

TOWN OF LEWISBORO
Westchester County, New York

Zoning Board of Appeals
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3822
Fax: (914) 533-0097
Email: zoning@Lewisborogov.com

AGENDA

Wednesday, September 28, 2022, 7:30 P.M.

**79 Bouton Road, South Salem,
Justice Court**

- I. Review and adoption of the Minutes of August 24, 2022**
- II. PUBLIC HEARING**

CAL. NO. 21-22-BZ Continued from August 24, meeting.

Application of Darren P. Mercer, Architect, PLLC [Marschke, Brett A. & Rima T., owner of record], 31 East Ridge Road, Waccabuc, NY for the following variance of the proposed pool cabana/storage barn and is requesting total square footage of 1,296' whereas 600' is allowed per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the east side of (#31) East Ridge Road, South Salem, NY designated on the Tax Map as Sheet 0025, Block 10803, Lot 062, in an R-2AC, Two Acre Residential District consisting of approximately 3.70 acres.

CAL. NO. 25-22-BZ

Application of Whitman, Don, [Whitman, William W. & Whitman, Donald R., owner of record], 21C Boutonville Road South, Cross River, NY for the following variance of the proposed detached garage and is requesting a total square footage of 698' whereas 600' is allowed per Article IV Section 220-23E of the Town of Lewisboro Zoning Code

The property is located on the north side of (#21) Boutonville Road, Cross River, NY designated on the Tax Map as Sheet 0018, Block 10528, Lot 007, in an R-1AC, One Acre Residential District consisting of approximately 4.81 acres.

CAL. NO. 26-22-BZ

Application of Joshua Hadar [The Joshua D. Hadar Family Trust, owner of record], 20 Manor Drive, Goldens Bridge, NY for the following variance of the proposed detached studio and is requesting a total square footage of 2412' whereas 600' is allowed per Article IV Section 220-23E of the Town of Lewisboro Zoning Code, the applicant is proposing a detached studio home occupation space and is requesting a total square footage of 2412' whereas 500' is allowed per Article IV Section 220-23D-1-C of the Town of Lewisboro Zoning Code.

The property is located on the north side of (#20) Manor Drive, Goldens Bridge, NY designated on the Tax Map as Sheet 0007 Block 11137 Lot 166 & 165, in a 2-AC, Two-Acre Residential District, consisting of approximately 13.21 acres.

CAL. NO. 27-22-BZ

Application of Plug In Stations, Brian Fetterman, [Cipes, Stephen, owner of record, Goldens Bridge Shopping Center], 104 Route 22, Goldens Bridge, NY for the following variance of the proposed EV charging stations with associated electrical structures and is requesting a front yard setback of 3'10" whereas 20' are required per Article IV Section 220-24E of the Town of Lewisboro Zoning Code.

The property is located on the east side of (#104) Route 22, Goldens Bridge, NY designated on the Tax Map as Sheet 0004, Block 11126, Lot 007, in an RB, Retail Business District consisting of approximately 8.961 acres.

III. CORRESPONDENCE & GENERAL BUSINESS

IV. NEXT MEETING

October 26, 2022

V. ADJOURN MEETING

(914) 763-3822
FAX (914) 875-9148
TTY 800-662-1220
Email: zoning@lewisborogov.com
www.lewisborogov.com



TOWN OF LEWISBORO
Zoning Department
79 Bouton Road
South Salem, NY 10590

TOWN OF LEWISBORO, WESTCHESTER COUNTY

ZONING DEPARTMENT

ZONING BOARD OF APPEALS – September 28, 2022

<u>APPLICANT</u>	<u>CAL #</u>	<u>PAGE(S)</u>
Mercer/Marschke	21-22-BZ	4 TO 18
Whitman	25-22-BZ	19 TO 23
Hadar	26-22-BZ	24 TO 30
Plug In Stations/Cipes	27-22-BZ	31 TO 49

TOWN OF LEWISBORO
Westchester County, New York



Building Department
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3060
Fax: (914) 875-9148
Email: jfarrell@lewisborogov.com

Zoning Denial 7/15/2022

The Marschke Residence
31 East Ridge Rd, Waccabuc
0025-10803-062

The applicant is proposing a pool cabana/storage barn and is requesting total square footage of 1190' whereas 600' is allowed per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

Building Inspector

Jeff Farrell

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, September 28, 2022, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 25-22-BZ

Application of Whitman, Don, [Whitman, William W. & Whitman, Donald R., owner of record], 21C Boutonville Road South, Cross River, NY for the following variance of the proposed detached garage and is requesting a total square footage of 698' whereas 600' is allowed per Article IV Section 220-23E of the Town of Lewisboro Zoning Code

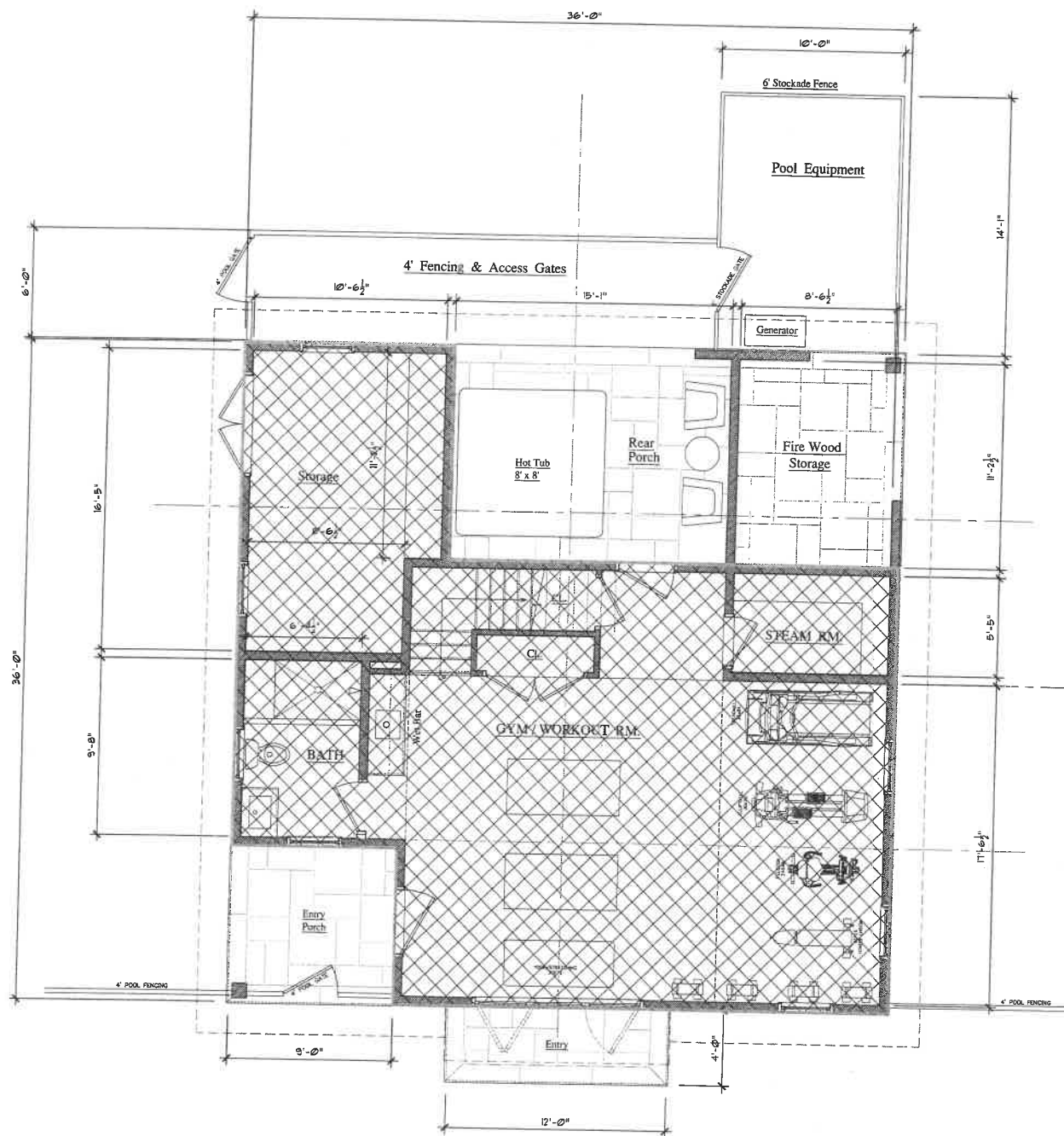
The property is located on the north side of (#21) Boutonville Road, Cross River, NY designated on the Tax Map as Sheet 0018, Block 10528, Lot 007, in an R-1AC, One Acre Residential District consisting of approximately 4.81 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 31st day of August 2022
in South Salem, New York**

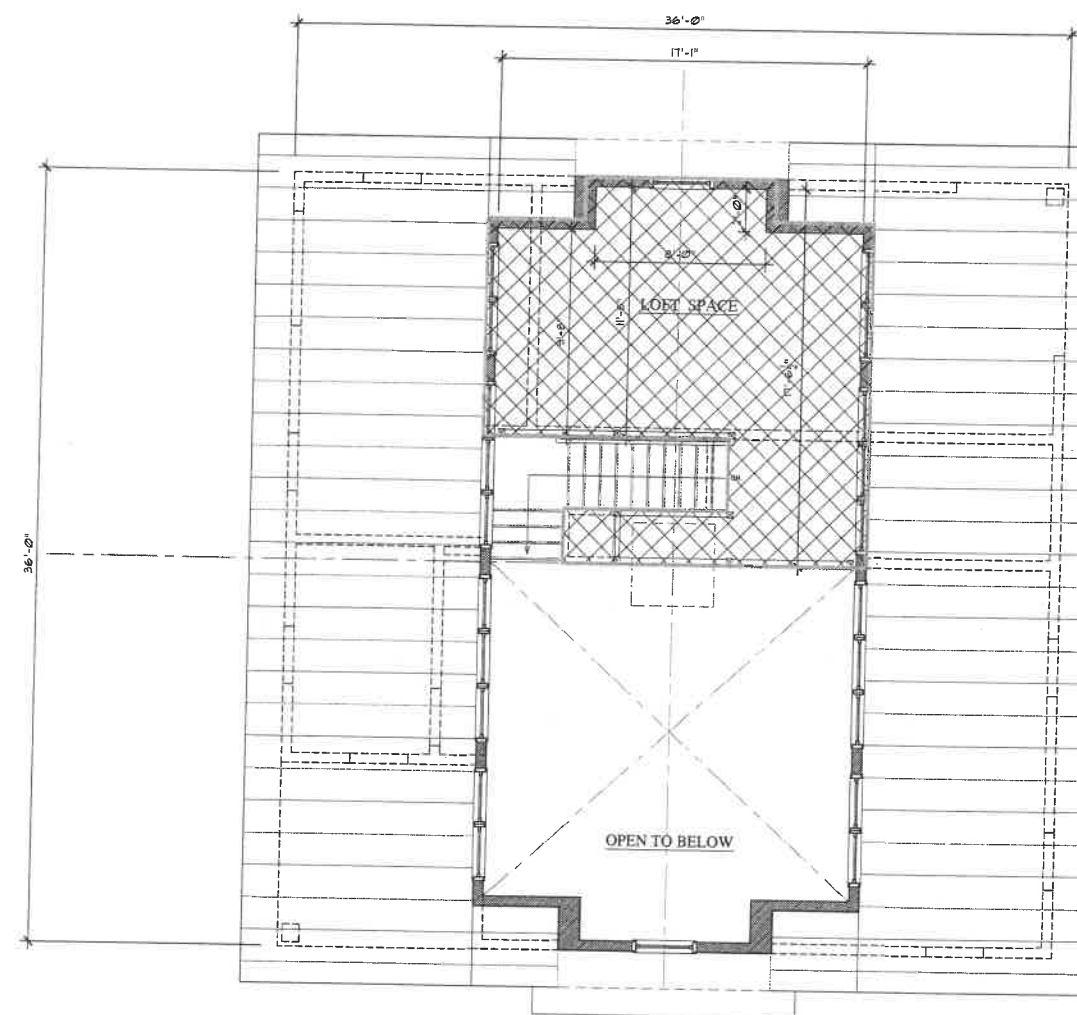
**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.



1st FLOOR PLAN
SCALE: 1/4" = 1'-0"

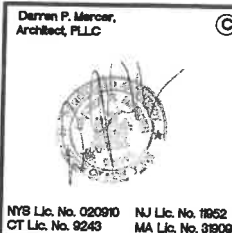
First Floor Area: 933 SF



LOFT FLOOR PLAN
SCALE: 1/4" = 1'-0"

Loft Floor Area: 257 SF

First Floor Area: 933 SF
Loft Floor Area: 257 SF
Total Floor Area: 1,190 SF



Darren P. Mercer, Architect, PLLC
Architecture & Interior Design
32 Flintlock Ridge Road
Katonah, New York 10536
914.391.4490
darrenpmcercer@gmail.com

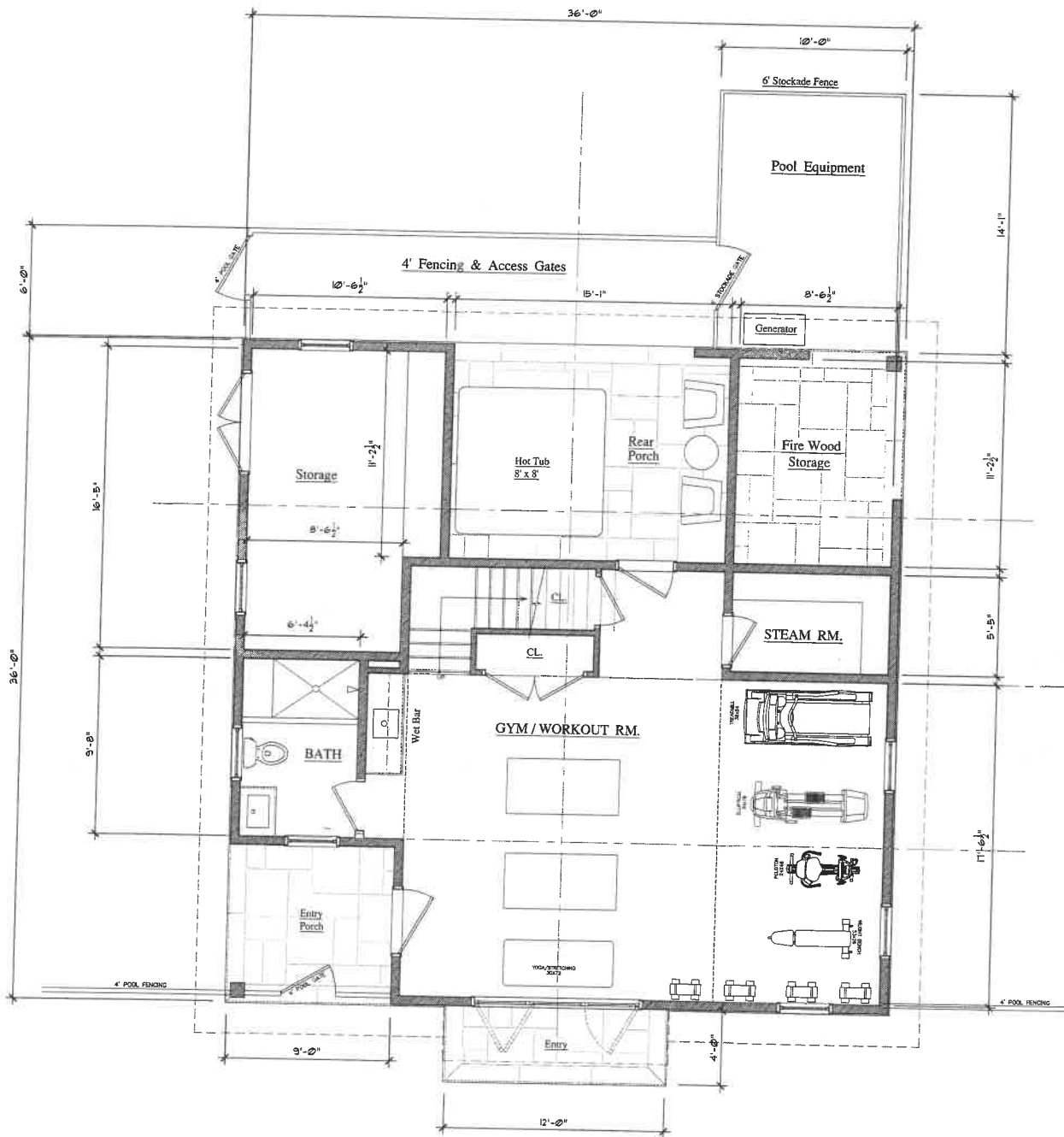
Cabana, Gym & Storage Barn
Marschke Residence
31 East Ridge Road
Waccabuc, NY

Revisions:		
△	Date:	Description:
	5-31-22	Design Devel. #1
	6-22-22	Bldg. Permit & ZBA

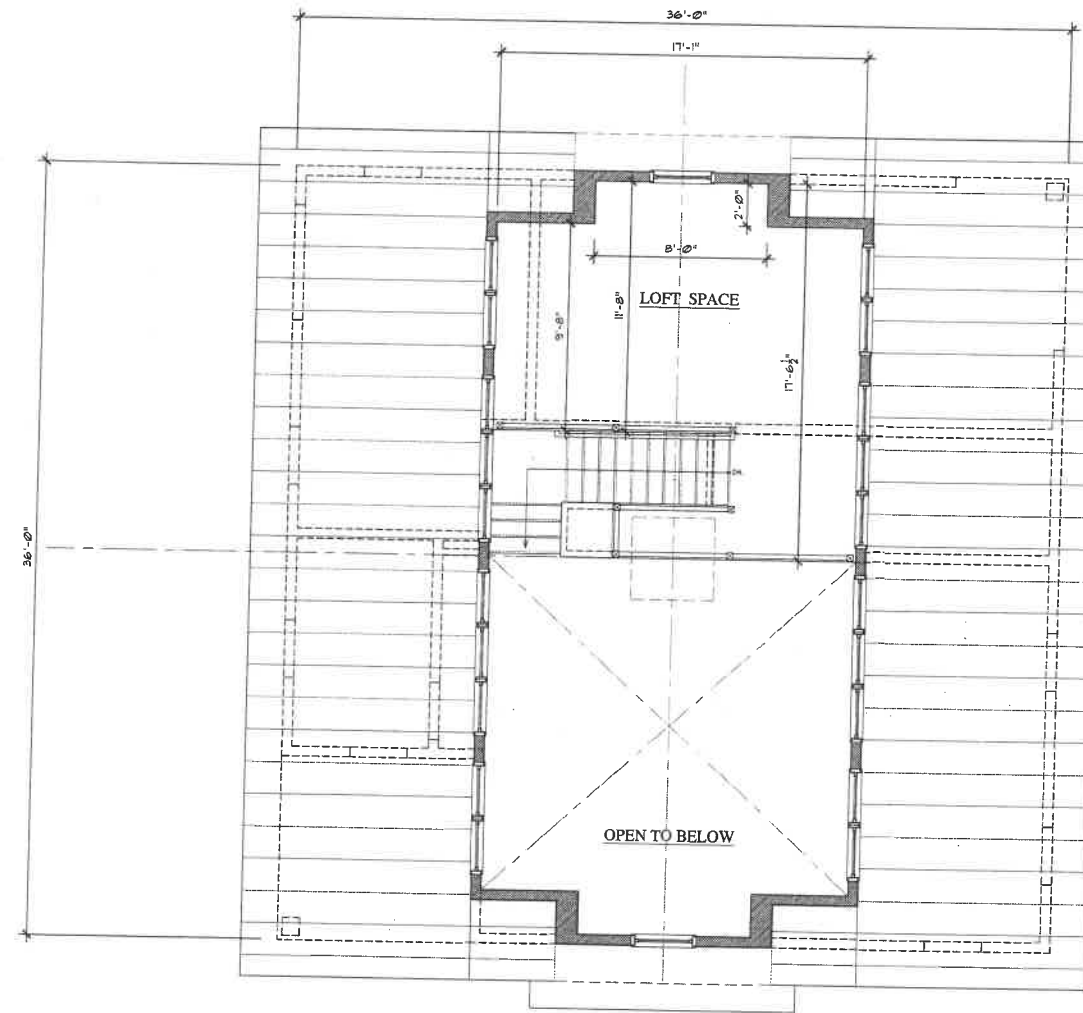
Drawing Title:
1st FLOOR PLAN
LOFT FLOOR PLAN

Date: 04-13-22
Scale: AS NOTED
Drawn: DPM
Rev:
Job#: 2202

A.1

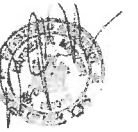


1st FLOOR PLAN
SCALE: 1/4" = 1'-0"



LOFT FLOOR PLAN
SCALE: 1/4" = 1'-0"

Darren P. Mercer,
Architect, PLLC



NY Lic. No. 020910 NJ Lic. No. 18952
CT Lic. No. 9243 MA Lic. No. 31900

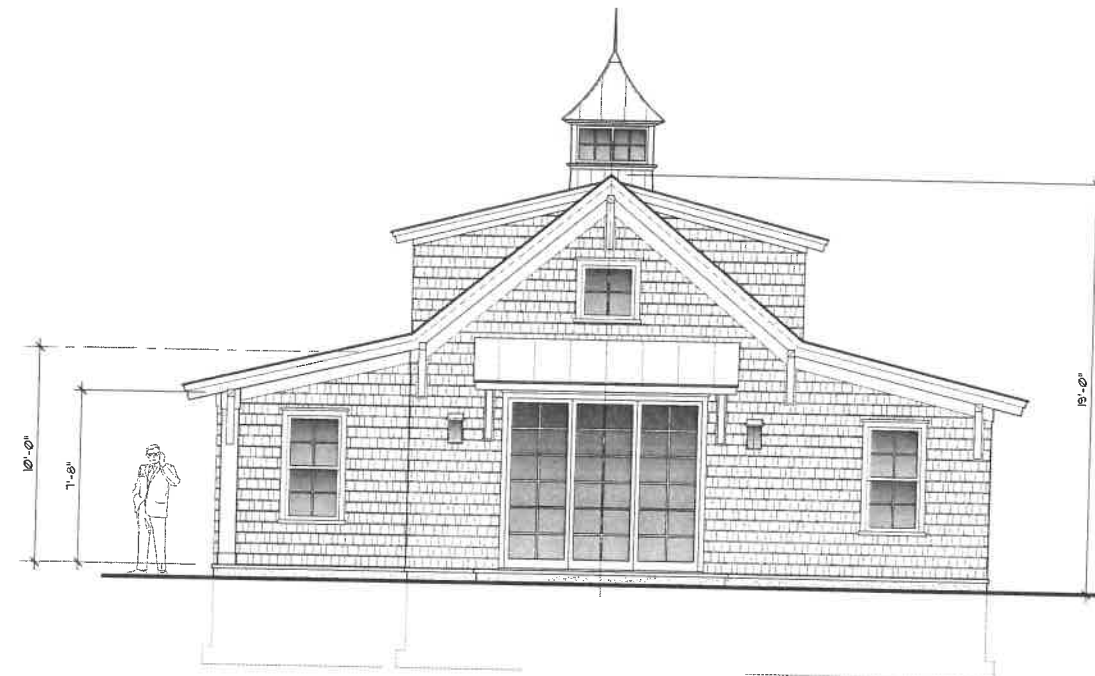
Darren P. Mercer, Architect, PLLC
Architecture & Interior Design
32 Flintlock Ridge Road
Katonah, New York 10536
914.391.4490
darrenpmcerc@gmail.com

Cabana, Gym & Storage Barn
Marschke Residence
31 East Ridge Road
Waccabuc, NY

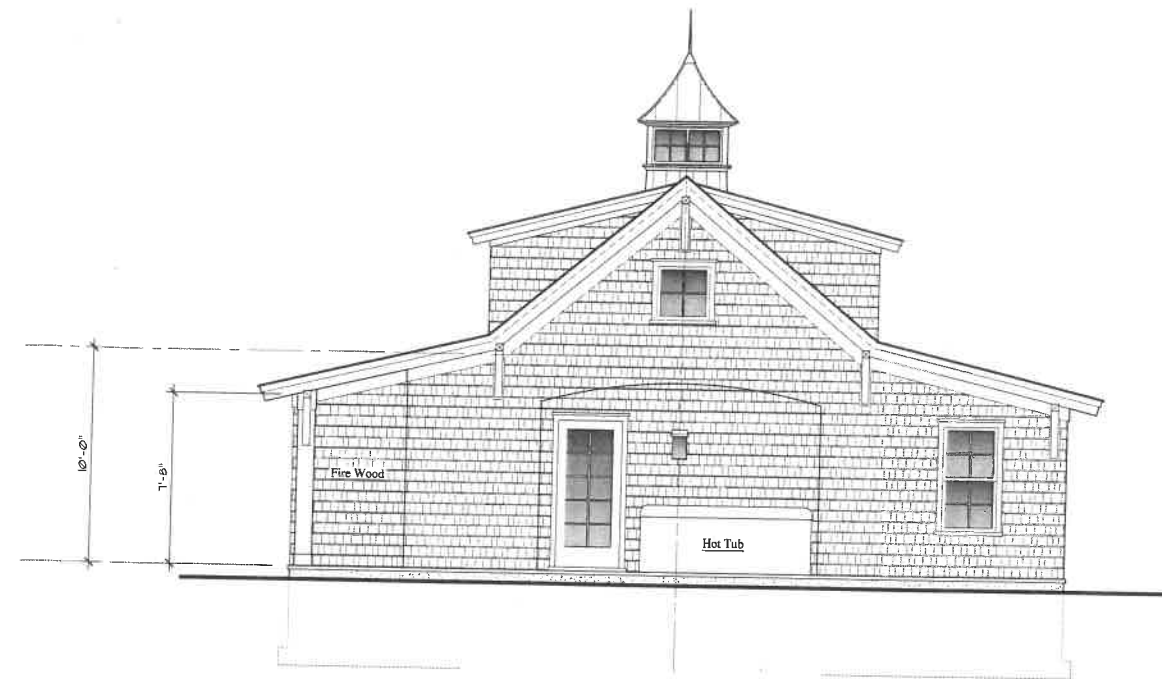
Revisions		
△	Date	Description
	5-31-22	Design Devel. #1
	6-22-22	5/16g, Permit & ZBA

Drawing Title:
1st FLOOR PLAN
LOFT FLOOR PLAN

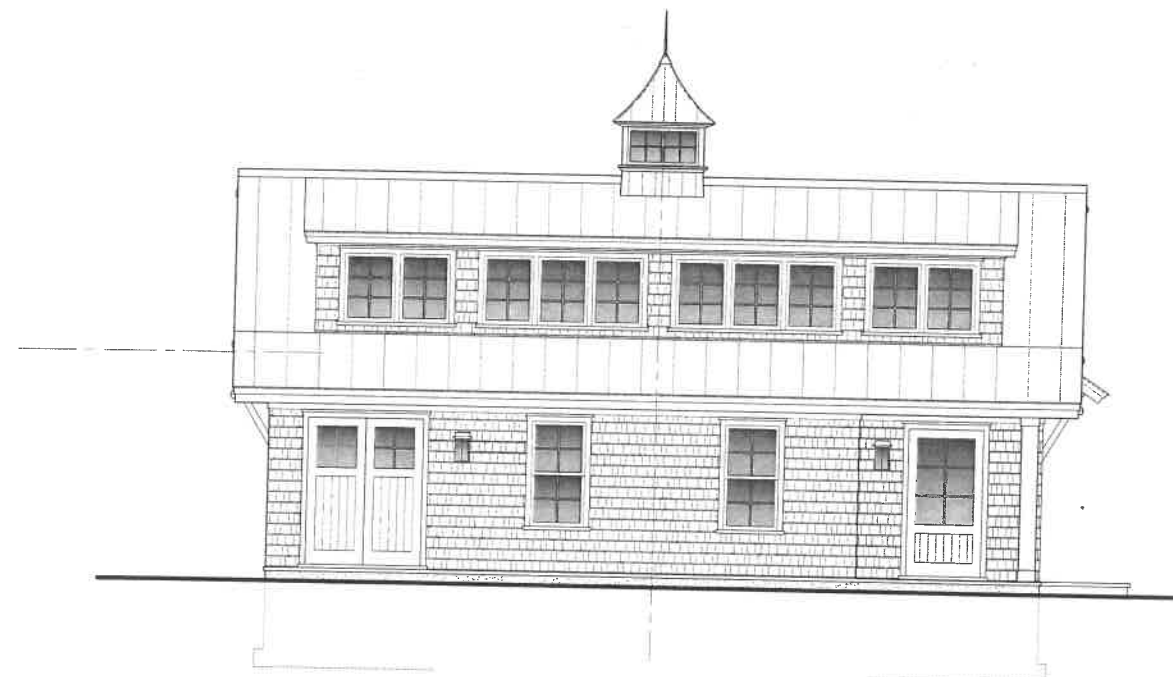
Date: 04-15-22 Marschke Barn
Scale: AS NOTED
Drawn: DPM
Rev: 2202
A.1



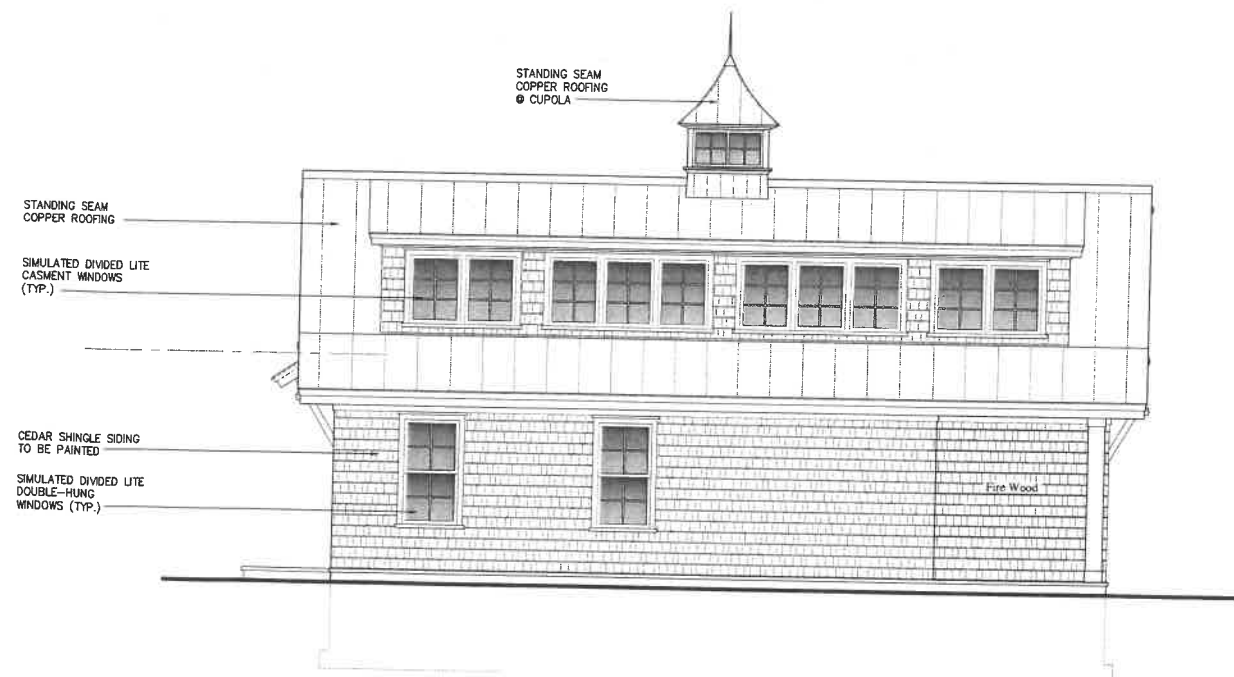
FRONT ELEVATION (West)
SCALE: 3/16" = 1'-0"



REAR ELEVATION (East)
SCALE: 3/16" = 1'-0"

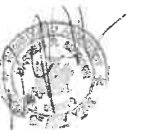


SIDE ELEVATION (North)
SCALE: 1/4" = 1'-0"



SIDE ELEVATION (South)
SCALE: 1/4" = 1'-0"

Darren P. Mercer,
Architect, PLLC



NY Lic. No. 020910 NJ Lic. No. 18952
CT Lic. No. 9243 MA Lic. No. 3809

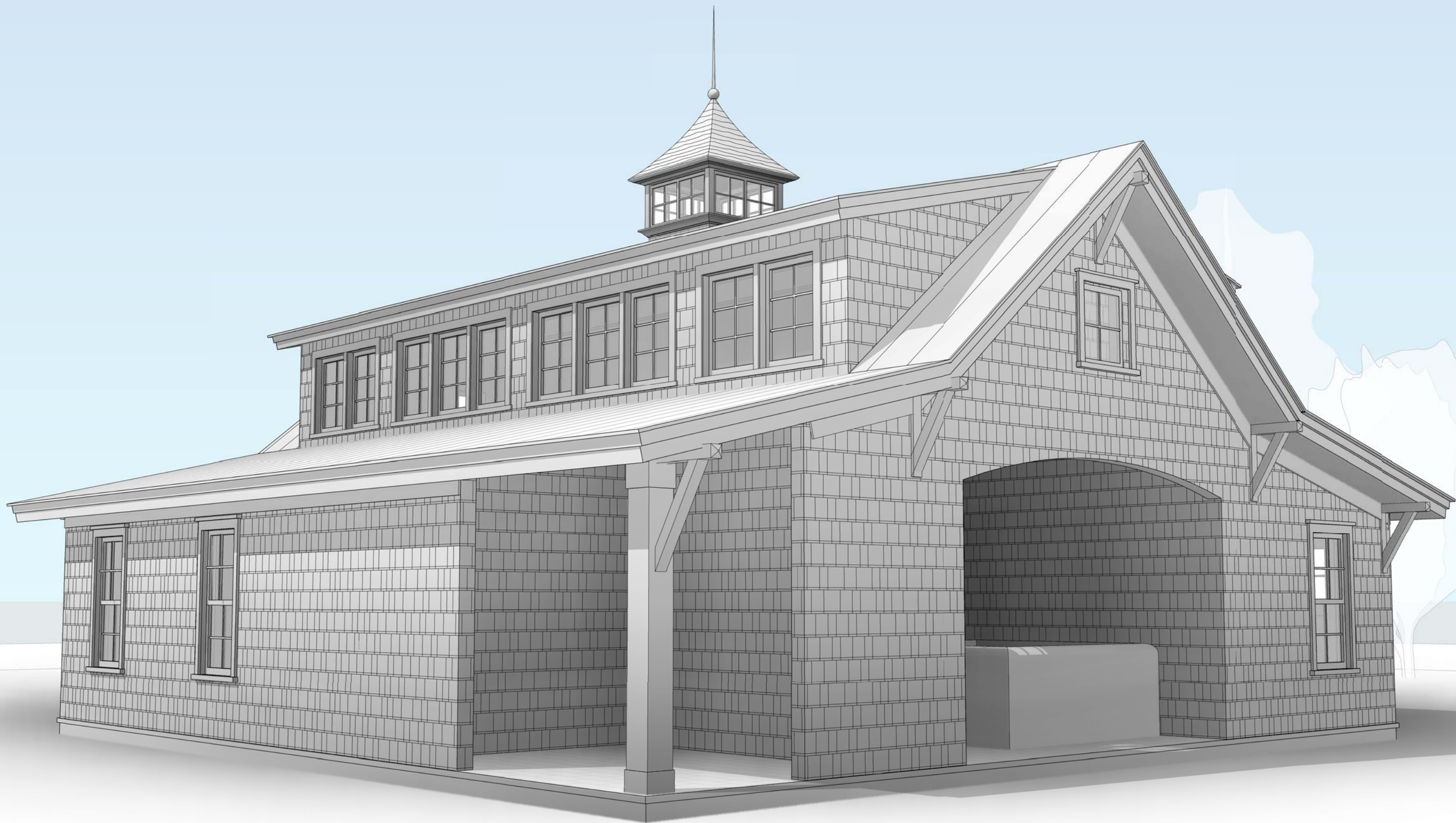
Darren P. Mercer, Architect, PLLC
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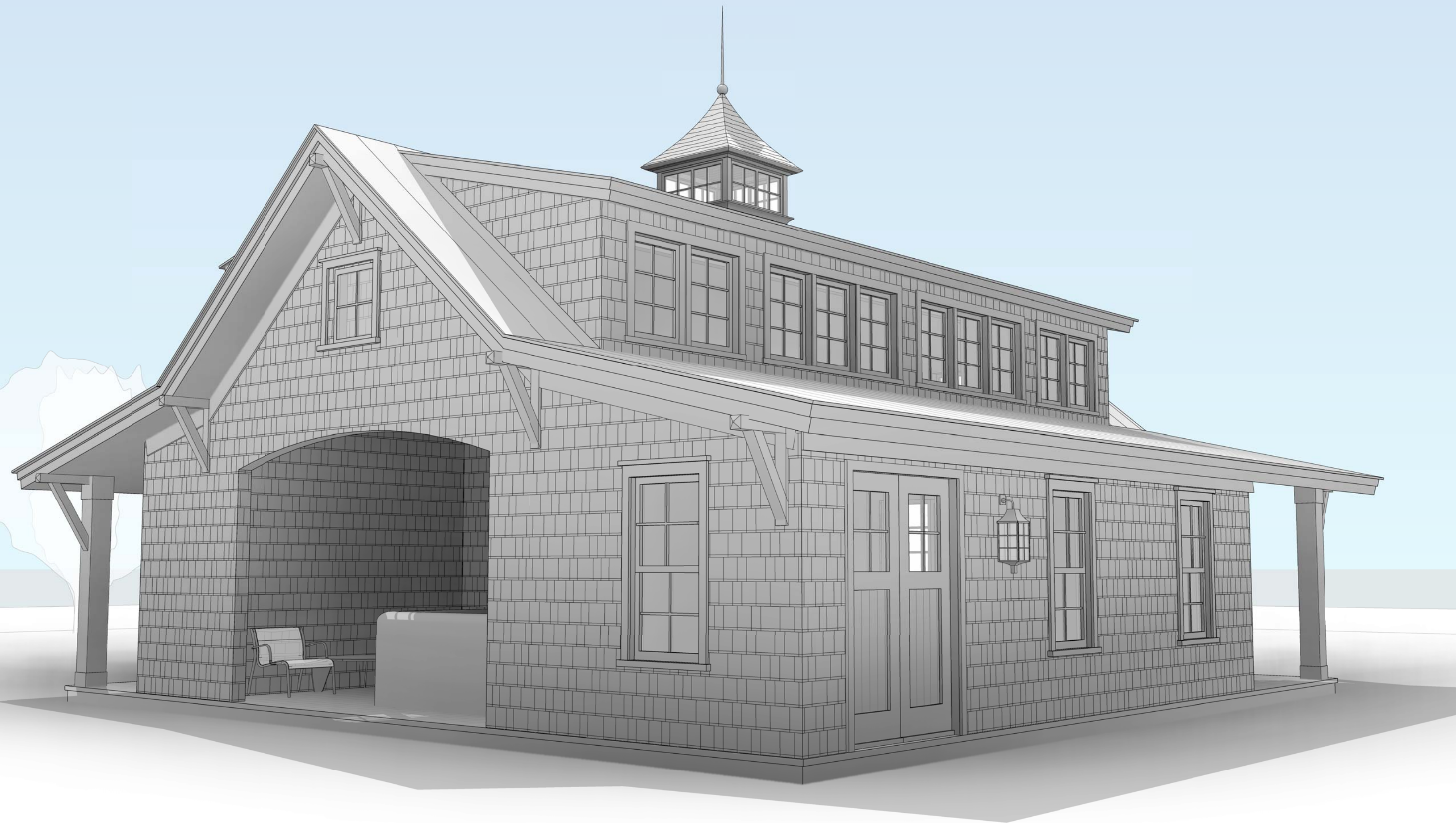
Cabana, Gym & Storage Barn
Marschke Residence
31 East Ridge Road
Waccabuc, NY

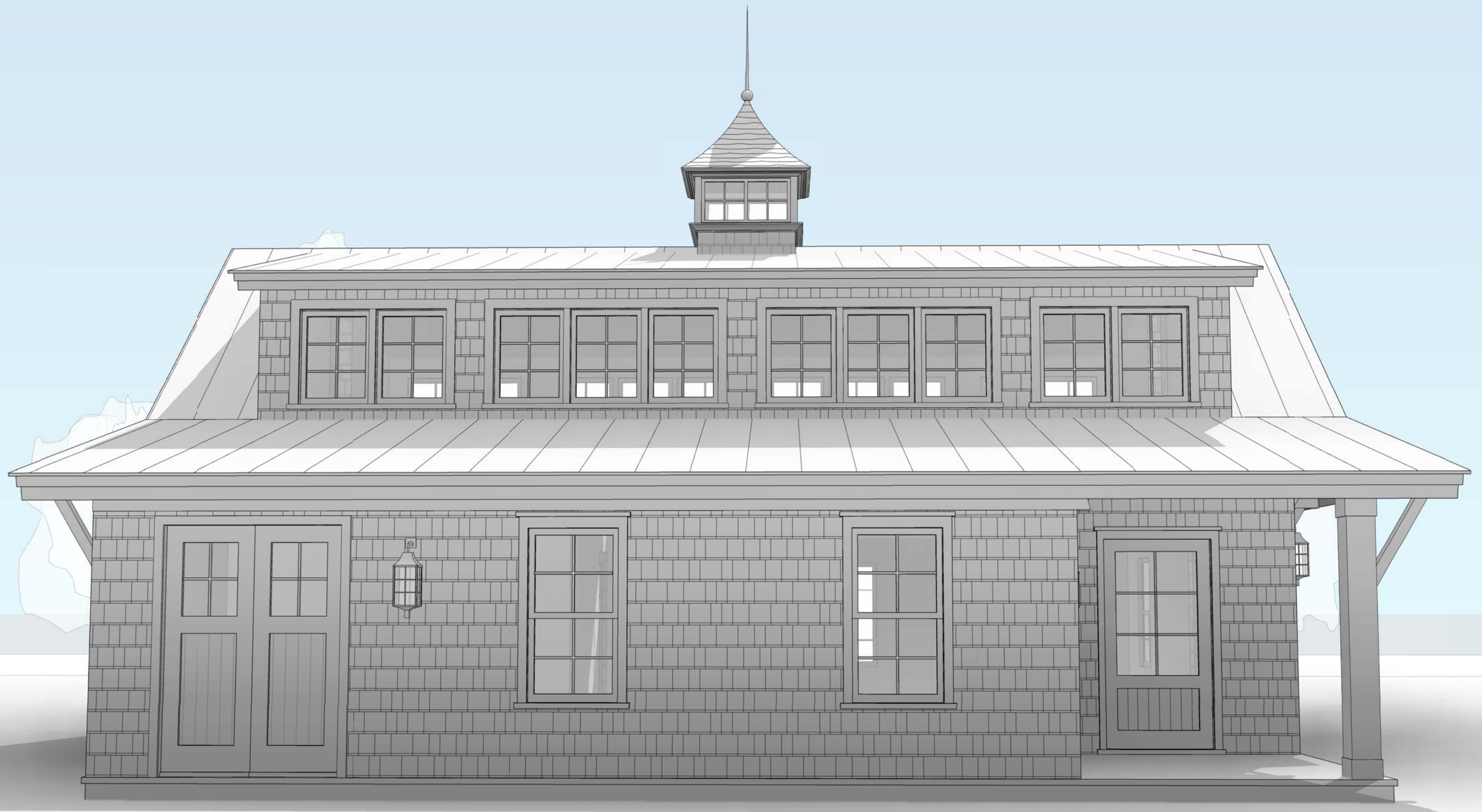
Revisions:		
△	Date:	Description:
	5-31-22	Design Devel. #1
	9-22-22	2nd Rev. Permitt. ZBA

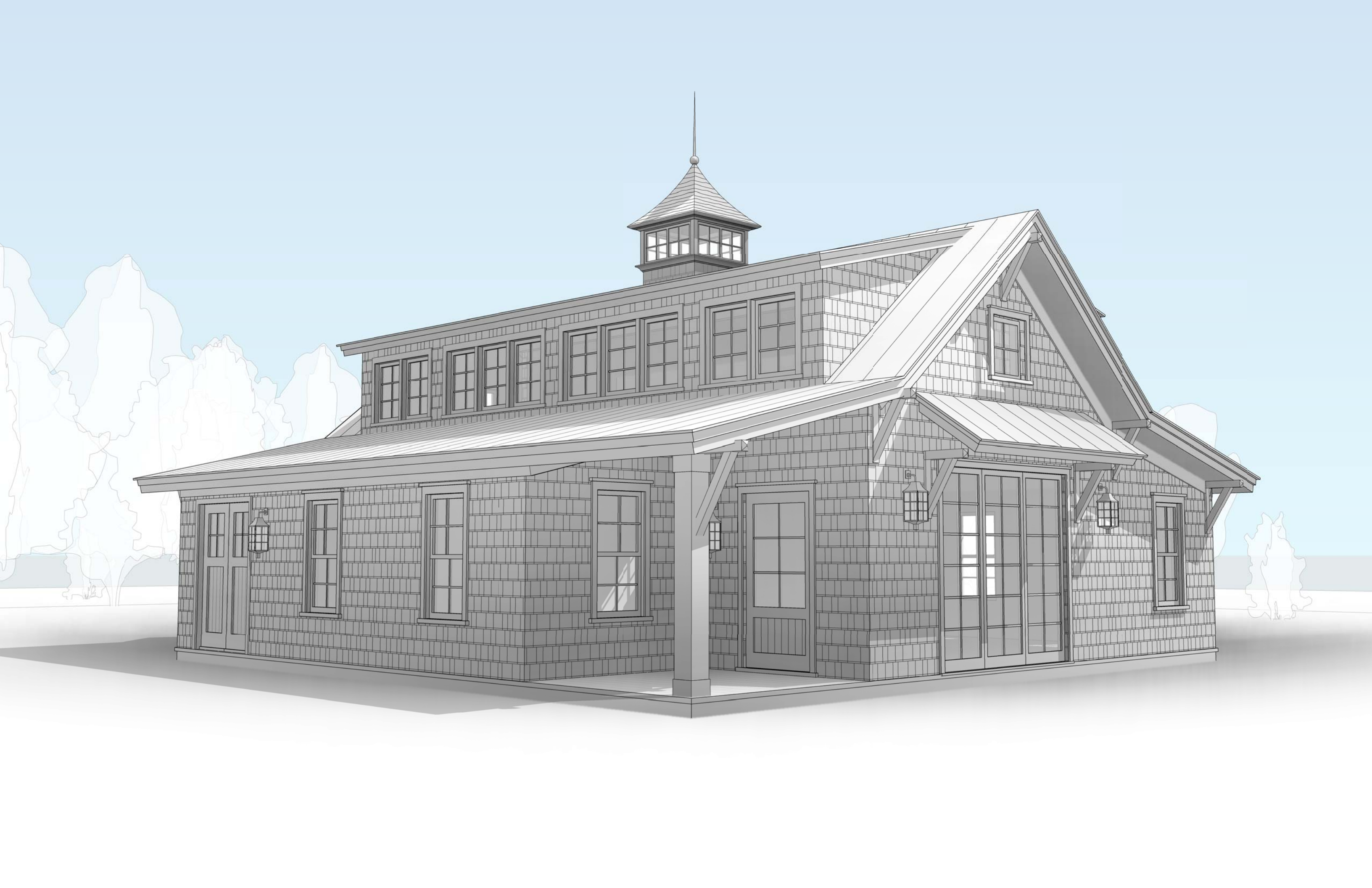
Drawing Title:
**BUILDING
ELEVATIONS**

Date: 04-15-22 Marschke Barn
Scale: AS NOTED
Drawn: DPM
Rev: 2202
A.2

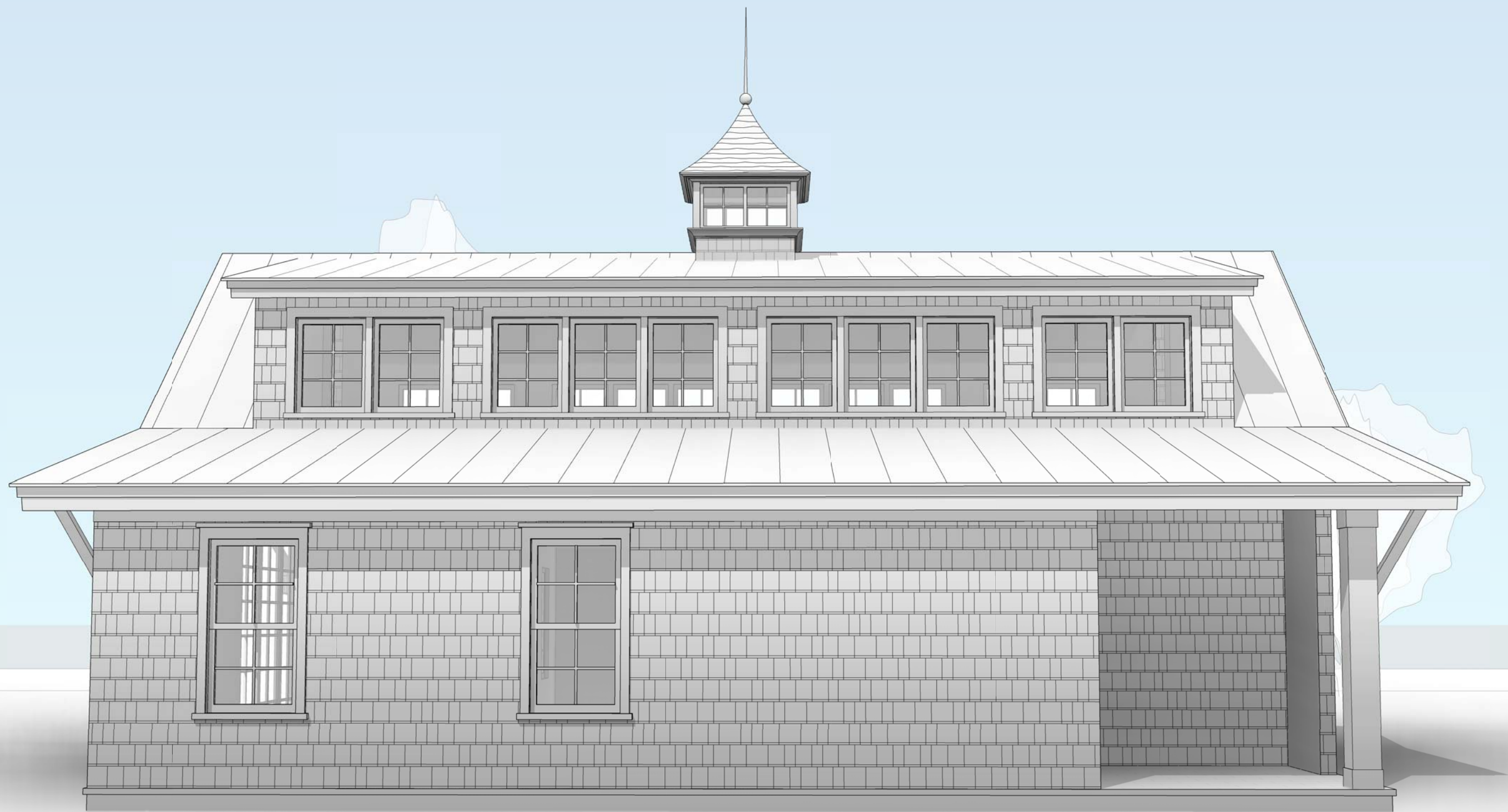












June 22, 2022

Town of Lewisboro
Building Department
79 Bouton Street
South Salem, NY 10590

Re: The Marschke Residence:
New Detached Cabana, Gym & Storage Barn
31 East Ridge Road
Waccabuc, New York
10597

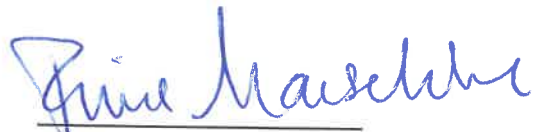
LETTER OF AUTHORIZATION

Ladies and Gentlemen,

As owner of the aforementioned property, I give permission to **Darren P. Mercer, Architect, PLLC**, to act as my agent in matters concerning the construction of an New Detached Cabana, Gym & Storage Barn Project. As my agent, he may act on my behalf in connection with Building Permits, Board Meetings, or other matters concerning this project.

Should you have any questions, please contact my agent at (914) 391- 4490.
Thank you for your cooperation in this matter.

Sincerely,



Rima Marschke
31 East Ridge Road
Waccabuc, New York 10597

ZONING TABLE
Marschke Residence
31 East Ridge Road
Waccabuc, New York

Table of Dimensional Requirements

SHEET 42.2, BLOCK 3, LOT 6

ZONING DISTRICT R-2A (2 ACRE, One Family Residential District)

<u>MINIMUM LOT SIZE</u>	<u>REQUIRED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
Area	2 Acre 87,120 SF	3.454 Acres 150,462.473 SF	(No Change) (No Change)
<u>MINIMUM YARDS</u>			
Front Yard	50 ft	112.64 ft	(No Change)
Left Side	40 ft	78.03 ft	(No Change)
Right Side	40 ft	42.71 ft	(No Change)
Rear Yard	60 ft	147.77 ft	358.53'
<u>MAXIMUM HEIGHT</u>			
Stories	2 ½	2	(No Change)
Feet	35 ft	30 ft +/-	(No Change)
<u>MAXIMUM BUILDING COVERAGES</u>			
Lot Area (percent)	9% 13,541.62 SF	3.47% 5,223.12 SF	4.09% 6,167.12 SF

Proposed Cabana, Gym & Storage Barn: 1,296.0 SF
Existing Shed Building to be Removed (352.0 SF)
Difference 944.0 SF

**TOWN OF LEWISBORO
Westchester County, New York**

**Building Department
79 Bouton Road
South Salem, New York 10590**



**Tel: (914) 763-3060
Fax: (914) 875-9148
Email: jfarrell@lewisborogov.com**

Zoning Denial 8/23/2022

**The Whitman Residence
21C Boutonville Rd South, Cross River
0018-10528-007**

The applicant is proposing a detached garage and is requesting a total square footage of 698' whereas 600' is allowed per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

Building Inspector

Jeff Farrell

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, September 28, 2022, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 25-22-BZ

Application of Whitman, Don, [Whitman, William W. & Whitman, Donald R., owner of record], 21C Boutonville Road South, Cross River, NY for the following variance of the proposed detached garage and is requesting a total square footage of 698' whereas 600' is allowed per Article IV Section 220-23E of the Town of Lewisboro Zoning Code

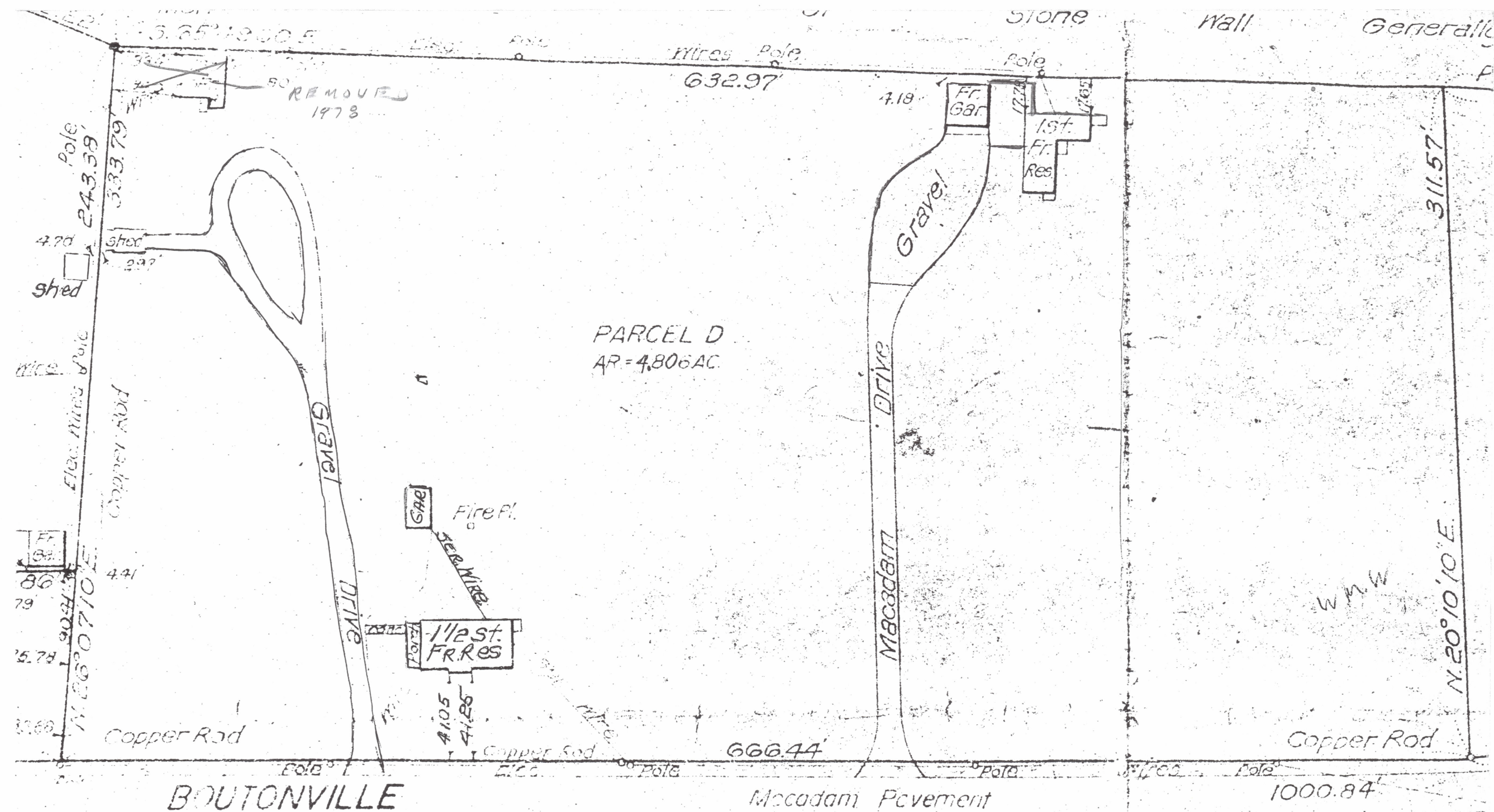
The property is located on the north side of (#21) Boutonville Road, South Salem, NY designated on the Tax Map as Sheet 0018, Block 10528, Lot 007, in an R-1AC, One Acre Residential District consisting of approximately 4.81 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 31st day of August 2022
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

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ZONING COMPLIANCE TABLE

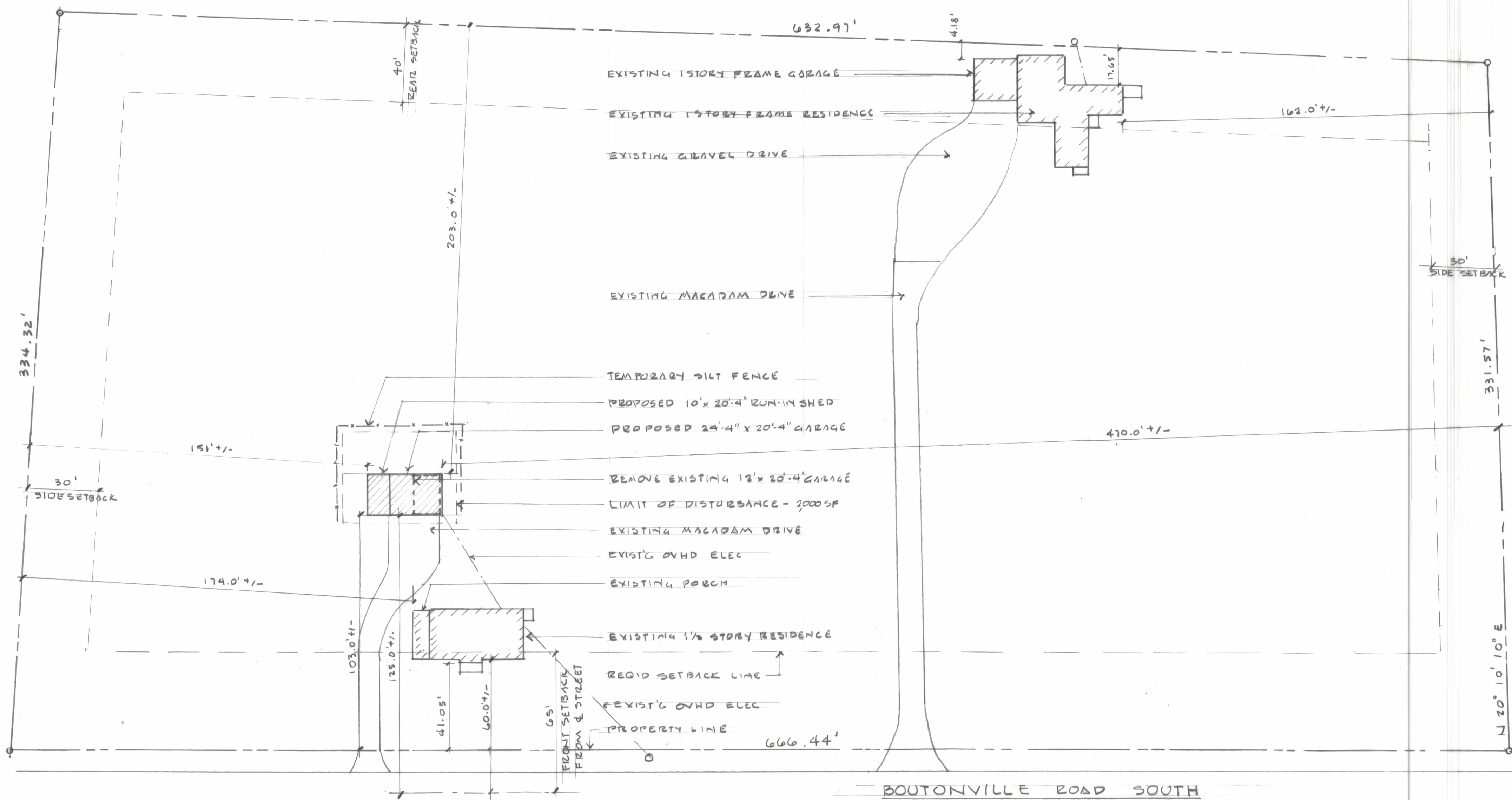
TAX LOT - SECTION 18, BLOCK 10528, LOT 7

ZONE -R1A

	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE -	1 ACRES	4.806 ACRES	NO CHANGE
WIDTH	150'	209,349.36 SF	NO CHANGE
YARDS		666.44'	
FRONT (FROM CL STREET)	65'	60.0' +/-	125' +/-
FRONT (FROM PROPERTY LINE)	40'	41.05'	103.0' +/-
SIDE	30'	174.0' +/-	151' +/-
REAR	40'	4.18'	203' +/-
MAXIMUM ACCESSORY BLDG HEIGHT	20'	-	15'
MAX. BLDG COVERAGE	12% / 25,122 SF	1.5% / 3,126 SF	1.7% / 3,573 SF
	600 SF	244 SF	798 SF *

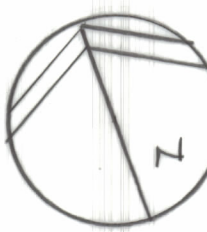
VARIANCES REQUESTED

* SECTION 220-23.D (11) - 98 SF VARIANCE REQUESTED



1 SITE PLAN
1"=30.0'

SITE PLAN INFO TAKEN FROM
SURVEY PROVIDED BY OWNER
AND SITE OBSERVATIONS BY
ROBERT EBERTS, RA ON AUG 1, 2022



CROSS RIVER ARCHITECTS, LLC

ROBERT J. EBERTS, RA PRINCIPAL ARCHITECT

110 PINESBRIDGE RD
KATONAH NY 10536

914.763.5887
RJE@CRARCH.COM

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA - LEWISBORO, NY

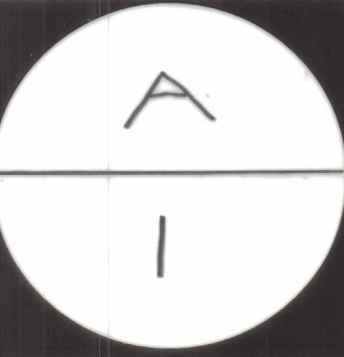
GROUND SNOW LOAD	WIND SPEED (mph)	TOPO EFFECT	WIND- BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM:				WINTER DESIGN TEMPERATURE	ICE SHEILD UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
					WEATHERING	FROST LINE DEPTH	TERMITE	DECAY					
30	Special Wind Region (126 mph)	NO	NO	C	SEVERE	42"	MODERATE / HEAVY	SLIGHT/ MODERATE	7° F	YES	-	1500 OR LESS	51.6

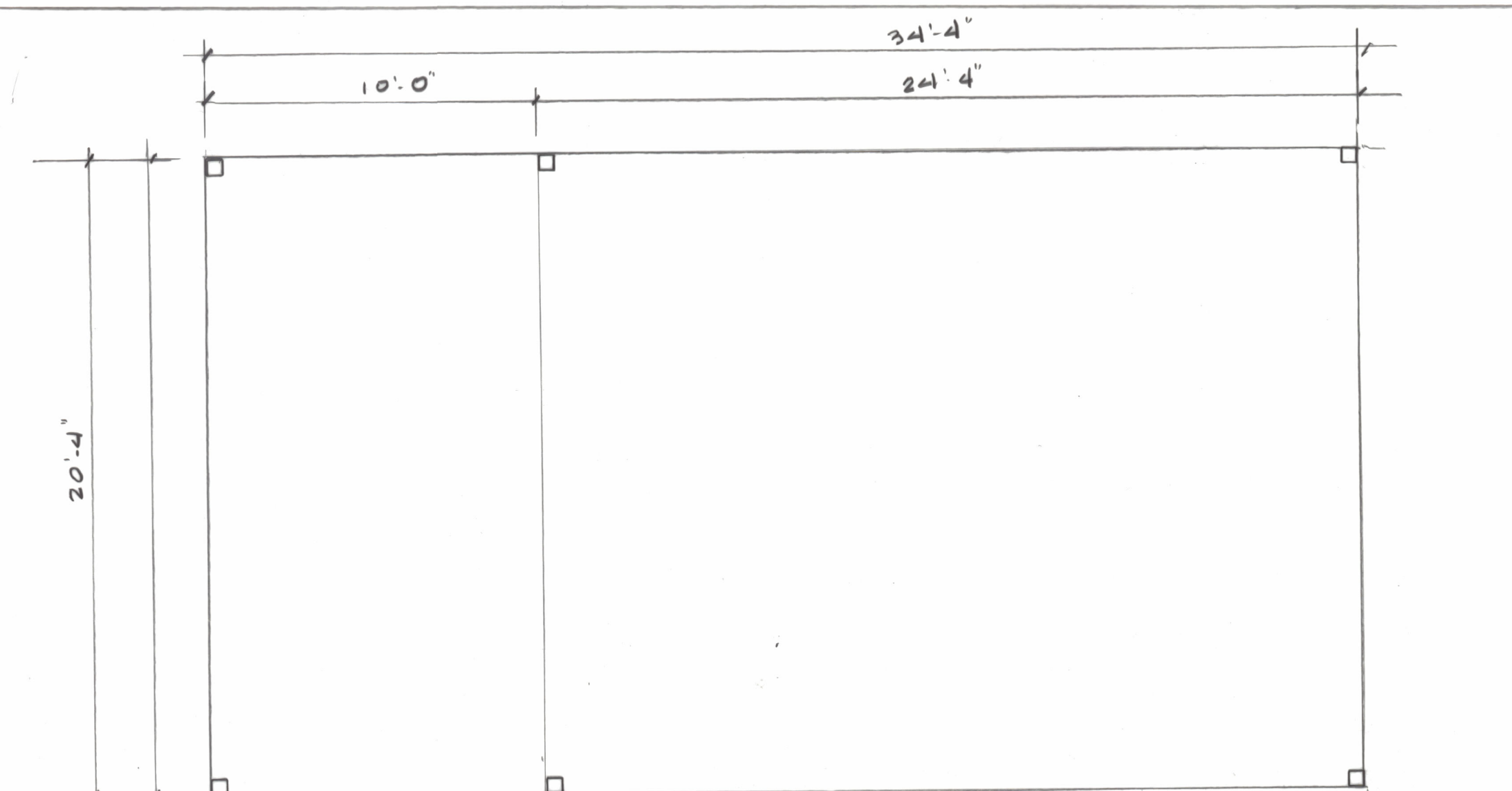
Revisions		
1	VARIANCE REQUESTED	8/9/22
No	Comments	Date

PROJECT WHITMAN RESIDENCE
ACCESSORY GARAGE / RUN-IN SHED
21C BOUTONVILLE RD. SOUTH, CROSS RIVER, NY

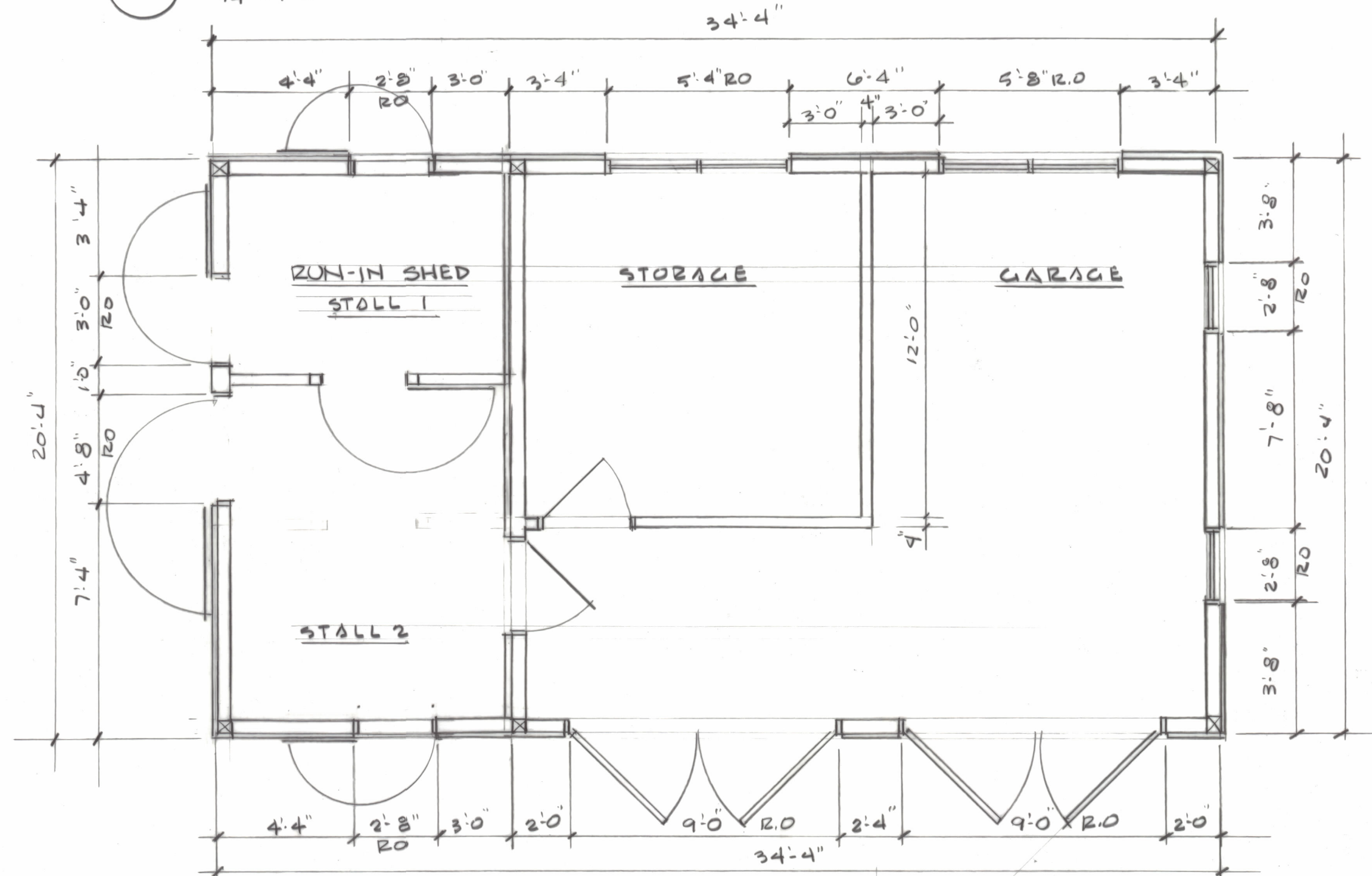
TITLE SITE PLAN AND NOTES

SCALE AS NOTED DATE AUGUST 3, 2022 PROJECT # DRAWN BY

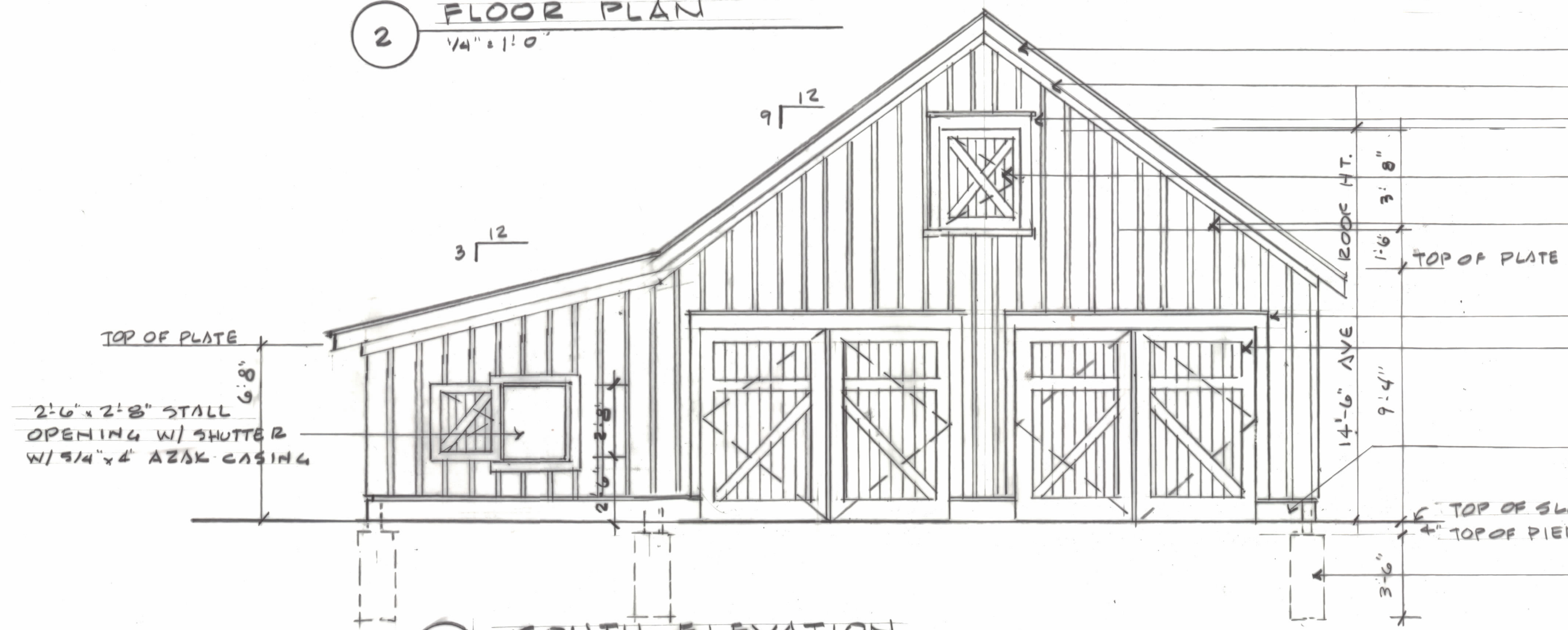




1 FOUNDATION PLAN
1/4" = 1'-0"



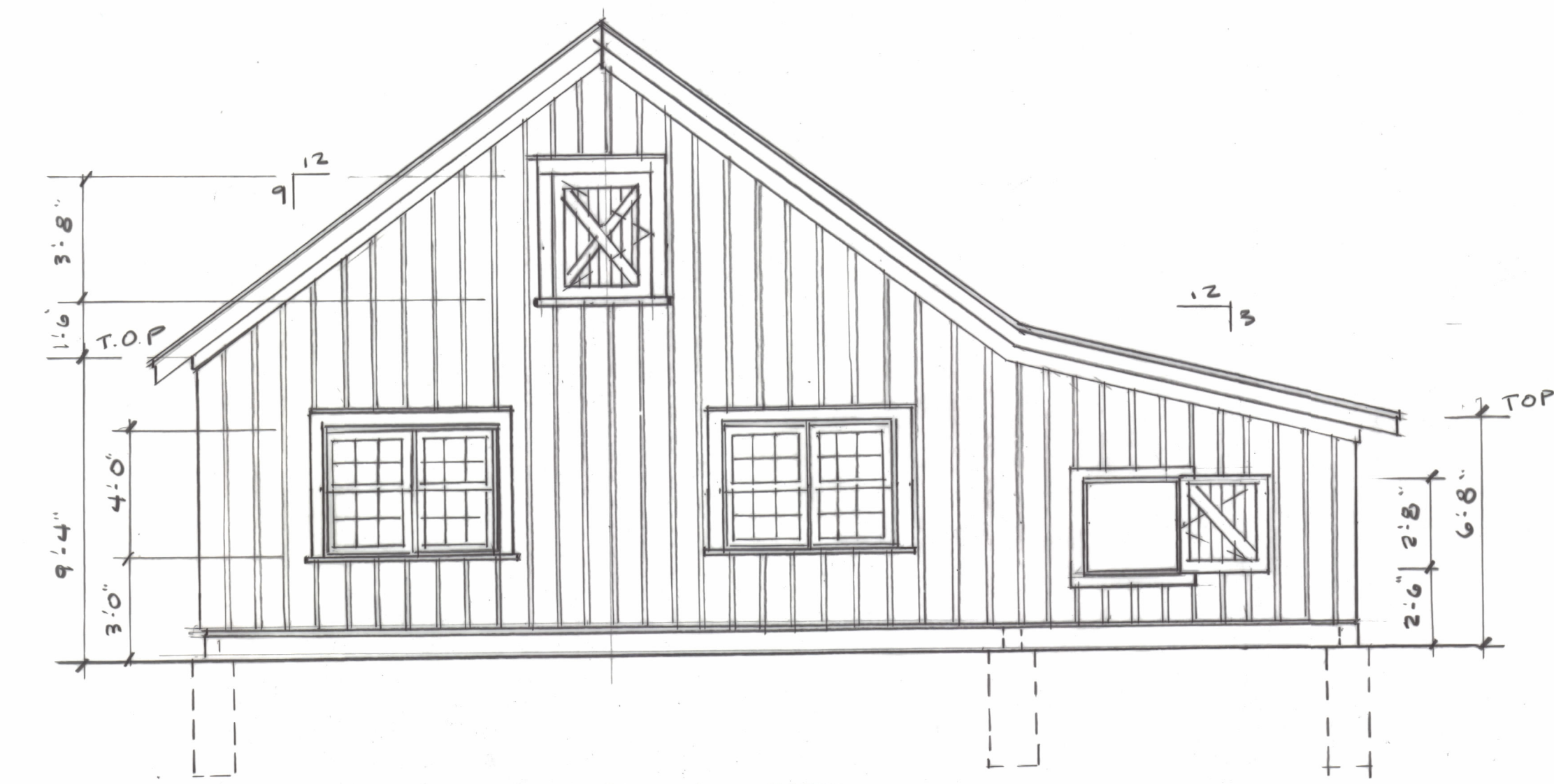
2 FLOOR PLAN
1/4" = 1'-0"



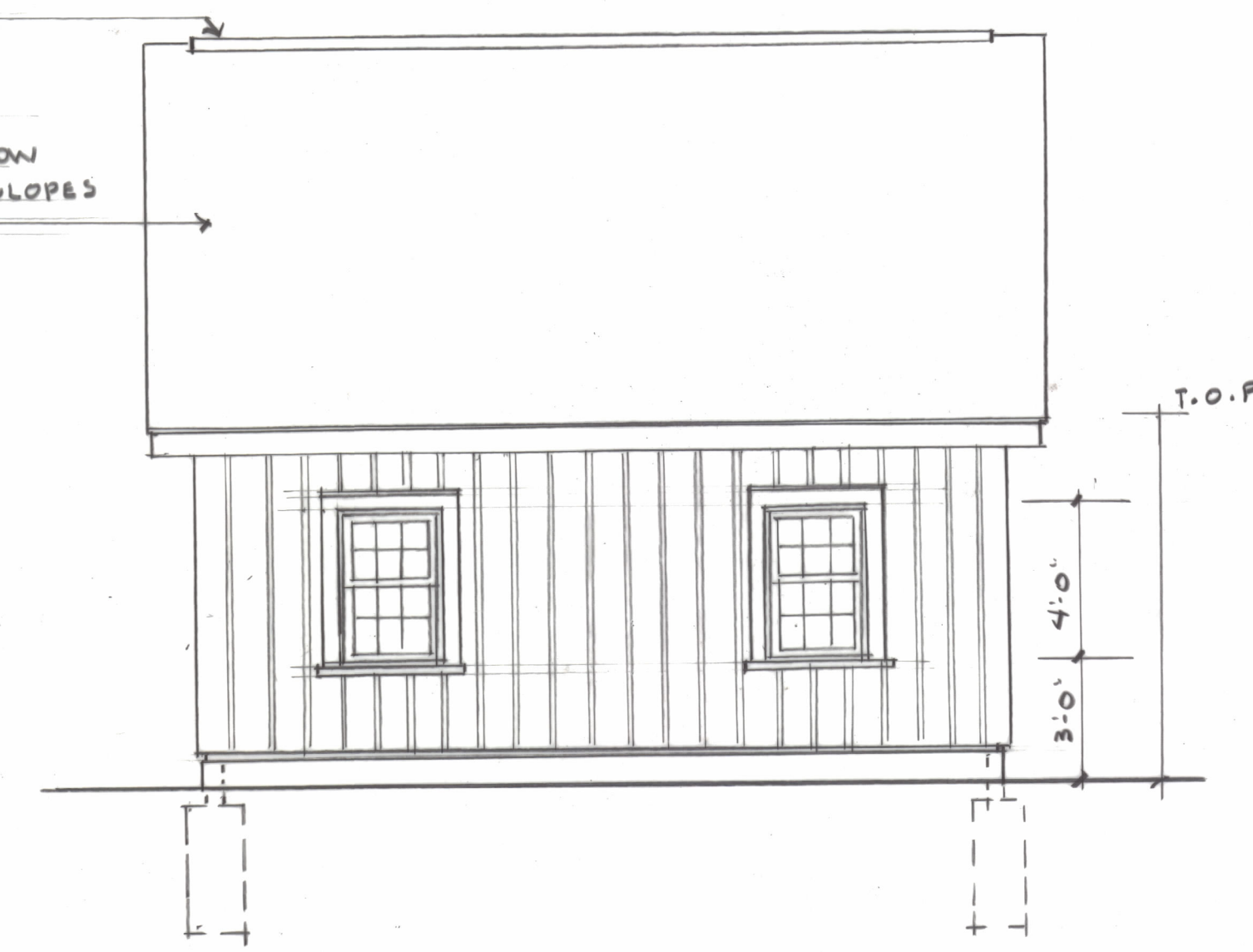
3 SOUTH ELEVATION
1/4" = 1'-0"

RIDGE VENT
ASPHALT ROOF SHINGLES
OVER FULL BED OF ICE & SNOW
SHIELD. SEAL TABS ON SLOPES
LESS THAN 4/12

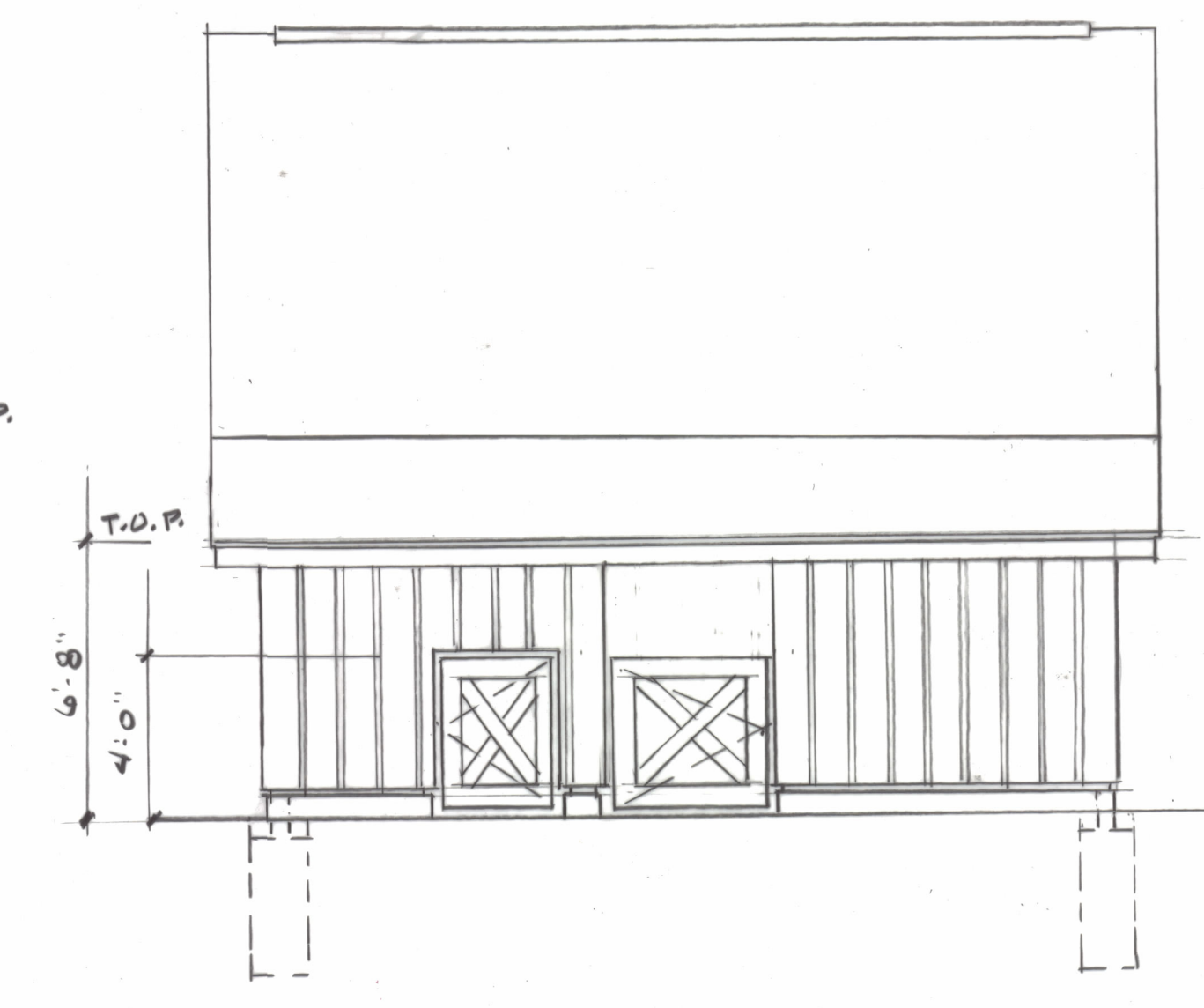
- 5/4"x6" AZAK FASCIA
- 5/4"x4" AZAK RAKE BD.
- 5/4"x4" AZAK TRIM AROUND OPEN'GS
- 3'-0"x3'-8" HAY LOFT DOOR
- 1"x10" BOARD AND BATTEN SIDING OVER 7/16" OSB SHEATHING
- 5/4"x6" AZAK W/ FLASHING
- PAIR OF 4'-6"x7'-0" SWINGING GARAGE DOORS
- 2"x10" P.T. BASE BD.
- TOP OF SLAB
- TOP OF PIER
- CONC. PIERS 3'-6" BELOW GRADE



4 NORTH ELEVATION
1/4" = 1'-0"

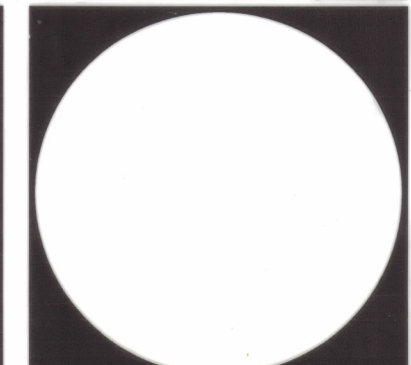


5 EAST ELEVATION
1/4" = 1'-0"



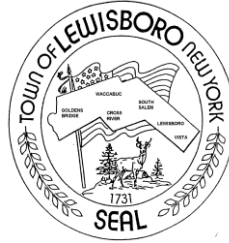
6 WEST ELEVATION
1/4" = 1'-0"

Revisions		
No	Comments	Date



PROJECT	WHITMAN RESIDENCE ACCESSORY GARAGE / RUN-IN SHED 21C BOUTONVILLE RD. SOUTH, CROSS RIVER, NY		
TITLE	PLANS AND ELEVATIONS		
SCALE	AS NOTED	DATE	AUGUST 3, 2022
PROJECT #		DRAWN BY	

**TOWN OF LEWISBORO
Westchester County, New York**



**Building Department
79 Bouton Road
South Salem, New York 10590**

**Tel: (914) 763-3060
Fax: (914) 875-9148
Email: jfarrell@lewisborogov.com**

Zoning Denial 8/24/2022

**The Hadar Residence
20 Manor Dr. Goldens Bridge
0007-11137-166**

The applicant is proposing a detached studio and is requesting a total square footage of 2412' whereas 600' is allowed per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The applicant is proposing a detached studio home occupation space and is requesting a total square footage of 2412' whereas 500' is allowed per Article IV Section 220-23D-1-C of the Town of Lewisboro Zoning Code.

Building Inspector

Jeff Farrell

ZONING BOARD OF APPEALS
NOTICE OF PUBLIC HEARINGS

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CAL. NO. 26-22-BZ

Application of Joshua Hadar [The Joshua D. Hadar Family Trust, owner of record], 20 Manor Drive, Goldens Bridge, NY for the following variance of the proposed detached studio and is requesting a total square footage of 2412' whereas 600' is allowed per Article IV Section 220-23E of the Town of Lewisboro Zoning Code, the applicant is proposing a detached studio home occupation space and is requesting a total square footage of 2412' whereas 500' is allowed per Article IV Section 220-23D-1-C of the Town of Lewisboro Zoning Code.

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**Dated this 31st day of August 2022
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57243

REC. 1901, (F) B. 17, DISK 39 JOB 5

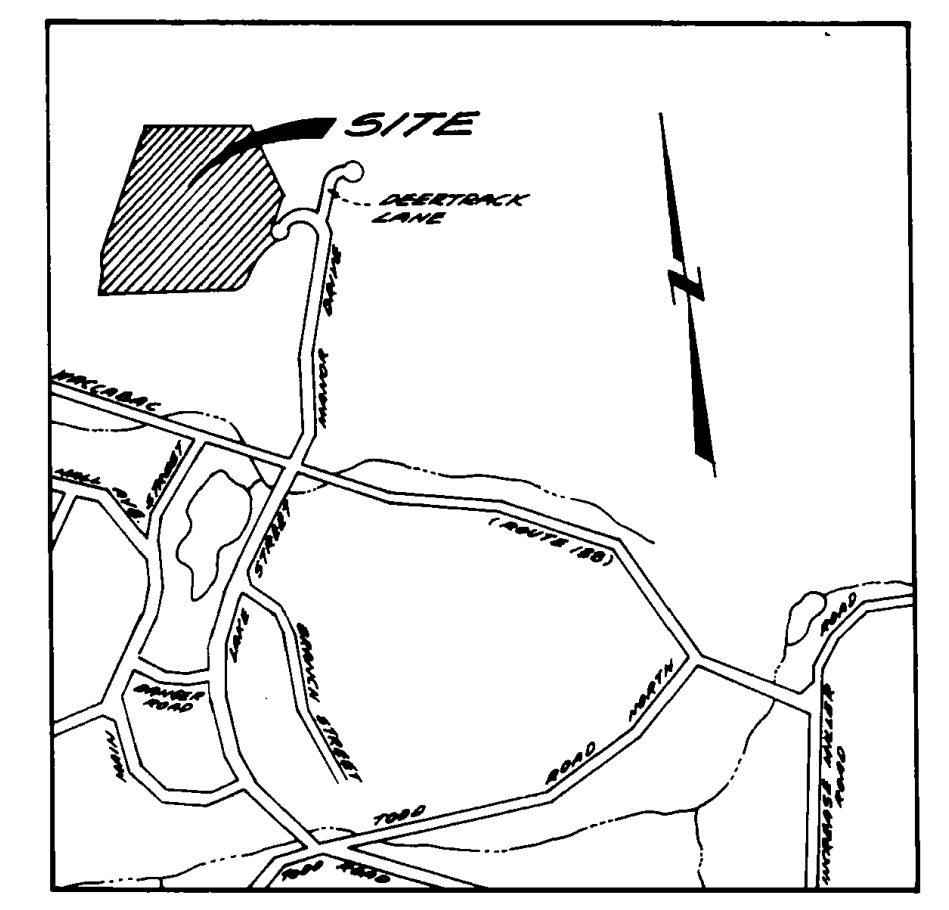
57243

WESTCHESTER COUNTY DEPARTMENT OF HEALTH - WHITE PLAINS, NEW YORK

APPROVED SUBJECT TO THE PROVISION OF SEPARATE WATER SUPPLY AND SEPARATE SEWAGE DISPOSAL FACILITIES TO SERVE EACH HABITABLE BUILDING HEREFTER CONSTRUCTED TO BE INSTALLED IN ACCORDANCE WITH LAND IMPROVEMENT PLANS AND PLANS AND SPECIFICATIONS DULY APPROVED AND FILED IN THIS OFFICE PRIOR TO THE CONSTRUCTION OF SUCH BUILDINGS. EACH PURCHASER OF PROPERTY SHOWN HEREON SHALL BE FURNISHED A TRUE COPY OF MAP SHOWING THIS ENDORSEMENT.

ANY ERASURES, CHANGES, ADDITIONS, OR ALTERATIONS OF ANY KIND, EXCEPT THE ADDITION OF SIGNATURES OF OTHER APPROVING AUTHORITY AND THE DATE THEREOF MADE ON THIS PLAN AFTER THE DATE OF THIS APPROVAL, SHALL INVALIDATE THIS APPROVAL.

RECOMMENDED BY: John J. S. Spina 10-1-91 DATE
RE: Manor Drive DATE
COMMISSIONER OF HEALTH: 11-7-91 DATE



LOCATION MAP
SCALE: 1" = 200'

- NOTES
1. PREMISES SHOWN HEREON LOCATED IN THE R-2A (ONE-FAMILY RESIDENCE) ZONE IN THE TOWN OF LEWISBORO.
 2. PREMISES SHOWN HEREON KNOWN AND DESIGNATED AS SHEET 7, BLOCK 1137, LOTS 66, 68 AND 165.
 3. THE COMPLETION OF CONSTRUCTION OF THE COMMON DRIVE SHOWN ON THIS PLAN IS COVERED BY A RESTRICTION AS FILED IN THE OFFICE OF THE CLERK OF THE COUNTY OF WESTCHESTER, DIVISION OF LAND RECORDS, LIBER TO OF MISC. AT PAGE 183, AND ENTITLED "COMMON DRIVEWAY SPECIFICATIONS FOR FALCON ROCK SUBDIVISION IN THE TOWN OF LEWISBORO." HOWEVER THIS SPECIFICATION IS NO LONGER IN FORCE, EXCEPT FOR PARAGRAPHS 1 AND 6. THE CONSTRUCTION OF THE COMMON DRIVE, IN CONJUNCTION WITH NOTES 1 AND 6, SHALL BE GOVERNED BY THE DRAWINGS ENTITLED "PROPOSED AMENDMENT TO COMMON DRIVEWAY PLAN, FALCON ROCK SUBDIVISION, TOWN OF LEWISBORO, SHEET 1 OF 1 AS PREPARED BY JAMES J. HART ENGINEERING, DATED MAY 28, 1991 AND LAST REVISED SEPTEMBER 26, 1991. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL THE ABOVE, INCLUDING ALL AMENDMENTS AND RELETTERS DIRECTED, IS COMPLETE.
 4. THE COMMON DRIVEWAY IS NEVER TO BE DEDICATED AS A TOWN ROAD.
 5. THE FINAL PAVEMENT COURSE OF THE COMMON DRIVEWAY SHALL BE INSTALLED AFTER COMPLETION OF CONSTRUCTION OF THE RESIDENCES ON LOTS 2 AND 3, AND PRIOR TO THE ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY.
 6. THERE SHALL BE NO FURTHER SUBDIVISION OF LOTS 1, 2 OR 3 INTO ADDITIONAL LOTS.

PREMISES SHOWN HEREON BEING LOCATED ON SHEETS 267 AND 268 BLOCK 1137 IN THE WESTCHESTER COUNTY BLOCK INDEX MAPS.

PROPERTY SHOWN HEREON IS SUBJECT TO "RULES AND REGULATIONS" FOR THE PROTECTION FROM CONTAMINATION OF THE NEW YORK CITY WATER SUPPLY AND ITS SOURCES, CAPICES OF THE CITY OF NEW YORK DEPARTMENT OF WATER RESOURCES FOR CROTON WATERSHED, ROUTE 95, KATONAH, NEW YORK.

APPROVED BY RESOLUTION OF THE LEWISBORO TOWN PLANNING BOARD.

CHAIRMAN: D.A. Smith DATE: 11/20/91
SECRETARY: William J. Nolan DATE: 11/20/91

APPROVED FOR FILING IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS.

OWNER: M. Goldberger DATE: 1 NOV 91
ADDRESS: SHEAR HILL RD BOX 130A, MOUNTAIN, N.Y. 10541
OWNER: J. Rudiniller DATE: 6 NOV 91
ADDRESS: P.O. Box 529 SOMERS, N.Y. 10589

FILED DEC 17 1991
NUMBER 24543
FEE PAID 10-

Filed in the Office of the County Clerk of Westchester County (Division of Land Records)
December 17, 1991
Andrew J. Spina County Clerk

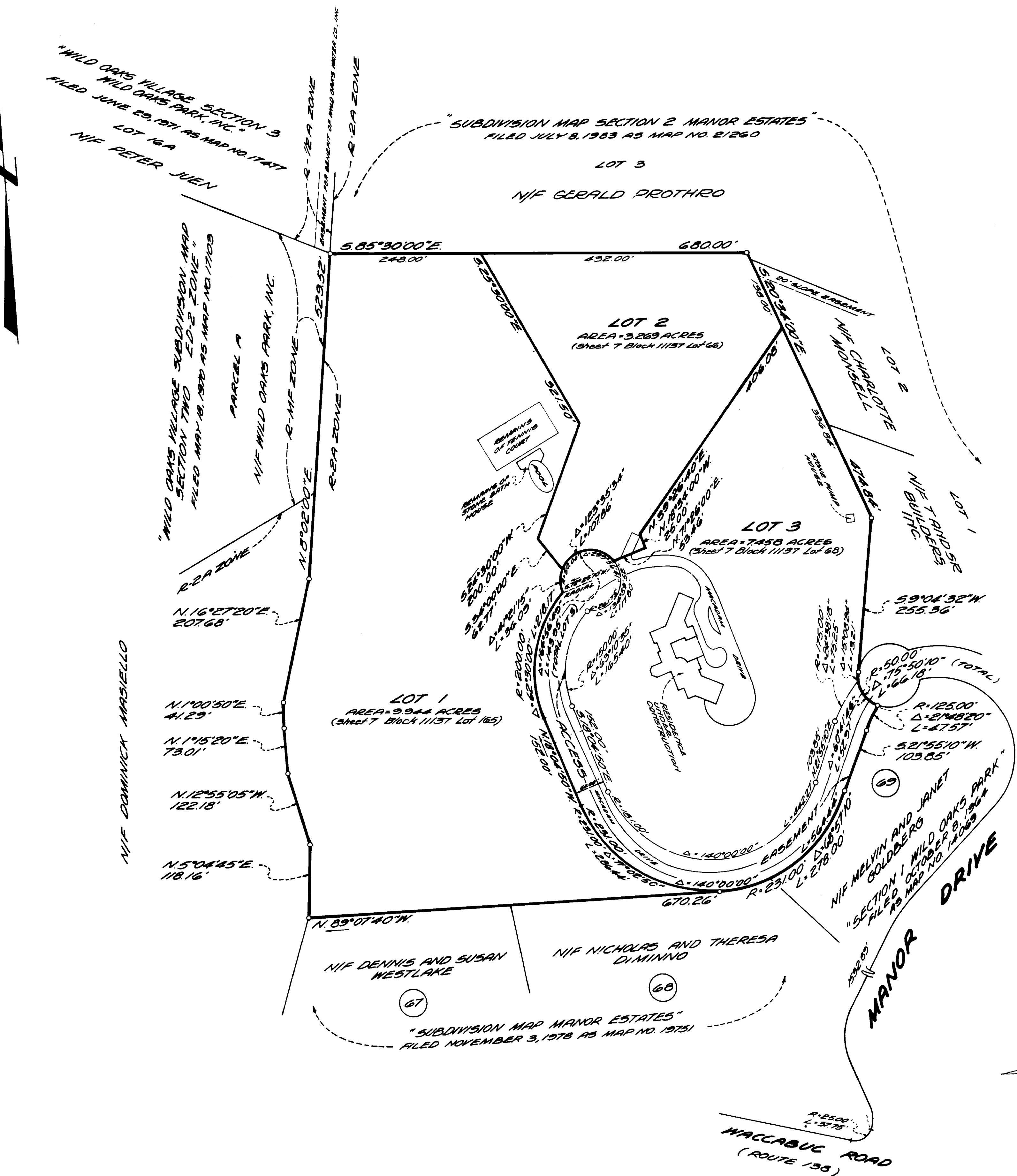
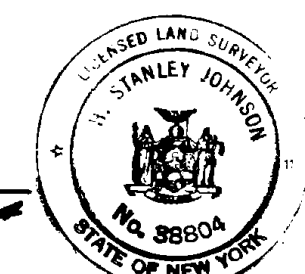
AMENDED SUBDIVISION
KNOWN AS
"FALCON ROCK"
SITUATE IN THE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK
THIS SUBDIVISION MAP AMENDS FILED MAP NO. 233-46.



SCALE: 1" = 100'

REVISED: NOVEMBER 3, 1991
REVISED: OCTOBER 15, 1991
THIS MAP, DO HEREBY CERTIFY THAT THE SURVEY UPON WHICH THIS MAP IS BASED WAS COMPLETED: MARCH 13, 1987 AND THAT THIS MAP WAS COMPLETED: JULY 31, 1991.

NEW YORK STATE LICENSED LAND SURVEYOR NO. 38804

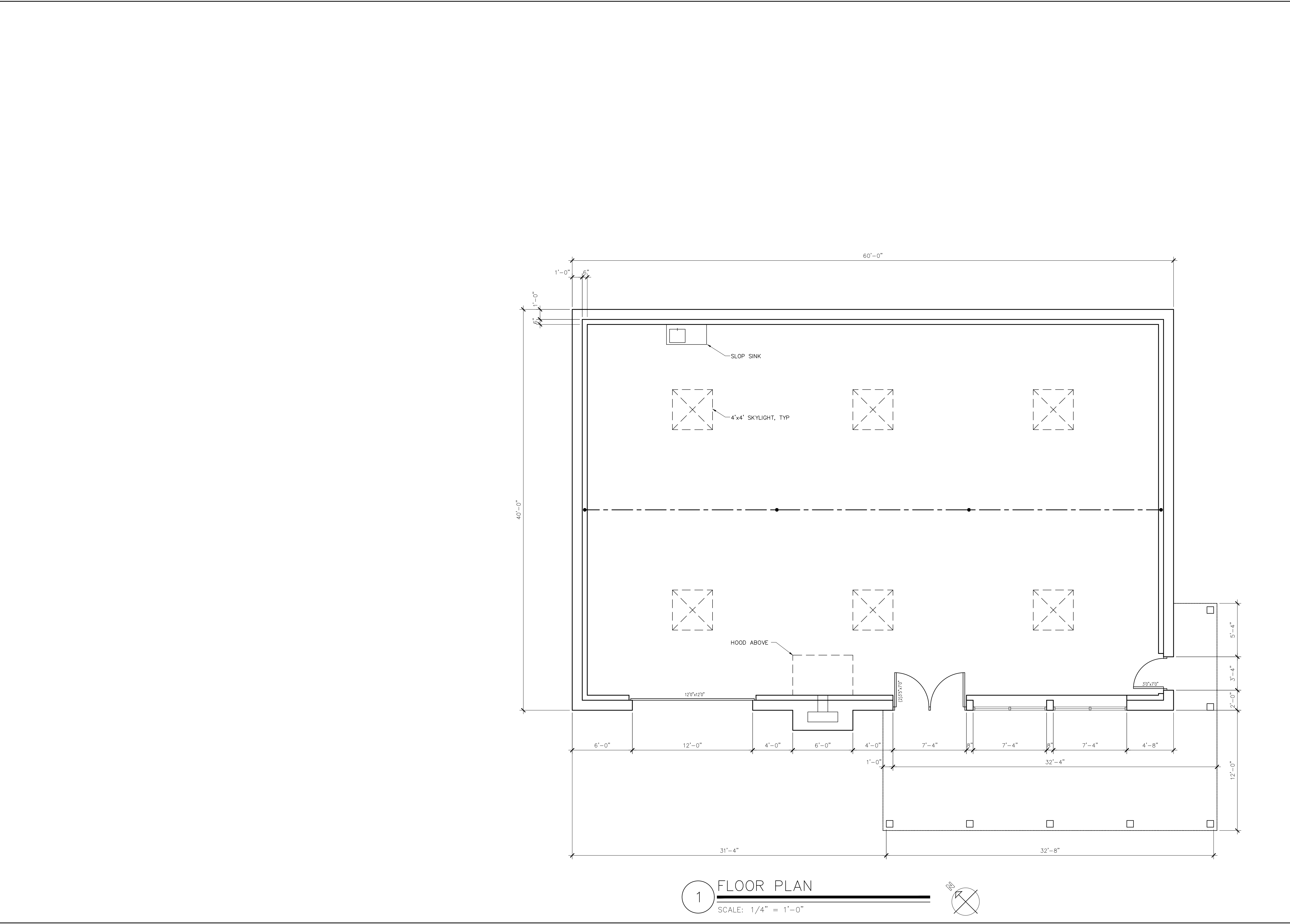


AREA OF LOT 1 = 9.944 ACRES
AREA OF LOT 2 = 3.269 ACRES
AREA OF LOT 3 = 7.458 ACRES
TOTAL AREA = 20.671 ACRES

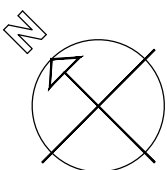
H. STANLEY JOHNSON AND COMPANY
LAND SURVEYORS P.C.
42 SMITH AVENUE
MOUNT KISCO, NEW YORK 10549
TEL. 914-241-3872 P.O. BOX 93

APP. BY: WIRA and J.B. CKD. BY: STJ

JOB NO. F87033.00



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROJECT

HADAR ART STUDIO

20 MANOR DRIVE

GOLDENS BRIDGE, NY 10526

TITLE

FLOOR PLAN

DATE

JULY 22, 2022

SCALE

1/4" = 1'-0"

PROJ #

SEAL

REVISIONS

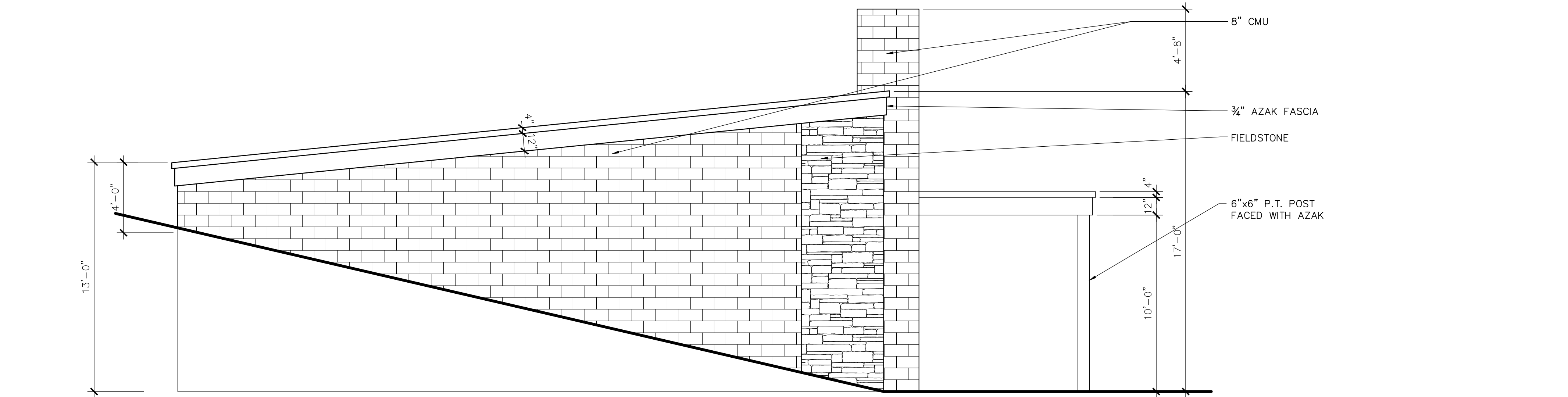
No.	Desc.	Date

CROSS RIVER ARCHITECTS, LLC

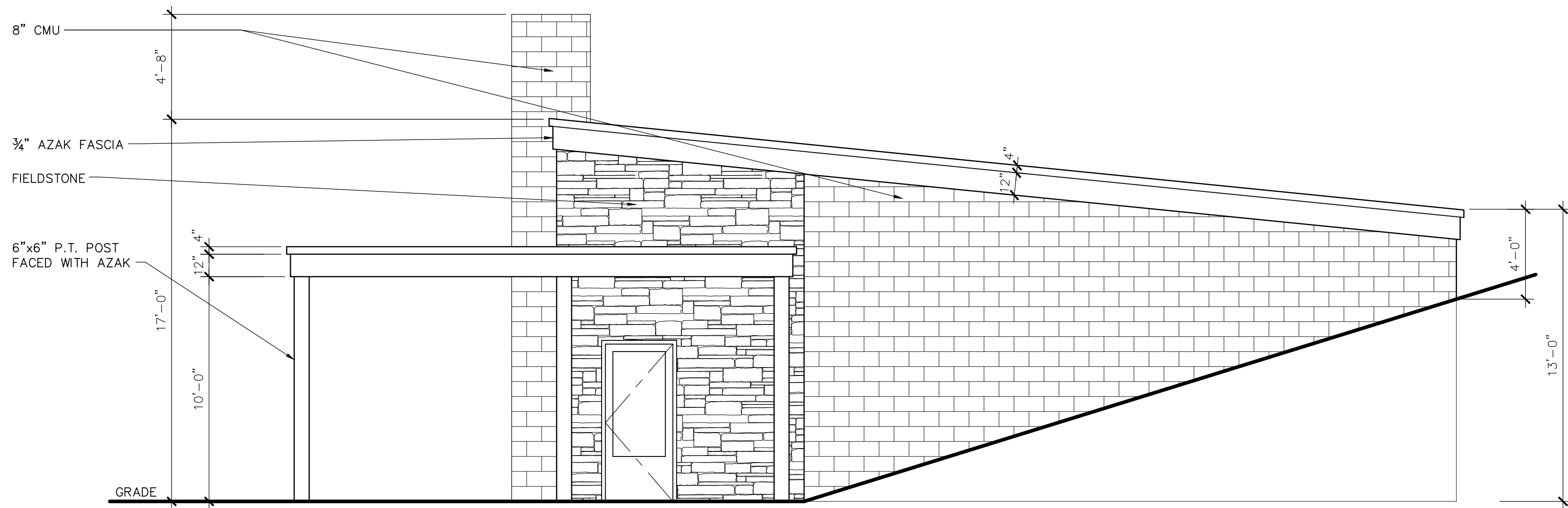
ROBERT J. EBERTS R.A., PRINCIPAL

110 PINESBRIDGE RD.,
KATONAH, N.Y. 10536

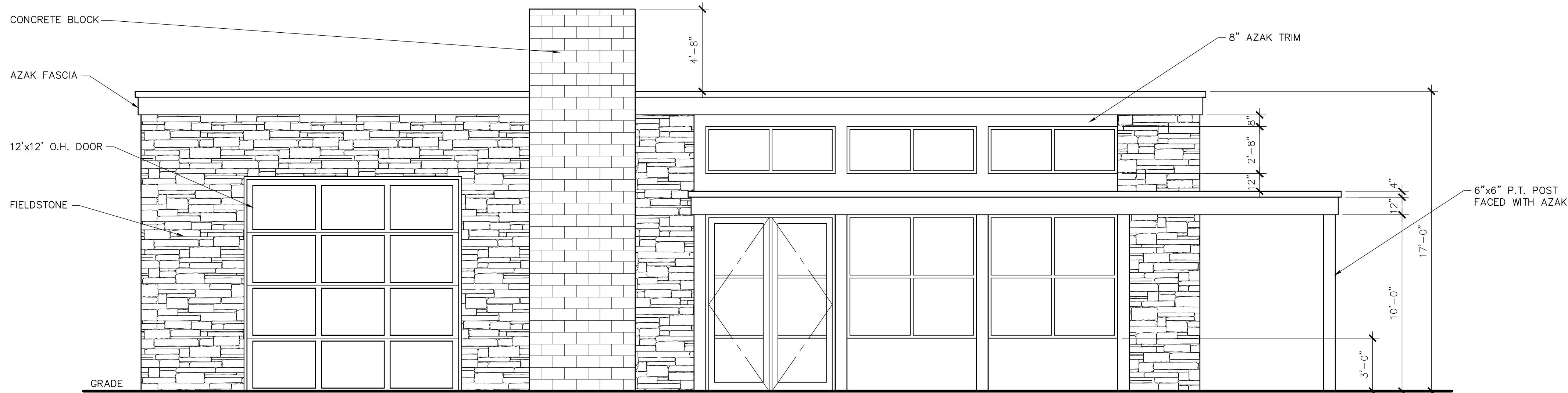
914.494.7691



3 LEFT (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



1 FRONT (WEST) ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS

SEAL

CROSS RIVER ARCHITECTS, LLC

ROBERT J. EBERTS R.A., PRINCIPAL

914.494.7691

110 PINESBRIDGE RD.
KATONAH, N.Y. 10536

PROJECT
HADAR ART STUDIO
20 MANOR DRIVE
GOLDENS BRIDGE, NY 10526

TITLE
ELEVATIONS

DATE
JULY 22, 2022

SCALE
1/4" = 1'-0"

PROJ. #

DRAWING

A/2

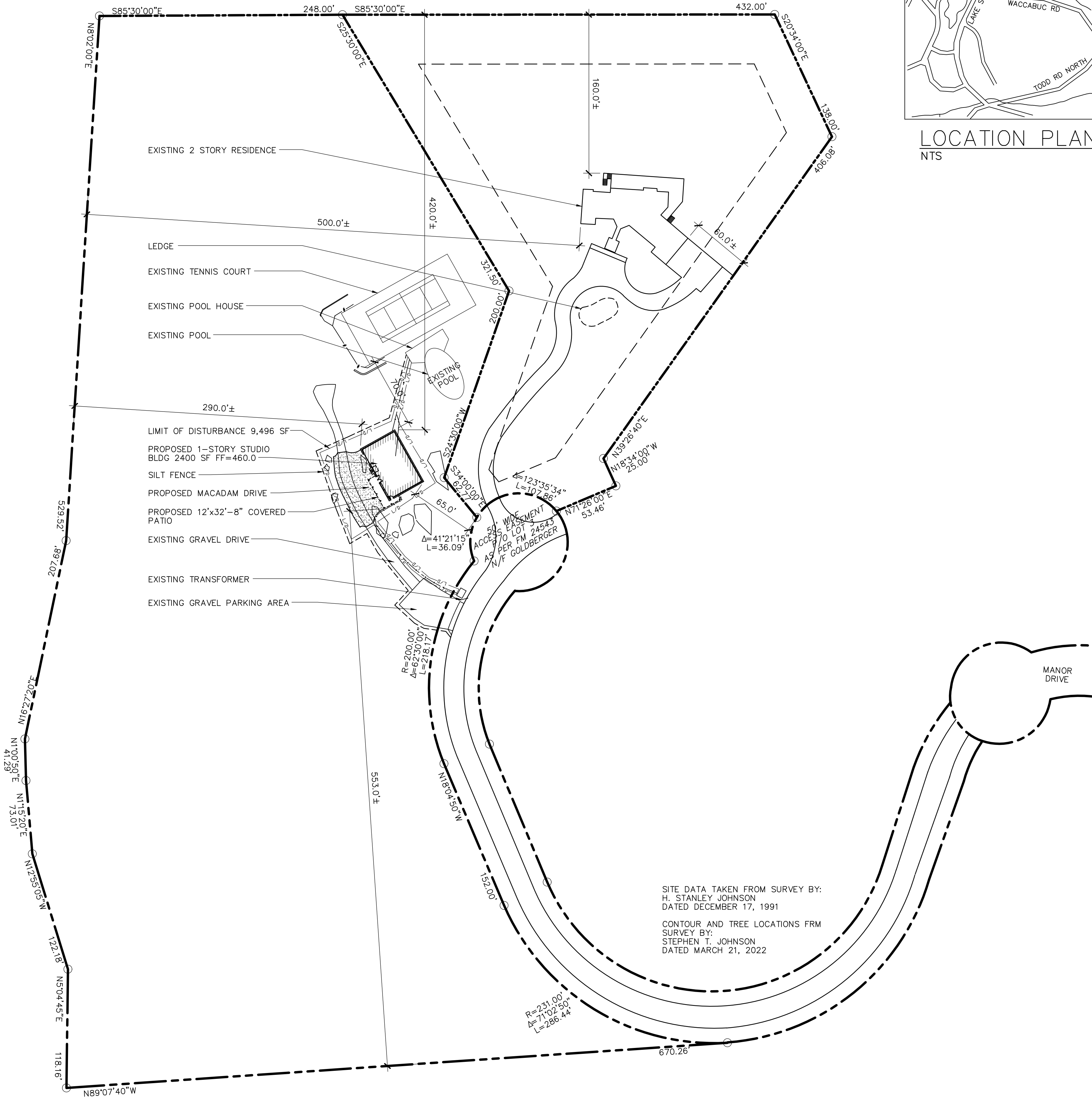
SITE SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	EXISTING CONTOUR
	NEW CONTOUR
	LINE OF DISTURBANCE
	SILT FENCE
	EXISTING STRUCTURE
	PROPOSED STRUCTURE
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	PROPOSED UNDERGROUND ELECTRICAL SERVICE
	PROPOSED UNDERGROUND WATER LINE

ZONING COMPLIANCE TABLE		ZONE -R2A	
TAX LOT - SECTION 7, BLOCK 11157, LOT 168		REQUIRED	EXISTING
MIN. LOT SIZE -	2 ACRES	15,315 ACRES	NO CHANGE
WIDTH	200'	1040' +/-	NO CHANGE
YARDS			
FRONT (FROM CL STREET)	75'	560.0' +/-	630' +/-
FRONT (FROM PROPERTY LINE)	50'	60.0' +/-	68.0'
SIDE	40'	160.0' +/-	420.0' +/- 553.0' +/-
REAR	50'	500.0' +/-	290.0' +/-
MAXIMUM ACCESSORY BLDG HEIGHT	20'	-	17'
MAX. BLDG COVERAGE	9% / 51,800 SF	0.77% / 4,850 SF	1.26 % / 7,280 SF
FLOOR AREA OF RESIDENCE	---	7,496 SF	---
FLOOR AREA OF ACCESSORY STUDIO BLDG	600 SF	---	2,412 SF *
AREA OF RESIDENCE FOR HOME OCCUPATION	30% OR 500 SF MAX	---	2,412 SF **

VARIANCES REQUESTED

* SECTION 220-23.D (1) c - 1,812 SF VARIANCE REQUESTED

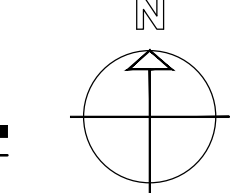
** SECTION 220-23.D (1) c - 1,912 SF VARIANCE REQUESTED



1

SITE PLAN

SCALE: 1" = 60'



REVISIONS

SEAL

CROSS RIVER ARCHITECTS, LLC
ROBERT J. EBERTS R.A., PRINCIPAL

914.494.7691

110 PINESBRIDGE RD.,
KATONAH, N.Y. 10536

PROJECT
HADAR ART STUDIO
20 MANOR DRIVE
GOLDENS BRIDGE, NY 10526

TITLE
SITE PLAN

DATE
JULY 22, 2022

SCALE
1" = 60'

PROJ. #

DRAWING

SP
1

EXISTING TENNIS COURT

EXISTING POOL HOUSE

EXISTING POOL

PROPOSED UNDERGROUND WATER LINE

PROPOSED 1-STORY STUDIO
BLDG 2400 SF FF=460.0'

LIMIT OF DISTURBANCE
8,726 SF

SILT FENCE

PROPOSED MACADAM DRIVE

COVERED PATIO

PROPOSED UNDERGROUND ELECTRIC LINE

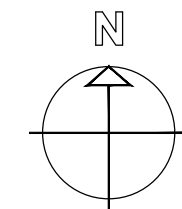
EXISTING GRAVEL DRIVE

EXISTING TRANSFORMER

EXISTING GRAVEL PARKING AREA

1 SITE PLAN

SCALE: 1" = 20'



REVISIONS

SEAL

CROSS RIVER ARCHITECTS, LLC

ROBERT J. EBERTS R.A., PRINCIPAL

914.494.7691

PROJECT
HADAR ART STUDIO
20 MANOR DRIVE
GOLDENS BRIDGE, NY 10526

TITLE
SITE PLAN

DATE
JULY 22, 2022

SCALE
1" = 20'

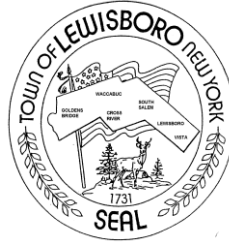
PROJ. #

DRAWING

SP/2

110 PINESBRIDGE RD.,
KATONAH, N.Y. 10536

TOWN OF LEWISBORO
Westchester County, New York



Building Department
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3060
Fax: (914) 875-9148
Email: jfarrell@lewisborogov.com

Zoning Denial 8/25/2022

Stephen Cipes (Goldens Bridge Shopping Center)
104 Route 22, Goldens Bridge
0004-11126-007

The applicant has proposed EV charging stations with associated electrical structures and is requesting a front yard setback of 3'10" whereas 20' are required per Article IV Section 220-24E of the Town of Lewisboro Zoning Code.

Building Inspector

Jeff Farrell

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, September 28, 2022, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 27-22-BZ

Application of Plug In Stations, Brian Fetterman, [Cipes, Stephen, owner of record, Goldens Bridge Shopping Center], 104 Route 22, Goldens Bridge, NY for the following variance of the proposed EV charging stations with associated electrical structures and is requesting a front yard setback of 3’10” whereas 20’ are required per Article IV Section 220-24E of the Town of Lewisboro Zoning Code.

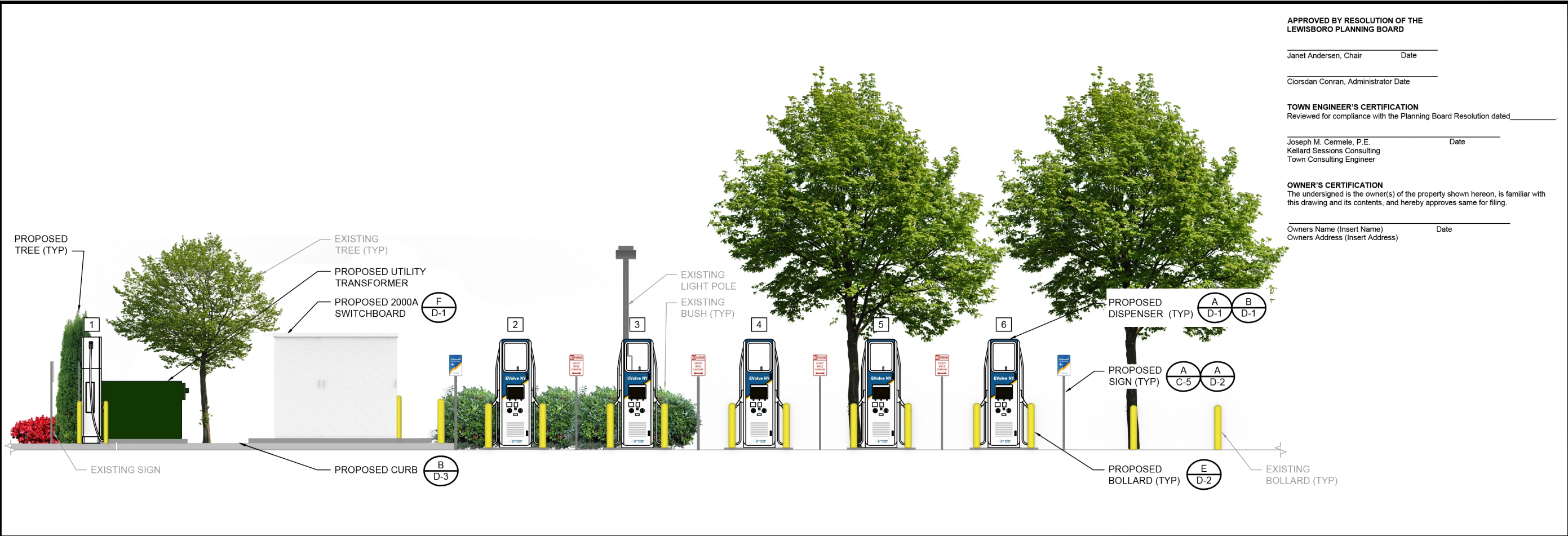
The property is located on the east side of (#104) Route 22, Goldens Bridge, NY designated on the Tax Map as Sheet 0004, Block 11126, Lot 007, in an RB, Retail Business District consisting of approximately 8.961 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 31st day of August 2022
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.



PLUGIN STATIONS ONLINE
7 COTTON MILL LANE
VALATIE, NY 12184
(855) 467-3751

NEW YORK POWER AUTHORITY
123 MAIN ST
WHITE PLAINS, NY 10601
(914) 681-6200

BLACK & VEATCH
Building a world of difference™
Black & Veatch New York LLP
488 Fifth Avenue
New York, New York 10017

PROJECT NO:	408038
DRAWN BY:	GAK
CHECKED BY:	NMB

D	04/27/22	ISSUED FOR 90% REVIEW
C	03/14/22	ISSUED FOR 30% REVIEW
0	11/04/21	ISSUED FOR CONSTRUCTION
REV	DATE	DESCRIPTION

NOT TO BE USED FOR CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

NY-PI017
GOLDENS BRIDGE
NORTH STREET
GOLDENS BRIDGE, NY 10526

SHEET TITLE
SITE ELEVATION

SHEET NUMBER
C-4

NOTES

- 3M™ PRINT WRAP FILM IJ175Cv3 OR EQUIVELANT.
- 3M™ OPAQUE GRAPHIC FILM: INTENSE BLUE 7725-47 COLOR TO BE APPROVED BY NYPA.
- 3M™ OPAQUE GRAPHIC FILM: WHITE 7725-10.
- REFERENCE TO "ISSUE FOR FABRICATION MARCH 19, 2020" FOR DETAILED DIMENSIONS AND SPECIFICATIONS.
- COORDINATE PLACEMENT OF ALL REGULATORY LABELING WITH EACH MANUFACTURER.

LEFT VIEW

RIGHT VIEW

FRONT VIEW

UNIT IDENTIFICATION LABELS BY OTHERS
COMPUTER CUT VINYL LOGO (SEE NOTE 3)

INTERNALLY ILLUMINATED TRANSLUCENT LINER BY MANUFACTURER. SET LIGHT COLOR TO APPROXIMATE PMS 3005 BLUE

VERTICAL LED STRIP LIGHTS (BY MANUFACTURER) SET LIGHT COLOR TO WHITE

15" MONITOR

CUSTOMER ASSISTANCE PHONE NUMBER.
Customer Assistance
914.287.4200

SHELL RECHARGE SOLUTIONS

NYPA TO VERIFY PHONE NUMBER AT EACH LOCATION

DIGITALLY PRINTED VINYL WRAP APPLIED OVER CABINET. TRIM TO OUTLINE OF GRAPHIC AND WRAP INTO FIXTURE SEEMS (SEE NOTE 1)

COUPLER IDENTIFICATION LABELS DIGITALLY PRINTED VINYL APPLIED OVER CABINET (SEE NOTE 1)

CCS 100KW

CHAdeMO 100KW

QR SHOWN FOR PLACEMENT ONLY

NYPA IDENTIFY COMPUTER CUT VINYL LOGO (SEE NOTE 2)

CHARGING STATION VINYL WRAP

NO SCALE

B

DETAIL NOT USED

NO SCALE

C



NY-PI017 GOLDENS BRIDGE
INSTALLATION OF ELECTRIC VEHICLE CHARGING EQUIPMENT
GOLDENS BRIDGE
NORTH STREET
GOLDENS BRIDGE, NY 10526

SPECIAL INSPECTION REQUIREMENTS

- CONCRETE PLACEMENT AND COMPRESSION TEST (PERIODIC)
- POST INSTALLED ANCHORS (PERIODIC)

SITE INFORMATION		PROJECT DESCRIPTION		AREA MAP		LOCATION MAP																																																										
<p>EV SITE ADDRESS: NORTH STREET GOLDENS BRIDGE, NY 10526</p> <p>PROPERTY OWNER: CIPES STEPHEN</p> <p>POWER COMPANY: NYSEG</p> <p>COUNTY: WESTCHESTER COUNTY</p> <p>CHARGER OWNER/OPERATOR: NYPA</p>		<p>LATITUDE: 41° 17' 38.60" N 41.294056°</p> <p>LONGITUDE: 73° 40' 29.00" W -73.674713°</p> <p>LEAD CIVIL ENGINEER: JOE HAMPSON (913) 458-8092 HAMPSONJ@BV.COM</p> <p>LEAD ELEC. ENGINEER: GREG KRUG (913) 458-2881 KRUGGD@BV.COM</p>		<ul style="list-style-type: none">• INSTALL (1) UTILITY TRANSFORMER• INSTALL (1) SWITCHBOARD ASSEMBLY• INSTALL (8) 175KW SIGNET POWER UNITS• INSTALL (2) 350KW SIGNET DISPENSERS• INSTALL (4) 175KW SIGNET DISPENSERS																																																												
APPLICABLE CODES		DRAWING INDEX		CALL BEFORE YOU DIG		DO NOT SCALE DRAWINGS																																																										
<p>ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:</p> <p>2020 BUILDING CODE OF NEW YORK STATE 2020 PLUMBING CODE OF NEW YORK STATE 2020 MECHANICAL CODE OF NEW YORK STATE 2017 ELECTRICAL CODE OF NEW YORK STATE 2020 FIRE CODE OF NEW YORK STATE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE</p> <p>IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL</p>		<table><thead><tr><th>SHEET NO:</th><th>SHEET TITLE</th><th>REV NO:</th></tr></thead><tbody><tr><td>T-1</td><td>TITLE SHEET & PROJECT DATA</td><td>E</td></tr><tr><td>GN-1</td><td>GENERAL NOTES 1</td><td>E</td></tr><tr><td>GN-2</td><td>GENERAL NOTES 2</td><td>E</td></tr><tr><td>GN-3</td><td>GENERAL NOTES 3</td><td>E</td></tr><tr><td>C-0</td><td>PARCEL SITE PLAN</td><td>E</td></tr><tr><td>C-1</td><td>OVERALL SITE PLAN</td><td>E</td></tr><tr><td>C-2</td><td>DEMOLITION SITE PLAN</td><td>E</td></tr><tr><td>C-3</td><td>ENLARGED SITE PLAN</td><td>E</td></tr><tr><td>C-4</td><td>SITE ELEVATION</td><td>E</td></tr><tr><td>C-5</td><td>ACCESSIBILITY DETAILS</td><td>E</td></tr><tr><td>E-1</td><td>ELECTRICAL PLAN</td><td>E</td></tr><tr><td>E-2</td><td>SINGLE LINE DIAGRAM</td><td>E</td></tr><tr><td>E-3</td><td>ELECTRICAL DETAILS</td><td>E</td></tr><tr><td>E-4</td><td>ELECTRICAL DETAILS</td><td>E</td></tr><tr><td>G-1</td><td>GROUNDING DETAILS</td><td>E</td></tr><tr><td>D-1</td><td>EQUIPMENT DETAILS</td><td>E</td></tr><tr><td>D-2</td><td>EQUIPMENT DETAILS</td><td>E</td></tr><tr><td>D-3</td><td>EQUIPMENT DETAILS</td><td>E</td></tr></tbody></table>		SHEET NO:	SHEET TITLE	REV NO:	T-1	TITLE SHEET & PROJECT DATA	E	GN-1	GENERAL NOTES 1	E	GN-2	GENERAL NOTES 2	E	GN-3	GENERAL NOTES 3	E	C-0	PARCEL SITE PLAN	E	C-1	OVERALL SITE PLAN	E	C-2	DEMOLITION SITE PLAN	E	C-3	ENLARGED SITE PLAN	E	C-4	SITE ELEVATION	E	C-5	ACCESSIBILITY DETAILS	E	E-1	ELECTRICAL PLAN	E	E-2	SINGLE LINE DIAGRAM	E	E-3	ELECTRICAL DETAILS	E	E-4	ELECTRICAL DETAILS	E	G-1	GROUNDING DETAILS	E	D-1	EQUIPMENT DETAILS	E	D-2	EQUIPMENT DETAILS	E	D-3	EQUIPMENT DETAILS	E	<p>UNDERGROUND SERVICE ALERT UTILITY NOTIFICATION CENTER OF NEW YORK 811 OR 1-800-962-7962</p> <p>3 WORKING DAYS UTILITY NOTIFICATION PRIOR TO CONSTRUCTION</p>		<p>CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.</p>	
SHEET NO:	SHEET TITLE	REV NO:																																																														
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ZONING INFORMATION		FOR REFERENCE ONLY DRAWINGS		11"x17" PLOT WILL BE HALF SCALE UNLESS NOTED																																																												
<p>PERMITTING JURISDICTION: CITY OF GOLDENS BRIDGE</p>		<p>ELECTRIC UTILITY PLAN PROPERTY SURVEY ABB EQUIPMENT SPECIFICATIONS ABB SWITCHBOARD SPECIFICATIONS THE FORT MILLER CO. DWGS NYSEG REQUIREMENTS</p>																																																														
FLOOD HAZARD AREA NOTE		ENGINEER OF RECORD																																																														
<p>THIS SITE IS LOCATED IN FLOOD ZONE "X". AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN.</p>		<p>ROBERT WOODS PE # 094422 BLACK & VEATCH NY, LLP / CERTIFICATE #0009058</p>																																																														
CONTRACTOR NOTE																																																																
<p>CONTRACTOR SHALL COMPLETE INSTALL PER THE SIGNED AND THE SEALED SET OF DRAWINGS. ANY NECESSARY DEVIATIONS FROM THE DRAWINGS MUST BE SUBMITTED THROUGH AN RFI REQUEST PROCESS WITH ENGINEERING FOR AN APPROVAL PRIOR TO CONTRACTOR PROCEEDING WITH A DEVIATION OF THE SIGNED AND SEALED SET OF DRAWINGS.</p>																																																																

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Janet Andersen, Chair Date

Glorsdan Conran, Administrator Date

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated

Joseph M. Cermele, P.E.

Kellard Sessions Consulting

Town Consulting Engineer

OWNER'S CERTIFICATION

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name (Insert Name)

Owners Address (Insert Address)

Date



PLUGIN STATIONS ONLINE
7 COTTON MILL LANE
VALATIE, NY 12184
(855) 467-3751



NEW YORK POWER AUTHORITY
123 MAIN ST
WHITE PLAINS, NY 10601
(914) 681-6200



Black & Veatch New York LLP
489 Fifth Avenue
New York New York 10017

PROJECT NO: 408038

DRAWN BY: GAK

CHECKED BY: NMB

REV	DATE	DESCRIPTION
D	04/27/22	ISSUED FOR 90% REVIEW
C	03/14/22	ISSUED FOR 30% REVIEW
0	11/04/21	ISSUED FOR CONSTRUCTION

NOT TO BE USED
FOR CONSTRUCTION

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NY-PI017
GOLDENS BRIDGE
NORTH STREET
GOLDENS BRIDGE, NY 10526

SHEET TITLE

TITLE SHEET &
PROJECT DATA

SHEET NUMBER

T-1

REINFORCED CONCRETE NOTES

1.

CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS UNLESS OTHERWISE NOTED' CONTINUOUS INSPECTION IS NOT REQUIRED. SLUMP: 4" MIN / 6" MAX.
AIR ENTRAINMENT: 4 1/2% - 7% BY VOLUME
2.

REINFORCEMENT SHALL BE A NEW BILLET STEEL DEFORMED BARS CONFORMING TO ASTM SPECIFICATION A615 GRADE 60, MAXIMUM COARSE AGGREGATE SIZE SHALL BE 3/4".
3.

REINFORCEMENT SHALL COMPLY WITH THE LATEST EDITION OF ACI 318 FOR MINIMUM CLEARANCES.
4.

ALL EMBEDDED ITEMS SHALL BE SECURELY HELD IN POSITION PRIOR TO PLACEMENT OF CONCRETE. ALL CONCRETE SHALL BE READY-MIXED IN ACCORDANCE WITH ASTM C94.
5.

MAINTAIN TEMPERATURE OF CAST IN PLACE CONCRETE BETWEEN 50 DEGREES AND 90 DEGREES FAHRENHEIT.
6.

DO NOT USE RETEMPERED CONCRETE, OR ADD WATER TO READY-MIX CONCRETE AT THE JOB SITE.
7.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
8.

EXCEPT AS DETAILED OR AUTHORIZED, MAKE BARS CONTINUOUS AROUND CORNERS WHERE PERMITTED, SPLICES MADE BY CONTACT LAPS SHALL BE CLASS "B" TENSION LAPS UNLESS NOTED OTHERWISE.
9.

DETAIL BARS IN ACCORDANCE WITH "ACI DETAILING MANUAL", PUBLICATION SP-66 AND " BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318.
10.

PROVIDE ACCESSORIES NECESSARY TO PROPERLY SUPPORT REINFORCING.
11.

EXPANSION JOINTS SHALL BE CONSTRUCTED AT LOCATIONS WHERE THE CONCRETE PAD ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES, AND AS SHOWN ON APPROVED PLANS. EXPANSION JOINTS SHALL BE FORMED WITH ONE-HALF INCH PRE-FABRICATED NON-EXTRUDING FILLER AND SHALL EXTEND THE FULL DEPTH OF THE SLAB.

ANCHORAGE INSTALLATION NOTES

1.

DRILLING THROUGH EXISTING SLAB REBAR DURING POST-INSTALLED ANCHOR BOLTS INSTALLATION IS NOT PERMITTED.
2.

POST-INSTALLED ANCHOR BOLT INSTALLATION SHALL BE PERFORMED BY PERSONNEL TRAINED TO INSTALL THE SYSTEM PER THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS (MPII), AS INCLUDED IN THE ANCHOR PACKAGING.
3.

EXPANSION AND ADHESIVE ANCHORS SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS USING STANDARD EMBEDMENTS AND EDGE DISTANCES UNLESS NOTED OTHERWISE ON THE DRAWINGS.

CONCRETE SIDEWALK CONSTRUCTION REQUIREMENTS

1.

PLACING AND FINISHING CONCRETE

THE CONTRACTOR SHALL PROVIDE ADEQUATE TOOLS AND EQUIPMENT TO PRODUCE QUALITY WORKMANSHIP IN PLACING AND FINISHING CONCRETE. THE SIDEWALK AND RAMPS SHALL BE FINISHED TO THE TOP OF THE FORMS AND THE SURFACE FINISHED WITH A WOOD OR STEEL FLOAT AND SURFACE TEXTURE SHALL BE A COURSE BROOM FINISH TRANSVERSE TO THE SLOPE OF THE SIDEWALK OR RAMP. NO "PLASTERING" OF THE SURFACE SHALL BE PERMITTED.
2.

CONTRACTION JOINTS

THE SIDEWALK SURFACE SHALL BE MARKED OFF INTO NOMINAL SQUARES OF DIMENSION TO THE WIDTH OF THE SIDEWALK WITH A MAXIMUM DISTANCE BETWEEN JOINTS OF SEVEN FEET SAWING JOINTS, THE CONTRACTOR SHALL BEGIN AS SOON AS THE CONCRETE HARDENS SUFFICIENTLY TO PREVENT EXCESSIVE RAVELING ALONG THE SAW CUT AND SHALL FINISH BEFORE CONDITIONS INDUCE UNCONTROLLED CRACKS, REGARDLESS OF THE TIME OR WEATHER.
3.

EXPANSION JOINTS

EXPANSION JOINTS SHALL BE CONSTRUCTED AT LOCATIONS WHERE THE SIDEWALK ABUTS EXISTING CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES, AND EVERY TWO HUNDRED FIFTY FEET AND AS SHOWN ON APPROVED PLANS. EXPANSION JOINTS SHALL BE FORMED WITH ONE-HALF INCH PREFABRICATED NON-EXTRUDING FILLER AND SHALL EXTEND THE FULL DEPTH OF THE SLAB.

GENERAL SITE WORK NOTES

PART 1 - GENERAL

CLEARING, GRUBBING, STRIPPING, EROSION CONTROL, SURVEY, LAYOUT, SUBGRADE PREPARATION AND FINISH GRADING AS REQUIRED TO COMPLETE THE PROPOSED WORK SHOWN IN THESE PLANS.

1.1 REFERENCES:

- A.

DOT (STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION-CURRENT EDITION).
- B.

ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS).
- C.

OSHA (OCCUPATION SAFETY AND HEALTH ADMINISTRATION).

1.2 INSPECTION AND TESTING:

- A.

GENERAL CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. PERFORM INSPECTIONS BEFORE CONCEALING WORK WITH FOLLOW-ON ACTIVITIES (BACKFILL, CONCRETE POUR, ETC).

1.3 SITE MAINTENANCE AND PROTECTION:

- A.

PROVIDE ALL NECESSARY JOB SITE MAINTENANCE FROM COMMENCEMENT OF WORK UNTIL COMPLETION OF THE CONTRACT.
- B.

AVOID DAMAGE TO THE SITE AND TO EXISTING FACILITIES, STRUCTURES, TREES, AND SHRUBS DESIGNATED TO REMAIN. TAKE PROTECTIVE MEASURES TO PREVENT EXISTING FACILITIES THAT ARE NOT DESIGNATED FOR REMOVAL FROM BEING DAMAGED BY THE WORK.
- C.

KEEP SITE FREE OF ALL PONDING WATER.
- D.

PROVIDE EROSION CONTROL MEASURES IN ACCORDANCE WITH STATE DOT, LOCAL PERMITTING AGENCY AND EPA REQUIREMENTS.

- E.

PROVIDE AND MAINTAIN ALL TEMPORARY FENCING, BARRICADES, WARNING SIGNALS AND SIMILAR DEVICES NECESSARY TO PROTECT AGAINST THEFT FROM PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION. REMOVE ALL SUCH DEVICES UPON COMPLETION OF THE WORK.
- F.

EXISTING UTILITIES: DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS, EXCEPT WHEN PERMITTED IN WRITING BY THE CONSTRUCTION MANAGER AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.
- G.

PROVIDE A MINIMUM 48-HOUR NOTICE TO THE CONSTRUCTION MANAGER AND RECEIVE WRITTEN NOTICE TO PROCEED BEFORE INTERRUPTING ANY UTILITY SERVICE.
- H.

SOD PLANTED IN THE FALL MUST ESTABLISH ITS ROOTS BEFORE THE FIRST WINTER FROST. DETERMINE WHEN THE FIRST FROST USUALLY OCCURS, AND PLANT THE SOD NO LATER THAN ONE MONTH BEFORE THE FIRST FROST. IF THE CONSTRUCTION IS FINISHED LATER THAN ONE MONTH BEFORE THE FIRST FROST, USE STRAW UNTIL SOD CAN BE INSTALLED.

GENERAL SITE WORK NOTES CONT.

PART 2 - PRODUCTS

- 2.1

SUITABLE MATERIAL – SUITABLE MATERIAL ARE USED FOR GRADING AND BACKFILL. SUITABLE MATERIALS ARE ON SITE SOILS REMOVED FROM EXCAVATIONS THAT EXCLUDE FROZEN SOIL, ROOTS OR ORGANIC MATERIAL, DEBRIS, TRASH, REFUSE, OR PARTICLES SIZE GREATER THAN 3-INCH. SUITABLE SOILS HAVE MOISTURE CONTENTS THAT ALLOW THEM TO BE COMPACTED TO THE SAME DENSITY AS THE NATIVE SOILS.
- 2.2

UNSUITABLE MATERIAL – SOILS THAT ARE FROZEN, CONTAIN ROOTS OR ORGANIC MATERIAL, DEBRIS, TRASH, REFUSE, OR PARTICLES SIZES GREATER THAN 3-INCH. SOILS THAT ARE TOO WET OR TOO DRY TO BE COMPACTED TO THE SAME DENSITY AS THE NATIVE SOILS ARE UNSUITABLE .
- 2.3

GRANULAR BACKFILL – SHALL MEET THE FOLLOWING GRADATION

SIEVE SIZE	TOTAL PERCENT PASSING
1 1/2 INCH (37.5 MM)	100
NO. 4 (4.75 MM)	30 TO 60
NO 200 (0.075 MM)	3 TO 15
- 2.4

GRANULAR BEDDING – WELL-GRADED SAND MEETING THE GRADATION REQUIREMENT OF ASTM C 33 FINE AGGREGATE.
- 2.5

CONTROLLED LOW STRENGTH MATERIAL (CLSM)– A SELF LEVELING AND SELF COMPACTING CEMENTITIOUS MATERIAL COMPOSED OF SAND, COARSE AGGREGATE, CEMENT, FLY ASH, WATER AND ADMIXTURES. CLSM SHALL BE EXCAVATABLE AND SHALL HAVE A DESIGNED UNCONFINED COMPRESSIVE STRENGTH OF BETWEEN 50 TO 100 PSI .
- 2.6

BACKFILL – PRODUCTS MEETING THE REQUIREMENTS OF SUITABLE MATERIAL, GRANULAR BEDDING, GRANULAR BACKFILL OR CLSM.
- 2.7

TOPSOIL – SOIL WITH AN ORGANIC CONTENT SUFFICIENT TO ALLOW VEGETATIVE GROWTH.

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Janet Andersen, Chair Date

Clorsdan Conran, Administrator Date

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated _____.

Joseph M. Cermele, P.E. Date
Kellard Sessions Consulting
Town Consulting Engineer

OWNER'S CERTIFICATION

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name (Insert Name) Date
Owners Address (Insert Address)

PART 3 - EXECUTION

3.1 GENERAL:

- A.

BEFORE STARTING GENERAL SITE PREPARATION ACTIVITIES, INSTALL EROSION AND SEDIMENT CONTROL MEASURES. THE WORK AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUCH CONDITION THAT IN THE EVENT OF RAIN THE SITE WILL BE DRAINED AT ALL TIMES.
- B.

BEFORE ALL SURVEY, LAYOUT, STAKING, AND MARKING, ESTABLISH AND MAINTAIN ALL LINES, GRADES, ELEVATIONS AND BENCHMARKS NEEDED FOR EXECUTION OF THE WORK. CONDUCT UTILITY LOCATE IN ACCORDANCE WITH THE ONE-CALL NOTIFICATION
- C.

CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF THE SITE. REMOVE TREES, BRUSH, STUMPS, RUBBISH AND OTHER DEBRIS AND VEGETATION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE SITE AREA TO BE CLEARED.
- D.

REMOVE THE FOLLOWING MATERIALS TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE ORIGINAL GROUND SURFACE: ROOTS, STUMPS, AND OTHER DEBRIS, BRUSH, AND REFUSE EMBEDDED IN OR PROTRUDING THROUGH THE GROUND SURFACE, RAKE, DISK OR PLOW THE AREA TO A DEPTH OF NO LESS THAN 6 INCHES, AND REMOVE TO A DEPTH OF 12 INCHES ALL ROOTS AND OTHER DEBRIS THEREBY EXPOSED.
- E.

REMOVE TOPSOIL MATERIAL COMPLETELY FROM THE SURFACE UNTIL THE SOIL NO LONGER MEETS THE DEFINITION OF TOPSOIL. AVOID MIXING TOPSOIL WITH SUBSOIL OR OTHER UNDESIRABLE MATERIALS. SUFFICIENT TOPSOIL MAY BE STOCKPILED ON SITE FOR USE DURING FINAL SITE GRADING.
- F.

EXCEPT WHERE EXCAVATION TO GREATER DEPTH IS INDICATED, FILL DEPRESSIONS RESULTING FROM CLEARING, GRUBBING AND DEMOLITION WORK COMPLETELY WITH SUITABLE MATERIAL.
- G.

REMOVE FROM THE SITE AND DISPOSE IN AN AUTHORIZED LANDFILL ALL DEBRIS RESULTING FROM CLEARING AND GRUBBING OPERATIONS. BURNING WILL NOT BE PERMITTED.
- H.

PRIOR TO EXCAVATING, THOROUGHLY EXAMINE THE AREA TO BE EXCAVATED AND/OR TRENCHED TO VERIFY THE LOCATIONS OF FEATURES INDICATED ON THE DRAWINGS AND TO ASCERTAIN THE EXISTENCE AND LOCATION OF ANY STRUCTURE, UNDERGROUND STRUCTURE, OR OTHER ITEM NOT SHOWN THAT MIGHT INTERFERE WITH THE PROPOSED CONSTRUCTION. NOTIFY THE CONSTRUCTION MANAGER OF ANY OBSTRUCTIONS THAT WILL PREVENT ACCOMPLISHMENT OF THE WORK AS INDICATED ON THE DRAWINGS.
- I.

SEPARATE AND STOCK PILE ALL EXCAVATED MATERIALS SUITABLE FOR BACKFILL. ALL EXCESS EXCAVATED AND UNSUITABLE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- J.

DURING EXCAVATION, THE CONTRACTOR SHALL PROVIDE SHORING, SHEETING, AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF EXCAVATION.

3.2 BACKFILL:



PLUGIN STATIONS ONLINE
7 COTTON MILL LANE
VALATIE, NY 12184
(855) 467-3751



NEW YORK POWER AUTHORITY
123 MAIN ST
WHITE PLAINS, NY 10601
(914) 681-6200



Black & Veatch New York LLP
489 Fifth Avenue
New York New York 10017

PROJECT NO:	408038
DRAWN BY:	GAK
CHECKED BY:	NMB

D	04/27/22	ISSUED FOR 90% REVIEW
C	03/14/22	ISSUED FOR 30% REVIEW
0	11/04/21	ISSUED FOR CONSTRUCTION
REV	DATE	DESCRIPTION

NOT TO BE USED
FOR CONSTRUCTION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

NY-PI017
GOLDENS BRIDGE
NORTH STREET
GOLDENS BRIDGE, NY 10526

SHEET TITLE

GENERAL NOTES 2

SHEET NUMBER

GN-2

GENERAL SITE WORK NOTES CONT.

- A. AS SOON AS PRACTICAL, AFTER COMPLETING CONSTRUCTION OF THE RELATED STRUCTURE, INCLUDING EXPIRATION OF THE SPECIFIED MINIMUM CURING PERIOD FOR CAST-IN-PLACE CONCRETE, BACKFILL THE EXCAVATION WITH APPROVED MATERIAL TO RESTORE THE REQUIRED FINISHED GRADE.
- B. PRIOR TO PLACING BACKFILL AROUND STRUCTURES, ALL FORMS SHALL BE REMOVED AND THE EXCAVATION CLEANED OF ALL TRASH, DEBRIS, AND UNSUITABLE MATERIALS.
- C. DO NOT PLACE FROZEN MATERIAL IN AS BACKFILL.
- D. PLACE BACKFILL MATERIAL OR SELECT GRANULAR BACKFILL MATERIAL WHEN REQUIRED IN UNIFORM HORIZONTAL LAYERS OF NO GREATER THAN 8-INCHES LOOSE THICKNESS AND COMPACT TO THE SAME DENSITY AS NATIVE SOIL. WHERE HAND OPERATED COMPACTORS ARE USED, THE FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 4 INCHES IN LOOSE DEPTH AND COMPACTED.
- E. WHENEVER TESTING INDICATES THAT THE CONTRACTOR HAS NOT OBTAINED THE SPECIFIED DENSITY, THE SUCCEEDING LAYER SHALL NOT BE PLACED UNTIL THE REQUIREMENTS ARE MET UNLESS OTHERWISE AUTHORIZED BY THE CONSTRUCTION MANAGER. THE CONTRACTOR SHALL TAKE WHATEVER APPROPRIATE ACTION IS NECESSARY, SUCH AS DRYING, ADDING WATER, OR INCREASING THE COMPACTIVE EFFORT TO MEET THE COMPACTION REQUIREMENTS.

3.3 TRENCH EXCAVATION:

- A. UTILITY TRENCHES SHALL BE EXCAVATED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE GENERAL CONTRACTOR. PROVIDE SHORING, SHEETING AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF THE TRENCH WALLS.
- B. EXTEND THE TRENCH WIDTH A MINIMUM OF 6 INCHES BEYOND THE OUTSIDE EDGE OF THE OUTERMOST CONDUIT.
- C. WHEN SOFT YIELDING, OR OTHERWISE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, EXCAVATE THE REQUIRED TRENCH TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE REQUIRED ELEVATION, THEN BACKFILL WITH 12" OF GRANULAR BEDDING MATERIAL.
- 3.4 TRENCH BACKFILL:
- A. PROVIDE GRANULAR BEDDING MATERIAL OR FLOWABLE FILL IN ACCORDANCE WITH THE DRAWINGS AND THE UTILITY REQUIREMENTS.
- B. NOTIFY THE GENERAL CONTRACTOR 24 HOURS IN ADVANCE OF BACKFILLING.
- C. CONDUCT UTILITY CHECK TESTS BEFORE BACKFILLING. BACKFILL AND COMPACT TRENCH BEFORE ACCEPTANCE TESTING.
- D. PLACE GRANULAR TRENCH BACKFILL UNIFORMLY ON BOTH SIDES OF THE CONDUITS IN 6-INCH UNCOMPACTED LIFTS UNTIL 12 INCHES OVER THE CONDUITS. SOLIDLY RAM AND TAMP BACKFILL INTO SPACE AROUND CONDUITS.
- E. PROTECT CONDUIT FROM LATERAL MOVEMENT, IMPACT DAMAGE, OR UNBALANCED LOADING.
- F. ABOVE THE CONDUIT EMBEDMENT ZONE, PLACE AND COMPACT SATISFACTORY BACKFILL MATERIAL IN 8-INCH MAXIMUM LOOSE THICKNESS LIFTS TO RESTORE THE REQUIRED FINISHED SURFACE GRADE.
- G. COMPACT FINAL TRENCH BACKFILL TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE EXISTING UNDISTURBED MATERIAL IMMEDIATELY ADJACENT TO THE TRENCH

3.5 FINISH GRADING:

- A. PERFORM ALL GRADING TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SMOOTH, EVEN SURFACE DRAINAGE OF THE ENTIRE AREA WITHIN THE LIMITS OF CONSTRUCTION. GRADING SHALL BE COMPATIBLE WITH ALL SURROUNDING TOPOGRAPHY AND STRUCTURES.
- B. UTILIZE SATISFACTORY FILL MATERIAL RESULTING FROM THE EXCAVATION WORK IN THE CONSTRUCTION OF FILLS, EMBANKMENTS AND FOR REPLACEMENT OF REMOVED UNSUITABLE MATERIALS.
- C. REPAIR ALL ACCESS ROADS AND SURROUNDING AREAS USED DURING THE COURSE OF THIS WORK TO THEIR ORIGINAL CONDITION.

3.6 ASPHALT PAVING ROAD:

- NEW MEXICO STANDARD SPECIFICATIONS
- DIVISION 400 - NMDOT ASPHALT
- A. CONTRACTOR RESPONSIBLE FOR RE-STRIPING AND APPLYING SEALCOATING, UNLESS OTHERWISE SPECIFIED.
- B. ALL ELECTRIC VEHICLE CHARGING STALLS WITH AN ASPHALT SURFACE SHALL BE SEALCOATED.

ELECTRICAL NOTES

1. THE ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH DRAWINGS AND ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, CONTRACTOR SHALL NOTIFY 'CONSTRUCTION MANAGER' AS SOON AS POSSIBLE, AFTER THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL THE 'CONSTRUCTION MANAGER' HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.
2. THE ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. THE CONDITION OF EXISTING ELECTRICAL EQUIP., LIGHT FIXTURES, ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE CONTRACTOR, PRIOR TO THE SUBMITTAL OF HIS BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE CONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AND ALL CODES AND LOCAL ORDINANCES OF THE LOCAL POWER COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT NOT BE LIMITED TO:
- A. UL - UNDERWRITERS LABORATORIES
B. NEC - NATIONAL ELECTRICAL CODE
C. NEMA - NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
D. OSHA - OCCUPATIONAL SAFETY AND HEALTH ACT
E. SBC - STANDARD BUILDING CODE
F. NFPA - NATIONAL FIRE PROTECTION ASSOCIATION
4. DO NOT SCALE ELECTRICAL DRAWINGS, REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, BUT CONFIRM WITH 'CONSTRUCTION MANAGER' ANY SIZES AND LOCATIONS WHEN NEEDED.
5. EXISTING SERVICES: THE CONTRACTOR SHALL NOT INTERRUPT EXISTING SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
6. THE CONTRACTOR SHALL PAY FOR ANY/ALL PERMITS, FEES, INSPECTIONS AND TESTING. THE CONTRACTOR IS TO OBTAIN PERMITS AND APPROVED SUBMITTALS PRIOR TO THE WORK BEGINNING OR ORDERING THE EQUIPMENT.
7. THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL.
8. THE CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE OWNERS' CONFIRMATION, ETC. ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER, PRIOR TO BEGINNING ANY WORK.
9. CONDUCTORS: CONTRACTOR SHALL USE 98% CONDUCTIVITY COPPER OR ALUMINUM WITH TYPE (THWN-2) INSULATION, 600 VOLT, COLOR CODED UNLESS SPECIFIED DIFFERENTLY ON DRAWINGS.
10. ALL WIRING AND CONDUIT INSTALLATIONS SHALL BE COMPLIANT WITH NEC ARTICLE 300.5 AND 310.10 AND TO FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
11. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
12. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER. CONTRACTOR IS TO PROVIDE ALL ELECTRICAL EQUIPMENT UNLESS OTHERWISE DIRECTED.
13. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIONAL AND SUBJECT TO REGULATORY INSPECTION AND APPROVAL BY CONSTRUCTION MANAGER.
14. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
15. CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
16. THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREIN.
17. ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
18. PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES AND DEVICES FOR ALL OUTLETS AS INDICATED.
19. TRENCHING AND BACKFILL: THE CONTRACTOR SHALL PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES INCLUDING EXCAVATION AND BACKFILLING AND COMPACTION. REFER TO GENERAL SITE WORK NOTES.
20. MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IEEE.
21. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURES CATALOG INFORMATION OF ANY/ALL LIGHTING FIXTURES, SWITCHES AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE CONSTRUCTION MANAGER PRIOR TO INSTALLATION.
22. ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE ELECTRICAL

APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Janet Andersen, Chair Date

Ciorsdan Conran, Administrator Date

TOWN ENGINEER'S CERTIFICATION
Reviewed for compliance with the Planning Board Resolution dated

Joseph M. Cermele, P.E. Date
Kellard Sessions Consulting
Town Consulting Engineer

OWNER'S CERTIFICATION
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name (Insert Name) Date
Owners Address (Insert Address)

ELECTRICAL NOTES CONT.

- CONTRACTORS RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE 'CONSTRUCTION MANAGER' UPON FINAL ACCEPTANCE.
23. THE ELECTRICAL CONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES.
24. DISCONNECT SWITCHES SHALL BE H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
25. ALL CONNECTIONS EXCEPT THE EV CHARGE CABLE TERMINATION IN THE CHARGE POST SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND SUCH AS "NOALOX" BY IDEAL INDUSTRIAL INC., COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED ALUMINUM & COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED - NO SUBSTITUTIONS.
26. ALL EXTERIOR AND INTERIOR ABOVE GROUND CONDUIT SHALL BE RIGID UNLESS SPECIFIED OTHERWISE. ALL BURIED CONDUITS SHALL BE SCH 40 PVC UNLESS SPECIFIED OTHERWISE.
27. RACEWAYS: CONDUIT SHALL BE SCHEDULE 40 PVC, MEETING OR EXCEEDING NEMA TC2 - 2013. THE CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS - 200 LBS TEST POLYETHYLENE CORD. ALL CONDUIT BENDS SHALL NOT BE LESS THAN SHOWN IN TABLE 2 CHAPTER 9 OF THE NEC. RGS CONDUITS WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH 'BRITE ZINC' OR 'GOLD GALV'.
28. SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
29. CONNECTORS FOR POWER CONDUCTORS: CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
30. THE CONTRACTOR SHALL PLACE TWO LENGTHS OF WARNING TAPE AT A DEPTH OF 12" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL SERVICE CONDUITS. CAUTION TAPE TO READ "CAUTION BURIED ELECTRIC".
31. WHEN DIRECTIONAL BORING IS REQUIRED, CONTRACTOR SHALL INSTALL A LOOSE TONING WIRE WITHIN INSTALLED CONDUIT TO ALLOW FOR IDENTIFICATION OF UNDERGROUND CONDUITS.
32. ALL BOLTS SHALL BE STAINLESS STEEL.
33. ALL MATERIALS AND EQUIPMENT SUPPLIED AND INSTALLED BY THE CONTRACTOR SHOULD BE NEW AND UNUSED.

GROUNDING NOTES

1. ALL HARDWARE SHALL BE STAINLESS STEEL 3/8" DIAMETER OR LARGER. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
2. FOR GROUND BOND TO STEEL ONLY: INSERT A CADMIUM FLAT WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
3. ENSURE THE WIRE INSULATION TERMINATION IS WITHIN 1/8" OF THE BARREL (NO SHINERS).
4. ALL BELOW GRADE BONDS TO BE EXOTHERMIC WELDS OR IRREVERSIBLE COMPRESSION TYPE CONNECTIONS LISTED FOR USE IN THE APPLICATION WHICH THEY ARE INSTALLED.

FIBER OPTIC NOTES

USE CABLE WITH THE FOLLOWING MINIMUM PROPERTIES:

1. HIGH TENSILE STRENGTH >150 LB
2. TIGHT BUFFERED
3. INDOOR / OUTDOOR UV AND MOISTURE RESISTANT "RISER" CABLE
4. CONNECTOR TYPE: ST-ST
5. FIBER TYPE: MULTI-MODE 6-FIBER (3 PAIR) 62.5UM. 6 CONNECTORS ON BOTH ENDS.
6. JACKET: INDOOR/OUTDOOR RISER, BLACK
7. BREAKOUT: SIDE A: INNER END - 24 INCHES WITH 2MM FURCATION
SIDE B: OUTER END - 24 INCHES - 2MM FURCATION - STAGGERED EVERY 1"
8. WITH PULLING EYE ON SIDE B (OUTER END) AND SPOOL REEL



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SHEET TITLE
GENERAL NOTES 3

SHEET NUMBER
GN-3

ZONING CHART (MEASURED DISTANCES)	
ALLOWED DISTANCES	20'-0" SETBACK (ALONG NORTH ST-FRONT YARD); 15'-0" SETBACK (REAR AND SIDE YARDS)
EXISTING DISTANCES	85'-10" EXISTING BUILDING SETBACK (ALONG NORTH ST-FRONT YARD); 19'-5" EXISTING BUILDING SETBACK (REAR YARD)
PROPOSED DISTANCES	3'-10" PROPOSED EVCS EQUIPMENT SETBACK TO FRONT YARD PROPERTY LINE (ALONG NORTH ST-FRONT YARD); 80'-0" PROPOSED EVCS EQUIPMENT SETBACK TO CENTERLINE OF NORTH ST; 182'-10" PROPOSED EVCS EQUIPMENT SETBACK (REAR AND SIDE YARDS)

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Janet Andersen, Chair Date

Clorsdan Conran, Administrator Date

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Reviewed for compliance with the Planning Board Resolution dated _____

Joseph M. Cermele, P.E. Date
Kellard Sessions Consulting
Town Consulting Engineer

OWNER'S CERTIFICATION
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name (Insert Name) Date
Owners Address (Insert Address)



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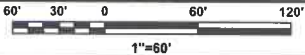
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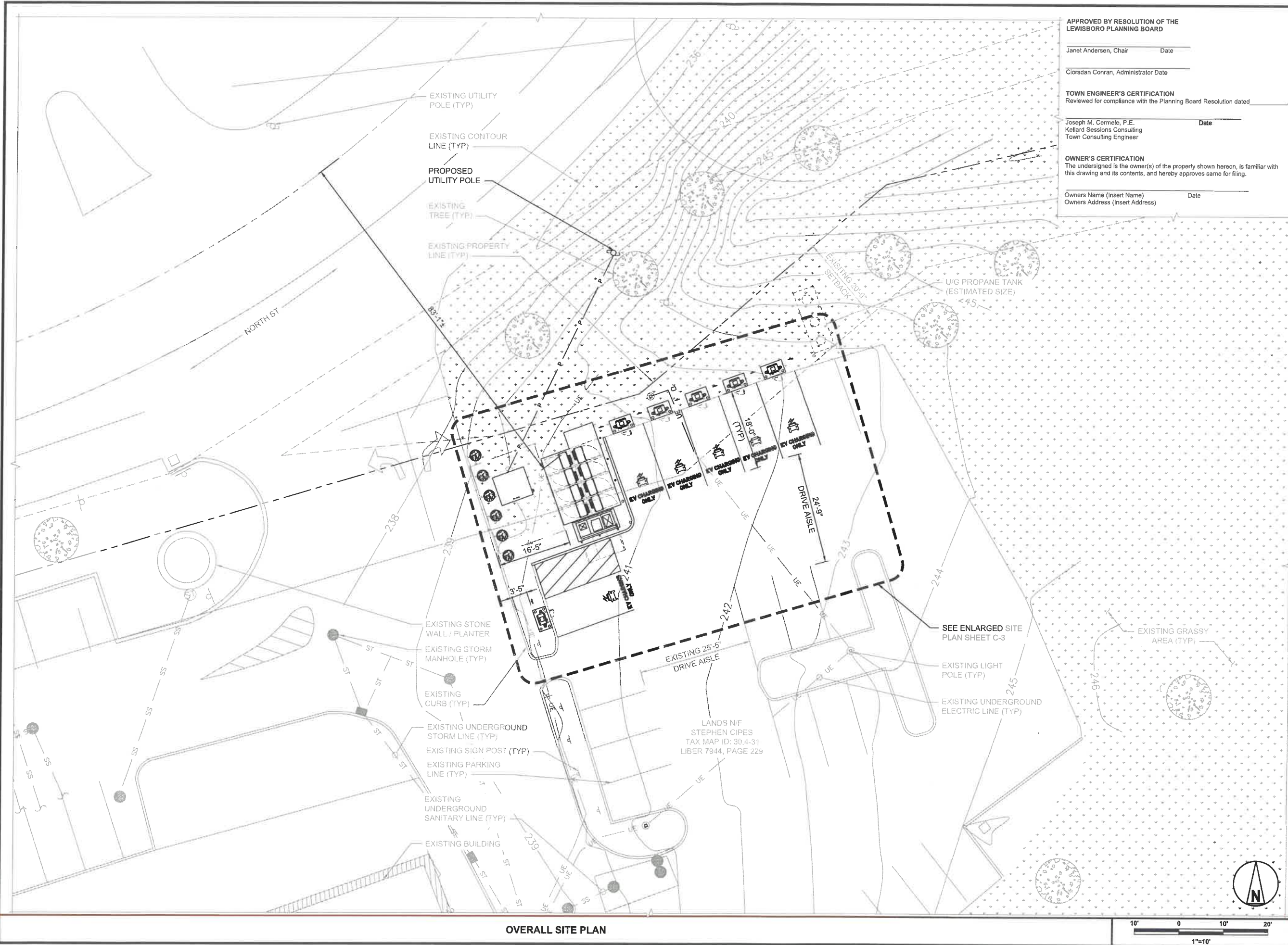
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SHEET TITLE
PARCEL SITE PLAN

SHEET NUMBER
C-0

PARCEL SITE PLAN





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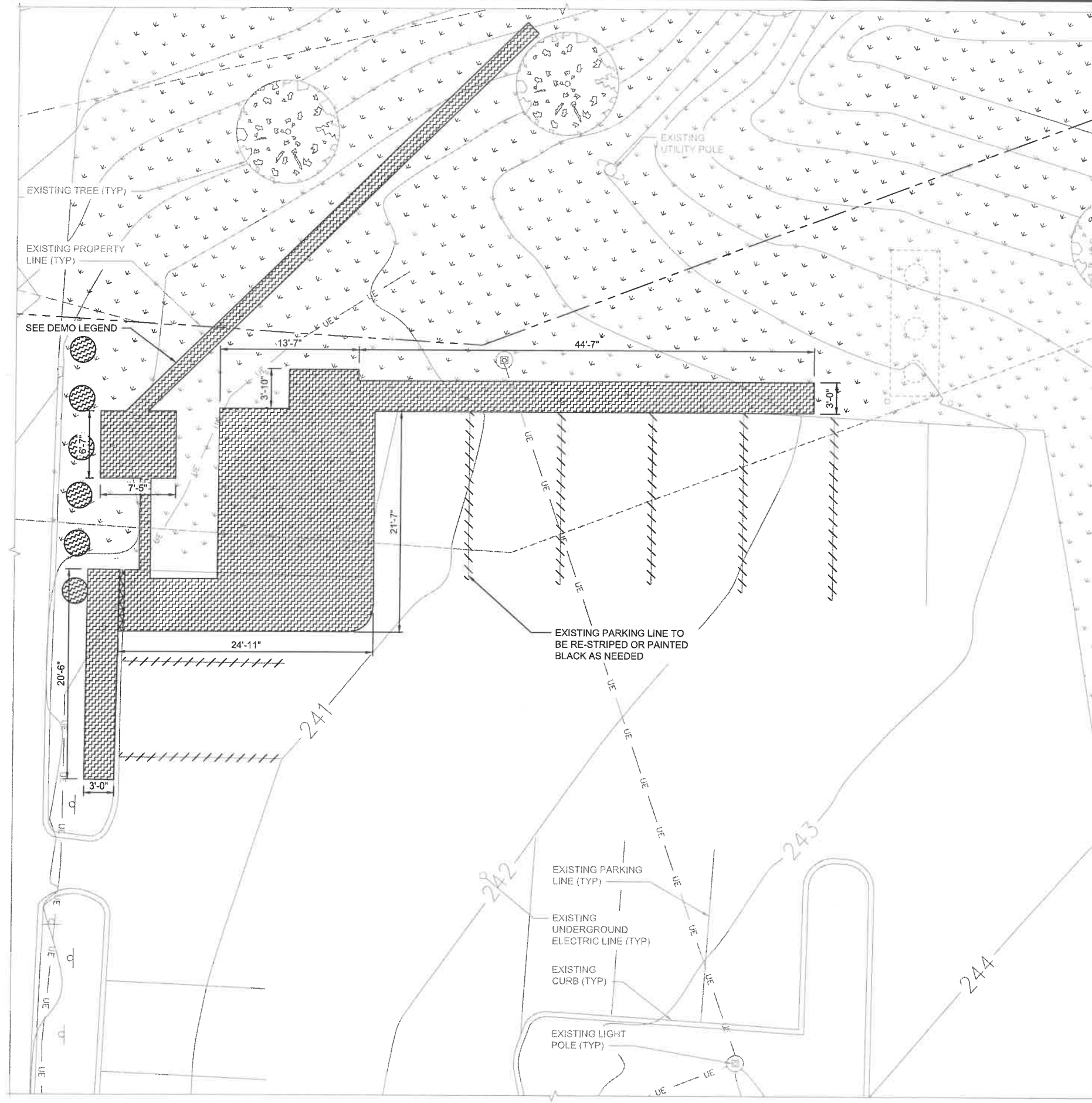
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SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
C-1



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Owners Address (Insert Address)

NOTES

- 1. THE CONTRACTOR SHALL RETURN SIDEWALKS, LANDSCAPING, PLANTERS, IRRIGATION SYSTEMS, AND ANY OTHER FACILITIES DISTURBED BY THE WORK TO THE SAME OR BETTER CONDITION THAN EXISTED PRIOR TO THE COMMENCEMENT OF THE WORK.
- 2. TREES HAVE BEEN MARKED BY NYSEG FOR REMOVAL OR TRIMMING. BRUSH TO BE TRIMMED AS NEEDED TO FACILITATE CONSTRUCTION.

DEMO LEGEND	
	CURB
	LANDSCAPING



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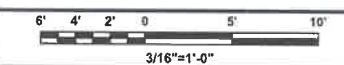
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SHEET TITLE
DEMOLITION SITE PLAN

SHEET NUMBER
C-2

DEMOLITION SITE PLAN



NOTES

1. SOD PLANTED IN THE FALL MUST ESTABLISH ITS ROOTS BEFORE THE FIRST WINTER FROST. DETERMINE WHEN THE FIRST FROST USUALLY OCCURS, AND PLANT THE SOD NO LATER THAN ONE MONTH BEFORE THE FIRST FROST. IF THE CONSTRUCTION IS FINISHED LATER THAN ONE MONTH BEFORE THE FIRST FROST, USE STRAW UNTIL SOD CAN BE INSTALLED.
2. THE CONTRACTOR RETURNED SIDEWALKS, LANDSCAPING, PLANTERS, IRRIGATION SYSTEMS, AND ANY OTHER FACILITIES DISTURBED BY THE WORK TO THE SAME OR BETTER CONDITION THAN EXISTED PRIOR TO THE COMMENCEMENT OF THE WORK.
3. PRECAST FOUNDATION FOR DISPENSER AND POWER CABINETS DESIGNED BY THE FORT MILLER CO., INC. SEE REFERENCE PAGES AT THE END OF THE SET.
4. PRECAST FOUNDATION FOR SWITCHBOARD DESIGNED BY THE FORT MILLER CO., INC. SEE REFERENCE PAGES AT THE END OF THE SET.

PROPOSED DISPENSER				
DISPENSER NUMBER	175 KW	350 KW	CABLE TYPE	LABELS TO BE APPLIED
1	1		CHAdMO/CCS	100kW CHAdMO, 150kW CCS
2	1		CHAdMO/CCS	100kW CHAdMO, 350kW CCS
3		1	CHAdMO/CCS	100kW CHAdMO, 350kW CCS
4		1	CHAdMO/CCS*	100kW CHAdMO, 150kW CCS
5		1	CHAdMO/CCS	100kW CHAdMO, 150kW CCS
6		1	CHAdMO/CCS	100kW CHAdMO, 150kW CCS

*DISPENSER 4 CAPABLE OF BEING UPGRADED TO 350KW.

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Janet Andersen, Chair Date

Clorsdan Conran, Administrator Date

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated

Joseph M. Carmele, P.E.

Kellard Sessions Consulting

Town Consulting Engineer

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Owners Name (Insert Name)

Owners Address (Insert Address)

Date

Date



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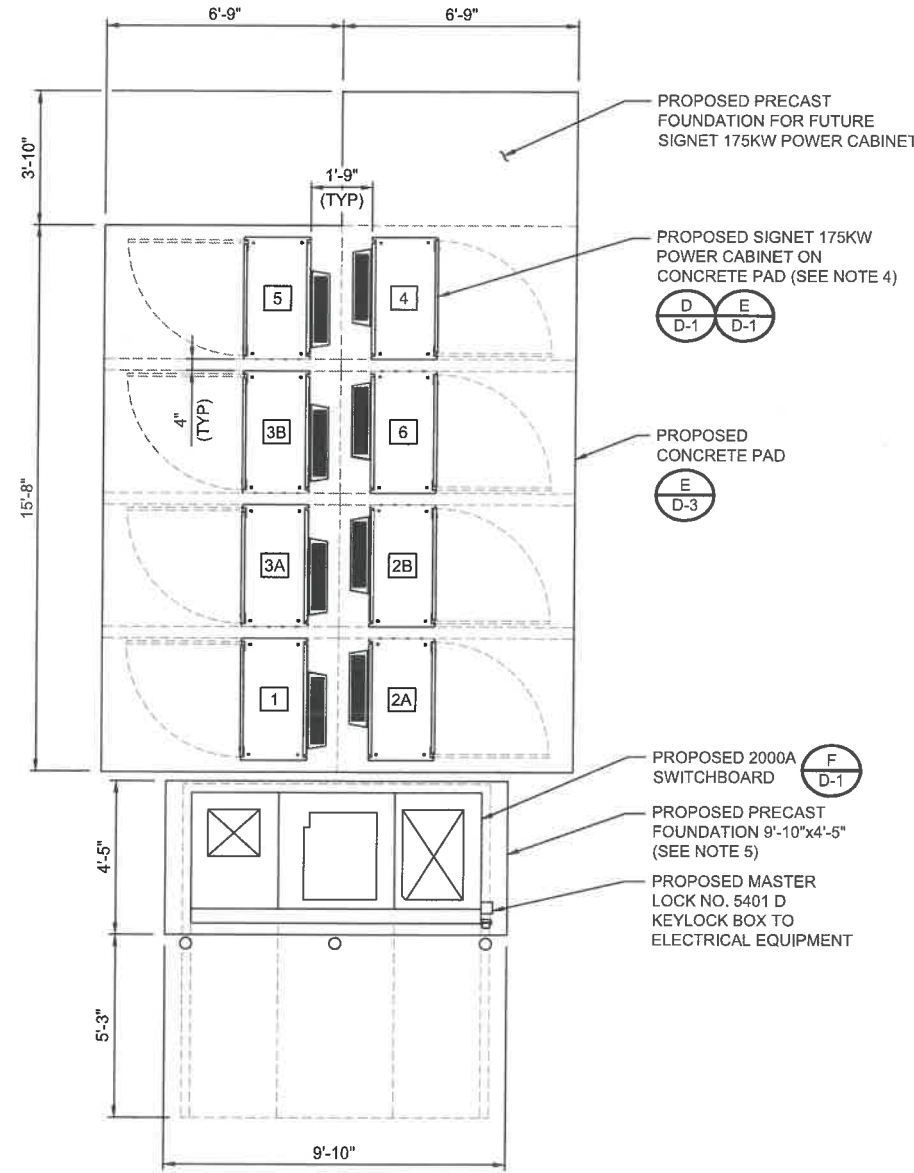
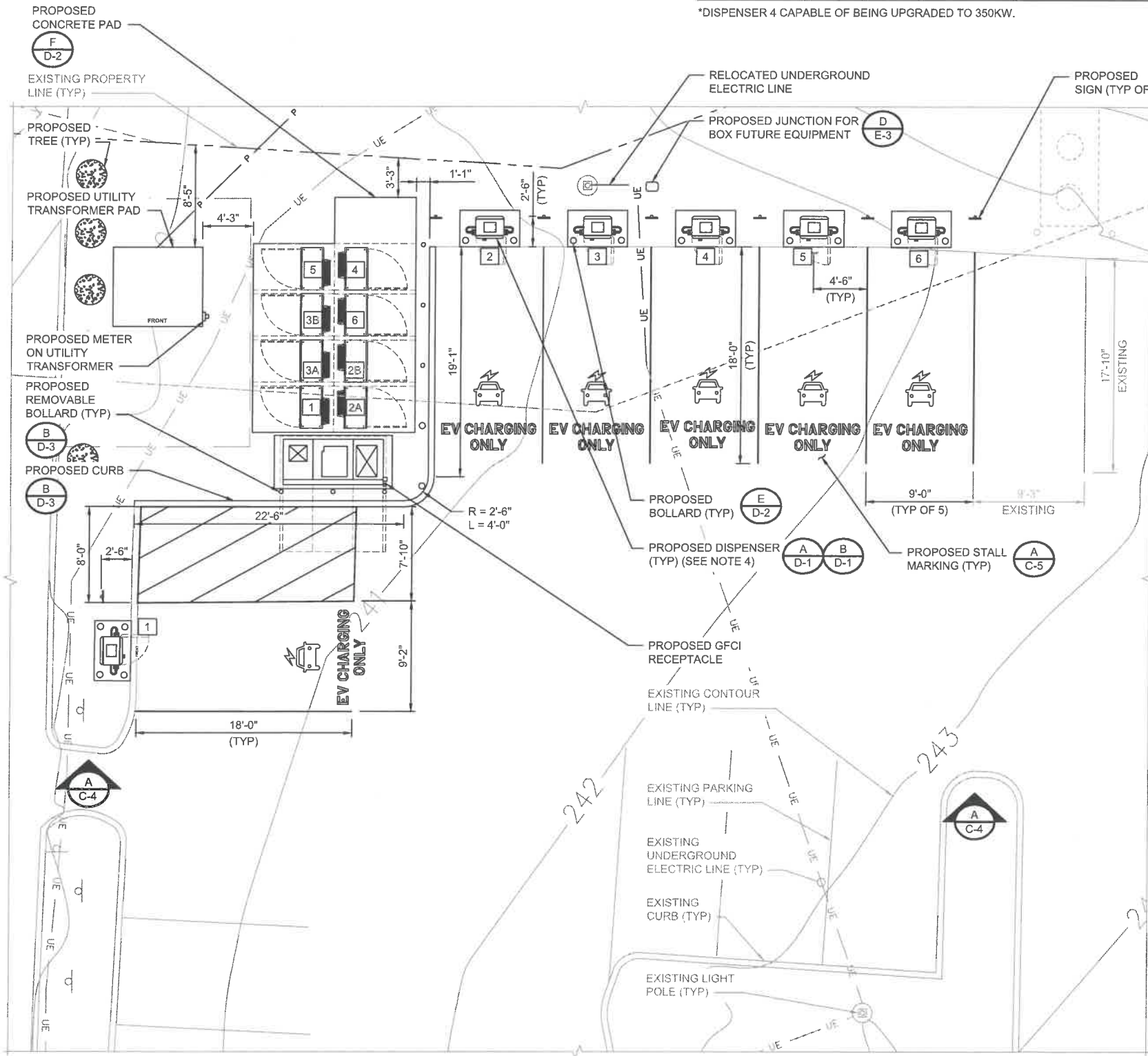
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SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER

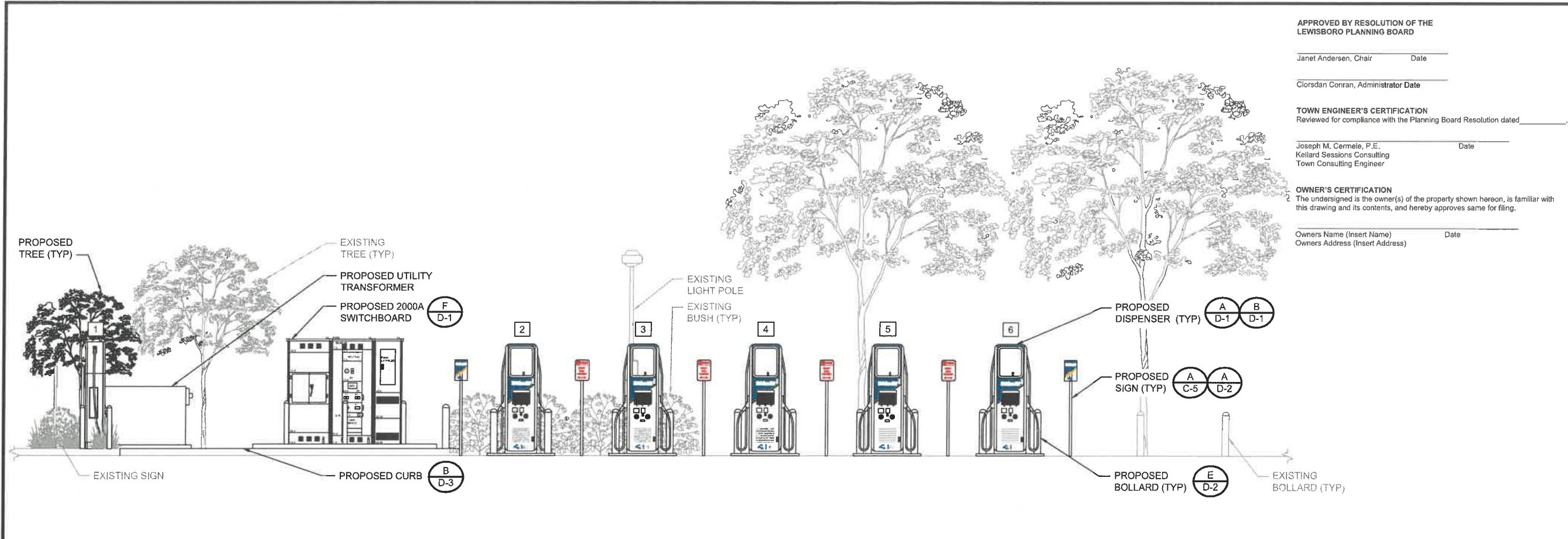
C-3



PLAN A-A
SCALE: 3/8" = 1'-0"

ENLARGED SITE PLAN





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Owners Name (Insert Name) _____ Date _____
Owners Address (Insert Address) _____

SITE ELEVATION

4' 2' 0 4' 8'

1/4"=1'-0"

A

NOTES

- 3M™ PRINT WRAP FILM IJ175Cv3 OR EQUIVELANT.
- 3M™ OPAQUE GRAPHIC FILM: INTENSE BLUE 7725-47 COLOR TO BE APPROVED BY NYPA.
- 3M™ OPAQUE GRAPHIC FILM: WHITE 7725-10.
- REFERENCE TO "ISSUE FOR FABRICATION MARCH 19, 2020" FOR DETAILED DIMENSIONS AND SPECIFICATIONS.
- COORDINATE PLACEMENT OF ALL REGULATORY LABELING WITH EACH MANUFACTURER.

LEFT VIEW

FRONT VIEW

RIGHT VIEW

DIGITALLY PRINTED VINYL WRAP APPLIED OVER CABINET. TRIM TO OUTLINE OF GRAPHIC AND WRAP INTO FIXTURE SEEMS (SEE NOTE 1)

COUPLER IDENTIFICATION LABELS DIGITALLY PRINTED VINYL APPLIED OVER CABINET (SEE NOTE 1)

UNIT IDENTIFICATION LABELS BY OTHERS COMPUTER CUT VINYL LOGO (SEE NOTE 3)

INTERNALLY ILLUMINATED TRANSLUCENT LINER BY MANUFACTURER. SET LIGHT COLOR TO APPROXIMATE PMS 3005 BLUE

VERTICAL LED STRIP LIGHTS (BY MANUFACTURER) SET LIGHT COLOR TO WHITE

15" MONITOR

CUSTOMER ASSISTANCE PHONE NUMBER.

Customer Assistance 914.287.4200

SHELL RECHARGE SOLUTIONS

NYPA TO VERIFY PHONE NUMBER AT EACH LOCATION

NYPA IDENTIFY COMPUTER CUT VINYL LOGO (SEE NOTE 2)

QR SHOWN FOR PLACEMENT ONLY

CCS CHAdeMO

CHARGING STATION VINYL WRAP

NO SCALE

B

DETAIL NOT USED

NO SCALE

C

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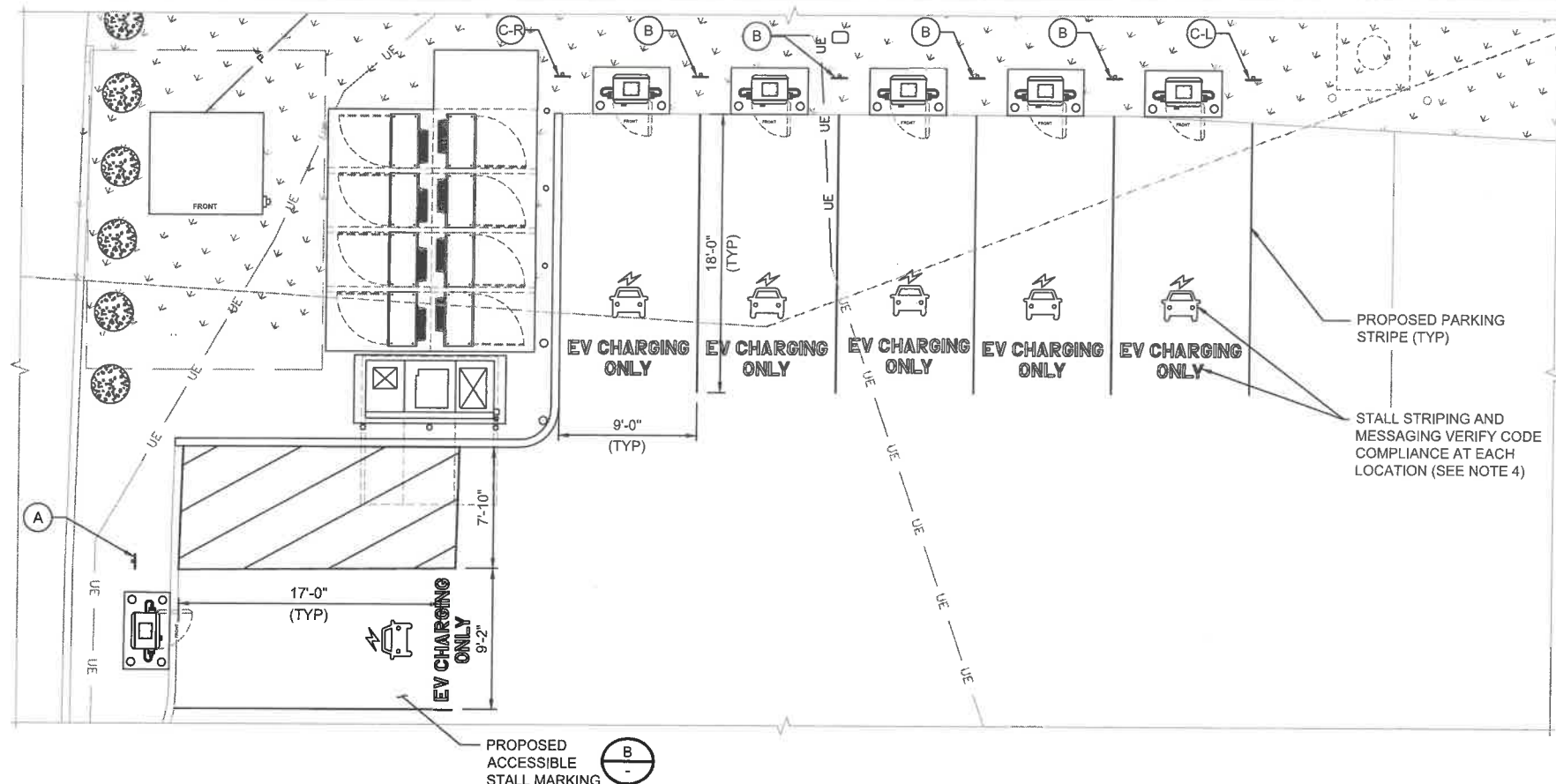
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SHEET TITLE
SITE ELEVATION

SHEET NUMBER
C-4



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Clorsdan Conran, Administrator Date _____

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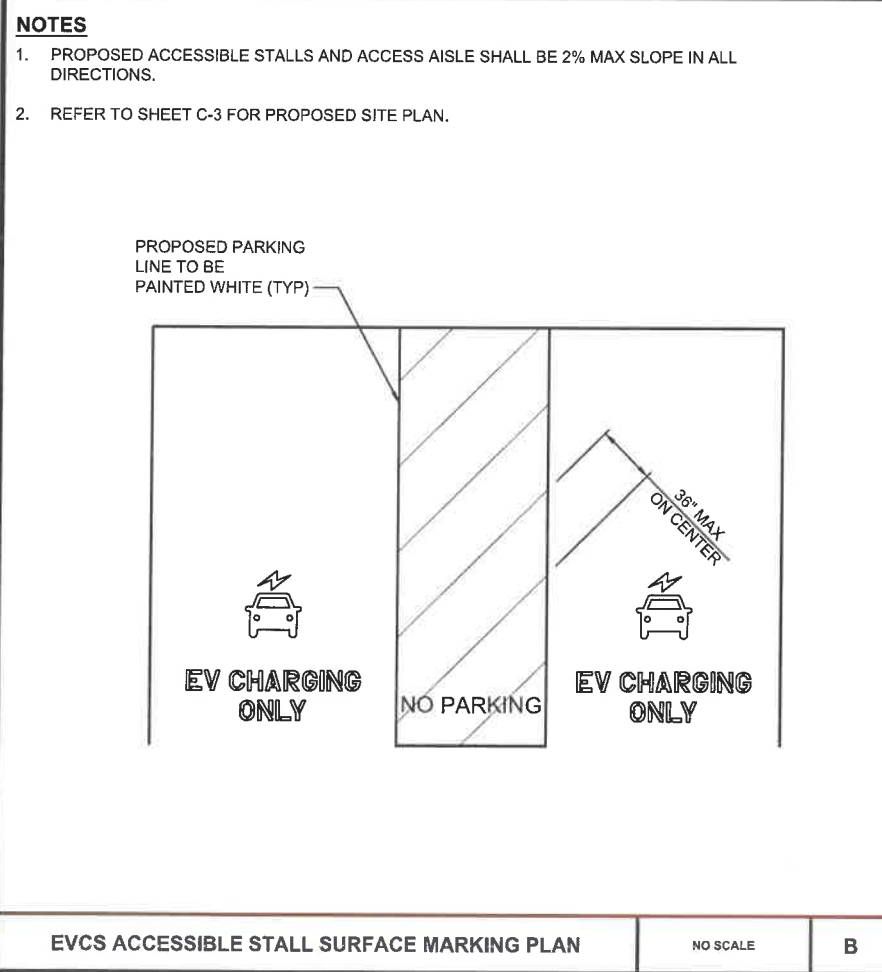
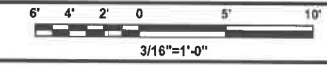
Owners Name (Insert Name) _____ Date _____
Owners Address (Insert Address) _____

- NOTES**
1. REFER TO SHEET C-3 FOR ENLARGED SITE PLAN.
 2. PROPOSED ACCESSIBLE STALLS AND ACCESS AISLE SHALL BE 2% MAX SLOPE IN ALL DIRECTIONS.
 3. BASED ON FIELD REVIEW & CONFIRMATION OF PAVING TYPE AT EACH LOCATION. PROVIDE SEALMASTER OR EQUAL:
[HTTPS://SEALMASTER.NET/COLORED-PAVEMENT/](https://sealmaster.net/colored-pavement/)
 4. BASED ON FIELD REVIEW & CONFIRMATION OF PAVING TYPE AT EACH LOCATION. STENCIL APPLICATION FOR SHAPE, TRUE LETTERING AND GRAPHICS. PROVIDE SEALMASTER OR EQUAL:
[HTTPS://SEALMASTER.NET/PARKING-LOT-STRIPPING-TRAFFIC-MARKING/](https://sealmaster.net/parking-lot-stripping-traffic-marking/)

- (A) SIGN A: B/D-2
(B) SIGN B: C/D-2
(C) SIGN C (BELOW SIGN B):D/D-2



PARKING STALL MARKING AND ACCESSIBLE PLAN



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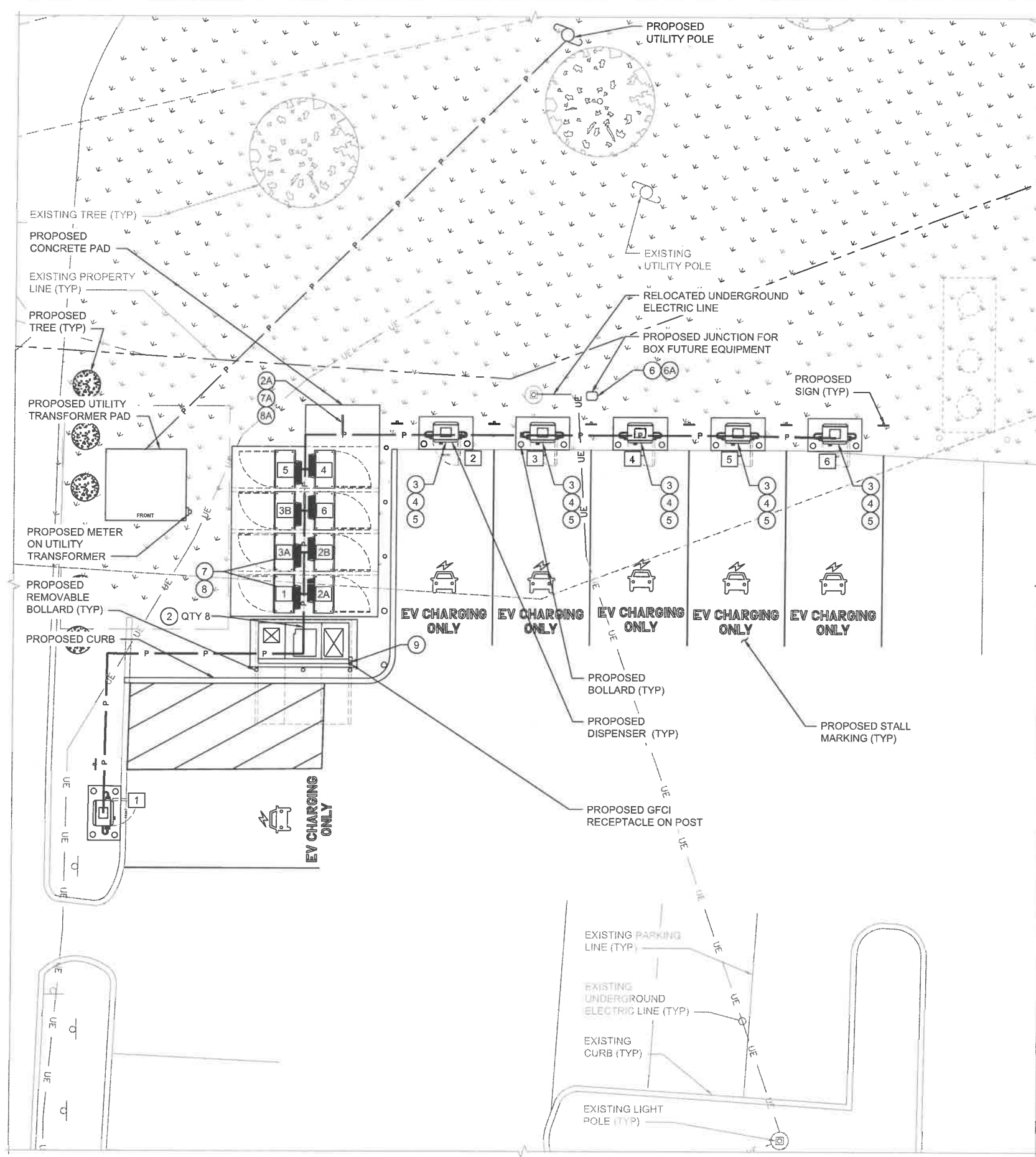
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SHEET TITLE
ACCESSIBILITY DETAILS

SHEET NUMBER
C-5

DETAIL NOT USED	NO SCALE	C	DETAIL NOT USED	NO SCALE	D
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APPROVED BY RESOLUTION OF THE
LEWISBORO PLANNING BOARD

Janet Andersen, Chair Date

Ciorsdan Conran, Administrator Date

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Kellard Sessions Consulting
Town Consulting Engineer

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Owners Address (Insert Address)

DC CHARGING POST LENGTHS			
POWER UNIT	DISPENSER	LINEAR LENGTH (FT)	***ESTIMATED LENGTH (FT)
1	1	40	62
2A	2	30	52
2B	2	26	48
3A	3	35	57
3B	3	31	53
4	4	36	58
5	5	45	67
6	6	58	80

(SEE SHEET E-2 FOR WIRE CONFIGURATION)

POWER UNIT LENGTHS		
POWER UNIT	LINEAR LENGTH SWBD TO POWER UNIT	**ESTIMATED LENGTH
1	5	21
2A	5	21
2B	9	25
3A	9	25
3B	13	29
4	17	33
5	17	33
6	13	29

(SEE SHEET E-2 FOR WIRE CONFIGURATION)

NOTES

- ** AC CONDUCTOR: 16 FEET IS ADDED TO HORIZONTAL RUN LENGTH TO ACCOUNT FOR BURIED DEPTH
- *** DC CONDUCTORS: 22 FEET IS ADDED TO HORIZONTAL RUN LENGTH TO ACCOUNT FOR BURIED DEPTH
1. CONDUIT ROUTING IS DIAGRAMMATICALLY SHOWN ON PLANS AND ARE ONLY APPROXIMATIONS. THE EXACT LOCATION AND ROUTING PATHS SHALL BE FIELD VERIFIED AND INSTALLED PER JURISDICTIONAL REQUIREMENTS.
 2. ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ONSITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE (NEC) STANDARDS BEING ENFORCED BY ALL APPLICABLE JURISDICTIONAL REQUIREMENTS AT TIME OF CONSTRUCTION.
 3. UTILITY EQUIPMENT INSTALLATIONS AND PREP WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY ENGINEER TO ENSURE ACCURACY OF INSTALLATIONS.
 4. REFER TO CONDUIT AND WIRE SCHEDULE ON E-2 FOR CONDUIT AND WIRE REQUIREMENTS.
 5. CONDUIT PATHS ARE NOT INTENDED TO TURN THROUGH THE PARKING LOT.
 6. PROPOSED UTILITY TRANSFORMER WILL REQUIRE GROUND WIRES #2 STR. BARE COPPER BURIED 18" DEEP, 2 RINGS SPACED 12" AND 30" FROM VAULT.
 7. PROPOSED 36" DEEP UTILITY TRENCH FROM THE PROPOSED UTILITY POLE TO THE TRANSFORMER WITH 6" OF SAND BELOW AND ABOVE THE 4" CONDUITS

PROPOSED DISPENSER		
CHARGE POST NUMBER	175 KW	350 KW
1	1	
2		1
3		1
4	1	
5	1	
6	1	



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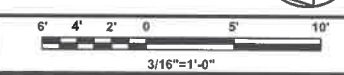
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SHEET TITLE
ELECTRICAL PLAN

SHEET NUMBER
E-1

ELECTRICAL PLAN



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Date

Kellard Sessions Consulting

Town Consulting Engineer

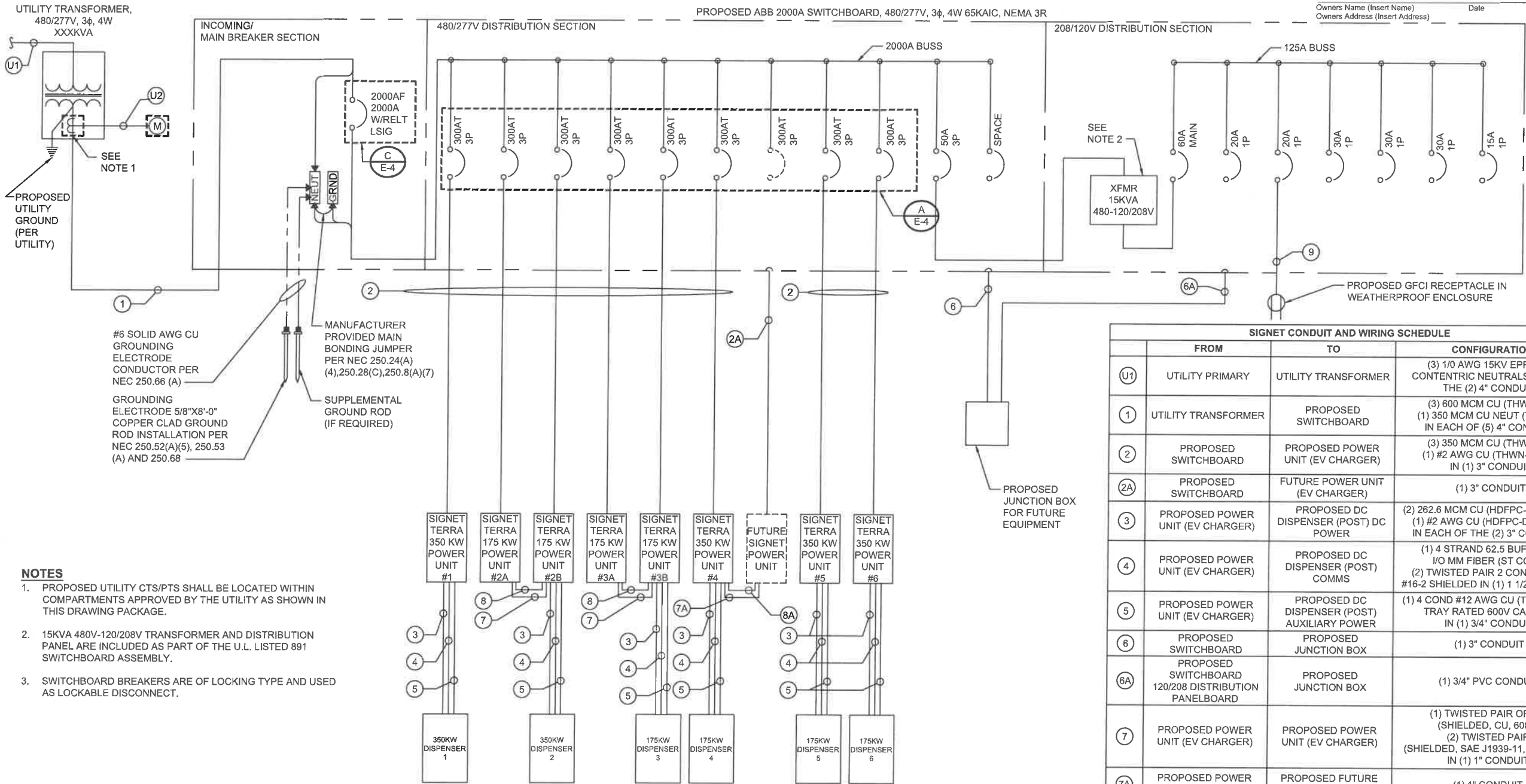
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Owners Name (Insert Name)

Date

Owners Address (Insert Address)



NOTES

- PROPOSED UTILITY CTS/PTS SHALL BE LOCATED WITHIN COMPARTMENTS APPROVED BY THE UTILITY AS SHOWN IN THIS DRAWING PACKAGE.
- 15KVA 480V-120/208V TRANSFORMER AND DISTRIBUTION PANEL ARE INCLUDED AS PART OF THE U.L. LISTED 891 SWITCHBOARD ASSEMBLY.
- SWITCHBOARD BREAKERS ARE OF LOCKING TYPE AND USED AS LOCKABLE DISCONNECT.

ABB POWER UNITS RATED 65KAIC

AVAILABLE FAULT CURRENT BY LOCATION	AVAILABLE FAULT CURRENT PROVIDED BY UTILITY
AFC @ TRANSFORMER	(TBD)
AFC @ SWITCHBOARD	85KAIC

AVAILABLE FAULT CURRENT (AFC) WILL BE (TBD) UNTIL PROVIDED BY UTILITY COMPANY

LOAD SUMMARY

ABB TERRA 175 KW POWER UNIT FLA 231	QTY 8	TOTAL 1,848A
-------------------------------------	-------	--------------

SIGNET CONDUIT AND WIRING SCHEDULE

	FROM	TO	CONFIGURATION
U1	UTILITY PRIMARY	UTILITY TRANSFORMER	(3) 1/0 AWG 15KV EPR WITH CONCENTRIC NEUTRALS IN (1) OF THE (2) 4" CONDUITS
1	UTILITY TRANSFORMER	PROPOSED SWITCHBOARD	(3) 600 MCM CU (THWN-2) + (1) 350 MCM CU NEUT (THWN-2) IN EACH OF (5) 4" CONDUITS
2	PROPOSED SWITCHBOARD	PROPOSED POWER UNIT (EV CHARGER)	(3) 350 MCM CU (THWN-2) + (1) #2 AWG CU (THWN-2) EGC IN (1) 3" CONDUIT
2A	PROPOSED SWITCHBOARD	FUTURE POWER UNIT (EV CHARGER)	(1) 3" CONDUIT
3	PROPOSED POWER UNIT (EV CHARGER)	PROPOSED DC DISPENSER (POST) DC POWER	(2) 262.6 MCM CU (HDFPC-DLO) 2KV + (1) #2 AWG CU (HDFPC-DLO) EGC IN EACH OF THE (2) 3" CONDUITS
4	PROPOSED POWER UNIT (EV CHARGER)	PROPOSED DC DISPENSER (POST) COMMS	(1) 4 STRAND 62.5 BUFFERED I/O MM FIBER (ST CONN) (2) TWISTED PAIR 2 CONDUCTOR #16-2 SHIELDED IN (1) 1 1/2" CONDUIT
5	PROPOSED POWER UNIT (EV CHARGER)	PROPOSED DC DISPENSER (POST) AUXILIARY POWER	(1) 4 COND #12 AWG CU (THWN-2) CU TRAY RATED 600V CABLE IN IN (1) 3/4" CONDUIT
6	PROPOSED SWITCHBOARD	PROPOSED JUNCTION BOX	(1) 3" CONDUIT
6A	PROPOSED SWITCHBOARD 120/208 DISTRIBUTION PANELBOARD	PROPOSED JUNCTION BOX	(1) 3/4" PVC CONDUIT
7	PROPOSED POWER UNIT (EV CHARGER)	PROPOSED POWER UNIT (EV CHARGER)	(1) TWISTED PAIR OF #18 (SHIELDED, CU, 600V) (2) TWISTED PAIR (SHIELDED, SAE J1939-11, CU, 600V) IN (1) 1" CONDUIT
7A	PROPOSED POWER UNIT (EV CHARGER)	PROPOSED FUTURE UNIT (EV CHARGER)	(1) 1" CONDUIT
8	PROPOSED POWER UNIT (EV CHARGER)	PROPOSED POWER UNIT (EV CHARGER)	(2) 262.6 MCM CU (HDFPC-DLO) 2KV + (1) #2 AWG CU (HDFPC-DLO) EGC IN EACH OF THE (2) 3" CONDUITS
8A	PROPOSED POWER UNIT (EV CHARGER)	PROPOSED FUTURE UNIT (EV CHARGER)	(2) 3" CONDUITS
9	PROPOSED SWITCHBOARD 120/208 DISTRIBUTION PANELBOARD	PROPOSED GFCI RECEPTACLE	(1) #12 AWG CU (THWN-2) + (1) #12 AWG CU (THWN-2) NEUT + (1) #12 AWG CU (THWN-2) EGC IN (1) 3/4" PVC CONDUIT



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CHECKED BY:	NMB

REV	DATE	DESCRIPTION
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C	03/14/22	ISSUED FOR 30% REVIEW
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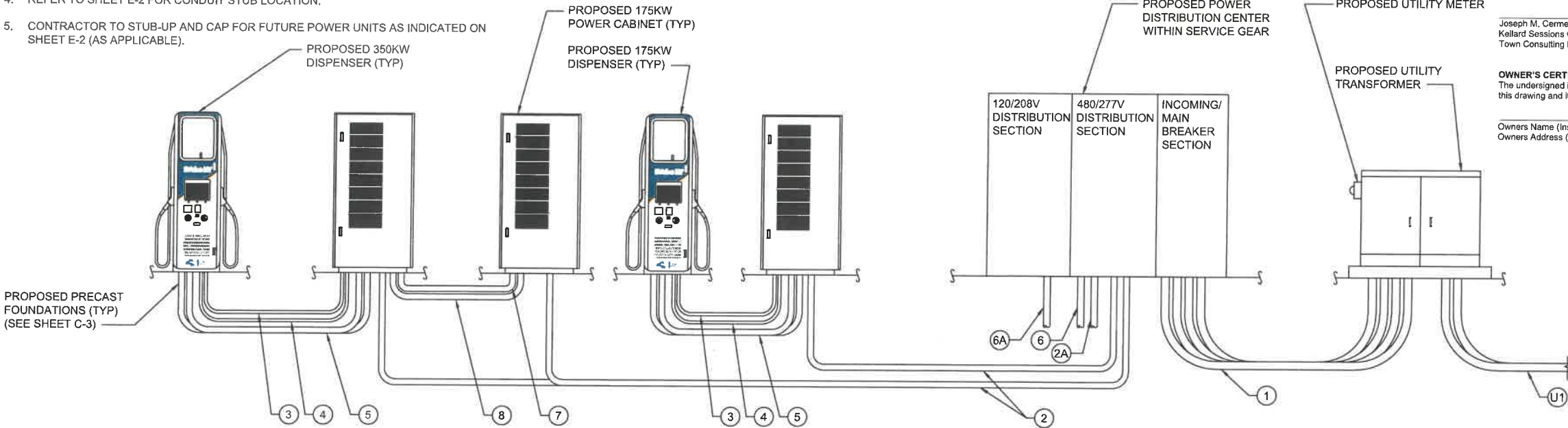
SHEET TITLE
SINGLE LINE DIAGRAM

SHEET NUMBER

E-2

NOTES

1. CONDUITS SHALL BE BURIED BELOW FROST LINE AND IN COMPLIANCE WITH LOCAL AND NEC ARTICLE 300 CODE REQUIREMENTS.
2. REFER TO CONDUIT AND WIRE SCHEDULE ON E-2 FOR CONDUIT AND WIRE REQUIREMENTS.
3. INSTALL DOTTIE DUCT SEAL COMPOUND PC 6130 (CAT NO. LHD1) (TYP FOR CHARGER CABINETS AND DISPENSERS).
4. REFER TO SHEET E-2 FOR CONDUIT STUB LOCATION.
5. CONTRACTOR TO STUB-UP AND CAP FOR FUTURE POWER UNITS AS INDICATED ON SHEET E-2 (AS APPLICABLE).



APPROVED BY RESOLUTION OF THE
LEWISBORO PLANNING BOARD

Janel Andersen, Chair Date

Clorsdan Conran, Administrator Date

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated _____

Joseph M. Cermele, P.E.
Kellard Sessions Consulting
Town Consulting Engineer

Date

OWNER'S CERTIFICATION

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name (Insert Name)
Owners Address (Insert Address)

Date



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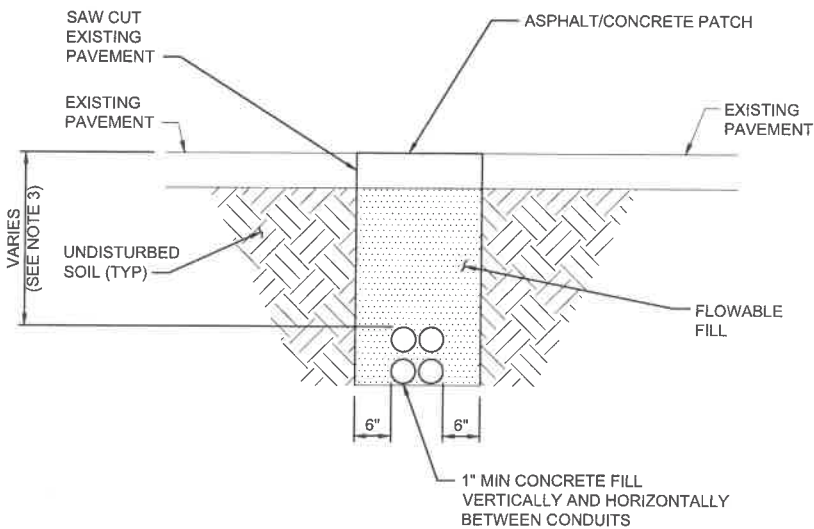
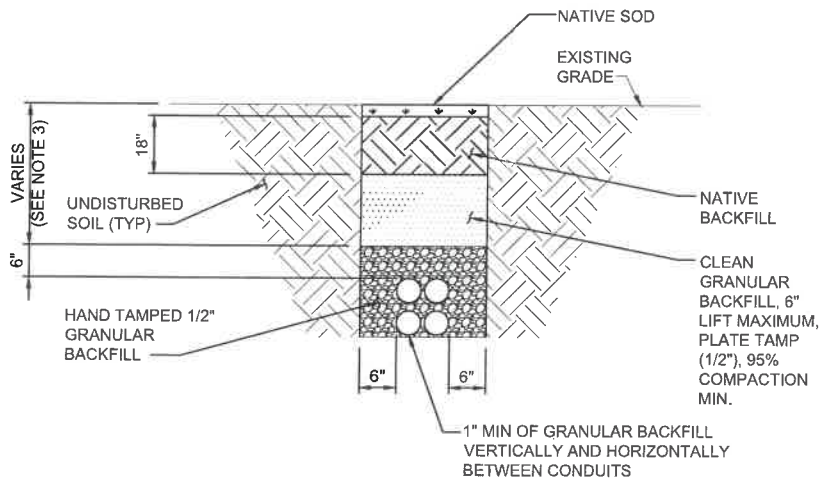
PROJECT NO: 408038
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○ = SEE NOTE 2 FOR REFERENCE

CAR CHARGER CONDUIT ELEVATION

NO SCALE

A



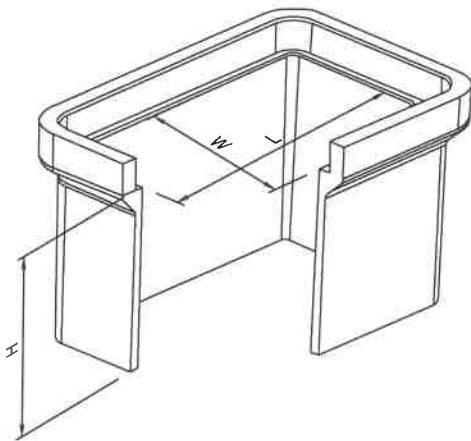
NOTES

1. CONCRETE SHALL BE MINIMUM 4000 PSI COMPRESSIVE STRENGTH AND MATCH EXISTING PAVEMENT THICKNESS.
2. ANY EXCAVATION LEFT OPEN NEEDS TO BE FENCED, BARRICADED, OR TRENCH PLATED TO INSURE THE SAFETY OF THE GENERAL PUBLIC.
3. TRENCH DEPTHS ARE REQUIRED TO BE 2'-0" MIN. OR 6" BELOW FROST LINE PER LOCAL JURISDICTION REQUIREMENTS.
4. ANY PAVEMENT DAMAGE DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRE CONSTRUCTION CONDITIONS OR BETTER.
5. EXACT NUMBER OF CONDUITS SHALL BE DETERMINED BY SHEET E-1, EXACT CONDUIT PLACEMENT IN TRENCH SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD BASED ON PHYSICAL MEASUREMENTS AND JURISDICTIONAL REQUIREMENTS.

NOTE

QUAZITE 15,000 LB. UNDERGROUND ENCLOSURE
MFR #: PC0608Z80009

NOMINAL HEIGHT: 6"
USABLE INTERIOR LENGTH: 8 1/2"
LOAD RATING (LB): 15,000



NOTES

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2. ANY PAVEMENT DAMAGE DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRE CONSTRUCTION CONDITIONS OR BETTER.
3. TRENCH DEPTHS ARE REQUIRED TO BE 2'-0" MIN. OR 6" BELOW FROST LINE PER LOCAL JURISDICTION REQUIREMENTS.
4. EXACT NUMBER OF CONDUITS SHALL BE DETERMINED BY SHEET E-1 & E-2, EXACT CONDUIT PLACEMENT IN TRENCH SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD BASED ON PHYSICAL MEASUREMENTS AND JURISDICTIONAL REQUIREMENTS.
5. CONDUIT PATHS ARE NOT INTENDED TO RUN THROUGH THE PARKING LOT.

TYPICAL NON-UTLTY CONDUIT UNDER SOIL TRENCH DETAIL

NO SCALE

B

TYPICAL CONDUIT UNDER
ASPHALT/CONCRETE TRENCH DETAIL

NO SCALE

C

JUNCTION BOX DETAIL

NO SCALE

D

NOT TO BE USED
FOR CONSTRUCTION

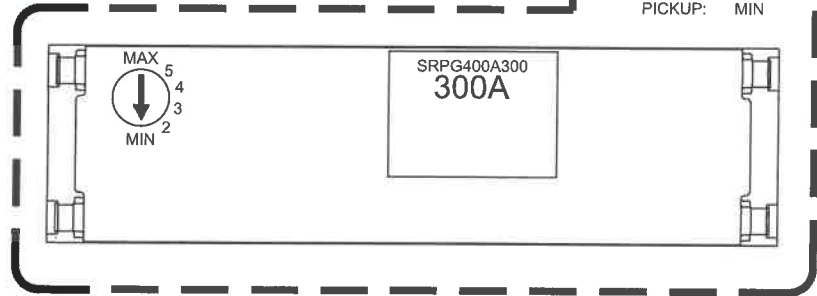
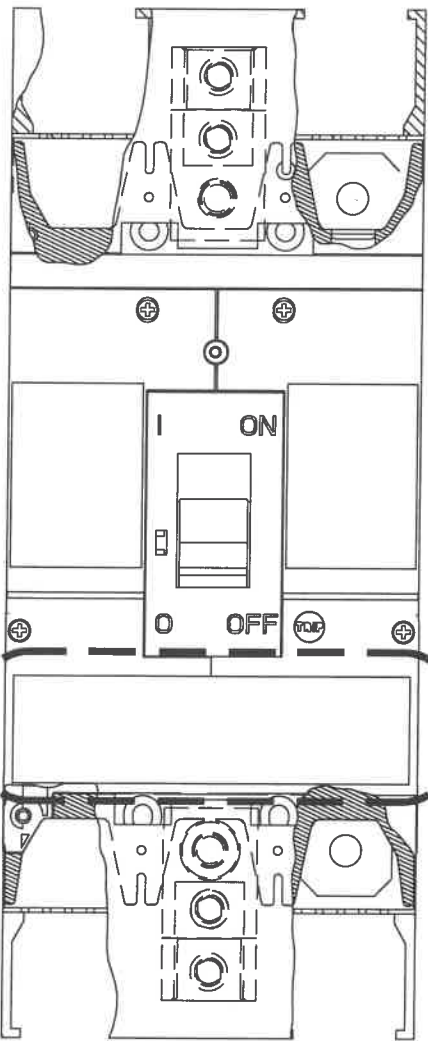
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SHEET TITLE
ELECTRICAL DETAILS

SHEET NUMBER

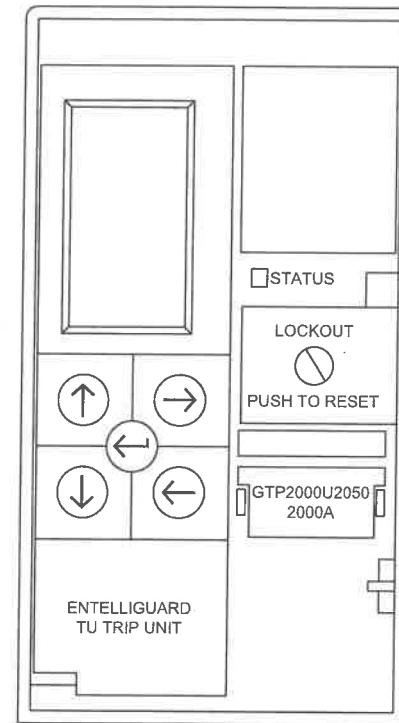
E-3



- NOTES**
- FOR SETUP ASSISTANCE SEE SECTION 2 OF THE GE SPECTRA® RMS MOLDED CASE CIRCUIT BREAKER WITH MICROENTELLIIGUARD TRIP UNIT USER MANUAL: GEH-702.
 - ALL BREAKERS SUPPLIED WITH PADLOCKING PROVISIONS.
 - REFER TO SWITCHBOARD FOR TRIP UNIT TYPE.

LONG TIME:
CURVE: I2T
PICKUP: 1x In
BAND: C2
SHORT TIME:
PICKUP: 1.5 x LT
BAND: 1
SLOPE: OFF
INST:
PICKUP: 3.5 x In
RELT INST:
PICKUP: 1.5 x In
GF SUM:
PICKUP: 0.2 x CT
BAND: 2
SLOPE: OFF

LONG TIME CURVE: I2T	LONG TIME PICKUP: 1 xIn BAND: C2 2000A	SHORT TIME PICKUP: 1.5 xLT BAND: 1 SLOPE: OFF
INST PICKUP: 3.5 xIn	RELT INST PICKUP: 1.5 xIn	GF SUM PICKUP: 0.2 xCT BAND: 2 SLOPE: OFF



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Janet Andersen, Chair Date
Clorsdan Conran, Administrator Date
TOWN ENGINEER'S CERTIFICATION
Reviewed for compliance with the Planning Board Resolution dated _____
Joseph M. Cermele, P.E. Date
Kellard Sessions Consulting
Town Consulting Engineer
OWNER'S CERTIFICATION
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Owners Address (Insert Address)

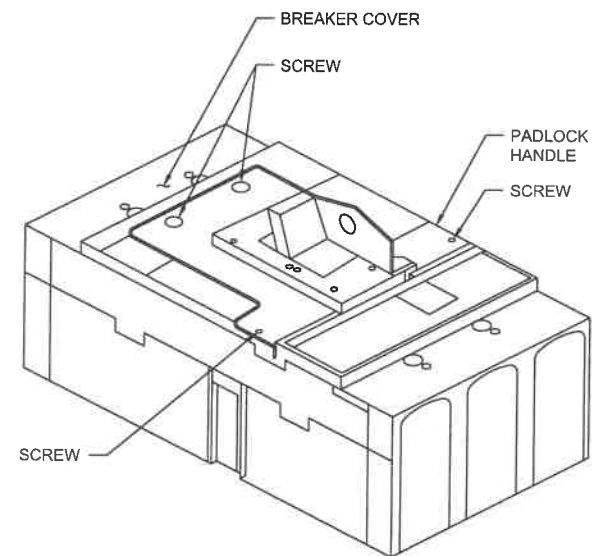
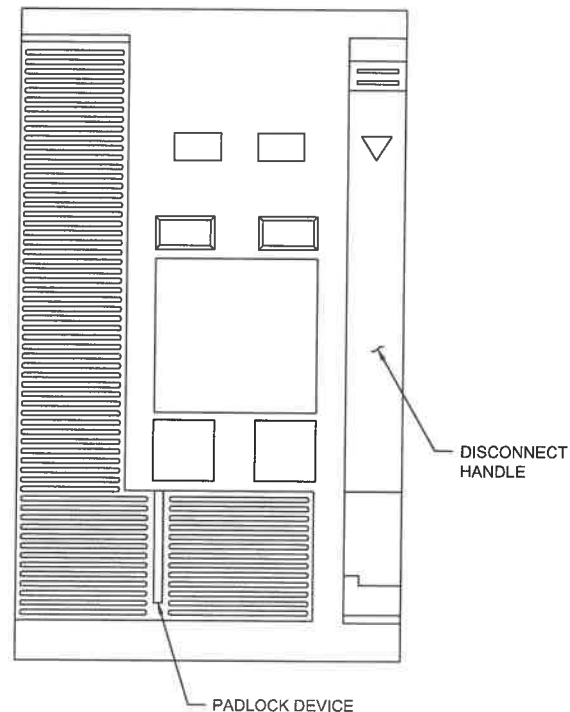
- NOTES**
- FOR SET UP ASSISTANCE SEE SECTION 6 OF THE GE ENTELLIIGUARD® USER MANUAL: DEH-4567.
 - RELT FUNCTIONS AS THE ENERGY REDUCING MAINTENANCE SWITCH.
 - MAIN BREAKER IS 100% RATED.

ENTELLIIGUARD TU TRIP UNIT DETAIL

NO SCALE

B

- NOTE**
- WHEN THE BREAKER IS IN THE OPEN POSITION, AND THE PADLOCK DEVICE IS RAISED AT LEAST 1/4", THE BREAKER CANNOT BE CLOSED MECHANICALLY OR ELECTRICALLY. THE DEVICE ACCEPTS UP TO THREE PADLOCKS WITH 1/4" TO 3/8" DIAMETER SHANKS.



ITM. NO.	DESCRIPTION	QTY	PART NO.
1	PADLOCK, HANDLE	1	208C3324P1
3	SCREW	2	L10P11010B6
4	SCREW	2	L10P11020B6
4	INSTALLATION SHEET	1	DEH41315

GE SPECTRA RMS SGLA BREAKER DETAIL

NO SCALE

A

POWERBREAK-II MAIN BREAKER PADLOCKING DETAIL

NO SCALE

C

SG400 BRANCH BREAKER PADLOCKING DETAIL

NO SCALE

D



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CHECKED BY:	NMB

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0	11/04/21	ISSUED FOR CONSTRUCTION

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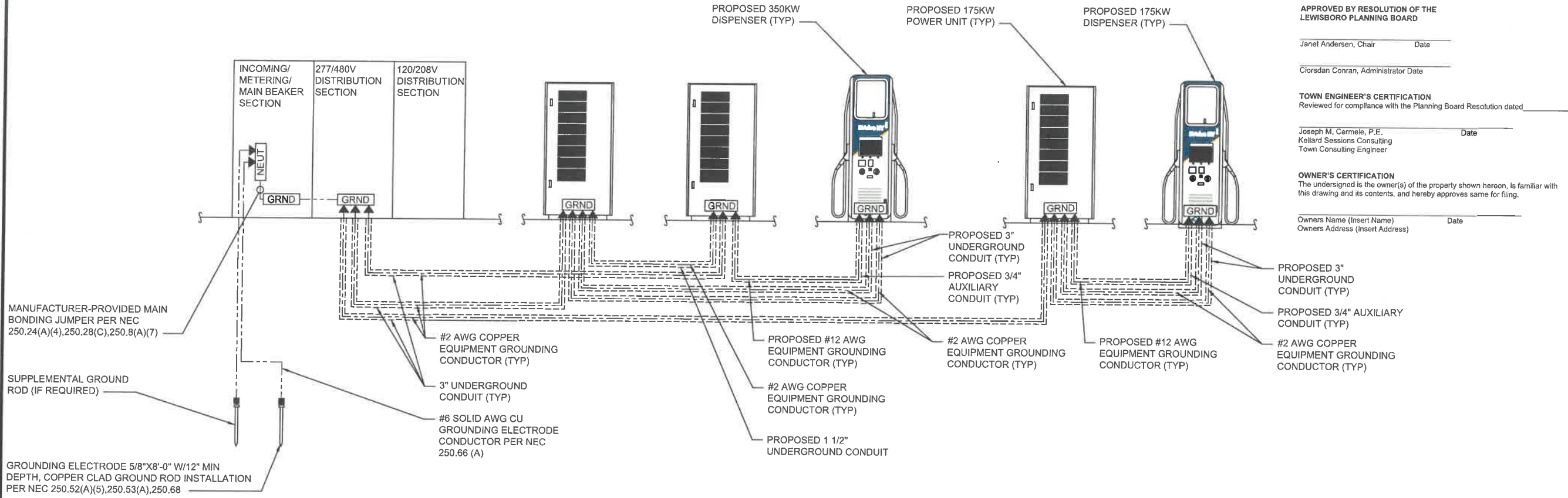
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SHEET TITLE
ELECTRICAL DETAILS

SHEET NUMBER

E-4



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SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-1

GROUNDING SCHEMATIC

NO SCALE A

CADWELD CONNECTIONS OR ENGINEER APPROVED EQUAL		
 CABLE TO REBAR TEE CONNECTION HORIZONTAL CABLE TAP TO VERTICAL REBAR TYPE RJ	 HORIZONTAL SPLICE SPLICE OF HORIZONTAL CABLES TYPE SS	 PARALLEL HORIZONTAL CONDUCTORS PARALLEL THROUGH CONNECTION OF HORIZONTAL CABLES TYPE PT
 BURNDY CONNECTIONS OR ENGINEER APPROVED EQUAL	 HORIZONTAL STEEL SURFACE TO FLAT STEEL SURFACE OR HORIZONTAL PIPE TYPE HS	 PARALLEL HORIZONTAL CONDUCTORS PARALLEL DEAD END TAP OR HORIZONTAL THRU CONDUCTOR TYPE PC
 BOND JUMPER FIELD FABRICATED GREEN STRANDED INSULATED TYPE 2-YA-2	 VERTICAL PIPE CABLE DOWN AT 45° TO RANGE OF VERTICAL PIPES TYPE VS	 VERTICAL STEEL SURFACE CABLE DOWN AT 45° TO VERTICAL STEEL SURFACE INCLUDING PIPE TYPE VS
 COPPER LUGS TWO HOLE - LONG BARREL LENGTH TYPE YA-2	 HORIZONTAL TEE TEE OF HORIZONTAL RUN AND TAP CABLES TYPE TA	 THROUGH CABLE TO GROUND ROD THROUGH CABLE TO TOP OF GROUND ROD TYPE GT

NOTES

- ALL HARDWARE SHALL BE STAINLESS STEEL 3/8" DIAMETER OR LARGER. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING LOCK WASHERS. COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
- FOR GROUND BOND TO STEEL ONLY: INSERT A CADMIUM FLAT WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
- PER 250.121 EXCEPTION: A WIRE-TYPE EQUIPMENT GROUNDING CONDUCTOR INSTALLED IN COMPLIANCE WITH 250.6(A) AND THE APPLICABLE REQUIREMENTS FOR BOTH THE EQUIPMENT GROUNDING CONDUCTOR AND THE GROUNDING ELECTRODE CONDUCTOR IN PARTS II, III, AND VI OF THIS ARTICLE SHALL BE PERMITTED TO SERVE AS BOTH AN EQUIPMENT GROUNDING CONDUCTOR AND A GROUNDING ELECTRODE CONDUCTOR.

DETAIL NOT USED

NO SCALE

B

CADWELD CONNECTION DETAIL

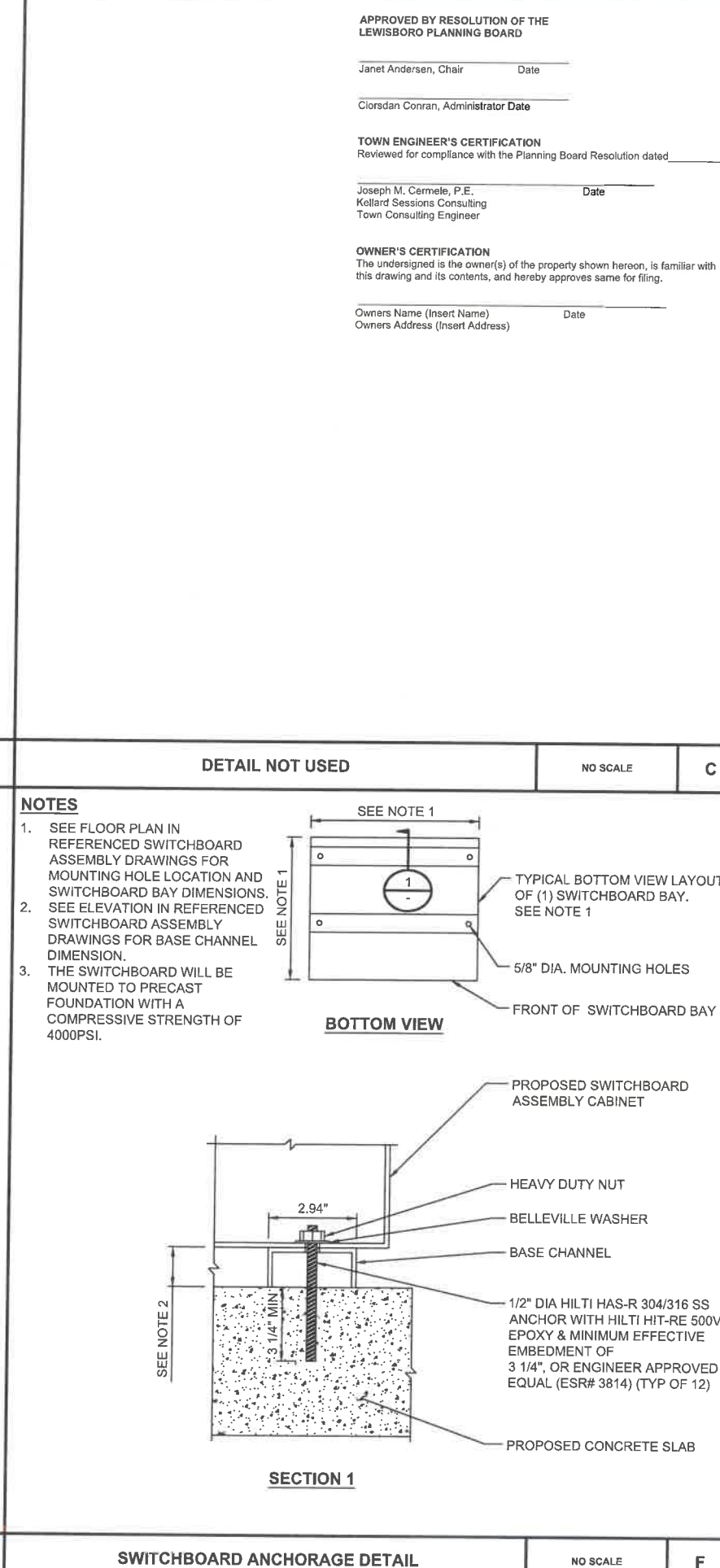
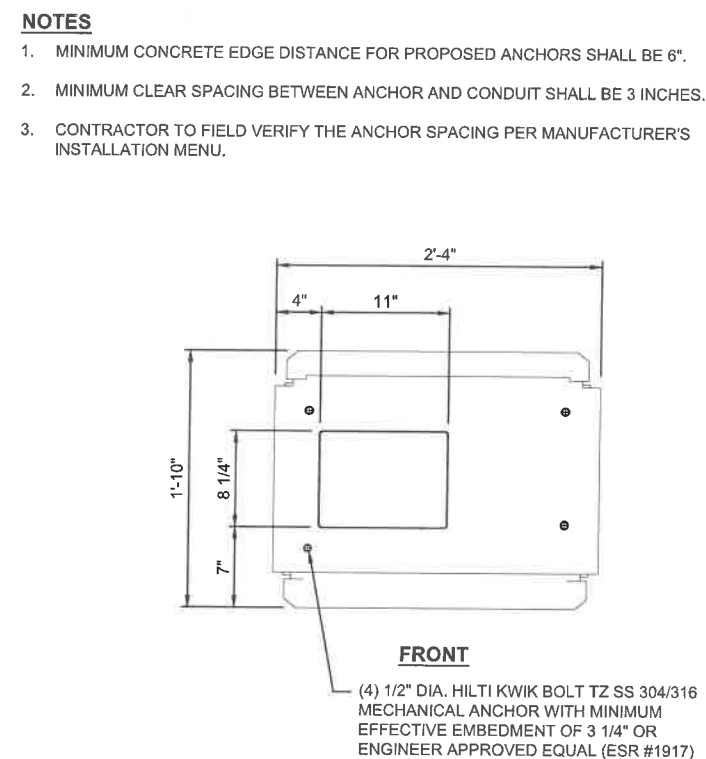
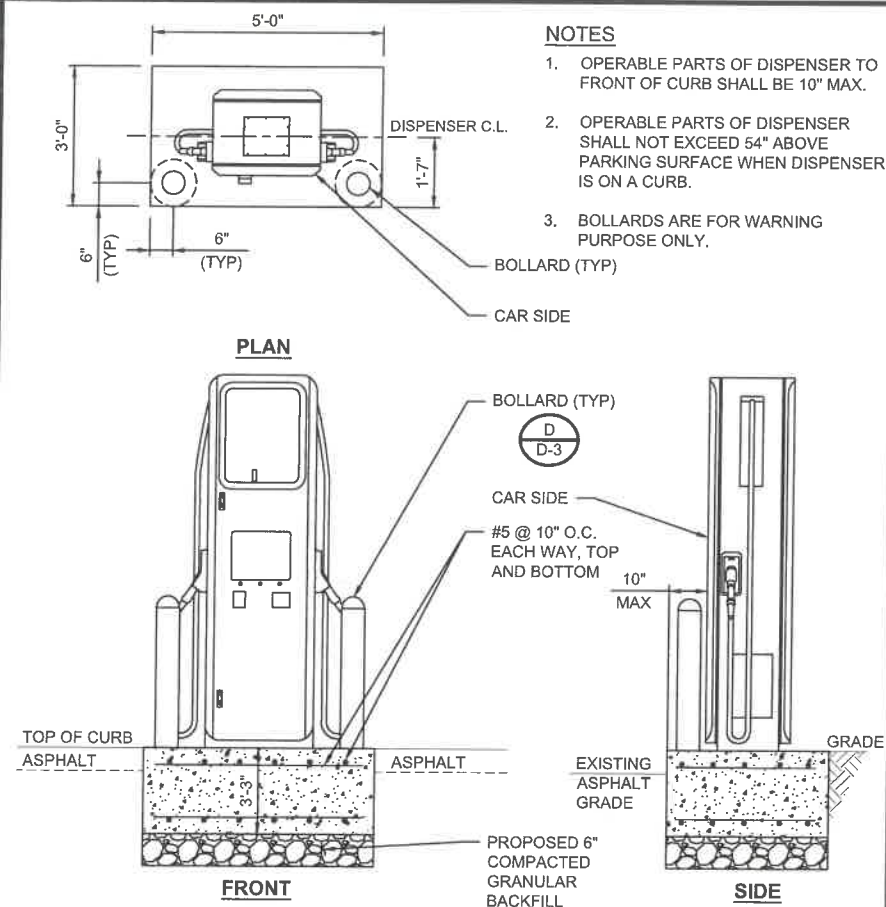
NO SCALE

C

GROUNDING NOTES

NO SCALE

D



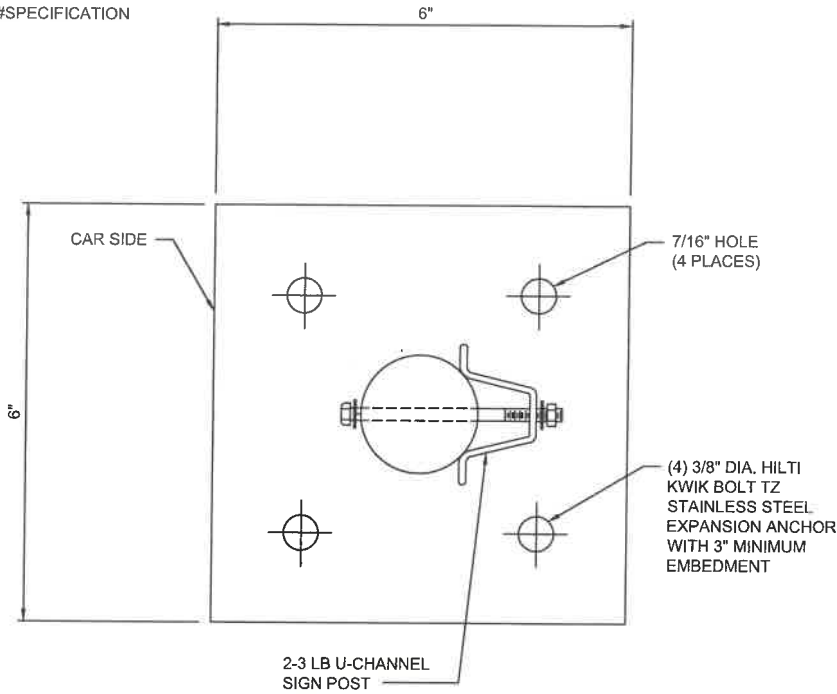
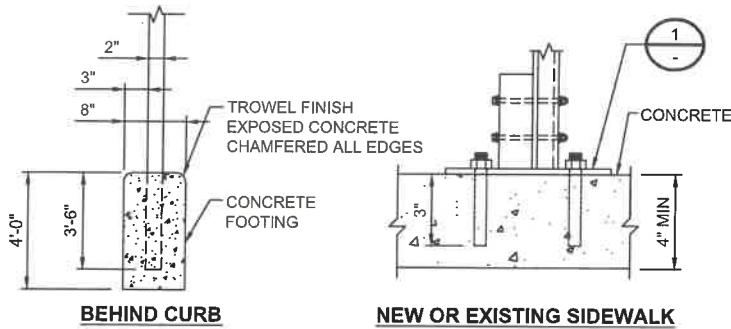
PROJECT NO:	40803
DRAWN BY:	GAP
CHECKED BY:	NME

BOLT DOWN BASE PLATE NOTES

1. CONTRACTOR TO PROVIDE AND INSTALL SIGN POST, BASE PLATE ASSEMBLY, EXPANSION ANCHORS, AND 3/8" DIA A307 BOLT.
2. TAPCO SURFACE MOUNT ANCHOR, 6" GALVANIZED STEEL #034-00143SM OR EQUIVALENT.
WWW.ZORO.COM/TAPCO-SURFACE-MOUNT-ANCHOR-6IN-GALVANIZED-STEEL-034-00143SM//G8491901#SPECIFICATION

NOTES

1. CONTRACTOR TO SELECT CONCRETE FOOTING OR BOLT DOWN BASED ON EXISTING CONDITIONS.
2. SEE SHEET C-3 FOR PLACEMENT.
3. BOTTOM OF LOWEST SIGN TO BE INSTALLED 80" ABOVE GRADE.
4. ADDITIONAL PARKING SIGNS TO BE INSTALLED 2" ABOVE TOP OF PREVIOUS SIGN.
5. U-CHANNEL POST (GREEN) WITH BREAKAWAY SECTIONS FOR INSTALLATION OF SIGN.
6. IF PAINT FINISH IS DAMAGED DURING INSTALLATION, CONTRACTOR SHALL REPAINT AS REQUIRED.
7. CONTRACTOR SHALL COORDINATE WITH CITY WHEN SPECIAL JURISDICTIONAL/CITY REQUESTS ARE NECESSARY FOR ANY SIGN POST INSTALLATION, I.E. POST MATERIAL, PAINT COLORS, HARDWARE, ETC. CONTRACTOR IS RESPONSIBLE FOR ENSURING CITY APPROVES ALL MATERIALS PRIOR TO INSTALLATION.



BASE PLATE DETAIL - DETAIL 1



APPROVED BY RESOLUTION OF THE LEWISBORO PLANNING BOARD

Jane! Andersen, Chair Date

Clorsdan Conran, Administrator Date

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated

Joseph M. Cermele, P.E.

Kellard Sessions Consulting

Town Consulting Engineer

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Owners Name (Insert Name)

Owners Address (Insert Address)

Date

Date



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SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER
D-2

SIGN POST INSTALLATION DETAIL

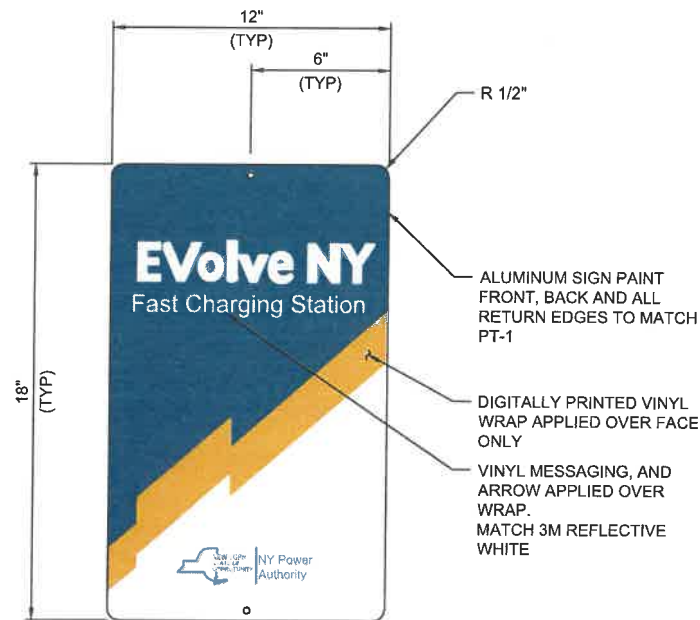
NO SCALE

A

NON-ILLUMINATED PARKING SIGNAGE WITH ADA SIGN - SIGN A

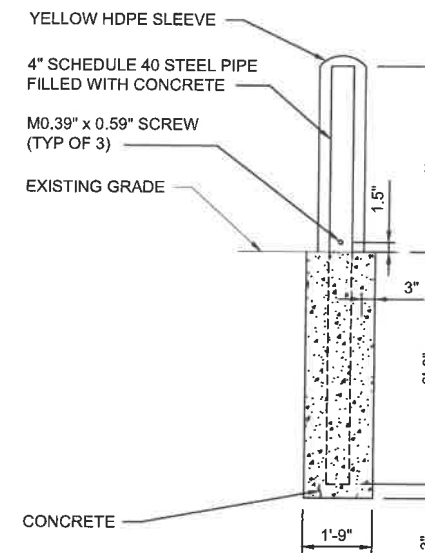
NO SCALE

B



NOTES

1. BOLLARD IS FOR WARNING PURPOSES ONLY.



NON-ILLUMINATED PARKING SIGNAGE - SIGN B

NO SCALE

C

EVOLVE SIGNAGE - SIGN C

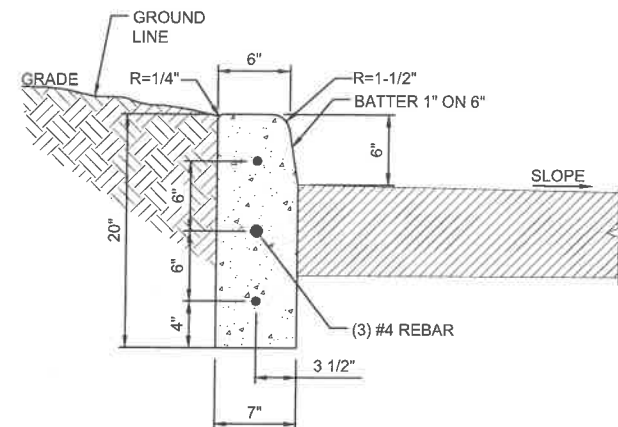
NO SCALE

D

HDPE WARNING BOLLARD DETAIL

NO SCALE

E



NOTES

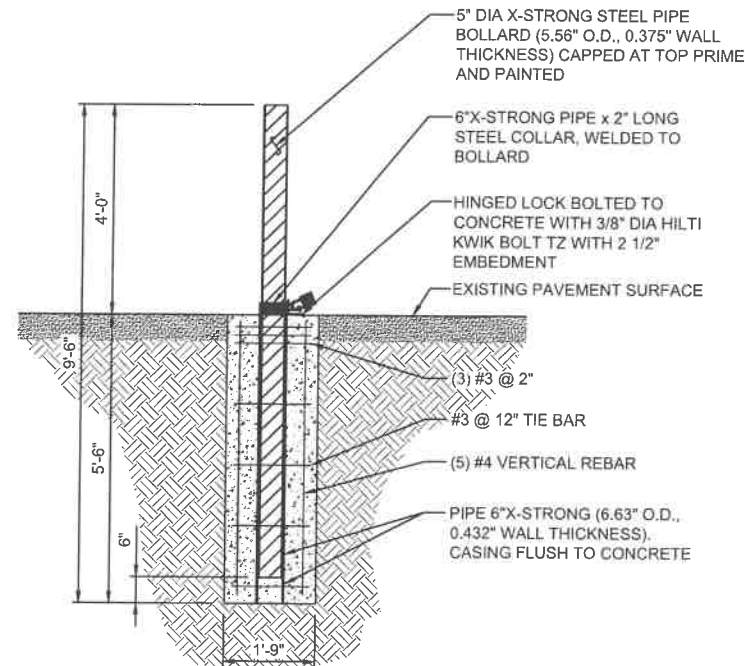
1. BREAKUP AND REMOVE AREA TO BE REPAIRED/REPLACED TO THE NEAREST JOINT OR SAW CUT. DISPOSE OF DEBRIS OFF SITE.
2. INSTALL FORMS AS NECESSARY.
3. COMPACT EXISTING SUBGRADE MATERIAL TO ACHIEVE 95% COMPACTION.
4. POUR CONCRETE USING 3500 PSI AIR ENTRAINED CONCRETE TO MATCH EXISTING ADJACENT CURB.
5. INSTALL CONTROL JOINTS EVERY 10 LINEAR FEET.

NOTE

1. THE FOOTING DESIGN IS USED FOR RESTRAINED CONDITION ONLY, WHICH MEANS THAT THE LATERAL CONSTRAINT IS PROVIDED AT THE GROUND SURFACE SUCH AS RIGID FLOOR OR PAVEMENT. IF THE SITE CONDITION IS DIFFERENT, THE FOUNDATION NEEDS TO BE RE-DESIGNED.

STEEL PIPE SPECIFICATIONS

ASTM A-53 STEEL, SCHEDULE 80, BLACK, HOT DIPPED, ZINC-COATED, WELDED, SEAMLESS



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Ciorsdan Conran, Administrator Date

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SHEET TITLE

EQUIPMENT DETAILS

SHEET NUMBER
D-3



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A

REMOVABLE BOLLARD DETAIL

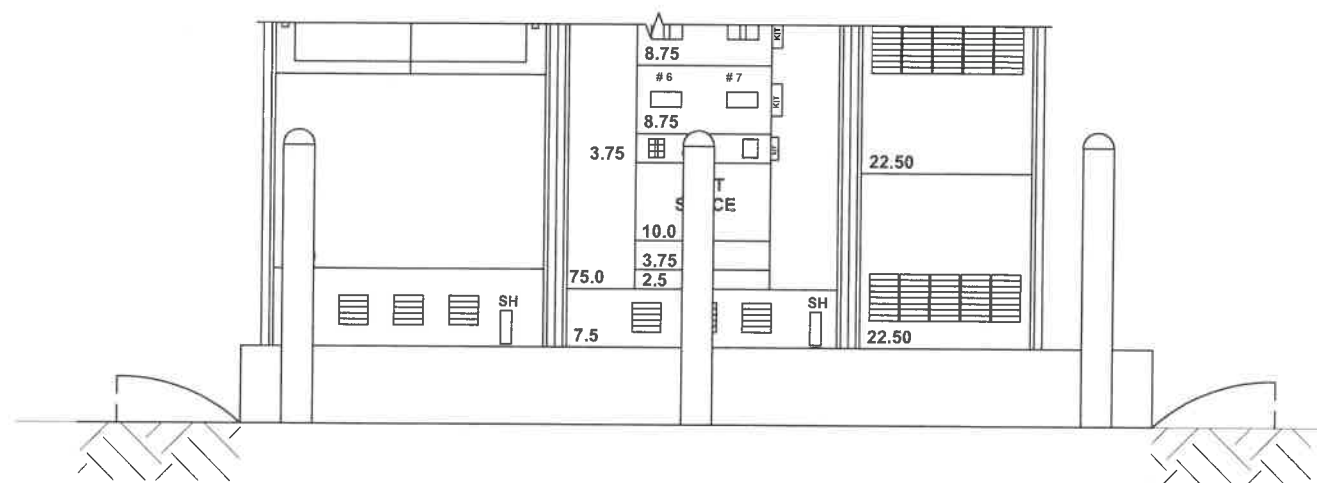
NO SCALE

B

DETAIL NOT USED

NO SCALE

C



PENDING

CURB CUT AWAY DETAIL

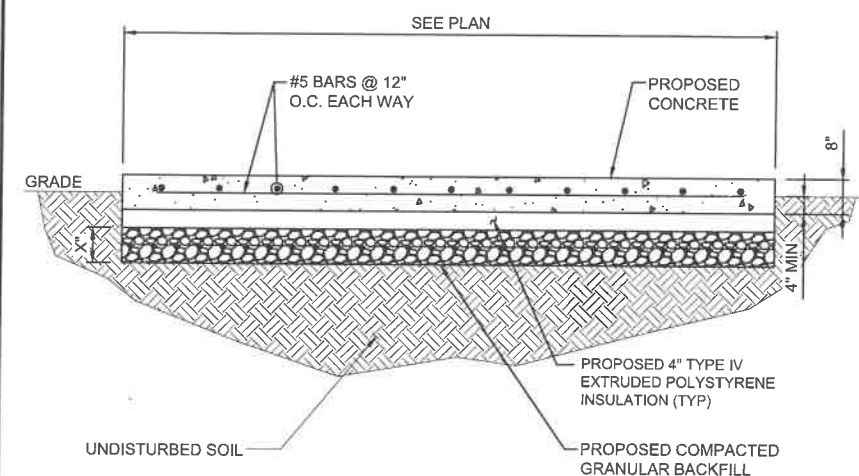
NO SCALE

D

CONCRETE PAD DETAIL

NO SCALE

F



NOTES

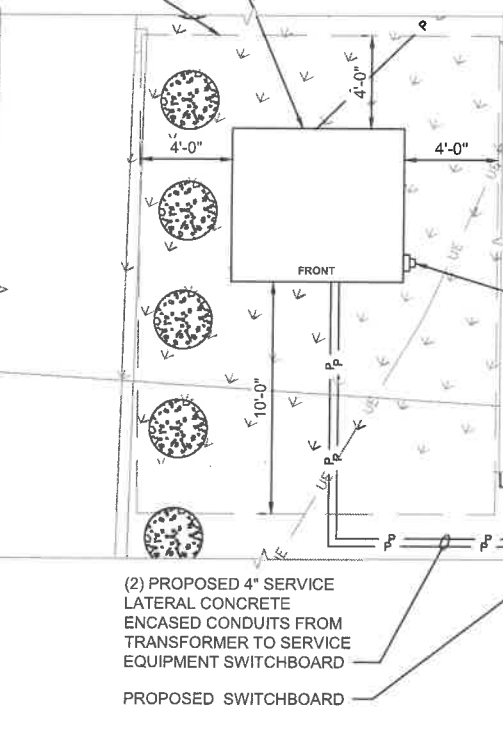
1. THE UTILITY DESIGN DETAILS SUMMARIZED ON THIS SHEET ARE FOR PROPERTY OWNER REVIEW. THE CONTRACTOR SHALL REFERENCE THE FINAL UTILITY DESIGN PROVIDED BY THE UTILITY FOR BIDDING. THE CONTRACTOR SHALL INSTALL THE UTILITY RELATED SCOPE OF WORK PER UTILITY CONSTRUCTION SPECIFICATION REQUIREMENTS. THE ELECTRIC UTILITY DESIGN SHALL SUPERSEDE ALL OTHER INFORMATION.
2. UTILITY EQUIPMENT INSTALLATIONS AND PREP WORK AND TERMINATION OF SERVICE CONDUCTORS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY ENGINEER AT TIME OF PRE-CONSTRUCTION MEETING TO ENSURE ACCURACY OF INSTALLATIONS.
3. TRANSFORMER BOLLARD PROTECTION TO BE INSTALLED PER UTILITY SPECIFICATION. ADDITIONAL BOLLARD PROTECTION MAY BE REQUIRED AT THE DISCRETION OF THE UTILITY FIELD INSPECTION PERSONNEL.
4. CONTRACTOR SHALL CONFIRM ALL CLEARANCES MEET UTILITY REQUIREMENTS.

UTILITY SERVICE LATERAL LENGTHS		
UTILITY TRANSFORMER TO SERVICE EQUIPMENT	LINEAR LENGTH (FT)	*ESTIMATED LENGTH (FT)*
	20	42
TOTAL LENGTH OF WIRE PER CONDUIT =		168
NUMBER OF WIRE FILLED CONDUITS		2
TOTAL LENGTH OF WIRE =		336

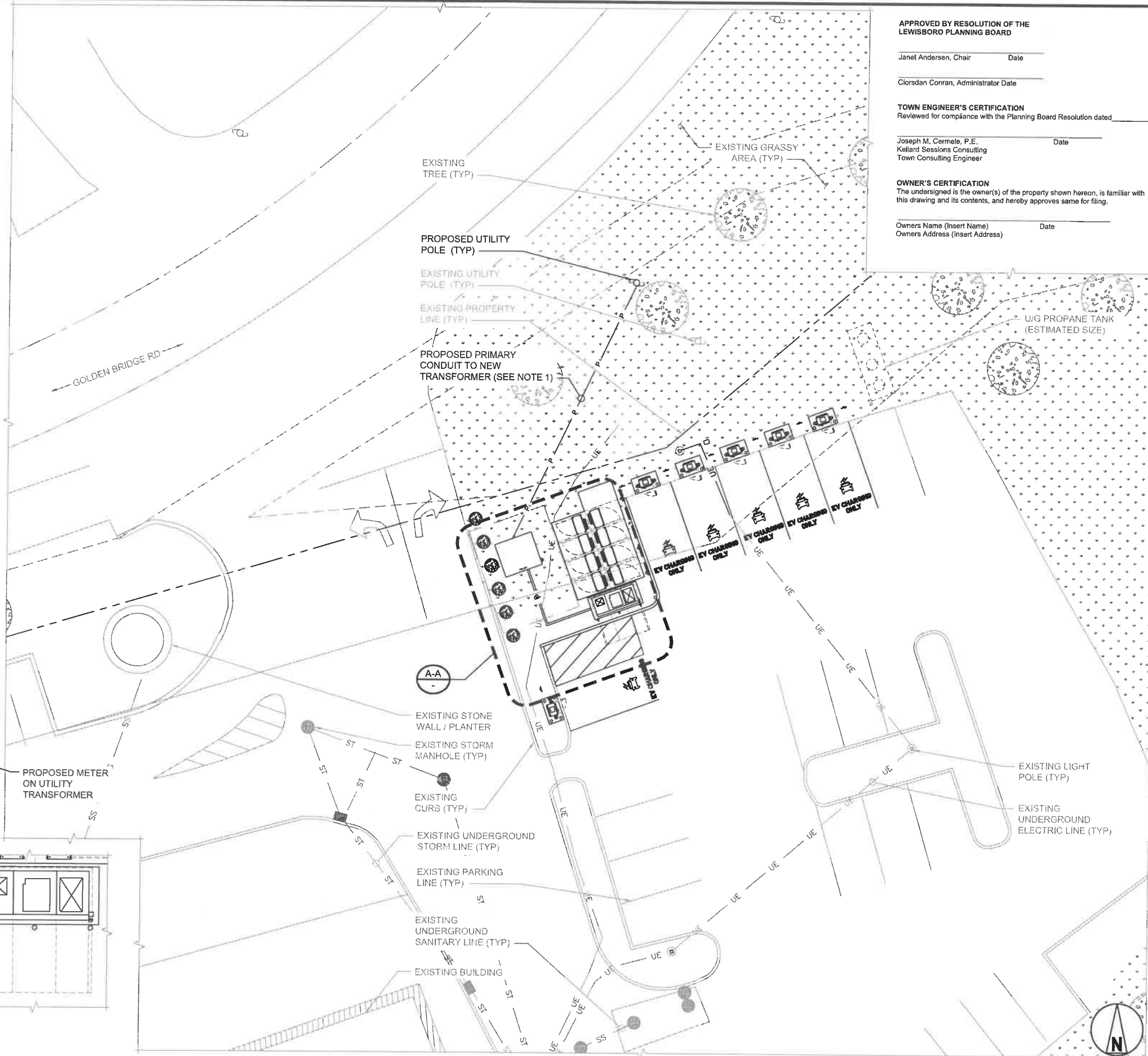
(SEE SHEET E-2 FOR WIRE CONFIGURATION)
*TOTAL LENGTH OF WIRE = 4 WIRES PER CONDUIT
x ESTIMATED LENGTH
x NUMBER OF FILLED CONDUITS

PROPOSED XXXKVA
UTILITY TRANSFORMER
277/480V, 3φ, 4W ON
6'-11"Wx6'-10"L
CONCRETE PAD

PROPOSED
TRANSFORMER
CLEARANCE



PLAN A-A
SCALE: NO SCALE



APPROVED BY RESOLUTION OF THE
LEWISBORO PLANNING BOARD

Janel Andersen, Chair Date

Clorsdan Conran, Administrator Date

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated

Joseph M. Carmele, P.E.
Kellard Sessions Consulting
Town Consulting Engineer

Date

OWNER'S CERTIFICATION

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name (Insert Name)

Date

Owners Address (Insert Address)



PLUGIN STATIONS ONLINE
7 COTTON MILL LANE
VALATIE, NY 12184
(855) 467-3751



NEW YORK POWER AUTHORITY
123 MAIN ST
WHITE PLAINS, NY 10601
(914) 681-6200



Black & Veatch New York LLP
480 Fifth Avenue
New York, New York 10017

PROJECT NO: 408038
DRAWN BY: GAK
CHECKED BY: NMB

REV	DATE	DESCRIPTION
D	04/27/22	ISSUED FOR 90% REVIEW
C	03/14/22	ISSUED FOR 30% REVIEW
0	11/04/21	ISSUED FOR CONSTRUCTION

NY-PI017
GOLDENS BRIDGE
NORTH STREET
GOLDENS BRIDGE, NY 10526

SHEET TITLE
ELECTRIC UTILITY PLAN

SHEET NUMBER