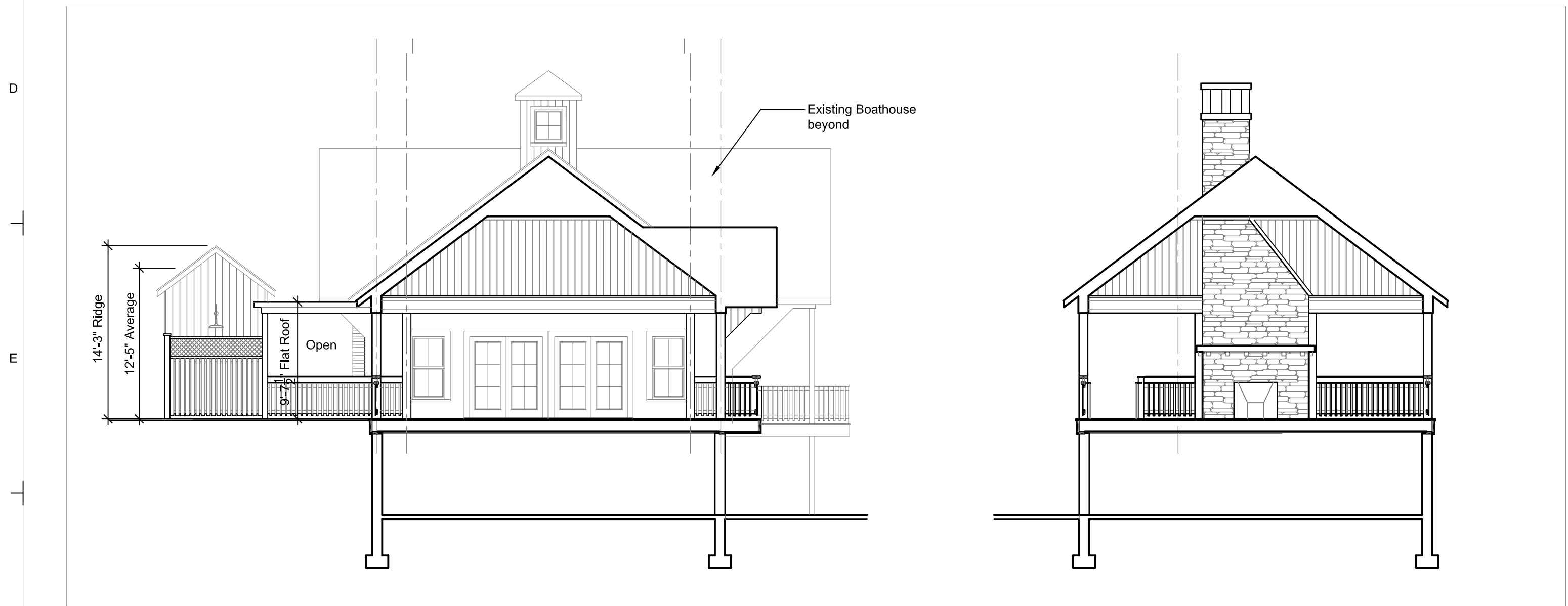




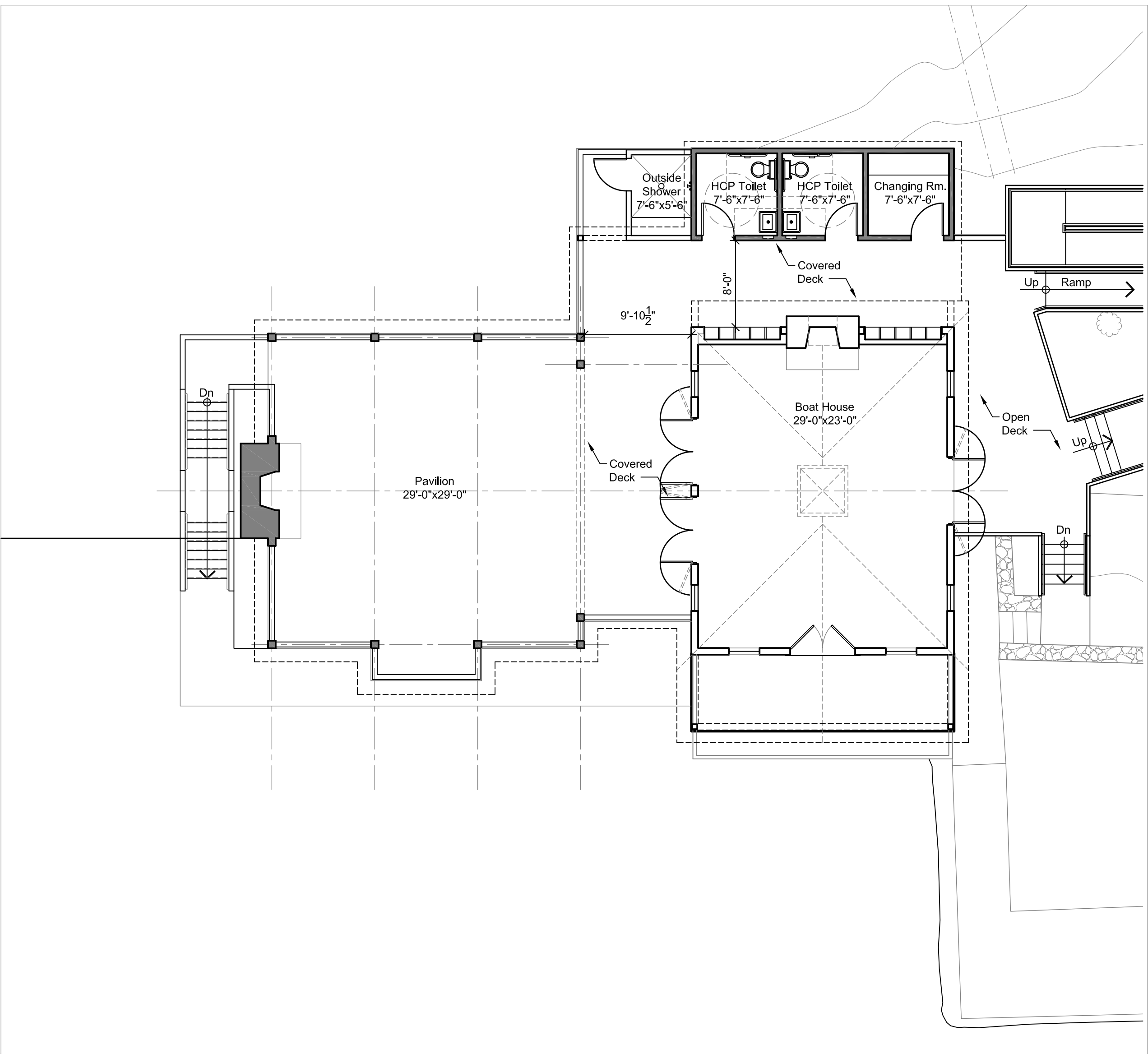
D5  
A1.0 BOATHOUSE - WEST ELEVATION  
1/8" = 1'-0"



D5  
A1.0 PAVILION / BOATHOUSE - NORTH ELEVATION  
1/8" = 1'-0"



D5  
A1.0 PAVILION - CROSS SECTIONS  
1/8" = 1'-0"



H8  
A1.0 BOATHOUSE / PAVILION / HCP BATHROOMS / CHANGING ROOM - FLOOR PLAN  
1/8" = 1'-0"

**DOYLE|COFFIN**  
ARCHITECTURE

Doyle Coffin Architecture, LLC  
158 Danbury Road  
Ridgefield, Connecticut 06877  
203|431|6001  
203|431|9764 fax  
info@doylecoffinarchitecture.com  
doylecoffinarchitecture.com

**PRELIMINARY NOT FOR CONSTRUCTION**  
THIS COMPUTER FILE / DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION. DO NOT START CONSTRUCTION WITHOUT A SEALED SET OF CONSTRUCTION DOCUMENTS FROM THE ARCHITECT.

NOTES

ALTERATIONS & ADDITIONS TO  
WACCABUC COUNTRY CLUB  
WATERFRONT

SNACK BAR

PERCH BAY ROAD  
WACCABUC, NEW YORK 10597

ISSUED 02/08/2022

PRINCIPAL JMD P.A.  
JOB NUMBER 969 SCALE AS NOTED

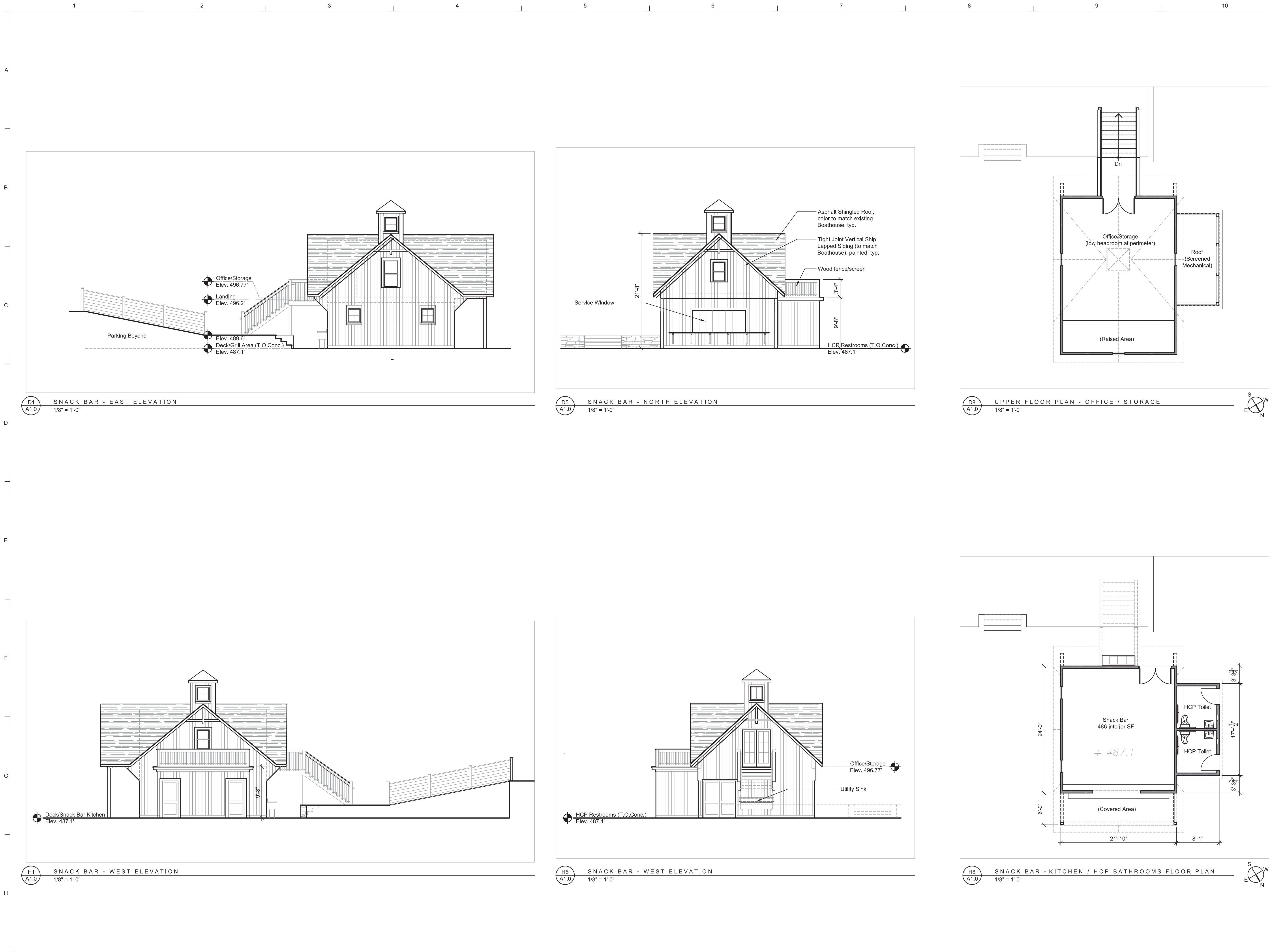
**SCHEMATIC DESIGN**  
**BOAT HOUSE, PAVILION**  
**RESTROOMS/CHANGING**  
**PLANS, ELEVATIONS &**  
**SECTION**

© DOYLE COFFIN ARCHITECTURE, LLC 2021

SHEET

**A1.1**





**DOYLE|COFFIN**  
ARCHITECTURE

Doyle Coffin Architecture, LLC  
158 Danbury Road  
Ridgefield, Connecticut 06877  
203|431|6001  
203|431|9764 fax  
info@doylecoffinarchitecture.com  
doylecoffinarchitecture.com

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ALTERATIONS & ADDITIONS TO  
WACCABUC COUNTRY CLUB  
WATERFRONT

SNACK BAR

PERCH BAY ROAD  
WACCABUC, NEW YORK 10597

ISSUED 02/08/2022

PRINCIPAL	JMD	P.A.
JOB NUMBER	969	SCALE AS NOTED

**SCHEMATIC DESIGN**  
**SNACK BAR**  
**PLANS & ELEVATIONS**

DOYLE COFFIN ARCHITECTURE, LLC 2021

REGISTERED ARCHITECT  
JOHN M. DOYLE  
NO. 028524  
STATE OF NEW YORK

SHEET

**A1.0**



**Waccubuc Country Club**  
**Lake Facility**  
**Statement of Use and Operations**  
March 29, 2022

The Waterfront Facility at Lake Waccabuc, is a seasonal facility, intended for use by Members and their Guests.

The Waterfront is open from Memorial Day Weekend to Labor Day. "Fire and Ice" is every Friday and Sunday evening from 5:00 to 10:00pm starting on May 28th. Bring your own food and beverage. Fire and ice provided.

During operating hours, there is a check-in staff member located at the entrance gate. All members must register at the check-in gate and notify the staff member if they are accompanied by any guests. The entrance gate will remain locked at all times during non-operating hours.

Summer day camp for the children of Members, begins the last week of June, runs for six consecutive weeks, ending in mid-August. Day camp hours are from 10:00 am to 3:30 pm, and swim team runs from 3:30 pm to 4:30 pm. Parents are required to register their children every morning at drop off, at the sports field, and continue on in their vehicle around the lower parking area, and back up through the main gate. Parents are not permitted to park at the facility during drop off or pick up from camp.

Waccubuc, from time to time, will allow for private events at the waterfront facility. Private events are limited to fifteen per season and capped at 150 people. Staffing for these events will consist of senior staff, senior lifeguards, and wait staff, totaling ten to fifteen people. Guests, and staff, must not exceed a total of 150 people.

Due to the limited amount of parking, overflow parking will occur at the main club house, and transportation to the Waterfront is provided in the club shuttle van.

**MAY**

Fire & Ice is every Friday and Sunday 5:00 to 10:00pm starting on May 27th  
May 29, 30, 31 - Beach will be open noon-6:00pm

**JUNE**

Fire & Ice every Friday and Sunday 5:00 to 10:00pm (Unless otherwise noted)  
June 4-5, 11-12 - Beach will be open noon-6:00pm  
June 13-June 30 - Beach will be open 10:00am-6:00pm (and open until 7:30pm on Fridays and Sundays for Fire & Ice)

**JULY**

Fire & Ice every Friday and Sunday 5:00 to 10:00pm (Unless otherwise noted)  
July 1-July 31 - Beach will be open 10:00am-6:00pm (and open until 7:30pm on Fridays and Sundays for Fire & Ice)



**AUGUST**

Fire & Ice every Friday and Sunday 5:00 to 10:00pm

August 1-August 14 - Beach will be open 10:00am-6:00pm (and open until 7:30pm on Fridays and Sundays for Fire & Ice)

August 15-August 28 - Beach will be open noon-6:00pm

**SEPTEMBER**

Beach will be open noon-6:00pm (Sept 5th is last day of swimming for the season)

**Rules and Regulations:**

- The Westchester County Board of Health regulations PERMIT SWIMMING ONLY WHEN A LIFEGUARD IS ON DUTY. This rule applies year-round. Swimming capacity is limited to 120 people.
- Children are not permitted to swim after 6:00 P.M. unless accompanied by their parents.
- Children whom the Waterfront Director considers capable of taking care of themselves are welcome unattended during normal hours of operation. Members' children and their guests under 16 years old must pass a water competency test conducted by the waterfront staff member in charge to swim in deep water.
- GUESTS MUST BE ACCOMPANIED BY A MEMBER. (Guests must be signed in at the entrance gate and introduced to the waterfront staff.) Babysitters and governesses who are not permanent residents of the member's household are to be considered guests and must be signed for on the charge sheet.
- The use of cellular phones is prohibited on the beach and deck area. They may be in the parking lot only.
- During the Waterfront season (Memorial Day thru Labor Day) dogs are not allowed at the Waterfront from the time the Waterfront opens until 8 p.m. Dogs are welcome during the other time periods as long as they are leashed and do not become a nuisance or menace to other members and their guests.

**BOATING****Rules and Regulations:**

- All boats, canoes, paddle boards and kayaks must be signed out at the **RULE BOARD**.
- Boating staff members are responsible for assisting members with loading and unloading. They are also responsible for storing and securing all boats during non-operating hours.



- Members are reminded that the Club has an agreement with the Lake Waccabuc Association and the Three Lakes Council that the use of outboard motors or other powered equipment, with the exception of the Club's fleet, will not be permitted from our beach facility.
- Due to environmental concerns, the club will no longer allow members to keep boats at the lake.
- The only watercrafts permitted for use are Club owned.
- In the case of inclement weather, use of waterfront craft shall be at the sole discretion of the staff member in charge.
- The use on Lake Waccabuc of any motorboat with motor propulsion exceeding 25 horsepower, based upon the manufacturer's rating, is prohibited.
- No motorboat shall be operated or driven before 8:30 am or after ½ hour after sunset.
- No motorboat shall be used for towing a person on water skis, surfboard or similar device before 10:00 am or after 4:00 pm
- There is no trespassing on the island or Castle Rock, as per the law.



**TOWN OF LEWISBORO**  
**NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on September 20, 2022 at 7:30 p.m., or soon thereafter, either in person at 79 Bouton Road, South Salem or (if permitted by law) using the videoconferencing app Zoom, regarding the following:

**Cal #06-22PB, #05-22WP, #03-22SW**

Application for beachfront improvements for the Waccabuc Country Club Snack Bar, 0 Perch Bay Road, Waccabuc, NY (Waccabuc Country Club Co., owner of record); Sheet 25, Block 11155, Lot 148 (±3.000 acres) and Sheet 25A, Block 10813, Lot 1 (±6.070 acres). The subject properties are located within a Residential Four-Acre (R-4A) Zoning District.

Due to public health and safety concerns related to the COVID-19 virus, the Planning Board is preparing to conduct the meeting either in person at 79 Bouton Road, South Salem or virtually over Zoom. If the meeting is held via Zoom, the public may view or participate through the Zoom app at <https://us06web.zoom.us/j/87284224453?pwd=Z2hNcVBjY1ArN280YUVLNkFtVEU5QT09> by clicking “Join a Meeting,” and entering Meeting ID: 872 8422 4453 Passcode: 194252. You may call in to the Zoom meeting at 1-929-205-6099 when prompted, enter Meeting ID: 872 8422 4453 Passcode: 194252. Please consult the Town of Lewisboro website <https://www.lewisborogov.com/planningboard> or call 914-763-5592 to confirm whether the meeting will be conducted in person or by videoconferencing.

The public will have the opportunity to review digital copies of materials and proposed site documents at <https://www.lewisborogov.com/planningboard> and a transcript will be available at a later date.

Interested members of the public are encouraged to provide written comments prior to and during the virtual public hearing by emailing Ciorsdan Conran, Planning Board Administrator, at [planning@lewisborogov.com](mailto:planning@lewisborogov.com) Please check the meeting agenda posted on the Board’s web page for additional instructions and updates.

A copy of materials and proposed site documents may be inspected at the office of the Planning Board Administrator, 79 Bouton Road, South Salem, New York during regular Planning Board hours. Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to attend the Public Hearing and all will be provided an opportunity to be heard.

**PLANNING BOARD**  
**TOWN OF LEWISBORO**  
By: Janet Andersen  
Chair

**Dated: August 22, 2022**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Administrator to the Planning Board in advance.





September 6, 2022

Town of Lewisboro Planning Board  
79 Bouton Road  
South Salem, NY 10590

RE: Waccabuc Beach Club  
Perch Bay Road  
Waccabuc, NY  
TM# Sheet 25, Block 11155, Lot 148  
Sheet 25A, Block 10813, Lot 01

Dear Chair Andersen and Members of the Board:

On behalf of Waccabuc Country Club, please find enclosed the following documents relative to the notice mailing to property owners via Certified U.S. Mail, noticing the Planning Board hearing scheduled for September 20, 2022.

- Affidavit of Mailing
- Included Notice of Public Hearing
- Mailing List of Property Owners
- Westchester County GIS Maps of Parcels within 500 feet of Subject Parcels
- USPS Certified Mail Receipts

Please incorporate the enclosed as part of the official record of the proceedings.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By:

Zachary M. Pearson, PE, Sr. Associate  
Senior Project Engineer

ZMP/dlm/sr/amk

Enclosures

cc: John Assumma

Insite File No. 20228.100



# Tax Parcel Maps

Address: PERCH B&amp;D

Print Key: 32.4-3-13

SBL: 03200400030130000000

**Disclaimer:**

This tax parcel map is provided as a public information source only, and should not be relied upon as a sole source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact the assessor's office of the municipality.

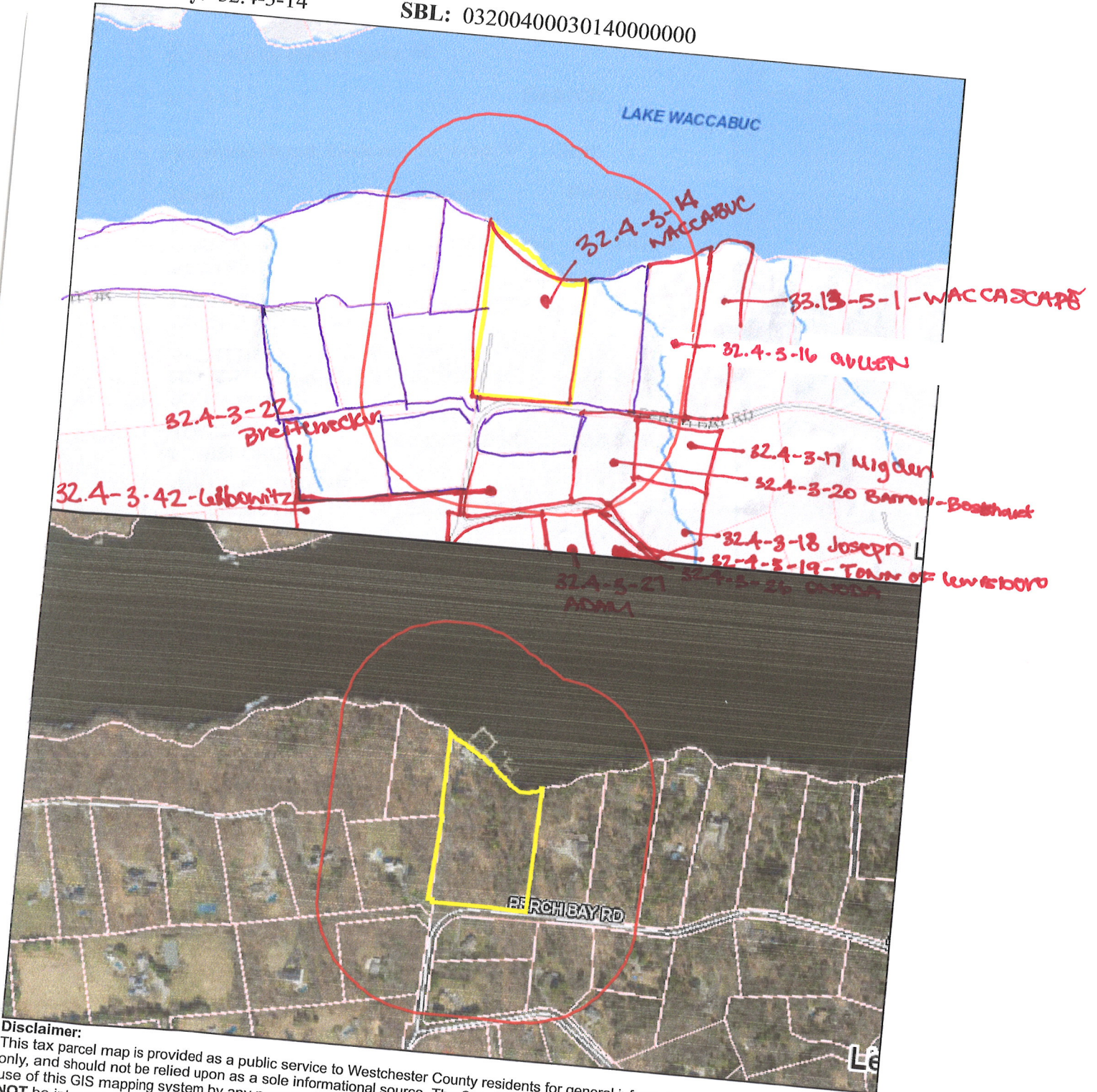


# Tax Parcel Maps

Address: PERCH BAY RD

Print Key: 32.4-3-14

SBL: 03200400030140000000



**Disclaimer:**

This tax parcel map is provided as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact the assessor's office of the municipality.



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CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Miami, FL 33133

OFFICIAL USE

Certified Mail Fee

\$4.00

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy)

\$

\$7.25  
\$0.00

☐ Return Receipt (electronic)

\$

\$0.00

☐ Certified Mail Restricted Delivery

\$

\$0.00

☐ Adult Signature Required

\$

\$0.00

☐ Adult Signature Restricted Delivery

\$

\$0.00

Postage

\$0.60

\$

Total

\$7.85

\$

Service

Street

City

PS

Leibowitz, Charlotte 1996 Res. Trust  
Tower 2, Apt. 8G  
Coral Gables, FL 33133

Postmark  
Here

09/02/2022

Instructions



20228100

## Certified Mail service provides the following benefits:

- A receipt (this portion of the Certified Mail label).
  - A unique identifier for your mailpiece.
  - Electronic verification of delivery or attempted delivery.
  - A record of delivery (including the recipient's signature) that is retained by the Postal Service for a specified period.
- Important Reminders:**
- You may purchase Certified Mail service with First-Class Mail®, First-Class Package Service®, or Priority Mail® service.
  - Certified Mail service is *not* available for international mail.
  - Insurance coverage is *not* available for purchase with Certified Mail service. However, the purchase of Certified Mail service does not change the insurance coverage automatically included with certain Priority Mail items.
  - For an additional fee, and with a proper endorsement on the mailpiece, you may request the following services:
    - Return receipt service, which provides a record of delivery (including the recipient's signature). You can request a hardcopy return receipt or an electronic version. For a hardcopy return receipt, complete PS Form 3811, *Domestic Return Receipt*; attach PS Form 3811 to your mailpiece;
    - Restricted delivery service, which provides delivery to the addressee specified by name, or to the addressee's authorized agent.
    - Adult signature service, which requires the signee to be at least 21 years of age (not available at retail).
    - Adult signature restricted delivery service, which requires the signee to be at least 21 years of age and provides delivery to the addressee specified by name, or to the addressee's authorized agent (not available at retail).
- To ensure that your Certified Mail receipt is accepted as legal proof of mailing, it should bear a USPS postmark. If you would like a postmark on this Certified Mail receipt, please present your Certified Mail item at a Post Office™ for postmarking. If you don't need a postmark on this Certified Mail receipt, detach the barcoded portion of this label, affix it to the mailpiece, apply appropriate postage, and deposit the mailpiece.
- IMPORTANT: Save this receipt for your records.**



U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Waccabuc, NY 10597

OFFICIAL USE

Certified Mail Fee

\$4.00

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy)

\$

\$3.25  
\$0.00

☐ Return Receipt (electronic)

\$

\$0.00

☐ Certified Mail Restricted Delivery

\$

\$0.00

☐ Adult Signature Required

\$

\$0.00

☐ Adult Signature Restricted Delivery

\$

\$0.00

Postage

\$0.60

McKeon, John J. &  
Susan A.

PO Box 132

Waccabuc, NY 10597

0018  
99

Postmark  
Here

09/02/2022

7021 1970 0000 6406 9049 0000 0267 1202



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- A receipt (this portion of the Certified Mail label).
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- Electronic verification of delivery or attempted delivery.
- A record of delivery (including the recipient's signature) that is retained by the Postal Service™ for a specified period.

### Important Reminders:

- You may purchase Certified Mail service with First-Class Mail®, First-Class Package Service®, or Priority Mail® service.
- Certified Mail service is *not* available for international mail.
- Insurance coverage is *not* available for purchases with Certified Mail service. However, the purchase of Certified Mail service does not change the insurance coverage automatically included with certain Priority Mail items.
- For an additional fee, and with a proper endorsement on the mailpiece, you may request the following services:
  - Return receipt service, which provides a record of delivery (including the recipient's signature). You can request a hardcopy return receipt or an electronic version. For a hardcopy return receipt, complete PS Form 3811, *Domestic Return Receipt*; attach PS Form 3811 to your mailpiece;

for an electronic return receipt, see a retail associate for assistance. To receive a duplicate return receipt for no additional fee, present this USPS®-postmarked Certified Mail receipt to the retail associate.

Restricted delivery service, which provides delivery to the addressee specified by name, or to the addressee's authorized agent.

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**IMPORTANT: Save this receipt for your records.**

20228100



U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

South Salem, NY 10590

Certified Mail Fee

\$4.00

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy)

\$

\$3.75  
\$0.00

☐ Return Receipt (electronic)

\$

\$0.00

☐ Certified Mail Restricted Delivery

\$

\$0.00

☐ Adult Signature Required

\$

\$0.00

☐ Adult Signature Restricted Delivery

\$

\$0.00

Postage

\$0.60

\$

Total Payment

\$7.85

\$

Sent To

Street

City, State

Town of Lewisboro

79 Bouton Road

South Salem, NY 10590

0018  
99

Postmark  
Here

09/02/2022

PS Form 3800

Instructions



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- Restricted delivery service, which provides delivery to the addressee specified by name, or to the addressee's authorized agent.
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- Adult signature restricted delivery service, which requires the signee to be at least 21 years of age and provides delivery to the addressee specified by name, or to the addressee's authorized agent (not available at retail).
- To ensure that your Certified Mail receipt is accepted as legal proof of mailing, it should bear a USPS postmark. If you would like a postmark on this Certified Mail receipt, please present your Certified Mail item at a Post Office™ for postmarking. If you don't need a postmark on this Certified Mail receipt, detach the barcoded portion of this label, affix it to the mailpiece, apply appropriate postage, and deposit the mailpiece.

**IMPORTANT: Save this receipt for your records.**



U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Yorktown Heights, NY 10598

Certified Mail Fee **\$4.00**

\$ **\$3.25**

Extra Services & Fees (check box, add fee as appropriate)

- |  |                  |
|--|------------------|
| <input type="checkbox"/> Return Receipt (hardcopy)           | \$ <b>\$0.00</b> |
| <input type="checkbox"/> Return Receipt (electronic)         | \$ <b>\$0.00</b> |
| <input type="checkbox"/> Certified Mail Restricted Delivery  | \$ <b>\$0.00</b> |
| <input type="checkbox"/> Adult Signature Required            | \$ <b>\$0.00</b> |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ <b>\$0.00</b> |

Postage **\$0.60**

\$ **\$7.85**

Gullen, J. Waldie &  
Barbara M. Trust  
33 Pinesbridge Road  
Yorktown Heights, NY 10598



09/02/2022

or Instructions



# Certified Mail service provides the following benefits:

- A receipt (this portion of the Certified Mail label).
- A unique identifier for your mailpiece.
- Electronic verification of delivery or attempted delivery.
- A record of delivery (including the recipient's signature) that is retained by the Postal Service™ for a specified period.

## Important Reminders:

- You may purchase Certified Mail service with First-Class Mail®, First-Class Package Service®, or Priority Mail® service.
- Certified Mail service is *not* available for international mail.
- Insurance coverage is *not* available for purchase with Certified Mail service. However, the purchase of Certified Mail service does not change the insurance coverage automatically included with certain Priority Mail items.
- For an additional fee, and with a proper endorsement on the mailpiece, you may request the following services:
  - Return receipt service, which provides a record of delivery (including the recipient's signature). You can request a hardcopy return receipt or an electronic version. For a hardcopy return receipt, complete PS Form 3811, *Domestic Return Receipt*; attach PS Form 3811 to your mailpiece;

for an electronic return receipt, see a retail associate for assistance. To receive a duplicate return receipt for no additional fee, present this USPS®-postmarked Certified Mail receipt to the retail associate.

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U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Waccabuc, NY 10597

OFFICIAL USE

Certified Mail Fee

\$4.00

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy)

\$

☐ Return Receipt (electronic)

\$

☐ Certified Mail Restricted Delivery

\$

☐ Adult Signature Required

\$

☐ Adult Signature Restricted Delivery

\$

Postage

\$0.60

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Tr

\$

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\$

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\$7.85

Glading, Randall & Laura  
PO Box 423  
Waccabuc, NY 10597

Postmark  
Here

09/02/2022



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**IMPORTANT: Save this receipt for your records.**

20228100

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

New York, NY 10011

OFFICIAL USE

Certified Mail Fee

\$4.00

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy)

\$

\$3.25

☐ Return Receipt (electronic)

\$

\$0.00

☐ Certified Mail Restricted Delivery

\$

\$0.00

☐ Adult Signature Required

\$

\$0.00

☐ Adult Signature Restricted Delivery

\$

Postage

\$0.60

\$

\$7.85

Postmark  
Here

09/02/2022

Onoda, Hiroko  
201 W 16st, Apt. 5G  
New York, NY 10011

for Instructions



20228100

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U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Waccabuc, NY 10597

OFFICIAL USE

Certified Mail Fee

\$4.00

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$ \$0.00
- ☐ Return Receipt (electronic) \$ \$0.00
- ☐ Certified Mail Restricted Delivery \$ \$0.00
- ☐ Adult Signature Required \$ \$0.00
- ☐ Adult Signature Restricted Delivery \$ \$0.00

Postage

\$0.60

\$

Tr

\$7.85

\$

\$

\$

\$

\$

\$

Jennifer Dubinsky  
8 Perch Bay Road  
Waccabuc, NY 10597

0018

99

Postmark  
Here

09/02/2022

or Instructions



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**IMPORTANT: Save this receipt for your records.**

20228100

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Waccabuc, NY 10597

OFFICIAL USE

Certified Mail Fee

\$4.00

\$

\$3.25

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy)

\$

\$0.00

☐ Return Receipt (electronic)

\$

\$0.00

☐ Certified Mail Restricted Delivery

\$

\$0.00

☐ Adult Signature Required

\$

\$0.00

☐ Adult Signature Restricted Delivery

\$

\$0.00

Postage

\$0.60

\$

\$7.85

0018

99

Postmark  
Here

09/02/2022

Migden, David  
PO Box 263  
Waccabuc, NY 10597

for Instructions



## Certified Mail service provides the following benefits:

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- A unique identifier for your mailpiece.
- Electronic verification of delivery or attempted delivery.
- A record of delivery (including the recipient's signature) that is retained by the Postal Service for a specified period.

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- For an additional fee, and with a proper endorsement on the mailpiece, you may request the following services:
  - Return receipt service, which provides a record of delivery (including the recipient's signature). You can request a hardcopy return receipt or an electronic version. For a hardcopy return receipt, complete PS Form 3811, *Domestic Return Receipt*, attach PS Form 3811 to your mailpiece; Receipt, attach PS Form 3811 to your mailpiece;

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**IMPORTANT: Save this receipt for your records.**

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

South Salem, NY 10590

OFFICIAL USE

Certified Mail Fee

\$4.00

\$

\$7.25

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy)

\$

\$0.00

☐ Return Receipt (electronic)

\$

\$0.00

☐ Certified Mail Restricted Delivery

\$

\$0.00

☐ Adult Signature Required

\$

\$0.00

☐ Adult Signature Restricted Delivery

\$

\$0.00

Postage

\$0.60

\$

\$7.85

Postmark  
Here

09/02/2022

Three Lakes Council, Inc.  
PO Box 241  
South Salem, NY 10590



## Certified Mail service provides the following benefits:

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Adult signature service, which requires the signee to be at least 21 years of age (not available at retail).

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**IMPORTANT: Save this receipt for your records.**

20228100

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Key Biscayne, FL 33149

Certified Mail Fee

\$4.00

\$

Extra Services & Fees (check box, add fee as appropriate)

- |  |    |        |
|--|----|--------|
| <input type="checkbox"/> Return Receipt (hardcopy)           | \$ | \$0.00 |
| <input type="checkbox"/> Return Receipt (electronic)         | \$ | \$0.00 |
| <input type="checkbox"/> Certified Mail Restricted Delivery  | \$ | \$0.00 |
| <input type="checkbox"/> Adult Signature Required            | \$ | \$0.00 |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ | \$0.00 |

Postage

\$0.60

\$

To

\$7.85

\$

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\$

The McCaffrey Family Partnership  
177 Ocean Lane Drive  
Key Biscayne, FL 33149



09/02/2022

or Instructions



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**CERTIFIED MAIL® RECEIPT**  
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For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Waccabuc, NY 10597

OFFICIAL USE

Certified Mail Fee

\$4.00

\$

\$3.25

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy)

\$

\$0.00

☐ Return Receipt (electronic)

\$

\$0.00

☐ Certified Mail Restricted Delivery

\$

\$0.00

☐ Adult Signature Required

\$

\$0.00

☐ Adult Signature Restricted Delivery

\$

\$0.00

Postage

\$0.60

\$

Total

\$7.85

\$

Sen

Thompson, Keith Erling &  
Catherine D.  
PO Box 2

Stre

City

Waccabuc, NY 10597

0018

99

Postmark  
Here

09/02/2022

Instructions



20228100

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**IMPORTANT: Save this receipt for your records.**

# U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Waccabuc, NY 10597

OFFICIAL USE

Certified Mail Fee

\$4.00

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy)

\$

☐ Return Receipt (electronic)

\$

☐ Certified Mail Restricted Delivery

\$

☐ Adult Signature Required

\$

☐ Adult Signature Restricted Delivery

\$

Postage

\$0.60

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Bernstein, Amy W.

PO Box 208

Waccabuc, NY 10597

0018

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Postmark  
Here

09/02/2022



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20228100

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

South Salem, NY 10590

OFFICIAL USE

Certified Mail Fee

\$4.00

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy)

\$

☐ Return Receipt (electronic)

\$

☐ Certified Mail Restricted Delivery

\$

☐ Adult Signature Required

\$

☐ Adult Signature Restricted Delivery

\$

Postage

\$0.60

\$

\$7.85

Adam, Marjorie  
60 Post Office Road  
South Salem, NY 10590

0018

99

Postmark  
Here

09/02/2022



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U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

*Domestic Mail Only*

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

Waccabuc, NY 10597

OFFICIAL USE

Certified Mail Fee

\$4.00

\$

\$7.25

Extra Services & Fees (check box, add fee as appropriate).

☐ Return Receipt (hardcopy)

\$

\$0.00

☐ Return Receipt (electronic)

\$

\$0.00

☐ Certified Mail Restricted Delivery

\$

\$0.00

☐ Adult Signature Required

\$

\$0.00

☐ Adult Signature Restricted Delivery

\$

\$0.00

Postage

\$0.60

\$

To

\$7.85

\$

\$

\$

\$

\$

\$

\$

\$

\$

Hauser, Seth A. &  
Lori A.

PO Box 68

Waccabuc, NY 10597

0018

99

Postmark

Here

SEP - 2 2022

09/02/2022

or Instructions



20228100

## Certified Mail service provides the following benefits:

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- A unique identifier for your mailpiece.
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### Important Reminders:

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Waccabuc, NY 10597

OFFICIAL USE

Certified Mail Fee \$4.00

\$ 13.25

Extra Services & Fees (check box, add fee as appropriate)

- |  |         |
|--|---------|
| <input type="checkbox"/> Return Receipt (hardcopy)           | \$ 0.00 |
| <input type="checkbox"/> Return Receipt (electronic)         | \$ 0.00 |
| <input type="checkbox"/> Certified Mail Restricted Delivery  | \$ 0.00 |
| <input type="checkbox"/> Adult Signature Required            | \$ 0.00 |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ 0.00 |

Postage \$0.60

\$

Total Postage and Fees \$7.85

\$

Sent Joseph, Robin T. &  
Jasmine T.

Street 71 Post Office Road

City, Waccabuc, NY 10597

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99

Postmark  
Here

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09/02/2022

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2021 1970 0000 6406 8588 8858 9049 0000 0261 7202



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Cross River, NY 10518

OFFICIAL USE

Certified Mail Fee

\$4.00

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy)

\$

\$0.00

☐ Return Receipt (electronic)

\$

\$0.00

☐ Certified Mail Restricted Delivery

\$

\$0.00

☐ Adult Signature Required

\$

\$0.00

☐ Adult Signature Restricted Delivery

\$

\$0.00

Postage

\$0.60

\$

Total Postage and Fees

\$7.85

Terwedow, Paul J. &  
Rebecca S.  
6 Perch Bay Road  
Waccabuc, NY 10597



See for Instructions



20228100

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\$

☐ Return Receipt (electronic)

\$

☐ Certified Mail Restricted Delivery

\$

☐ Adult Signature Required

\$

☐ Adult Signature Restricted Delivery

\$

Postage

\$0.60

\$

\$7.85  
Waccascape, LLC  
c/o M. & J. Durst  
PO Box 360  
Cross River, NY 10518

0018

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Postmark  
Here

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09/02/2022

See Reverse for Instructions



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Waccabuc, NY 10597

OFFICIAL USE

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\$

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- |  |    |        |
|--|----|--------|
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| <input type="checkbox"/> Adult Signature Required            | \$ | \$0.00 |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ | \$0.00 |

Postage \$0.60

\$

Total \$7.85

\$

Se Breitenecker, Roland L. &  
Str Kang, Joo In  
3 Perch Bay Road  
Cit Waccabuc, NY 10597

PS



09/02/2022

Instructions



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**Waccabuc CC/Beach Club**  
Property Owners within 500 feet  
Tax Map # 32.4-3-13 & 14  
August 26, 2022

<b>Tax Map #</b>	<b>Name/Address</b>			
1. 11155-54-25 32.4-3-42	Leibowitz, Charlotte 1996 Res. Trust Tower 2, Apt. 8G Coral Gables, FL 33133	13.	10812-23-25 32.4-3-27	Adam, Marjorie 60 Post Office Road South Salem, NY 10590
2. 10816-1-25A 32.4-3-22	Breitenecker, Roland L. & Kang, Joo In 3 Perch Bay Road Waccabuc, NY 10597	14.	10816-3-25A 32.4-3-20	Hauser, Seth A. & Lori A. PO Box 68 Waccabuc, NY 10597
3. 10804-75-32A 32.4-3-19	Town of Lewisboro 79 Bouton Road South Salem, NY 10590	15.	10816-17-25A 32.4-3-18	Joseph, Robin T. & Jasmine T. 71 Post Office Road Waccabuc, NY 10597
4. 10813-3-25A 32.4-3-16	Gullen, J. Waldie & Barbara M. Trust 33 Pinesbridge Road Yorktown Heights, NY 10598	16.	11155-173-25 32.4-3-44	Terwedow, Paul J. & Rebecca S. 6 Perch Bay Road Waccabuc, NY 10597
5. 10816-2-25A 32.4-3-21	Glading, Randall & Laura PO Box 423 Waccabuc, NY 10597	17.	10813-4-25A 33.13-5-1	Waccascape, LLC c/o M. & J. Durst PO Box 360 Cross River, NY 10518
6. 10812-24-25 32.4-3-26	Onoda, Hiroko 201 W 16st, Apt. 5G New York, NY 10011	18.	11155-155-25 32.4-3-47	McKeon, John J. & Susan A. PO Box 132 Waccabuc, NY 10597
7. 11155-61-25 32.4-3-43	Jennifer Dubinsky 8 Perch Bay Road Waccabuc, NY 10597			
8. 10816-4-25A 32.4-3-17	Migden, David PO Box 263 Waccabuc, NY 10597			
9. 11155-139-25 32.4-3-12	Three Lakes Council, Inc. PO Box 241 South Salem, NY 10590			
10. 10813-2-25A 32.4-3-15	The McCaffrey Family Partnership 177 Ocean Lane Drive Key Biscayne, FL 33149			
11. 11155-57-25 32.4-3-46	Thompson, Keith Erling & Catherine D. PO Box 2 Waccabuc, NY 10597			
12. 11155-4-25 32.4-3-45	Bernstein, Amy W. PO Box 208 Waccabuc, NY 10597			



## AFFIDAVIT OF PUBLIC HEARING NOTICE

In the matter of an application by Waccabuc Country Club seeking approval for beachfront improvements for Waccabuc Country Club snack bar located at 0 Perch Bay Road in the Town of Lewisboro.  
TM# Sheet 25, Block 11155, Lot 148 and Sheet 25A, Block 10813, Lot 01

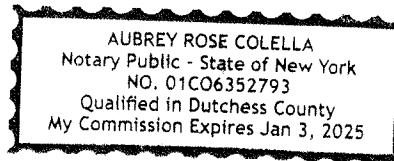
STATE OF NEW YORK

COUNTY OF PUTNAM

DAWN L. MCKENZIE, RLA of Insite Engineering, Surveying & Landscape Architecture, P.C., being duly sworn says on September 2, 2022, I notified the neighbors as defined to me by the Westchester County GIS and Town of Lewisboro online Tax Status (<https://lewisboromunicipaltaxpayments.com>), via certified U.S. Mail, noticing the September 20, 2022 Planning Board Public Hearing.

*The Notices were mailed on September 2, 2022. (DLM)*

Sworn to before me this 6<sup>th</sup>  
day of September, 2022



Aubrey Colella  
NOTARY PUBLIC

Dawn McKenzie  
Dawn L. McKenzie, RLA of  
Insite Engineering, Surveying &  
Landscape Architecture, P.C.  
on behalf of the Applicant



NO  
PARKING  
ANY  
TIME

NOTICE

This property is the subject of an application before the  
Lewistown Planning Board.  
Public Hearing has been scheduled at which time all interested parties  
will be afforded an opportunity to be heard.

Please contact the Planning Board Secretary at  
914-763-5592  
or visit  
[www.lewistownny.com](http://www.lewistownny.com)  
for additional information



**NO  
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ANY  
TIME**

**NOTICE**

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for additional information



#14-22PB

**TOWN OF LEWISBORO PLANNING BOARD**

79 Bouton Road, South Salem, NY 10590 Tel: (914) 763-5592 Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)

**Site Development Plan/Subdivision Plat Application - Check all that apply:**

Waiver of Site Development Plan Procedures ☒  
Site Development Plan Approval ☐  
Special Use Permit Approval ☐  
Subdivision Plat Approval ☐

Step I ☐  
Step I ☐  
Step I ☐  
Step II ☐  
Step II ☐  
Step II ☐

Step III ☐

RECEIVED  
LEWISBORO

PLANNING  
BOARD

**Project Information**

Project Name: VISTA MARKET

Project Address: 469 SMITH RIDGE ROAD, VISTA, NY. 10590

Gross Parcel Area: \_\_\_\_\_ Zoning District: \_\_\_\_\_ Sheet(s): 53 Block(s): 9834 Lot(s): 32

Project Description: REMOVE 4-120 GALLON PROPANE TANKS AND RELOCATE TO OTHER SIDE OF BUILDING, RUN LINE ALONG WALL TO PLUMBERS STUB

Is the site located within 500 feet of any Town boundary?  
Is the site located within the New York City Watershed?  
Is the site located on a State or County Highway?

YES ☐ NO ☒  
YES ☐ NO ☒  
YES ☐ NO ☒

Does the proposed action require any other permits/approvals from other agencies/departments?

Town Board ☐  
ACARC ☐  
NYSDOT ☐

ZBA ☐  
NYSDEC ☐  
Town Wetland ☐

Building Dept. ☒  
NYCDEP ☐  
Town Stormwater ☐

Town Highway ☐  
WCDH ☐

Other \_\_\_\_\_

**Owner's Information**

Name: K. RANA Email: 332WILTONROAD@GMAIL.COM

Address: 469 SMITH RIDGE ROAD Phone: 1-914-533-6627

**Applicant's Information (if different)**

Name: HOCON GAS Email: PKOBA@HOCONGAS.COM

Address: 33 ROCKLAND ROAD, NORWALK, CT. 06854 Phone: 203-853-1500

**Authorized Agent's Information**

Name: MARSHALL CONVERSE Email: MARGACONI@GMAIL.COM

Address: 33 ROCKLAND ROAD, NORWALK, CT 06854 Phone: 203-515-1146

THE APPLICANT understands that any application is considered complete only when all information and documents required have been submitted and received by the Planning Board. The applicant further understands that the applicant is responsible for the payment of all application and review fees incurred by the Planning Board.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief, and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

APPLICANT'S SIGNATURE [Signature]

DATE 8/1/02

OWNER'S SIGNATURE [Signature]

DATE 8/1/02

# TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590

Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)

Tel: (914) 763-5592

Fax: (914) 875-9148

## Affidavit of Ownership

State of: NEW YORK

County of: \_\_\_\_\_

K. DMA being duly sworn, deposes and says that he/she  
resides at VISTA MARKET, 469 SMITH RIDGE ROAD, VISTA, NY 10590

in the County of WESTCHESTER, State of NEW YORK

and that he/she is (check one) ☒ the owner, or ☐ the \_\_\_\_\_  
of VISTA MARKET, 469 SMITH RIDGE ROAD, VISTA, NY 10590 Title  
*Name of corporation, partnership, or other legal entity*

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the  
Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of  
Lewisboro as:

Block 9834, Lot 32, on Sheet 53

[Signature]  
Owner's Signature

Sworn to before me this

2nd day of August, 2022

[Signature]  
Notary Public - affix stamp

my commission Expires 2/28/23



## TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590  
Email: [planning@lewisboronyc.gov](mailto:planning@lewisboronyc.gov)  
Tel: (914) 763-5592 Fax: (914) 875-9148

### Tax Payment Affidavit Requirement

*This form must accompany all applications to the Planning Board.*

*Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.*

*Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.*

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

#### To Be Completed by Applicant (Please type or print)

Hocon Gas - Philip Koba

Name of Applicant

Vista Market - propane tanks

Project Name

#### Property Description

Tax Block(s): 9834

Tax Lot(s): 32

Tax Sheet(s): 53

#### Property Assessed to:

Visnor Property LLC

Name A. Apazidis

Address 7 Rudolf Lane

City Norwalk

State CT Zip 06851

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

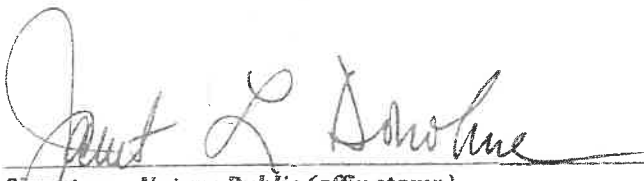
Signature - Receiver of Taxes:

Date

Sworn to before me this

day of

2022

  
Signature - Notary Public (affix stamp)

JANET L. DONOHUE  
NOTARY PUBLIC, STATE OF NEW YORK  
No. 01D06259627  
Qualified in Westchester County  
Commission Expires April 15, 2024





George Latimer  
Westchester County Executive



James Maisano  
Director, Consumer Protection

## Department of Consumer Protection Home Improvement License

HOCON GAS, INC.  
6 ARMSTRONG ROAD - 3RD FLOOR  
SHELTON, CT-06484

This license is issued in accordance with Article XVI of the Westchester County Consumer Protection Code and is valid only upon presence of the official department seal. Proof of citizenship or immigration status is not required for issuance of this license.  
NOT FOR FEDERAL PURPOSES

License Number

WC-31628-H19



Date of Expiration

03/27/2023

Technical drawing of a U-bolt with the following dimensions:

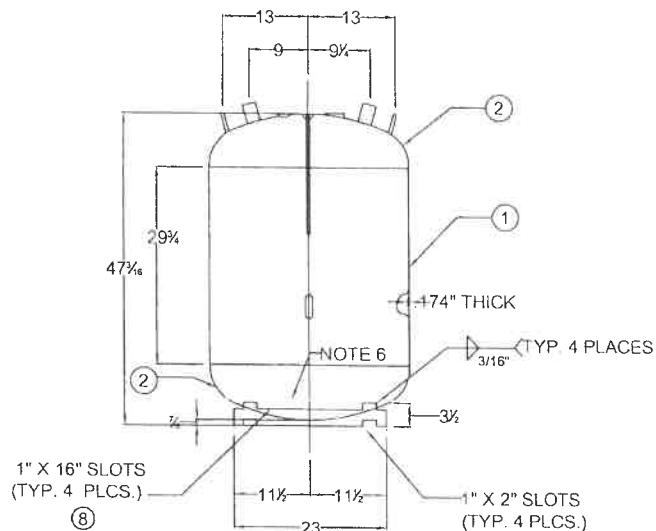
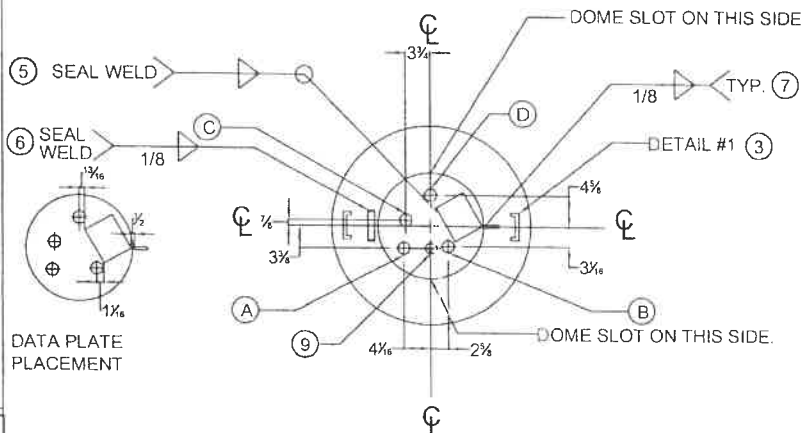
- Ø 1/2 (Bolt diameter)
- R 1/2 (Radius of the U-bend)
- 3/16 (Thickness of the U-bolt body)
- 2 7/8 (Height of the U-bend)
- 4 1/8 (Overall length of the U-bolt)


DETAIL " 1 "  
LIFTING LUG

REV.	BY:	DESCRIPTION	DATE:
0	CDH	ORIGINAL ISSUE	6/6/02
1	CDH	RELOCATED DATA PLATE AND ANODE LUG	6/27/02
2	CDH	ADDED SQUIBB TAYLOR FLT. GA. OPTION	2/4/03
3	CDH	REVISED MDMT PRESSURE TO 250 PSI	3/11/03
4	CDH	CORRECTED FITTINGS TO COUPLINGS	3/27/03
5	CDH	ADDED WELD SYMBOL TO SUPPORT RING	4/8/03
6	CDH	REVISED DOME TO DETAIL NO. 35	5/29/03
7	wlo	ADD NOTE FOR DIPPING & A1011 MATERIAL	5/7/04

MARK	QTY.	DESCRIPTION	DWG. NO
1	1	SHELL - 0.174" X 29 3/4" X 93 1/2" - SA414G	
2	2	HEADS - 30" O.D. X 0.173" - ELLIPTICAL - SA414G	
3	2	LIFTING LUGS, 1/2" Ø	
4	1	DOME SQ. EDGE (NOT SHOWN)	D - 35
5	1	DATA PLATE	
6	1	DOME HINGE	D - 22
7	1	DOME HASP	D - 6
8	1	SUPPORT RING, 3/16" X 3 1/2" X 72"	D - 18
9	1	ANODE ATTACHMENT	D - 7

MARK	QTY	SIZE	TYPE	FITTINGS		SERVICE
				SQUIBB-TAYLOR	SHERWOOD	
A	1	3/4	FULL CPLG		PVE3250ALG7-11.0	SERVICE VALVE
B	1	1 1/4	HALF CPLG.		PVE623B	FILL VALVE
C	1	1	HALF CPLG.		UV445AM	RELIEF VALVE
D	1	1	HALF CPLG.	HA254J	FG3961-001A	FLOAT GAUGE



 NATL. BD. SERIAL No. <span style="border: 1px solid black; padding: 2px 20px;"></span>	
<b>CERTIFIED BY: AMERICAN WELDING &amp; TANK</b>	
HARSCO CORPORATION GAS & FLUID CONTROL GROUP	
JESUP, GEORGIA-BLOOMFIELD, IOWA, SAULT LAKE CITY, UTAH-FREMONT, OHIO	
<div style="border: 1px solid black; padding: 10px; text-align: center; font-size: 2em; font-weight: bold;">U</div> <div style="border: 1px solid black; padding: 2px; text-align: center;">           W RT7         </div>	MAX. ALLOW. WORKING PRESS. <span style="border: 1px solid black; padding: 2px 10px;">250</span> PSI AT <span style="border: 1px solid black; padding: 2px 10px;">400</span> °F MDMT <span style="border: 1px solid black; padding: 2px 10px;">-20</span> °F AT <span style="border: 1px solid black; padding: 2px 10px;">250</span> PSI PLANT NO. <span style="border: 1px solid black; padding: 2px 20px;"></span> <div style="border: 1px solid black; height: 20px; width: 100%; margin-top: 5px;"></div>
SERIAL NO. <span style="border: 1px solid black; padding: 2px 20px;">2UL</span> LENGTH <span style="border: 1px solid black; padding: 2px 10px;">45.7</span> IN. HEAD THK. <span style="border: 1px solid black; padding: 2px 10px;">.173</span> IN. UNDER GROUND TYPE <span style="border: 1px solid black; padding: 2px 10px;">AWT-UG</span> <div style="border: 1px solid black; height: 60px; width: 100%; margin-top: 10px;"></div>	<div style="border: 1px solid black; padding: 2px 20px;">YEAR BUILT <span style="border: 1px solid black; padding: 2px 10px;">20</span></div> OUTSIDE DIA. <span style="border: 1px solid black; padding: 2px 10px;">30</span> IN. SHELL THK. <span style="border: 1px solid black; padding: 2px 10px;">.174</span> IN. SURFACE AREA <span style="border: 1px solid black; padding: 2px 10px;">33.2</span> SQ. FT. HEAD D.R. <span style="border: 1px solid black; padding: 2px 10px;">2:1</span> WATER CAPACITY <span style="border: 1px solid black; padding: 2px 10px;">120</span> GALS. <div style="border: 1px solid black; height: 40px; width: 100%; margin-top: 10px;"></div>
THIS CONTAINER SHALL NOT CONTAIN A PRODUCT HAVING A VAPOR PRESSURE IN EXCESS OF 215 PSI AT 100°F. DIP TUBE LENGTH-89% FULL @ 50 DEG F D.T.-11.0 IN	

GENERAL NOTES:

1. LIFTING LUGS DESIGNED FOR TOTAL LIFTING WEIGHT OF 565#
2. TOTAL EMPTY WEIGHT IS 260#.
3. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED.
4. EXTERIOR OF TANK TO BE BRIT BLASTED.
5. PAINT PER SHOP ORDER.
6. UNLESS OTHERWISE SPECIFIED APPLY PAINT  
TO BOTTOM BY DIPPING (4" MINIMAL)
7. VACUUM PURGE TANK.
8. COMPLETE TANK DRIED TO REMOVE ALL MOISTURE.
9. THREADS OF ALL FITTINGS TO BE COATED WITH COMPOUND  
SUITABLE FOR USE WITH LP GAS.

GENERAL SPECIFICATIONS	
WATER CAPACITY (GALLONS)	120
ALLOWABLE WORKING PRESSURE (PSIG)	250
JOINT EFFICIENCY:	100 %
ASME UW-51 LONG SEAM	100 %
ASME UW-52 HEAD TO SHELL	
HYDROSTATIC TEST PRESSURE (PSIG)	325
SURFACE AREA (SQ. FT.)	33.2
RELIEF VALVE SETTING (PSIG)	250
RELIEF VALVE DISCHARGE RATE - (CFM REQ'D.)	287
CODE:	ASME SECTION VIII, DIV. I
STANDARDS:	NFPA 98 LP GAS CODE
MATERIAL SPECS.:	MH-5127
COUPLINGS	SA-105
TANK FLANGES	SA-105
SUPPORT RING	SA-36 OR SA-455
HASP & HINGE	A-1011

120 W.G. UNDERGROUND  
VERTICAL PROPANE TANK

AMERICAN WELDING & TANK

HARSCO CORPORATION GAS &amp; FLUID CONTROL GROUP

PART #: 0101219

DATE 06/06/02	DRAWN BY CDH	APPROVED BY CDH	REVISION 7	DRAWING No L - 120V
------------------	-----------------	--------------------	---------------	------------------------





3- 120 v running 60'  
To plumbers stub

Gas line  $\frac{3}{4}$ " black iron  
Along outside of  
Building.

# WETLAND CERTIFICATE OF COMPLIANCE

## TOWN OF LEWISBORO

### Town Offices

79 Bouton Road, South Salem, New York 10590

Phone: (914) 763-3060

Fax: (914) 533-0097

Date: September 14, 2022

Permit #: 29-21 W.P. & 03-20 W.V.

Permit issued to: Sophia Chenevert Schilke & Garrett Schilke and Debra L. Chenevert  
3 Beaver Pond Lane

Project location: 3 Beaver Pond Lane

Sheet: 46 Block: 9827 Lot(s): 184

Date of Inspection: August 11, 2022

Comments: All work has been completed in substantial accordance with the Wetland Implementation Permit and the site is stabilized.

The above referenced parcel(s) has been inspected and a determination has been made that work conducted within the regulated area has been completed in substantial accordance with the issued Wetland Activity Permit and the provisions of Chapter 217 of the Town of Lewisboro Town Code.



Jan K. Johannessen, AICP  
Kellard Sessions Consulting

September 14, 2022

Date



### 3 Beaver Pond Remediation Property Expenses

Permit Fee	\$255
Deposit for Permit	\$2,000
Wetland Consultant	\$3,140
Fescue grass seed mix	371.23
Plants/Trees	5920.07
Wild flower mix	\$646.41
Labor	3095.19
TOTAL	15427.9

**Tim Miller Associates, Inc.**

10 North Street Cold Spring, NY 10516 (914) 261-4400 Fax (914) 261-4418

January 7, 2022 Revised March 3, 2022

Federal ID #112579915

Mr. Gerrit Schlie  
3 Beaver Pond Lane  
South Salem, NY 10590

Invoice #1

Project Name: 3 Beaver Pond Lane  
Services Rendered through 12/21/21

Project Number: 21040

Labor	Hours	Rate	Costs
Lump sum per agreement: Initial plan preparation and narrative, one Board meeting.			\$2,500.00
S. Marino, Senior Ecologist	4.0	\$160.00	\$640.00
Two revisions to plans, respond to Town comments.			
Subtotal Labor			\$3,140.00
Total Invoice Amount			\$3,140.00
Retainer Received 8/21/21 CH# 1556			(\$1,250.00)
Total Due and Payable			\$1,890.00
Please reference project number on payment			

DUE AND PAYABLE UPON RECEIPT

Thank you

1.5% LATE FEES ARE CHARGED MONTHLY ON INVOICES NOT PAID IN 30 DAYS  
WORK IS DISCONTINUED IF INVOICES ARE PAST DUE MORE THAN 30 DAYS

Tim Miller Associates accepts American Express, Master Card & VISA

PAID





Brewster NY #534  
170 Fields Ln  
Brewster, NY 10509-3535  
W: (314)244-1110

Ordered	Order#	PO#	Invoice#	Invoice#
06/02/2021	109770227-001		06/02/2021	109770227-001
Printed	Requested for	Ship Via	Customer Contact	Sales Associate
06/30/2021		Customer Pick up	Garrett Schilke	Michael Van Gorden

**Sold To:**

SCHILKE ENTERPRISES (#1226191)  
511 Route 22  
North Salem, NY 10560  
C: (518)468-7495

**Ship To:**

SCHILKE ENTERPRISES (#1226191)  
511 Route 22  
North Salem, NY 10560  
C: (518)468-7495

For Chemical Emergency Spill, Leak, Fire,  
Exposure, or Accident Emergency Response  
Assistance, call: CHEMTREC  
Day or Night- 1 (800) 424-9300



LN	Item #	Description	Qty Ordered	Qty Shipped	Qty Open	Net Price	Est. Price
1	93921	SEED WILDFLOWER MIX 6#	2	2	0	298.228 / EA	596.46

Please remit payment to:  
SiteOne Landscape Supply, LLC  
24110 NETWORK PLACE  
CHICAGO, IL 60673-1241  
Terms: NET 30 DAYS  
Pay by 07/02/2021

Subtotal: \$596.46  
Sales Tax: \$49.95  
Freight: \$0.00  
Total: \$646.41  
Total Payment: \$0.00  
Amount Due: \$646.41

PAID

**CUSTOMER SIGNATURE:**

SiteOne Landscape Supply warrants that all products conform to the description on the label. Because conditions of use, which are of critical importance are beyond our control, seller makes no warranty, expressed or implied, concerning the use of these products. No employee of the company is authorized to make any warranty or representation, expressed or implied, concerning our products. Always follow directions and carefully observe all precautions on the label or manufacturer's instructions. Products used contrary to directions may cause serious plant or personal injury. Buyer assumes all risk of use of handling whether in accordance with direction or not and accepts the products sold to them by this company on these conditions.

Note: Returns subject to 25% restock charge.



**CUSTOMER  
OBSESSED**

MATTHEW FITZPATRICK | Area Business Manager  
MFitzpatrick@SiteOne.com

We are 100% committed to your success. Please do not hesitate to contact me directly at the number above with feedback and input regarding your visit to our store today.

**Check out the New SiteOne.com**

Shop our Catalog, Get Pricing, and Place an Order 24/7/365

Visit today at [siteone.com](http://siteone.com)

Get 5% off your first order up to \$500 off when you use promo code WELCOME at checkout.





SiteOne  
Landscape Supply  
331 Colonial Center Plaza, Suite 500  
Roswell, GA 30076-4882

# SALES INVOICE

CUSTOMER #	INVOICE #
1226191	120672887-001
INVOICE DATE	DUE DATE
07/27/2022	08/26/2022

LOCAL BRANCH:  
BREWSTER NY # 634  
170 FIELDS LN  
BREWSTER, NY 10509-3535  
914-244-1110

## BILL TO:

SCHILKE ENTERPRISES  
811 ROUTE 22  
NORTH SALEM NY 10560

## SHIP TO:

SCHILKE ENTERPRISES  
3 BEAVER POND RD  
SOUTH SALEM, NY 10590-2026

ORDER #	PO #	SHIP VIA	CUSTOMER CONTACT	SALES ASSOCIATE
120672887-001		SITEONE	GARRETT SCHILKE	ALVARO GILMON
TERMS		PROJECT NAME		
NET 30 DAYS				

LN	ITEM #	DESCRIPTION	QTY ORDER	QTY SHIP	QTY OPEN	NET PRICE	EXT PRICE
1	80314-020AS	ACER RUBRUM OCTOBER GLORY RED MAPLE BASIC 2 IN. CALIPER BALL AND BURLAP	5	5	0	183.4550 / EA	967.33
2	80521-115	NYSSA SYLVATICA WILDMIRE BLACK TUPELO #15 CONTAINER	3	3	0	107.6593 / EA	322.98
3	71439-020	WILDMIRE TUPELO BLACK QUERCUS PALUSTRIS PIN OAK 2 IN. CALIPER BALL AND BURLAP	5	5	0	211.9231 / EA	1,059.62
4	63725-107	CORNUS SERICEA BAILEY RED TWIG DOGWOOD #7 CONTAINER	11	11	0	69.9510 / EA	769.46
5	67453-103	BAILEY DOGWOOD RED OSIER ILEX VERTICILLATA WINTER RED WINTERBERRY #3 CONTAINER	15	15	0	21.0904 / EA	315.91
6	74061-103	WINTER RED WINTERBERRY VIBURNUM PRUNIFOLIUM BLACKHAW #3 CONTAINER	5	5	0	26.8062 / EA	134.03
7	73907-107	VIBURNUM BLACKHAW VIBURNUM DENTATUM CHICAGO LUSTRE ARROWWOOD VIBURNUM #7 CONTAINER	15	15	0	30.7093 / EA	460.64
8	63725-103	SYNNESTVEDT (CHICAGO LUSTRE) VIBURNUM ARROWWOOD CORNUS SERICEA BAILEY RED TWIG DOGWOOD #3 CONTAINER	4	4	0	31.8500 / EA	127.40
9	500SHIP	BAILEY DOGWOOD RED OSIER FREIGHT	1	1	0	150.0000 / EA	150.00

PLEASE REMIT PAYMENT TO:  
SITEONE LANDSCAPE SUPPLY, LLC  
24110 NETWORK PLACE  
CHICAGO, IL 60673-1241

SUBTOTAL: \$4,304.37  
SALES TAX: \$360.49  
FREIGHT: \$0.00  
TOTAL: \$4,664.86  
TOTAL PAYMENT: \$0.00  
AMOUNT DUE: \$4,664.86

PAID

*Handwritten signature*

## CUSTOMER SIGNATURE:

SiteOne Landscape Supply warrants that all products conform to the description on the label. Because conditions of use, which are of critical importance are beyond our control, we make no warranty, expressed or implied, concerning the use of these products. No employee of the company is authorized to make any warranty or representation, expressed or implied, concerning our products. Always follow directions and carefully observe all precautions on the label or manufacturer's instructions. Products used contrary to directions may cause serious plant or personal injury. Buyer assumes all risk of use of handling whether in accordance with direction or not and accepts the products sold to them by this company on these conditions.  
Note: Returns subject to 25% restock charge.





300 Colonial Center Pkwy, Suite 300  
Roswell, GA 30078-4883

BILL TO:

SCHILKE ENTERPRISES  
511 ROUTE 22  
NORTH SALEM NY 10560

## SALES INVOICE

CUSTOMER #	INVOICE #
1226191	121800920-001
INVOICE DATE	DUE DATE
07/27/2022	08/26/2022

LOCAL BRANCH:  
BREWSTER NY # 634  
170 FIELDS LN  
BREWSTER, NY 10509-3535  
914-244-1115

SHIP TO:

SCHILKE ENTERPRISES  
3 BEAVER POND RD  
SOUTH SALEM, NY 10560-2026

ORDER #	PO #	SHIP VIA	CUSTOMER CONTACT	SALES ASSOCIATE
121630320-001		DELIVERY	GARRETT SCHILKE	ALVARO GIRON
TERMS		PROJECT NAME		
NET 30 DAYS				

LN	ITEM #	DESCRIPTION	QTY ORDER	QTY SHIP	QTY OPEN	NET PRICE	EXT PRICE
1	60314-0200AS	ACER RUBRUM OCTOBER GLORY RED MAPLE BASIC 2 IN. CALIPER BALL AND BURLAP CLETHRA ALNIFOLIA COLOR CHOICE CALER	3	3	0	193.4700 / EA	580.41
2	81365-103	VANILLA SPICE PROVEN WINNERS SUMMERSWEET #3 CONTAINER VANILLA SPICE SUMMER SWEET	20	20	0	28.8900 / EA	577.80

The Go To App for Landscape Pros: SiteOne's mobile app makes your job easier with features designed to keep your business moving, such as real time product inventory, 24/7 ordering, time-saving tools and more. Learn more and download at SiteOne.com/Mobile.

Do you have EDI platform and would like to get the invoices electronically imported into your system? If so, please contact us at EDI@SiteOne.com for the next steps. Thank you for your business.

PLEASE REMIT PAYMENT TO:  
SITEONE LANDSCAPE SUPPLY, LLC  
24110 NETWORK PLACE  
CHICAGO, IL 60673-1241

PAID

SUBTOTAL \$1,158.21  
SALES TAX \$57.00  
FREIGHT \$0.00  
TOTAL \$1,255.21  
TOTAL PAYMENT \$0.00  
AMOUNT DUE \$1,255.21

CUSTOMER SIGNATURE: *al b giron*

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Page 1 of 1



**SCHILKE Underground Irrigation**  
 511 Route 22  
 North Salem, NY 10560  
 914-232-5900

**Invoice**

Date	Invoice #
8/1/2022	2009-0915

<b>Bill To</b> Schilke 1 Barren Pond South Salem NY 10560
---

Payment due upon receipt.  
 Please make checks payable to:  
 Schilke Underground Irrigation  
 511 Route 22  
 North Salem, NY 10560



AMERICAN EXPRESS

**Zelle**

Due Date	Project
8/1/2022	

Quantity	Description	Rate	Amount
16	Labor - Five Hour / Repairs	119.00	1,904.00
	Labor to install lines at property	8.575%	159.46
	Sales Tax		
<b>PAID</b>			
<b>Total</b>			\$2,063.46

\*3% processing fee will now be applied when using a credit card as payment.



**SCHILKE Underground Irrigation**

511 Route 22  
North Salem, NY 10560  
914-232-5900

**Invoice**

Date	Invoice #
4/19/2021	2009-7858

Bill To
Schilke
3 Beaver Pond
South Salem NY
10560

Payment due upon receipt.  
Please make checks payable to:  
Schilke Underground Irrigation  
511 Route 22  
North Salem, NY 10560

AMERICAN  
EXPRESS**zelle**

Due Date	Project
4/19/2021	

Quantity	Description	Rate	Amount
8	Labor - Removal of pile of mulch and apply to front beds. Application of Seed/Windflower mix and Grass seed applications	119.00	952.00
	Sales Tax	8.375%	79.73
<b>PAID</b>			
*3% processing fee will now be applied when using a credit card as payment.		<b>Total</b>	<b>\$1,031.73</b>





3rd Century Capital Plaza, Suite 300  
Rye Brook, NY 10573-4001

BILL TO:

SCHLKE ENTERPRISES  
511 ROUTE 22  
NORTH SALEM NY 10560

# SALES INVOICE

CUSTOMER #	INVOICE #
1224131	107810155-001
INVOICE DATE	DUE DATE
04/10/2021	05/10/2021

LOCAL BRANCH:  
201 ROUTE 117 BY PASS RD  
BEDFORD HILLS, NY 10507-2149  
914-244-1110

SHIP TO:

SCHLKE ENTERPRISES  
511 ROUTE 22  
NORTH SALEM, NY 10560

ORDER #	PO #	SHIP VIA	CUSTOMER CONTACT	SALES ASSOCIATE			
93N70186-001		CUSTOMER PICK UP	GARRETT SCHLKE	MICHAEL VAN GORDEN			
TERMS		PROJECT NAME					
NET 30 DAYS							
LN	ITEM #	DESCRIPTION	QTY ORDER	QTY SHIP	QTY OPEN	NET PRICE	EXT PRICE
1	2518410	331 TALL PESCUE SEED 50 LB Seed Lot 21	2	2	0	108.2906 EA	216.58

PAID

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SITEONE LANDSCAPE SUPPLY, LLC  
24110 NETWORK PLACE  
CHICAGO, IL 60673-5241

SUBTOTAL: \$216.58  
SALES TAX: \$18.14  
FREIGHT: \$0.00  
TOTAL: \$234.72  
TOTAL PAYMENT: \$0.00  
AMOUNT DUE: \$234.72

## CUSTOMER SIGNATURE:

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Note: Returns subject to 25% restock charge.

Page 1 of 1





800 Central Expressway, Suite 100  
Riverside, CA 92507-4493

BILL TO:

SCHLKE ENTERPRISES  
511 ROUTE 22  
NORTH SALEM NY 10560

# SALES INVOICE

CUSTOMER #	INVOICE #
1228191	112632055-001
INVOICE DATE	DUE DATE
03/08/2021	10/09/2021

LOCAL BRANCH:  
BEDFORD HILLS NY # 634  
281 ROUTE 117 BY PASS RD  
BEDFORD HILLS, NY 10507-2143  
914-244-1110

SHIP TO:

SCHLKE ENTERPRISES  
511 ROUTE 22  
NORTH SALEM, NY 10560

ORDER #	PO #	SHIP VIA	CUSTOMER CONTACT	SALES ASSOCIATE
112632055-001		CUSTOMER PICK UP	GARRETT SCHLKE	MICHAEL VAN GORDEL
TERMS			PROJECT NAME	
NET 30 DAYS				

LN	ITEM #	DESCRIPTION	QTY ORDER	QTY SHIP	QTY OPEN	NET PRICE	EXT PRICE
1	20-18-410	301 TALL RESCUE SEED GOLF Seed LBS 27	1	1	0	125.9630 / EA	125.96
2	NT180-100P	VUPFLOW T-SHIELD SCREEN FILTER 1-1/2 IN 100 MESH	1	1	0	80.0343 / EA	80.03

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We offer three convenient ways for you to receive your invoices and statements: email, paper or eInvoice Connect, our secure online site. With eInvoice Connect, you are notified by email when new invoices are posted. You can search, sort, view, print, download and pay your bills online. With email delivery, your invoices are sent once per day and you can get an exact replica of your paper bill. Go paperless by choosing one of the options above and make a statement. Contact your credit representative or call 1-800-SiteOne and get setup today!

Learn more at <http://www.siteone.com/payonline>

PLEASE REMIT PAYMENT TO:  
SITEONE LANDSCAPE SUPPLY, LLC  
24110 NETWORK PLACE  
CHICAGO, IL 60673-1241

PAID

SUBTOTAL	\$205.99
SALES TAX	\$17.25
FREIGHT	\$0.00
TOTAL	\$223.24
TOTAL PAYMENT	\$0.00
AMOUNT DUE	\$223.24

## CUSTOMER SIGNATURE

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Note: Returns subject to 20% restock charge

Page 1 of 1

Sent from my iPhone



Application No.: (1-21 WV) 34-22WPFee: \$255Date: 9/9/22TOWN OF LEWISBORO  
WETLAND PERMIT APPLICATION

79 Bouton Road, South Salem, NY 10590

Phone: (914) 763-5592

Fax: (914) 875-9148

Project Address: 400 Smith Ridge Rd., So. SalemSheet: 49B Block: 9831 Lot(s): 24

including Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): Provide Restoration Drawing -> in fall evening out grade, bring in top soil + native grasses, indicate dirt travelway + firewood

Owner's Name: Maple Tree Farm LLC Phone: 914-763-8733Owner's Address: 1 Pamela Lane So. Salem Email: cooneytreeservice@gmail.comApplicant's Name (if different): Brian Cooney Phone: 914-763-8733Applicant's Address: 1 Pamela Lane So. Salem Email: cooneytreeservice@gmail.com

Agent's Name (if applicable): \_\_\_\_\_ Phone: \_\_\_\_\_

Agent's Address: \_\_\_\_\_ Email: \_\_\_\_\_

## TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

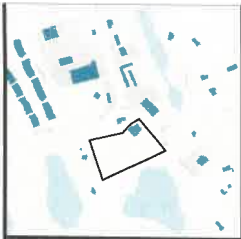
☐ Administrative☒ Planning BoardIs the project located within the NYCDEP Watershed? ☐ Yes ☒ NoTotal area of proposed disturbance: ☒ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☐ ≥ 1 acreDoes the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: N/A

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: [Signature]Date: 6/20/22



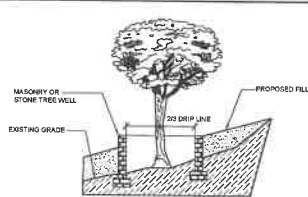


LOCATION MAP  
NOT TO SCALE

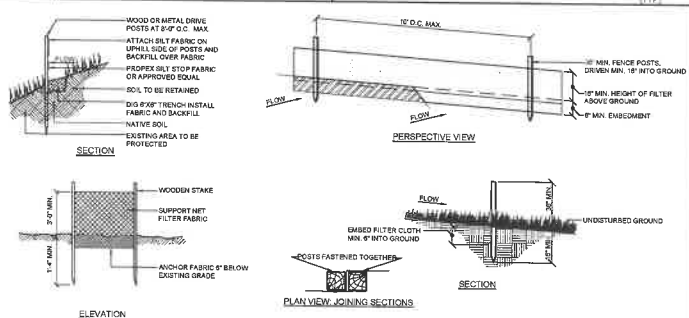
#### PERMANENT VEGETATIVE COVER:

1. Site preparation:
  - 1.1 Install erosion control measures.
  - 1.2 Scarify compacted soil areas.
  - 1.3 Lime as required to pH 6.5.
  - 1.4 Fertilize with 10-6-4 @ 100/1000 S.F.
  - 1.5 Incorporate amendments into soil with disc harrow.
2. Seed mixtures for use on swales and cut and fill areas:

MIXTURE	LBS/ACRE
ALT. A	
KENTUCKY BLUE GRASS	20
CREeping RED FESCUE	20
RYE GRASS OR REDTOP	5
ALT. B	
CREeping RED FESCUE	20
REDDTOP	2
TALL FESCUE/SMOOTH BLOOMGRASS	20
3. SEEDING
  - 3.1 Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
  - 3.2 Apply soil amendments and integrate into soil.
  - 3.3 Apply seed uniformly by cyclone seeder, culti-packer or hydro-seeder at rate indicated.
  - 3.4 Stabilize seeded areas in drainage swales.
  - 3.5 Irrigate to fully saturate soil layer, but not to dislodge planting soil.
  - 3.6 Seed between April 1st and May 15th or August 15th and October 15th.
  - 3.7 Seeding may occur May 15th and August 15th if adequate irrigation is provided.



#### E-1 TREE WELL DETAIL NOT TO SCALE



#### NOTES:

1. Filter cloth to be fastened securely to upgrade side of post; steel posts (either 1" or 2" U-Type) or 2" hardwood posts at top and mid section.
2. When two sections of filter cloth are joined, they shall be overlapped by 8 inches and sealed. Filter cloth shall be sealed 100% (Sealant T-142 or approved equal).
3. Maintenance shall be performed as needed and material removed when "balding" develops in the silt fence or the capacity reaches 50%.
4. Excavate 6" trench along the silt fence line and bury the fabric.
5. Unroll a section at a time and position the post against the back (downstream) wall of a trench.
6. Drive the post into the ground until the fabric is approximately 2 inches from the trench bottom.
7. Lay the lower lap of fabric into the undisturbed bottom of the trench, backfill the trench and tamp the soil. Steep slopes require an intercept trench.
8. Join sections as shown above.

#### SYMBOL



#### E-2 SILT FENCE DETAIL NOT TO SCALE

NOTE: THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY KULHANEK & RAY, LAND SURVEYORS, P.C., DATED 10/1/2004, LAST REVISED 10/20/2004. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

#### SITE DATA:

OWNER / DEVELOPER:

PROJECT LOCATION

EXISTING TOWN ZONING:

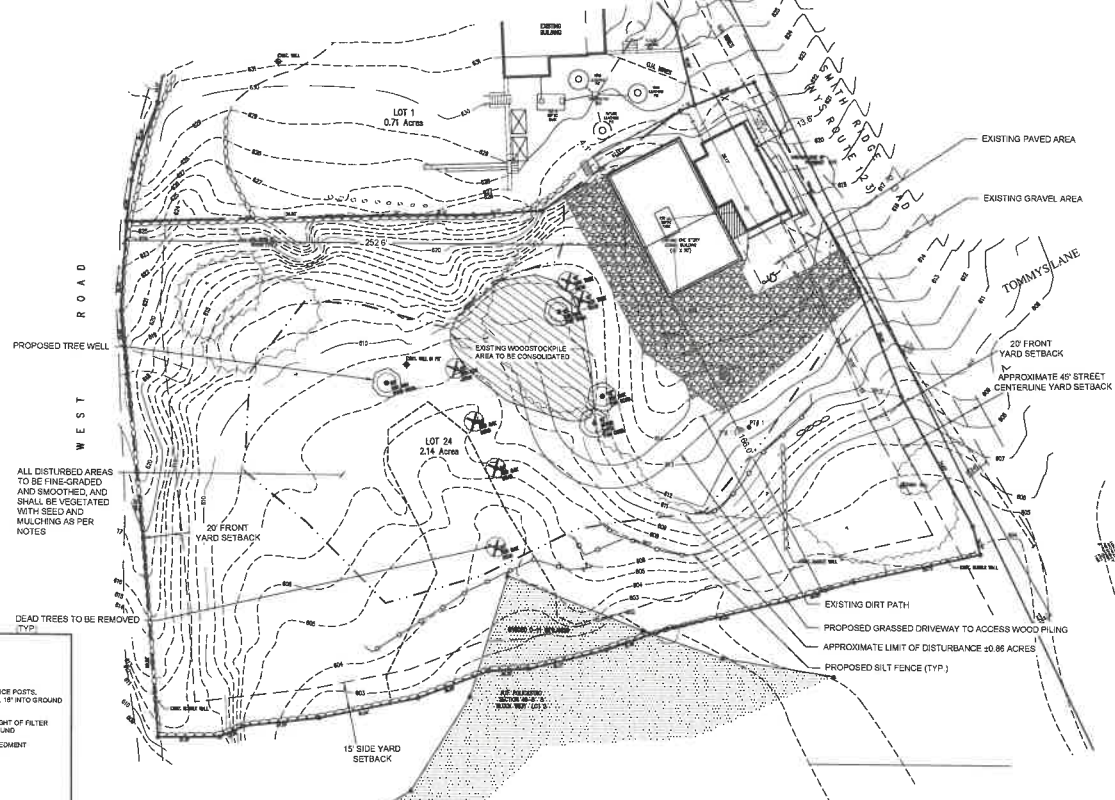
PROPOSED USE:

TOWN TAX MAP DATA:

SITE AREA:

WATER FACILITIES:

GINA AND BRIAN COONEY  
COONEY TREE SERVICE  
400 SMITH RIDGE ROAD  
SOUTH SALEM, NY, 10590  
GB, GENERAL BUSINESS  
GB, GENERAL BUSINESS  
SECTION 77.4, BLOCK 2, LOT 2  
2.1 ACRES (93,141 SF)  
ON-SITE WELL



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Before You Dig, Drill or Blast!

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Civil Engineers • Land Planners  
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(914) 962-4488 • Fax: (914) 962-7886  
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Revisions:	DATE	BY	CHK
1			
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SCALE:	DATE:
1" = 30'	
DRAWN BY:	
CS	

#### MITIGATION PLAN

SITE PLAN PREPARED FOR  
GINA AND BRIAN COONEY  
400 SMITH RIDGE ROAD

Sheet of 1



# TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590

Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)

Tel: (914) 763-5592

Fax: (914) 875-9148

## Affidavit of Ownership

State of: New York

County of: Westchester

Brian S Cooner, being duly sworn, deposes and says that he/she  
resides at 1 Pamela Ln South Salem, NY 10590  
in the County of Westchester, State of New York

and that he/she is (check one) ☒ the owner, or ☐ the \_\_\_\_\_  
of Maple Tree Farm LLC <sup>Title</sup>  
Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the  
Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of  
Lewisboro as:

Block 9831, Lot 24, on Sheet 49B

[Signature]  
Owner's Signature

Sworn to before me this

1 day of July, 2022

[Signature]  
Notary Public - affix stamp

JOHN SHEA  
Notary Public - State of New York  
NO. 015H6390036  
Qualified in Putnam County  
My Commission Expires Apr 8, 2023



## TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590  
Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)  
Tel: (914) 763-5592 Fax: (914) 875-9148

### Tax Payment Affidavit Requirement

*This form must accompany all applications to the Planning Board.*

*Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.*

*Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.*

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

#### To Be Completed by Applicant (Please type or print)

COONEY W.V.  
Name of Applicant

COONEY WETLAND PERMIT  
Project Name  
400 SMITH RIDGE RD.

#### Property Description

Tax Block(s): 9831

Tax Lot(s): 24

Tax Sheet(s): 49B

#### Property Assessed to:

NAPLE TREE FARM, LLC

Name

G/O 1 PAMELA LANE

Address

SO. SALEM

City

NY

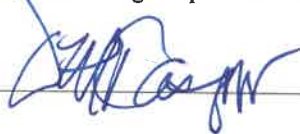
State

10590

Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes:



Date

8/16/2022

Sworn to before me this

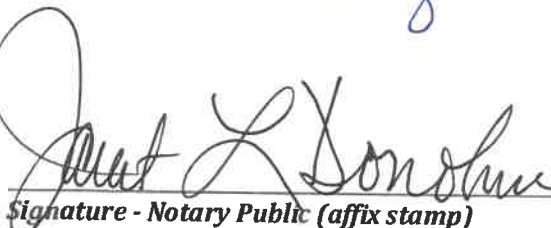
16<sup>th</sup>

day of

August

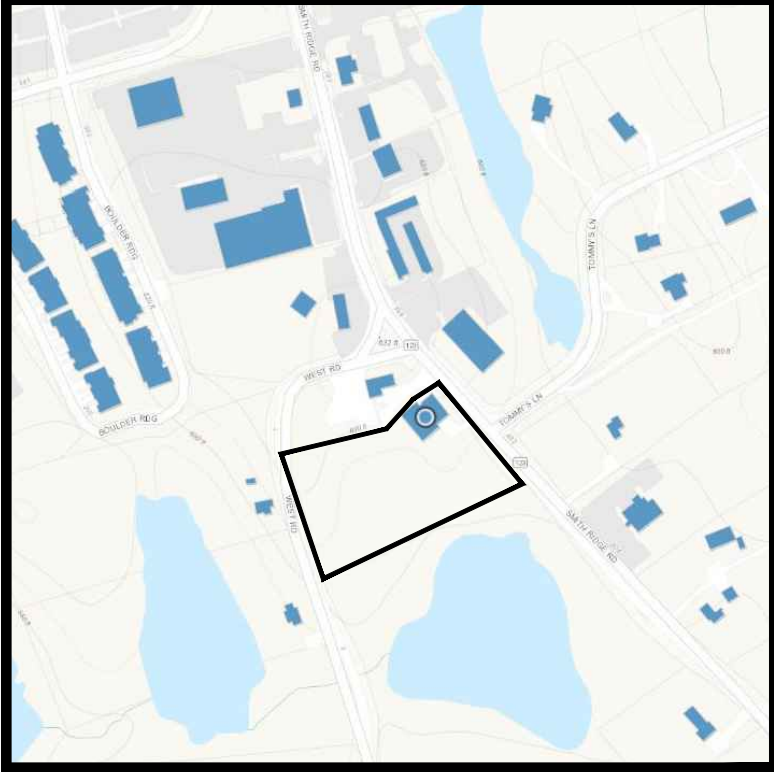
2022

FILE

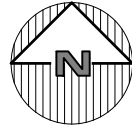
  
Signature - Notary Public (affix stamp)

JANET L. DONOHUE  
NOTARY PUBLIC, STATE OF NEW YORK  
No. 01DO6259627  
Qualified in Westchester County  
Commission Expires April 16, 2025





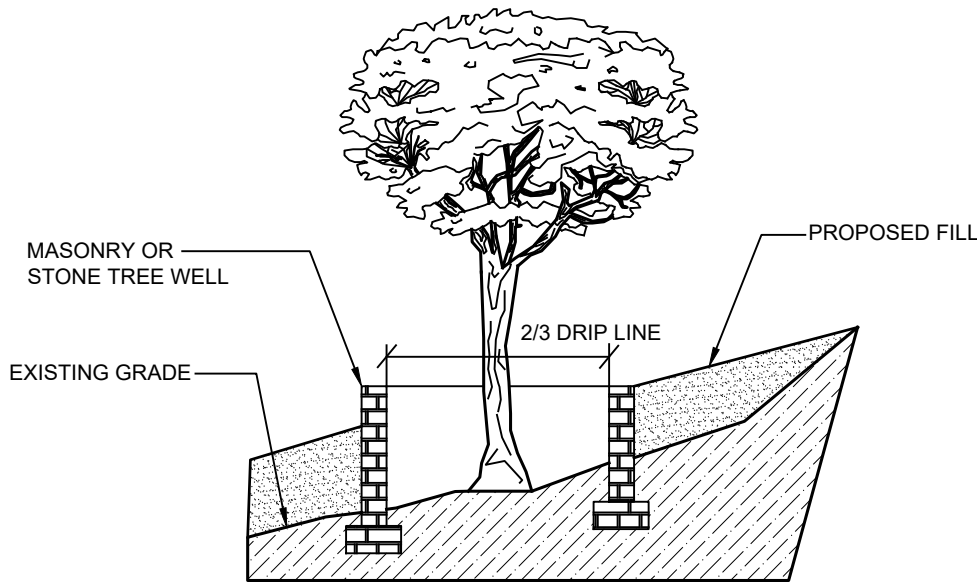
LOCATION MAP  
NOT TO SCALE



PERMANENT VEGETATIVE COVER:

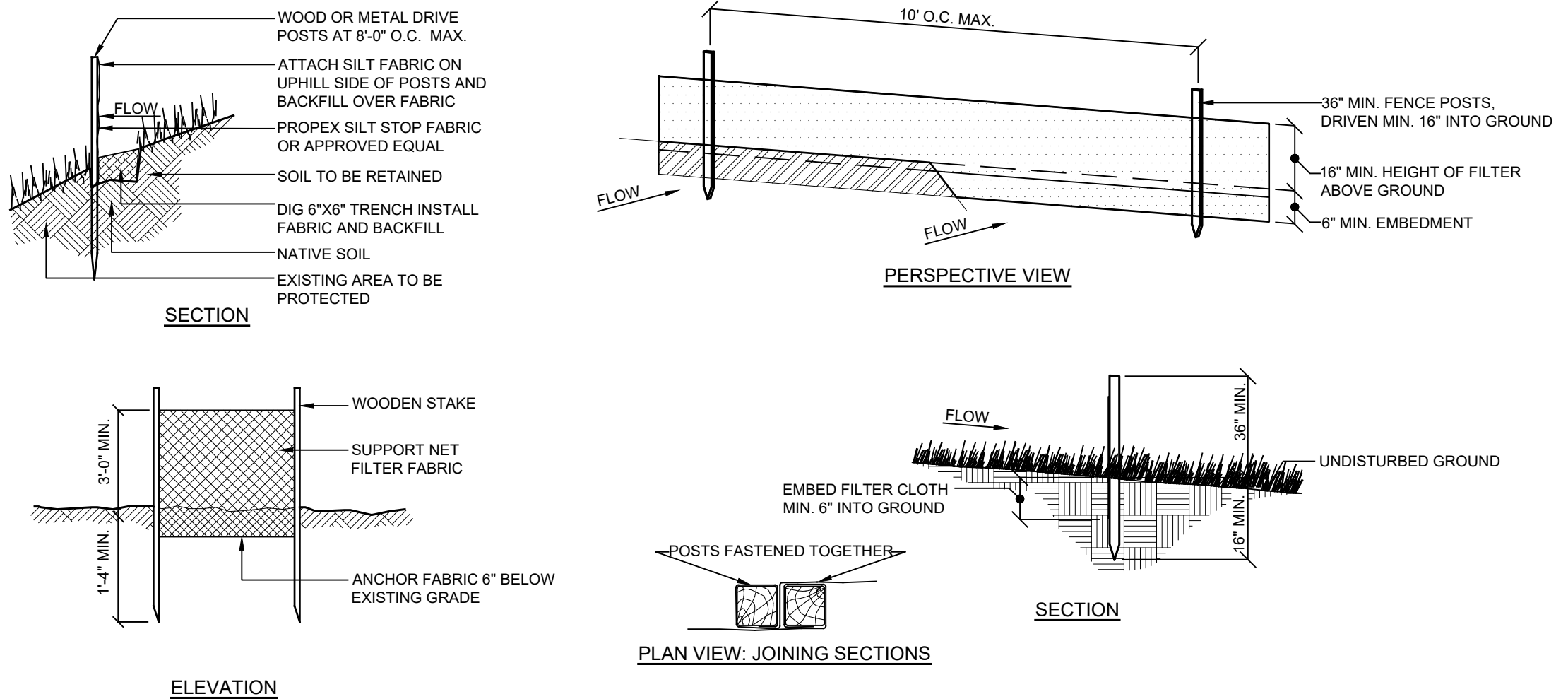
1. Site preparation:
  - 1.1. Install erosion control measures.
  - 1.2. Scarify compacted soil areas.
  - 1.3. Lime as required to pH 6.5.
  - 1.4. Fertilize with 10-6-4 4 lbs/1,000 S.F.
  - 1.5. Incorporate amendments into soil with disc harrow.
2. Seed mixtures for use on swales and cut and fill areas.

MIXTURE		LBS./ACRE
ALT. A	KENTUCKY BLUE GRASS	20
	CREeping RED FESCUE	28
	RYE GRASS OR REDTOP	5
ALT. B	CREeping RED FESCUE	20
	REDTOP	2
	TALL FESCUE/SMOOTH BLOOMGRASS	20
3. SEEDING
  - 3.1. Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
  - 3.2. Apply soil amendments and integrate into soil.
  - 3.3. Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
  - 3.4. Stabilize seeded areas in drainage swales.
  - 3.5. Irrigate to fully saturate soil layer, but not to dislodge planting soil.
  - 3.6. Seed between April 1st and May 15th or August 15th and October 15th.
  - 3.7. Seeding may occur May 15th and August 15th if adequate irrigation is provided.



E-1

TREE WELL DETAIL  
NOT TO SCALE



NOTES:

1. Filter cloth to be fastened securely to upgrade side of post; steel posts (either T or U Type) or 2" hardwood posts at top and mid section.
2. When two sections of filter cloth adjoin each other they shall be overlapped by 6 inches and folded. Filter cloth shall be Minafi 100b, Siablinka T140n or approved equal.
3. Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence or the capacity reaches 50%.
4. Excavate 6 inch trench along the silt fence line and bury the fabric.
5. Unroll a section at a time and position the post against the back (downstream) wall of the trench.
6. Drive the post into the ground until the netting is approximately 2 inches from the trench bottom.
7. Lay the toe-in flap of fabric onto the undisturbed bottom of the trench, backfill the trench and tamp the soil. Steeper slopes require an intercept trench.
8. Join sections as shown above.

SYMBOL



E-2

SILT FENCE DETAIL  
NOT TO SCALE

NOTE:  
THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY KULHANEK & PLAN, LAND SURVEYORS, PC., DATED 10/11/2001, LAST REVISED 12/20/2001. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

SITE DATA:

OWNER / DEVELOPER:

GINA AND BRIAN COONEY  
COONEY TREE SERVICE  
400 SMITH RIDGE ROAD  
SOUTH SALEM, NY, 10590  
GB, GENERAL BUSINESS  
GB, GENERAL BUSINESS  
SECTION 77.4, BLOCK 2, LOT 2  
2.1 ACRES (93,141 SF)  
ON-SITE WELL

PROJECT LOCATION

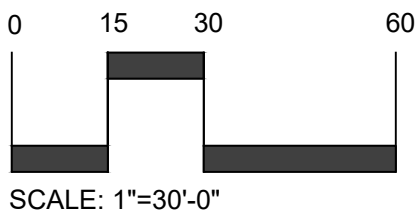
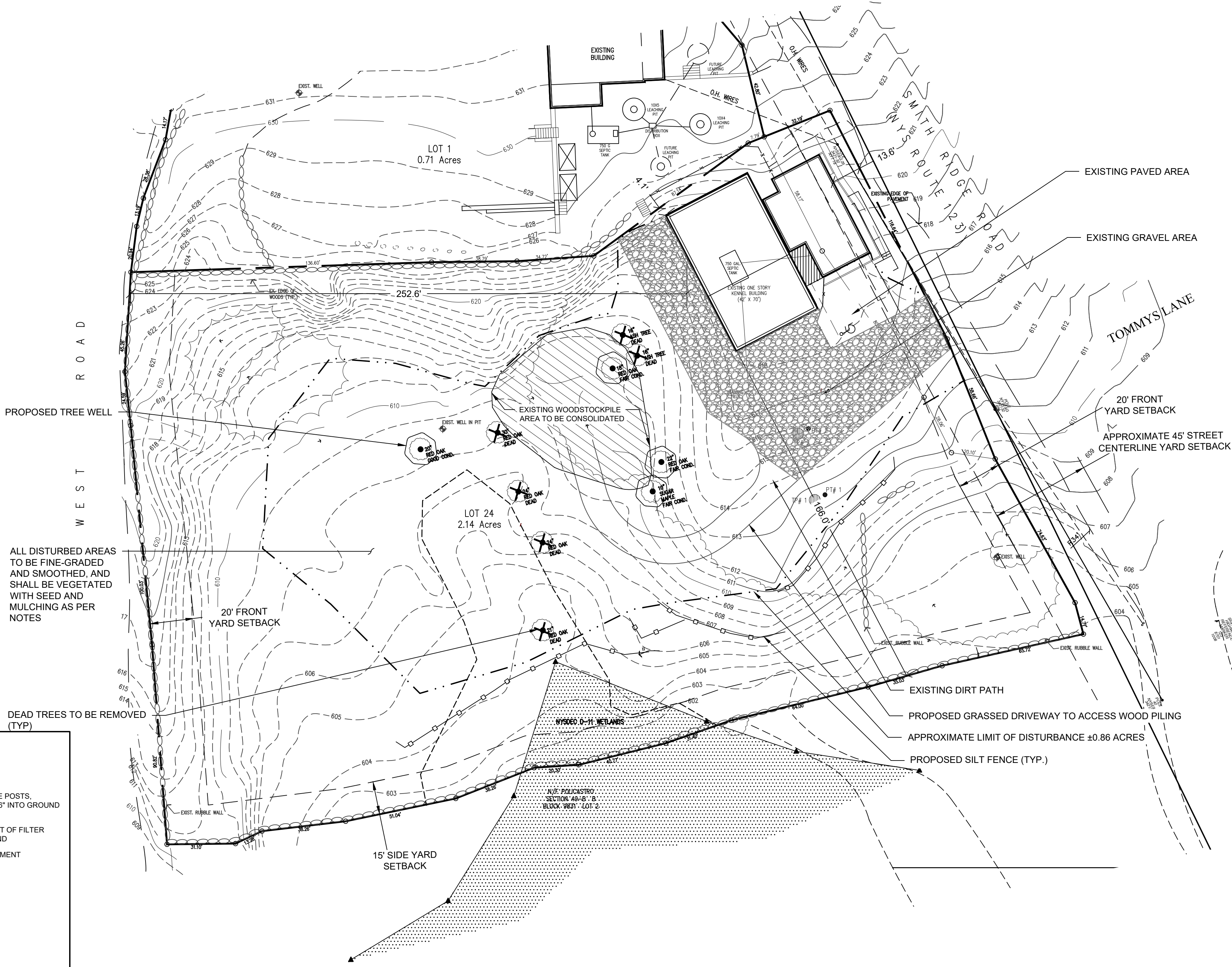
EXISTING TOWN ZONING:

PROPOSED USE:

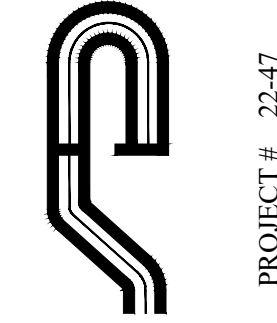
TOWN TAX MAP DATA:

SITE AREA :

WATER FACILITIES:

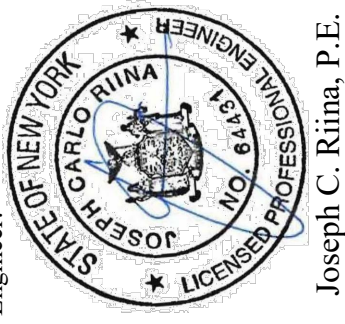


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PROJECT # 22-47

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(914) 962-4488 - Fax: (914) 962-7386  
www.sitedesignconsultants.com



Revisions:	No.	Date	Comments

SCALE: 1" = 30'	DRAWN BY: CS	DATE: 8/16/22
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MITIGATION  
PLAN

SITE PLAN  
PREPARED FOR  
GINA AND BRIAN COONEY  
400 SMITH RIDGE ROAD  
Town of Lewisboro  
Westchester, NY

Sheet  
1 of 1

E:\2022\24-47 COONEY, SMITH RIDGE ROAD\ENGINEERING\DWG\24-47 COONEY, SMITH RIDGE ROAD\DWG\24-47 TREE PLAN.DWG 11/16/2022 3:15:52 PM

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2)(f) OF THE NEW YORK STATE EDUCATION LAW.



RECEIVED BY

AUG 16 2022

**NOTICE OF PUBLIC HEARING**

Town Clerk  
Town of Lewisboro

**NOTICE IS HEREBY GIVEN**, that the Town Board of the Town of North Salem will hold a Public Hearing on Tuesday, September 13, 2022 at 7:30 pm, or soon thereafter, at the Town Meeting Hall, 66 June Road, North Salem, New York (and via zoom link to be published with the notice), to consider the adoption of a Local Law amending Chapter 250, Zoning of the Code of the Town of North Salem, pursuant to New York State Constitution Article IX and New York Municipal Home Rule Law §10, to amend §250-5, Definitions; §250-54A – Landscape; §250-54B – Exterior Lighting; and repeal of §250-54E.

**Public Hearing Location**

Meeting Room  
66 June Road  
North Salem, NY 10560

**Zoom Information:**

Call in number: 929-205-6099

Meeting ID 9142612636

Zoom link: <https://zoom.us/j/9142612636>

Comments submitted in writing prior to the Public Hearing will be read and entered into the record.

A copy of the complete proposed Local Law may be viewed in the office of the Town Clerk at 266 Titicus Road, North Salem, NY 10560 or on the Town website at [www.northsalemny.org](http://www.northsalemny.org)

At said hearing, all interested parties may attend and will be heard. The Town of North Salem is committed to equal access for all citizens. Anyone requiring accommodation to attend or participate in this meeting is urged to call the Town Clerk's office in advance at (914) 669-5577.

**BY ORDER OF THE TOWN BOARD  
OF THE TOWN OF NORTH SALEM**

Maria C. Hlushko  
Town Clerk



**TOWN BOARD OF THE TOWN OF NORTH SALEM  
WESTCHESTER COUNTY, NEW YORK  
LOCAL LAW #\_\_\_\_ OF THE YEAR 2022  
AMENDMENT CHAPTER 250, ZONING – § 250-5 and § 250-54  
LANDSCAPING and EXTERIOR LIGHTING**

**September \_\_\_\_\_, 2022**

A **LOCAL LAW** amending § 250-5, Definitions and § 250-54 Landscape and Lighting Requirements of Chapter 250, Zoning of the Code of the Town of North Salem;

**BE IT ENACTED** by the Town Board of the Town of North Salem as follows:

**Section 1. Legislative Intent**

The intent of this local law is the amendment of § 250-5, Definitions and §250-54 Landscape and Lighting Requirements of Chapter 250, Zoning of the Code of the Town of North Salem updating the zoning standards regulating landscaping and lighting within the town.

**Section 2. Applicability**

Consistent with the Town's 2011 Comprehensive Plan, the Zoning text amendment will update and enhance the regulation of the design, construction, installation and maintenance of landscaping and lighting within the Town of North Salem. The amendments will apply throughout the Town in both residential and non-residential Zoning Districts. The regulation of landscaping and lighting is necessary in order to maintain and protect the attractive and harmonious visual image and character of the community; protect the aesthetic environment from unmanaged landscapes and unnecessary light pollution; protect property values; and protect the public health, safety and welfare of the residents of the Town of North Salem.

**Section 3. Zoning Text Amendments**

§ 250-5 and § 250-54 of Chapter 250, Zoning of the Code of the Town of North Salem is hereby amended as set forth in Addendum A attached hereto, consistent with and in accordance with the requirements and procedures set forth in Chapter 250, Zoning, Article XIX, Amendments.

**Section 4. Severability**

If any section, subsection, subdivision, paragraph, clause or phrase in this local law, or any part thereof, is for any reason held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining sections or portions of this local law, or any part thereof. The Town Board hereby declares that it would have passed each section subsection, subdivision, paragraph, sentence, clause, or phrase of this local law, irrespective of the fact that one or more sections, subsections, subdivisions, paragraphs, sentences, clauses, or phrases may be declared invalid or unconstitutional.

**Section 5. Authority**

This local law is adopted pursuant to Municipal Home Rule Law § 10.

**Section 6. Effective Date**

This local law shall take effect upon filing with the Secretary of State pursuant to the Municipal Home Rule Law.



# ADDENDUM A

## AMENDMENT CHAPTER 250, ZONING – § 250-5 and § 250-54

### LANDSCAPING and EXTERIOR LIGHTING

#### Legend to Zoning Text Amendments:

- Existing Text to Remain Unchanged.....Plain Text
- Existing Text to be Deleted.....~~Cross-out Text~~
- Proposed Text to be Added.....Double Underline Text

## CHAPTER 250, ZONING SHALL BE AMENDED AS FOLLOWS:

### SIGN DEFINITIONS

*Amend existing § 250-5 Definitions with the addition of the following new defined terms:*

#### FOOT-CANDLE

A foot-candle is a measurement of light intensity. One (1) foot-candle is defined as enough light to saturate a one (1) foot square with one (1) lumen of light.

#### GLARE

Lighting entering the eye directly from luminaires or indirectly from reflective surfaces that causes visual discomfort or reduced visibility.

#### KELVIN

The unit of measurement used to characterize the color of light emitted by a lamp. The higher the Kelvin rating (expressed in K), the cooler the light; conversely the lower the Kelvin rating, the warmer the light.

#### LED (Light-Emitting Diode)

A semiconductor device that emits visible light when electrical current passes through it. LED is an efficient form of light used for both indoor and outdoor purposes. As a result of its efficient nature, LED lights can produce more light while using less energy.

#### LIGHT FIXTURE

Complete lighting unit consisting of a lamp, lens, optical reflector, housing and electrical components necessary for ignition and control of the lamp, which may include a ballast, starter and/or photo control.

#### LIGHT FIXTURE, FIXED

A light fixture whose means of support (pole, arm or other) is not adjustable so the direction of light cannot be moved or repositioned.



#### **LIGHT FIXTURE, FULL-CUT-OFF**

A light fixture which emits a light distribution where no light is emitted at or above a horizontal plane located at the bottom of a fixture.

#### **LUMEN**

The unit of measurement used to quantify the amount or brightness (750-850 lumens of light is equivalent [approximately] to the light emitted from a 60-watt bulb) of light produced or emitted by a lamp (as distinct from "watt," which is a measurement of the electrical power). For the purposes of this Chapter, measurements in lumens shall refer to "initial lamp lumens" (as opposed to "maintained lamp lumens") as rated by the manufacturer when the lamp is new, as listed on the packaging.

#### **MAINTAINED AVERAGE ILLUMINATION**

Values which the average light levels for area lit shall always meet or exceed during the life expectancy of the system. The average light levels shall be calculated over the entire lit area using a grid method of measurement which divides the total light levels by the number of grid points.

### **LANDSCAPE and EXTERIOR LIGHTING REGULATIONS**

*Amend existing § 250-54 as follows:*

**§250-54** Landscape and lighting requirements and erosion and sediment controls ~~for any use requiring site development plan approval.~~

A. Landscape.

- (1) All exterior areas for any use requiring site development plan approval shall be suitably landscaped to be consistent and compatible with the surrounding neighborhood area, and to effectively screen and buffer said use and its accessory components ~~the nonresidential aspects of the permitted use.~~
- (2) Landscaping shall be required to minimize environmental impacts associated with enlarged parking and other paved surfaces associated with the accessory needs of a ~~nonresidential~~-facility and use requiring site development plan approval, while improving the visual aesthetic of the surrounding primarily rural residential and farm community. Some examples of requirements include but are not limited to:
  - Intermingling of developed surfaces with vegetated and natural environments.
  - Implementation of infiltration and natural retention systems.
  - Implementation of effective filtration and biological systems to protect water supply.
  - Incorporation and addition of tree shading and alternative pavement materials to minimize heat effects of pavement.
- (3) The use of native and noninvasive plant species shall be the focus of landscaping plans.



- (4) Landscaping shall include a mixture of deciduous and evergreen shade and screen trees, ornamental trees, shrubs, perennials and ground covers other than lawn. Areas of lawn shall be minimized to reduce site maintenance and erosion concerns. Annual plantings are also encouraged to supplement principal site landscaping. Fencing, stonewalls and other landscape features are to be utilized to assist with the integration of ~~nonresidential~~ uses requiring site development plan approval with the predominance of detached single-family residential uses within the community.
- (5) The Planning Board may require the preparation of landscape plans to be provided by a New York State licensed landscape architect.

B. Exterior lighting.

Regulation of exterior lighting throughout the Town in both residential and non-residential Zoning Districts is intended to avoid excessively bright lighting that would cause direct or indirect glare, up-cast lighting or sky-glow, to avoid excessive contrast between lighted and unlighted sites creating hazardous driving or walking conditions, to avoid nuisance light spillover or glare affecting nearby residential properties or traffic and to distribute light levels more uniformly across a site. Regulation of exterior lighting is also intended to conserve energy and resources. Lighting is to be designed to be subtle and ancillary to the overall site design of buildings and exterior facilities, providing the minimal lighting necessary to carry out the functional aspects of site operations while ensuring safety and minimization of impacts to abutting property, human health, sensitive wildlife and associated habitats, particularly wetlands/watercourses, flora and fauna resources. Exterior lighting shall be controlled in both height, intensity, and color. Energy efficient LED lights are encouraged when replacing or installing new exterior lights.

- (1) Exterior lighting shall include but shall not be limited to all lights mounted on the exterior of buildings and structures, as well as free-standing and ground lights. Lighting shall be limited to that necessary for operational and safety functions, the design of which shall be designed and maintained in a manner that is consistent and compatible with area residential land uses and properties.
- (2) Lighting shall be directed and arranged so as to reflect light away from adjoining streets and properties. Lighting shall not project onto nor shall light sources be visible from neighboring properties. Lighting shall be located so not to interfere or conflict with street traffic movements and any traffic signals, or parking and pedestrian facilities.
- (3) Lighting shall be dark-sky compliant, utilizing fixed light fixtures which are fully shielded and 100% cut off, the design, scale and massing of which shall be the minimal necessary ~~as determined by the Planning Board.~~ All lights shall include recessed and hidden lenses and fixtures. All exterior lights shall be designed so that filaments, light sources and lenses are shielded and covered by the fixture housing made of an opaque material in such that they will not be visible horizontally or from neighboring properties and abutting streets.
- (4) High pressure sodium lights, as well as lights producing varying intensities, changing colors, flickering, flashing (except identification lighting as required by the Federal Aviation Authority), moving lights and search lights shall be prohibited, except for lighting used during and by emergency service providers. Internally illuminated signs shall be prohibited.



- (5) Holiday light exemption. Temporary low voltage holiday decoration lighting shall be exempt from these standards provided such is clearly incidental, customary and commonly associated with a Federal, State, local or religious holiday observance, and provided illumination of said holiday lighting is limited to a reasonable time period associated with the duration of the related holiday. In no event shall such holiday lighting be illuminated for a period of more than 30 consecutive days (single period) nor more than 60 days (cumulative) in any one calendar year.
- (6) For uses requiring site development plan approval, the Planning Board may require the replacement of existing light fixtures deemed noncompatible to these standards. The Planning Board may also require site lighting levels to be reduced on all or part of the site at different times of the day such as after a facility is closed or during period of reduced usage. Such requirements shall be established as part of the review process. Site lighting levels shall also not result in adverse light spillage over wetland or watercourse resources.
- (7) The design or style of light fixtures shall be consistent and complementary to the site architecture for uses requiring site development plan approval as otherwise required at the discretion of the Planning Board.
- (8) Maximum height of light fixtures and mounting.
  - (a) The height of a free-standing light shall be measured from the base ground elevation (including any base) to the highest point of the light fixture and/or post.
  - (b) A free-standing light height shall be kept as low as practical. The maximum height of a free-standing light shall be the following based on the Zoning District in which said light is installed:

<u>Zoning District</u>	<u>Maximum Light Height (*)</u>
<u>R-1, R-2, R-4, R-1/2, R-1/4 R-MF4, R-MF6, PD-CCRC NB, PO</u>	<u>15 feet</u>
<u>GB, RO</u>	<u>20 feet</u>
<u>(*) Measured from the ground elevation to the highest point of the light fixture and/or supporting pole.</u>	

- (c) The maximum height of a wall-mounted light shall be below the roof eave immediately above said light fixture at place of installation but not exceed a maximum of fifteen (15) feet above the area intended to be lighted. For any use requiring site development plan approval, the Planning Board may modify the maximum mounting height based on specific circumstances where a higher placement would be more appropriate to the setting and facility, and/or where overall lighting is otherwise reduced. Recessed and hidden lighting under eaves, porch roofs and other architectural structures shall be preferred to other wall mounting lights.



(9) Maximum light intensity.

- (a) No exterior lighting shall be used in manner which produces a concentration of light or a direct glare on neighboring properties or abutting streets. Exterior lighting shall be designed to avoid excessive light spillage beyond the area specifically intended to be illuminated.
- (b) The cumulative maximum light output at the property line shall be the following based on the Zoning District said lights are installed (improved effectiveness of lighting, rather than higher levels of intensity, is intended to be achieved where possible):

<u>Zoning District</u>	<u>Maximum Light Intensity at Property Line Measured at Ground Level</u>	<u>Light Source Color (in degrees Kelvin)</u>
<u>R-1, R-2, R-4, R-1/2, R-1/4, NB, PO</u>	<u>0.50 foot-candles (*) (**)</u>	<u>2,700 Kelvin</u>
<u>GB, RO, PD-CCRC, R-MF4, R-MF6</u>	<u>0.25 foot-candles (*)</u>	<u>3,000 Kelvin</u>
<p><u>(*) See Definition in §250-5 – One (1) foot-candle is equal to one (1) lumen. Foot-candle measurements are made with a photometric light meter and with a specified horizontal orientation.</u></p> <p><u>(**) For R-1, R-2, R-4, R-1/2, R-1/4 Districts – Residential light fixtures shall be of low wattage intensity. Residential light fixtures placed at the head of a driveway near the fronting access street shall not exceed an equivalent incandescent light of 25 watts.</u></p>		

- (c) Parking lot, walkway and other site lighting levels shall not exceed a maintained average illumination level of three-quarters (0.75) to five (5) foot-candles at the ground.
- (d) Overnight security lighting shall be installed with motion detector sensors and time sensors to minimize impacts on neighboring properties and abutting streets.

(10) Replacement conformance required.

- (a) Existing light sources not conforming to the fixture type and light intensity standards set forth herein shall be replaced to conforming light sources, no later than [REDACTED], 2022 or at minimum meet the following criteria:
- Not be visible beyond the property line.
  - Be turned off between 11:00 p.m. through 5:00 a.m. or controlled by a motion sensor.
- (c) Noncompliance shall be deemed a Zoning Violation, subject to the provisions and standards of Article XV, Administrative and Enforcement, as may be amended from time to time.



C. Erosion and sediment controls. Erosion and sediment controls shall be provided consistent with the requirements and standards set forth in Chapter 193, Stormwater Law of the Code of the Town of North Salem.

D. Maintenance and upkeep. The maintenance and upkeep of site lighting and landscaping shall be a requirement of continued use and zoning compliance.

~~E. The above landscape and lighting requirements and erosion and sedimentation controls for any use requiring site development plan approval may be waived or modified by the Planning Board where, due to special characteristics of the project site, the proposed use, surrounding area or buildings and structures, such changes are necessary to ensure compatibility and conformance with other standards or criteria of this chapter.~~



**TOWN BOARD OF THE TOWN OF NORTH SALEM**

**ADOPTION OF LOCAL LAW  
ZONING AMENDMENT § 250-5 and § 250-54**

**LANDSCAPING and EXTERIOR LIGHTING**

**SHORT EAF**

**UNLISTED ACTION  
TOWN BOARD LEAD AGENCY (SOLE INVOLVED AGENCY)**

**AUGUST 6, 2022**



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project:			
Town of North Salem - Zoning Amendment Cooperative Abutters Public Hearing Notice Distance			
Project Location (describe, and attach a location map):			
Town of North Salem, Westchester County, New York			
Brief Description of Proposed Action:			
<p>The proposed action consists of the adoption of a Local Law by the Town Board of the Town of North Salem, sole SEQR involved agency (thus lead agency). The Town Board proposes the (legislative) adoption of an amendment to § 250-5 - Definitions and § 250-54 - Landscaping and Exterior Lighting Regulations of Chapter 250, Zoning of the Town Code of the Town of North Salem, updating the zoning standards regulating landscaping and exterior lighting within the town.</p> <p>The Local Law consists of a legislative action, which does not include or involve any land alteration or construction activities, will not cause nor result in any direct changes to the environment and will not result in any changes to existing permitted principal or accessory land uses (except landscaping and exterior lighting), zoning or subdivision densities, or zoning district boundaries. As noted below in response to Question 1, the proposed action only involves the legislative adoption of the Local Law, thus Questions 2 through 20 below are "not applicable"</p> <p>See attached Project Narrative for further description of the proposed action and the attached Part 2 of this SEAF.</p>			
Name of Applicant or Sponsor:		Telephone: 914-669-5110	
North Salem Town Board; Warren Lucas, Supervisor		E-Mail: wlucas@northsaalemny.org	
Address:			
266 Titicus Road			
City/PO:		State:	Zip Code:
North Salem		NY	10560
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
			<input type="checkbox"/>
			<input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO
If Yes, list agency(s) name and permit or approval:			YES
			<input type="checkbox"/>
			<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			



5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>North Salem Town Board; Warren Lucas, Supervisor</u> Date: <u>08/06/22</u>  Signature: _____ Title: <u>Supervisor</u>		



Project: Zoning Amend - Landscaping/Lighting

Date: 08/06/22

## *Short Environmental Assessment Form*

### *Part 2 - Impact Assessment*

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>



### *Short Environmental Assessment Form*

#### *Part 3 Determination of Significance*

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Part 3 is Not Applicable as no "Moderate to Large Impacts" were identified in the Part 2.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Town of North Salem Town Board <hr/> Name of Lead Agency	<hr/> Date
Warren Lucas <hr/> Print or Type Name of Responsible Officer in Lead Agency	<hr/> Supervisor <hr/> Title of Responsible Officer
<hr/> Signature of Responsible Officer in Lead Agency	<hr/> Signature of Preparer (if different from Responsible Officer)



**TOWN BOARD OF THE TOWN OF NORTH SALEM****ADOPTION OF LOCAL LAW  
ZONING AMENDMENT § 250-5 and § 250-54  
LANDSCAPING AND EXTERIOR LIGHTING****SHORT EAF NARRATIVE****UNLISTED ACTION  
TOWN BOARD LEAD AGENCY (SOLE INVOLVED AGENCY)****PROPOSED ACTION**

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The proposed action consists of the adoption of a Local Law by the Town Board of the Town of North Salem, sole SEQR involved agency (thus lead agency). The Town Board proposes the (legislative) adoption of a text amendment to § 250-5 and § 250-54 of Chapter 250, Zoning of the Town Code of the Town of North Salem, updating the zoning standards regulating landscaping and exterior lighting within the town.

The proposed (legislative) action does not include or involve any land alteration or construction activities, will not cause nor result in any direct changes to the environment and will not result in any changes to existing permitted principal or accessory land uses (except landscaping and exterior lighting), zoning or subdivision densities, or zoning district boundaries. Therefore, adoption and implementation of the proposed legislative action, in of itself, will not result in any physical alteration of the environment, nor involve or otherwise cause any significant adverse environmental impacts.

Rather, the Zoning text amendment, consistent with the Town's 2011 Comprehensive Plan, will update and enhance the regulation of the design, construction, installation and maintenance of landscaping and lighting within the Town of North Salem. The amendments will apply throughout the Town in both residential and non-residential Zoning Districts.

The updated regulations associated with exterior lighting are particularly intended to avoid excessively bright lighting that would cause direct or indirect glare, up-cast lighting or sky-glow, to avoid excessive contrast between lighted and unlighted sites creating hazardous driving or walking conditions, to avoid nuisance light spillover or glare affecting nearby residential properties or traffic and to distribute light levels more uniformly across a site. The updated regulation of exterior lighting is also intended to conserve energy and resources, and ensure exterior lighting is designed to be subtle and ancillary to the overall site design of buildings and exterior facilities, providing the minimal lighting necessary to carry out the functional aspects of site operations while ensuring safety and minimization of impacts to abutting property, human health, sensitive wildlife and associated habitats, particularly wetlands/watercourses, flora and fauna resources. Exterior lighting shall be controlled in both height, intensity, and color. Energy efficient LED lights are encouraged when replacing or installing new exterior lights.

The regulation of landscaping and lighting is necessary in order to maintain and protect the attractive and harmonious visual image and character of the community; protect the aesthetic environment from unmanaged landscapes and unnecessary light pollution; protect property values; and protect the public health, safety and welfare of the residents of the Town of North Salem.



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## SEQR COMPLIANCE

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The proposed (legislative) action is classified as an “Unlisted Action” consistent with SEQR 6 NYCRR Part 617. As a legislative action, the Town of North Salem Town Board is the sole agency in regard to the funding, approval and direct undertaking of the proposed action. Therefore, in accordance with the standards and definitions as set forth in SEQR 6 NYCRR Part 617, the Town Board is the only involved agency and thus lead agency for the environmental review of the proposed Unlisted action (there are no other SEQR involved agencies with whom to coordinate).

In regard to the Short Environmental Assessment Form (SEAF) Part 1, the responses to Questions 2 through 20 are “Not Applicable” because the proposed action, as described above, is a legislative action (as indicated in response to Question 1).

The proposed action being legislative specific, in of itself, does not involve any direct impacts to land uses or the environment, does not impact natural resources, and does not involve any type of land alteration or construction activity. Accordingly, completion of the SEAF Part 2 did not identify any resulting “moderate to large impacts,” therefore completion of a SEAF Part 3 is “Not Applicable.”

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## ENVIRONMENTAL SIGNIFICANCE

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The proposed Unlisted action involves expenditure of local funding for the preparation, adoption, filing, and implementation of the Local Law. Current staffing and procedures related to administration operations and actions related to town implementation of the Local Law will remain in force. The proposed action will not generate or stimulate increased demand for community provided services, such as recreation, education, police or fire protection. Further, adoption of the Zoning amendment will not result in any significant adverse impacts on the environment, as follows:

- The proposed action is consistent with the Town’s 2011 Comprehensive Plan in regard to ensuring the Town’s regulations are current, uniformly applied and representative of the goals and objectives of the Comprehensive Plan. The updated regulation of landscaping and lighting is necessary in order to maintain and protect the attractive and harmonious visual image and character of the community; protect the aesthetic environment from unmanaged landscapes and unnecessary light pollution; protect property values; and protect the public health, safety and welfare of the residents of the Town of North Salem.
- The updated exterior lighting regulations are particularly intended to avoid excessively bright lighting that would otherwise cause direct or indirect glare, up-cast lighting or sky-glow. The updated regulations will help avoid excessive contrast between lighted and unlighted sites creating hazardous driving or walking conditions and will avoid nuisance light spillover or glare affecting nearby residential properties and traffic by requiring minimizing light emissions and distributing light levels more uniformly across a site.



- The updated regulation of exterior lighting will help conserve energy and resources, and ensure exterior lighting is designed to be subtle and ancillary to the overall site design of buildings and exterior facilities, providing the minimal lighting necessary to carry out the functional aspects of site operations while ensuring safety and minimization of impacts. The updated regulations encourage the use of energy efficient LED lights when replacing or installing new exterior lights.
- The proposed action, in of itself, will not involve any direct development or construction activities, or result in any physical changes to any real property or the environment, or otherwise cause any significant adverse environmental impacts.
- The proposed action will not have any direct adverse environmental impacts on land, water, wetlands and related resources, plants and animals, or associated habitat areas. Rather, the updated regulations will require and ensure minimization of impacts to abutting property, human health, sensitive wildlife and associated habitats, particularly wetlands/watercourses, flora and fauna resources.
- The proposed action will not have direct adverse environmental impacts on air resources, agricultural lands, transportation, energy resources and facilities, nor will the proposed action generate adverse environmental public health, noise, or odor impacts.
- The proposed action will not have any adverse environmental impacts on recreation or open space resources, or on historic or archaeological resources.
- The proposed action will not generate or stimulate increased demand for community provided services, such as parks and recreation, education, social programs, public works, police, or fire protection.
- The proposed legislation action will not result in any adverse environmental impacts on a designated Critical Environmental Area; will not encourage or attract a large number of people to a specific location; nor result in the creation of a material demand for other actions resulting in significant adverse impacts.

Based on the foregoing, implementation of the proposed Unlisted (legislative) action is not anticipated to result in any significant adverse environmental or socio-economic fiscal impacts.



RECEIVED BY

AUG 16 2022

## NOTICE OF PUBLIC HEARING

Town Clerk  
Town of Lewisboro

**NOTICE IS HEREBY GIVEN**, the Town Board of the Town of North Salem will hold a Public Hearing on Tuesday, September 13, 2022 at 7:30 pm, or soon thereafter, at the Town Meeting Hall, 66 June Road, North Salem, New York (and via zoom link to be published with the notice), to consider the adoption of a Local Law amending Chapter 250, Zoning of the Code of the Town of North Salem, pursuant to New York State Constitution Article IX and New York Municipal Home Rule Law §10, to amend §250-5, Definitions; and §250-37 through §250-44 – Sign Regulations.

### **Public Hearing Location**

Meeting Room  
66 June Road  
North Salem, NY 10560

### **Zoom Information:**

Call in number: 929-205-6099

Meeting ID 9142612636

Zoom link: <https://zoom.us/j/9142612636>

Comments submitted in writing prior to the Public Hearing will be read and entered into the record.

A copy of the complete proposed Local Law may be viewed in the office of the Town Clerk at 266 Titicus Road, North Salem, NY 10560 or on the Town website at [www.northsalemny.org](http://www.northsalemny.org)

At said hearing, all interested parties may attend and will be heard. The Town of North Salem is committed to equal access for all citizens. Anyone requiring accommodation to attend or participate in this meeting is urged to call the Town Clerk's office in advance at (914) 669-5577.

**BY ORDER OF THE TOWN BOARD  
OF THE TOWN OF NORTH SALEM**

Maria C. Hlushko  
Town Clerk



**TOWN BOARD OF THE TOWN OF NORTH SALEM  
WESTCHESTER COUNTY, NEW YORK  
LOCAL LAW # \_\_\_\_ OF THE YEAR 2022  
AMENDMENT CHAPTER 250, ZONING – § 250-5 and § 250-37 through § 250-44  
EXTERIOR SIGNS**

**September \_\_\_\_, 2022**

A **LOCAL LAW** amending § 250-5, Definitions and § 250-37 through § 250-44 Sign Regulations of Chapter 250, Zoning of the Code of the Town of North Salem;

**BE IT ENACTED** by the Town Board of the Town of North Salem as follows:

**Section 1. Legislative Intent**

The intent of this local law is the amendment of § 250-5, Definitions and §250-37 through § 250-44 Sign Regulations of Chapter 250, Zoning of the Code of the Town of North Salem updating the zoning standards regulating exterior signs within the town.

**Section 2. Applicability**

The Zoning text amendment will update the regulations regarding the design, construction, installation and maintenance of exterior signs within the Town of North Salem, which, consistent with the Town's 2011 Comprehensive Plan, is necessary in order to maintain and protect the attractive and harmonious visual image of the community; permit effective identification of businesses to encourage economic prosperity; protect the aesthetic environment from the unrestricted proliferation of signs and visual clutter; protect property values; and protect the public health, safety and welfare of the residents of the Town of North Salem.

**Section 3. Zoning Text Amendments**

§ 250-5 and § 250-37 through § 250-44 of Chapter 250, Zoning of the Code of the Town of North Salem is hereby amended as set forth in Addendum A attached hereto, consistent with and in accordance with the requirements and procedures set forth in Chapter 250, Zoning, Article XIX, Amendments.

**Section 4. Severability**

If any section, subsection, subdivision, paragraph, clause or phrase in this local law, or any part thereof, is for any reason held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining sections or portions of this local law, or any part thereof. The Town Board hereby declares that it would have passed each section subsection, subdivision, paragraph, sentence, clause, or phrase of this local law, irrespective of the fact that one or more sections, subsections, subdivisions, paragraphs, sentences, clauses, or phrases may be declared invalid or unconstitutional.

**Section 5. Authority**

This local law is adopted pursuant to Municipal Home Rule Law § 10.

**Section 6. Effective Date**

This local law shall take effect upon filing with the Secretary of State pursuant to the Municipal Home Rule Law.



## ADDENDUM A

### AMENDMENT CHAPTER 250, ZONING – § 250-5 and § 250-37 through § 250-44

#### EXTERIOR SIGNS

##### Legend to Zoning Text Amendments:

- Existing Text to Remain Unchanged.....Plain Text
- Existing Text to be Deleted.....~~Cross-out Text~~
- Proposed Text to be Added.....Double Underline Text

#### CHAPTER 250, ZONING SHALL BE AMENDED AS FOLLOWS:

##### SIGN DEFINITIONS

*Amend existing § 250-5 Definitions with the retention, amendment or addition of certain zoning definitions relating to exterior signs:*

##### BILLBOARD

A sign which directs attention to a business, commodity, service, entertainment or attraction conducted, sold, offered or existing elsewhere than on the same lot where such sign is displayed or not for the principal use of such lot.

##### SIGN

Any surface or device containing a sign display, the purpose of which is to bring the subject thereof to the attention of the public through the communication of a visual message.

##### SIGN DISPLAY

A display or legend including, but not limited to, letters, words, logos and insignia which are used as or presented as an announcement, direction or advertisement.

##### SIGN AREA

The area of a sign as measured according to the standards in this chapter ~~within the shortest line that can be drawn around the outside perimeter of the face of a sign display, including all decoration but excluding supports, if any, unless the same are illuminated as illumination is defined under "sign, illuminated."~~ In computing total sign area, the area of the faces of all sign displays shall be counted.

##### SIGN PLAN

A graphic plan drawn to scale detailing the conformance of a proposed sign with the standards and requirements applicable to signs as set forth in this chapter.

##### SIGN, ADVERTISING

Any exterior sign which contains a sign display that attempts to solicit business through the inclusion of information which is not pertinent to the identification of a particular establishment and its location. Such information includes but is not limited to, hours of operation; detailed description of merchandise offered for sale, lease or rent; sales and marketing policies; and promotional slogans.



#### **SIGN, CONSTRUCTION**

A temporary sign erected on the premises on which construction or substantial repair services are taking place, restricted solely to the period of such activity, indicating as appropriate the names of the architects, engineers, landscape architects, contractors or similar artisans, and the owners, financial supporters, sponsors, and similar individuals or firms having a role or interest with respect to the structure or project.

#### **SIGN, DIRECTIONAL**

Signs limited to on-premises directional or warning messages, principally for pedestrian or vehicular traffic, such as but not limited to "one-way," "entrance," and "exit" as well as site and/or unit numbering but shall not include any advertising or name of establishment.

#### **SIGN, DIRECTORY**

A sign or number of signs containing the name and type of a business, constructed of compatible materials and design.

#### **SIGN, FLASHING or INTERMITTENT**

Any illuminated sign on which the artificial light is not maintained stationary and constant in intensity and color at all time when in use.

#### **SIGN, FREESTANDING**

A non-movable sign supported by and placed upon the ground with or without a subsurface foundation, independent of and not affixed to a building or structure, including monuments, support poles or other supporting measures or devices.

#### **SIGN, IDENTIFICATION**

A sign used to identify the name of a permitted dwelling, farm, home occupation or home professional office, ~~institution~~ or establishment which is ~~a the~~ either a principal or accessory use upon the lot.

#### **SIGN, ILLUMINATED**

A sign lighted by or exposed to artificial lighting either by lights on or in the sign or directed towards the sign. ~~A sign on which artificial light is directed or which is constructed of translucent materials through which light is directed. A sign on which the illuminating source is visible to the public way or any property line, except for signs constructed from neon type tube, is not a permitted sign in any district.~~

#### **SIGN, INTERNALLY ILLUMINATED**

A lighted sign whose light source is internal to its construction.

#### **SIGN, PORTABLE**

A temporary sign that is not permanently affixed to a building, structure or the ground. This shall include any sign mounted on a vehicle in any manner parked on any premises.

#### **SIGN, PERMANENT**

A sign intended to be maintained in a fixed condition and position for an indefinite period of time.

#### **SIGN, REAL ESTATE**

A sign pertaining to the sale, rental lease of the premises, or a portion of the premises, on which sign is located.



**SIGN, ROOF**

A sign attached to, resting on or extending over any portion of a roof of a structure or building.

**SIGN, SEASONAL**

A sign or advertising display of a temporary nature describing a seasonal activity, product or service.

**SIGN, SPECIAL EVENT**

A temporary sign advertising a community, civic or not-for-profit organization temporary occurrence or event such as a carnival, festival, charity event, bazaar, farmers' market, arts and crafts fair or similar.

**SIGN, TAG SALE**

A temporary sign advertising a private sale of personal property by the owner of the premises, such as a garage sale, barn sale, yard sale, estate sale and the like.

**SIGN, TEMPORARY**

A sign which is movable, not intended to be permanently fixed and which is displayed for a relative short duration or periodically moved.

**SIGN, TRAFFIC CONTROL**

An official sign indicating or directing the required conduct of vehicular and pedestrian traffic movements along streets and at intersections of streets and/or streets and private driveways.

**SIGN, WALL**

A permanent sign fastened to or painted on the exterior wall of a building or structure in such a manner that the wall becomes the supporting structure for, or forms the background surface of the sign.

**SIGN, WINDOW**

A permanent or temporary sign fastened, etched, attached or otherwise fastened to or hanging within view from the exterior of the building or structure.

**SIGN REGULATIONS**

*Amend existing § 250-37 through §250-44 as follows:*

**§250-37 General sign regulations Purpose**

~~Pursuant to § 274-a of the Town Law, the Planning Board is authorized to adopt, subject to § 250-120, rules and regulations which may include standards for signs and related sign lighting. Signs validly erected prior to the adoption of this chapter are permitted subject to the provisions of §§ 250-44 and 250-80.~~

Consistent with the North Salem Comprehensive Plan, the regulation of the design, construction, installation and maintenance of signs in the Town of North Salem is necessary in order to maintain and protect the attractive and harmonious visual image of the community; permit effective identification of businesses to encourage economic prosperity; protect the aesthetic environment from the unrestricted proliferation of signs and visual clutter; protect property values; and protect the public health, safety and welfare of the residents of the Town of North Salem.



#### **§250-38 Permit required.**

Signs shall hereafter be established, replaced, erected, re-erected, constructed, reconstructed, extended, enlarged or altered only in accordance with an approved site development plan or sign permit.

- A. No sign permit is required for painting, cleaning and other normal maintenance and repair of a sign for which an approval has been granted under this chapter.
- B. No sign permit is required for a change in name or business or for a change in the wording and/or graphics of an existing business of a preexisting sign for which an approval has been granted under this chapter so long as there is no change in the size, height, location ~~color~~, yard setbacks or illumination requirements of the approved ~~sign and so long as there is no change in the size or color of the lettering.~~
- C. All signs shall comply with the size, yard, design and construction standards, and illumination requirements herein except as provided in § 250-39.
- D. The Planning Board shall consider the relationship of each sign to the safety and convenience of the public. In considering a sign application, the Planning Board shall consider design criteria relating to sign location, size, proportions, scale, materials, texture, color, lettering and illumination in addition to the purposes and other criteria of this article.

#### **§250-39 Exempt signs.**

- A. The provisions of this article shall not apply to the following types of signs:
  - (1) Traffic control signs conforming to the New York State Department of Transportation Manual of Uniform Traffic Control Devices and other traffic regulatory signs shown on an approved site development plan or required pursuant to the order of municipal traffic control agencies.
  - (2) Other signs of or required by duly constituted governmental bodies and their agencies (such as E911 signs), where such signs are established in the interest of the safety, convenience or welfare of the general public.
- B. The provisions of this article shall not apply to the following signs, provided each such ~~so long as the~~ sign meets the corresponding quantity, size, height, setback and placement specifications, illumination and time ~~duration frame~~ indicated; ~~if the sign exceeds any of the specifications listed herein, then a sign permit is required from the Planning Board:~~
  - (1) Interior signs not visible outside of a building.
  - (2) On-premises temporary and seasonal signs specific to the property upon which they are placed, pertaining to an initial or seasonal grand opening of a business, complying with the corresponding standards below:



<u>EXTERIOR TEMPORARY SIGN STANDARDS</u>	
<u>STANDARD</u>	<u>REQUIREMENT</u>
<u>Quantity</u>	<u>One sign per business on the premises at any one time.</u>
<u>Area or Size</u>	<u>Maximum of four square feet.</u>
<u>Height</u>	<u>Maximum mounting height of three feet from grade level.</u>
<u>Setback and Placement</u>	<u>Shall be placed on the property for which the sign pertains, no less than five feet from any property line and which placement shall not interfere with sight lines of a public or private road and/or driveway. Such signs shall be adequately affixed to the ground or other acceptable structure to ensure their stability from falling down or blowing away.</u>
<u>Illumination</u>	<u>Shall not be illuminated.</u>
<u>Duration</u>	<u>May be displayed for up to 30 days.</u>

(3) On-premises temporary signs specific to the property upon which they are placed, complying with the corresponding standards below, including but not limited to the following signs:

- Real estate sign.
- Construction sign.
- Garage, barn or tag sale sign provided such sign contains the address and date of sale.
- A sign pertaining to and displayed during drives and events of civic, philanthropic or educational institutions.

<u>EXTERIOR TEMPORARY SIGN STANDARDS</u>	
<u>STANDARD</u>	<u>REQUIREMENT</u>
<u>Quantity</u>	<u>One per each sign as itemized above.</u>
<u>Area or Size</u>	<u>Maximum of four square feet.</u>
<u>Height</u>	<u>Maximum mounting height of three feet from grade level.</u>
<u>Setback and Placement</u>	<u>Shall be placed on the property for which the sign pertains, no less than five feet from any property line and which placement shall not interfere with sight lines of a public or private road and/or driveway. Such signs shall be adequately affixed to the ground or other acceptable structure to ensure their stability from falling down or blowing away.</u>
<u>Illumination</u>	<u>Shall not be illuminated.</u>
<u>Duration</u>	<u>May be displayed 14 days before an event and shall be removed within three days after an event.</u>



(4) On premises exterior permanent (non-temporary) signs, complying with the corresponding standards below for the following signs:

- "No Hunting," "No Trespassing," "Private Property," or similar intended message signs; multiple signs along a property line shall be the minimum necessary to comply with the NYS Penal Code.
- Signs announcing presence of security system, dog fencing or other similar.
- For any dwelling, farming operation, home occupation or home professional office, one nameplate and/or one identification sign for each entrance.
- Signage on or next to an entrance door of non-residential uses indicating name of establishment, hours of operation or similar directive information, or information regarding the products or services provided.

<b>EXTERIOR PERMANENT SIGN STANDARDS</b>	
<b>STANDARD</b>	<b>REQUIREMENT</b>
<u>Quantity</u>	<u>As itemized above.</u>
<u>Area or Size</u>	<u>Maximum of two square feet.</u>
<u>Height</u>	<u>Maximum mounting height of seven feet from grade level.</u>
<u>Setback and Placement</u>	<u>Shall be placed on the property for which the sign pertains, no less than five feet from any property line and which placement shall not interfere with sight lines of a public or private road and/or driveway. Such signs shall be adequately affixed to the ground or other acceptable structure to ensure their stability from falling down or blowing away.</u>
<u>Illumination</u>	<u>Shall not be illuminated.</u>
<u>Duration</u>	<u>Same as the principal use such sign is associated with.</u>

- ~~(1) For any premises for sale or for rent, one temporary nonilluminated "for sale" or "for rent" sign, not over four square feet in area and located at least five feet from any front lot line. Such signs must be removed within three days from a closing.~~
- ~~(2) Temporary signs in any district pertaining to and displayed during campaigns, drives or events of civic, political, philanthropic or educational institutions, provided that such signs are displayed not more than 10 days before the event and removed three days after the event. Signs shall not exceed four square feet in size.~~
- ~~(3) Temporary, nonilluminated construction signs, not exceeding four square feet in area, identifying the project under construction, participating designers, contractors or developers. Such a sign shall be permitted only on the property upon which the construction occurs and only during the construction period of the project, but not to exceed a period of six months.~~
- ~~(4) Signs not visible outside of a building.~~
- ~~(5) Temporary signs not to exceed two square feet in size for garage, barn or tag sales, provided that such signs contain the name of the seller and date of the sale, are displayed only two days prior to the sale and are removed three days after the sale.~~



- ~~(6) "No trespassing" and "private property" signs, provided that such signs do not exceed two square feet in size and are mounted no higher than seven feet from grade level. Multiple signs along a property line shall be the minimum necessary to be conspicuous.~~
- ~~(7) For any commercial use subject to site plan review, on-site directional signs, provided that such signs do not exceed two square feet in size and are placed at least 20 feet from road frontage.~~
- ~~(8) For any dwelling, farming operation, home occupation or professional office, one nameplate and/or one identification sign for each entrance, not to exceed two square feet in area. The height of any freestanding sign shall not exceed six feet.~~

#### **§250-40 Prohibited Signs.**

Any signs not expressly permitted by this chapter are prohibited. Additional types of signs that are prohibited include:

- A. Flashing signs, including any sign or device on which the artificial light is not maintained stationary and constant in intensity and color at all times when in use.
- B. Exterior advertising signs and billboards (in regard to a billboard sign, except in the limited case where an off-premises multiple business directory sign is permitted in §250.41.1D of this Chapter).
- C. Signs representing or depicting to any degree official traffic signs or signals.
- D. Signs which emit noise, sounds or smoke.
- E. Animated signs, whether by mechanical or electrical processes, including signs with balloons, beacons or search lights, strings of incandescent lights, festoons, flags, banners, streamers, spinners or other paraphernalia attached to or associated with such signs.
- F. Signs of a prurient nature or advertising businesses, commodities or services of a prurient nature or any unlawful business or undertaking.
- G. Illuminated signs outlining any part of a building, such as a gable, roof, sidewall or corner. A sign on which the illuminating source is visible to the public way or any property line.
- H. Signs made of cardboard, paper or similar impermanent material, except as may be permitted pursuant to § 250-39.
- I. Signs mounted on parked vehicles or trailers or other similar mobile advertising media where parked or located visible from the street or adjacent properties.
- J. Signs within a street right-of-way (except that which may be permitted per §250-40.1D of this chapter) or signs which project over a street.



- K. Signs obstructing traffic visibility. No freestanding sign shall be erected or maintained in the shaded area shown in Sketch A found in § 250-21C, as such shaded area relates to the intersection of two streets or to the intersection of a driveway with a street.

L. Signs with florescent or reflective paint or materials.

**§250-40.1 Permitted signs.**

The following signs require permit approval from the Planning Board.

- A. For any nonresidential establishment, one indirectly illuminated wall sign may be located on the building facade or hang within one foot of a facade from an overhang, facing the frontage street, with a maximum vertical dimension of two feet and a maximum horizontal dimension not to exceed 30% of the building facade length associated with each use or establishment or 15 feet, whichever is less. ~~In no event shall the lettering on a facade sign exceed one foot in height.~~ For a one-story building with a pitched roof, a roof sign may be permitted in lieu of an otherwise permitted wall sign (but not both), subject to the standards of wall signs as set forth in this chapter.
- B. For any nonresidential establishment (site, use): one freestanding indirectly illuminated identification or directory sign not over eight square feet in area, ~~to be placed at least 10 feet from the front lot line.~~ The height of any freestanding sign shall not exceed six feet.
- C. For any nonresidential establishment on a corner lot, at the discretion of the Planning Board, a additional ~~second~~ sign, either a freestanding or wall sign on a facade, not to exceed four square feet in area, may be allowed. If freestanding, the subject lot shall include an access driveway on each street and the distance between the centerline of such driveways at the street line shall be no less than two-hundred (200) linear feet apart ~~the sign must be located at least 10 feet from a lot line and shall not exceed six feet in height.~~ In no event may one establishment have more than two freestanding signs. All other conditions for nonresidential signs apply.
- D. Off-premises multiple business directory signs. One freestanding indirectly illuminated identification multiple business directory sign not over 10 square feet in area may be allowed within a town street right-of-way at a gateway to each of the hamlets in the Town, subject to obtaining a license from ~~special permit of~~ the Town Board in addition to ~~and~~ sign permit approvals from the Planning Board and Building Inspector.
- E. Directional signs. No directional sign shall be more than three square feet in area. In locations with more than one directional sign, all such signs shall be affixed to a common standard and be graphically coordinated and arranged so as to present a neat and orderly appearance. Any such sign standard shall be designed to accommodate the later addition of further directional signs. Multiple directional signs shall be combined into one to avoid clutter to the maximum extent feasible.



#### **§250-41 Application procedure.**

- A. No sign permit will be issued except in accordance with a sign permit approval or a site development plan approval. An application for a sign permit shall be made to the Planning Board, on forms prescribed by it, and shall contain the information specified in the rules and regulations adopted by the Planning Board. All applications shall be accompanied by the required fee in accordance with the Standard Schedule of Fees of the Town of North Salem.
- ~~B. The Building Inspector, upon receipt of a resolution of approval from the Planning Board for a sign permit, shall issue a sign permit and a display sticker, which shall be prominently affixed to each sign and visible from the street on which the sign abuts.~~
- B.C. If there is no standing sign permit approval or standing site development plan approval, the applicant must submit an application to the Planning Board for either site development plan approval or sign permit approval whichever is applicable. In the case of a sign which is not submitted as part of a site development plan, a sign plan for such sign shall be subject to review and approval by the Planning Board. Upon the granting of a site development plan or a sign permit approval, a copy of the approved permit shall be transmitted to the Building Inspector.
- C. The Building Inspector, upon receipt of a resolution of approval from the Planning Board for a sign permit, shall issue an administrative sign permit and a display sticker, which display sticker shall be prominently affixed to each sign and visible from the street on which the sign abuts.

#### **§250-42 Sign design and construction standards ~~Additional requirements.~~**

~~The Planning Board, in promulgating site development plan rules and regulations, shall provide for a limitation on the size of signs, type and characteristics of illumination, number and location, taking into consideration the uses on the site and the reasonable requirement for communicating information to the vehicular or pedestrian public.~~ The Planning Board shall consider and determine the consistency of proposed signs with the following supplemental use criteria in granting any approvals for signs:

- A. Signs must be clearly accessory to the use or uses upon the same lot, and such signs and lighting must be shown to be essential to the conduct of the principal use upon the lot.
- B. The size and content of the sign shall be the minimum essential for legibility and for the provision of information to patrons seeking the particular use described on such sign. Signs shall be a subordinate part of the site and adjacent streetscape.
- C. The sign content shall ~~not hawk or peddle and must~~ clearly provide only the information necessary to identify the use upon the lot.
- D. The sign shall not be confused with any traffic signal or other safety device, nor be composed of elements depicting in exaggerated size or grotesque style the use upon the lot. No sign shall be so arranged that it interferes with traffic through glare, lighting arrangement, through blocking of reasonable sight lines for streets, sidewalks, or driveways.



- E. The Planning Board may require that landscaping be used at the base of a freestanding sign if such landscaping will make the sign more compatible with the surrounding area. ~~All signs, together with their supporting braces, guys, anchors, etc., shall be kept in repair and in a proper state of preservation. The display surfaces of all signs shall be kept neatly painted or maintained at all times.~~

F. Sign size measurement.

- (1) Wall Signs (including window signs and roof signs): The area of a wall sign shall be considered to include all lettering, wording and accompanying designs or symbols, together with any background different from the building, whether painted or applied, when it is designed as an integral part of, and obviously related to the sign; and when the sign consists of individual letters or symbols attached to or painted on a building wall or window, the area shall be considered to be that of the smallest rectangle which encompasses all of the letters or symbols.
- (2) Freestanding Sign: The area of a freestanding sign shall be measured by multiplying the height of the sign board by the width of the sign board (an area of design trim may be excluded provided said trim is decorative in nature and does not exceed a dimension of four inches), excluding vertical, horizontal or diagonal supports which affix the sign to the ground, unless such supports are evidently designed to be part of the sign as defined herein, not to exceed one foot.
- (3) Where a sign consists of multiple plaques or parts, the sign area shall be the total aggregated area of all such parts, measured as stated above.
- (4) When a sign consists of two or more faces, the largest face of the sign shall be used in computing the sign area provided the faces are parallel to and within 12 inches of each other; otherwise, all faces of the sign shall be used to compute the sign area.

G. Sign placement, location.

- (1) All signs shall be securely fastened to the ground or to posts or shall be securely attached to a building.
- (2) Multiple signs located on the same premises shall express uniformity and create a sense of harmonious appearance.
- (3) Freestanding signs:
  - (a) Shall be located no closer than 10 feet from any property line or street line, except the Planning Board may permit a lesser set back based on site and abutting road right-of-way specific conditions.
  - (b) Shall be as close to the ground as practical, consistent with legibility considerations and traffic safety.
  - (c) Shall not be placed, located, erected or maintained so as to obstruct or impair visibility along a street or at street intersection, internal site vehicular or pedestrian movements, or any door, window or fire escape; or to cause any other hazard to the public health or safety.



(4) Wall signs: Shall not project beyond the outer wall or above the horizontal roof eaves of the building upon which it is attached.

(5) Roof signs:

(a) A roof sign shall be considered a wall sign.

(b) A maximum of one (1) roof sign per single-story building with a pitched roof may be permitted in lieu of an otherwise permitted wall sign.

(c) No part of the roof sign shall extend past the horizontal mid-point of the pitched roof.

(d) No part of the roof sign shall be closer than six (6) inches or more than two (2) feet from the horizontal eave line of the pitched roof.

(e) The distance between the face of the pitched roof and the bottom horizontal edge of the roof sign shall not exceed six (6) inches.

(f) No part of the roof sign mounting shall be visible as viewed from the front of the building.

(6) Signs on awnings shall be integral to the awning and placed on the front flap section only; any such sign shall be considered a wall sign.

(7) Window signs shall be considered a wall sign, except if measuring less than one square foot in area (the cumulative area of any such excluded window signs shall not exceed 10% of the window surface).

#### H. Materials, architectural compatibility, legibility.

(1) Sign panels shall be constructed of wood, metal, or masonry or other suitable material as approved by the Planning Board. Signs may also be painted or etched on appropriate surfaces such as doors, windows or walls.

(2) The design and construction of a sign shall be compatible and consistent with the architectural character (pertaining to the style, size and shape, materials used, location, lettering and color) of the premises to which they refer, the neighborhood, the surrounding vernacular landscape and the general character of the Town.

(3) Sign panels and graphics shall relate with and not cover architectural features or details and shall be in proportion to them.

(4) In any district where there is more than one sign on a building or more than one sign in a multi-building complex, all signs shall conform to a uniform and coordinated sign program submitted by the owner or tenant and approved by the Planning Board. The scheme shall be a thematic concept to maintain aesthetic consistency with the site architecture.

(5) Lettering style and font types shall be legible and easy to read by passing motorists for road side signs.



(6) The following maximum and minimum heights shall be required for all copy on permitted freestanding signs for the purpose of creating legible graphics which can be seen and responded to within safe distances to maneuver a car:

(a) Maximum Character Height – No letter, number, character or other symbol shall exceed a height of one foot.

(b) Minimum Character Height – No letter, number, character or other symbol shall be less than four inches in height.

(7) No letter, number, character or other symbol on a wall sign exceed a height of one foot.

I. Illumination.

(1) Light fixtures used to illuminate signs shall be top mounted, shielded and directed downward to the sign so that light is directed only onto the sign face. The light source (bulb) of light fixtures shall not be directly visible and shall not be aimed toward adjacent streets, roads or properties. Concealed LED illumination is preferred at the top edges of the sign construction washing light over the sign face as opposed to a protruding light fixture which spots light towards the sign face.

(2) The face of any sign shall be constructed and colored in such a manner as to prevent glare from the sign illumination, utilizing dense opaque or solid materials and coloring creating “positive contrast” legibility and visibility.

(3) Internal illumination is not preferred but if used shall be strictly limited to the illumination of text or graphic symbols only utilizing back lighting. Internally illuminated awnings are prohibited. Exposed neon tubing or bare-bulbs are prohibited.

J. Street address identification. The property street number shall be included in all permitted freestanding signs. The street number shall be located at the top of the sign and shall be integrated into the overall design and sign area. The height of the street number lettering shall be a minimum of four inches. A maximum of one-half (½) square feet of sign area devoted to the street address shall not count toward the maximum permitted sign area otherwise allowed.

**§250-43 Enforcement.**

**A. Applicability.**

(1) Any sign not in conformity with such an approved sign permit shall be deemed a violation of this chapter.

(2) No sign permit shall hereafter be approved or issued except in conformity with the requirements of this chapter ~~and the site development plan rules and regulations, as adopted.~~

(3) No permit shall be issued for any sign except in conformity with an approved sign plan or site development plan.



(4) Signs missing their duly issued sign permit display sticker shall be deemed non-permitted and subject to issuance of a zoning violation.

- B. Removal of certain signs. Any sign now or hereafter existing which no longer identifies a use on the subject premises or is not being maintained shall be taken down and removed by the owner, agent or person having the beneficial use of the building or structure upon which such sign may be found, within 10 days after written notification from the Building Inspector, and, upon failure to comply with such notice within the time specified in such order, the Building Inspector is hereby authorized to cause removal of such sign. Failure to comply with the notification of the Building Inspector shall constitute a violation of this chapter.
- C. Dangerous signs. Should a sign be or become insecure or in danger of falling or otherwise unsafe in the opinion of the Building Inspector, the owner thereof or person maintaining the same shall, upon receipt of written notice from the Building Inspector and, in any case, within five days thereafter, secure the same in a manner to be approved by the Building Inspector. If such order is not complied with, the Building Inspector is hereby authorized to cause removal of such dangerous sign, and any expense incident thereto shall be paid by the owner of the building, structure or premises on which such sign is located. When any sign is in such dangerous condition as to be immediately dangerous to the safety of the public, the Building Inspector is hereby authorized to take such action as in his opinion shall be necessary to protect the public or property.

D. Signs lacking a permit from the proper authority, which have been placed within any highway or street right-of-way, may be confiscated by the Town and may result in the issuance of a citation.

**§250-44 Nonconforming signs, maintenance, repair and replacement.**

A. Nonconforming signs.

- (1) Any sign which was in existence prior to the effective date of this chapter and which conformed to the applicable provisions of a prior zoning ordinance but which does not conform to the applicable provisions of this chapter shall be deemed nonconforming, and the display of such sign shall be permitted to continue.
- (2) A nonconforming sign shall be removed or brought into conformity with the requirements of this chapter upon a change in use.

B. Maintenance, repair and replacement, removal.

- (1) All signs shall be maintained in such a condition so as not to become a nuisance, unsightly or unsafe. All signs, together with their supporting braces, guys, anchors, etc., shall be kept in repair and in a proper state of preservation. The display surfaces of all signs shall be kept neatly painted or maintained at all times.
- (2) Signs shall be repaired by repainting, by replacement of lettering, wording and accompanying symbols and by repairing structural supports, and such repair shall not be considered an alteration within the meaning of this chapter, provided that:



(a) The outside dimensions of signs as measured herein are not changed;

(b) The location, height, size, materials, and illumination of a sign are not changed; and

(c) No substantial change in lettering, wording or symbols is made.

(3) Nothing in this section shall prevent a sign from being altered so as to become more conforming, provided a permit is obtained.

C. Sign removal. It shall be the responsibility of the property owner to remove or cause to be removed any sign which no longer or ceases to identify an existing business conducted or product sold on the premises within two months from the time the related use/premises are vacated.



**TOWN BOARD OF THE TOWN OF NORTH SALEM**

**ADOPTION OF LOCAL LAW  
ZONING AMENDMENT § 250-5 and § 250-37 through § 250-44**

**EXTERIOR SIGNS**

**SHORT EAF**

**UNLISTED ACTION  
TOWN BOARD LEAD AGENCY (SOLE INVOLVED AGENCY)**

**AUGUST 6, 2022**



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project: Town of North Salem - Zoning Amendment Cooperative Abutters Public Hearing Notice Distance				
Project Location (describe, and attach a location map): Town of North Salem, Westchester County, New York				
<b>Brief Description of Proposed Action:</b> <p>The proposed action consists of the adoption of a Local Law by the Town Board of the Town of North Salem, sole SEQR involved agency (thus lead agency). The Town Board proposes the (legislative) adoption of an amendment to § 250-5 - Definitions and § 250-37 through § 250-44 - Sign Regulations of Chapter 250, Zoning of the Town Code of the Town of North Salem, updating the zoning standards regulating exterior signs within the town.</p> <p>The Local Law consists of a legislative action, which does not include or involve any land alteration or construction activities, will not cause nor result in any direct changes to the environment and will not result in any changes to existing permitted principal or accessory land uses (except exterior signs), zoning or subdivision densities, or zoning district boundaries. As noted below in response to Question 1, the proposed action only involves the legislative adoption of the Local Law, thus Questions 2 through 20 below are "not applicable"</p> <p>See attached Project Narrative for further description of the proposed action and the attached Part 2 of this SEAF.</p>				
Name of Applicant or Sponsor: North Salem Town Board; Warren Lucas, Supervisor		Telephone: 914-669-5110 E-Mail: wluccas@northsalemny.org		
Address: 266 Titicus Road				
City/PO: North Salem		State: NY	Zip Code: 10560	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO  <input type="checkbox"/>	YES  <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO  <input type="checkbox"/>	YES  <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action: 5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland				



5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <div style="margin-left: 40px;">           a. Will storm water discharges flow to adjacent properties?           <div style="margin-left: 40px;">             b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?           </div> </div> If Yes, briefly describe:	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>North Salem Town Board; Warren Lucas, Supervisor</u> Date: <u>08/06/22</u>  Signature: _____ Title: <u>Supervisor</u>		



Project: Zoning Amendment - Exterior Signs

Date: 08/06/22

## *Short Environmental Assessment Form*

### *Part 2 - Impact Assessment*

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>



### ***Short Environmental Assessment Form***

#### ***Part 3 Determination of Significance***

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Part 3 is Not Applicable as no "Moderate to Large Impacts" were identified in the Part 2.

- ☐ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- ☒ Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Town of North Salem Town Board

Name of Lead Agency

Date

Warren Lucas

Supervisor

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)



**TOWN BOARD OF THE TOWN OF NORTH SALEM**  
**ADOPTION OF LOCAL LAW**  
**ZONING AMENDMENT § 250-5 and § 250-37 through § 250-44**  
**EXTERIOR SIGNS**

**SHORT EAF NARRATIVE**  
**UNLISTED ACTION**  
**TOWN BOARD LEAD AGENCY (SOLE INVOLVED AGENCY)**

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**PROPOSED ACTION**

The proposed action consists of the adoption of a Local Law by the Town Board of the Town of North Salem, sole SEQR involved agency (thus lead agency). The Town Board proposes the (legislative) adoption of a text amendment to § 250-5 and § 250-37 through § 250-44 of Chapter 250, Zoning of the Town Code of the Town of North Salem, updating the zoning standards regulating exterior signs within the town.

The proposed (legislative) action does not include or involve any land alteration or construction activities, will not cause nor result in any direct changes to the environment and will not result in any changes to existing permitted principal or accessory land uses (except exterior signs), zoning or subdivision densities, or zoning district boundaries. Therefore, adoption and implementation of the proposed legislative action, in of itself, will not result in any physical alteration of the environment, nor involve or otherwise cause any significant adverse environmental impacts.

Rather, the text amendment is intended to update the regulations regarding the design, construction, installation and maintenance of exterior signs within the entire Town of North Salem, which, consistent with the Town's Comprehensive Plan, is necessary in order to maintain and protect the attractive and harmonious visual image of the community; permit effective identification of businesses to encourage economic prosperity; protect the aesthetic environment from the unrestricted proliferation of signs and visual clutter; protect property values; and protect the public health, safety and welfare of the residents of the Town of North Salem.

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**SEQR COMPLIANCE**

The proposed (legislative) action is classified as an "Unlisted Action" consistent with SEQR 6 NYCRR Part 617. As a legislative action, the Town of North Salem Town Board is the sole agency in regard to the funding, approval and direct undertaking of the proposed action. Therefore, in accordance with the standards and definitions as set forth in SEQR 6 NYCRR Part 617, the Town Board is the only involved agency and thus lead agency for the environmental review of the proposed Unlisted action (there are no other SEQR involved agencies with whom to coordinate).

In regard to the Short Environmental Assessment Form (SEAF) Part 1, the responses to Questions 2 through 20 are "Not Applicable" because the proposed action, as described above, is a legislative action (as indicated in response to Question 1).



The proposed action being legislative specific, in of itself, does not involve any direct impacts to land uses or the environment, does not impact natural resources, and does not involve any type of land alteration or construction activity. Accordingly, completion of the SEAF Part 2 did not identify any resulting “moderate to large impacts,” therefore completion of a SEAF Part 3 is “Not Applicable.”

## **ENVIRONMENTAL SIGNIFICANCE**

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The proposed Unlisted action involves expenditure of local funding for the preparation, adoption, filing, and implementation of the Local Law. Current staffing and procedures related to administration operations and actions related to town implementation of the Local Law will remain in force. The proposed action will not generate or stimulate increased demand for community provided services, such as recreation, education, police or fire protection. Further, adoption of the Zoning amendment will not result in any significant adverse impacts on the environment, as follows:

- The proposed action is consistent with the Town’s 2011 Comprehensive Plan in regard to ensuring the Town’s regulations are current, uniformly applied and representative of the goals and objectives of the Comprehensive Plan. Further, the updated exterior sign regulations are necessary in order to maintain and protect the attractive and harmonious visual image of the community; permit effective identification of businesses to encourage economic prosperity; protect the aesthetic environment from the unrestricted proliferation of signs and visual clutter; protect property values; and protect the public health, safety and welfare of the residents of the Town of North Salem.
- The proposed action, in of itself, will not involve any direct development or construction activities, or result in any physical changes to any real property or the environment, or otherwise cause any significant adverse environmental impacts.
- The proposed action will not have any direct adverse environmental impacts on land, water, wetlands and related resources, plants and animals, or associated habitat areas.
- The proposed action will not have direct adverse environmental impacts on air resources, agricultural lands, transportation, energy resources and facilities, nor will the proposed action generate adverse environmental public health, noise, or odor impacts.
- The proposed action will not have any adverse environmental impacts on recreation or open space resources, or on historic or archaeological resources.
- The proposed action will not generate or stimulate increased demand for community provided services, such as parks and recreation, education, social programs, public works, police, or fire protection.
- The proposed legislation action will not result in any adverse environmental impacts on a designated Critical Environmental Area; will not encourage or attract a large number of people to a specific location; nor result in the creation of a material demand for other actions resulting in significant adverse impacts.

Based on the foregoing, implementation of the proposed Unlisted (legislative) action is not anticipated to result in any significant adverse environmental or socio-economic fiscal impacts.