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TOWN OF LEWISBORO
Westchester County, New York

Planning Board
79 Bouton Road
South Salem, New York 10590

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Email: planning@lewisborogov.com

AGENDA

Tuesday, January 17, 2023 **Courtroom at 79 Bouton Road**

Meeting will start at 7:30 p.m. and end at or before 11:00 p.m.

I. DECISION

Cal #17-22PB
Tillmon Residence, 22 Quincy Court, Goldens Bridge, NY 10526, Sheet 7I, Block 11127, Lot 22 (Bernadette Tillmon, owner of record) – Application for the installation of solar panels.

Cal #10-17PB, Cal #19-22SW
Mercedes Benz of Goldens Bridge, 321 Main Street, Goldens Bridge, NY 10526, Sheet 4E, Block 11135, Lots 1, 2, 3, 4, 5, 6, 7 & 9 and Sheet 4E, Block 11137, Lot 42 (Celebrity Westchester Realty, LLC., owner of record for the nine lots) – Amendment of Condition 4(c) in the Resolution granting Amended Site Development Plan Approval and Town Stormwater Permit Approval, dated March 17, 2020.

II. EXTENSION OF TIME REQUEST

Cal #03-13PB, Cal #03-16WP
"**Silvermine Preserve," Silvermine Drive & Lockwood Road, South Salem, NY, 10590 Sheet 48, Block 10057, Lot 15 and Sheet 51, Block 10057, Lot 104 (Ridgeview Designer Builders, Inc. & Daniel Higgins, owners of record) –** Request for two 90-day extensions of time to the Resolution granting Final Subdivision Plat Approval, Wetland Activity and Stormwater Permits, dated August 16, 2022 for the construction of a 13 single-family houses.

III. SCHEDULE PUBLIC HEARING

Cal #02-20PB
Mandia Residences, 65 Old Bedford Road, Goldens Bridge, NY 10526 Sheet 4A, Block 11112, Lot 2 (Town of Lewisboro, owner of record) - Request for a partial release of the apartments' construction performance bond.

IV. SUBDIVISION

Cal #15-22PB
Vandervoort/Rising Starr Subdivision, 93 Silver Spring Rd, Wilton, CT 06897; Sheet 48, Block 10057, Lots 14, 19, 84 & 134 (SJK, LLC & PVK, LLC, owners of record) - Application for a subdivision.

V. WETLAND PERMIT REVIEWS

Cal #34-22WP, Cal #01-21WV
Maple Tree Farm, 400 Smith Ridge Road, South Salem, NY 10590; Sheet 49B, Block 9831, Lot 24 (Maple Tree Farm, LLC, owner of record) - Application for remediation of wetlands.

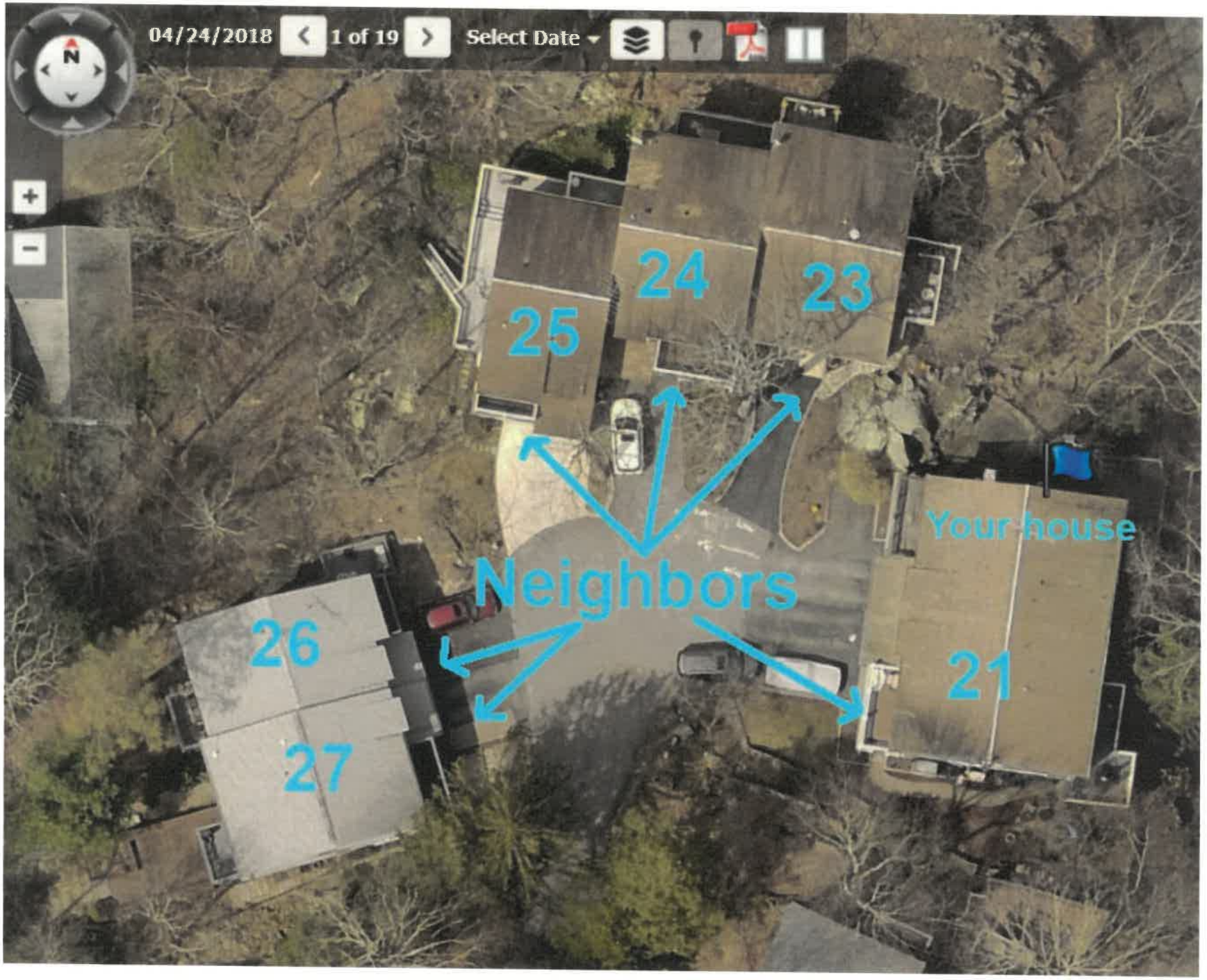
Cal #39-22WP, Cal #01-23SW
Morrissey Residence, 10 Hoyt Street, South Salem, NY 10590; Sheet 36C, Block 11172, Lot 5 (Susan Morrissey, owner of record) - Application for sunroom/porch, terrace and walkway.

Cal #41-22WP and Cal #20-22SW
Nelson Residence, 30 Gideon Reynolds Road, Cross River, NY 10518; Sheet 16, Block 10533, Lot 515 (John & Christina Nelson, owners of record) – Application for a pool, patio and plantings.

VI. MINUTES OF December 20, 2022.

VII. NEXT MEETING DATE: February 28, 2023.

VIII. ADJOURN MEETING.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Your house
Neighbors
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To the Town of Lewisboro Planning Board:

I, Andrew Gray/Stephanie Gray reside at 21 Quincy Court, Goldens Bridge, NY 10526. I am aware of the proposed solar panel installation at 22 Quincy Court, which is in the line of sight of my residence. I have no objections to this installation taking place.

Sincerely,

Date 1/6/23

To the Town of Lewisboro Planning Board:

I, Sandie Pagano reside at 23 Quincy Court, Goldens Bridge, NY 10526. I am aware of the proposed solar panel installation at 22 Quincy Court, which is in the line of sight of my residence. I have no objections to this installation taking place.

Sincerely,

SPagano

Date 12.6.23

To the Town of Lewisboro Planning Board:

I, Cynthia Tanico reside at 24 Quincy Court, Goldens Bridge, NY 10526. I am aware of the proposed solar panel installation at 22 Quincy Court, which is in the line of sight of my residence. I have no objections to this installation taking place.

Sincerely,

C. Tanico

Date Jan 5, 2023

To the Town of Lewisboro Planning Board:

I, Kathy Downey reside at 25 Quincy Court, Goldens Bridge, NY 10526. I am aware of the proposed solar panel installation at 22 Quincy Court, which is in the line of sight of my residence. I have no objections to this installation taking place.

Sincerely,

Kathy Downey

Date 1/5/23

To the Town of Lewisboro Planning Board:

I, Samantha Lipton reside at 26 Quincy Court, Goldens Bridge, NY 10526. I am aware of the proposed solar panel installation at 22 Quincy Court, which is in the line of sight of my residence. I have no objections to this installation taking place.

Sincerely,

Date 1/5/23

To the Town of Lewisboro Planning Board:

I, Lanbajin Wu reside at 27 Quincy Court, Goldens Bridge, NY 10526. I am aware of the proposed solar panel installation at 22 Quincy Court, which is in the line of sight of my residence. I have no objections to this installation taking place.

Sincerely,

Date Jan 6 2023

RECEIVED BY
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RESOLUTION
LEWISBORO PLANNING BOARD

AMENDED SITE DEVELOPMENT PLAN APPROVAL
TOWN STORMWATER PERMIT

MERCEDES BENZ OF GOLDENS BRIDGE
321 MAIN STREET (NYS ROUTE 22)

Sheet 4E, Block 11135, Lot 1,2,3,4,5,6 and 7
Sheet 4E, Block 11137, Lots 9 and 42
Cal. #10-17 P.B.

March 17, 2020

WHEREAS, the Planning Board has received an application from Celebrity Motor Cars, LLC (hereafter referred to as "the applicant") for Amended Site Development Plan Approval and a Town Stormwater Permit in connection with property located at 321 Main Street (NYS Route 22) within the GB Zoning District (hereafter referred to as "the subject property"); and

WHEREAS, the subject property totals ±5.1 acres of land and consists of several tax parcels identified on the Town of Lewisboro Tax Maps as Sheet 4E, Blocks 11135 and 11137, Lots 1, 2, 3, 4, 5, 6, 7, 9 and 42; and

WHEREAS, the subject property is currently developed and is used as the principal place of business for the Mercedes Bens of Goldens Bridge automobile sales dealership (Lots 1, 2, 3, 4, 6, 7, and 9), a separate retail business (Lot 9), and as a private residence (Lot 42); and

WHEREAS, the Town Board has amended the underlying Zoning District of Lots 5 and 42 from Retail Business (RB) and Residential (R-1/2A), respectively, to General Business (GB); and

WHEREAS, *"sales and service agencies for motor vehicles"* is a permitted use within the GB Zoning District; and

WHEREAS, the subject site is currently developed, and the majority of the subject property consists of impervious or previously disturbed land; and

WHEREAS, the site plan of record consists of the following sheets, prepared by JMC Planning, Engineering, Landscape Architecture, & Land Surveying, P.C., dated (last revised) November 7, 2014:

- Existing Site Plan (SP-1)
- Demolition & Berm Plan (SP-2)
- Details (SP-3 and SP-4)

WHEREAS, the applicant is proposing to redevelop the subject property by expanding the showroom and service buildings utilized by the car dealership; constructing a parking garage to be attached to the showroom building; constructing a parking lot for vehicle storage; reconfiguring the existing curb cuts and parking lots; and installing new drainage, lighting, parking, exterior vehicle lifts, landscaping, and other ancillary improvements (hereby referred to as "the proposed action"); and

WHEREAS, more specifically, the proposed action includes the expansion of the showroom to ±38,500 s.f. (±50,900 s.f. total), a ±2,700 s.f. addition to the existing ±18,200 s.f. service building, which is proposed to total ±20,900 s.f. and a 3-level (±38,460 s.f.) parking garage, which is proposed to be attached to the proposed showroom building; and

WHEREAS, the applicant proposed a 50-vehicle inventory storage parking lot on a portion of the subject property, which is currently developed with a single-family residence; and

WHEREAS, the Planning Board had granted the prior owner Amended Site Development Plan Approval associated with correcting prior violations related to the Site Plan of Record, the demolition of two (2) abandoned structures, and the construction of a landscaping berm located along the northern property boundary (see Planning Board Resolution Cal. #8-09, dated October 11, 2011); and

WHEREAS, the subject property does not contain wetlands, watercourses or associated buffer areas that are jurisdictional to the Town of Lewisboro, the New York State Department of Environmental Conservation (NYSDEC), the New York City Department of Environmental Protection (NYCDEP), or the Army Corps of Engineers (ACOE); and

WHEREAS, the applicant has prepared a Stormwater Pollution Prevention Plan (SWPPP) as required by Chapter 189 of the Town of Lewisboro Town Code, the NYSDEC State Pollutant Discharge Elimination System (SPDES) General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001) and the NYCDEP Rules and Regulations; and

WHEREAS, the project is considered a "redevelopment project" under the NYSDEC regulations and, therefore, the requirements of Chapter 9 of the NYS Stormwater Design Manual have been incorporated into the proposed drainage improvements; and

WHEREAS, under proposed conditions, stormwater runoff from the existing and new impervious surfaces, including parking areas, driveways, and building rooftops, will be collected and conveyed through underground pipes to the proposed subsurface stormwater management system; and

WHEREAS, the runoff generated by impervious surfaces located at the northern portion of the site will no longer flow off-site and onto the adjacent residential parcel, but will instead be collected and conveyed through the proposed stormwater system and discharged to the existing drainage system along NYS Route 22; and

WHEREAS, the proposed drainage improvements include a variety of stormwater practices, such as a green roof, porous pavement, tree planting areas, vegetated swales, underground infiltration units, underground detention and a hydrodynamic separator; and

WHEREAS, the proposed drainage improvements will result in significant reduction of peak rates of runoff for all storms and design points analyzed; and

WHEREAS, reference is made to the SWPPP, prepared by JMC and dated (last revised) November 26, 2019; and

WHEREAS, the proposed action will not require any new drilled water supply wells; it is anticipated to require additional water currently serving the dealership; an existing water system consisting of three (3) separate wells; and

WHEREAS, current/existing water usage has been monitored by the applicant and reported to the Westchester County Department of Health (WCDH); the existing facility has a long-term average demand of 493 gallons per day (gpd); and

WHEREAS, water demand is calculated as total domestic usage, divided by the number of employees, equaling usage per employee. Under the proposed condition, with a total of 54 "on-site" employees and a 10.72 gpd employee usage rate, the proposed facility is expected to demand 579 gpd, 86 gpd more than the existing condition; and

WHEREAS, based on the information supplied by the applicant to date, it is anticipated that the existing water system can accommodate this modest 86 gpd increase in demand; and

WHEREAS, the applicant is proposing to replace all existing plumbing fixtures and devices with new modern water saving fixtures, which is expected to reduce water consumption by approximately 20%; and

WHEREAS, the project does not involve any automated vehicle washing systems. Vehicles will be handwashed, indoors, as is the current practice, and the carwash shampoo will be a non-toxic biodegradable liquid; and

WHEREAS, the proposed improvements include a gray water reclamation system to assist in reusing water during vehicle washing; the gray water system is expected to reuse approximately 50% of the water expanded for vehicle washing; and

WHEREAS, reference is made to an "Engineering Report-Onsite Wastewater Treatment System", prepared by JMC, dated November 29, 2018; and

WHEREAS, the existing on-site septic system serving the showroom building is aged, and its condition and capacity are unknown; this existing system is proposed to be removed as part of the proposed action; and

WHEREAS, the existing septic system which serves the service building has an approved capacity of 810 gpd. This existing system is proposed to be protected during construction and will serve both the proposed service and showroom buildings; and

WHEREAS, the existing septic systems serving the existing retail and residential buildings (on Lots 9 and 42) are to be removed as part of the proposed action thereby reducing the total amount of effluent discharged to the ground and resulting in an overall environmental improvement; and

WHEREAS, reference is made to a letter submitted by the Goldens Bridge Fire District (GBFD), dated June 20, 2019, which comments have been addressed; and

WHEREAS, the applicant has demonstrated that fire apparatus can maneuver through the site and all improvements on the subject property with no obstructions; and

WHEREAS, the applicant is proposing a 10,000-gallon underground water tank with standpipe connections to be located in the vicinity of NYS Route 22. This tank will provide additional water for firefighting purposes; and

WHEREAS, the applicant has submitted a Traffic Study, prepared by JMC, dated (last revised) February 5, 2019; and

WHEREAS, the subject property currently contains a total of 10 existing curb cuts, including five (5) driveways along the east side of NYS Route 22. The northerly driveway is the primary driveway along NYS Route 22 and parked vehicles typically prevent the utilization of the two (2) middle driveways. The southern driveway is associated with a retail building, which has since been removed; and

WHEREAS, the proposed action will result in an overall reduction in the number of curb cuts, including a reduction from five (5) to two (2) driveways on NYS Route 22; and

WHEREAS, the projected traffic associated with the proposed action is based upon traffic counts that were conducted at the existing dealership driveway along NYS Route 22. The net additional traffic volumes generated by the proposed action compared to the existing dealership are 49, 77 and 58 vehicles trips during the peak weekday AM, weekday PM and Saturday midday hours, respectively; and

WHEREAS, intersection capacity analysis computed based upon 2021 build volumes demonstrate that the intersections analyzed will operate at the same (existing) levels of service, with the exception of one (1) turning movement. During the peak Saturday midday hour, the Connector Road (North Street) left turn movement onto NYS Route 22 is projected to increase in delay by 0.8 seconds from a Level of Service B (existing) to a Level of Service C (proposed); and

WHEREAS, the proposed action will result in the removal of 46 mature trees. Reference is made to a letter from the NYSDEC, dated February 20, 2018, which identifies that the subject property is located within or near known occurrences of the Northern long-eared bat, a NYS threatened species. As a result and as specified by the NYSDEC, all tree removal must be conducted between November 1st and March 31st to avoid impacts. If tree removal is planned outside of this time parameter, the applicant will be required to conduct a site assessment by a qualified biologist to be reviewed and approved by the NYSDEC prior to any tree removal; and

WHEREAS, the subject property is identified in the Town's 1985 Master Plan as being located within the "Hamlet Business" district. According to the Master Plan, Hamlet Business areas are intended to be the site of all types of locally-oriented business services including retail stores, personal services, offices, restaurants and trade services. The Planning Board finds that the proposed action is consistent with the Town's Master Plan; and

WHEREAS, the subject application and submission materials were referred to the Westchester County Planning Board in accordance with Section 239-m of the General Municipal Law. The Westchester County Planning Board responded on November 30, 2018 with no additional comments; and

WHEREAS, the Planning Board is familiar with the subject property and the general surrounding area; and

WHEREAS, the proposed action requires a number of area variances from the Zoning Board of Appeals including, but not limited to, rear yard setback, side yard setback, gross floor area, site coverage, maximum entrance/exit grade, maximum parking entrance grade, and signage variances. The Zoning Board of Appeals approved these variances by Resolution adopted on January 6, 2020; and

WHEREAS, potential aesthetic impacts will be mitigated by implementing several features such as extensive landscaping, fencing, green roof on a portion of the showroom building, formalized parking, new updated lighting and light fixtures with house side shields to reduce light spillover, and increased setback distances of parked vehicles from the roadway; and

WHEREAS, the existing showroom building located at the south end of the subject property will remain and will be expanded southward toward Anderson Lane. As a result, it will undergo an extensive retrofit with a new facade, windows, lighting fixtures, accent features and signage. The architecture of the building and parking garage is sophisticated and attractive; and

WHEREAS, subject to approval by the Town Board and Highway Superintendent, the area within the Green Street right-of-way will be regraded to fill against the building to further reduce its height from the ground; and

WHEREAS, the applicant is proposing extensive landscaping, particularly along Green Street, as well as physical screens on the parking garage and vertical plantings on the facade of the garage to provide screening and aesthetic interest; and

WHEREAS, the applicant has advised that the service department will be open Monday through Saturday, 7:30 a.m. – 6:00 p.m.; the sales department will be open Monday through Thursday, 9:00 a.m. – 7:00 p.m., Friday 9:00 a.m. – 6:00 p.m. and Saturday from 9:00 a.m. – 5:00 p.m.; and 54 "on-site" employees are expected as part of the automobile dealership operation; and

WHEREAS, the loading and unloading of vehicles on car carriers will only take place within the subject property and not on or within any public right-of-way, including NYS Route 22; and

WHEREAS, reference is made to the following architectural drawings prepared by Sullivan Architecture, P.C., dated (last revised) November 26, 2019:

- "Service Building Proposed Lower Level" (Sheet A1.01)
- "Service Building Proposed Upper Level Plan" (Sheet A1.02)
- "Showroom Building Proposed Lower Level" (Sheet A2.03)
- "Showroom Building Roof Plan" (Sheet A2.05)
- "Showroom Building Roof Plan" (Sheet A2.07)
- "Showroom Building Proposed Exterior Elevations" (Sheet A3.00)
- "Service Building Proposed Exterior Elevations" (Sheet A3.01)
- "Showroom Building Exterior Elevations" (Sheet A3.03)

- "Showroom Building Exterior Elevations" (Sheet A3.04)
- "Exterior Signage" (Sheet A3.06)
- "Showroom Building Perspective Renderings" (Sheet A9.01)
- "Showroom Building Perspective Renderings" (Sheet A9.02)

WHEREAS, a duly noticed public hearing was opened on July 16, 2019 and was adjourned to and reopened at the August 20, 2019, September 17, 2019 and November 19, 2019 Planning Board meetings; the public hearing was closed for verbal public comment on November 19, 2019, however, the Board extended a written comment period to December 31, 2019; and

WHEREAS, during the public hearing process, all interested parties were granted the opportunity to be heard; and

WHEREAS, the proposed action is a Type I Action in accordance with the State Environmental Quality Review Act (SEQRA); the Planning Board issued a Negative Declaration of Significance on July 16, 2019, amended on August 20, 2019; and

WHEREAS, the Planning Board has considered the submitted Site Development Plan and Town Stormwater Permit Applications, materials submitted by the applicant in support of its proposal, the written and verbal comments from the Board's professional consultants, the written and verbal comments made by the public, the verbal commentary made during Planning Board meetings and the testimony of the applicant; and

WHEREAS, while final approvals have not been granted by the WCDH, NYCDEP, or NYSDOT, project related documents, reports, and plans have been forwarded to these agencies by both the applicant and their associated comment letters or Notices of Complete Application have been received by the Planning Board; and

WHEREAS, the application has been referred to and reviewed by the Conservation Advisory Council (CAC); and

WHEREAS, in addition to the Site Development Plan Approval and a Town Stormwater Permit from the Town Planning Board, the following outside agency approvals/permits have been identified by the applicant:

a. Town of Lewisboro Town Board – Zoning Map Amendment (previously granted) and License Agreement; and

b. Town of Lewisboro Zoning Board of Appeals – Area Variances (granted on January 6, 2020); and

c. Architecture and Community Appearance Review Council (ACARC) – Building and Signage (granted on December 11, 2019); and

d. Town of Lewisboro Highway Department – Driveway Work Permit; and

e. WCDH – Potable Water and Sewage Disposal; and

f. NYCDEP - Stormwater Pollution Prevention Plan (SWPPP); and

g. NYSDOT - Highway Work Permit/Occupancy and Use Permit; and

h. NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001); and

i. If the sewage design flow from the site is greater than 1,000 gpd, coverage is required under NYSDEC GP-0-05-001 (anticipated sewage design flow is under 1,000 gpd); and

WHEREAS, the submitted SWPPP has been found to be consistent with Chapter 189, Stormwater Management and Erosion and Sediment Control, of the Town Code.

NOW THEREFORE BE IT RESOLVED THAT, the Planning Board hereby approves the following drawings prepared by JMC, dated (last revised) November 26, 2019, subject to the below enumerated conditions:

- "Cover Sheet" (Sheet C-000)
- "Existing Conditions" (Sheet C-010)
- "Demolition Plan" (Sheet C-020)
- "Tree Removal Plan" (Sheet C-030)
- "Layout Plan" (Sheet C-100)
- "Parking Plan" (Sheet C-101)
- "Grading & Drainage Plan" (Sheet C-200)
- "Site Sections" (Sheet C-212)
- "Utilities Plan" (Sheet C-300)
- "Road Profiles" (Sheet C-314)
- "Road Profiles" (Sheet C-315)
- "Phase 1 Plan" (Sheet C-401)
- "Phase 2 Plan" (Sheet C-402)
- "Phase 3 Plan" (Sheet C-403)
- "Lighting Plan" (Sheet C-600)
- "Vehicle Deliver Truck Plan" (Sheet C-700)
- "Fire Truck Plan" (Sheet C-701)
- "Fire Truck Plan" (Sheet C-702)
- "Fire Truck Plan" (Sheet C-703)
- "Construction Details" (Sheet C-900)
- "Construction Details" (Sheet C-901)
- "Construction Details" (Sheet C-902)
- "Construction Details" (Sheet C-903)

- "Construction Details" (Sheet C-904)
- "Construction Details" (Sheet C-905)
- "Construction Details" (Sheet C-906)
- "Construction Details" (Sheet C-907)
- "Construction Details" (Sheet C-908)
- "Landscaping Plan" (Sheet L-100); and

BE IT FURTHER RESOLVED THAT, Site Development Plan Approval, defined as the signing of the plans by the Planning Board Chair, shall expire pursuant to Town Code §220-50, unless a Building Permit (associated with the proposed building) is applied for within one (1) year of the date of the signing of the plans or if all required improvements are not completed within three (3) years of the signing of the plans or if, following issuance of a Building Permit or Certificate of Occupancy, construction or use shall cease for more than one (1) year; and

BE IT FURTHER RESOLVED THAT, pursuant to Section 220-15B(7) of the Zoning Code, the Planning Board hereby grants a waiver to permit permanent encroachments into the landscape buffer, as shown on the Site Development Plans referenced herein; and

BE IT FURTHER RESOLVED THAT, the granting of this waiver is based on the fact that proposed encroachments are the minimum necessary, that encroachments into the landscape buffer currently exists, and that a significant amount of landscaping and fencing is being proposed to properly screen site activities from neighboring properties and thoroughfares; and

BE IT FURTHER RESOLVED THAT, any subsequent alterations, modifications, additions or changes to the approved and/or constructed improvements shall require the prior review and written approval by the Planning Board as a new, modified and/or amended application for Site Development Plan Approval; and

BE IT FURTHER RESOLVED THAT, failure to comply with the approved drawings or any of the conditions set forth herein shall be deemed a violation of Site Development Plan Approval, which may lead to the revocation of said approval or the revocation by the Building Inspector of any issued Certificate of Occupancy; and

BE IT FURTHER RESOLVED THAT, in consideration of the above and in accordance with Chapter 189-7B of the Town Code, the Planning Board hereby issues a Town Stormwater Permit, subject to the below-listed conditions; and

BE IT FURTHER RESOLVED THAT, the Town Stormwater Permit shall expire upon completion of work and shall be valid for a period of two (2) years from the date of this Resolution (February 25, 2020), unless extended by the Planning Board in accordance with Section 189-7G of the Town Code; and

BE IT FURTHER RESOLVED THAT, Conditions #1 through #16 must be fulfilled within nine (9) months of the date of this Resolution (December 17, 2020). Should such conditions not be completed within the allotted time frame, this Resolution shall become null and void unless an extension is requested by the applicant (in writing) within said period and granted by the Planning Board. In the event a request for an extension of this period is made necessary by the existence of a public health emergency associated with COVID-19 or related causes, the Planning Board shall expeditiously act upon such request and shall not unreasonably withhold such an extension.

Conditions to be Satisfied Prior to the Signing of the Site Development Plans by the Planning Board Administrator and Chair:

1. The applicant shall satisfy all outstanding written comments provided by the Town's professional consultants.

2. The updated Layout Plan (C-100), Grading and Drainage Plan (C-200) and Landscaping Plan (L-100) shall be revised to address any outstanding Planning Board or consultant comments and incorporated into the plan set. Typical construction details associated with the proposed walls and fencing shall be revised to address comments of the Planning Board, to the satisfaction of the Town's Consulting Professionals.

3. Each and every sheet of the Site Development Plans shall contain a common revision date with notation stating "Planning Board Approval", shall contain the Town's standard signature blocks, shall be signed and sealed by the Design Professional and shall contain the original signature of the applicant(s) and owner(s).

4. All applicable Town, County, City, State and Federal permits/approvals shall be obtained by the owner/applicant and copies of same submitted to the Planning Board and Building Department. Should the plans approved herein differ from those previously approved by an agency having jurisdiction, the applicant shall be responsible for obtaining amended permits/approvals, as determined necessary. The applicant has identified the following outstanding outside agency approvals, which shall be obtained prior to the signing of the approved plans, unless otherwise noted:

    a. Town of Lewisboro Town Board - License Agreement made between the applicant and the Town of Lewisboro Town Board (associated with proposed landscaping and drainage improvements within the Town right-of-way)
    b. Town of Lewisboro Highway Department - Driveway Work Permit (associated with work proposed within with Town right-of-way)
    c. WCHD – Approval of the water and sewage systems.
    d. NYCDEP – Approval of the SWPPP
    e. NYSDOT – Use and Occupancy Permit and Highway Work Permit
    f. NYSDEC – SPDES General Permit for Groundwater Discharge of Treated Sanitary Sewage (GP-0-15-001), if determined to be required.

g. NYSDEC – SPDES General Permit for Stormwater Discharges to Construction Activity (GP-0-20-001). This Permit shall be issued prior to commencement of construction.

5. The applicant shall submit an engineering/inspection fee equal to 5% of the estimated cost of construction (site work only as determined by the Town Engineer). Said estimate shall be prepared by a Licensed Professional Engineer and shall include unit costs, total costs and quantities for proposed site improvements; said estimate shall be provided by the applicant, in writing, and approved by the Town Engineer.

6. In accordance with Section 220-46G of the Zoning Code, the applicant shall supply a performance bond, or other form of security , to guarantee completion of project infrastructure in a sum approved by the Town Engineer based on a cost estimate to be prepared by the applicant's design engineer. The form of the performance bond shall be acceptable to the Town Attorney and Planning Board Attorney. The delivery and acceptance of this security does not relieve the applicant of the obligation to complete the project infrastructure. Said bond shall provide for project infrastructure to be completed within twenty-four (24) months of commencement of work and for the retention by the Town of 10% of the originally fixed amount for a period of one (1) year after the Certificate of Occupancy has been issued.

7. The applicant shall submit a planting cost estimate for plantings proposed within the Town right-of-way, to be approved by the Town's Professional Consultants. Proposed plantings within the Town right-of-way shall be bonded in an amount equal to the approved planting cost estimate. Said bond shall be in a form acceptable to the Planning Board Attorney, submitted to the Planning Board and shall be released following a five (5) year monitoring period (see Condition #58).

8. The applicant shall submit the NYSDEC Notice of Intent (NOI) and the NYSDEC MS4 SWPPP Acceptance Form for review and approval by the Town Engineer and Town Stormwater Management Officer. Following review and approval of these documents, the applicant shall submit the completed MS4 Acceptance Form and NOI to the NYSDEC, Division of Water.

9. The applicant shall prepare and submit a stormwater maintenance easement and agreement, prepared in accordance with Sections 189-13A and B of the Town Code, for review and approval by the Town Engineer and Planning Board Attorney. Said easement and maintenance agreement shall be filed in the office of the Westchester County Clerk. The applicant shall pay all recording charges and shall provide proof of filing to the Planning Board Administrator.

10. The applicant shall prepare a written maintenance agreement for the perpetual inspection, maintenance and operation of the underground water storage tank by the Town of Lewisboro and/or the GBFD. The agreement shall be prepared to the satisfaction

of the Planning Board Attorney and shall be filed with the GBFD and Westchester County Clerk's Office.

11. The applicant shall provide a written statement identifying the professional engineer or engineering firm responsible for oversight and inspection during construction, including required bi-weekly stormwater and erosion and sediment control inspections.

12. The applicant shall obtain a Town Stormwater Permit from the Town Engineer and Town Stormwater Management Officer.

13. The applicant shall submit a "check set" (2 copies) of the approved Site Development Plans, prepared in final form and in accordance with the conditions of this Resolution, for review by the Planning Board's consultants.

14. Following review and revision (if necessary) of the final plans, the applicant shall furnish the Planning Board with two (2) complete mylar sets of the approved Site Development Plans for final review by the Town's consultants and endorsement by the Town Engineer, Planning Board Chair and Administrator.

15. The applicant shall pay to the Town of Lewisboro, by certified or cashier's check, all outstanding professional review fees.

16. The applicant shall provide a written statement to the Planning Board Administrator acknowledging that they have read and will abide by all conditions of this Resolution.

Conditions to be Satisfied Prior to the Issuance of any Building Permit:

17. Following the endorsement of the final Site Development Plans by the Town Engineer, Planning Board Chair and Administrator, one (1) mylar set will be returned to the applicant for copying, and the second mylar set will be retained by the Planning Board as a record copy.

18. Within ten (10) days after endorsement of the final Site Development Plans by the Town Engineer, Planning Board Chair, and Planning Board Administrator, the applicant shall deliver to the Planning Board Administrator nine (9) printed sets of the final plans, collated and folded.

19. The applicant shall demonstrate that coverage has been obtained under the NYSDEC SPDES General Permit (GP-0-20-001).

Conditions to be Satisfied Prior to Commencement of Work:

20. No tree removal, demolition, or site related work shall commence prior to the issuance of a Building Permit. If deemed acceptable to the Building Inspector, a Building Permit relating to the site work (only) may be issued in advance of a Building Permit associated with proposed buildings and additions. Further, at the discretion of the Building Inspector and Town Engineer, certain limited landscape improvements (including limited tree removal) may commence without a Building Permit provided all other applicable conditions have been met and subject to any conditions the Building Inspector or Town Engineer may impose.

21. Prior to the commencement of any site work, a pre-condition assessment of Green Street shall be conducted by the applicant. The scope of this assessment and the manner in which it is undertaken shall be subject to the approval of the Town Engineer. A site walk shall be conducted with the applicant, contractor, Town Highway Superintendent and Town Engineer. The applicant shall document the condition Town-owned portions of Green Street, to the satisfaction of the Town Engineer.

22. Prior to the commencement of any site work (except for tree cutting), the applicant shall hold a "project staging" meeting with the contractor and surrounding property owners. All abutting property owners and any property owner that utilizes Green Street for access shall be notified of the meeting by mail at least two (2) weeks before it is held. The meeting may be conducted at the project site or may, in the event of public health concerns, be conducted via a video and audio-conferencing service allowing full participation by those property owners to be noticed pursuant to this provision. The purpose of this meeting shall be to inform surrounding property owners of construction related activities and timetables associated with construction and project related details that will affect these surrounding property owners and those who utilize Green Street.

23. Prior to commencement of any site work or construction activity, a site visit shall be conducted with the applicant, construction manager, Building Inspector, Town Engineer, and Town Planner. Prior to the site visit, all erosion and sedimentation controls shall be properly installed by the applicant and the limits of disturbance shall be staked by a NYS Licensed Land Surveyor and a construction fence installed along said limits.

Conditions to be Satisfied Purine Construction:

24. The sequence of construction shall be consistent with that specified on the Site Development Plans, unless due to unforeseen circumstances not currently anticipated, in which event the Town Engineer and Building Inspector shall be empowered to grant modifications to the sequence of construction.

25. All proposed retaining walls more than four (4) feet in height shall be fully designed by a New York State Licensed Professional Engineer and to the satisfaction of the Building

Inspector. Design drawings, details, and calculations shall be submitted to the Town Engineer and Building Inspector for review.

26. Prior to the issuance of a Building Permit for the showroom building, the applicant shall provide construction details, including specified plant material, associated with the "green wall" proposed in connection with the parking structure. Said detail shall be approved by the Building Inspector and the Town's Professional Consultants.

27. All development activities shall be completed in accordance with the approved Site Development Plans, subject to potential, non-substantive "field changes". For any reason, should modification to these plans be deemed necessary, the applicant shall immediately contact the Town's Professional Consultants and Building Inspector to review same and to determine if Amended Site Plan Approval is required. Any change to the construction details approved as part of the Site Development Plan shall be reviewed and approved by the Town's Professional Consultants and/or the Building Inspector, as applicable.

28. As required by the NYSDEC, all tree removal must be conducted between November 1st and March 31st (unless otherwise approved by the NYSDEC).

29. The applicant shall employ the services of a qualified inspector, as defined by the SPDES General Permit for Stormwater Discharges (GP-0-20-001), to inspect all erosion and sediment control practices to ensure integrity and effectiveness, all post-construction stormwater management practices to ensure that they are constructed in conformance with the SWPPP, all areas of disturbance that have not achieved final stabilization and all points of discharge from the subject property. Reports, which shall be prepared in conformance with GP-0-20-001, shall be submitted on a weekly basis to the Planning Board Administrator and Town Engineer.

30. The applicant shall coordinate directly with the GBFD throughout construction to ensure that any fire safety and/or fire protections concerns are addressed. The GBFD shall be contacted and shall review/approve the final location of the underground fire storage tank, hydrants, and any Fire Department connections to either the tank, building or sprinkler system.

31. The applicant shall abide by the requirements of Chapter 160, Noise, of the Town Code. Construction-related activities shall be conducted between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday. The applicant shall take measures to limit the use of pile drivers, pneumatic hammers, gasoline- or electric-powered saws and/or heavy mechanical apparatus or equipment between the hours of 7 a.m. to 9 a.m. and 5 p.m. to 7 p.m. on Saturdays.

32. Construction access shall be from NYS Route 22, unless otherwise authorized by the Town Engineer (see Conditions #39 - #42).

33. Construction-related exterior lighting and generators shall be turned off during non-working hours.

34. During construction, the Town's Professional Consultants may conduct site inspections, as necessary, to determine compliance with the provisions of this Resolution and the approved Site Development Plans.

35. The Town Engineer shall be notified prior to the commencement of work, prior to the backfilling of any underground stormwater management practices, and prior to the installation of pavement.

36. Construction activities shall be supervised by a NYS Licensed Professional Engineer.

37. If blasting is determined to be required, the applicant shall obtain a Blasting Permit from the Building Inspector pursuant to Section 92-18 of the Town Code. In addition, before blasting is undertaken, a blasting protocol shall be submitted by the applicant for review and approval by the Building Inspector and Town Engineer. The protocol shall, at a minimum, provide for a pre-blast survey of the site and of structures within a five hundred (500) foot radius of the site. The protocol shall identify the on-site representative who will be present during blasting operations, set forth details as to the scope and timing of blasting, and describe a monitoring plan to be utilized during all blasting operations.

38. A copy of this Resolution and approved Site Development Plans shall be kept on site at all times.

Conditions Relative to the Use of Green Street and Anderson Lane During Construction:

39. The use of Green Street and Anderson Lane during construction and for construction equipment access shall be minimized to the maximum extent practicable.

40. Two-way traffic on all public roads shall be maintained throughout the duration of construction, unless partial road closures are necessary and are previously approved by the Town Highway Superintendent with all appropriate flaggers and signage provided.

41. No machinery, equipment, or vehicles shall be parked or stored within any Town right-of-way outside the hours of operation.

42. Signs reading "No Construction Vehicles Beyond This Point" shall be installed at points where private driveways intersect the Town right-of-way.

Conditions to be Satisfied Prior to the Issuance of a Certificate of Occupancy:

43. No Certificate of Occupancy shall issue until all proposed improvements, both site and building-related, are complete to the satisfaction of the Building Inspector and the Town's consultants.

44. The applicant shall obtain and submit all applicable certificates of compliance from the NYSDOT, WCHD, NYCDEP or any other regulatory agency having jurisdiction (to the extent said agencies require issuance of same).

45. Any damage to Green Street caused by construction-related activities shall be repaired by the applicant at its sole expense, to the satisfaction of the Town Highway Superintendent and Town Engineer.

46. Prior to the issuance of a Certificate of Occupancy, the underground water storage tank shall be filled with water and tested by the GBFD. All standpipe, water level gauges, and connections/fittings shall be to the satisfaction of the GBFD. The applicant shall work directly with the GBFD to ensure that the tank's installation is completed to its satisfaction. The applicant shall submit correspondence from the Goldens Bridge Fire Department identifying that the tank has been installed and is working to its satisfaction.

47. The applicant shall demonstrate that it has installed a gray water reclamation system, as proposed, and that this system is capturing gray water from vehicle washing and sinks.

48. Prior to the issuance of a Certificate of Occupancy, an as-built map depicting the planted material (within the subject property and within the Green Street right-of-way) shall be submitted to the Planning Board and Building Inspector.

49. Following the installation of all proposed plant material, the applicant agrees to install additional trees and shrubs on the subject property or within the Town right-of-way, to further screen the facility from adjacent and nearby residential uses. The location, quantity, specie type and size of additional plantings shall be to the satisfaction of the Town's Consulting Professionals and shall be reasonable and justified and shall cost no more than $10,000.00 (materials and labor).

50. Prior to the issuance of a Certificate of Occupancy, the applicant shall submit an as-built survey, signed and sealed by a NYS Licensed Land Surveyor and Professional Engineer, demonstrating compliance with the approved Site Development Plan. This survey shall be prepared to the satisfaction of the Town Engineer and Building Inspector.

51. Prior to the issuance of a Certificate of Occupancy, the applicant shall submit written certification by a NYS Professional Engineer that all stormwater management practices and associated improvements have been installed in conformance with the approved Site Development Plans and are functioning properly.

52. The Building Inspector and Town's consultants shall conduct a final site visit to determine conformance with the approved Site Development Plans and this Resolution. A final inspection report shall be prepared by the Town Consulting Engineer.

53. The applicant is responsible for completing all required landscaping prior to the issuance of the final Certificate of Occupancy related to the project. In the event that the request for a Certificate of Occupancy is made outside of the growing season and this condition cannot be satisfied due to weather conditions, the applicant may elect to establish a landscaping bond (8-month maximum expiration date), or other form of security found acceptable to the Planning Board Attorney, for the full plant and installation costs (plus 10% contingency), all to the satisfaction of the Town Engineer and Planning Board Attorney. Prior to the issuance of a certificate of occupancy or the release of the bond, an as-built planting plan shall be prepared to the satisfaction of the Town's consultants and submitted to the Planning Board.

54. Following completion and stabilization of all land construction activities, the owner/operator shall submit a completed Notice of Termination (NOT) to the NYSDEC, Division of Water and the Planning Board Administrator.

55. The applicant shall pay to the Town of Lewisboro, by certified check, all outstanding professional review fees.

Other Conditions:

56. The applicant is responsible for the implementation of all plans and documents referenced herein.

57. All on-site infrastructure, utilities, facilities and systems shall be privately owned and maintained by the applicant.

58. Yearly inspections of the landscaping installed within the Green Street right-of-way shall be conducted by the applicant and yearly written reports shall be submitted to the Planning Board. Monitoring reports shall be submitted to the Planning Board no later than December 1st of each year and shall be based upon site reconnaissance conducted by a Landscape Architect or Certified Arborist prior to October 15th. The first year of monitoring shall be the first year that the landscaping has completed a full growing season. For monitoring purposes, a growing season starts no later than May 31st. Yearly reports shall itemize the specie type and quantity of all originally planted material and shall identify whether the tree or shrub is currently healthy/living or dead/diseased/missing. Each year, for a total of three (3) years, the applicant shall be responsible for replacing, in kind, any tree, shrub or other planting that does not survive, at his/her sole expense. Should the applicant fail to replace dead, diseased, or missing landscaping, the Town shall utilize the performance bond to carry out same (see

Condition #7). This condition shall be in addition to any maintenance responsibilities of the applicant as specified in the License Agreement made between the applicant and the Town of Lewisboro Town Board.

59. Landscaping shall be maintained for the life of the facility and in accordance with the approved landscaping plan. The applicant shall be responsible for any re-grading, replanting, or irrigation necessary to ensure that the landscaping is installed and maintained in accordance with the approved plan.

60. The applicant shall be responsible for proper irrigation of trees, shrubs and herbaceous plantings shown on the landscaping and mitigations plans. The applicant shall initiate an irrigation program immediately following plant installation through the month of November and shall resume watering throughout an additional full growing season.

61. The installation or use of vehicle stackers beyond that illustrated on the Site Development Plan is prohibited. The motor used to power the vehicle stackers shall be installed within the service building.

62. The underground water storage tank and associated connections, to be used as a water source for fire suppression, shall be owned and maintained by the applicant. The applicant shall ensure that the tank is filled with water and is in good operating condition at all times. The applicant is responsible for conducting annual flow tests/inspections of the tank and its connections and annual flow test/inspection reports shall be provided to the GBFD and Building Department within 30 days of said test/inspection. The GBFD shall have the right, but not the obligation, to inspect the tank and utilize the tank for training purposes with a minimum of 48 hours' notice given to the applicant.

63. The applicant shall be responsible for ensuring that parking spaces are utilized in a manner consistent with the approved Site Development Plan and the requirements of this resolution.

64. The applicant shall comply with Section 220-60 of the Zoning Code which regulates noise levels as taken from the property line.

65. All signage, if any, shall be fully compliant with Chapter 185, Signs, of the Town Code of the Town of Lewisboro, except to the extent signage variances are granted by the Zoning Board of Appeals. No signs, lights or other materials or devices, except as approved and detailed on the approved plans, shall be permitted to be supported, hung, flown, or otherwise attached to site buildings, structures or the site grounds. The applicant shall obtain any and all approvals from the ACARC relating to signage.

66. No outdoor vehicle washing is permitted. Car wash shampoo to be utilized shall be non-toxic and biodegradable. An automated vehicle washing system is not permitted unless approved by the Planning Board.

67. Vehicle delivery trucks shall unload in front of the showroom building; vehicle delivery trucks shall not enter the upper parking areas. The parking of a delivery truck/car carrier and/or the load and unloading of same is prohibited within any public right-of-way.

68. The storage and display of vehicles shall only be conducted on the subject property and in locations identified on the Site Development Plan.

69. The applicant is responsible for operating and maintaining exterior lighting in compliance with the approved Lighting Plan (Sheet C-600). No modifications to this plan, and no additional exterior light fixtures shall be installed, without prior approval of the Planning Board.

70. Interior lighting, utilized overnight and during non-operating hours, shall be limited to interior vehicle display areas, as represented by the applicant; said interior vehicles display lighting shall be dimmed by 25% of its normal output. All other interior lighting which is visible from off-site shall be turned off during non-operating hours. Exterior brand signage may remain lighted overnight and during non-operating hours.

71. All proposed stormwater infrastructure shall be maintained by the applicant in accordance with the maintenance procedures specified on the Site Development Plans and within the SWPPP.

72. The continued validity of a Certificate of Occupancy shall be subject to continued conformance with the approved Site Development Plans and the conditions of this Resolution.

73. All commitments, conditions and requirements set forth in this Resolution shall be binding upon the applicant, its agents, affiliates, transferees, successors and assigns.

ADOPTION OF RESOLUTION

WHEREUPON, the Resolution herein was declared adopted by the Planning Board of the Town of Lewisboro as follows:

The motion was moved by: **Jerome Kerner**

The motion was seconded by: **Richard Sklarin**

The vote was as follows:

JANET ANDERSEN	**AYE**
JEROME KERNER	**AYE**
GREG LASORSA	**AYE**
RICHARD SKLARIN	**AYE**
MAUREEN MAGUIRE	**AYE**

Janet E Andersen

Janet Andersen, Chair **March 17, 2020**

HTW | HOCHERMAN TORTORELLA & WEKSTEIN LLP

Attorneys at Law
Geraldine N. Tortorella (NY, CT)
Adam L. Wekstein (NY)
Noelle C. Wolfson (NY, CT)

Henry M. Hocherman, Retired

December 16, 2022

Via Electronic Mail (Planning@lewisborogov.com) and First Class Mail

Hon. Janet Andersen, Chairwoman
and Members of the Planning Board
Town of Lewisboro
79 Bouton Road
South Salem, New York 10590

Re: Conditional Final Subdivision Approval for the Silvermine Preserve Subdivision
Silvermine Drive and Lockwood Road, Town of Lewisboro
Tax Identification Nos.: Sheet 48, Block 10057, Lot 15 and
Sheet 51, Block 10057, Lot 104
First Request for Extension

Dear Chairwoman Andersen and Members of the Planning Board:

By Resolution dated August 16, 2022 (and stamped "Received" by the Town Clerk on August 17, 2022) (the "Resolution"), your Board granted Conditional Final Subdivision Plat (the "Final Approval"), Wetland Permit and Stormwater Permit Approvals (collectively, the "Approvals") for the Silvermine Preserve Subdivision (the "Subdivision"). Final Approval is scheduled to expire on February 13, 2023 (the first day after the 180th day following the date of the Resolution) unless the conditions are certified as complete and/or construction of the Subdivision Road and other common infrastructure is completed. (*See* Lewisboro Subdivision Regulations Section 195-16(L), the sixth "BE IT FURTHER RESOLVED THAT" paragraph on page 7 of the Resolution and Condition Number 28 in the Resolution.) As we explained when the Approvals were granted, our client plans to construct the Subdivision Road and install the infrastructure before filing the Plat. Construction has not yet commenced and, therefore, the Road and infrastructure, as well as the conditions, will not be completed before the February 13th expiration date. For this reason, we are writing to request an extension of Final Approval.

Since the Approvals were granted, our client's project team has been working on modifications to the Plat, Construction Plans and Mitigation Planting Plans to comply with certain of the conditions of the Approvals; that effort is ongoing. In addition, our client has been trying to coordinate utility service for the Subdivision with New York State Electric & Gas ("NYSEG"). Regrettably, that process has been slow. Nevertheless, our client and its electrician continue to pursue NYSEG.

Under the Lewisboro Subdivision Regulations Section 195-16(L), the Board has the authority to grant extensions of Final Approval in 90-day increments. We are seeking a minimum extension of 90 days, to and including May 15, 2023. However, given the status of construction and the conditions at this time and the fact that we are entering the winter months, there is a reasonable probability that construction of the infrastructure will not be completed by May 15th and, therefore, we would appreciate it if the Board would consider

simultaneously granting a second 90-day extension, to and including August 13, 2023. Should our client be ready to file the Plat before the later date, the extension will not foreclose it from doing so.

Kindly schedule this request for extensions for consideration and action at the Board's January 17, 2023 meeting and let us know if an appearance is requested or required. Thank you in advance for your courtesy and cooperation. Best wishes for happy, healthy and relaxing Holidays.

Respectfully yours,

Hocherman Tortorella & Wekstein, LLP

By: Geraldine N. Tortorella

GNT:hc
cc: *(via electronic mail)*
Jan Johannessen, AICP
Joseph Cermele, P.E.
Judson Siebert, Esq.
Timothy Allen, P.E.
Beth Evans, PWS
Terry Bergendorff Collins, L.S.
Mr. Eric Moss
Ms. Sue Haft

S:\# MATTERS\Moss 0056\Lewisboro (Silvermine) 002\Letters\Planning Board First Ext Rqst Final App 12-16-2022.docx

Ciorsdan Conran

From: Stacy McKelvey <stacy.marie.mckelvey@gmail.com>
Sent: Thursday, June 16, 2022 12:02 PM
To: Ciorsdan Conran
Subject: Re: Inquiry

Hello Ciorsdan,

Thank you for taking the time to speak with me on the phone! I am very grateful for your help and guidance.

As discussed, below are the questions I request be answered in advance of the public hearing so I can prepare a statement based on an accurate understanding of the Lewisboro Town Code. I would like to enter this email into official records to be reviewed at the June 21st Public Hearing.

1. My first concern is why the Silvermine Preserve is using R-1A space requirements when it is in an R-2A zoning area. I was informed that is because it is considered a "Cluster Development" and that special rules apply. From **Article XI § 220-88. Development standards**: "***Density. A cluster development shall result in a permitted number of building lots or dwelling units which shall in no case exceed the number which could be permitted, in the Planning Board's judgment, if the land were subdivided in lots conforming to the minimum lot size and density requirements of the zoning district or districts in which such land is situated and conforming to all other applicable requirements.***" I interpret this to mean that the zoning requirements must remain in tact. How or why are they allowed to be changed without rezoning?
2. If there is law backing the ability of Cluster Developments to bend zoning requirements (i.e. response to question 1), what was the rationale the Planning Board, etc. gave for approving this change? Is this change still valid considering my note in question 4 below?
3. Am I understanding correctly that the building developers are petitioning to have six of the thirteen properties (Lots 1, 2, 3, 9, 10, and 11) violate the most minimal R-1A code? Has that been approved or is it still pending? The rationale put forward in 'Note A' on page 4 of the "silvermine_ph_materials_062122_1.pdf" document states the variance is due to the need for "wetland buffers." However, **§ 220-74. Zoning Board of Appeals under D.2 states**: "***No variation or adjustment in the strict application of any provisions of this chapter shall be granted by the Board of Appeals unless it finds that: (a) The hardship is due to unique circumstances and not to general conditions in the neighborhood***." Are not the wetlands, which are everywhere and part of the exigencies of building in this area for everyone, considered the neighborhood's "general conditions?" Does it make sense to see Note A as clever rhetoric to cram more lots into a small space? If developers cannot make their plan work according to code, shouldn't the response be to *reduce* the number of lots so they can fit?
4. Most of the variations seem to stem from the Preliminary Subdivision Plat approved on April 18, 2017: that was more than five years ago. Per **§ 195-15. Preparation and review of preliminary plat and construction plans, J:** "***Expiration of approval. Approval of a preliminary application shall expire six months from the date of approval if no application for final approval is submitted within such period, except where such time limit is extended by the Planning Board after an application for an extension is submitted to the Planning Board. In general, the Planning Board will not grant extensions for a period extending beyond 18 months after the date of approval of the preliminary application.***" How are the developers able to submit a final plat when their preliminary plat must certainly be expired?
5. How does the Planning Board see their decisions of allowing only 1 acre per dwelling upholding the spirit of the Town of Lewiboro Master Plan (which, according to **§ 195-3. General policy. C** should be considered when subdividing and developing land), that states on pg 77 in the section on 1 housing unit per 2 acres policy "***on certain lands, clustering of units may be desirable; however, the net density should remain at the low density level [defined as 1 dwelling per 2 acres]. A minimum lot area requirement of one acre for undeveloped land is only consistent with this density recommendation within areas now substantially developed at that higher***

density level and on land located in close proximity to a hamlet center where such a density level is supported by the development limitations information?" Moreover, how does the Planning Board see its decisions in light of the overall spirit of that plan, which begins in its very first lines with "***The rolling hills and numerous lakes of Lewisboro along with heavily wooded areas- and scattered open fields crossed by streams provide an exceptional, and relatively rural, environment for the Town's residents... But continued development and the concentration of population in small areas lacking central water or sanitary sewer systems is beginning to alter the balance that had long been maintained between the land's ability to sustain development and the level of development. The challenge faced by the Town over the past twenty years has been the preservation of Lewisboro as a special place to live with a sound ecological system?***"

6. The Lewisboro Master Plan references a **Development Limitations Summary** that I am unable to locate. Can that please be shared?
7. Considering the fragility of our wetlands and wildlife populations, what evaluations were conducted on the environmental/wildlife impact of such a development, especially at the density proposed? Has any assessment been conducted since the initial application in 2017? If not, shouldn't there be considering how rapidly conditions change and that that application was over five years ago?

As my questions point towards, I feel the proposed development violates the spirit of our town code and advocate for requiring any development plan to conform with our R-2A zoning guidelines and be made in light of any environmental concerns identified by authorities.

With gratitude,
Stacy

On Thu, Jun 16, 2022 at 11:01 AM Ciorsdan Conran <Planning@lewisborogov.onmicrosoft.com> wrote:

Hi Stacy-

Here's the section of the Town Code that speaks to cluster development.

Town of Lewisboro, NY / Part II: General Legislation / Zoning

Article XI

Cluster Development

https://ecode360.com/15577528

Also, attached are the minutes from the Town Board meeting where they granted the Planning Board authority to approve a cluster development at Silvermine.

Ciorsdan

From: Stacy McKelvey <stacy.marie.mckelvey@gmail.com>
Sent: Wednesday, June 15, 2022 5:12 PM
To: planning@lewisborogov.com
Subject: Inquiry

Hello,

I hope this message finds you well. I recently reviewed this proposal for a 13-house subdivision in my neighborhood: https://www.lewisborogov.com/sites/default/files/fileattachments/planning_board/page/20306/silvermine_ph_materials_062122_1.pdf

We are part of a Residential Two-Acre (R-2A) district, but the proposal includes many lots significantly smaller. The justification is that the lots were decreased in size to protect existing stone walls and wetlands. That sounds like an excuse to cram more houses into a smaller area. If there are natural obstructions, shouldn't they instead rework the plan so there are fewer parcels? Are there any resources to which you can provide me on the R-2A district guidelines and when and why such guidelines may be violated?

Thank you,

Stacy

-- 5 Serenity Place, South Salem

Stacy McKelvey

(*they/she; Mx*)

Justice Writing LLC

Writing & Grants Consultant

917.935.2305

--
Stacy McKelvey
(*they/she; Mx*)
Justice Writing LLC
Writing & Grants Consultant

Ciorsdan Conran

From: David Bull <david@fineartconservation.net>
Sent: Friday, June 17, 2022 9:15 AM
To: planning@lewisborogov.com
Subject: Proposed Development

Ciorsdan Conran,
Planning Board Administrator

Proposed Development between Silvermine Preserve and Lockwood Road, Cal #03-13POB,#03-16WP,#19-21SW.

I wish to inform the Planning Board of the Town of Lewisborough that I object very strongly to the above proposed development. This was submitted before in 2016 and received such strong objections from the concerned neighbors, that it was refused.

Since then, there have been no improvements or changes in the neighborhood with the already fragile environment and services. To add 13 homes on 58 acres of land would be very destructive to the vulnerable existing environment, services and homes.

I should also point out that the entrance and exit to this property is on a particularly hazardous bend on Lockwood Road.

As a neighbor who will be very much affected by the development, I would urge you to decline permission for this development.

David Bull
10057-68
57 Lockwood Road

NOTICE OF OBJECTION to the development of the property between Silvermine Drive and Lockwood Road in South Salem, New York

Planning Board
Town of Lewisboro

ATTN: Janet Andersen
Chair

June, 17, 2022

In response to the certified letter from the Town of Lewisboro, dated May 25, 2022, and as homeowners of the property at 57 Lockwood Road, we are **opposed** to the development of approximately 58 acres of land located between Silvermine Drive and Lockwood Road.

The construction of a 13-lot cluster subdivision on this site will permanently alter the character of the existing environment for residents and an already fragile habitat for wildlife will be destroyed.

Wetlands will be ruined and replaced by septic tanks as the overdevelopment of land replaces a delicate existing ecosystem.

Aside from the construction, the introduction of so many residents to the neighborhood will increase refuse, noise and pollution. Currently, throughout the year, residents of this community suffer from repeated electrical black outs. The roads are in terrible condition, making travel during the winter months difficult. The addition of houses with pools will put added strain on an already weak infrastructure.

We have reviewed what plans were available to us for this project, Silvermine Preserve.

Teresa Longyear

David Bull

Teresa Longyear

David Bull

57 LOCKWOOD ROAD, SOUTH SALEM NY 10590
212 810 1538
teresa@fineartconservation.net

Ciorsdan Conran

From:	Rhonda Shaw <rhonda.jshaw@gmail.com>
Sent:	Tuesday, June 21, 2022 12:27 AM
To:	planning@lewisborogov.com
Cc:	Rhonda Shaw; Leslie Virany
Subject:	ATTN: TOWN OF LEWISBORO PLANNING BOARD - PUBLIC HEARING - NOTICE OF OBJECTION

NOTICE OF OBJECTION to the development of the property between Silvermine Drive and Lockwood Road consisting of approximately 57.976 acres and the subject of the Public Hearing scheduled for June 21, 2022 at 7:30 pm.

Planning Board
Town of Lewisboro

ATTN: Janet Andersen, Chair

In response to the certified letter from the Town of Lewisboro, dated May 25, 2022, and as the homeowner of the property at 18 Silvermine Drive in South Salem, NY, I object to the application.

A summary of my grounds for objection includes the following points:

- Our house borders on plot #1, which runs along our fence line that looks into our backyard and pool. It didn't have to be designed that way given the space that they had, and I objected to the layout originally. With the volumes of people who would be able to walk along that border area and intrude on our privacy, this violates the very reason why we moved to Lewisboro and specifically to this house in 1989. **We have paid high taxes to compensate for the current 2 - 4 acre density and now this development threatens to take our privacy away, adversely impact our quality of life, change the character of our neighborhood and threaten the fragile local ecosystem.**
- It is unclear whether the original application and any unexpired approvals (if any) have updated supporting analyses (such as environmental testing) that consider the current proposed density of construction with regards to the availability and integrity of the water table, number of septic systems (especially with area wetlands), Lockwood Road and area road safety (e.g., no shoulders) and increased traffic volumes (e.g., with the new norm of increased delivery services per household), impact on wildlife, etc.
- The proposed construction would be ongoing for years (especially if houses are to be built on demand) requiring the removal of the existing forest (if even allowed). Given the density of the cluster development on the proposed 1 acre or less sized lots, this volume of construction will create significant noise and traffic disturbances in excess of what would have been experienced with 2 - 4 acre zoning. The serenity of our homes (and especially with the new norm of working from home) will be upended for years.
- How will the Conservancy (public) "park" address the reality (and costs) of where visitors would park their vehicles to access the walking trails, handle visitors' dogs (including enforcing cleaning up after them and keeping them on leashes), foster the collection and timely disposal of visitors' garbage, enforce appropriate "park" hours, and maintain this "park"? Importantly, how many of our properties will be subject to visitors' curiosity (or worse?)

Thank you.

Kind regards,
Rhonda Shaw
Leslie Virany (husband)

Ciorsdan Conran

From: @john Wille <jwille30@gmail.com>
Sent: Tuesday, June 21, 2022 3:43 PM
To: planning@lewisborogov.com
Subject: Silvermine Prserve

Dear Ciorsdan Conran:

The Planning Board represents the interest of the community. As such, it needs to consider the wishes of the people who live closest to this proposed cluster development. The current zoning regulation calls for 2 acre zoning, which need to be adhered to. Allowing this cluster zoning opens the door to people petitioning the board to sub-divide their properties. Where does it stop?

According to the table of the Zoning Conformance: Conservation Subdivision, the **REQUIRED ACTUAL LOT AREA IS a MINIMUM OF 1 ACRE.** Lots #1, #2, #3, #9, #10 and #11 are all less than 1 acre. What is the point of a **REQUIRED** minimum acreage when half of the lots are non-conforming? This is another accommodation the builder is seeking to squeeze in more houses and make more money at the expense of the environment and the neighborhood.

In addition, the proposed access road is downright dangerous. It will come out on a blind curve. It will surely create a situation where accidents will occur on a daily basis.

The proposed walking trails are a joke. In the first place, where are people going to park, if they decide to drive here? On Lockwood Road? Again this will only invite more accidents. Do you really think that people who are going to be paying $1 million+ for these houses, are going to tolerate strangers walking by their back yards? The walking trails will be abandoned in no time at all, if built in the first place.

It is about time for the planning board to consider the best interest of the people who reside on Lockwood Road and not set a precedent for the rest of the town. **Turn down the proposed cluster development.**

Sincerely,

Nancy & John Wille

109 Lockwood

6/24/22

I attended the 6/21/2022 evening's Zoom public forum about the Silvermine Preserve. Why did you have this meeting when the outcome was a foregone conclusion? The public was told that the Board can't/won't change their temporary approval.

Following are my questions/comments;

It was disclosed, during the meeting, that it was the Planning Board that convinced the builder to build cluster housing vs going the conventional route, i.e. build on 2 acre lots. Since when is the Planning Board in the consulting business? It is the Planning Board's responsibility to look out for the home owners of the town, not advise builders on the best way to make money. Members of the board fast talked the public; Mr. Kerner stated "the builder can make more money building the conventional way by building on two acres". The builder is always going to pass his costs onto the potential home buyers. Since Mr. Kerner is an architect, his presence on the Board presents a potential conflict of interest.

Speaking of cost, let's estimate what these houses will need to sell for to make his project profitable. Mr. Moss builds high-end custom homes. These homes will be out of character with the neighborhood. Mr. Moss had the property up for sale for $3,000,000 and was reduced to $2,600,000 before he took it off the market. Listed below is a rough estimate of what the proposed homes can cost;

Land was originally for sale			$ 3,000,000
Land Reduced to			2,600,000
Estimated cost for road / electricity			1,000,000
Total Start-up Cost			3,600,000
House Size - square feet		4,000	
Cost per square foot to build	$	320.00	1,280,000
Start up cost per house (3,600,000 / 13)			276,923
Cost per house			1,556,923
Profit Margin		22%	343,077
Selling Price per house			**$ 1,900,000**

The houses on Lockwood Road, closest to this proposed development, range between $500,000 and $700,000 in value. No prospective home buyer of Silvermine Preserve will spend that kind of money to live in a neighborhood where the existing houses are at least one third of the price that they will pay for their new home. If the builder proceeds with this project, he may very well wind up putting in a private road and no houses. This would become a haven for illicit activity and would require frequent police presence.

The Board brought up the fact that all kinds of studies (environmental, water, traffic etc.) had been performed, and they all passed. The traffic patterns, since this traffic study (circa 2016) was performed, have drastically changed. Today, people are working from home; they are prone to run out for errands during the day, thus increasing traffic. The development calls for 13 homes, assuming two cars per home. That's at least 52 trips per day. There will be increased delivery and pick-up trucks. There has been a substantial increase in Connecticut cars on Lockwood Road in the last few years. They are using

this road as a shortcut. If each new house has an average of 2 children, that means 26 children that will have to be picked up by at least 2 school buses, one for elementary students and the other for middle/high school students. Where are these children going to wait **safely** for the school buses? Since the school buses cannot travel down private roads, they will need to stop near the entrance of the proposed private road, which will be on a blind curve. **Again accidents waiting to happen. At the very least a new traffic study needs to be undertaken since the original study is outdated.**

How can the board approve this project when not all the details are known? The builder has submitted his plans. What about the Westchester Land Trust? They have not submitted any plans for the walking trails. Where and when will these trails be constructed? How close will they be to the bordering properties? Most of this land is unbuildable due to large rock formations and wet lands. They may find it to be cost prohibitive to create the envisioned walking trails.

The bottom line is that more studies, resulting in more information, are needed before this proposed project can proceed, including plans from the Westchester Land Trust.

John Wille
109 Lockwood Road

Ciorsdan Conran

From: Douglas Moore <djmoore3@gmail.com>
Sent: Sunday, June 26, 2022 11:48 AM
To: planning@lewisborogov.com
Cc: Dana W. Moore
Subject: Silvermine Preserve public hearing

We, Doug and Dana Moore, are residents at 25 Silvermine Dr, which is located at the end of the cul de sac of Silvermine Dr and is adjacent to the proposed Silvermine Preserve development.

We wanted to provide a few comments following the public hearing that was held on June 21, 2022.

1. We are comfortable with the proposed subdivision including transfer of 40+ acres to the Westchester Land Trust, which will preserve the wild ecosystem that currently thrives there. However, we would request that the Planning Board require that any trail system that could be established in the preserve area not be allowed to come within approximately 300 feet of the property boundary of any existing homes on Silvermine Dr. We understand it is not the Westchester Land Trust's intent to build trails that intrude on homes, but feel it is important to establish a formal regulation as a condition of approval.

2. We understand the requirement to build a storm water basin at the end of Silvermine Dr and have seen preliminary plans which outline the structure. However, we would like to know how many (if any) trees will need to be removed, what type of equipment will be used to excavate and construct the facility, how this equipment will access the site (will equipment need to drive over our or our neighbors' land?), what type of permanent access road will need to be constructed to allow crews to perform maintenance on the facility, what type of maintenance is expected to be needed (e.g. leaf removal, pipe replacements?), and what schedule maintenance will follow.

3. We do not want any "No Parking" signs in front of our house. We do not think these will be necessary, especially if the proposed trail system is sufficiently set back from Silvermine Dr.

Thank you,
Doug and Dana Moore
25 Silvermine Dr
South Salem, NY 10590
914-588-3299

Sent from my iPad

Ronald Frumkes
5 Reservoir Road
South Salem, NY 10590

Planning Board
Town of Lewisboro
79 Bouton Road
South Salem, NY 10590

June 27, 2022

Ref: Silvermine Preserve

Dear Members of the Planning Board:

I attended Tuesday evening's Zoom public forum on the Silvermine Preserve; I would like to share my thoughts on this project with the Planning Board.

The donation to the Land Trust is a joke. This part of the proposal is nothing more than giving away useless boulder infested land to say nothing about wetlands. The rhetoric sounds good, but in reality is nothing more than a false PR statement!! The land going to the trust is unusable!!! Possibly rock climbing or sloshing around on wet muddy land!! Another concern is water. How can one say there is no problem? When the Oak Ridge condos were built there was no problem. However that has changed!!! What guarantee do I get that my well will not be affected, and when it is who bears the expense? How about an escrow account to guarantee my well will not be not be harmed?

I understand that it was the Planning Board that convinced the builder to build cluster housing, as opposed to adhering to the R-2A Zoning law. It is not the Planning Board's job to save the builder from a bad investment.

We moved here almost 50 years ago for the rural character. Building 13 homes in a cluster formation is going to ruin the rural character for which Lewisboro is known. It is going to increase traffic. The development will include 13 homes, and assumes two cars per home. That portends multiple trips in and out all day. There will be increased delivery trucks, FedEx, UPS, Amazon, oil trucks, snow plows, septic trucks etc. School buses will need to stop at a dangerous curve to pick up the children. A new traffic study needs to be commissioned.

How can the board approve this project without knowing all the details? The Westchester Land Trust has not submitted any plans for the walking trails. Where will

these trails be constructed? How close will these trails be to the neighboring properties? Most of this land is unusable due to wet lands and large rock formations.

The builder's reputation precedes him. He is known to ignore rules and regulations and the Town's various Boards and Departments have let him get away with it by paying a small fine, without correcting the violation. I have been told that the builder demolished the house at 105 Lockwood Road, and his crew collapsed the foundation walls onto the foundation floor, added more debris on top and covered the whole pile with dirt.

I urge you to turn down the builder's request for permanent approval.

Sincerely,

Ciorsdan Conran

From: jerrya1@optonline.net
Sent: Saturday, July 2, 2022 3:07 PM
To: planning@lewisborogov.com
Subject: Comments for Silvermine Preserve

The June 30th Katonah Lewisboro Times article by Gino DeAngelis indicates that there will be a through road to Silvermine Drive. Either the plans I reviewed at the Planning Board are incorrect or something changed to the plans approved 4 years ago. I read in prior Board minutes that the walking trail would connect to Silvermine Drive. If Mr. DeAngelis is correct then the Board needs to explain how this change was communicated because we are not aware of such a significant change.

If Mr. DeAngelis meant to write that a walking trail would connect through to Silvermine Drive then that was included in prior Board minutes. My concern expressed at the last Board meeting was a desire to see how this trail will relate to properties on Silvermine Drive. As Janet commented the Board needs to see a drawing for the trail and obtain a legal opinion.

I would appreciate a Board clarification regarding Mr. DeAngelis's aforementioned statement.

Jerome Argust
24 Silvermine

Ciorsdan Conran

From:	kelvin.chong@optimum.net
Sent:	Sunday, July 3, 2022 10:58 PM
To:	planning@lewisborogov.com
Subject:	NOTICE OF OBJECTION to the development of the property between Silvermine Drive and Lockwood Rd in South Salem, New York.

Planning Board- Town of Lewisboro
79 Bouton Road
South Salem, NY 10590

July 3, 2022

Attention: Ciorsdan Conran & Janet Anderson- Chair

RE: NOTICE OF OBJECTION to the development of the property between Silvermine Drive and Lockwood Rd in South Salem, New York.

I am the homeowners of the property at 7 Reservoir Rd., as a local resident living next to the sites of the proposed development, I am of the view that the proposed developments will have a serious negative impact on our standard of living. Our specific objections are as follows:

1) Lewisboro's wetlands are rich with many different species of amphibians and reptiles according to the Wildlife Conservation Society. This development is on a regulated wetlands and densely vegetated riverbank. The above sites are host to the different species of turtles, salamanders, bats, owls, hawks and a huge array of wildlife that will perish as a result of the proposed development. I would ask if you can confirmed that the Box, Spotted and Wood turtles and Jefferson and Marbled salamanders are becoming very rare and are not found on these sites. This development of 13 lot cluster might further endangerment of the afore mentioned turtles and salamanders. I therefore urge the Planning Board to carry out a thorough, independent and transparent assessment to make sure we will not wipe out any these endangered species.

2) I would also like to know if the land can accommodate 13 septic systems. We will share the drainage stream coming from that area and have already seen a change in the water since houses were built at the end of Silvermine Drive. I am worried that the land will absorb the effluent and will end up polluting the water.

3) This development will drastically increase traffic and safety of pedestrians, particularly local school children. This will impact the local noise and air quality.

I sincerely hope that you will turn down the builder's request for the permanent approval and refuse the application of development on the proposed development sites.

Yours faithfully,

Kelvin Chong
7 Reservoir Rd, South Salem, NY 10590

Ciorsdan Conran

From: Peter Caratzas <peter.caratzas@gmail.com>
Sent: Tuesday, July 5, 2022 11:17 PM
To: planning@lewisborogov.com
Subject: SIlvermine Preserve Project

To the members of the Town of Lewisboro Planning Board:

My wife and I have lived at 16 Silvermine Dr. since 2008 and loved every aspect of the community. Our house borders the Silvermine Preserve project. As we are both technologists, we are employed to innovate and readily embrace change. We should be the last people to have reservations with this project; unfortunately, there are unanswered questions that concern us and we asking you to pause and reconsider this project.

Wetlands:

The east and south sides of our property lie within the wetland buffer zone. This area is wet from late fall through late spring with pooled water which flows under Silvermine Drive draining into the Silvermine River between Brown's and Scott's Reservoir. These wetlands encompass an area starting at 11 Silvermine Dr. and continuing to 21 Silvermine Dr and backing up to Wakeman Road. These vernal ponds host frogs, turtles, and even the occasional mallard. By the end of June, the ponds dry out and the land is soft and moist, but the standing water has drained away into the reservoirs. One of the less popular inhabitants of the wetlands is the mosquito. We have a mosquito population which blossoms in spring and subsides with the retreating waters. Due to this, sitting outside during the spring can be unbearable, but by the time summer comes and the swamps recede, the outdoors become quite pleasant as we are no longer attacked by the mosquitoes. Residents of the area are all well aware of how much effort the county and state dedicate to control mosquito population to stem the spread of diseases like West Nile Virus. Unfortunately, with this development we are concerned that these ponds will transform from seasonal wetlands to summer-long breeding havens disease carrying mosquitoes.

With the development of the properties, there will be 13 additional households drawing thousands of gallons of water daily from deep aquifer and discharging it just below the surface. Rainwater from roofs will be diverted away from the structures. Excited new homeowners will be inspired to nurture their lawns and gardens with gallons upon gallons of additional water which the will enrich with fertilizers and pesticides. All this water needs to go somewhere, and invariably will end up in the surrounding low-lying areas referenced above. We, as residents, are concerned that our beautiful property will become engulfed by a mosquito-infested algal moat.

Storm Water Treatment Facility:

In the meeting of 21 June, the spokesperson for the project indicated a storm water treatment facility at the end of Silvermine Dr. had yet to be designed but would be fairly straightforward (I am paraphrasing.) For my neighbors at the end of Silvermine Dr. who will need to endure daily construction activity and the constant eyesore of a physical plant, this is not unremarkable. How can this project be this far along and the builders have not provided necessary details to the neighbors who will be directly impacted by this activity?

Perhaps you can help us understand how the project can be this far along and key facilities have yet to be designed. Should we not be concerned that we may be surprised with an eyesore at the end of our street? Should we not be concerned that we will not be able to enjoy our yards when they become mosquito-infested swamps? If you look at the residents of Silvermine Dr. who are impacted by this development, we have all been residents of this area for over 10 years. Our children have attended the schools and we have been members of the community. Can we be afforded the same level of attention as the businessperson trying to maximize profit on a property that could not be developed profitably under current wetland laws? How does the Planning Board to ensure that our interests are protected equally to the developer's? Please remember that you are not impacted by your decision: we as the neighbors of this project are.

Sincerely,

Peter Caratzas

Ciorsdan Conran

From: Stacy McKelvey <stacy.marie.mckelvey@gmail.com>
Sent: Monday, July 18, 2022 11:00 AM
To: Ciorsdan Conran
Subject: Meeting Link

Dear Ciorsdan,

I hope you're well. Can you please send me the Zoom link for tomorrow's (7/19) Planning Board Meeting?

When preparing to send this email, I noticed the last email I composed was stuck in my drafts folder! Eek!

I am hoping you can still pass along it along for me to all relevant parties and include in the public record.

Dear Planning Board,

I received a copy of the Silvermine Preserve Conventional Plan. It is identical to the Cluster Development Plan (i.e. same number of plots, identical division of properties), except the land to be donated is instead allocated to each of the 12 parcels. The purpose of approving a Cluster Development is to provide some net benefit to the *town* and its stakeholders. If the two plans are identical, what benefit does the town receive? None. The only beneficiary is the building developers, who will ostensibly receive a very large (I'm guessing $2M) tax break for donating land, which, as is evident from the plat, is unusable anyway. The town residents have overwhelmingly come out against creating a preserve and establishing walking trails. As elected/appointed officials of government, the will of the people should be the primary consideration when making decisions--not a single land developer--especially when that will aligns with and complies with town code. The Cluster Development should not be approved.

Thank you for your time.

In gratitude,
Stacy

--
Stacy McKelvey
(*they/she; Mx*)
Justice Writing LLC
Writing & Grants Consultant
917.935.2305

Ciorsdan Conran

From: ray jenrayproducts.com <ray@jenrayproducts.com>
Sent: Wednesday, November 23, 2022 2:16 PM
To: Ciorsdan Conran; JFarrell@lewisborogov.com
Cc: @john Wille; Tony Goncalves; Rhonda Shaw
Subject: RE: Silvermine Preserve

In reference to John Wille's concerns and mine as well. The builder has parked a office work trailer close to my property line, its been their for a few months now and no activity. Are they starting construction soon? If so , what are the laws in our town for placement of a construction trailers? This project can take several year of construction and I shouldn't have to look at this eye sore everyday nor do my neighbors. They have plenty of property to set it back so no one has to look at it while taking a walk in the neighborhood or me sitting on my deck.

Thank you for your reply

Regards

Ray D'Urso

Sent from Mail for Windows

From: @john Wille
Sent: Tuesday, November 22, 2022 10:34 AM
To: Ciorsdan Conran; JFarrell@lewisborogov.com
Cc: Tony Gonçalves; Rhonda Shaw; ray jenrayproducts.com
Subject: Silvermine Preserve

I am confused about the proposed Silvermine Preserve development. I hope that you can clarify the issue. Recently, I came across the attached listing for 105 Lockwood Road on Relator.com.

https://www.realtor.com/realestateandhomes-detail/M3288192397

At this time, only this property is for sale. If you recall, this 2 acre zoned lot was added after Eric Moss entered into an arrangement with the person who had started renovating the house on this property. The house was subsequently demolished.

I believe that when a builder gets approval to build a development, the first thing they are required to do is to build the access road and bring in the electricity. Is that not the case here?

Furthermore the listing states that the development will include walking/hiking trails. I thought the Westchester Land Trust had declined to build the walking/hiking trails. Please clarify.

Finally, the builder has moved a construction trailer onto the property; it is sitting next to the old driveway, and is in the buffer zone off the adjacent property. I thought the town had an ordinance prohibiting RV's from being parked in homeowners' driveways. Doesn't this trailer fall under this category? It is an eyesore to the neighborhood.

Thank you for your reply.

Regards,

RESOLUTION ADOPTED BY THE TOWN BOARD
OF THE TOWN OF LEWISBORO
AT A MEETING HELD ON JANUARY 9, 2023

RESOLVED, that the Town Board of the Town of Lewisboro does authorize the Planning Board to consider and act upon 65 Old Bedford Road, LLC's request for partial release of performance bond for guarantee of completion of project infrastructure.

STATE OF NEW YORK
COUNTY OF WESTCHESTER

I, JANET L. DONOHUE, Town Clerk of the Town of Lewisboro, County of Westchester, State of New York, do hereby certify that I have compared the preceding copy of a Resolution adopted by the Town Board of the Town of Lewisboro at a meeting held on the 9th day of January, 2023, to the original thereof, and that the same is a true and exact copy of said original and of the whole thereof.

_____
Town Clerk

Dated at South Salem, New York
this 10th day of January, 2023

KELLARD SESSIONS

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Building Department

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM
Town Consulting Professionals

DATE: January 12, 2023

RE: Vandervoort/Rising Starr Subdivision
93 Silver Spring Road
Sheet 48, Block 10057, Lot 14, 19, 84 and 134

PROJECT DESCRIPTION

The subject property consists of ±152.74 acres of land and is located at 93 Silver Spring Road within the R-4A Zoning District. While the majority of the property is located within the Town of Lewisboro, ±2.14 acres is located within the State of Connecticut, including physical access from Silver Spring Road. The property is currently developed with a horse farm, consisting of two (2) residences, barns, indoor riding ring, and paddocks. The applicant is proposing to subdivide the property into two (2) lots to facilitate the sale of the horse farm to its current operator. Parcel 1 is proposed to consist of ±40.96 acres (±39 acres of which would be located within Lewisboro) and would contain the existing horse farm. Parcel 2 is proposed to consist of ±111.78 acres (±111.63 acres of which would be located within the Town of Lewisboro) and is proposed to remain vacant.

SEQRA

The proposed action has been preliminarily identified as an Unlisted Action pursuant to the State Environmental Quality Review Act (SEQRA). Prior to taking action on this pending application, a Determination of Significance must be issued.

REQUIRED APPROVALS

1. Preliminary and Final Subdivision Plat Approval is required from the Planning Board; a public hearing is required to be held on the Preliminary Subdivision Plat.

2. The proposed subdivision requires Realty Subdivision Approval from the Westchester County Department of Health (WCDH).

3. The application must be referred to the Westchester County Planning Board in accordance with Section 239-m of the General Municipal Law. The Planning Board Administrator will coordinate this referral.

COMMENTS

1. It is recommended that the application be referred to the Building Inspector for zoning review.

2. The applicant shall prepare and submit Parts 1 and 2 of the Short Environmental Assessment Form (EAF) for review.

3. As previously identified, the applicant must demonstrate that Parcel 1 will remain zoning compliant, and that Parcel 2 could be developed in a conforming manner. A plan should be provided, which includes the following, at a minimum:

    a. Illustrate existing topography (2-foot contours). For the purposes of this subdivision, using Westchester County GIS data will be sufficient (unless actual construction is proposed).

    b. A grading plan shall be provided for the hypothetical development of Parcel 2.

    c. Demonstrate that the hypothetical driveway on Parcel 2 meets Town driveway standards; provide a profile. The driveway on Parcel 1 is not connected to the road through the parcel's frontage; please revise the driveway entrance location.

    d. The required contiguous buildable area shall be provided for Parcel 1.

    e. Illustrate the existing wells and septic systems on Parcel 1; illustrate the connection between wells and septic systems to the various existing buildings (approximate location is acceptable).

    f. Wetland and wetland buffer areas shall be illustrated. It appears that the buffer is taken from the edge of a stream shown on an older survey. While a full wetland delineation is

not necessary (unless development is proposed), a wetland scientist should walk the property and determine if there are any fringe wetlands along the stream or other regulated features on the property that are not depicted and are not currently accounted for.

4. Following discussion with the Planning Board Attorney, the following note shall be added to the plat:

   "Approval by the Planning Board shall be granted only for that portion of the subdivision lying within the Town, and such approval shall be contingent upon approval by the appropriate municipal agency having jurisdiction over that portion lying within the adjacent municipality."

5. Lot 2 as shown on the plat and consisting of 33.7 acres (not part of the subdivision) is shown as one (1) parcel on the plat but as two (2) separate lots on the Town's tax maps; please clarify.

6. The restricted covenant referenced in the owner's letter should be elaborated upon by the applicant as its intended purpose is not clear.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLAN REVIEWED, PREPARED BY DTS PROVIDENT, DATED DECEMBER 27, 2022:

- Preliminary Plat (C-101)

PLAT REVIEWED, PREPARED BY STEPHEN T. JOHNSON, PLS, DATED OCTOBER 28, 2022:

- Preliminary Subdivision Map

JKJ/dc

Submission Form to the Westchester County Planning Board
For Planning and Zoning Referrals
REQUIRING NOTIFICATION ONLY

County Ref. No. **LEW N22-004**

The Westchester County Planning Board has predetermined that certain categories of planning and zoning applications are matters for local determination only. For any application listed below, submission of this completed form will satisfy the requirements of NYS General Municipal Law and the Westchester County Administrative Code that the local board provided adequate notification to the County Planning Board in accordance with Planning Board procedures. No other material need be sent. Upon receipt, the County Planning Board will complete the bottom section of this form and return it to you to for your records to indicate compliance with referral requirements.

When completed save this form and e-mail to: muniref@westchestergov.com or print and fax to 914-995-3780.

Municipality: **Lewisboro**
Referring Agency (check one): [x] Planning Board or Commission
[ ] Zoning Board of Appeals
[ ] City or Common Council/Town Board/Village Board of Trustees

Application Name and Local Case Number: **Vandervoort/Rising Starr Subdivision Cal #15-22PB**
Address: **93 Silver Spring Rd, Wilton, CT 06897**
Section: **48** Block: **10057** Lot: **14, 19, 84 & 134**

Submitted by (name and title): **Ciorsdan Conran, Planning Board Administrator**

E-mail address (or fax number): **planning@lewisborogov.com**

The above referenced application qualifies for the notification only procedure to the County Planning Board because it falls within the category of action checked below:

[ ] ***Zoning Area Variance*** to decrease front yard setback, decrease minimum street frontage or decrease average lot width for property abutting a State or County road or park

[ ] ***Special Use Permit or Use Variance*** to allow less than 5,000 square feet of new or renovated floor area and less than 10,000 square feet of land disturbance.

[x] ***Site Plan*** to allow less than 5,000 square feet of new or renovated floor area and less than 10,000 square feet of land disturbance on property within 500 feet of:

- *The boundary of a city, town or village*
- *The boundary of an existing or proposed state or county park, recreation area or road right-of-way*
- *An existing or proposed county drainage channel line*
- *The boundary of state- or county-owned land on which a public building/institution is located or*
- *The boundary of a farm located in an agricultural district.*

(Please note: All applications given a Positive Declaration pursuant to SEQR must be referred as a complete application. Do not use this form.)

Do not write below this line.

Date received by the Westchester County Planning Board: **11/3/22**
Notification acknowledged by (name and title): **Michael Vernon, Planner**

HEALTH DEPARTMENT SEPTIC SCHEDULE

LOT NO.	LOT AREA N/Y (AC.)	TEST PIT DESCRIPTION	S.D.S. AREA S.F.	% SLOPE OF S.D.A.	PERC RATE MIN/IN	G.W. ELEV.	IMPERV. LAYER ELEV.	LF OF FIELDS		BANK RUN FILL		CURTAIN DRAIN		REMARKS
								S. BGRM	ADD'L BGRM	DEPTH (FT)	VOLUME (CY)	DEPTH (FT)	LINEAL (FT)	
1	38.964													
2	111.632													

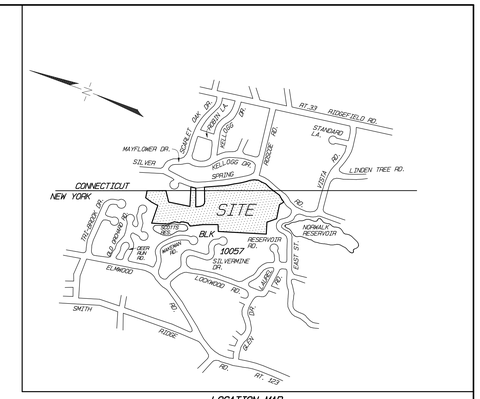
WESTCHESTER COUNTY DEPARTMENT OF HEALTH

New Rochelle, New York

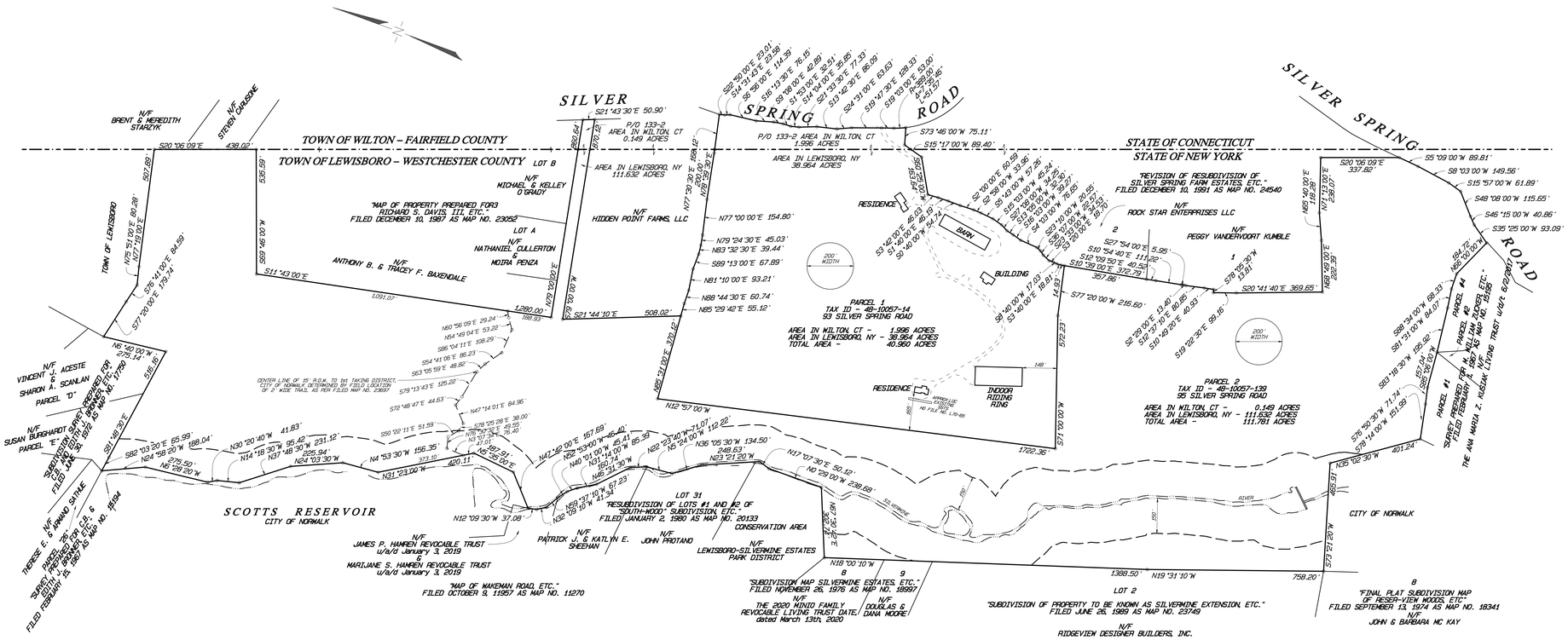
Approved pursuant to Chapter 873 Article X Sections 873.951, 873.1001 and 873.1021 and Articles VII and VIII of the Westchester County Sanitary Code subject to the provision of individual well water supply and separate sewage treatment facilities to serve each habitable building hereafter constructed. These facilities are to be installed in accordance with land improvement plans and specifications approved by and filed in this office prior to the construction of such building.

Each purchaser of property shown hereon shall be furnished a true copy of this plat showing this endorsement. Any erasures, changes, additions or alterations of any kind except the addition of signatures of other approving authority and the date thereof made on this plan after this approval, shall invalidate this approval.

Approved by the Assistant Comissioner of Health on behalf of the Department of Health — Date



LOCATION MAP
1" = 2500'



Notes:

1) Premises shown hereon located in the R-4A (Four Acre Residential) Zone in the Town of Lewisboro.

2) Premises shown hereon known and designated as Sheet 48 Block 10057 Lot 14 on the Town of Lewisboro Tax Maps.

3) Additional underground easements, utilities or structures, etc. other than those shown hereon may be encountered.

4) Unauthorized alterations or additions to this drawing is a violation of Section 7209 (2) of the New York State Education Law.

5) Property shown hereon is located in the Norwalk River Watershed in the Town of Wilton, Fairfield County, Connecticut and in the Inland Long Island Sound Basin Watershed in the Town of Lewisboro, Westchester County, New York

OWNER CERTIFICATION

Approved for filing in the Westchester County Clerk's Office, Division of Land Records:

Owner: — Date
SJK, LLC
c/o Peggy Vandervoort Kumble
99 Silver Spring Road
South Salem, NY 10590

Owner: — Date
PVK, LLC
c/o Peggy Vandervoort Kumble
99 Silver Spring Road
South Salem, NY 10590

PLANNING BOARD CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated

Joseph Cermele, P.E, Town Consulting Engineer — Date
Kellard Sessions Consulting
Town Consulting Engineer

PLANNING BOARD APPROVAL

Approved by Resolution of the Town of Lewisboro Planning Board dated ???, ?? 2022

Chair, Janet Andersen — Date

We, H. Stanley Johnson and Company, Land Surveyors, P.C., the surveyors who made this map, do hereby certify that the survey upon which this map is based was completed October 25, 2022 and that this map was completed October 28, 2022

BY: _____
NEW YORK STATE LICENSED LAND SURVEYOR NO. 49749
STEPHEN T. JOHNSON, P.L.S.

ENGINEER _____
New York State Licensed Professional Engineer No. 071226 — Date
Peter J. Gregory, P.E.
DTS Provident Design Engineering, LLP
One North Broadway
White Plains, NY 10601
914-428-0010

H. STANLEY JOHNSON AND COMPANY
LAND SURVEYORS, P.C.
42 SMITH AVENUE P.O. BOX 93
MT. KISCO, N.Y. 10549
TEL. 914-241-3872
FAX. 914-241-0438

PRELIMINARY
SUBDIVISION MAP
PREPARED FOR

RISING STARR HORSE RESCUE

BEING LOT 1 AS SHOWN ON A CERTAIN MAP ENTITLED "SUBDIVISION PLAT SPRING HILL FARM, ETC." SAID MAP BEING FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS MAY 4, 1989 AS MAP NO. 23697

SITUATE IN THE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK
AND PARTIALLY IN THE
TOWN OF WILTON
FAIFIELD COUNTY, CONNECTICUT

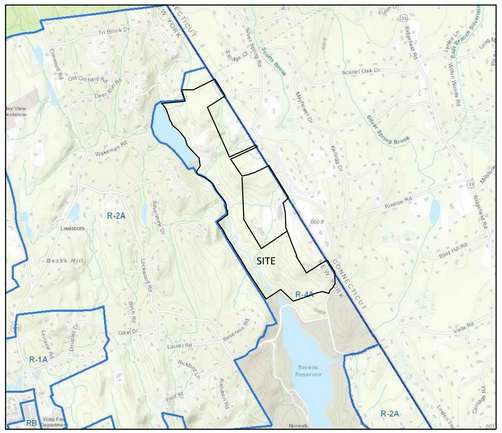
SCALE: 1" = 200'

0 200 400 600

SHEETS 201 & 219 BLOCK 10057
WESTCHESTER COUNTY INDEX SYSTEM

PREPARED BY: STJ CHECKED BY: STJ

JOB NO. F22-115



LOCATION MAP

NOT TO SCALE

PROJECT NOTES:

1. PROJECT ADDRESS:

   93 SILVER SPRING ROAD
   SOUTH SALEM, NY 10590
   (T) LEWISBORO

2. TOWN OF LEWISBORO TAX MAP INFORMATION:

   SECTION: 48 , BLOCK: 10057, LOT: 14
   AREA OF PARCEL IN CT = 2.145 ACRES
   AREA OF PARCEL IN NY =150.596 ACRES
   ZONING DISTRICT - R-4A RESIDENTIAL ZONING DISTRICT

3. WATERSHED BASIN:

   INLAND LONG ISLAND SOUND - SILVERMINE RIVER BASIN

4. OWNER:

   SJK, LLC & PVK, LLC
   C/O PEGGY VANDERVOORT KUMBLE
   99 SILVER SPRING ROAD
   WILTON, CONNECTICUT 06897

5. APPLICANT:

   RISING STAR HORSE RESCUE
   93 SILVER SPRING ROAD
   SOUTH SALEM, NEW YORK 10590

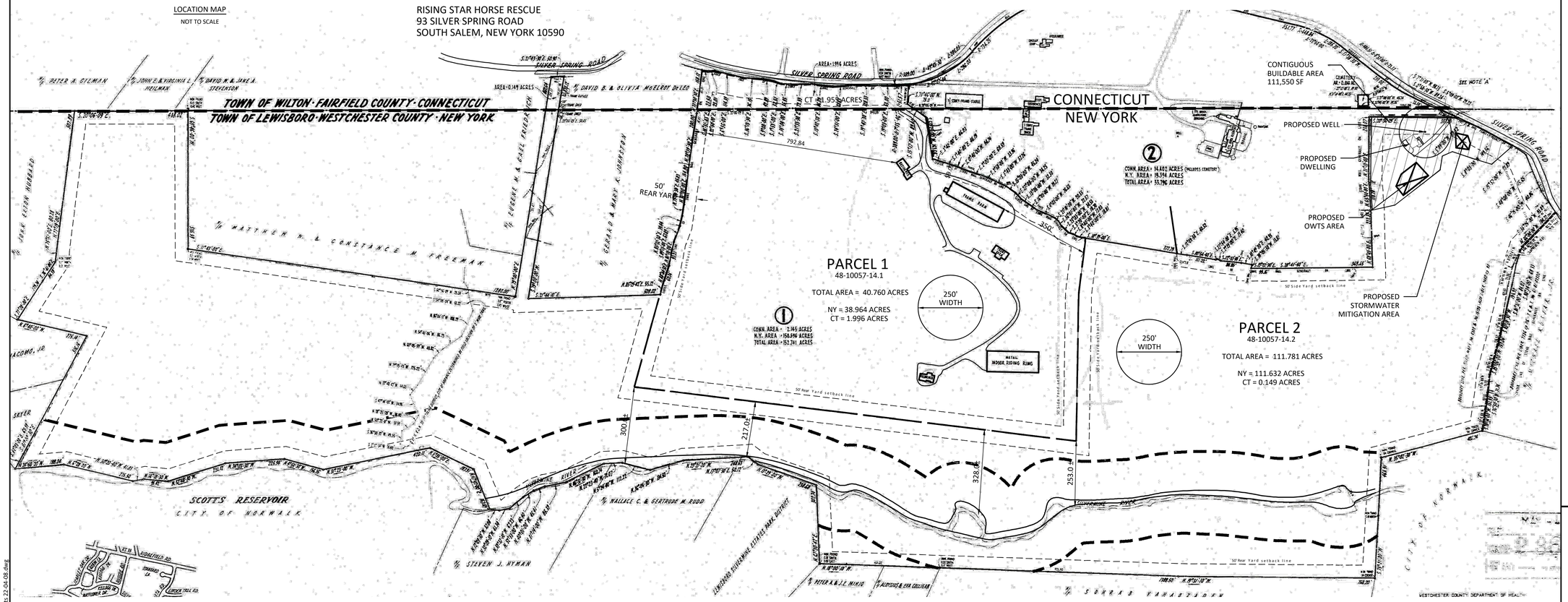
ZONE: ONE FAMILY RESIDENCE DISTRICT ZONE 'R-4A'

	PERMITTED /REQUIRED	PARCEL 1	PARCEL 2
MINIMUM LOT SIZE			
AREA	4 ACRE	40.960	111.780
WIDTH/CIRCLE (FEET)	200	200	200
MINIMUM YARD (FEET)			
FRONT			
FROM STREET CENTERLINE	75		
FROM FRONT LOT LINE	50	280.8	1307.0
SIDE	50	59.0	285.2
REAR	50	60.0	273.0
MAXIMUM BUILDING HEIGHT			
STORIES	2 1/2	2	2
FEET	35	>35	>35
MAXIMUM BUILDING COVERAGE (PERCENT OF LOT AREA)	6	1.9	0.10

BASE LOT DEPTH CALCULATION
DISTRICT R-4 ACRE - BASE LOT DEPTH = 700 FEET

48-10057-14.1 1,290/700 = 1.84 1.84(4.0) = 7.371 AC REQUIRED
48-10057-14.2 1,495/700 = 2.14 2.14(4.0) = 8.543 AC REQUIRED

NO.	REVISION	DATE
1	ISSUED TO PLANNING BOARD	09/06/2022
2	ISSUED TO PLANNING BOARD	12/27/2022



General Notes:

1) Premises shown hereon located in the R-4A One-Family Residence District (4 acre), in the Town of Lewisboro.

2) Premises shown hereon known and designated as Section 48 Block 10057 Lots 14 on the Town of Lewisboro Tax Maps.

3) All new utility service connections including lines and equipment for providing power and/or communication, including cable television, are to be installed underground.

4) Additional underground easements, utilities, or structures, etc. other than those shown hereon may be encountered.

5) The subsurface information shown hereon, if any, is not guaranteed as to the accuracy or completeness and should be verified by the contractor before any excavation.

APPROVED BY RESOLUTION OF THE
LEWISBORO PLANNING BOARD

_____
Janet Andersen, Chair Date

_____
Ciorsdan Conran, Administrator Date

TOWN ENGINEER'S CERTIFICATION
Reviewed for compliance with the Planning Board Resolution dated_____.

_____
Joseph M. Cermele, P.E. Date
Kellard Sessions Consulting
Town Consulting Engineer

OWNER'S CERTIFICATION
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

_____
Owners Date
Owners Address

DTS • PROVIDENT
Intelligent Land Use

DTS Provident Design Engineering, LLP
One North Broadway
White Plains, NY 10601

P: 914.428.0010
F: 914.428.0017

Under New York State Education Law Article 145 (Engineering), Section 7209 (2), It Is A Violation Of This Law For Any Person, Unless Acting Under The Direction Of A Licensed Professional Engineer, To Alter This Document

© DTS Provident Design Engineering, LLP

RISING STARR HORSE RESCUE
SUBDIVISION
93 Silver Spring Road
South Salem, New York 10590

TITLE:

PRELIMINARY PLAT

Seal

STATE OF NEW YORK · PETER J. GREGORY · No. 071220 · LICENSED PROFESSIONAL ENGINEER

Scale:	1" = 200'
Date:	04/07/2022
Drawn By:	JM
Checked By:	PJG
Project No.:	20-034
Sheet No.:	1 of 1
Dwg. No.:	C-101

A:\PROJECTS-20\20-034 Rising Star Horse Rescue\AutoCAD\SPA\Preliminary Plat with attachments 22-04-08.dwg

TO: The Town of Lewisboro Planning Board

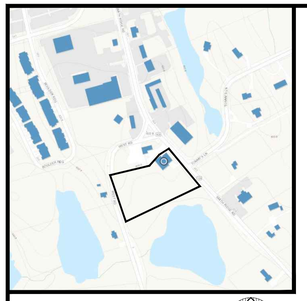
FROM: Lewisboro Conservation Advisory Council

SUBJECT: Maple Tree Farm, 400 Smith Ridge Road, wetland violation mitigation

DATE: December 8, 2022

The Conservation Advisory Council (CAC) has reviewed the materials submitted by the applicant for the mitigation of a wetland violation at 400 Smith Ridge Road, South Salem, NY 10590. The CAC has the following:

- The plans discuss a 25 foot buffer while the DEC is 100 ft and the town is 150 ft. The plans need to show these buffer lines and the plan needs to address issue within the state and town wetland buffer areas.
- The fence that borders the mitigation are should be along the 150 foot buffer and not the arbitrary 25 foot buffer.
- The plan does not indicate that the offending chips are to be removed.
- The grass driveway appears to be within the wetland buffer.
- In general, the wetland mitigation plan needs to be updated to address the proper wetland buffer area and the offending chips.



LOCATION MAP
NOT TO SCALE

SITE DATA:

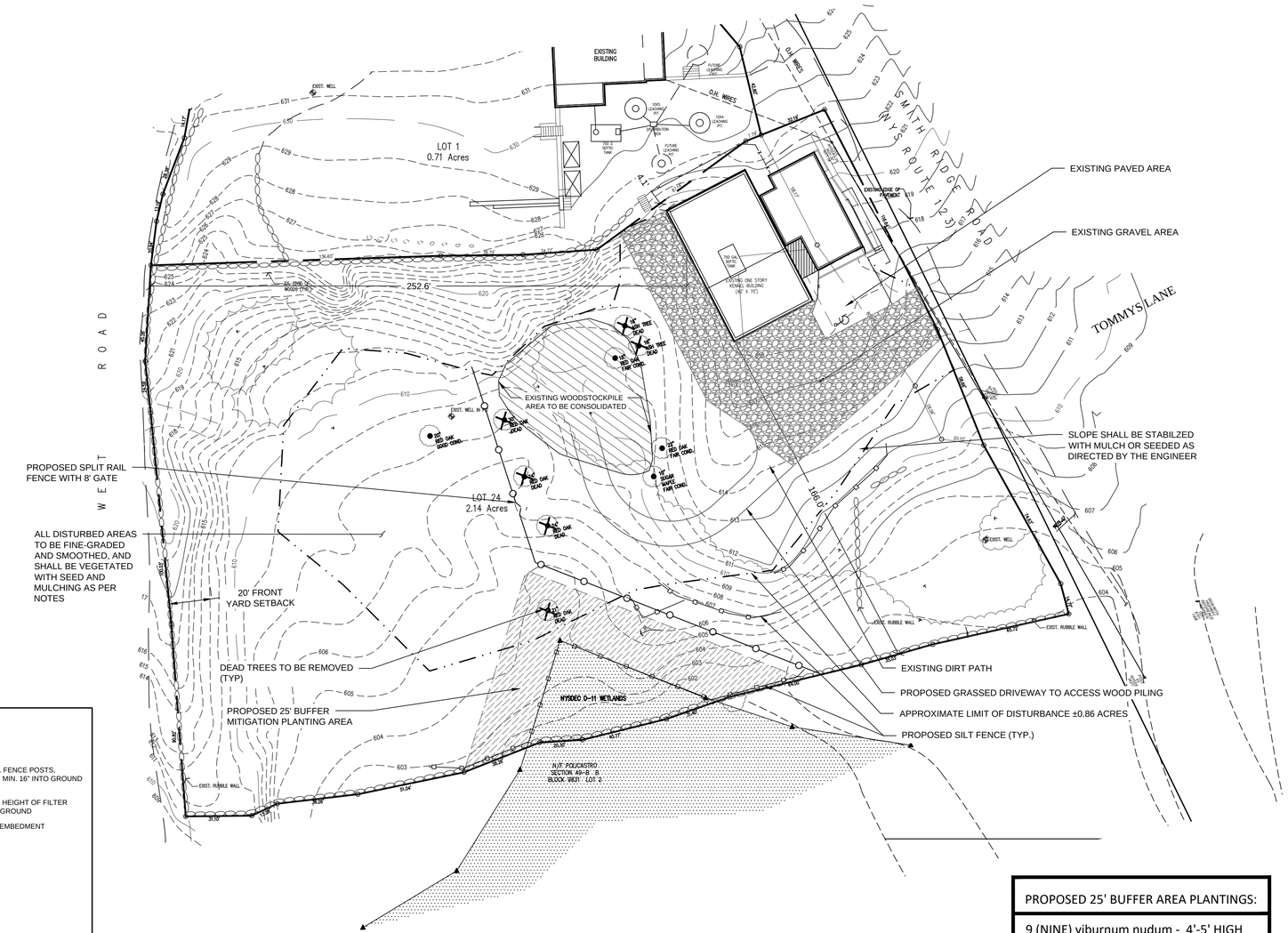
OWNER / DEVELOPER:	GINA AND BRIAN COONEY COONEY TREE SERVICE
PROJECT LOCATION	400 SMITH RIDGE ROAD SOUTH SALEM, NY, 10590
EXISTING TOWN ZONING:	GB, GENERAL BUSINESS
PROPOSED USE:	GB, GENERAL BUSINESS
TOWN TAX MAP DATA:	SECTION 77.4, BLOCK 2, LOT 2
SITE AREA :	2.1 ACRES (93,141 SF)
WATER FACILITIES:	ON-SITE WELL

PERMANENT VEGETATIVE COVER:

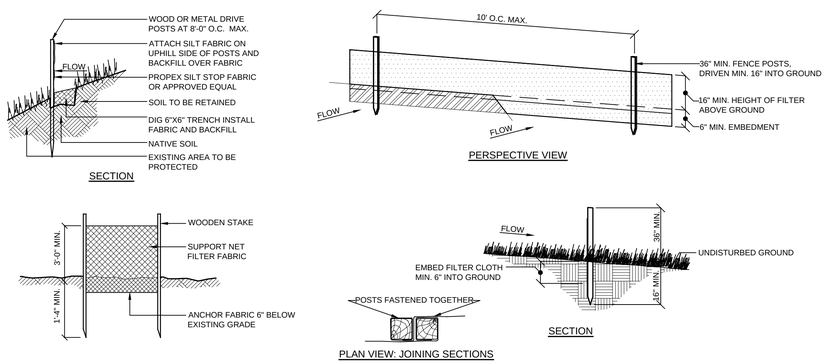
1. Site preparation:
   - 1.1. Install erosion control measures.
   - 1.2. Scarify compacted soil areas.
   - 1.3. Lime as required to ph 6.5.
   - 1.4. Fertilize with 10-6-4 4 lbs/1,000 S.F.
   - 1.5. Incorporate amendments into soil with disc harrow.
2. Seed mixtures for use on swales and cut and fill areas.

MIXTURE		LBS./ACRE
ALT. A	KENTUCKY BLUE GRASS	20
	CREEPING RED FESCUE	28
	RYE GRASS OR REDTOP	5
ALT. B	CREEPING RED FESCUE	20
	REDTOP	2
	TALL FESCUE/SMOOTH BLOOMGRASS	20

3. SEEDING
   - 3.1. Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
   - 3.2. Apply soil amendments and integrate into soil.
   - 3.3. Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
   - 3.4. Stabilize seeded areas in drainage swales.
   - 3.5. Irrigate to fully saturate soil layer, but not to dislodge planting soil.
   - 3.6. Seed between April 1st and May 15th or August 15th and October 15th.
   - 3.7. Seeding may occur May 15th and August 15th if adequate irrigation is provided.



PROPOSED 25' BUFFER AREA PLANTINGS:
9 (NINE) viburnum nudum - 4'-5' HIGH
2 (TWO) Amelanchier clump - 6'-7' HIGN
3 (THREE) Ilex verticillata - 3'-4' HIGH
2 (TWO) Quercus Bicolor - 1 $\frac{1}{2}$"-2" CALIPER
2 (TWO) Cornus florida - 2"-2 $\frac{1}{2}$" CALIPER
1 (ONE) Gleditsia triacanthos - 11.5" HIGH
3 (THREE) Acer rubrum - 1.5" CALIPER



NOTES:
1. Filter cloth to be fastened securely to upgrade side of post: steel posts (either T or U Type) or 2" hardwood posts at top and mid section.
2. When two sections of filter cloth adjoin each other they shall be overlapped by 6 inches and folded. Filter cloth shall be Mirafi 100x, Stabilinka T140n or approved equal
3. Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence or the capacity reaches 50%.
4. Excavate 6 inch trench along the silt fence line and bury the fabric.
5. Unroll a section at a time and position the post against the back (downstream) wall of the trench.
6. Drive the post into the ground until the netting is approximately 2 inches from the trench bottom.
7. Lay the toe-in flap of fabric onto the undisturbed bottom of the trench, backfill the trench and tamp the soil. Steeper slopes require an intercept trench.
8. Join sections as shown above.

SYMBOL

E-2

SILT FENCE DETAIL
NOT TO SCALE

NOTE:
1. *THIS IS NOT A SURVEY.* ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY KULHANEK & PLAN, LAND SURVEYORS, PC., DATED 10/11/2001, LAST REVISED 12/20/2001. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

0 15 30 60
SCALE: 1"=30'-0"

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Call 811 Dig Safely New York Law 753 requires no less than two working days notice, but not more than ten days notice.
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Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

PROJECT # 22-47

Engineer:
STATE OF NEW YORK JOSEPH CARLO RIINA 065431 LICENSED PROFESSIONAL ENGINEER
Joseph C. Riina, P.E.
NYS Lic. No. 64431

Revisions:

No.	Date	Comments:
1.	11/20/22	Add Plants / fence

SCALE: 1" = 30'
DRAWN BY: CS
DATE: 8/16/22

MITIGATION PLAN

SITE PLAN
PREPARED FOR
GINA AND BRIAN COONEY
400 SMITH RIDGE ROAD
Town of Lewisboro Westchester, NY

Sheet 1 of 1

COPYRIGHT © 2020 BY SITE DESIGN CONSULTANTS, ALL RIGHTS RESERVED

E:\2022\22-47 COONEY - SMITH RIDGE ROAD\ENGINEERING\CADD\CD-22-47 COONEY SMITH RIDGE ROAD.DWG\22-47 TREE PLAN.DWG 11/16/2017 3:19:52 PM

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

KELLARD SESSIONS

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Building Department

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM
Town Consulting Professionals

DATE: January 12, 2023

RE: Wetland Activity and Stormwater Permit Approval
Susan Morrissey
10 Hoyt Street
Sheet 036C, Block 11172, Lot 005

PROJECT DESCRIPTION

The subject property consists of ±0.27 acre of land and is located at 10 Hoyt Street within the R-1/4A Zoning District. The subject property is developed with a single-family residence, asphalt driveway, walkways and other ancillary improvements. The residence is served by a community water system and on-site wastewater treatment system. The applicant is proposing to construct a sunroom/porch and stone terrace at the rear of the house as well as retaining walls, steps, generator, trash enclosure, drainage facilities, wetland mitigation and other ancillary improvements. The property has frontage on Truesdale Lake, which coincides with the wetland boundary, and the wetlands buffer covers most of the property.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. A Wetland Activity Permit and a Town Stormwater Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

COMMENTS

1. The applicant has acknowledged the need to confirm the ownership of the right-of-way depicted on the plan, particularly regarding the existing stone wall and gate at the front of the entry to the property.

2. As previously noted, this office defers review of the plan for zoning compliance to the Building Inspector. It is recommended that the application be referred to the Building Inspector for review.

3. The Bulk Zoning Table is inaccurate and should be adjusted, the values for the front setback (required) have been reversed. We note that the egress window well is proposed within the side yard setback. The applicant shall obtain a determination from the Building Inspector as to whether this will require an area variance.

4. The wetland mitigation, as proposed, appears appropriate. The applicant has extended the mitigation area along the lake frontage, as suggested.

5. The plan shall illustrate the location of the existing and proposed electric service.

6. The plan shall illustrate that the minimum required Westchester County Department of Health (WCDH) separation distances from the septic tank to the piers of the proposed sunroom, as well as the from the absorption fields to the piers of the proposed sunroom, the proposed terrace, and the 6-inch outlet pipe from OCS to the emitter. The applicant will need a determination from the WCDH as to whether the proposed setbacks are acceptable. The Planning Board had requested a “no objection” review of the project by the WCDH.

7. The plan has been revised to include a proposed planter for a portion of the roof (RDL-8), which is located up gradient to the septic field. The applicant will need a determination from the WCDH as to whether this is acceptable.

8. As previously noted, the names of the adjacent property owners shall be illustrated on a plan.

9. As previously requested, the plan shall note the proposed building floor elevation, patio elevation and illustrate proposed contours and spot elevations as needed.

10. The stormwater calculations should be modified to use a curve number of 89 for all areas with gravel cover.

11. The plan shall indicate all trees to be removed or protected within and 15 feet beyond the limit of disturbance. The plan shall also include a temporary stabilized construction entrance and a soil stockpile area. We note that an additional silt fence is needed along the west property line and downgrade of all proposed planting areas.

12. The limit of disturbance in the area of the proposed 6-inch pipe from CB#2 to the SWMP requires adjustment. It appears the 8-inch tree adjacent to the pipe will require removal.

13. The plan proposes 4,785 s.f. of total disturbance. However, the limits of disturbance depicted on the plan appears limited and unlikely to maintain during construction. The limits shall be adjusted, as needed, and shall include all areas of tree protection and removal, temporary erosion and sediment controls and all proposed improvements, grading, planting areas, etc. As such, it appears that land disturbance will exceed 5,000 s.f. and will therefore require conformance with New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit (GP-0-20-001) and filing of a Notice of Intent (NOI) and MS4 Acceptance Form with the NYSDEC. Submit draft copies to this office for review.

14. The applicant has indicated that the proposed outdoor shower will tie into the existing septic system. The plans shall illustrate the proposed connection to the existing septic system.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY ALP ENGINEERING, DATED DECEMBER 26, 2022:

- Site Plan (C-101)
- Erosion and Sediment Control Plan (C-102)
- Demolition and Removals Plan (C-103)
- Mitigation Planting Plan (C-104)
- Construction Details (C-111)
- Construction Details (C-112)
- Figure 1 Existing Conditions Impervious Surfaces
- Figure 2 Future Conditions Impervious Surfaces
- Figure 3 Existing and New Wetland Buffer Impacts

DOCUMENTS REVIEWED:

- Letter, prepared by ALP Engineering, dated December 26, 2022
- Stormwater Management Report, prepared by ALP Engineering, dated December 26, 2022
- Architectural Renderings
- Architecturals, prepared by Darren P. Mercer, Architect, PLLC, dated December 20, 2022

JKJ/dc

ALP Engineering
& Landscape Architecture, PLLC

December 26, 2022

Hon. Janet Andersen, Chairwoman and Members of the Planning Board
Town of Lewisboro
79 Bouton Road
South Salem, NY 10590

Re: 10 Hoyt Street
Sheet 036C, Block 11172, Lot 005
Application for Wetland Activity Permit and Stormwater Management Permit

Dear Chairwoman Andersen and Members of the Planning Board:

We are pleased to submit three (3) copies of the following revised drawings and report in support of this application by Susan Morrissey, owner of the property located at 10 Hoyt Street, for Wetlands and Stormwater Management Permits:

Drawing No.:	Drawing Title:	Date:
Dwg. C-101	Stormwater Management Plan	12/26/2022
Dwg. C-102	Erosion and Sediment Control Plan	12/26/2022
Dwg. C-103	Demolition and Removals Plan	12/26/2022
Dwg. C-104	Mitigation Planting Plan	12/26/2022
Dwg. C-111	Erosion and Sediment Control Plan Details	12/26/2022
Dwg. C-112	Construction Details	12/26/2022

Also being submitted are the following:

- Architectural Drawings prepared by Darren P. Mercer, Architect, PLLC as follows: A.0 Basement Plan, A.1 First Floor Plan, A.2 Second Floor Plan, A.3 South Elevations, A.4 East Elevations, A.5 North Elevations, and A.6 West Elevations, all dated 12-20-22, plus four 3D Views of house, undated.
- Stormwater Management Report for 10 Hoyt Street, rev. date 12/26/2022.
- Figure 1, Existing Condition Impervious Surfaces, 11/18/2022, Figure 2, Future Condition Impervious Surfaces, 11/18/2022, and Figure 3, Wetland Buffer Impacts, dated 12/26/2022.

This letter responds to the comments that we received at the Planning Board meeting on December 21 as well as the comments in the Kellard Sessions memorandum of 12/16/2022 are repeated below in italics. The response appears below the comment.

Confirm the ownership of the right-of-way depicted on the plan, especially with regard to the existing stone wall and gate at the front entry into the property.

P.O. Box 843 Ridgefield, CT 06877
Direct: (475) 215-5343 Mobile: (203) 710-0587
Email: alan@eaec-inc.com

Response: We are seeking information that would shed light on the ownership of the right-of-way and will endeavor to provide this information shortly.

1. This office defers review of the plan for zoning compliance to the Building Inspector. It is recommended that the application be referred to the Building Inspector for review.

Response: The site plan has been updated to provide a Bulk Regulations Table to assist the Building Inspector in the review of the compliance of the project with the Town Code.

2. The wetland buffer impacts calculated on the site plan do not match the calculation on Figure.

Response: Wetland buffer impacts calculation has been revised. Figure 3 calculates an impact to the wetland of 1,139 square feet. As is noted on Sheet C-101, a mitigation planting area of 1,345 square feet is proposed for a ratio of mitigation planting to wetland buffer impact of 1.18 to 1.

3. The Planning Board standard for mitigation on lake front properties includes the establishment of a planted buffer along the lake edge. Therefore, it is recommended that the planting areas provided along each side property line be extended to include more of the lake frontage; typically, a 10-foot wide planting area is recommended.

Response: The proposed mitigation planting area has been significantly modified to provide a riparian buffer along the entire lake shoreline. The width of the mitigation planting area varies from 8 feet (nearest to the existing septic system) to 15 feet.

3. The Wetland Mitigation Plan shall specify proposed plant locations, specie type, size and quantity.

Response: The revised mitigation planting plan provides the locations of the proposed plantings, which are identified by genus and species. Please refer to the table on Sheet C-104.

4. The plan shall illustrate the location of all existing and proposed utilities (electric, water).

Response: The plan shows the location of the existing water service into the house. The water valve is also shown on the plans and survey. Electric service is to continue to come via overhead wires to the house as is now shown on the plans. New utilities include a 500 gallon underground propane tank to be installed in the rear yard. An electric generator is also to be installed in the side yard as shown on the plans.

5. The rear yard zoning setback line shall appear on the site plan; dimension all minimum required setbacks.

Response: The 25-foot rear yard setback is depicted on the Site Plan. The 25-foot front yard and 12-foot side yard setbacks applicable to the R-1/4A Zoning District are also shown on Sheet C-101.

6. The Site Plan shall include a Bulk Zoning Table comparing the requirements of the underlying Zoning District to the existing and proposed condition; required variances and existing nonconformities shall be noted below the table. We note that the trash enclosure and egress window well is proposed with the side yard setback.

Response: The Site Plan has been updated to provide a Bulk Zoning Table (see Sheet C-101). While the existing building extends into the front yard setback and one of the side yard setbacks, it is not proposed to modify those portions of the plan in such a way that it would increase the non-conformity. Therefore, we believe that no variance would be required for the construction of the proposed addition and the new terrace since both would be located completely within the required setbacks.

As for the proposed trash enclosure, in that the enclosure is less than 12 feet in height, in accordance with the zoning regulations, the structure has been relocated to be more than five (5) feet from the side lot line. Finally, we defer to the building inspector as to whether an egress window well that extends into the side yard setback would require a variance to be constructed.

7. The plan shall demonstrate that the minimum required Westchester County Department of Health (WCDH) separation distances to the septic system and proposed stormwater management system are maintained. The Planning Board may wish to have the WCDH review the plan for "no objection."

Response: The applicant has modified the stormwater management practice to be a 5-foot diameter "manhole" which will provide peak rate attenuation of the runoff flows from the property up to the 25-year storm event. The formerly proposed subsurface chambers have been removed from the plans. The precast concrete manhole is a solid structure that will not infiltrate runoff into the ground. Since the proposed stormwater management facility does not involve infiltration, we believe that it would not be necessary to refer the plans to the Westchester County Department of Health for their review.

8. Provide existing and proposed conditions floor plans.

Response: Please see plans which are provided by the project architect, Darren Mercer.

9. The names of the adjacent property owners and the location of any neighboring driveways, structures, and buildings shall be illustrated on a plan and proposed building elevations.

Response: The names of the adjacent property owners and the location of the neighboring driveways and houses is shown on the updated plan.

10. The existing impervious cover calculation provided on Figure 1 should not include existing gravel areas as impervious cover; please adjust the Figure and associated net increase calculations and ensure that appropriate curve numbers for existing conditions are used in the drainage calculations.

Response: The stormwater management calculations have been revised to employ a curve number for "gravel" for those portions of the property in accordance with TR-55.

11. Proposed erosion controls must be shown to be located within the proposed limits of disturbance line. Further the limits should not extend over the property line (concrete washout area). Please adjust the limits of disturbance as needed.

Response: The limit of disturbance line has been updated to include all portions of the property which will be "disturbed", even if the only disturbance is for the installation of a silt fence for erosion control or a construction fence to protect a site feature from compaction, such as the absorption trenches.

12. Land disturbance is proposed to exceed 5,000 s.f. and will therefore require conformance with New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit (GP-0-20-001) and filing of a Notice of Intent (NOI) and MS4 Acceptance Form with the NYSDEC. Submit draft copies to this office for review.

Response: The land disturbance to construct the proposed improvements is calculated to be 4,785 square feet, which is below the 5,000 square foot threshold which would require the filing of a Notice of Intent.

13. The plan shall illustrate a stabilized construction.

Response: The erosion and sediment control plan has been revised. However, given the minor amount of earthwork that is proposed – the sunroom/porch addition will be set on piers/sonotubes – the need for a stabilized construction entrance on what is a paved driveway appears to be unnecessary.

14. The proposed stormwater practice shall include an emergency overflow to a stabilized outfall. It is recommended that the outlet associated with the infiltration system be extended beyond the septic absorption trenches. Provide details of proposed outlet protection.

Response: An emergency overflow is provided for the stormwater management facility. The overflow from the stormwater management practice consists of: (1) the pop-up emitter, and (2) the grate on the top of the outlet control structure. Given that the pipe will be within the 25-foot setback for piped drainage from an absorption trench, it is proposed to place the outlet pipe within a sleeve for added protection.

15. Where will the outdoor shower drain?

Response: It is proposed to drain the outdoor shower into the septic system. A note will be provided on the site plans and the architect's plans will be revised to depict this as well.

16. The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact this office to schedule the testing.

Response: As is noted above, given that the revised stormwater management plan will not infiltrate runoff into the soil, it is felt that it is not necessary to perform deep hole and percolation testing.

We look forward to your review of the revised plans and report. If you have any questions regarding this submission, please feel free to call me on my direct line at (475) 215-5343 or my cell at (203) 710-0587, or by email at alan@eaec-inc.com.

Sincerely,

ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC

Alan L. Pilch, P.E., R.L.A.
Principal

cc: Susan Morrissey (via email)
Darren Mercer, Architect (via email)

Application No.: 1-23SW
Fee: #155 Date: 1/13/23
pd ck#1555

TOWN OF LEWISBORO
STORMWATER PERMIT APPLICATION

79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 875-9148

Project Address: 10 Hoyt Street

Sheet: 036C Block: 11172 Lot(s): 005

Project Description (describe overall project including all proposed land development activities):
Construction of a new 272 s.f. sunroom/porch, new 395 s.f. stone terrace, extension of the existing driveway for a bin for trash and recyclables. An existing stone wall in the rear yard will be removed.

Owner's Name: Susan Morrissey Phone: (917) 991-6732
Owner's Address: 8A 239 Central Park West New York, NY 10024 Email: SusanW@whiteandwarren.com

Applicant's Name (if different): Phone:

Applicant's Address: Email:

Agent's Name (if applicable): Alan L. Pilch, PE, RLA Phone: Direct: (475) 215-5343 Cell: (203) 710-0587

Agent's Address: P.O. Box 843, Ridgefield, CT 06877 Email: alan@eaec-inc.com

TO BE COMPLETED BY OWNER/APPLICANT

The approval authority is? (see §189-5 of the Town Code)

☒ Town Engineer and Stormwater Management Officer ☐ Planning Board

Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No

Total area of proposed disturbance: ☐ 5,000 s.f. - < 1 acre ☐ ≥1 acre ☒ < 5,000 s.f.

Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity? ☐ Yes ☒ No ☐ Requires post-construction stormwater practice

Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: Building Permit (Building Department)

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under §189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

Owner Signature: Susan Morrissey (AAP) Date: 1/13/2023

ALP Engineering & Landscape Architecture, PLLC

LETTER OF TRANSMITTAL

Date: January 13, 2023

To: **Ciorsdan Conran**
Town of Lewisboro
Planning Board Administrator
79 Bouton Road
South Salem, NY 10590

Re: **Morrissey Property**
10 Hoyt Street
South Salem

We are sending you via First Class Mail one (1) copy of the following documents:

No. of Copies	Rev. / Date	Description
1	01/13/2023	**Stormwater Permit Application for 10 Hoyt Street**
1	01/13/2023	**Check #1555 in the amount of $155.00 payable to the Town of Lewisboro**

THESE ARE TRANSMITTED:

[ ] For Approval **[X] For Your Use** [ ] As Requested

[ ] For Review and Comment [ ] After Loan to Us

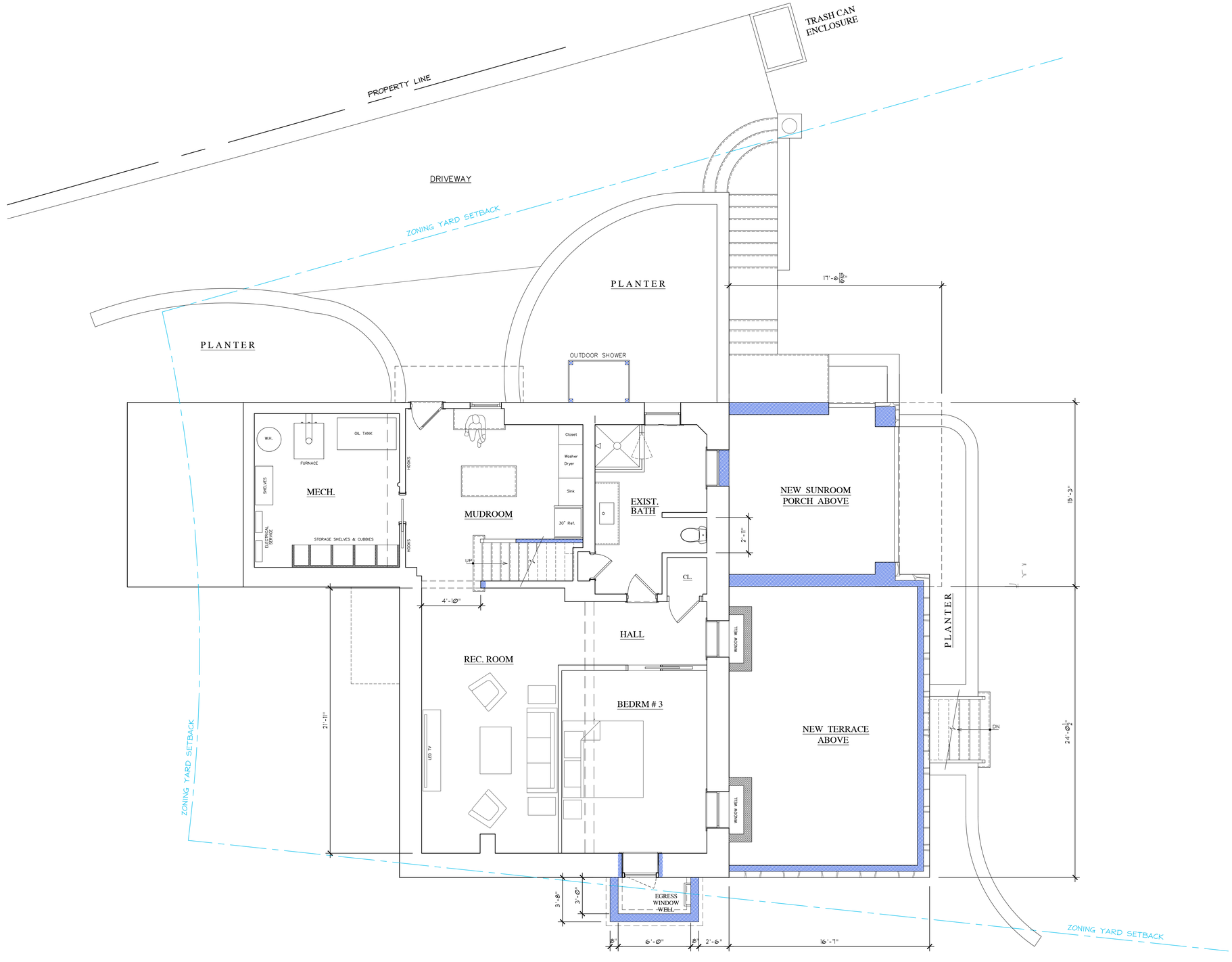
COMMENTS:

Permit application and fee, as requested.

Signed: _____
Alan L. Pilch, P.E., R.L.A.
Principal

cc: Susan Morrissey (via email)

P.O. Box 843 · Ridgefield, Connecticut 06877 · Direct Tel: 475-215-5343 · Mobile: 203-710-0587



NORTH

1 BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

PLAN KEY:

EXISTING CONSTRUCTION TO REMAIN

NEW CONSTRUCTION

CONSTRUCTION TO BE REMOVED

Darren P. Mercer, Architect, PLLC ©

NYS Lic. No. 020910 NJ Lic. No. 11952
CT Lic. No. 9243 MA Lic. No. 31909

Darren P. Mercer, Architect, PLLC
Architecture & Interior Design
32 Flintlock Ridge Road
Katonah, New York 10536
914.391.4490
darrenpmercer@gmail.com

Alterations & Additions To:
Existing Residence
10 Hoyt Street
South Salem, New York

Revisions:

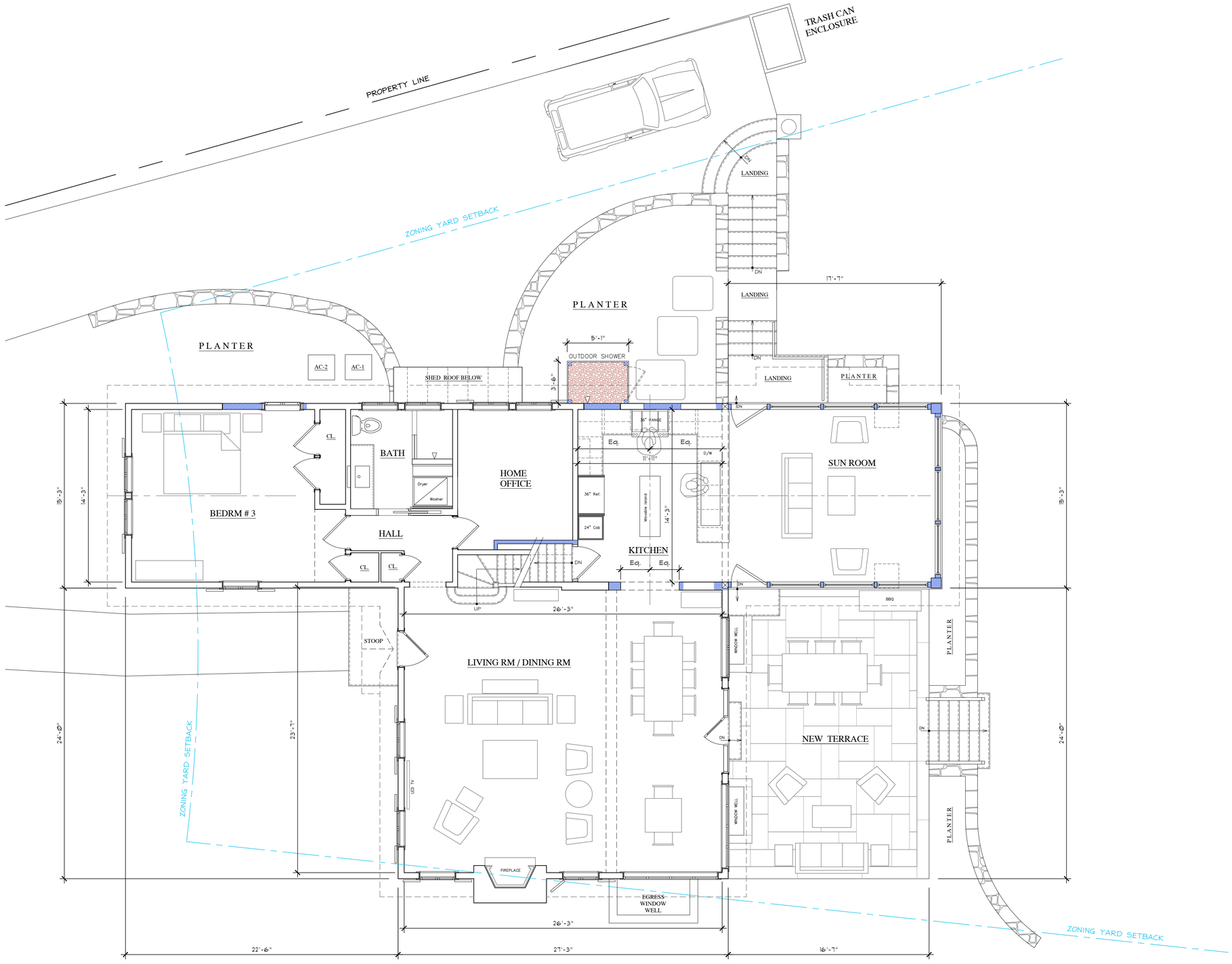
	Date:	Description:
	12-20-22	Design Plans

Drawing Title:
BASEMENT PLAN

Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

10 Hoyt Street

A.0



NORTH

1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

PLAN KEY:

EXISTING CONSTRUCTION TO REMAIN

NEW CONSTRUCTION

CONSTRUCTION TO BE REMOVED

Darren P. Mercer, Architect, PLLC ©

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Alterations & Additions To:
Existing Residence
10 Hoyt Street
South Salem, New York

Revisions:

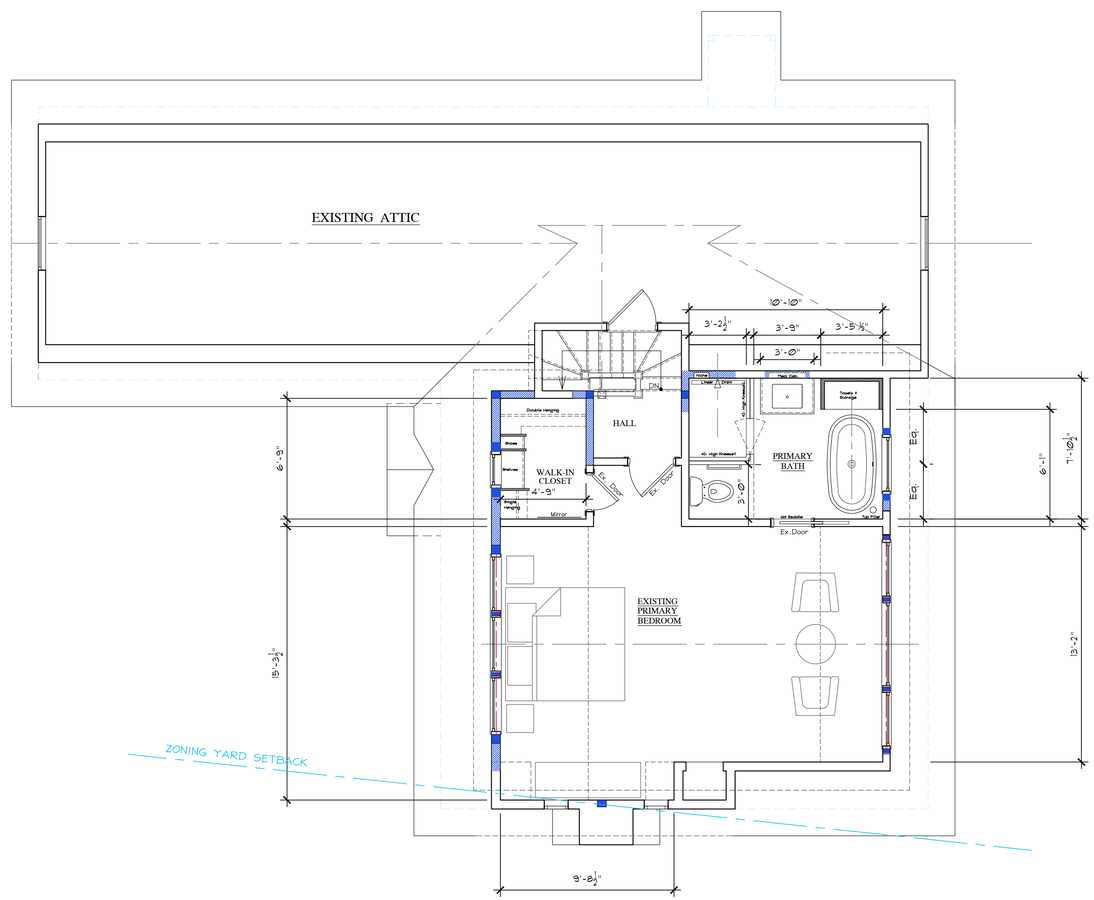
	Date:	Description:
	12-20-22	Design Plans

Drawing Title:
FIRST FLOOR PLAN

Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

10 Hoyt Street

A.1



NORTH

1 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

PLAN KEY:

EXISTING CONSTRUCTION TO REMAIN

NEW CONSTRUCTION

CONSTRUCTION TO BE REMOVED

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darrenpmercer@gmail.com

Alterations & Additions To:
Existing Residence
10 Hoyt Street
South Salem, New York

Revisions:

△	Date:	Description:
	12-20-22	Design Plans

Drawing Title:
SECOND FLOOR PLAN

Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

10 Hoyt Street

A.2

1 SOUTH ELEVATION-PROPOSED

SCALE: 1/4" = 1'-0"

2 SOUTH ELEVATION-EXISTING

SCALE: 1/4" = 1'-0"

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Alterations & Additions To:
Existing Residence
10 Hoyt Street
South Salem, New York

Revisions:

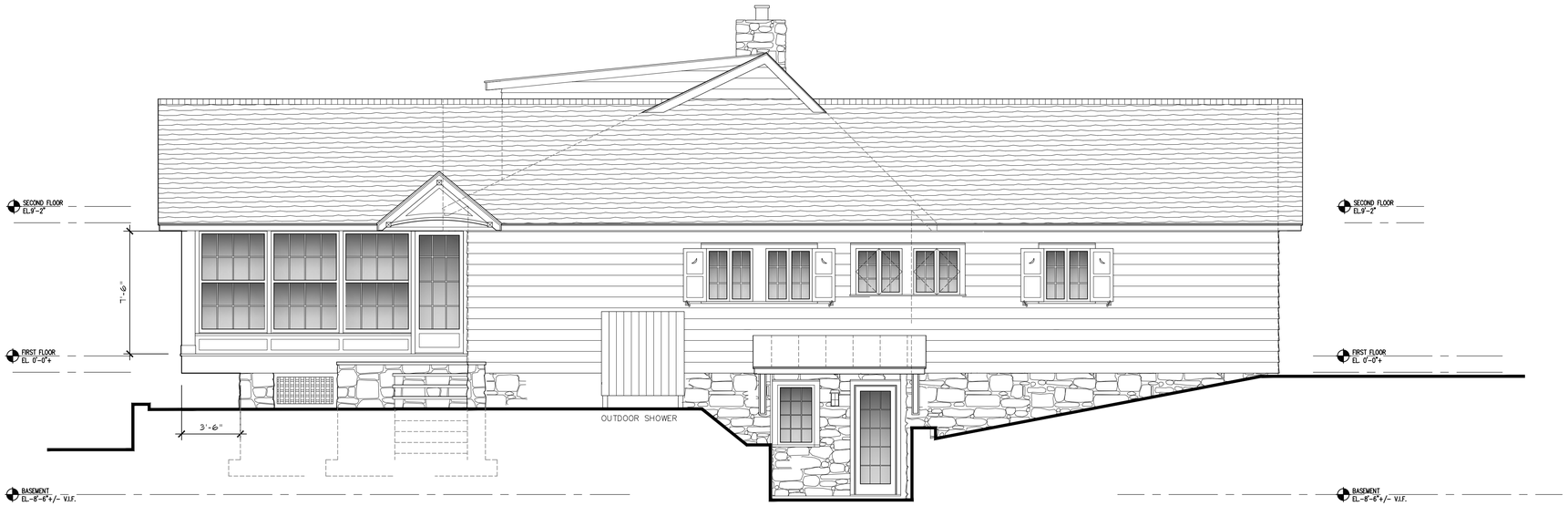
	Date:	Description:
	12-20-22	Design Plans

Drawing Title:
SOUTH ELEVATIONS

Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

10 Hoyt Street

A.3



1 EAST ELEVATION-PROPOSED

SCALE: 1/4" = 1'-0"

2 EAST ELEVATION-EXISTING

SCALE: 1/4" = 1'-0"

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Architect, PLLC

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Alterations & Additions To:
Existing Residence
10 Hoyt Street
South Salem, New York

Revisions:

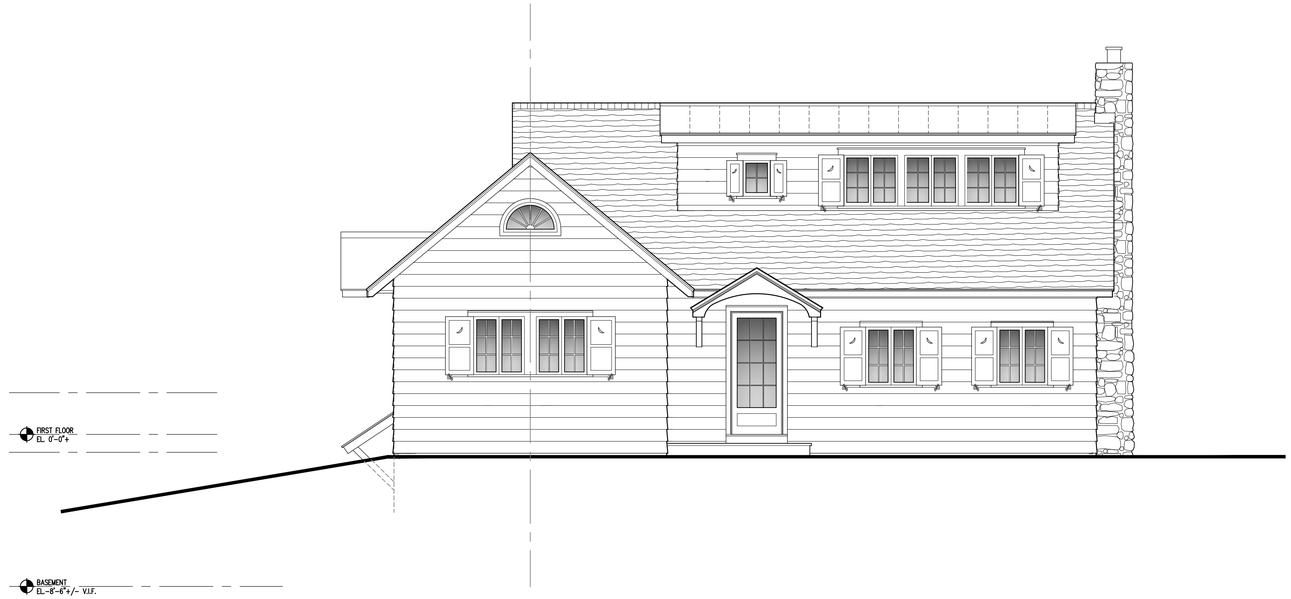
	Date:	Description:
	12-20-22	Design Plans

Drawing Title:
EAST ELEVATIONS

Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

10 Hoyt Street

A.4



1 NORTH ELEVATION-PROPOSED
SCALE: 1/4" = 1'-0"

2 NORTH ELEVATION-EXISTING
SCALE: 1/4" = 1'-0"

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Revisions:

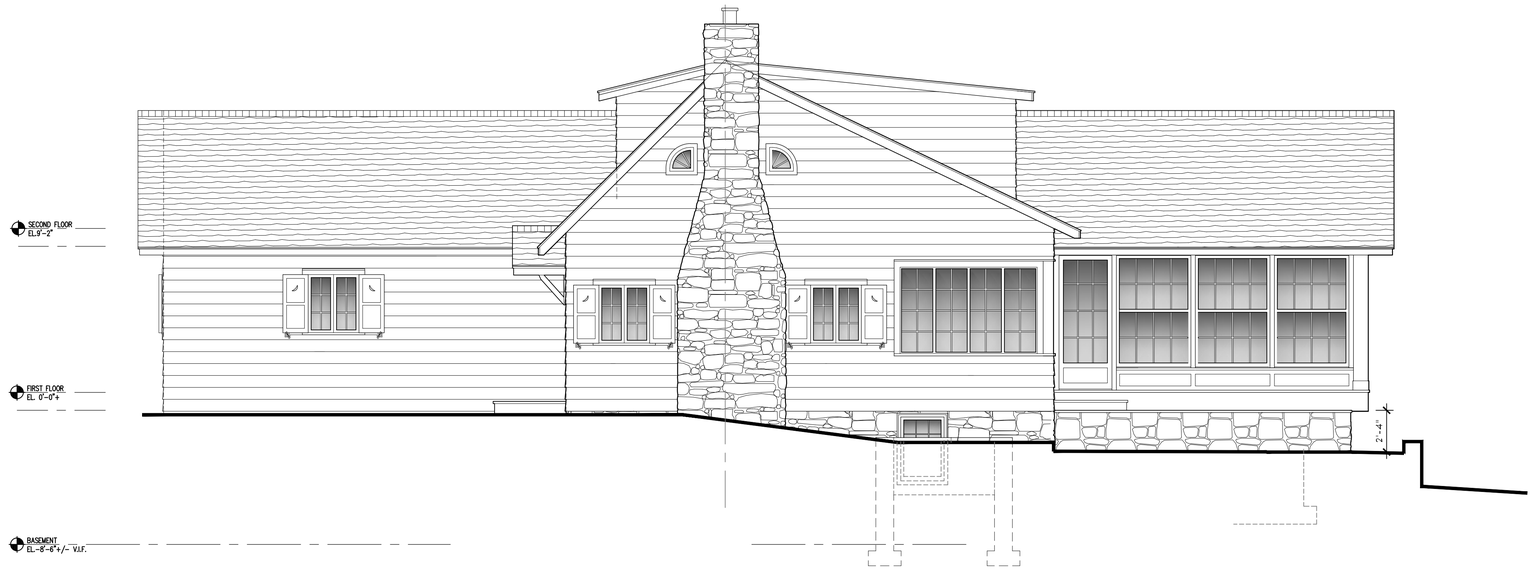
	Date:	Description:
	12-20-22	Design Plans

Drawing Title:
NORTH ELEVATIONS

Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

10 Hoyt Street

A.5



1 WEST ELEVATION-PROPOSED
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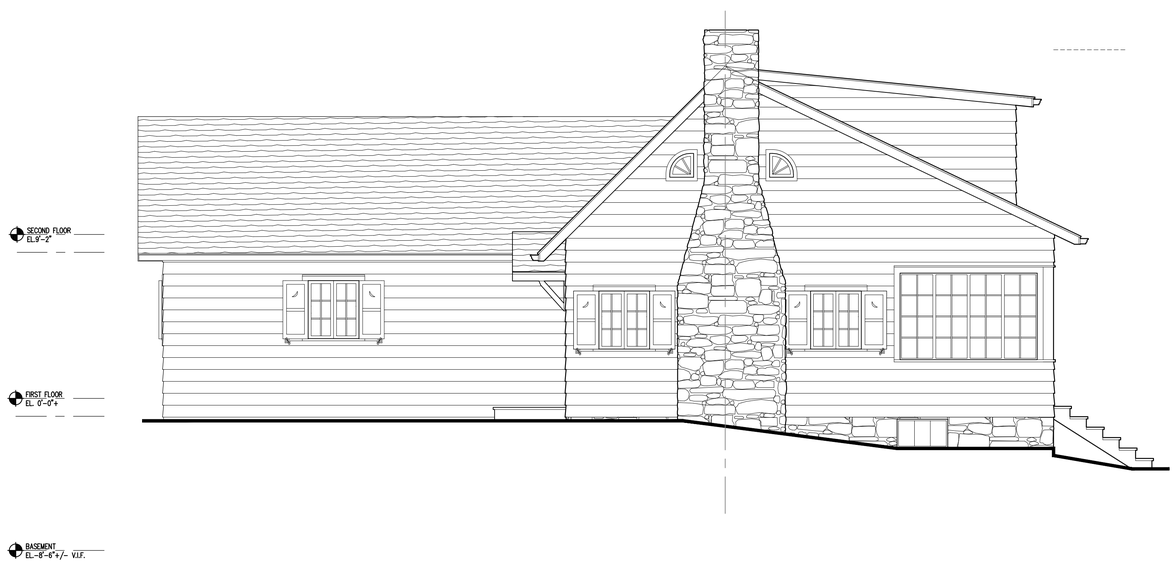

2 WEST ELEVATION-EXISTING
SCALE: 1/4" = 1'-0"

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Alterations & Additions To:
Existing Residence
10 Hoyt Street
South Salem, New York

Revisions:

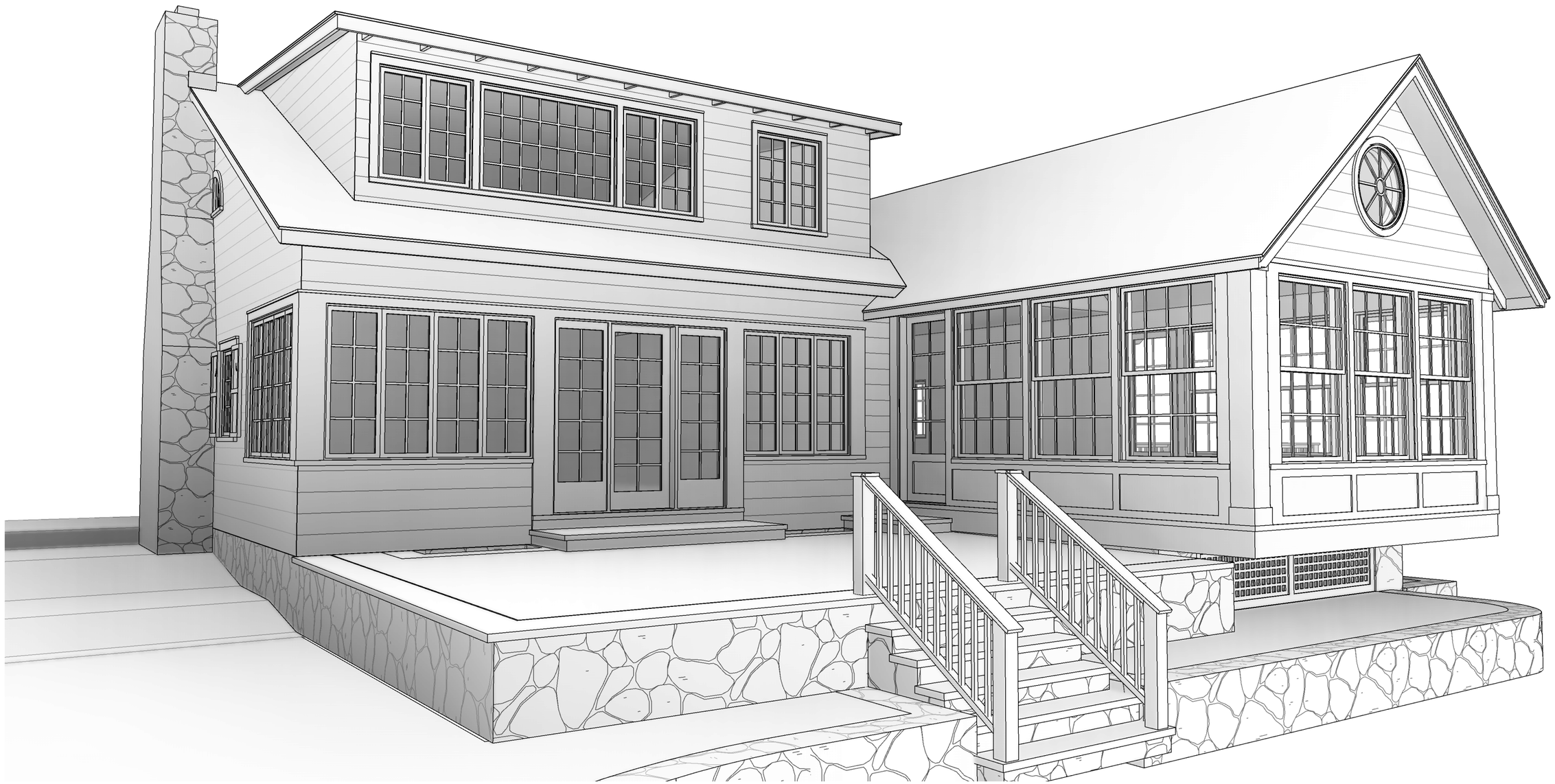
△	Date:	Description:
	12-20-22	Design Plans

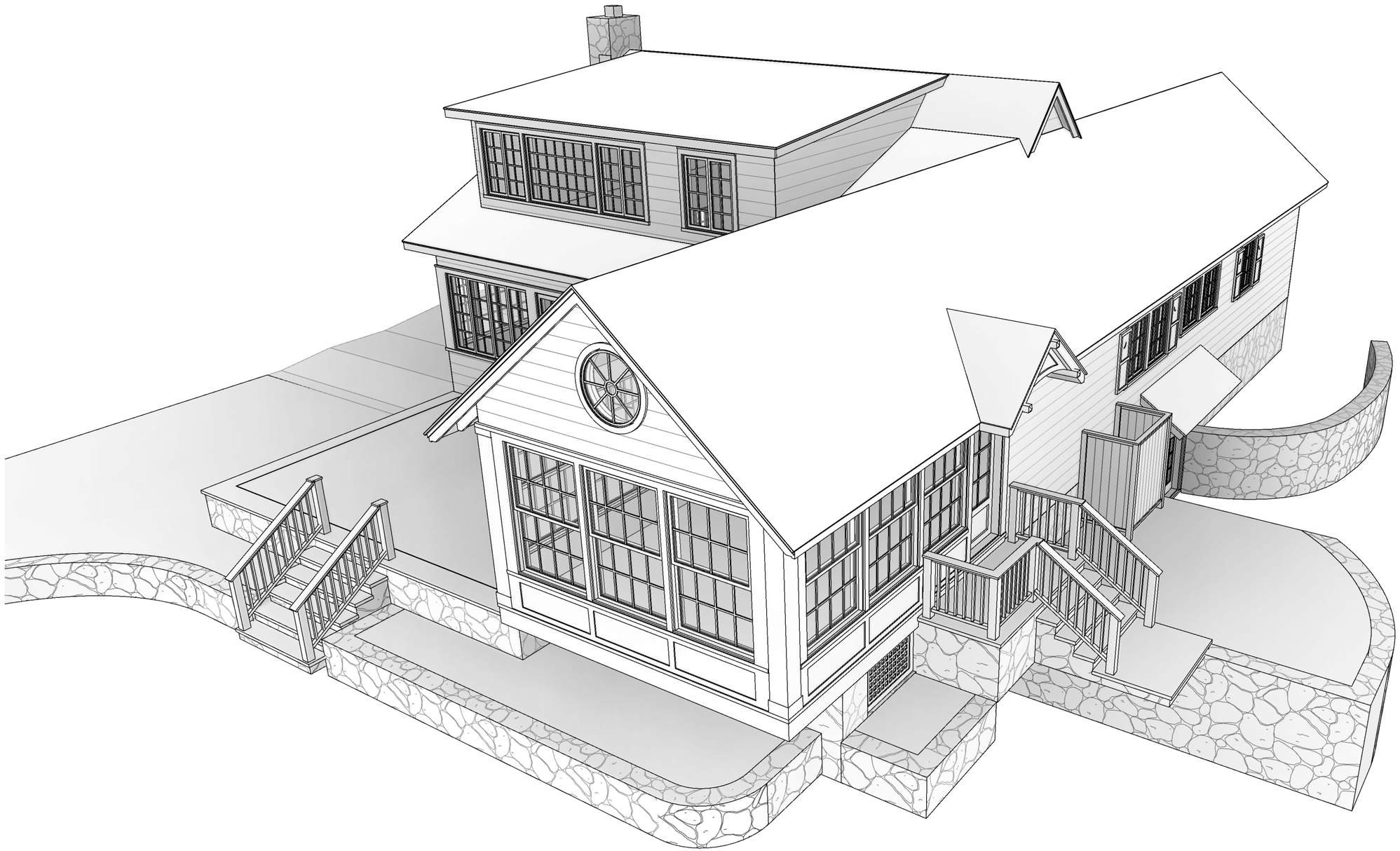
Drawing Title:
WEST ELEVATIONS

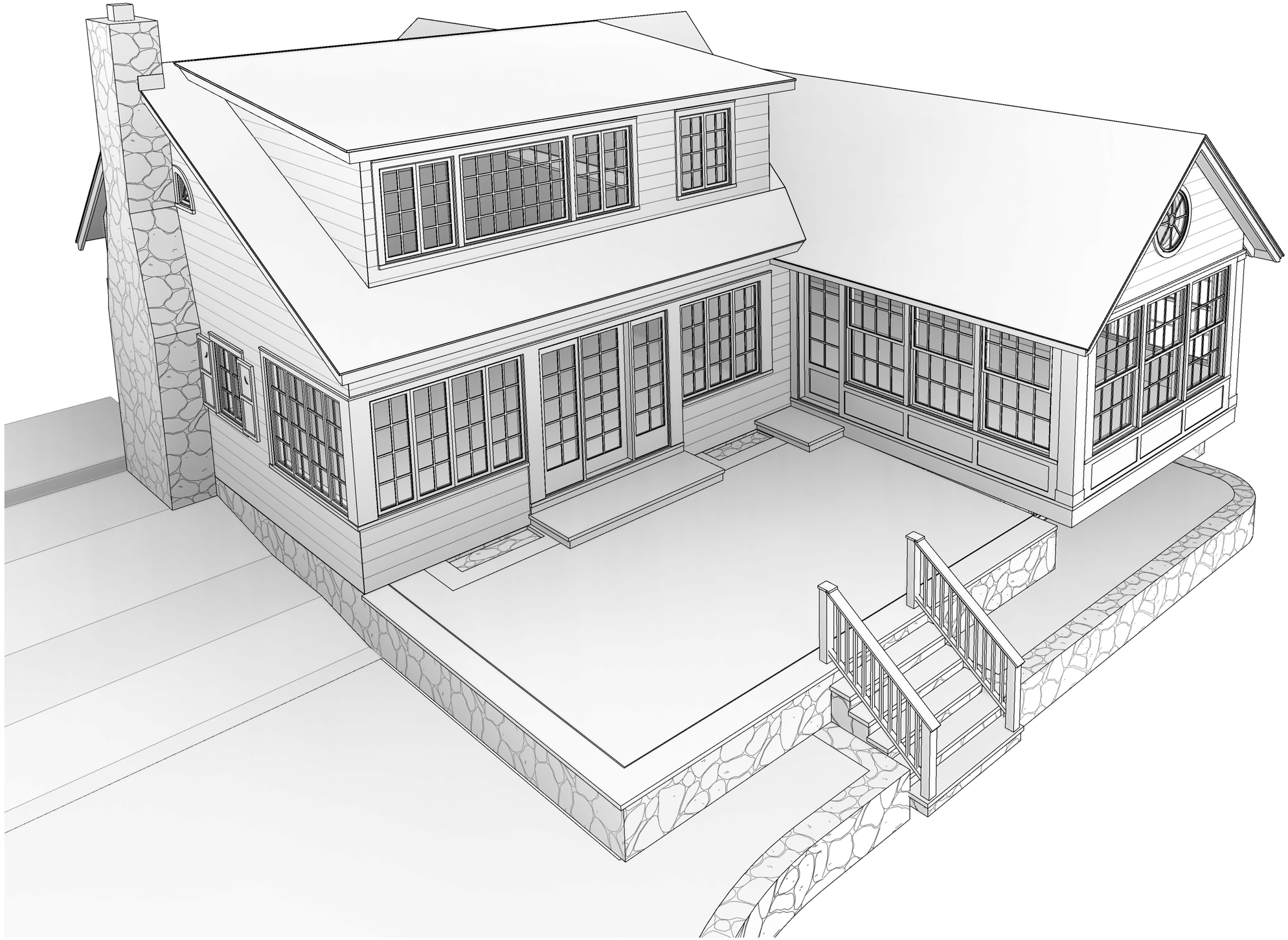
Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

10 Hoyt Street

A.6







SITE LOCATION MAP

BULK ZONING TABLE

ZONING: R-1/4A
SITE AREA: 11,739.58 SQ FEET

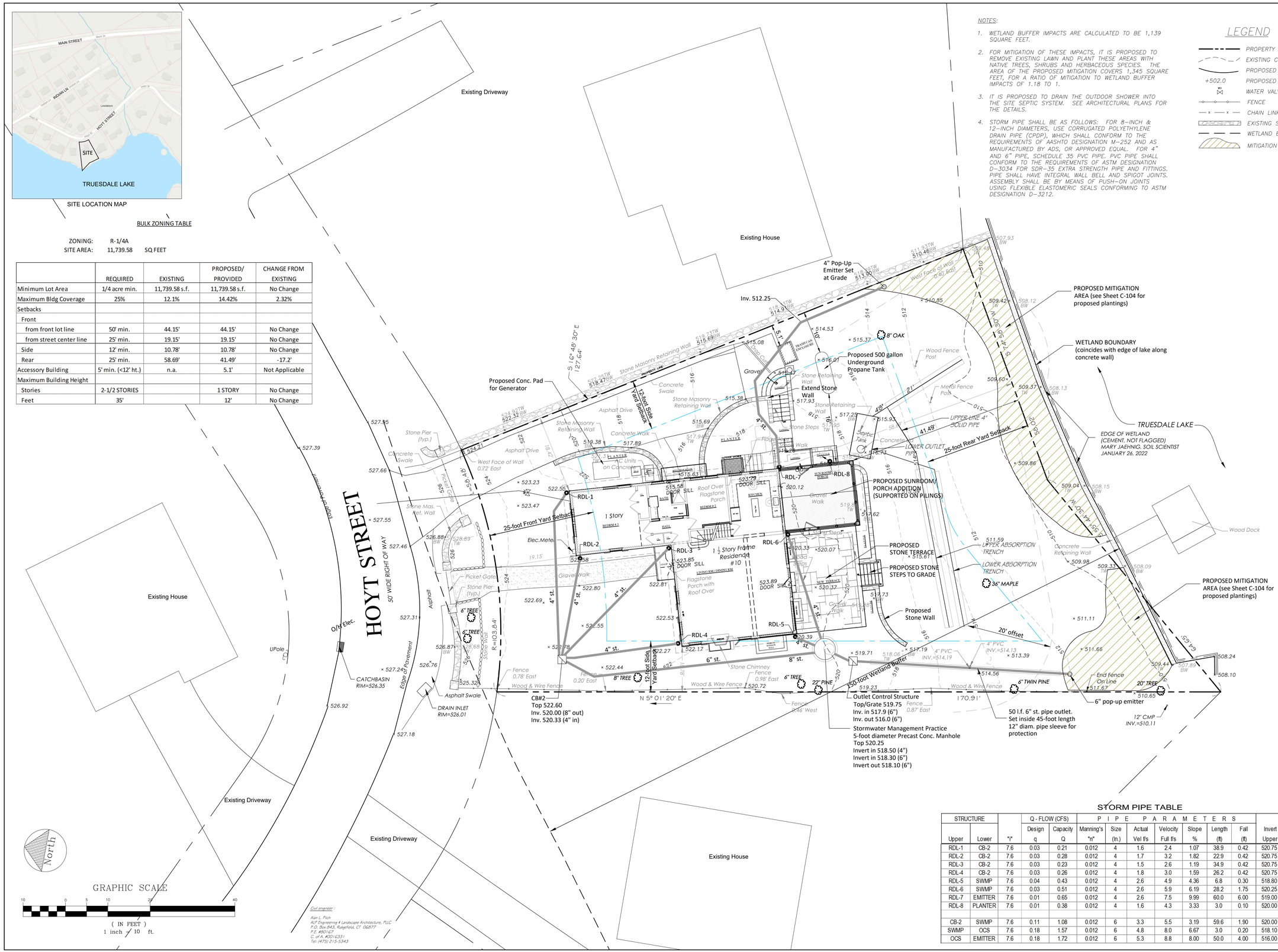
	REQUIRED	EXISTING	PROPOSED/ PROVIDED	CHANGE FROM EXISTING
Minimum Lot Area	1/4 acre min.	11,739.58 s.f.	11,739.58 s.f.	No Change
Maximum Bldg Coverage	25%	12.1%	14.42%	2.32%
Setbacks				
Front				
from front lot line	50' min.	44.15'	44.15'	No Change
from street center line	25' min.	19.15'	19.15'	No Change
Side	12' min.	10.78'	10.78'	No Change
Rear	25' min.	58.69'	41.49'	-17.2'
Accessory Building	5' min. (<12' ht.)	n.a.	5.1'	Not Applicable
Maximum Building Height				
Stories	2-1/2 STORIES		1 STORY	No Change
Feet	35'		12'	No Change

NOTES:

1. WETLAND BUFFER IMPACTS ARE CALCULATED TO BE 1,139 SQUARE FEET.
2. FOR MITIGATION OF THESE IMPACTS, IT IS PROPOSED TO REMOVE EXISTING LAWN AND PLANT THESE AREAS WITH NATIVE TREES, SHRUBS AND HERBACEOUS SPECIES. THE AREA OF THE PROPOSED MITIGATION COVERS 1,345 SQUARE FEET, FOR A RATIO OF MITIGATION TO WETLAND BUFFER IMPACTS OF 1.18 TO 1.
3. IT IS PROPOSED TO DRAIN THE OUTDOOR SHOWER INTO THE SITE SEPTIC SYSTEM. SEE ARCHITECTURAL PLANS FOR THE DETAILS.
4. STORM PIPE SHALL BE AS FOLLOWS: FOR 8–INCH & 12–INCH DIAMETERS, USE CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP), WHICH SHALL CONFORM TO THE REQUIREMENTS OF AASHTO DESIGNATION M–252 AND AS MANUFACTURED BY ADS, OR APPROVED EQUAL. FOR 4" AND 6" PIPE, SCHEDULE 35 PVC PIPE. PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D–3034 FOR SDR–35 EXTRA STRENGTH PIPE AND FITTINGS. PIPE SHALL HAVE INTEGRAL WALL BELL AND SPIGOT JOINTS. ASSEMBLY SHALL BE BY MEANS OF PUSH–ON JOINTS USING FLEXIBLE ELASTOMERIC SEALS CONFORMING TO ASTM DESIGNATION D–3212.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- +502.0 PROPOSED SPOT GRADE
- WATER VALVE
- FENCE
- CHAIN LINK FENCE
- EXISTING STONE WALL
- WETLAND BUFFER
- MITIGATION PLANTING AREA



STORM PIPE TABLE

STRUCTURE Upper	STRUCTURE Lower	"i"	Q - FLOW (CFS) Design q	Q - FLOW (CFS) Capacity Q	PIPE PARAMETERS Manning's "n"	Size (In.)	Actual Vel f/s	Velocity Full f/s	Slope %	Length (ft)	Fall (ft)	Invert Upper	Invert Lower	Top/Rim Elev.
RDL-1	CB-2	7.6	0.03	0.21	0.012	4	1.6	2.4	1.07	38.9	0.42	520.75	520.33	522.25
RDL-2	CB-2	7.6	0.03	0.28	0.012	4	1.7	3.2	1.82	22.9	0.42	520.75	520.33	522.58
RDL-3	CB-2	7.6	0.03	0.23	0.012	4	1.5	2.6	1.19	34.9	0.42	520.75	520.33	523.00
RDL-4	CB-2	7.6	0.03	0.26	0.012	4	1.8	3.0	1.59	26.2	0.42	520.75	520.33	522.17
RDL-5	SWMP	7.6	0.04	0.43	0.012	4	2.6	4.9	4.36	6.8	0.30	518.80	518.50	520.39
RDL-6	SWMP	7.6	0.03	0.51	0.012	4	2.6	5.9	6.19	28.2	1.75	520.25	518.50	523.25
RDL-7	EMITTER	7.6	0.01	0.65	0.012	4	2.6	7.5	9.99	60.0	6.00	519.00	513.00	522.00
RDL-8	PLANTER	7.6	0.01	0.38	0.012	4	1.6	4.3	3.33	3.0	0.10	520.00	519.90	520.00
CB-2	SWMP	7.6	0.11	1.08	0.012	6	3.3	5.5	3.19	59.6	1.90	520.00	518.10	520.25
SWMP	OCS	7.6	0.18	1.57	0.012	6	4.8	8.0	6.67	3.0	0.20	518.10	517.90	520.00
OCS	EMITTER	7.6	0.18	1.72	0.012	6	5.3	8.8	8.00	50.0	4.00	516.00	512.00	N.A.

Civil engineer :
Alan L. Pilch
ALP Engineering & Landscape Architecture, PLLC
P.O. Box 843, Ridgefield, CT 06877
P.E. #80167
C. of A. #301633
Tel: (475) 215-5343

PROPERTY OWNER:
Susan Morrissey
8A 239 Central Park West
New York, NY 10024

CONSULTANTS:

ARCHITECT:
Darren P. Mercer, Architect, PLLC
32 Flintlock Ridge Road
Katonah, NY 10536
Tel: (914) 391-4490

SURVEYOR:
TC Merritts Land Surveyors
394 Bedford Road
Pleasantville, NY 10570
Tel: (914) 769-8003

ISSUED:

Submission to Planning Board	11/18/2022
Rev. as per Planning Board & Town Consultant comments	12/26/2022

OWNERSHIP AND USE OF DOCUMENTS

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

No part of these drawings shall be copied, disclosed to others or used in connection with any work or project other than for which they have been prepared without the express written consent of the licensed professional who prepared the document.

SEAL:

STATE OF NEW YORK · ALAN L. PILCH · No. 080167 · LICENSED PROFESSIONAL ENGINEER

PROJECT NAME:
MORRISSEY RESIDENCE
10 Hoyt Street
South Salem, New York 10590

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843 Ridgefield, CT 06877
Direct Tel. (475) 215-5343 Cell (203) 710-0587

Drawing Title:

Site Plan

Date: October 12, 2022

Dwn. by: alp

ID: 10 Hoyt St Site_12-22-2022

C-101

EROSION & SEDIMENT CONTROL PLAN LEGEND

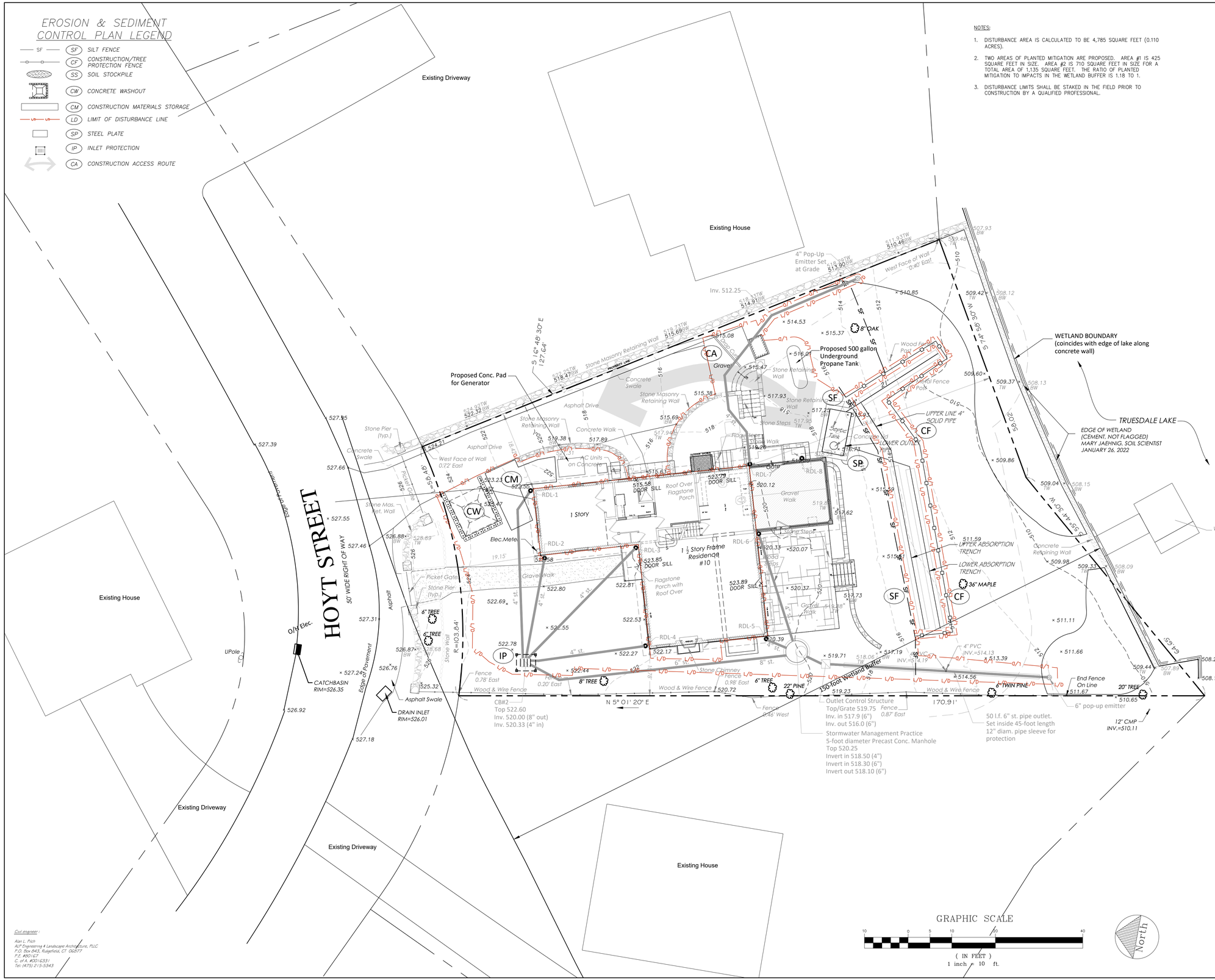
- SF — SILT FENCE
- CF — CONSTRUCTION/TREE PROTECTION FENCE
- SS — SOIL STOCKPILE
- CW — CONCRETE WASHOUT
- CM — CONSTRUCTION MATERIALS STORAGE
- LD — LIMIT OF DISTURBANCE LINE
- SP — STEEL PLATE
- IP — INLET PROTECTION
- CA — CONSTRUCTION ACCESS ROUTE

NOTES:

1. DISTURBANCE AREA IS CALCULATED TO BE 4,785 SQUARE FEET (0.110 ACRES).
2. TWO AREAS OF PLANTED MITIGATION ARE PROPOSED. AREA #1 IS 425 SQUARE FEET IN SIZE. AREA #2 IS 710 SQUARE FEET IN SIZE FOR A TOTAL AREA OF 1,135 SQUARE FEET. THE RATIO OF PLANTED MITIGATION TO IMPACTS IN THE WETLAND BUFFER IS 1.18 TO 1.
3. DISTURBANCE LIMITS SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION BY A QUALIFIED PROFESSIONAL.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- +502.0 PROPOSED SPOT GRADE
- WATER VALVE
- FENCE
- CHAIN LINK FENCE
- EXISTING STONE WALL
- WETLAND BUFFER



Civil engineer:
Alan L. Pilch
ALP Engineering & Landscape Architecture, PLLC
P.O. Box 843, Ridgefield, CT 06877
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ISSUED:

Submission to Planning Board	11/18/2022
Rev. as per Planning Board & Town Consultant comments	12/26/2022

OWNERSHIP AND USE OF DOCUMENTS

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SEAL:

STATE OF NEW YORK · ALAN L. PILCH · No. 080167 · LICENSED PROFESSIONAL ENGINEER

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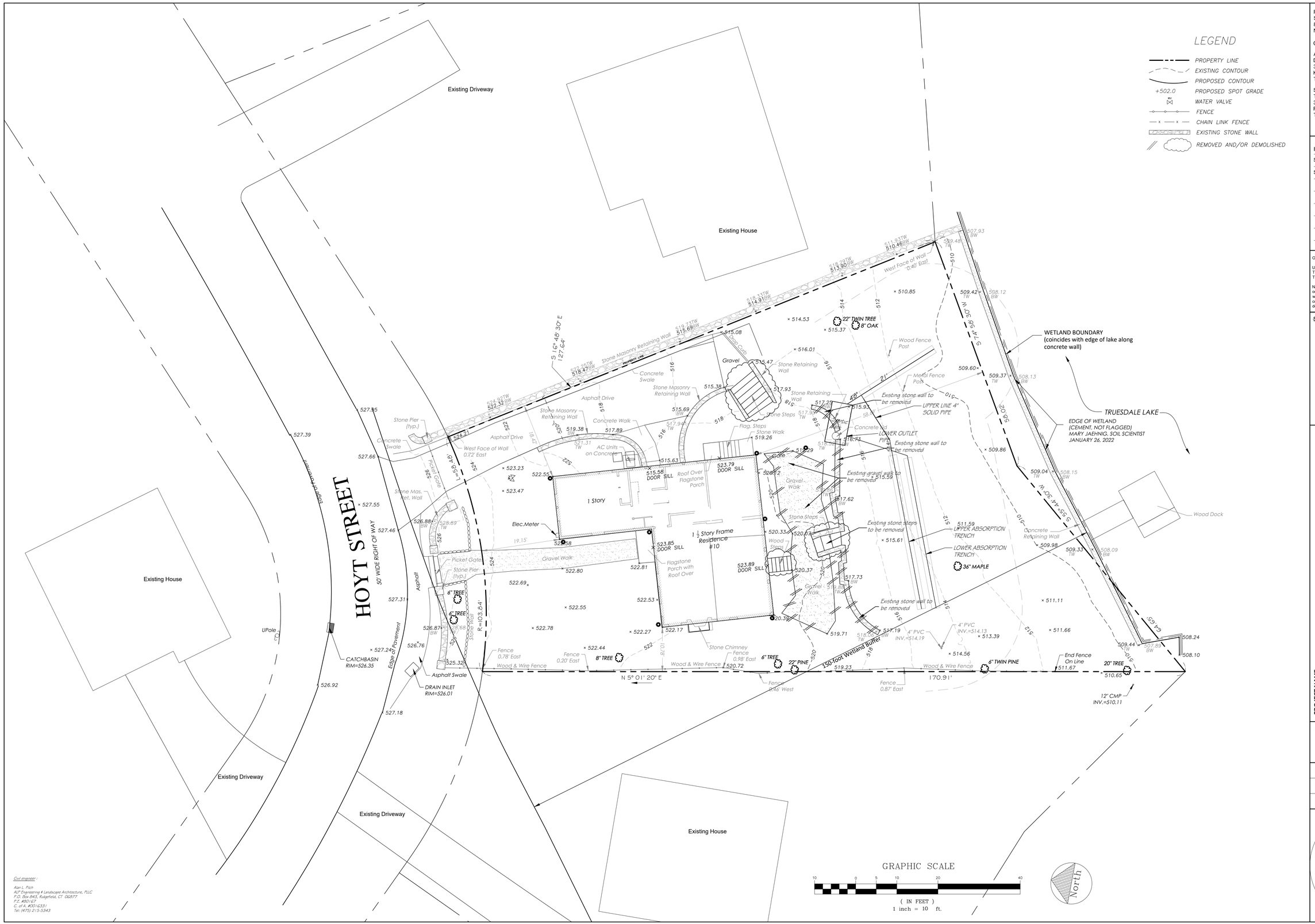
Drawing Title:
Erosion and Sediment Control Plan

Date: October 12, 2022
Dwn. by: alp
ID: 10 Hoyt St Site_12-22-2022

C-102



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Drawing Title:
Demolition and Removals Plan

Date: October 12, 2022
Dwn. by: alp
ID: 10 Hoyt St Site_12-22-2022

C-103

MITIGATION PLANT LIST

TREES AND SHRUBS						
CODE	QTY.	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING/ROOT	SPACING	REMARKS
AA	5	Aronia arbutifolia	Red Chokeberry	#3 container	4' on center	
AC	1	Amelanchier canadensis	Shadblow	2"-2.5" caliper, B&B	not applicable	tree form
BN	1	Betula nigra	River Birch	2"-2.5" caliper, B&B	not applicable	
CA	3	Clethra alnifolia	Summersweet Clethra	#3 container	4' on center	
CP	3	Comptonia peregrina	Sweetfern	#3 container	3' on center	
CS	2	Cornus sericea	Red Osier Dogwood	#3 container	5' on center	
FG	4	Fothergilla gardenii	Dwarf Fothergilla	#3 container	4' on center	
HV	1	Hamamelis virginiana	Witch Hazel	4'-5' ht.	not applicable	
IIV	3	Itea virginica	Virginia Sweetspire	#3 container	4' on center	
IV	3	Ilex verticillata	Winterberry	#3 container	6' on center	2-F, 1-M
JH	3	Juniperus horizontalis 'Wiltonii'	Wilton Juniper	#2 container	3' on center	

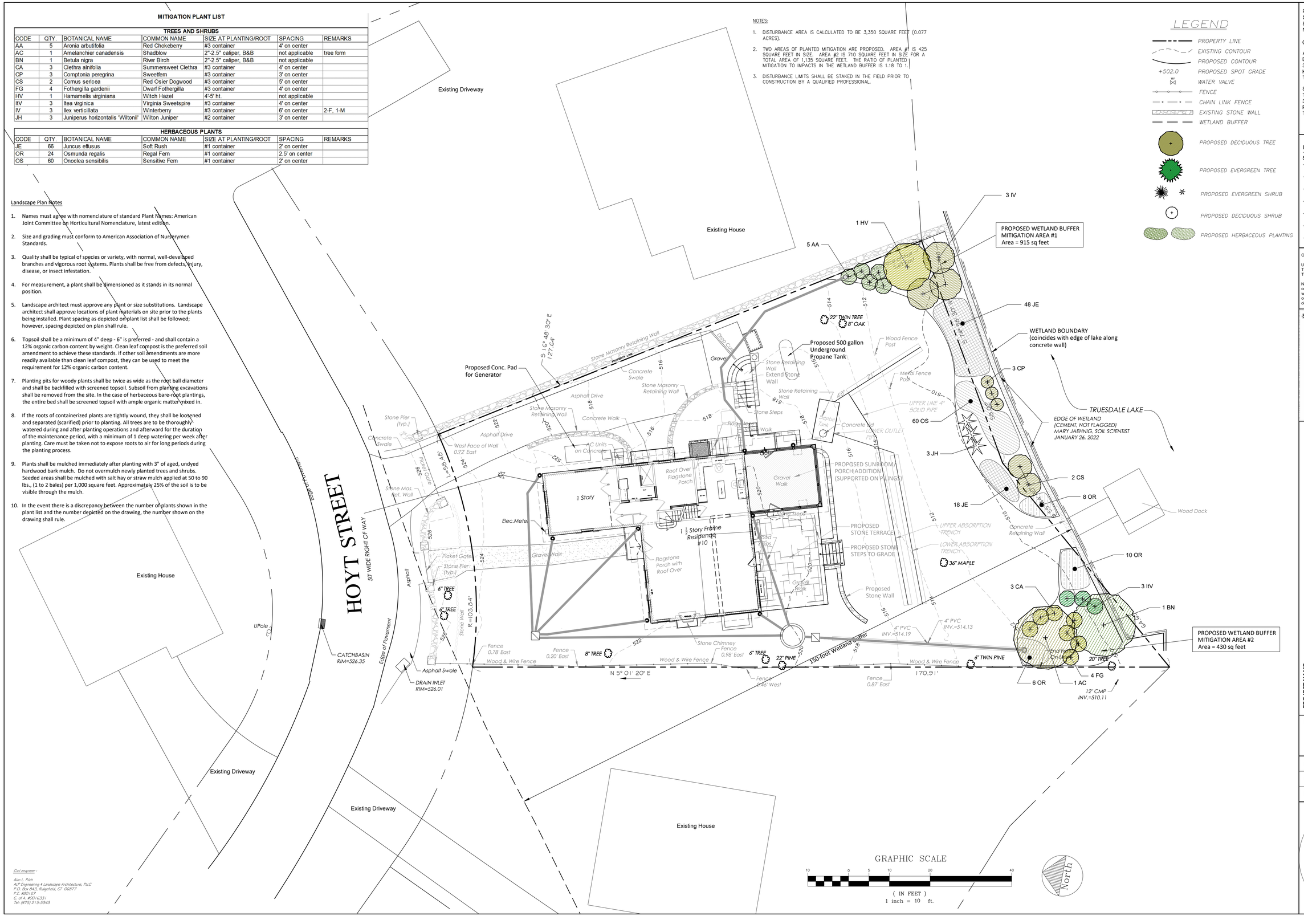
HERBACEOUS PLANTS						
CODE	QTY.	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING/ROOT	SPACING	REMARKS
JE	66	Juncus effusus	Soft Rush	#1 container	2' on center	
OR	24	Osmunda regalis	Regal Fern	#1 container	2.5' on center	
OS	60	Onoclea sensibilis	Sensitive Fern	#1 container	2' on center	

Landscape Plan Notes

1. Names must agree with nomenclature of standard Plant Names: American Joint Committee on Horticultural Nomenclature, latest edition.
2. Size and grading must conform to American Association of Nurserymen Standards.
3. Quality shall be typical of species or variety, with normal, well-developed branches and vigorous root systems. Plants shall be free from defects, injury, disease, or insect infestation.
4. For measurement, a plant shall be dimensioned as it stands in its normal position.
5. Landscape architect must approve any plant or size substitutions. Landscape architect shall approve locations of plant materials on site prior to the plants being installed. Plant spacing as depicted on plant list shall be followed; however, spacing depicted on plan shall rule.
6. Topsoil shall be a minimum of 4" deep - 6" is preferred - and shall contain a 12% organic carbon content by weight. Clean leaf compost is the preferred soil amendment to achieve these standards. If other soil amendments are more readily available than clean leaf compost, they can be used to meet the requirement for 12% organic carbon content.
7. Planting pits for woody plants shall be twice as wide as the root ball diameter and shall be backfilled with screened topsoil. Subsoil from planting excavations shall be removed from the site. In the case of herbaceous bare-root plantings, the entire bed shall be screened topsoil with ample organic matter mixed in.
8. If the roots of containerized plants are tightly wound, they shall be loosened and separated (scarified) prior to planting. All trees are to be thoroughly watered during and after planting operations and afterward for the duration of the maintenance period, with a minimum of 1 deep watering per week after planting. Care must be taken not to expose roots to air for long periods during the planting process.
9. Plants shall be mulched immediately after planting with 3" of aged, undyed hardwood bark mulch. Do not overmulch newly planted trees and shrubs. Seeded areas shall be mulched with salt hay or straw mulch applied at 50 to 90 lbs., (1 to 2 bales) per 1,000 square feet. Approximately 25% of the soil is to be visible through the mulch.
10. In the event there is a discrepancy between the number of plants shown in the plant list and the number depicted on the drawing, the number shown on the drawing shall rule.

NOTES:

1. DISTURBANCE AREA IS CALCULATED TO BE 3,350 SQUARE FEET (0.077 ACRES).
2. TWO AREAS OF PLANTED MITIGATION ARE PROPOSED. AREA #1 IS 425 SQUARE FEET IN SIZE. AREA #2 IS 710 SQUARE FEET IN SIZE FOR A TOTAL AREA OF 1,135 SQUARE FEET. THE RATIO OF PLANTED MITIGATION TO IMPACTS IN THE WETLAND BUFFER IS 1.18 TO 1.
3. DISTURBANCE LIMITS SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION BY A QUALIFIED PROFESSIONAL.



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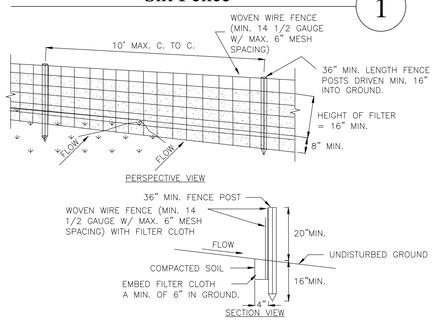
Drawing Title:
Mitigation Planting Plan

Date:	December 26, 2022
Dwn. by:	alp
ID:	10 Hoyt St Site_12-22-2022

C-104

Silt Fence (1)



CONSTRUCTION SPECIFICATIONS

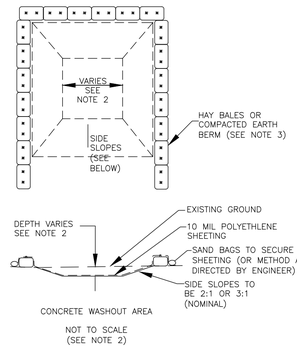
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE	SILT FENCE

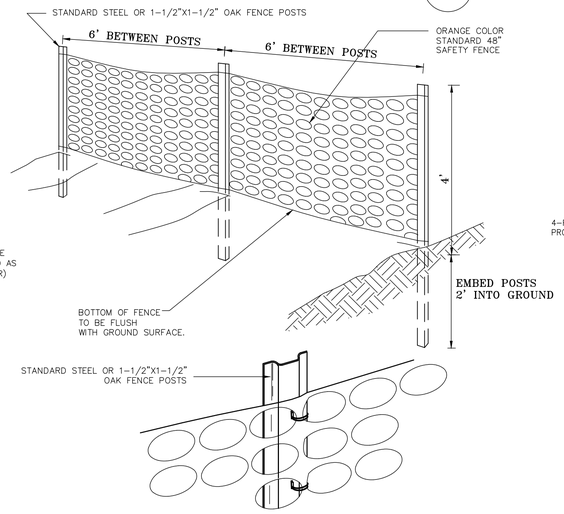
Concrete Washout Area (2)

NOTES:

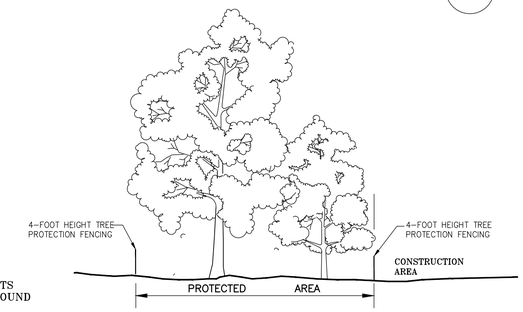
1. Concrete washout areas shall be installed prior to concrete placement of on-site. The concrete washout area shall be entirely self-contained.
2. The contractor shall submit the design, location and sizing of the concrete washout area(s) with the project's erosion and sedimentation control plan and shall be approved by the engineer. Location: Washout area(s) are to be located at least 50 feet from any stream, wetland, storm drains, or other sensitive resource. The flood contingency plan must address the concrete washout if the washout is to be located within the floodplain. Size: the washout must have sufficient volume to contain all liquid and concrete waste generated by washout operations including, but not limited to, operations associated with grout and mortar.
3. Surface discharge is unacceptable. Therefore, hay bales or other control measures, as approved by the engineer, should be used around the perimeter of the concrete washout area for containment.
4. Signs should be placed at the construction entrance, at the concrete area(s) and elsewhere as necessary to clearly indicate the location of the concrete washout to operators of concrete trucks and pump rigs. Washout area(s) should be flagged with safety fencing or other approved method.
5. Washout area(s) are to be inspected at least once a week for structural integrity, adequate holding capacity and check for leaks, tears or overflow. (As required by the construction site environmental inspection report, washout areas should be checked after heavy rains.)
6. Hardened concrete waste should be removed and disposed of when the waste has accumulated to half the concrete washout's height. The waste can be stored at an upland location, as approved by the engineer. All concrete waste shall be disposed of in a manner consistent with all applicable laws, regulations and guidelines.
7. Payment for this item is to be included under the general cost of the work for the project, including site restoration.



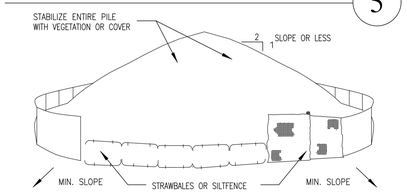
Construction Fence/Tree Protection (3)



Construction Fence/Tree Protection (4)



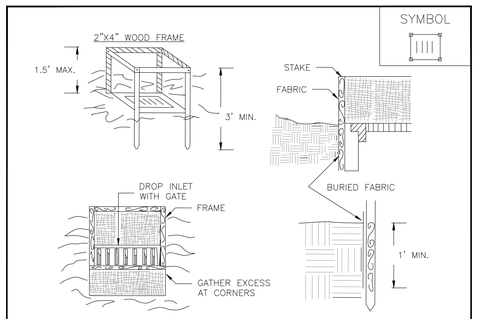
Soil Stockpile (5)



INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING (WHICH IS PREFERRED) OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

Stone and Block Drop Inlet Protection (6)



CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUN DRAINAGE AREA 1 ACRE

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE	FILTER FABRIC DROP INLET PROTECTION

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Drawing Title:

Construction Details

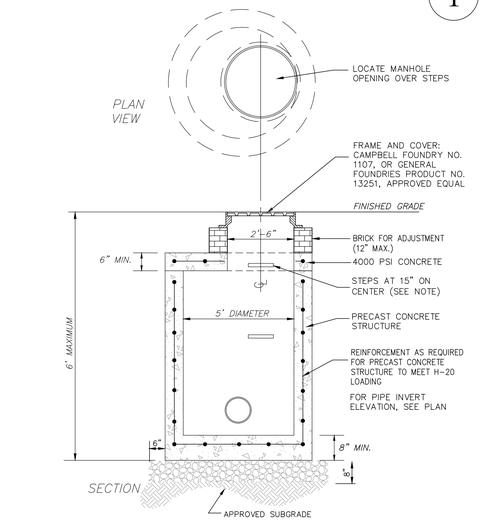
Date: October 12, 2022

Dwn. by: alp

ID: 10 Hoyt St Site_12-22-2022

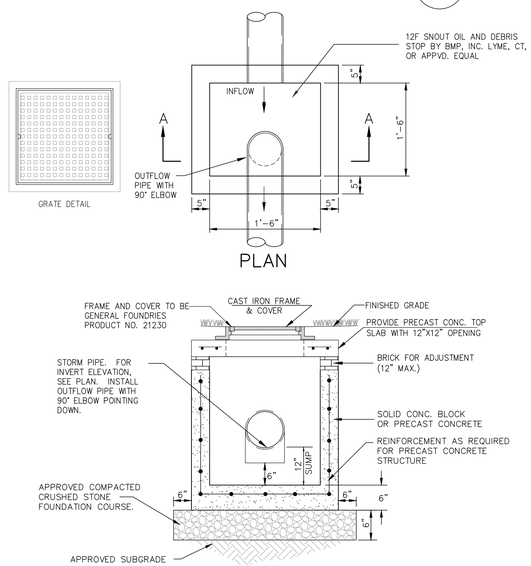
C-111

Stormwater Management Facility (1)



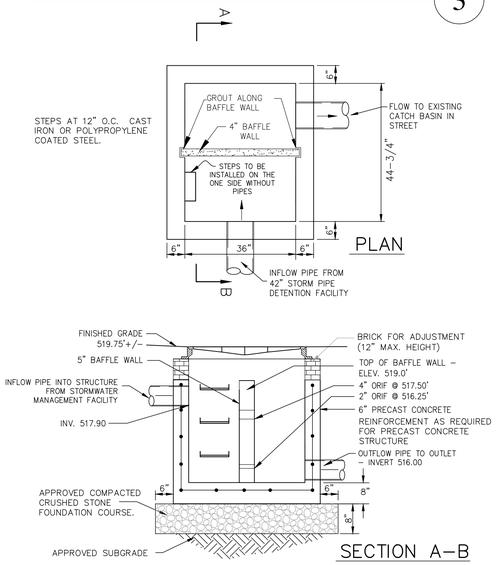
NOTES:
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EACH STRUCTURE.
2. STRUCTURE SHALL BE CERTIFIED AS CONFORMING TO ASTM-C913.
3. STRUCTURE SHALL BE DESIGNED FOR AASHTO H-20 LOADING.
4. STEPS NOT REQUIRED FOR STRUCTURES LESS THAN 4 FEET FROM FINISHED GRADE TO BOTTOM OF STRUCTURE.

Catch Basin (2)

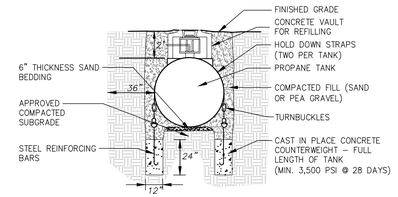


NOTES:
1. CONCRETE: 4,000 PSI @ 28 DAYS.
2. REINFORCING: AS PER ASTM A-185 6"X6" W4/W4 W.W.M.

Outlet Control Structure (3)

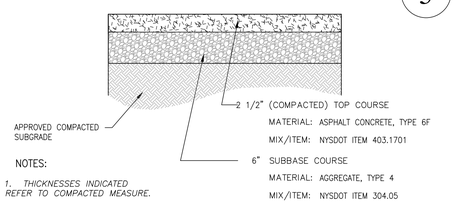


Typical Propane Tank Installation (4)



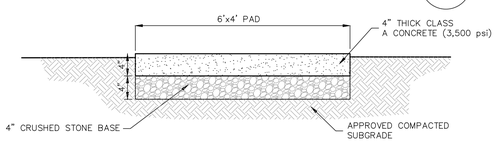
NOTE:
1. INSTALLATION OF TANK MUST MEET ALL TANK MANUFACTURER REQUIREMENTS, UTILITY COMPANY REQUIRMENTS AND OSHA REGULATIONS.
2. REFILLING APPURTENANCES SHALL BE IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.

Driveway Pavement (5)

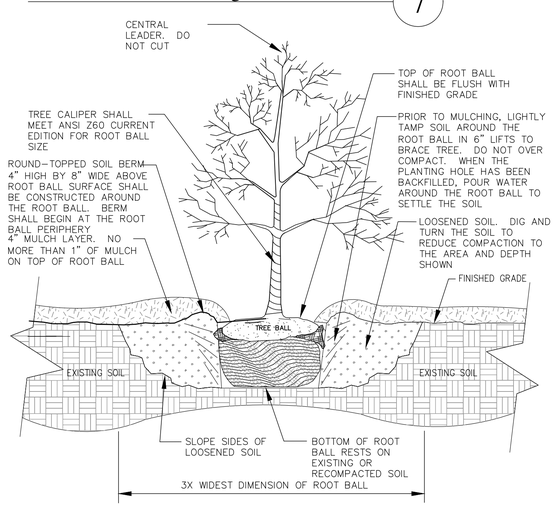


NOTES:
1. THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
2. ITEM NUMBERS REFER TO: NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

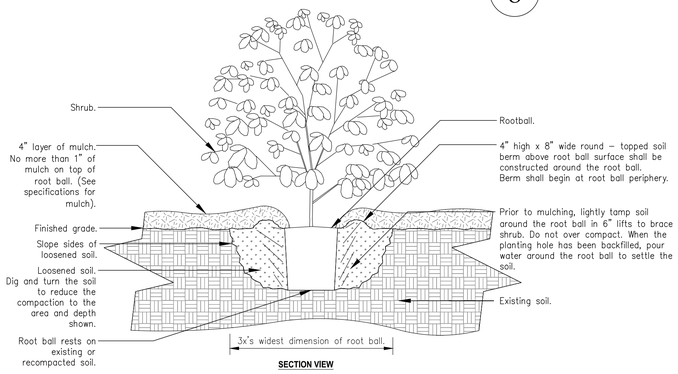
Concrete Pad for Generator (6)



Tree Planting Detail (7)



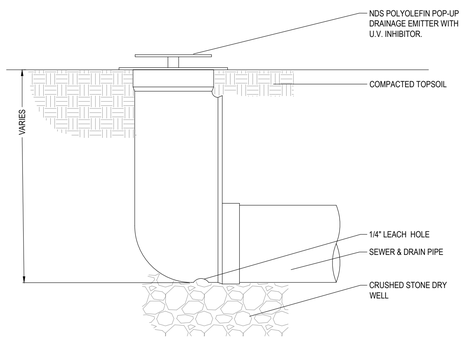
Shrub Planting Detail (8)



Notes:
1- Shrubs shall be of quality prescribed in the root observations detail and specifications.

2- See specifications for further requirements related to this detail.

Pop-Up Emitter (9)



NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

DRAINAGE EMITTER
TYPICAL POP-UP DRAINAGE EMITTER

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LINDSAY, CA 93247
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PHONE: (559) 562-9888
FAX: (559) 562-4488
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10 Hoyt Street
South Salem, New York 10590

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843 Ridgefield, CT 06877
Direct Tel. (475) 215-5343 Cell (203) 710-0587

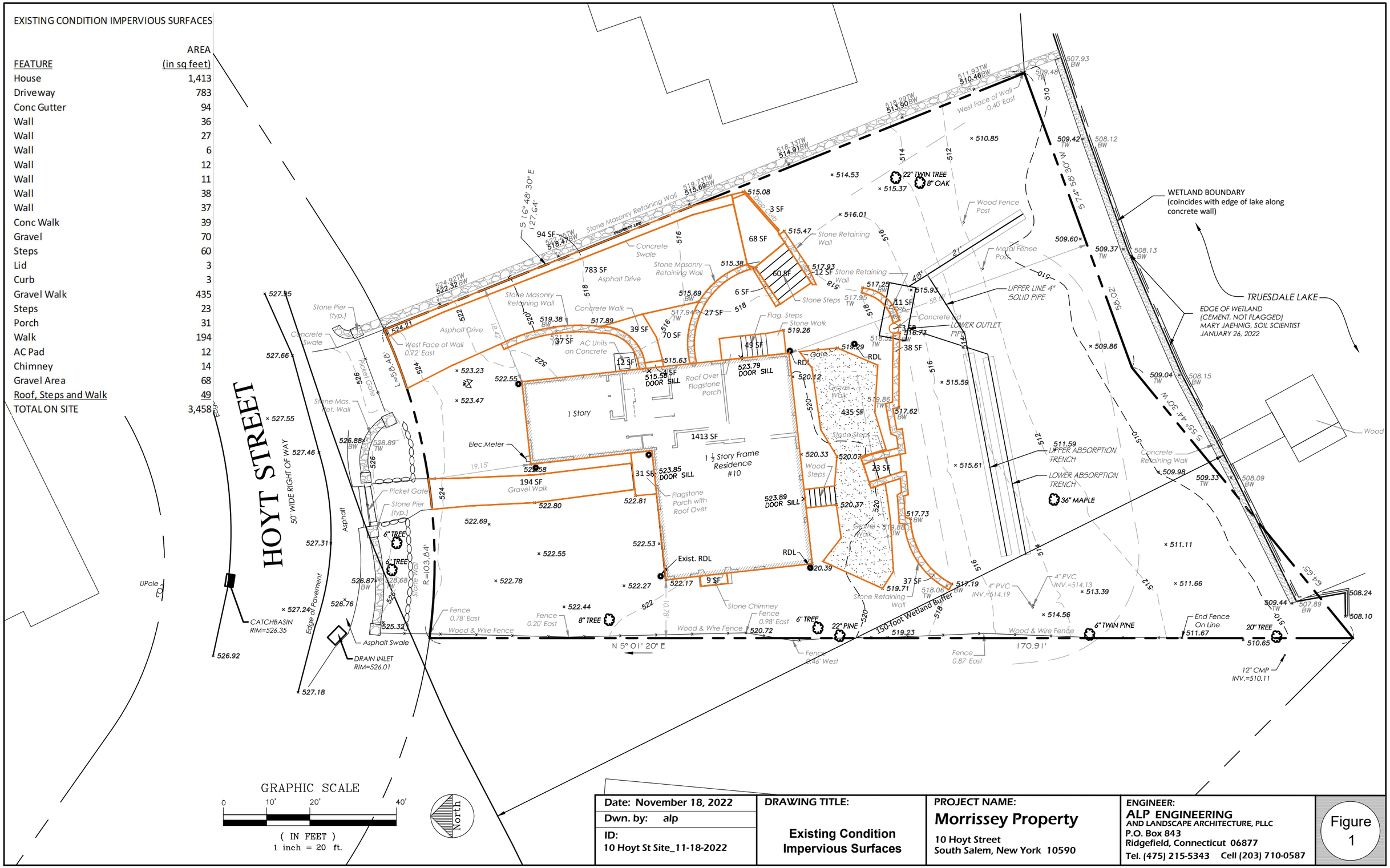
Drawing Title:
Construction Details

Date: October 12, 2022
Dwn. by: alp
ID: 10 Hoyt St Site_12-22-2022

C-112

EXISTING CONDITION IMPERVIOUS SURFACES

FEATURE	AREA (in sq feet)
House	1,413
Driveway	783
Conc Gutter	94
Wall	36
Wall	27
Wall	6
Wall	12
Wall	11
Wall	38
Wall	37
Conc Walk	39
Gravel	70
Steps	60
Lid	3
Curb	3
Gravel Walk	435
Steps	23
Porch	31
Walk	194
AC Pad	12
Chimney	14
Gravel Area	68
Roof, Steps and Walk	49
TOTAL ON SITE	3,458

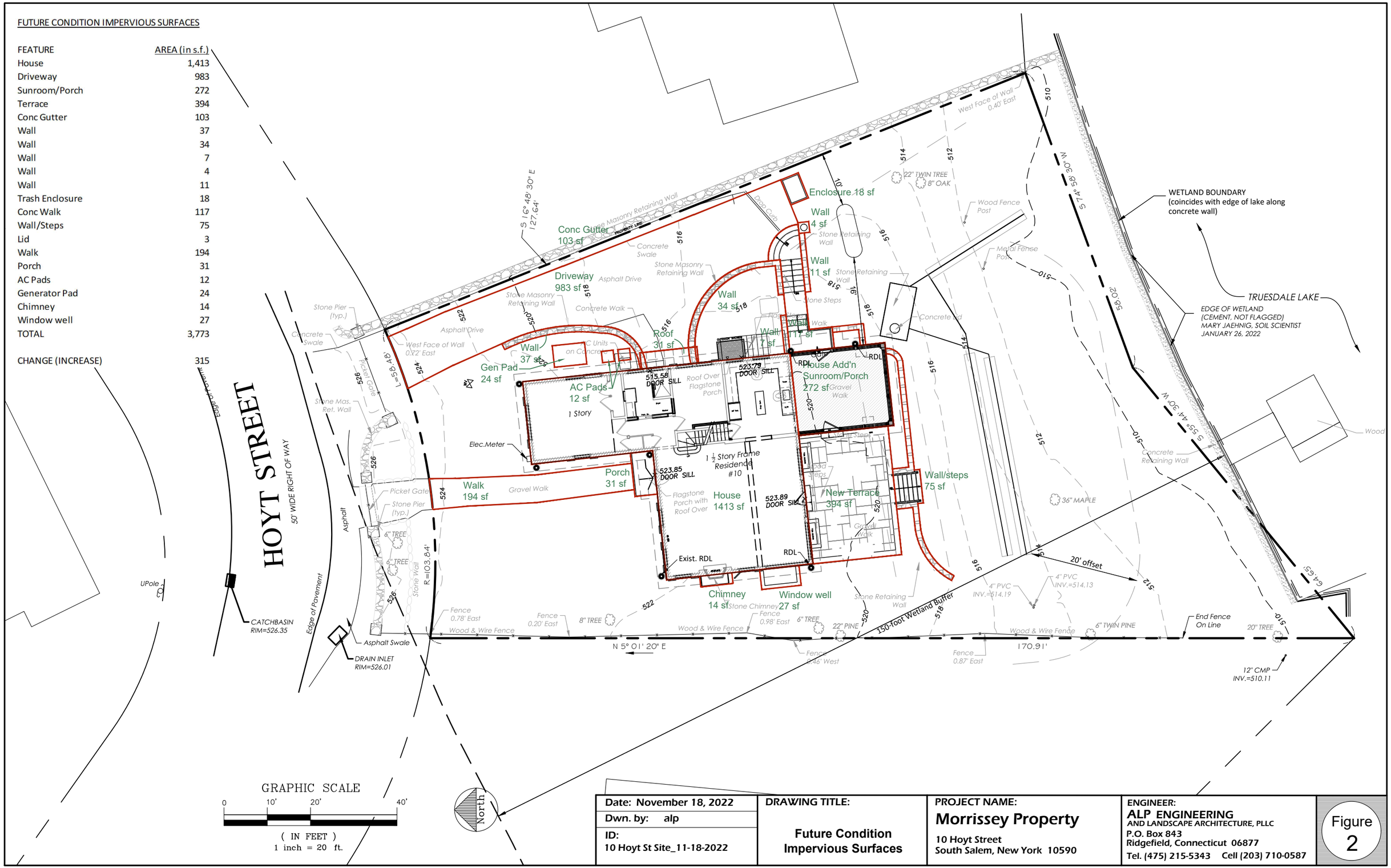


Date: November 18, 2022 Dwn. by: alp ID: 10 Hoyt St Site_11-18-2022	DRAWING TITLE: Existing Condition Impervious Surfaces	PROJECT NAME: Morrissey Property 10 Hoyt Street South Salem, New York 10590	ENGINEER: ALP ENGINEERING AND LANDSCAPE ARCHITECTURE, PLLC P.O. Box 843 Ridgefield, Connecticut 06877 Tel. (475) 215-5343 Cell (203) 710-0587

Figure 1

FUTURE CONDITION IMPERVIOUS SURFACES

FEATURE	AREA (in s.f.)
House	1,413
Driveway	983
Sunroom/Porch	272
Terrace	394
Conc Gutter	103
Wall	37
Wall	34
Wall	7
Wall	4
Wall	11
Trash Enclosure	18
Conc Walk	117
Wall/Steps	75
Lid	3
Walk	194
Porch	31
AC Pads	12
Generator Pad	24
Chimney	14
Window well	27
TOTAL	3,773
CHANGE (INCREASE)	315



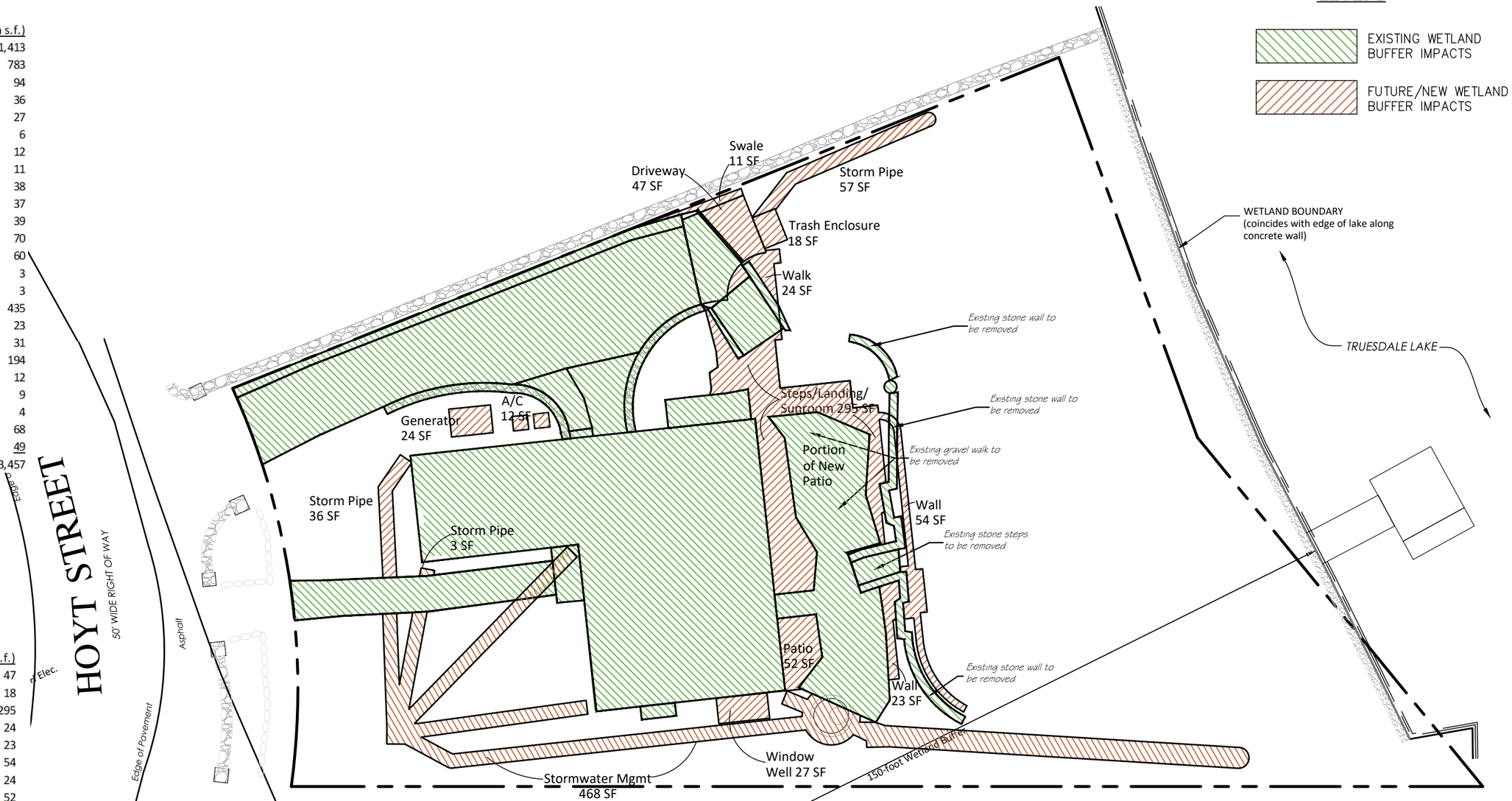
Date: November 18, 2022 Dwn. by: alp ID: 10 Hoyt St Site_11-18-2022	DRAWING TITLE: Future Condition Impervious Surfaces	PROJECT NAME: Morrissey Property 10 Hoyt Street South Salem, New York 10590	ENGINEER: ALP ENGINEERING AND LANDSCAPE ARCHITECTURE, PLLC P.O. Box 843 Ridgefield, Connecticut 06877 Tel. (475) 215-5343 Cell (203) 710-0587

Figure 2

EXISTING WETLAND BUFFER IMPACTS

FEATURE	AREA (in s.f.)
House	1,413
Driveway	783
Conc Gutter	94
Wall	36
Wall	27
Wall	6
Wall	12
Wall	11
Wall	38
Wall	37
Conc Walk	39
Gravel	70
Steps	60
Lid	3
Curb	3
Gravel Walk	435
Steps	23
Porch	31
Walk	194
AC Pad	12
Chimney	9
Cover	4
Gravel Area	68
Roof, Steps and Walk	49
TOTAL	3,457

NEW WETLAND BUFFER IMPACTS	AREA (in s.f.)
Driveway (extension)	47
Trash Enclosure	18
Steps & Landing/Sun Room	295
Walk	24
Wall	23
Wall	54
Generator Pad	24
Terrace (added to ex patio)	52
Window Well	27
Stormwater Management	468
Stormwater Management	57
Swale	11
Roof Drain Leader	3
Roof Drain Leader	36
TOTAL	1,139



Date: December 26, 2022 Dwn. by: alp ID: 10 Hoyt St Site_12-22-2022	DRAWING TITLE: Existing and New Wetland Buffer Impacts	PROJECT NAME: Morrissey Property 10 Hoyt Street South Salem, New York 10590	ENGINEER: ALP ENGINEERING AND LANDSCAPE ARCHITECTURE, PLLC P.O. Box 843 Ridgefield, Connecticut 06877 Tel. (475) 215-5343 Cell (203) 710-0587

Figure 3

STORMWATER MANAGEMENT REPORT
FOR 10 HOYT STREET
SOUTH SALEM, NEW YORK
Rev. Date: December 26, 2022

PREPARED BY: ALAN L. PILCH, PE, RLA
ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC

Report Contents:
1) Existing Site Conditions
2) Stormwater Management Design Criteria and Plan
3) Stormwater Analysis
4) Stormwater Modeling – Peak Rate Attenuation

Figures
Supporting Documentation
Appendix A Hydrographs and Routings

This Stormwater Management Report is submitted in support of the application of the owners of the above-noted property, Susan Morrissey, for the construction of a sunroom / porch addition to the house, as well as a stone patio in the rear yard.

1) Existing Site Conditions:

The subject property is 11,739.577 square feet (0.270 acres) in size and is located on the south side of Hoyt Street. The property is shaped roughly like a trapezium, with 58.48 feet of frontage on Hoyt Street. Existing residential properties are located to the west and east, as well as to the north. Truesdale Lake is to the south. At present, there is an L-shaped frame residence in the north central portion of the property, with driveway access on the east side of the house. The subject property is zoned R-1/4A, One Family Residence ¼ acre minimum lot area. The house obtains its potable water from the Truesdale Lake Property Owner's Association wells and distribution system. There is a septic system in the rear yard consisting of a 1,000 gallon septic tank and leaching trenches, all of which were located in the field by Cassese Construction.

The regulated wetland (Truesdale Lake) is located generally to the south of the property (a portion of the lake lies within the subject property).

The Town 150-foot wetland buffer encompasses the entire lot, including all of the existing house. Most of the property features the typical residential landscape of lawn, trees and shrubs. The property is located in the Waccabuc River Basin. Lake Truesdale discharges to Lake Waccabuc. The Waccabuc River flows into the Cross River, which eventually flows into the Cross River Reservoir.

Soils - According to the Web Soil Survey (Soil Survey of Putnam and Westchester Counties), two soil types are found on the property. These include Paxton fine sandy loam, 8 to 15 percent slopes over the entire property with the exception of the extreme southeast corner, where Ridgebury complex, 3 to 8 percent slopes are found (see **Figure 2**). Disturbance for construction is only proposed in the area of Paxton fine sandy loam soils; these soils are in hydrologic group C.

Paxton fine sandy loam soils consist of fine sandy loam and gravelly fine sandy loam. The depth to the restrictive feature is typically 20 to 39 inches below grade.

2) Stormwater Management Design Criteria and Plan

All of the runoff from the site discharges to Truesdale Lake. The stormwater management plan for the property has been designed to meet the requirements of the Town of Lewisboro. To this end, the project will provide peak rate attenuation for all storm events up to the 25-year storm in subsurface chambers.

The runoff from the northern and western portion of the house, plus one-half of the proposed sunroom/porch addition, comprising an area of 1,281 square feet of roof will be conveyed in storm drainage pipes to a subsurface stormwater management facility to consist of a 5-foot diameter precast concrete manhole structure. The practice will be located in the side yard in a level lawn area of that portion of the property.

3) Stormwater Analysis

The following describes the existing and future condition drainage areas that were modeled for this SWPPP report.

Existing Condition – In the existing condition, one drainage areas was defined as follows (see **Exhibit 1)**.

Existing Condition Drainage Area #1 (XDA-1) is 13,121 square feet in area and consists of the entire property, from the edge of pavement of Hoyt Street to the wall on the north side of Truesdale Lake. Runoff from this drainage area is conveyed to the south, discharging into Truesdale Lake. A curve number of 82 was calculated for this drainage area.

Future Condition - The following describes the two future condition drainage areas that were analyzed (see **Exhibit 2**).

Future Condition Drainage Area #1 (FDA-1) is 1,281 square feet in size and encompasses the roof area of the northern and western portion of the house, plus the westward facing portion of the sunroom addition. A curve number of 98 was determined for this drainage area. As noted above, the runoff from this drainage area will be directed into a 5-foot diameter precast concrete manhole which will serve to attenuate the flows from the majority of the house.

Future Condition Drainage Area #2 (FDA-2) is 11,840 square feet in area and consists of the remainder of the drainage area which conveys runoff to the Design Line. This drainage area consist of mostly lawn areas (74% of the drainage area), as well as unconnected impervious surfaces, including but not limited to the rest of the house roof, driveway, patio and one-half of the sunroom/porch addition. A curve number of 81 was calculated for this drainage area.

4) Stormwater Modeling – Peak Rate Attenuation

The peak rate of runoff has been calculated for the 1-year through 25-year storm events. The analysis was performed in accordance with the methodology of the United States Department of Agriculture Soil Conservation Service (now Natural Resources Conservation Service) publication *Urban Hydrology for Small Watersheds*, *Technical Release 55* (TR-55), 1986. To calculate the peak rate of runoff, the following information used in the analysis: (i) Runoff depths for the 24-hour design storms used in the calculations were as follows: 2.84" for the one-year storm, 3.41" for the 2-year storm, 5.09" for the ten-year storm, and 6.40" for the 25-year storm, based on the data from the Northeast Regional Climate Center for the property; (ii) A 24-hour rainfall duration was used in calculating the hydrographs, (iii) a Type III storm distribution was used in the analysis. Finally, hydrographs and pond routings were created using the computer program *HydroCAD* (ver. 10.20-2f), by HydroCAD Software Solutions, LLC.

The proposed stormwater management practice is designed to provide peak rate attenuation of the runoff from the property. The analysis shows that for all modeled storm events to the design line, the peak rate of runoff is *less than or equal to the existing peak rate of runoff*.

Table 1, Peak Rates of Runoff summarizes the peak rates of flow at the design point in the existing and future conditions for the modeled storms.

Table 1. Peak Rates of Runoff to Design Line
(all flows in cubic feet per second)

Drainage Area/ Storm Interval	*1 year*	*2 year*	*10 year*	*25 year*
Existing Condition				
Flows to Design Line	0.37	0.52	1.02	1.42
Future Condition				
Flows to Design Line	0.36	0.50	0.97	1.40

5) Summary:

The proposed stormwater management facility to consist of a 5-foot diameter precast concrete manhole will provide peak rate attenuation of runoff across all of the modeled storm events.

FIGURES

Figure 1

SITE LOCATION MAP

Scale: Not to Scale

LEGEND:
PnC—Paxton fine sandy loam, 8 to 15 percent slopes
RdB—Ridgebury complex, 3 to 8 percent slopes

Figure 2

SOILS MAP

Scale: Not to Scale

SUPPORTING DOCUMENTATION

HOYT STREET
50' WIDE RIGHT OF WAY

WETLAND BOUNDARY
(coincides with edge of lake along concrete wall)

TRUESDALE LAKE

EDGE OF WETLAND
(CEMENT, NOT FLAGGED)
MARY JAEHNIG, SOIL SCIENTIST
JANUARY 26, 2022

1 Story
1 ½ Story Frame Residence #10
Elec.Meter
Roof Over Flagstone Porch
Flagstone Porch with Roof Over
Gravel Walk
Stone Steps
Wood Steps
Gate
Gravel Walk
Stone Retaining Wall
Stone Steps
Flag. Steps
Stone Walk
Concrete Pad
Gravel
Drop Curb
Stone Chimney
Exist. RDL
Exist. RDL
Stone Masonry Retaining Wall
Concrete Swale
Asphalt Drive
Concrete Walk
AC Units on Concrete
Stone Masonry Retaining Wall
Stone Masonry Retaining Wall
West Face of Wall 0.40' East
West Face of Wall 0.72' East
S 16° 48' 30" E
127.64'
L=56.48'
R=103.84'
S 74° 58' 30" W
56.02'
S 55° 44' 30" W
170.91'
N 5° 01' 20" E
22" TWIN TREE
8" OAK
Wood Fence Post
Metal Fence Post
Concrete Retaining Wall
Wood Dock
36" MAPLE
4" PVC INV.=514.19
4" PVC INV.=514.13
150-foot Wetland Buffer
Stone Retaining Wall
Wood & Wire Fence
Fence 0.78' East
Fence 0.20' East
Fence 0.98' East
Fence 0.46' West
Fence 0.87' East
8" TREE
6" TREE
22" PINE
6" TWIN PINE
20" TREE
End Fence On Line
12" CMP INV.=510.11
Stone Pier (typ.)
Concrete Swale
Picket Gate
Stone Mas. Ret. Wall
Picket Gate
Stone Pier (typ.)
6" TREE
6" TREE
Stone Wall
Asphalt
Edge of Pavement
Asphalt Swale
DRAIN INLET
RIM=526.01
CATCHBASIN
RIM=526.35
UPole
Edge of Pavement
Ga. Gs.

GRAPHIC SCALE
0 10' 20' 40'
(IN FEET)
1 inch = 20 ft.

North

Date: September 12, 2022 Dwn. by: alp ID: 10 Hoyt St Site_09-09-2022	DRAWING TITLE: Existing Condition Drainage Area Map	PROJECT NAME: Morrissey Property 10 Hoyt Street South Salem, New York 10590	ENGINEER: ALP ENGINEERING AND LANDSCAPE ARCHITECTURE, PLLC P.O. Box 843 Ridgefield, Connecticut 06877 Tel. (475) 215-5343 Cell (203) 710-0587

Exhibit 1

Existing House

WETLAND BOUNDARY
(coincides with edge of lake along concrete wall)

TRUESDALE LAKE

EDGE OF WETLAND
(CEMENT, NOT FLAGGED)
MARY JAEHNIG, SOIL SCIENTIST
JANUARY 26, 2022

Proposed 500 gallon Underground Propane Tank

Proposed Conc. Pad for Generator

FDA-1
Area = 1,281 s.f.

FDA-2
Area = 11,840 s.f.

HOYT STREET
50' WIDE RIGHT OF WAY

150-foot Wetland Buffer

20' offset

CATCHBASIN
RIM=526.35

DRAIN INLET
RIM=526.01

12" CMP
INV.=510.11

GRAPHIC SCALE
0 10' 20' 40'
(IN FEET)
1 inch = 20 ft.

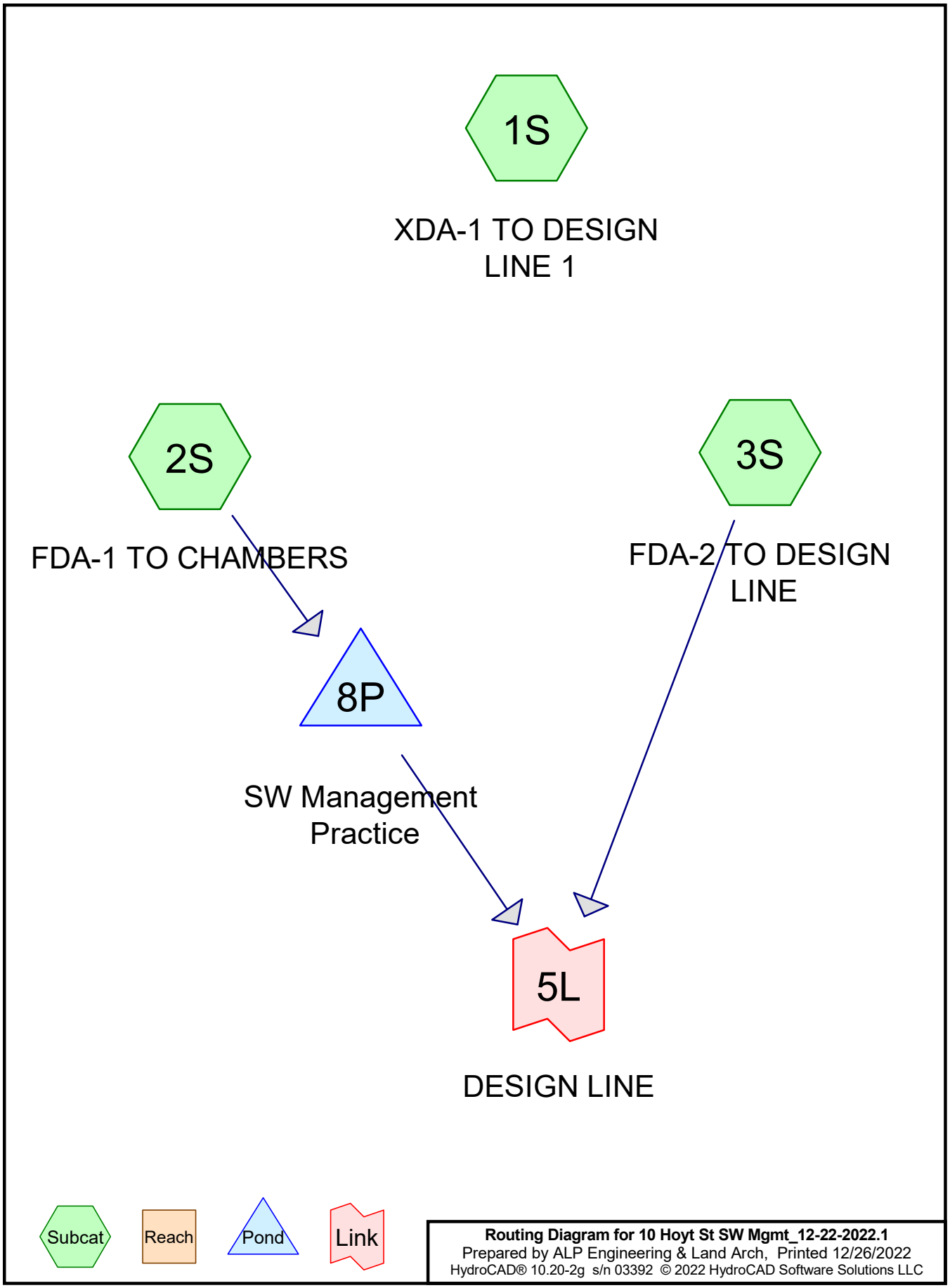
North

Date: December 26, 2022 Dwn. by: alp ID: 10 Hoyt St Site_12-22-2022	DRAWING TITLE: Future Condition Drainage Area Map	PROJECT NAME: Morrissey Property 10 Hoyt Street South Salem, New York 10590	ENGINEER: ALP ENGINEERING AND LANDSCAPE ARCHITECTURE, PLLC P.O. Box 843 Ridgefield, Connecticut 06877 Tel. (475) 215-5343 Cell (203) 710-0587

Exhibit 2

Appendix A

Stormwater Management Report Hydrographs and Routings



Routing Diagram for 10 Hoyt St SW Mgmt_12-22-2022.1
Prepared by ALP Engineering & Land Arch, Printed 12/26/2022
HydroCAD® 10.20-2g s/n 03392 © 2022 HydroCAD Software Solutions LLC

Rainfall Events Listing

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	1-year	Type III 24-hr		Default	24.00	1	2.84	2
2	2-year	Type III 24-hr		Default	24.00	1	3.41	2
3	10-year	Type III 24-hr		Default	24.00	1	5.09	2
4	25-year	Type III 24-hr		Default	24.00	1	6.40	2

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.387	74	>75% Grass cover, Good, HSG C (1S, 3S)
0.021	80	>75% Grass cover, Good, HSG D (1S, 3S)
0.012	96	Gravel surface, HSG C (1S)
0.029	98	Roofs, HSG C (2S)
0.082	98	Unconnected impervious, HSG C (1S)
0.072	98	Unconnected roofs, HSG C (3S)
0.602	**82**	**TOTAL AREA**

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	0.387	0.021	0.000	0.408	>75% Grass cover, Good	1S, 3S
0.000	0.000	0.012	0.000	0.000	0.012	Gravel surface	1S
0.000	0.000	0.029	0.000	0.000	0.029	Roofs	2S
0.000	0.000	0.082	0.000	0.000	0.082	Unconnected impervious	1S
0.000	0.000	0.072	0.000	0.000	0.072	Unconnected roofs	3S
0.000	**0.000**	**0.582**	**0.021**	**0.000**	**0.602**	**TOTAL AREA**	

Time span=0.00-48.00 hrs, dt=0.02 hrs, 2401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: XDA-1 TO DESIGN LINE Runoff Area=13,121 sf 27.19% Impervious Runoff Depth=1.07"
Flow Length=185' Tc=6.0 min UI Adjusted CN=79 Runoff=0.37 cfs 0.027 af

Subcatchment 2S: FDA-1 TO CHAMBERS Runoff Area=1,281 sf 100.00% Impervious Runoff Depth=2.61"
Tc=6.0 min CN=98 Runoff=0.08 cfs 0.006 af

Subcatchment 3S: FDA-2 TO DESIGN LINE Runoff Area=11,840 sf 26.44% Impervious Runoff Depth=0.96"
Tc=6.0 min UI Adjusted CN=77 Runoff=0.29 cfs 0.022 af

Pond 8P: SW Management Practice Peak Elev=516.79' Storage=15 cf Inflow=0.08 cfs 0.006 af
Outflow=0.07 cfs 0.007 af

Link 5L: DESIGN LINE Inflow=0.36 cfs 0.028 af
Primary=0.36 cfs 0.028 af

Total Runoff Area = 0.602 ac Runoff Volume = 0.055 af Average Runoff Depth = 1.10"
69.60% Pervious = 0.419 ac 30.40% Impervious = 0.183 ac

Summary for Subcatchment 1S: XDA-1 TO DESIGN LINE 1

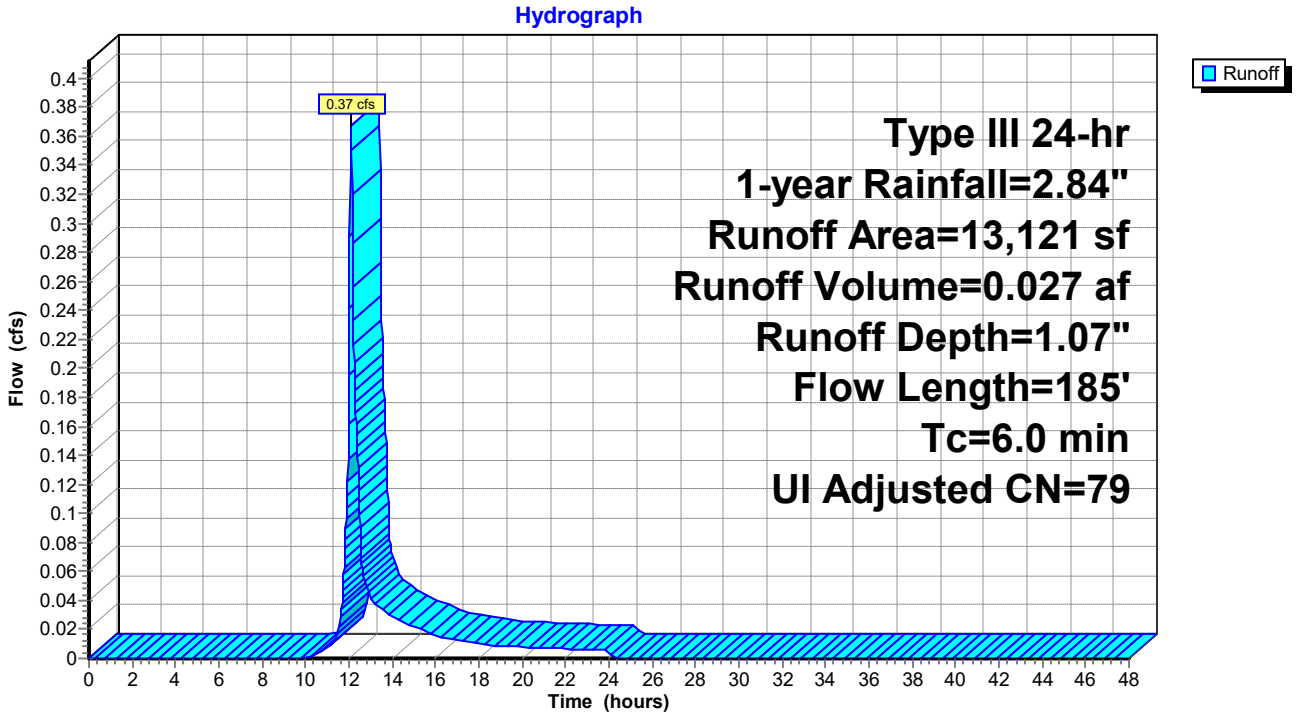
Runoff = 0.37 cfs @ 12.09 hrs, Volume= 0.027 af, Depth= 1.07"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Type III 24-hr 1-year Rainfall=2.84"

	Area (sf)	CN	Adj	Description
*	3,567	98		Unconnected impervious, HSG C
*	505	96		Gravel surface, HSG C
	8,597	74		>75% Grass cover, Good, HSG C
	452	80		>75% Grass cover, Good, HSG D
	13,121	82	79	Weighted Average, UI Adjusted
	9,554			72.81% Pervious Area
	3,567			27.19% Impervious Area
	3,567			100.00% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.2	13	0.0200	0.94		**Sheet Flow, A-B**
					Smooth surfaces n= 0.011 P2= 3.40"
1.1	4	0.0200	0.06		**Sheet Flow, B-C**
					Grass: Dense n= 0.240 P2= 3.40"
0.4	88	0.0582	3.62		**Shallow Concentrated Flow, C-D**
					Grassed Waterway Kv= 15.0 fps
0.2	80	0.1338	5.49		**Shallow Concentrated Flow, D-E**
					Grassed Waterway Kv= 15.0 fps
4.1					**Direct Entry, Factor**
6.0	185	Total			

Subcatchment 1S: XDA-1 TO DESIGN LINE 1



Summary for Subcatchment 2S: FDA-1 TO CHAMBERS

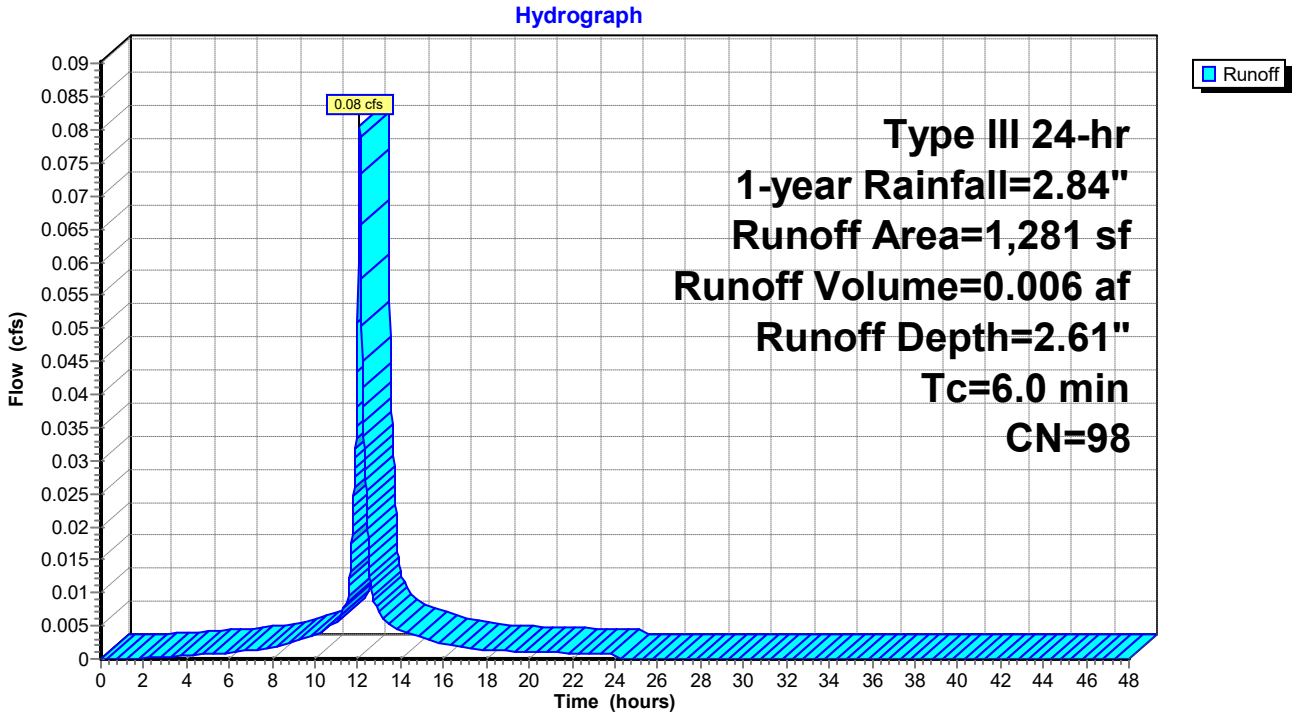
Runoff = 0.08 cfs @ 12.08 hrs, Volume= 0.006 af, Depth= 2.61"
Routed to Pond 8P : SW Management Practice

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Type III 24-hr 1-year Rainfall=2.84"

Area (sf)	CN	Description
1,281	98	Roofs, HSG C
1,281		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					**Direct Entry,**

Subcatchment 2S: FDA-1 TO CHAMBERS



Summary for Subcatchment 3S: FDA-2 TO DESIGN LINE

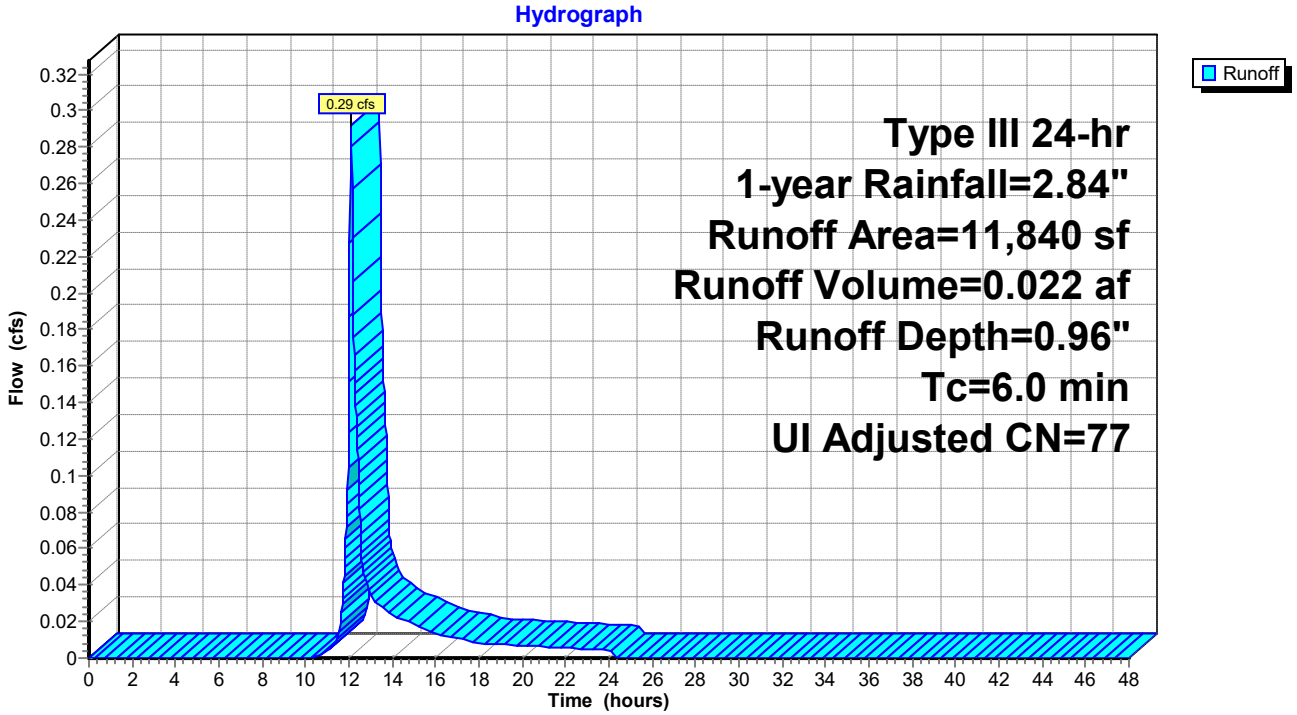
Runoff = 0.29 cfs @ 12.10 hrs, Volume= 0.022 af, Depth= 0.96"
Routed to Link 5L : DESIGN LINE

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Type III 24-hr 1-year Rainfall=2.84"

Area (sf)	CN	Adj	Description
3,130	98		Unconnected roofs, HSG C
8,258	74		>75% Grass cover, Good, HSG C
452	80		>75% Grass cover, Good, HSG D
11,840	81	77	Weighted Average, UI Adjusted
8,710			73.56% Pervious Area
3,130			26.44% Impervious Area
3,130			100.00% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					**Direct Entry,**

Subcatchment 3S: FDA-2 TO DESIGN LINE



Summary for Pond 8P: SW Management Practice

Inflow Area = 0.029 ac,100.00% Impervious, Inflow Depth = 2.61" for 1-year event
Inflow = 0.08 cfs @ 12.08 hrs, Volume= 0.006 af
Outflow = 0.07 cfs @ 12.13 hrs, Volume= 0.007 af, Atten= 12%, Lag= 2.6 min
Primary = 0.07 cfs @ 12.13 hrs, Volume= 0.007 af
Routed to Link 5L : DESIGN LINE

Routing by Stor-Ind method, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Starting Elev= 516.75' Surf.Area= 20 sf Storage= 15 cf
Peak Elev= 516.79' @ 12.13 hrs Surf.Area= 20 sf Storage= 15 cf (1 cf above start)

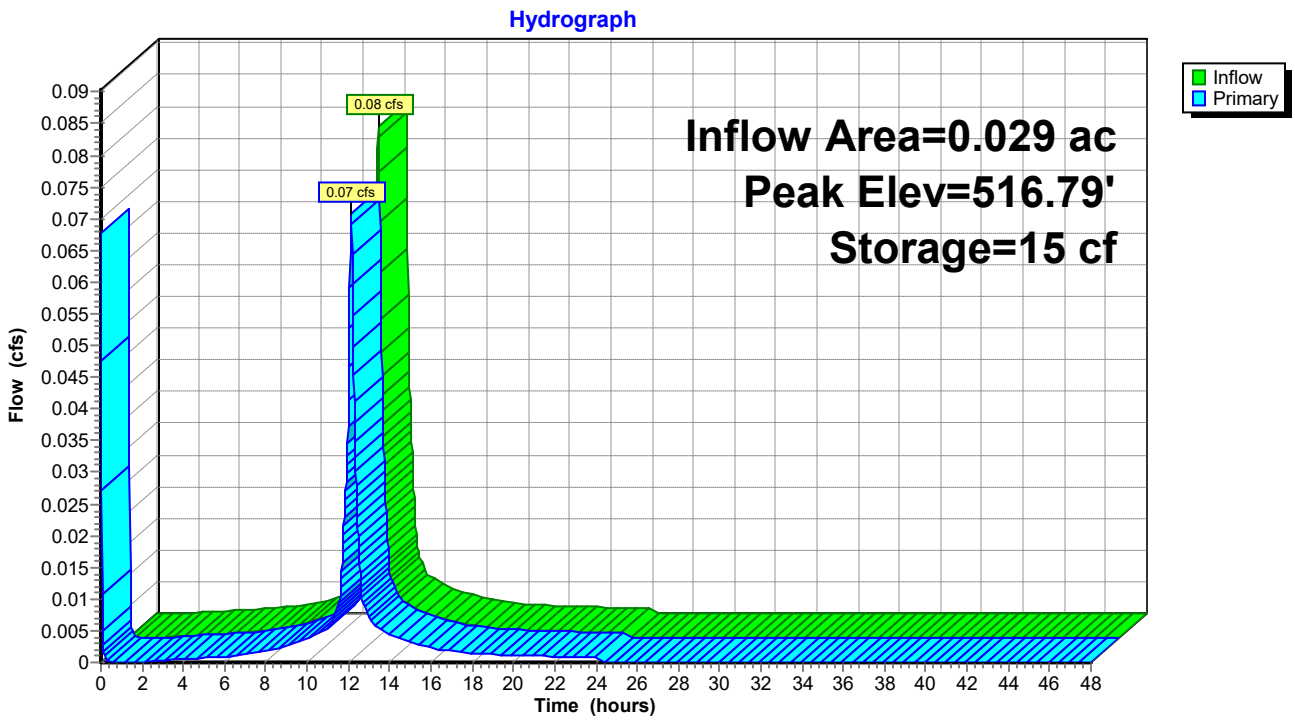
Plug-Flow detention time= 14.4 min calculated for 0.006 af (99% of inflow)
Center-of-Mass det. time= (not calculated: outflow precedes inflow)

Volume	Invert	Avail.Storage	Storage Description
#1	516.00'	69 cf	**5.00'D x 3.50'H Vertical Cone/Cylinder**

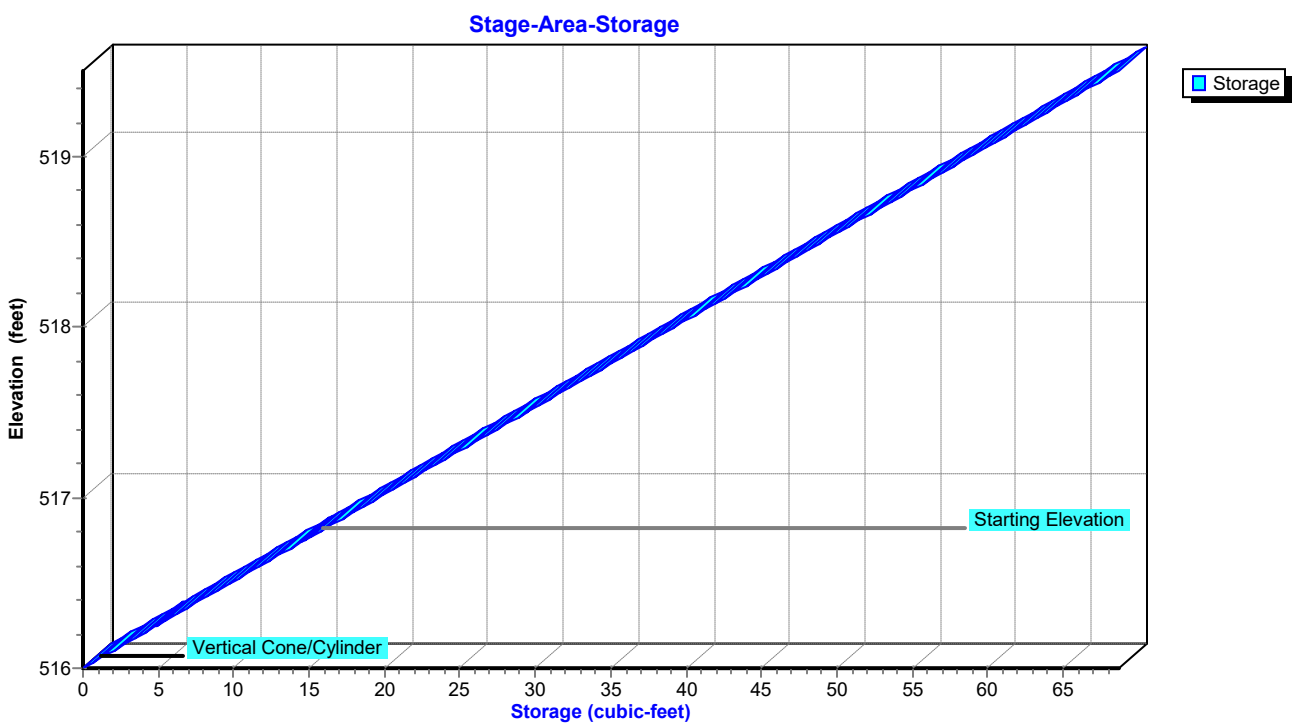
Device	Routing	Invert	Outlet Devices
#1	Primary	516.00'	**6.0" Round Culvert** L= 50.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 516.00' / 512.00' S= 0.0800 '/' Cc= 0.900 n= 0.012, Flow Area= 0.20 sf
#2	Device 1	516.25'	**2.0" Vert. Orifice/Grate** C= 0.600 Limited to weir flow at low heads
#3	Device 1	517.50'	**4.0" Vert. Orifice/Grate** C= 0.600 Limited to weir flow at low heads

Primary OutFlow Max=0.07 cfs @ 12.13 hrs HW=516.78' (Free Discharge)
└─**1=Culvert** (Passes 0.07 cfs of 0.69 cfs potential flow)
  ├─**2=Orifice/Grate** (Orifice Controls 0.07 cfs @ 3.23 fps)
  └─**3=Orifice/Grate** (Controls 0.00 cfs)

Pond 8P: SW Management Practice



Pond 8P: SW Management Practice

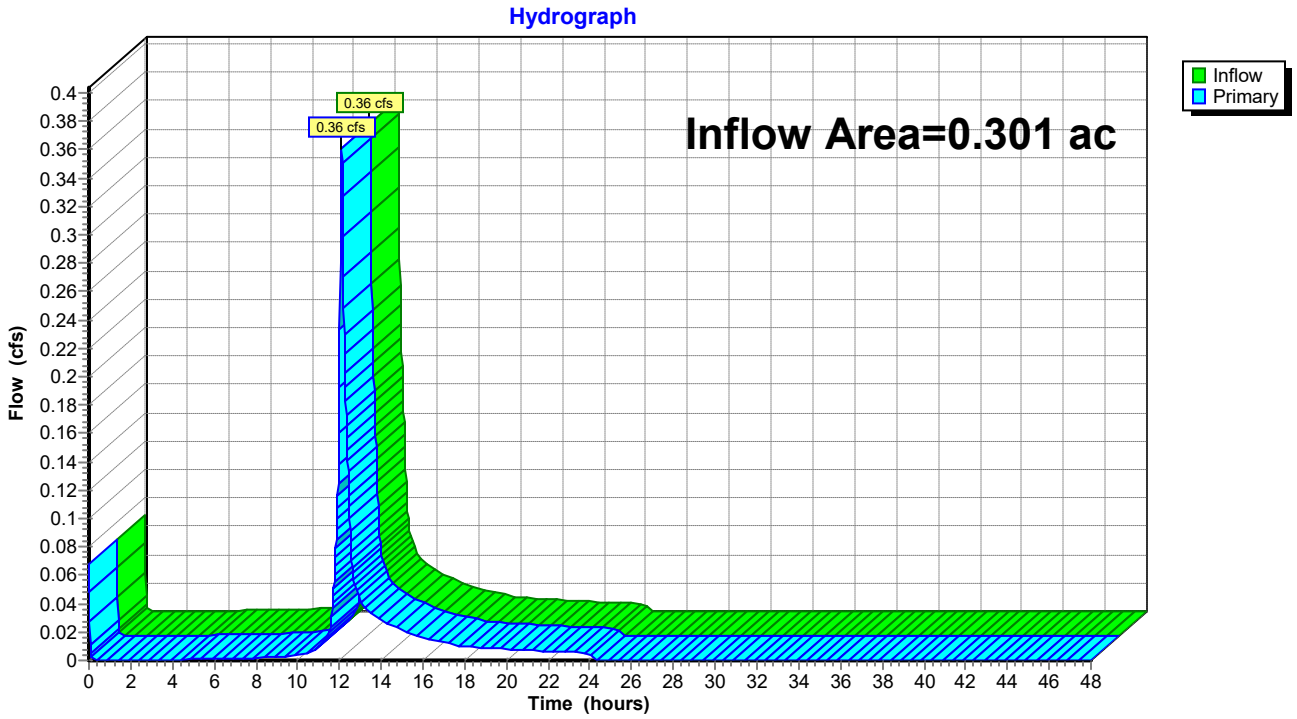


Summary for Link 5L: DESIGN LINE

Inflow Area = 0.301 ac, 33.62% Impervious, Inflow Depth = 1.13" for 1-year event
Inflow = 0.36 cfs @ 12.10 hrs, Volume= 0.028 af
Primary = 0.36 cfs @ 12.10 hrs, Volume= 0.028 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs

Link 5L: DESIGN LINE



Time span=0.00-48.00 hrs, dt=0.02 hrs, 2401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: XDA-1 TO DESIGN LINE Runoff Area=13,121 sf 27.19% Impervious Runoff Depth=1.50"
Flow Length=185' Tc=6.0 min UI Adjusted CN=79 Runoff=0.52 cfs 0.038 af

Subcatchment 2S: FDA-1 TO CHAMBERS Runoff Area=1,281 sf 100.00% Impervious Runoff Depth=3.18"
Tc=6.0 min CN=98 Runoff=0.10 cfs 0.008 af

Subcatchment 3S: FDA-2 TO DESIGN LINE Runoff Area=11,840 sf 26.44% Impervious Runoff Depth=1.36"
Tc=6.0 min UI Adjusted CN=77 Runoff=0.42 cfs 0.031 af

Pond 8P: SW Management Practice Peak Elev=516.96' Storage=19 cf Inflow=0.10 cfs 0.008 af
Outflow=0.08 cfs 0.008 af

Link 5L: DESIGN LINE Inflow=0.50 cfs 0.039 af
Primary=0.50 cfs 0.039 af

Total Runoff Area = 0.602 ac Runoff Volume = 0.076 af Average Runoff Depth = 1.52"
69.60% Pervious = 0.419 ac 30.40% Impervious = 0.183 ac

Summary for Subcatchment 1S: XDA-1 TO DESIGN LINE 1

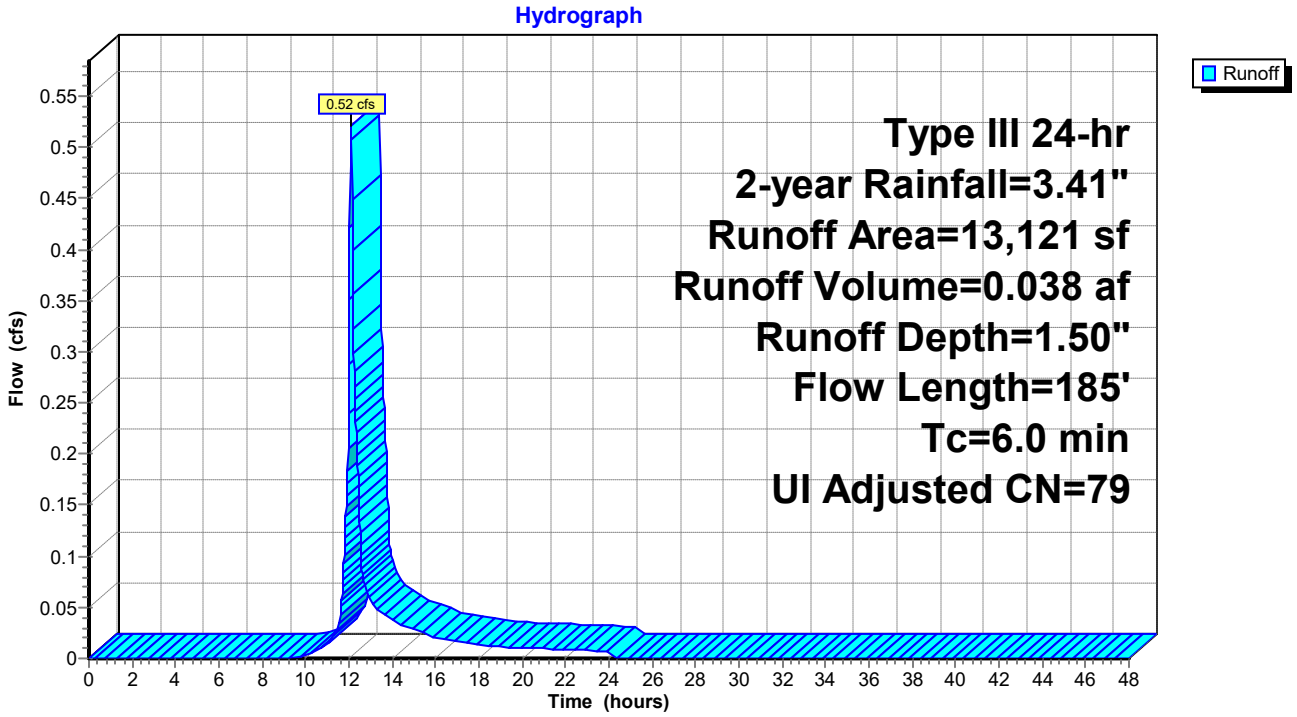
Runoff = 0.52 cfs @ 12.09 hrs, Volume= 0.038 af, Depth= 1.50"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Type III 24-hr 2-year Rainfall=3.41"

	Area (sf)	CN	Adj	Description
*	3,567	98		Unconnected impervious, HSG C
*	505	96		Gravel surface, HSG C
	8,597	74		>75% Grass cover, Good, HSG C
	452	80		>75% Grass cover, Good, HSG D
	13,121	82	79	Weighted Average, UI Adjusted
	9,554			72.81% Pervious Area
	3,567			27.19% Impervious Area
	3,567			100.00% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.2	13	0.0200	0.94		**Sheet Flow, A-B**
					Smooth surfaces n= 0.011 P2= 3.40"
1.1	4	0.0200	0.06		**Sheet Flow, B-C**
					Grass: Dense n= 0.240 P2= 3.40"
0.4	88	0.0582	3.62		**Shallow Concentrated Flow, C-D**
					Grassed Waterway Kv= 15.0 fps
0.2	80	0.1338	5.49		**Shallow Concentrated Flow, D-E**
					Grassed Waterway Kv= 15.0 fps
4.1					**Direct Entry, Factor**
6.0	185	Total			

Subcatchment 1S: XDA-1 TO DESIGN LINE 1



Summary for Subcatchment 2S: FDA-1 TO CHAMBERS

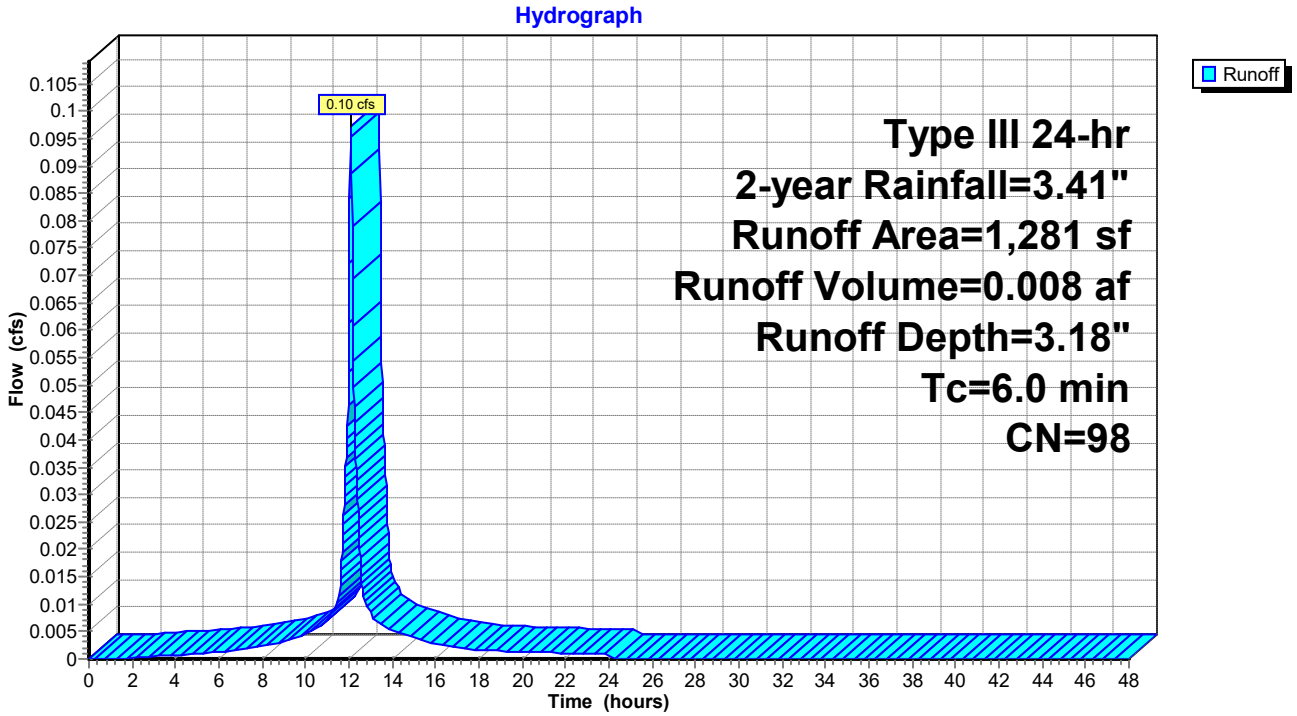
Runoff = 0.10 cfs @ 12.08 hrs, Volume= 0.008 af, Depth= 3.18"
Routed to Pond 8P : SW Management Practice

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Type III 24-hr 2-year Rainfall=3.41"

Area (sf)	CN	Description
1,281	98	Roofs, HSG C
1,281		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					**Direct Entry,**

Subcatchment 2S: FDA-1 TO CHAMBERS



Summary for Subcatchment 3S: FDA-2 TO DESIGN LINE

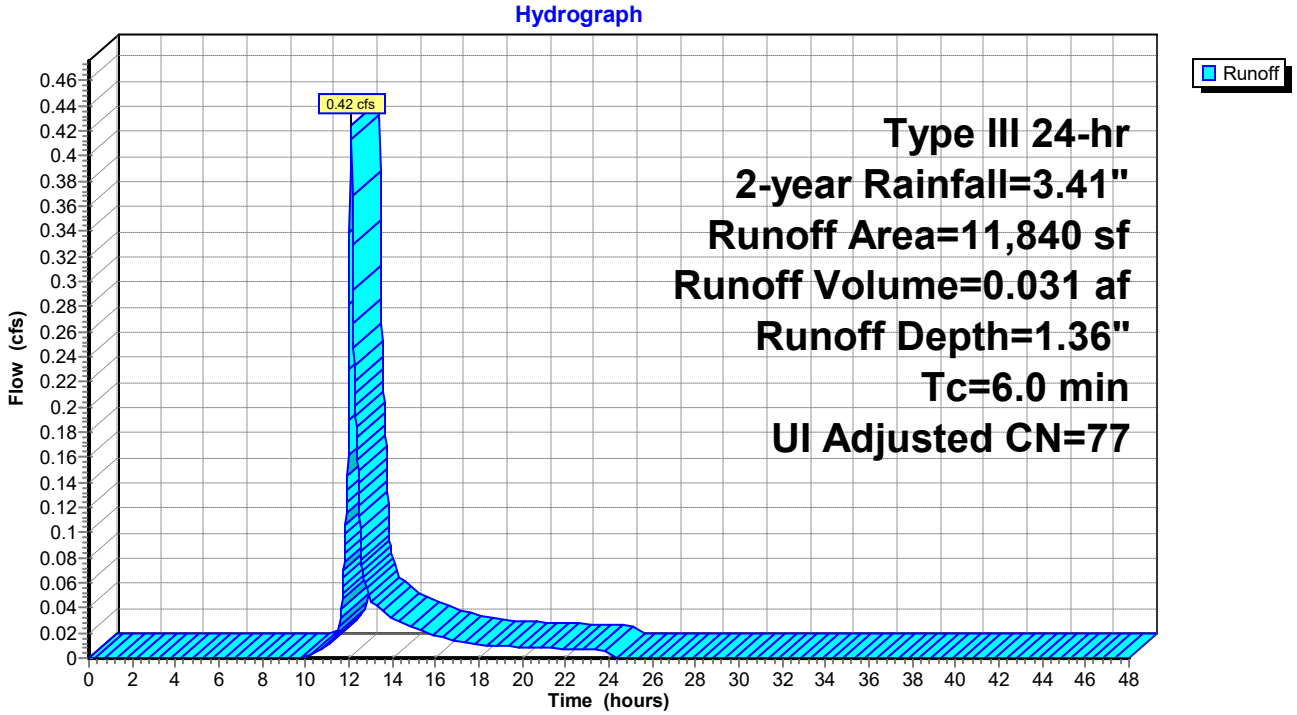
Runoff = 0.42 cfs @ 12.09 hrs, Volume= 0.031 af, Depth= 1.36"
Routed to Link 5L : DESIGN LINE

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Type III 24-hr 2-year Rainfall=3.41"

Area (sf)	CN	Adj	Description
3,130	98		Unconnected roofs, HSG C
8,258	74		>75% Grass cover, Good, HSG C
452	80		>75% Grass cover, Good, HSG D
11,840	81	77	Weighted Average, UI Adjusted
8,710			73.56% Pervious Area
3,130			26.44% Impervious Area
3,130			100.00% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					**Direct Entry,**

Subcatchment 3S: FDA-2 TO DESIGN LINE



Summary for Pond 8P: SW Management Practice

Inflow Area = 0.029 ac,100.00% Impervious, Inflow Depth = 3.18" for 2-year event
Inflow = 0.10 cfs @ 12.08 hrs, Volume= 0.008 af
Outflow = 0.08 cfs @ 12.13 hrs, Volume= 0.008 af, Atten= 15%, Lag= 2.9 min
Primary = 0.08 cfs @ 12.13 hrs, Volume= 0.008 af
Routed to Link 5L : DESIGN LINE

Routing by Stor-Ind method, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Starting Elev= 516.75' Surf.Area= 20 sf Storage= 15 cf
Peak Elev= 516.96' @ 12.13 hrs Surf.Area= 20 sf Storage= 19 cf (4 cf above start)

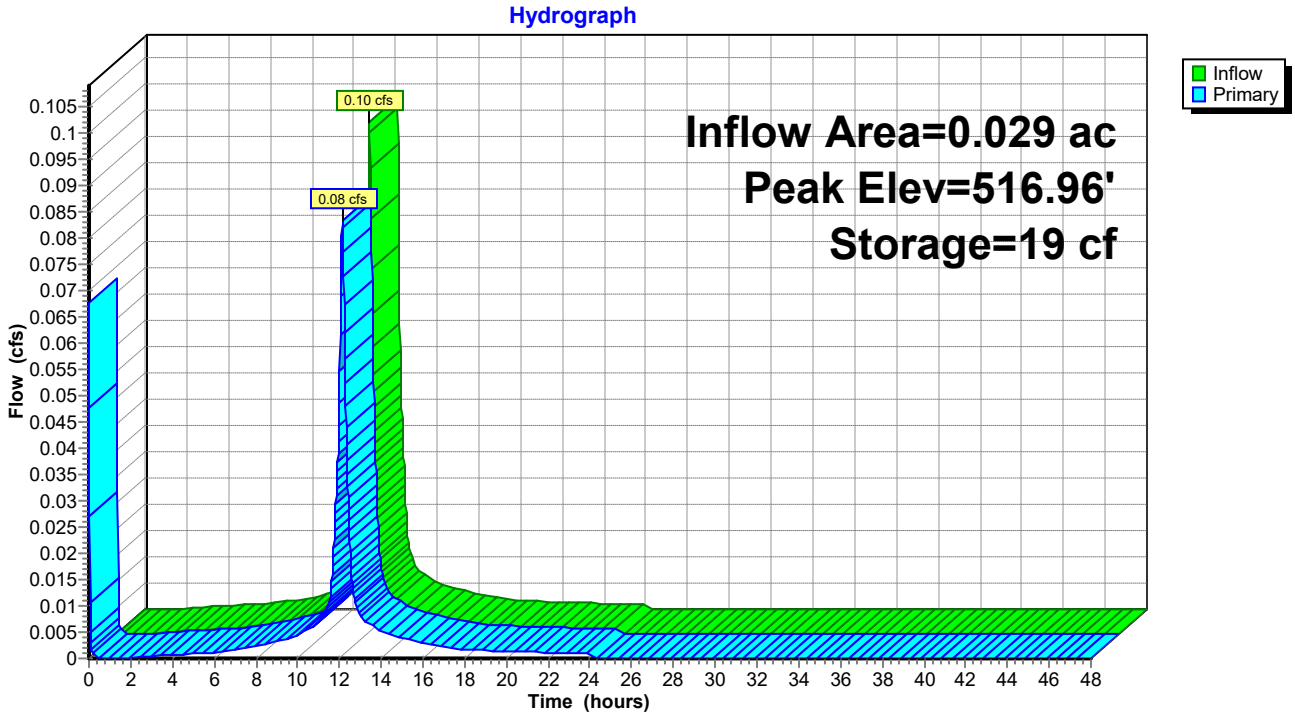
Plug-Flow detention time= 12.5 min calculated for 0.008 af (99% of inflow)
Center-of-Mass det. time= (not calculated: outflow precedes inflow)

Volume	Invert	Avail.Storage	Storage Description
#1	516.00'	69 cf	**5.00'D x 3.50'H Vertical Cone/Cylinder**

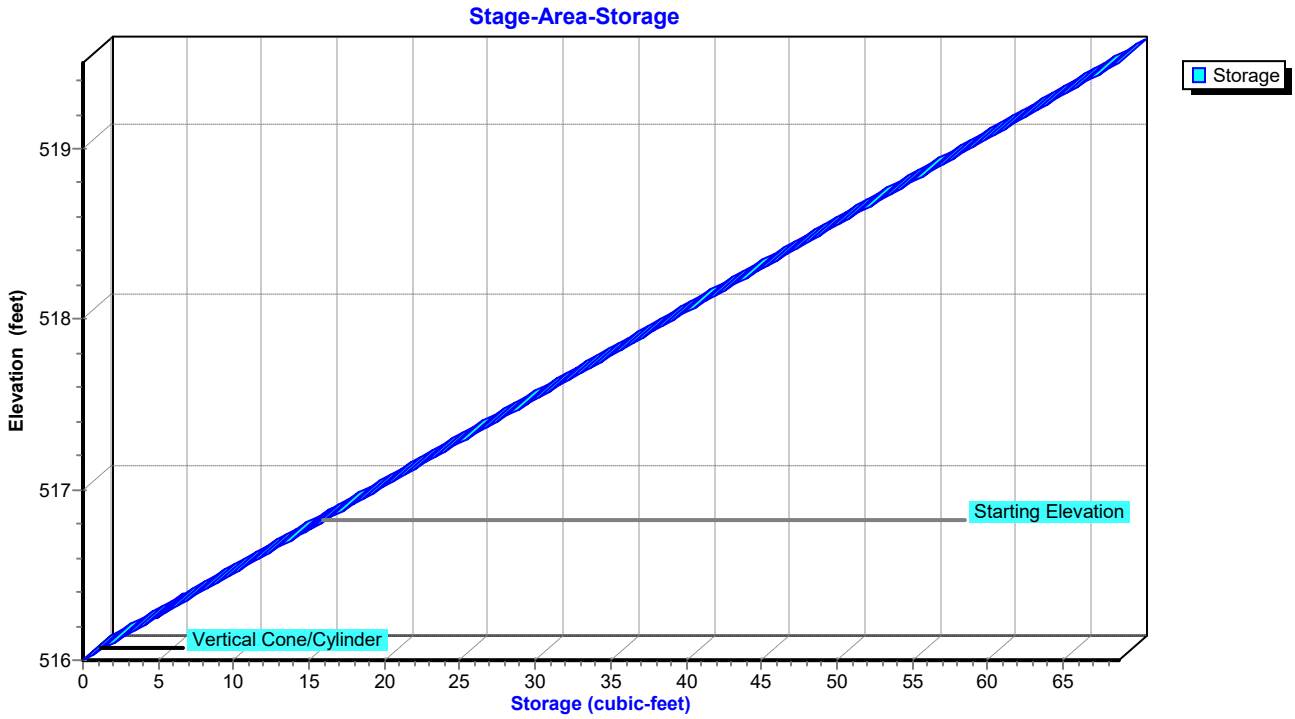
Device	Routing	Invert	Outlet Devices
#1	Primary	516.00'	**6.0" Round Culvert** L= 50.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 516.00' / 512.00' S= 0.0800 '/' Cc= 0.900 n= 0.012, Flow Area= 0.20 sf
#2	Device 1	516.25'	**2.0" Vert. Orifice/Grate** C= 0.600 Limited to weir flow at low heads
#3	Device 1	517.50'	**4.0" Vert. Orifice/Grate** C= 0.600 Limited to weir flow at low heads

Primary OutFlow Max=0.08 cfs @ 12.13 hrs HW=516.96' (Free Discharge)
└─**1=Culvert** (Passes 0.08 cfs of 0.79 cfs potential flow)
  ├─**2=Orifice/Grate** (Orifice Controls 0.08 cfs @ 3.80 fps)
  └─**3=Orifice/Grate** (Controls 0.00 cfs)

Pond 8P: SW Management Practice



Pond 8P: SW Management Practice

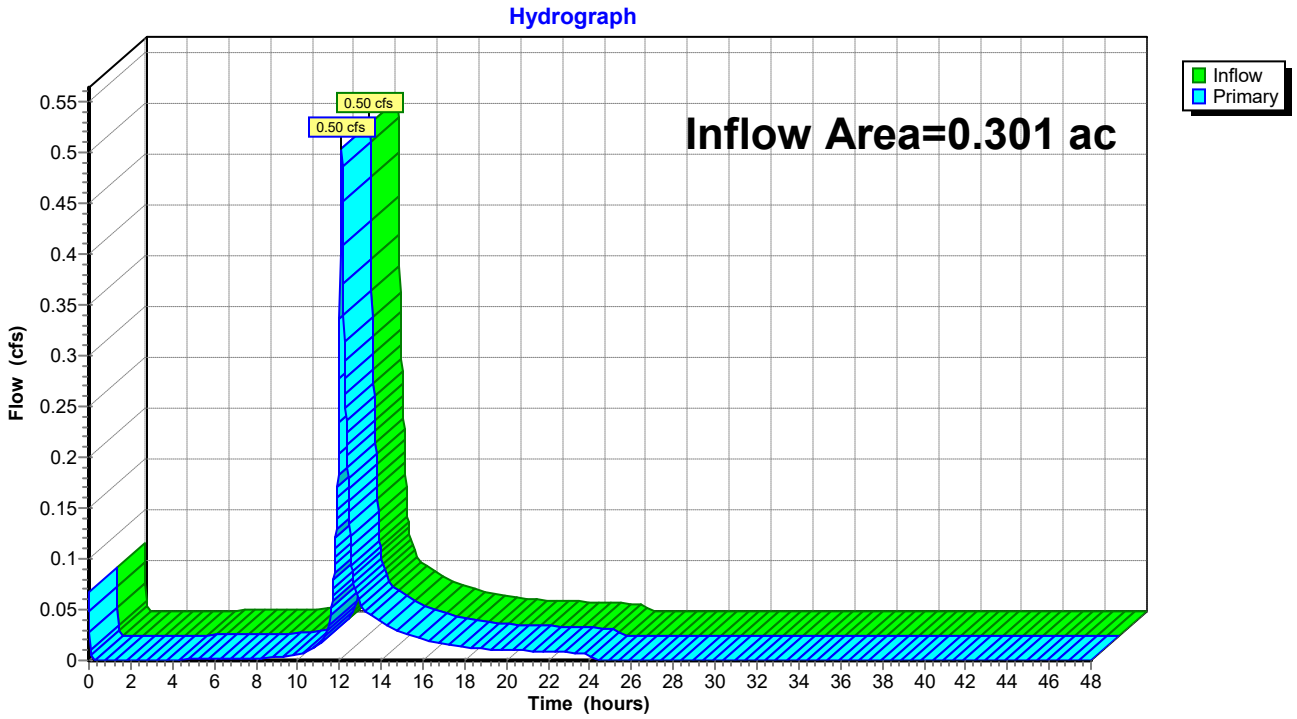


Summary for Link 5L: DESIGN LINE

Inflow Area = 0.301 ac, 33.62% Impervious, Inflow Depth = 1.55" for 2-year event
Inflow = 0.50 cfs @ 12.10 hrs, Volume= 0.039 af
Primary = 0.50 cfs @ 12.10 hrs, Volume= 0.039 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs

Link 5L: DESIGN LINE



Time span=0.00-48.00 hrs, dt=0.02 hrs, 2401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: XDA-1 TO DESIGN LINE Runoff Area=13,121 sf 27.19% Impervious Runoff Depth=2.88"
Flow Length=185' Tc=6.0 min UI Adjusted CN=79 Runoff=1.02 cfs 0.072 af

Subcatchment 2S: FDA-1 TO CHAMBERS Runoff Area=1,281 sf 100.00% Impervious Runoff Depth=4.85"
Tc=6.0 min CN=98 Runoff=0.15 cfs 0.012 af

Subcatchment 3S: FDA-2 TO DESIGN LINE Runoff Area=11,840 sf 26.44% Impervious Runoff Depth=2.70"
Tc=6.0 min UI Adjusted CN=77 Runoff=0.86 cfs 0.061 af

Pond 8P: SW Management Practice Peak Elev=517.55' Storage=31 cf Inflow=0.15 cfs 0.012 af
Outflow=0.12 cfs 0.012 af

Link 5L: DESIGN LINE Inflow=0.97 cfs 0.073 af
Primary=0.97 cfs 0.073 af

Total Runoff Area = 0.602 ac Runoff Volume = 0.145 af Average Runoff Depth = 2.89"
69.60% Pervious = 0.419 ac 30.40% Impervious = 0.183 ac

Summary for Subcatchment 1S: XDA-1 TO DESIGN LINE 1

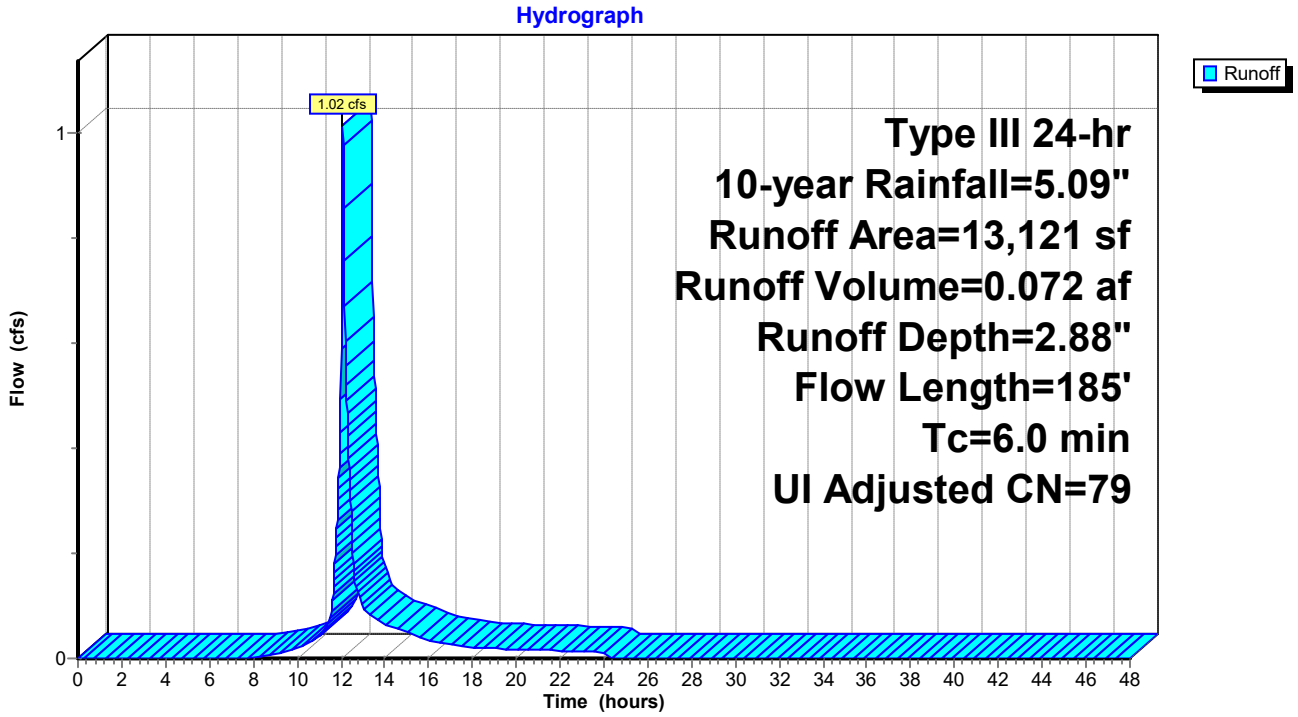
Runoff = 1.02 cfs @ 12.09 hrs, Volume= 0.072 af, Depth= 2.88"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Type III 24-hr 10-year Rainfall=5.09"

	Area (sf)	CN	Adj	Description
*	3,567	98		Unconnected impervious, HSG C
*	505	96		Gravel surface, HSG C
	8,597	74		>75% Grass cover, Good, HSG C
	452	80		>75% Grass cover, Good, HSG D
	13,121	82	79	Weighted Average, UI Adjusted
	9,554			72.81% Pervious Area
	3,567			27.19% Impervious Area
	3,567			100.00% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.2	13	0.0200	0.94		**Sheet Flow, A-B**
					Smooth surfaces n= 0.011 P2= 3.40"
1.1	4	0.0200	0.06		**Sheet Flow, B-C**
					Grass: Dense n= 0.240 P2= 3.40"
0.4	88	0.0582	3.62		**Shallow Concentrated Flow, C-D**
					Grassed Waterway Kv= 15.0 fps
0.2	80	0.1338	5.49		**Shallow Concentrated Flow, D-E**
					Grassed Waterway Kv= 15.0 fps
4.1					**Direct Entry, Factor**
6.0	185	Total			

Subcatchment 1S: XDA-1 TO DESIGN LINE 1



Summary for Subcatchment 2S: FDA-1 TO CHAMBERS

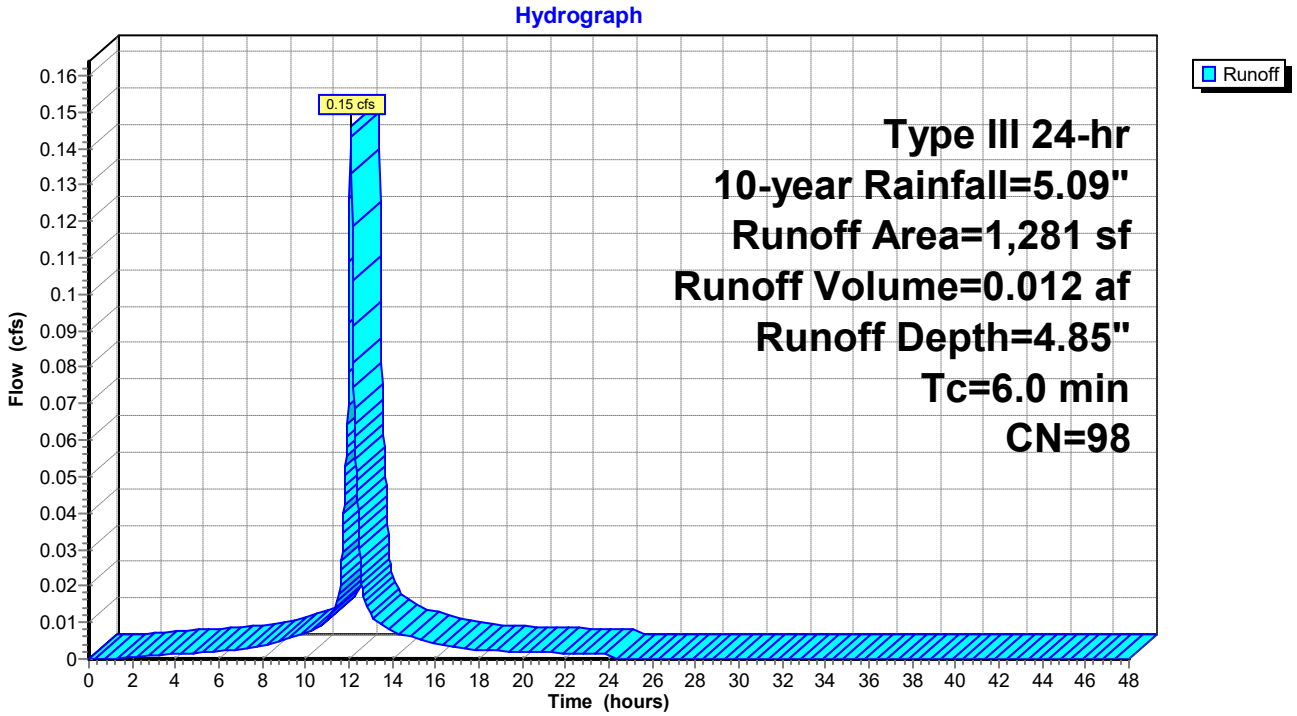
Runoff = 0.15 cfs @ 12.08 hrs, Volume= 0.012 af, Depth= 4.85"
Routed to Pond 8P : SW Management Practice

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Type III 24-hr 10-year Rainfall=5.09"

Area (sf)	CN	Description
1,281	98	Roofs, HSG C
1,281		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					**Direct Entry,**

Subcatchment 2S: FDA-1 TO CHAMBERS



Summary for Subcatchment 3S: FDA-2 TO DESIGN LINE

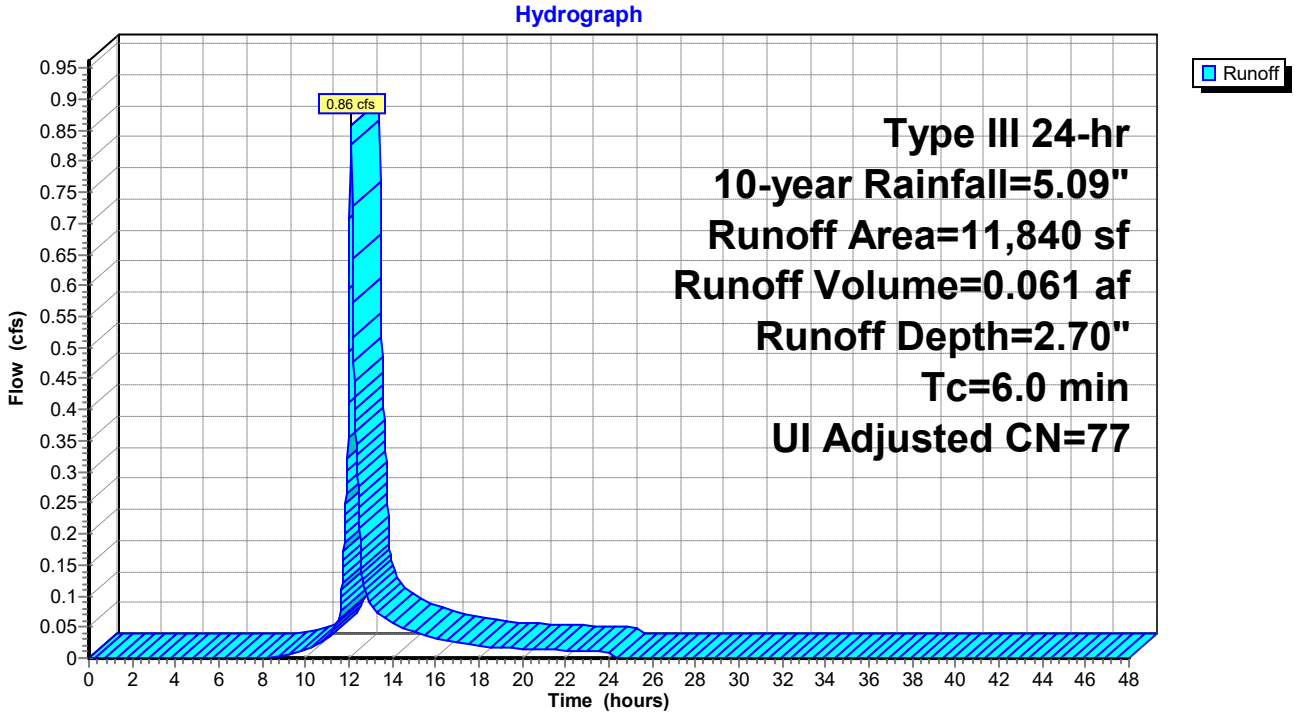
Runoff = 0.86 cfs @ 12.09 hrs, Volume= 0.061 af, Depth= 2.70"
Routed to Link 5L : DESIGN LINE

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Type III 24-hr 10-year Rainfall=5.09"

Area (sf)	CN	Adj	Description
3,130	98		Unconnected roofs, HSG C
8,258	74		>75% Grass cover, Good, HSG C
452	80		>75% Grass cover, Good, HSG D
11,840	81	77	Weighted Average, UI Adjusted
8,710			73.56% Pervious Area
3,130			26.44% Impervious Area
3,130			100.00% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					**Direct Entry,**

Subcatchment 3S: FDA-2 TO DESIGN LINE



Summary for Pond 8P: SW Management Practice

Inflow Area = 0.029 ac,100.00% Impervious, Inflow Depth = 4.85" for 10-year event
Inflow = 0.15 cfs @ 12.08 hrs, Volume= 0.012 af
Outflow = 0.12 cfs @ 12.14 hrs, Volume= 0.012 af, Atten= 15%, Lag= 3.3 min
Primary = 0.12 cfs @ 12.14 hrs, Volume= 0.012 af
Routed to Link 5L : DESIGN LINE

Routing by Stor-Ind method, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Starting Elev= 516.75' Surf.Area= 20 sf Storage= 15 cf
Peak Elev= 517.55' @ 12.14 hrs Surf.Area= 20 sf Storage= 31 cf (16 cf above start)

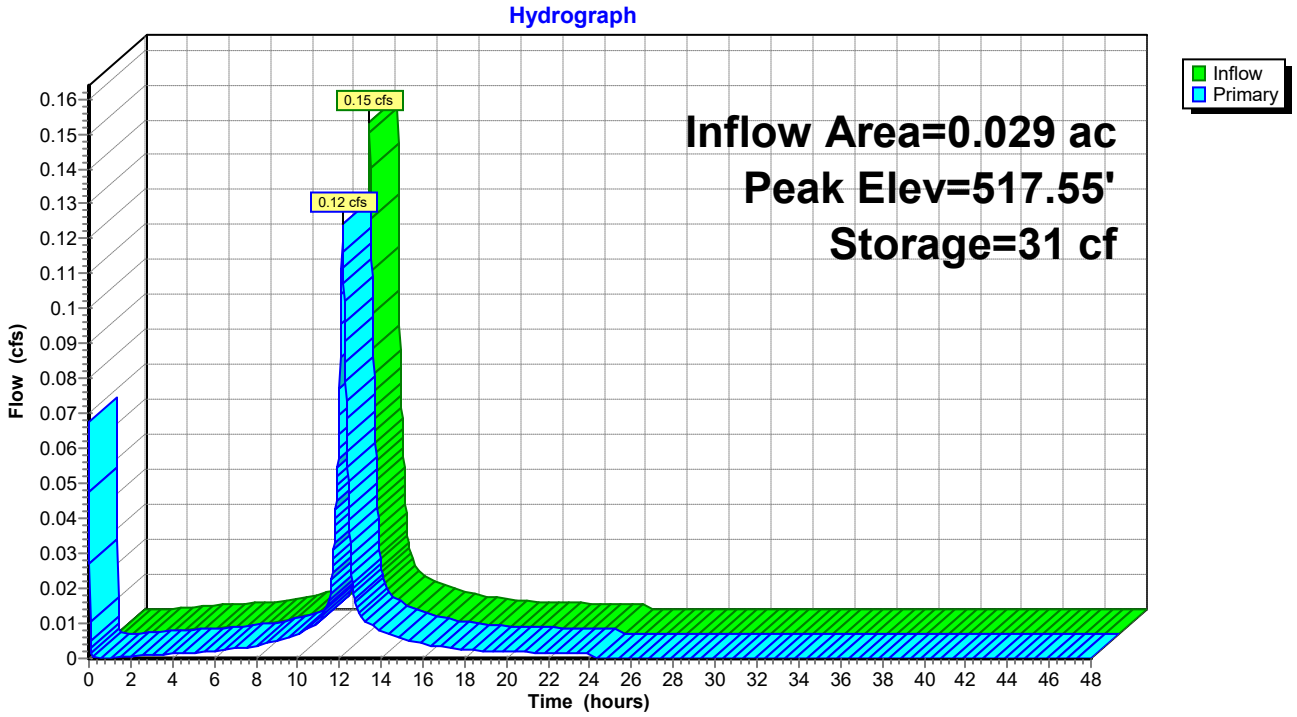
Plug-Flow detention time= 9.5 min calculated for 0.012 af (99% of inflow)
Center-of-Mass det. time= (not calculated: outflow precedes inflow)

Volume	Invert	Avail.Storage	Storage Description
#1	516.00'	69 cf	**5.00'D x 3.50'H Vertical Cone/Cylinder**

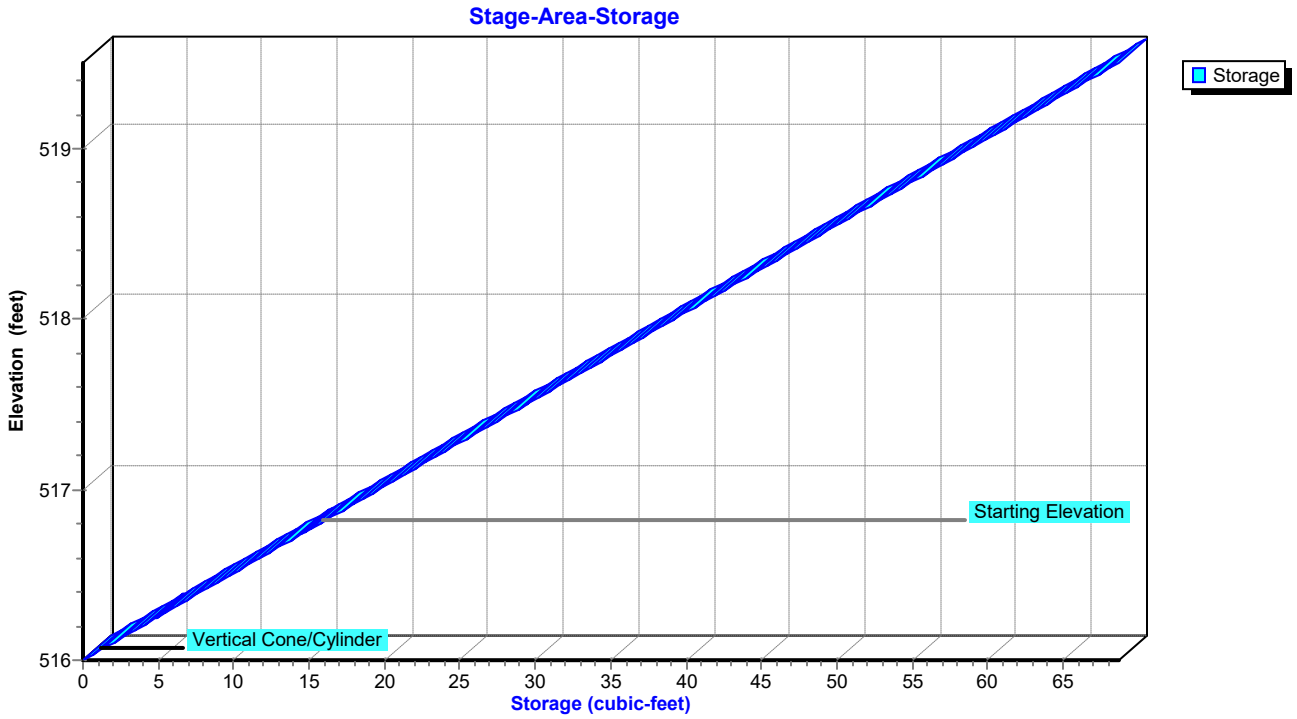
Device	Routing	Invert	Outlet Devices
#1	Primary	516.00'	**6.0" Round Culvert** L= 50.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 516.00' / 512.00' S= 0.0800 '/' Cc= 0.900 n= 0.012, Flow Area= 0.20 sf
#2	Device 1	516.25'	**2.0" Vert. Orifice/Grate** C= 0.600 Limited to weir flow at low heads
#3	Device 1	517.50'	**4.0" Vert. Orifice/Grate** C= 0.600 Limited to weir flow at low heads

Primary OutFlow Max=0.12 cfs @ 12.14 hrs HW=517.55' (Free Discharge)
└─**1=Culvert** (Passes 0.12 cfs of 1.08 cfs potential flow)
  ├─**2=Orifice/Grate** (Orifice Controls 0.12 cfs @ 5.32 fps)
  └─**3=Orifice/Grate** (Orifice Controls 0.01 cfs @ 0.78 fps)

Pond 8P: SW Management Practice



Pond 8P: SW Management Practice

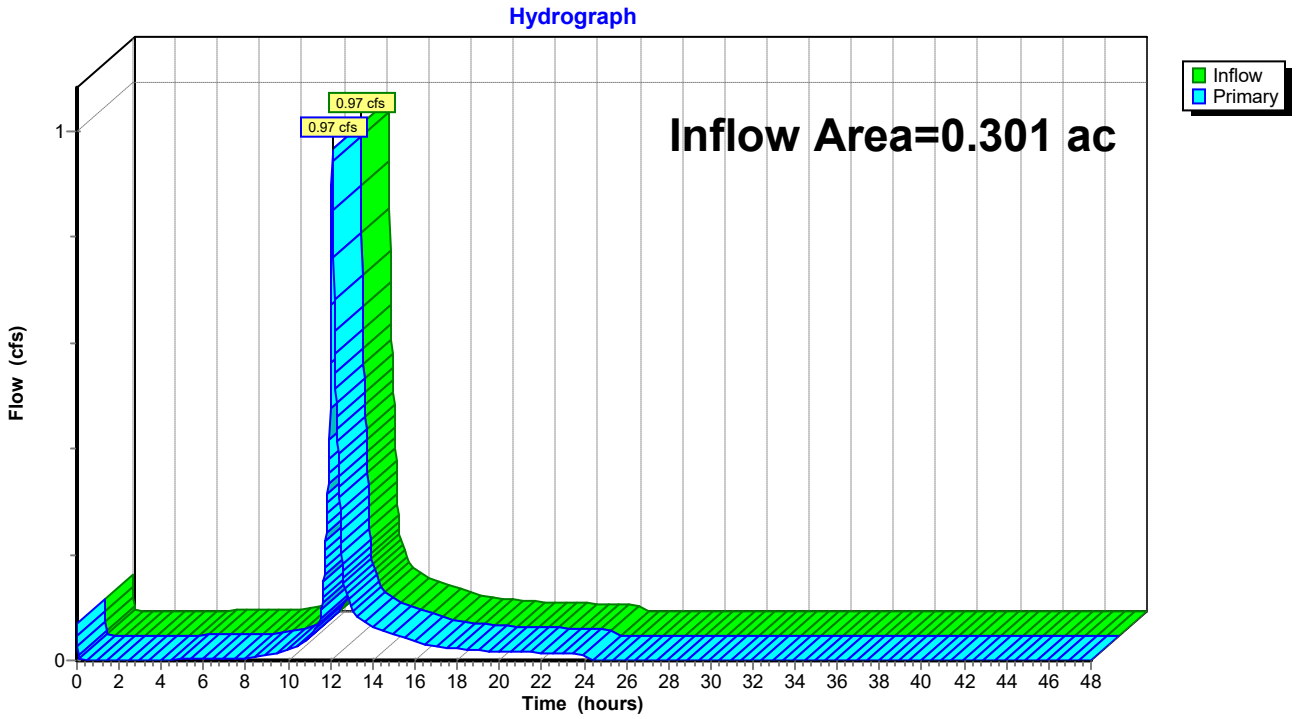


Summary for Link 5L: DESIGN LINE

Inflow Area = 0.301 ac, 33.62% Impervious, Inflow Depth = 2.92" for 10-year event
Inflow = 0.97 cfs @ 12.09 hrs, Volume= 0.073 af
Primary = 0.97 cfs @ 12.09 hrs, Volume= 0.073 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs

Link 5L: DESIGN LINE



Time span=0.00-48.00 hrs, dt=0.02 hrs, 2401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: XDA-1 TO DESIGN LINE Runoff Area=13,121 sf 27.19% Impervious Runoff Depth=4.04"
Flow Length=185' Tc=6.0 min UI Adjusted CN=79 Runoff=1.42 cfs 0.101 af

Subcatchment 2S: FDA-1 TO CHAMBERS Runoff Area=1,281 sf 100.00% Impervious Runoff Depth=6.16"
Tc=6.0 min CN=98 Runoff=0.18 cfs 0.015 af

Subcatchment 3S: FDA-2 TO DESIGN LINE Runoff Area=11,840 sf 26.44% Impervious Runoff Depth=3.83"
Tc=6.0 min UI Adjusted CN=77 Runoff=1.22 cfs 0.087 af

Pond 8P: SW Management Practice Peak Elev=517.67' Storage=33 cf Inflow=0.18 cfs 0.015 af
Outflow=0.18 cfs 0.015 af

Link 5L: DESIGN LINE Inflow=1.40 cfs 0.102 af
Primary=1.40 cfs 0.102 af

Total Runoff Area = 0.602 ac Runoff Volume = 0.203 af Average Runoff Depth = 4.05"
69.60% Pervious = 0.419 ac 30.40% Impervious = 0.183 ac

Summary for Subcatchment 1S: XDA-1 TO DESIGN LINE 1

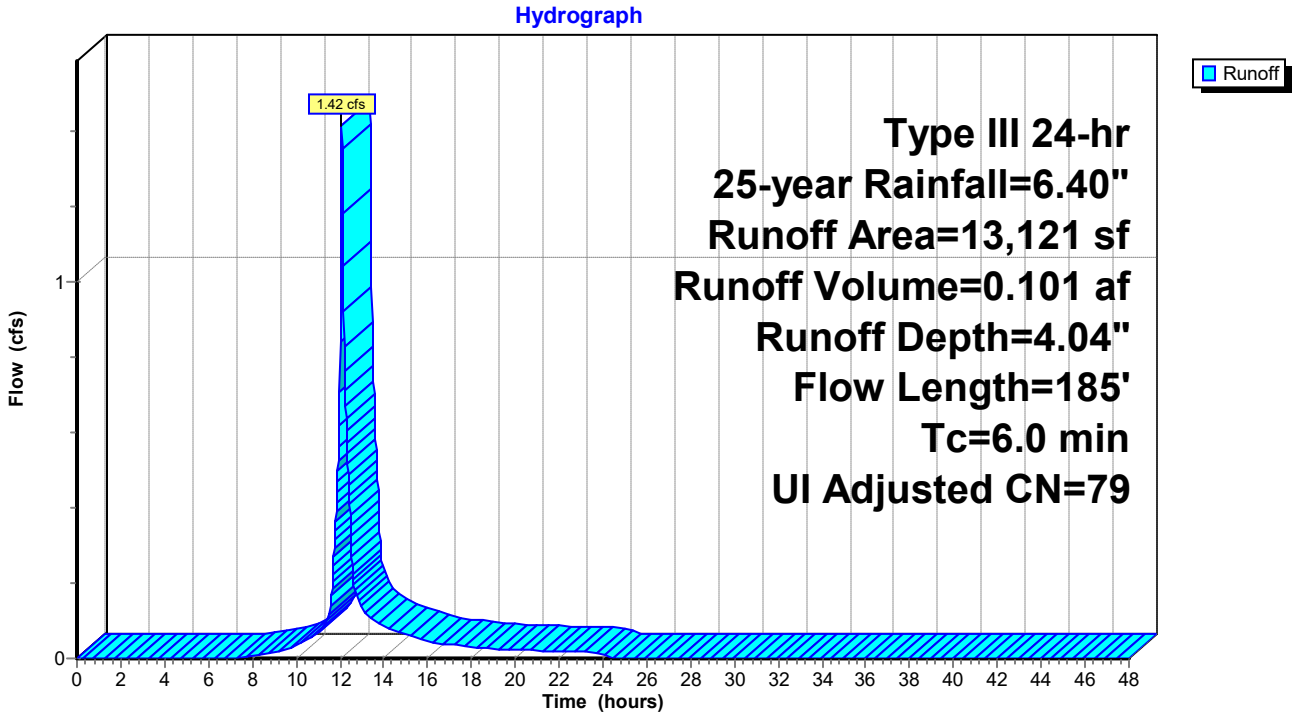
Runoff = 1.42 cfs @ 12.09 hrs, Volume= 0.101 af, Depth= 4.04"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Type III 24-hr 25-year Rainfall=6.40"

	Area (sf)	CN	Adj	Description
*	3,567	98		Unconnected impervious, HSG C
*	505	96		Gravel surface, HSG C
	8,597	74		>75% Grass cover, Good, HSG C
	452	80		>75% Grass cover, Good, HSG D
	13,121	82	79	Weighted Average, UI Adjusted
	9,554			72.81% Pervious Area
	3,567			27.19% Impervious Area
	3,567			100.00% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.2	13	0.0200	0.94		**Sheet Flow, A-B**
					Smooth surfaces n= 0.011 P2= 3.40"
1.1	4	0.0200	0.06		**Sheet Flow, B-C**
					Grass: Dense n= 0.240 P2= 3.40"
0.4	88	0.0582	3.62		**Shallow Concentrated Flow, C-D**
					Grassed Waterway Kv= 15.0 fps
0.2	80	0.1338	5.49		**Shallow Concentrated Flow, D-E**
					Grassed Waterway Kv= 15.0 fps
4.1					**Direct Entry, Factor**
6.0	185	Total			

Subcatchment 1S: XDA-1 TO DESIGN LINE 1



Summary for Subcatchment 2S: FDA-1 TO CHAMBERS

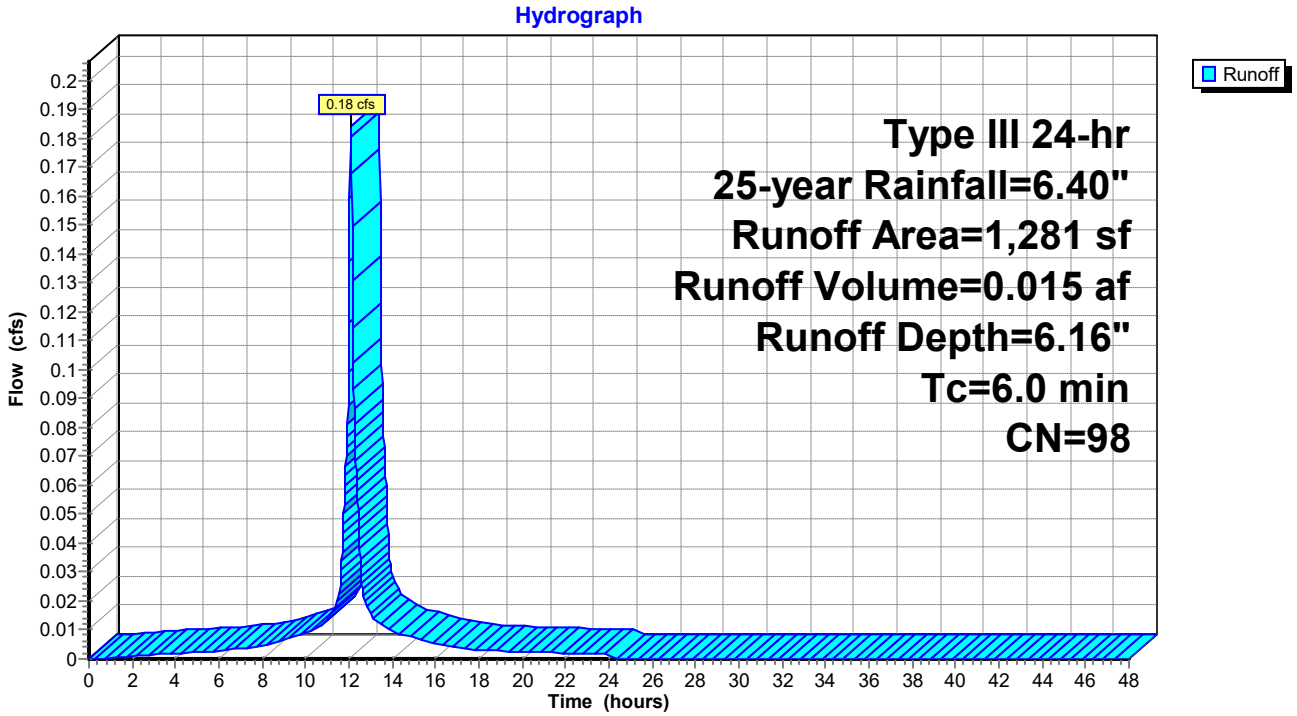
Runoff = 0.18 cfs @ 12.08 hrs, Volume= 0.015 af, Depth= 6.16"
Routed to Pond 8P : SW Management Practice

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Type III 24-hr 25-year Rainfall=6.40"

Area (sf)	CN	Description
1,281	98	Roofs, HSG C
1,281		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					**Direct Entry,**

Subcatchment 2S: FDA-1 TO CHAMBERS



Summary for Subcatchment 3S: FDA-2 TO DESIGN LINE

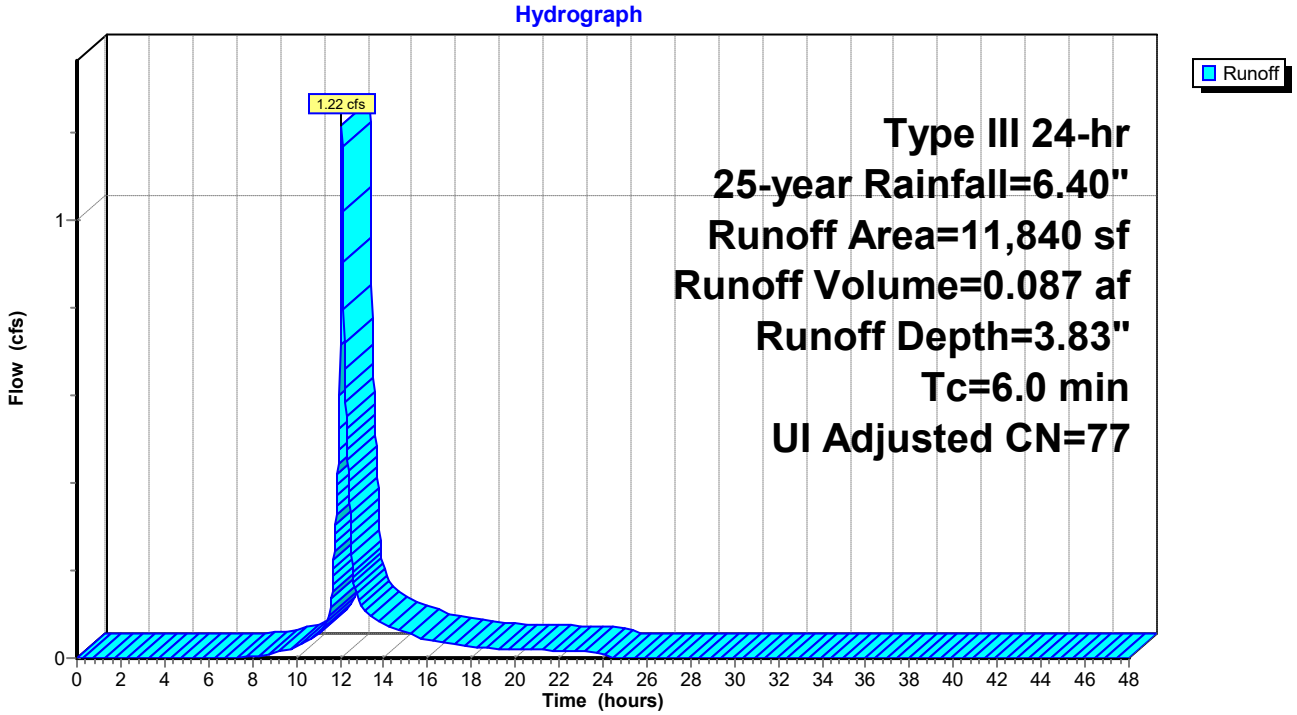
Runoff = 1.22 cfs @ 12.09 hrs, Volume= 0.087 af, Depth= 3.83"
Routed to Link 5L : DESIGN LINE

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Type III 24-hr 25-year Rainfall=6.40"

Area (sf)	CN	Adj	Description
3,130	98		Unconnected roofs, HSG C
8,258	74		>75% Grass cover, Good, HSG C
452	80		>75% Grass cover, Good, HSG D
11,840	81	77	Weighted Average, UI Adjusted
8,710			73.56% Pervious Area
3,130			26.44% Impervious Area
3,130			100.00% Unconnected

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					**Direct Entry,**

Subcatchment 3S: FDA-2 TO DESIGN LINE



Summary for Pond 8P: SW Management Practice

Inflow Area = 0.029 ac,100.00% Impervious, Inflow Depth = 6.16" for 25-year event
Inflow = 0.18 cfs @ 12.08 hrs, Volume= 0.015 af
Outflow = 0.18 cfs @ 12.10 hrs, Volume= 0.015 af, Atten= 1%, Lag= 1.0 min
Primary = 0.18 cfs @ 12.10 hrs, Volume= 0.015 af
Routed to Link 5L : DESIGN LINE

Routing by Stor-Ind method, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs
Starting Elev= 516.75' Surf.Area= 20 sf Storage= 15 cf
Peak Elev= 517.67' @ 12.10 hrs Surf.Area= 20 sf Storage= 33 cf (18 cf above start)

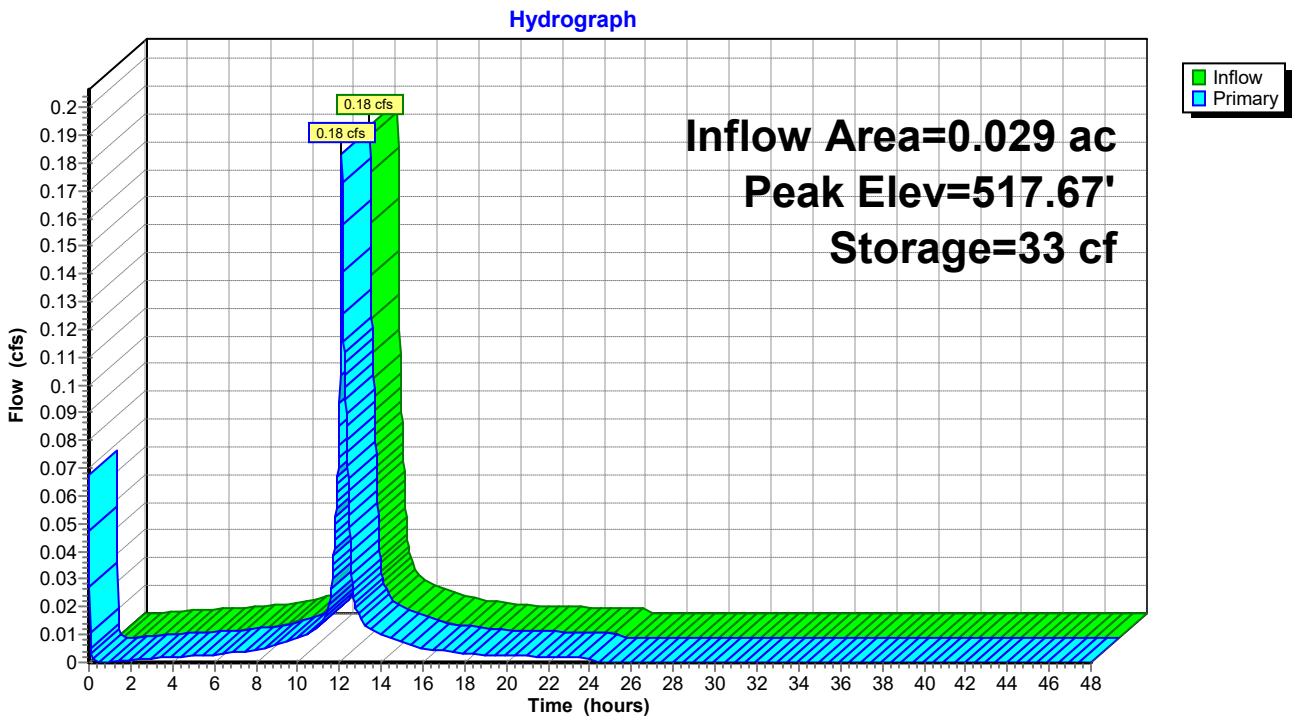
Plug-Flow detention time= 8.1 min calculated for 0.015 af (100% of inflow)
Center-of-Mass det. time= (not calculated: outflow precedes inflow)

Volume	Invert	Avail.Storage	Storage Description
#1	516.00'	69 cf	**5.00'D x 3.50'H Vertical Cone/Cylinder**

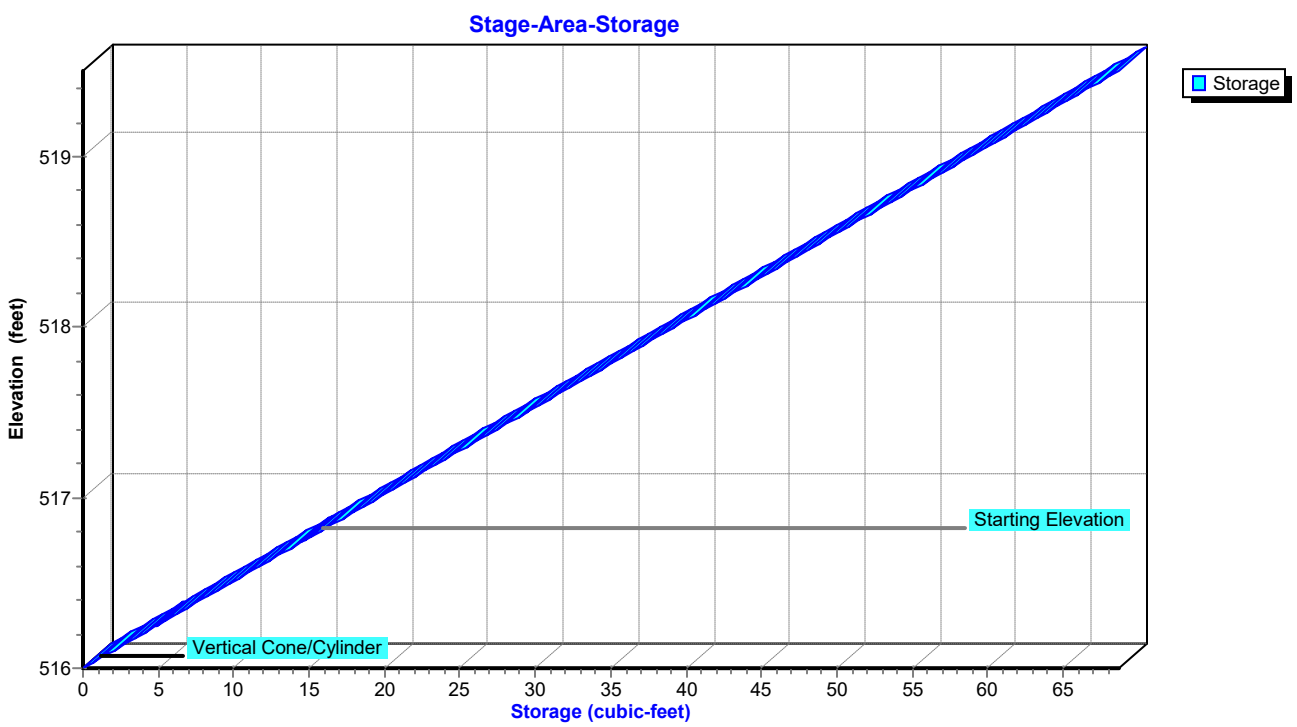
Device	Routing	Invert	Outlet Devices
#1	Primary	516.00'	**6.0" Round Culvert** L= 50.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 516.00' / 512.00' S= 0.0800 '/' Cc= 0.900 n= 0.012, Flow Area= 0.20 sf
#2	Device 1	516.25'	**2.0" Vert. Orifice/Grate** C= 0.600 Limited to weir flow at low heads
#3	Device 1	517.50'	**4.0" Vert. Orifice/Grate** C= 0.600 Limited to weir flow at low heads

Primary OutFlow Max=0.18 cfs @ 12.10 hrs HW=517.67' (Free Discharge)
└─**1=Culvert** (Passes 0.18 cfs of 1.13 cfs potential flow)
  ├─**2=Orifice/Grate** (Orifice Controls 0.12 cfs @ 5.56 fps)
  └─**3=Orifice/Grate** (Orifice Controls 0.06 cfs @ 1.40 fps)

Pond 8P: SW Management Practice



Pond 8P: SW Management Practice

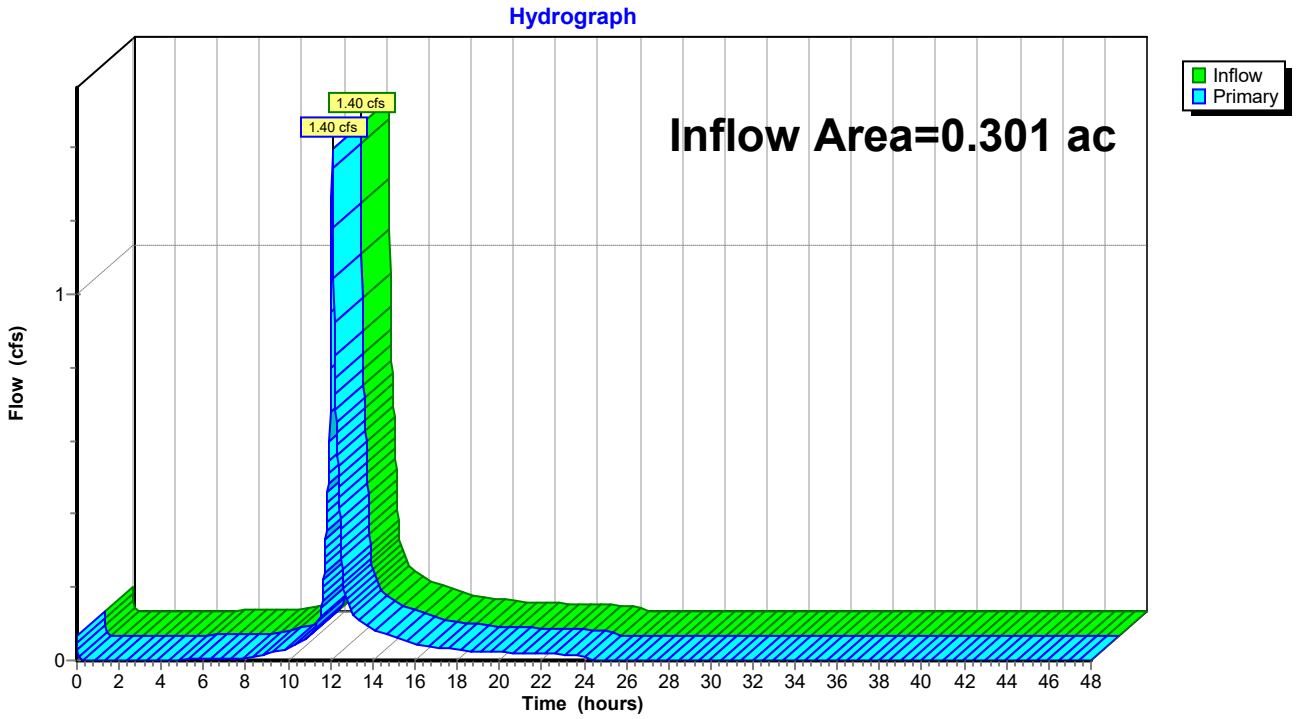


Summary for Link 5L: DESIGN LINE

Inflow Area = 0.301 ac, 33.62% Impervious, Inflow Depth = 4.07" for 25-year event
Inflow = 1.40 cfs @ 12.09 hrs, Volume= 0.102 af
Primary = 1.40 cfs @ 12.09 hrs, Volume= 0.102 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-48.00 hrs, dt= 0.02 hrs

Link 5L: DESIGN LINE



KELLARD SESSIONS

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Building Department

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM
Town Consulting Professionals

DATE: January 12, 2023

RE: Stormwater and Wetland Permit Approval
John and Kristina Nelson
30 Gideon Reynolds Road
Sheet 16, Block 10533, Lot 515

PROJECT DESCRIPTION

The subject property consists of ±1.091 acres of land and is located at 30 Gideon Reynolds Road within the R-1A Zoning District. The subject property is developed with a single-family residence and is connected to a central water and sewage system developed as part of the original subdivision (Michelle Estates). The applicant is proposing to remove an existing deck and flagstone walkways at the rear (south) of the house and is proposing the installation of an inground pool, patio, shed, walls, fencing, utility connections, drainage and mitigation. A wetland jurisdictional to the Town of Lewisboro and the New York State Department of Environmental Conservation (NYSDEC) is located at the rear of the property and the majority of the site improvements are located within the Town's 150-foot regulated buffer.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. A Wetland Activity Permit and a Town Stormwater Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

2. An Article 24 Freshwater Wetland Permit is required from the New York State Department of Environmental Conservation (NYSDEC).

3. The subject property is located within the NYC East of Hudson Watershed and proposed land disturbance exceeds 5,000 s.f. Coverage under New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001) will be required.

COMMENTS

1. This office defers review of the plan for zoning compliance to the Building Inspector. It is recommended that the application be referred to the Building Inspector for review.

2. The plan shall include a Bulk Zoning Table comparing the requirements of the underlying Zoning District to the existing and proposed conditions; required variances and existing nonconformities shall be noted in the table.

3. On-site wetlands are jurisdictional to the New York State Department of Conservation (NYSDEC) and the wetland boundary must be verified and validated by same. Please submit a Wetland Boundary Map, including a fully executed copy of the NYSDEC Wetland Validation Block.

4. Wetland mitigation proposed appears to be appropriate for the project. It appears that there are two (2) site plans/landscaping plans, prepared by two (2) different firms, with conflicting information. Please identify if the plan prepared by Middeleer Land Design, LLC is applicable.

5. The applicant shall submit a Wetland Report, which shall contain the information required under Sections 217-5 and 6 of the Town's Wetland Ordinance.

6. Land disturbance is proposed to exceed ≥5,000 s.f. and will therefore require conformance with NYSDEC SPDES General Permit (GP-0-20-001) and filing of a Notice of Intent (NOI) and MS4 Acceptance Form with the NYSDEC. Submit draft copies to this office for review.

7. Proposed grading throughout the entire development area should be illustrated on the plan, as well as spot grading on the terrace to demonstrate adequate collection of stormwater runoff. Top and bottom elevations of all proposed walls shall be identified on the plan.

8. The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact this office to schedule the testing.

9. The stormwater mitigation calculations on Sheet C-001.00 indicate that the total acreage of the property is 0.091 acres. This should be adjusted to reflect the actual acreage of the property at 1.091 acres.

10. The applicant has provided stormwater mitigation and design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour storm event. The applicant shall update the calculations, as may be needed, based on the results of the soil testing. The applicant shall also provide calculations for the volume required to store a 6-inch pool drawdown without the benefit of percolation. The system shall be sized to accommodate the larger of the two volumes.

11. The plan shall include all pipe sizing, material, rim and invert elevations, etc., associated with all stormwater management practices.

12. The plan shall illustrate a stabilized construction entrance and include it in the limits of disturbance.

13. The plan shall illustrate the connection of the pool equipment and the infiltration practice (or note the means and discharge point if by sump pump) for seasonal drawdown purposes.

14. The proposed stormwater practice shall include an emergency overflow and stabilized outfall. Provide details.

15. All proposed walkways, decks, patios, utility pads, generators, propane tanks, etc., shall be illustrated. It seems that some of these features are called out but not shown.

16. The plan shall note that disturbance limits shall be staked in the field prior to construction.

17. The names of the adjacent property owners and the location of any neighboring driveways, structures, and buildings shall be illustrated on a plan.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY MARCHETTI CONSULTING ENGINEERS:

- Pool Layout and Details (PL-1), dated November 23, 2022
- Details and Specifications (PL-2), dated November 23, 2022
- Stormwater Management Plan and Details (C-001.00), dated August 24, 2022
- Storm System Chambers Details (C-002.00), dated August 24, 2022

PLANS REVIEWED, PREPARED BY A2 LAND CONSULTING, LLC, DATED NOVEMBER 28, 2022

- Site Plan (L1)
- Notes & Details (L2)

PLAN REVIEWED, PREPARED BY MIDDELEER LAND DESIGN, LLC, DATED AUGUST 5, 2021:

- Proposed Site Plan (L1)

DOCUMENTS REVIEWED:

- Wetland Permit Application
- Stormwater Permit Application
- Project Narrative, prepared by A2 Land Consulting, dated December 8, 2022
- Wetland Map
- Topography of Property

JKJ/dc

30 Rocky Hill Rd.
New Fairfield, CT 06812

PHONE 845.531.1504
EMAIL abigail@a2land.com
WEB www.a2land.com

PROJECT NARRATIVE
FOR
SITE IMPROVEMENTS

NELSON RESIDENCE
30 Gideon Reynolds Rd., Cross River, NY
December 8, 2022

PROJECT NARRATIVE:

Scope: The proposed project is located at 30 Gideon Reynolds Rd. (Tax Lot 49, Lot 115, F.M. 24046) on the southern side of the street. It is bounded by single family residential parcels to the north, east and west, and Common Open Space to the south. The site is approximately 47,504 SF and is occupied by a 2-story single family residence, driveway, existing deck and lawn areas around the home. The southern portion of the site is wooded and slopes down towards Common Open Space on which the flagged wetlands are located just at the edge of the southern property boundary.

In relation to this application, we are proposing the removal of the existing deck and walkways and the installation of a new pool, associated patio, pool fencing, small site walls and a new shed. Based on the proposed hardscaping, a storm water system has been designed. The proposed fence will connect to two sides of the house and follow along the perimeter of the existing lawn area and the top of the wooded slope. A mitigation buffer planting has been proposed on both sides of the pool fence on the southern side.

Please see the following plan set for additional information:

- Site Plan (sheets L1 and L2) prepared by A2 Land Consulting, LLC, dated 11.13.22, Revised 11.28.22 Issue for Permitting
- Storm Water management Plan and Details prepared by Marchetti Consulting Engineers, dated 7-22-22, Revised 2022-08-24 For Permit

Alternatives: N/A

Water Supply: The site is currently served by municipal water system. No changes are proposed.

Sewer: The site is currently served by municipal sewer system. No changes are requested

Wetlands: Wetlands flagged by Paul J. Joehnig, Wetland s and Soils Consulting, 8/03/2020 and field inspected by Joshua Fisher, NYSDEC, Bureau of habitat 08/13/2020 .

Application No.: _____
Fee: _____ Date: _____

TOWN OF LEWISBORO
STORMWATER PERMIT APPLICATION

79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 875-9148

Project Address: 30 Gideon Reynolds Road

Sheet: 042 Block: 03 Lot(s): 515

Project Description (describe overall project including all proposed land development activities):
Install a new Swimming Pool and associated amenities, patio around the pool, a 12' x 20' shed, pool fencing, buffer plantings and storm water management.

Owner's Name: John and Kristina Nelson Phone: 1-914-419-3157

Owner's Address: 30 Gideon Reynolds Road Email: johnnels14@gmail.com

Applicant's Name (if different): _____ Phone: _____

Applicant's Address: _____ Email: _____

Agent's Name (if applicable): Abigail Adams Phone: 1-845-531-1504

Agent's Address: 30 Rocky Hill Rd, New Fairfield, CT 06812 Email: Abigail@a2land.com

TO BE COMPLETED BY OWNER/APPLICANT

The approval authority is? (see §189-5 of the Town Code)

■ Town Engineer and Stormwater Management Officer □ Planning Board

Is the project located within the NYCDEP Watershed? ■ Yes □ No

Total area of proposed disturbance: ■ 5,000 s.f. - < 1 acre □ ≥1 acre

Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity? □ Yes ■ No □ Requires post-construction stormwater practice

Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: Planning Board, NYSDEC, Building Deaprtment

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under §189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

Owner Signature: _____ Date: 12/1/2022

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592
Fax: (914) 875-9148

Affidavit of Ownership

State of : NEW YORK

County of: WESTCHESTER

JOHN NELSON, being duly sworn, deposes and says that he/she

resides at 30 GIDEON REYNOLDS ROAD CROSS RIVER, NY 10518

in the County of WESTCHESTER, State of NEW YORK

and that he/she is (check one) ✓ the owner, or ____ the _____
Title

of _____
Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of Lewisboro as:

Block 10533, Lot 515, on Sheet 16.

Owner's Signature

Sworn to before me this

15 **day of** June, 2022

CHIP KEATING
NOTARY PUBLIC - CONNECTICUT
MY COMM. EXPIRES 12/31/2026

Notary Public - affix stamp

Revised 2-2019

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant
(Please type or print)

JOHN NELSON
Name of Applicant

NELSON POOL - 30 GIDEON REYNOLDS ROAD
Project Name

Property Description

Tax Block(s): 10533

Tax Lot(s): 515

Tax Sheet(s): 16

Property Assessed to:

Name JOHN NELSON & Christina

Address 30 GIDEON REYNOLDS ROAD

City CROSS RIVER *State* NY *Zip* 10518

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature Deputy Receiver of Taxes: Ann M Bauer 6/15/22
Date

Sworn to before me this
15 **day of** June, 2022

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2020

Janet L Donohue
Signature - Notary Public (affix stamp)

Fee: $50.00 Date: _____

TOWN OF LEWISBORO
ENVIRONMENTAL QUESTIONNAIRE

The purpose of this Questionnaire is to determine whether a Town Wetland Permit, a Town Stormwater Permit and/or coverage under the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity is required. This form does not provide authorization to commence work.

Project Address: 30 Gideon Reynolds Road

Sheet: 042 Block: 03 Lot(s): 515

Project Description: install a new Swimming Pool and associated amenities, patio around the pool, a 12' x 20' Shed.

This questionnaire must be accompanied with a Site Plan or, at a minimum, a Plot Plan which clearly illustrates the location and dimensions of the proposed activity. Said plans must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). Failure to submit these items will delay review.

Owner's Name: John and Kristina Nelson Phone: 1-914-419-3157

Owner's Address: 30 Gideon Reynolds Rd. Email: johnnels14@gmail.com

Agent's Name (if applicable): Abigail Adams Phone: 1-845-531-1504

Agent's Address: 30 Rocky HIll Rd, New Fairfield, CT 06812 Email: abigail@a2land.com

I hereby grant permission to the Town's professional consultants to enter onto my property to conduct a site inspection.

Owner (Signature): _____ Date: 12/9/2022

FOR TOWN USE – PLEASE DO NOT WRITE BELOW THIS LINE

1. The use of the property is? □ Residential □ Nonresidential

2. Is a Town Wetland Permit required? □ Yes □ No □ TBD
   If Yes, what type of Wetland Permit is required? □ Administrative □ Planning Board □ TBD

3. Is the project located within the NYCDEP Watershed? □ Yes □ No

4. Area of proposed disturbance: □ < 5,000 s.f. □ 5,000 s.f. - < 1 acre □ ≥1 acre □ TBD

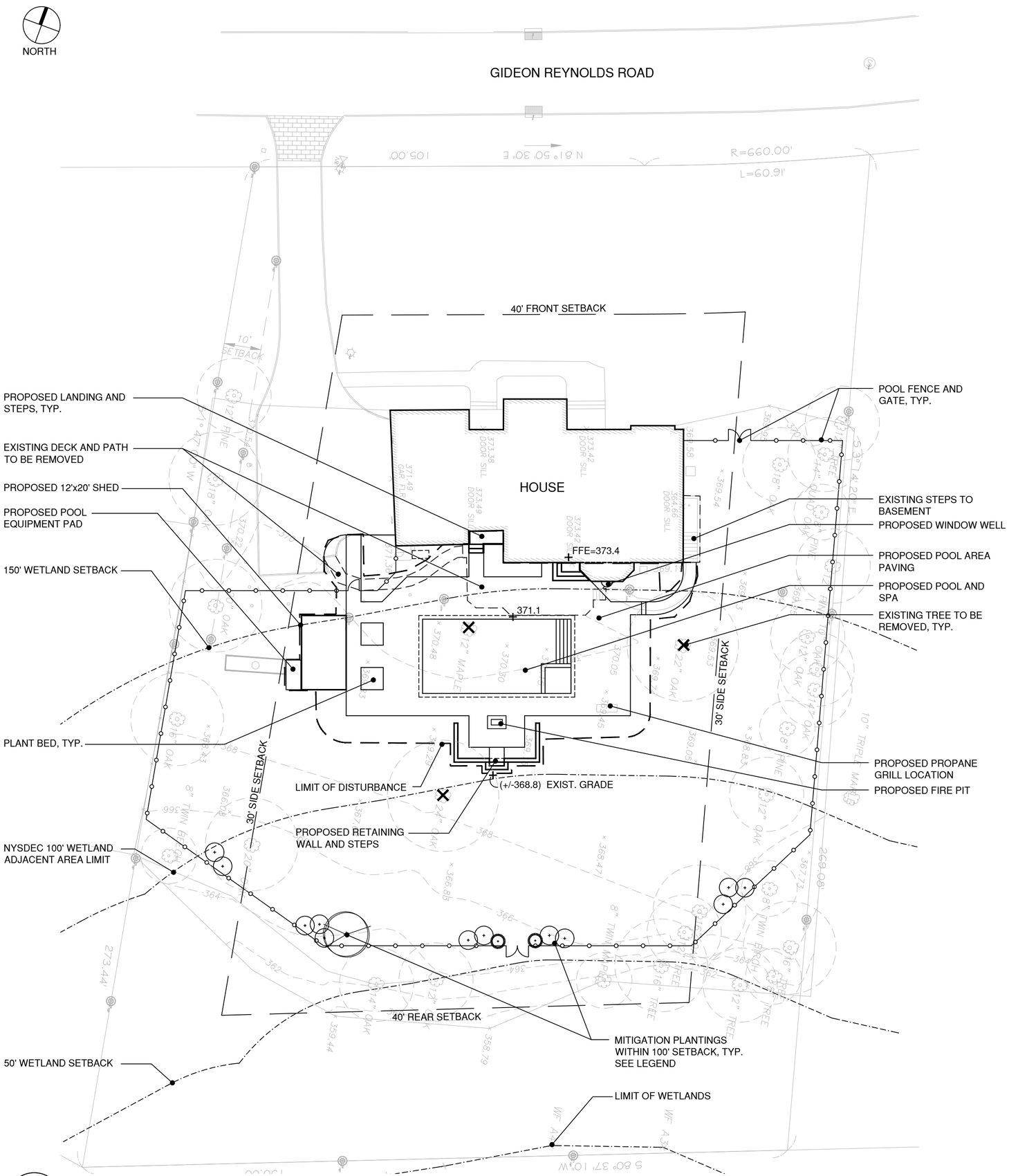
5. Is a Town Stormwater Permit required? □ Yes □ No □ TBD
   If Yes, the approval authority will be? □ Town Engineer/SMO □ Planning Board □ TBD

6. Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity? □ Yes □ No □ Requires post-construction stormwater practice

Application Fee (if required): **Wetland Permit** $: _____ **Stormwater Permit** $: _____

Notes: _____

Signature: _____ Date: _____
Wetland Inspector/Consultant



01 SITE PLAN

1"=20'-0"

MITIGATION PLANTINGS LEGEND			
SYM	DESCRIPTION	SIZE	REPRESENTATIVE NATIVE PLANT SPECIES
	DECIDUOUS SHRUB	18-24"	Clethtra alnifolia (Summersweet), Hydrangea arborescens (Smooth Hydrangea), Ilex verticilata (Winterberry)
	EVERGREEN SHRUB	18-24"	Ilex glabra (Inkberry), Rhododendron maximum (Rosebay Rhododendron
	DECIDUOUS TREE	7-8'	Cornus florida (Flowering Dogwood), Cercis canadensis (Redbud), Hamamelis virginiana (Witch-hazel)

PROPERTY ZONING DESIGNATION = R-1A	
LOT SIZE	47,504.55 SF (1.091 Acres)
EXISTING BUILDING COVERAGE	2,953.75 SF
EXISTING BUILDING COVERAGE (% OF LOT AREA)	6.22%
PROPOSED BUILDING COVERAGE	3,193.75 SF
PROPOSED BUILDING COVERAGE (% OF LOT AREA)	6.72%
TOTAL DISTURBED AREA	4,925.82 SF

NOTES:
1. EXISTING CONDITIONS SHOWN HEREIN ARE BASED ON A PROPERTY SURVEY PREPARED BY TC MERRITTS LAND SURVEYORS ENTITLED 'TOPOGRAPHY OF PROPERTY PREPARED FOR JOHN AND CHRISTINA NELSON', AS REVISED 09/29/2020.
2. WETLANDS FLAGGED BY PAUL J. JOEHNIG, WETLANDS AND SOILS CONSULTING, 8/3/2020.

FOR REVIEW PURPOSES ONLY
NOT FOR CONSTRUCTION

MIDDELEER
LAND DESIGN LLC
LANDSCAPE ARCHITECTURE
20 ROXBURY RD., WOODBURY, CT 06798
(203)856-3135, WWW.MIDDLANDDESIGN.COM

Date:	Issue:
08/05/2021	Client Review Set
-	-
-	-
-	-
-	-
-	-
-	-
-	-

Drawing Title:
PROPOSED SITE PLAN

Project:
Nelson Residence

Project Location:
30 Gideon Reynolds Road
Cross River, NY

Scale: As Shown

Drawn by:

Reviewed by:

L1

Only copies from the original of this survey marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Said certifications shall run only to the person for whom this survey is prepared and on his/her behalf to the title company, governmental agency and lending institutions listed hereon. Certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified.
Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating.
Additional underground utilities are not shown or certified.
Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

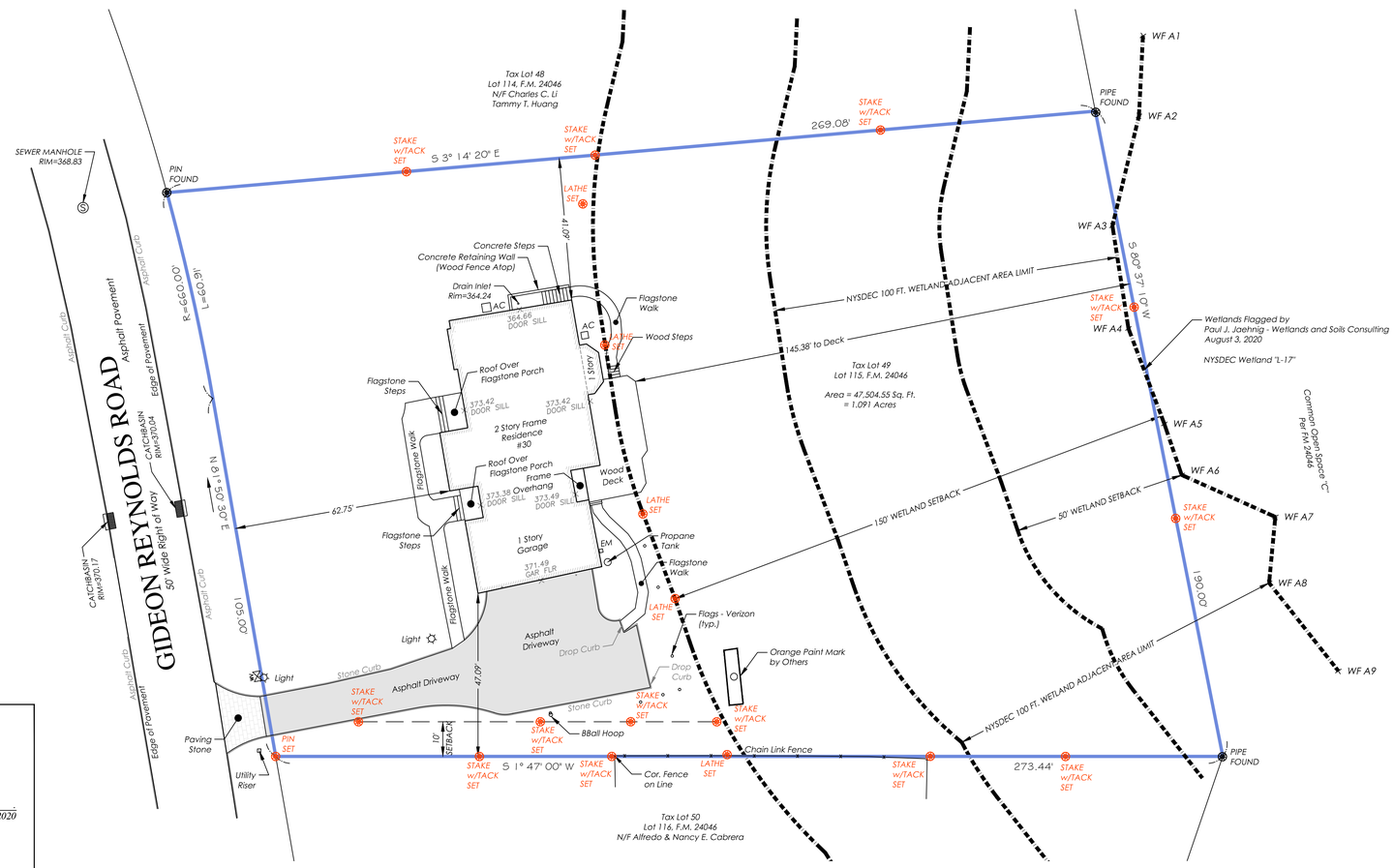
Elevations shown hereon generally in accordance with North American Vertical Datum 88.

Premises hereon being Lot 115 as shown on a certain map entitled, "Michelle Estates at Cross River, Subdivision Survey Prepared for Bayswater Realty & Capital Corp., Situated in the Town of Lewisboro, Westchester County, New York."
Said map filed in the Westchester County Clerk's Office, Division of Land Records on January 3, 1990 as map number 24046.

Surveyed in accordance with Deed Control Number 600693354.

Premises shown hereon designated on the Town of Lewisboro Tax Maps as: Section 42.03, Block 1, Lot 49.

Property Address:
30 Gideon Reynolds Road
Cross River, New York 10518



NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION

The freshwater wetland boundary as represented on this map accurately depicts the limits of Freshwater Wetland "L-17" as delineated by Paul J. Jaehnig, Wetlands Consultant, on August 3, 2020, and field inspected by Joshua Fisher, NYSDEC Bureau of Habitat, on August 18, 2020.

*DEC Staff:*_____ *Surveyor:*_____
Scott B. Gray, L.S. Date: December 29, 2020
*Date:*_____ *SEAL*

STATE OF NEW YORK · SCOTT B. GRAY · NO. 50672 · LICENSED LAND SURVEYOR

*Wetland boundary delineations as validated by the New York State Department of Environmental Conservation remain valid for 5 years unless existing exempt activities, area hydrology, or land use practices change (e.g., agricultural to residential). **After 5 years the boundary must be revalidated by DEC staff**. Revalidation may include a new delineation and survey of the wetland boundary.*

Any proposed construction, grading, filling, excavating, clearing or other regulated activity in the freshwater wetland or within 100 feet of the wetland boundary, as depicted on this map, requires a permit from the NYS Department of Environmental Conservation under Article 24 of the Environmental Conservation Law (Freshwater Wetlands Act) prior to commencement of work.

WETLAND MAP PREPARED FOR JOHN AND CHRISTINA NELSON

SITUATE IN THE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 20'

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

COPYRIGHT © 2020
TC MERRITTS LAND SURVEYORS
ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION IS A VIOLATION OF APPLICABLE LAWS.

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899

STATE OF NEW YORK · SCOTT B. GRAY · NO. 50672 · LICENSED LAND SURVEYOR

Surveyed: September 25, 2020
Map Prepared: September 25, 2020
Map Revised: September 29, 2020 to revise 150' wetland setback line
Map Revised: October 8, 2020 to show 100' wetland setback line
Map Revised: December 29, 2020 to show 50'wetland setback line and notes

By:
Scott B. Gray New York State Licensed Land Surveyor No.050672

Project: 20-350	*Field Survey By: AN/PT*
Drawn By: CMP	*Checked By: SBG*

Only copies from the original of this topography map marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Unauthorized alteration or addition to a map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified.
Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating.
Additional underground utilities are not shown or certified.
Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks.

Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

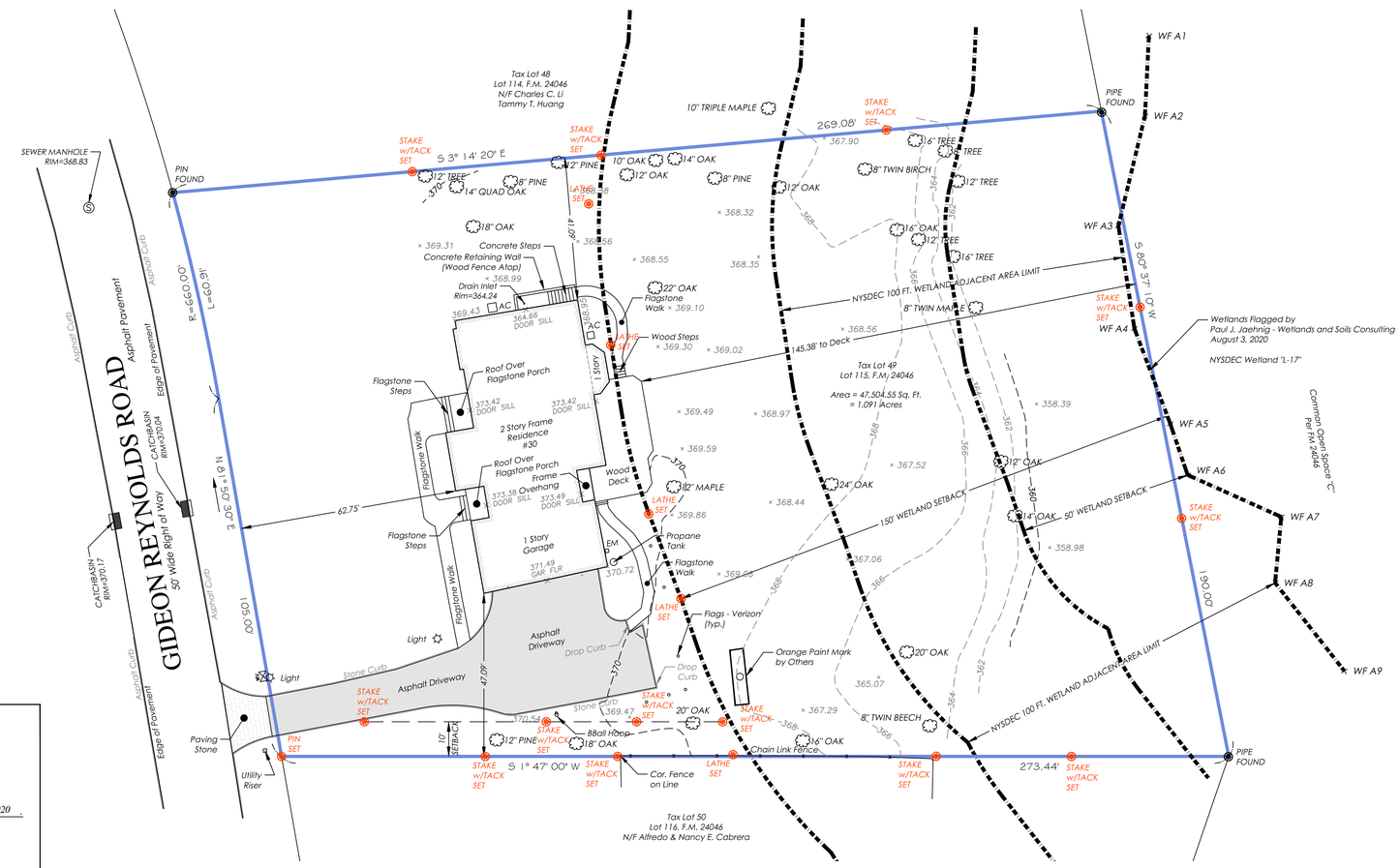
Elevations shown hereon generally in accordance with North American Vertical Datum 88.

Premises hereon being Lot 115 as shown on a certain map entitled, "Michelle Estates at Cross River, Subdivision Survey Prepared for Bayswater Realty & Capital Corp., Situated in the Town of Lewisboro, Westchester County, New York."
Said map filed in the Westchester County Clerk's Office, Division of Land Records on January 3, 1990 as map number 24046.

Surveyed in accordance with Deed Control Number 600693354.

Premises shown hereon designated on the Town of Lewisboro Tax Maps as: Section 42.03, Block 1, Lot 49.

Property Address:
30 Gideon Reynolds Road
Cross River, New York 10518



NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION

The freshwater wetland boundary as represented on this map accurately depicts the limits of Freshwater Wetland "L-17" as delineated by Paul J. Jaehnig, Wetlands Consultant, on August 3, 2020, and field inspected by Joshua Fisher, NYSDEC Bureau of Habitat, on August 18, 2020.

*DEC Staff:*_____ *Surveyor:* Scott B. Gray, L.S. Date: October 8, 2020 .

*Date:*_____ *SEAL*

STATE OF NEW YORK · SCOTT B. GRAY · NO. 50672 · LICENSED LAND SURVEYOR

Wetland boundary delineations as validated by the New York State Department of Environmental Conservation remain valid for 5 years unless existing exempt activities, area hydrology, or land use practices change (e.g., agricultural to residential). ***After 5 years the boundary must be revalidated by DEC staff****. Revalidation may include a new delineation and survey of the wetland boundary.*

Any proposed construction, grading, filling, excavating, clearing or other regulated activity in the freshwater wetland or within 100 feet of the wetland boundary, as depicted on this map, requires a permit from the NYS Department of Environmental Conservation under Article 24 of the Environmental Conservation Law (Freshwater Wetlands Act) prior to commencement of work.

TOPOGRAPHY OF PROPERTY PREPARED FOR JOHN AND CHRISTINA NELSON

SITUATE IN THE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 20'

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

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TC MERRITTS LAND SURVEYORS
ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION IS A VIOLATION OF APPLICABLE LAWS.

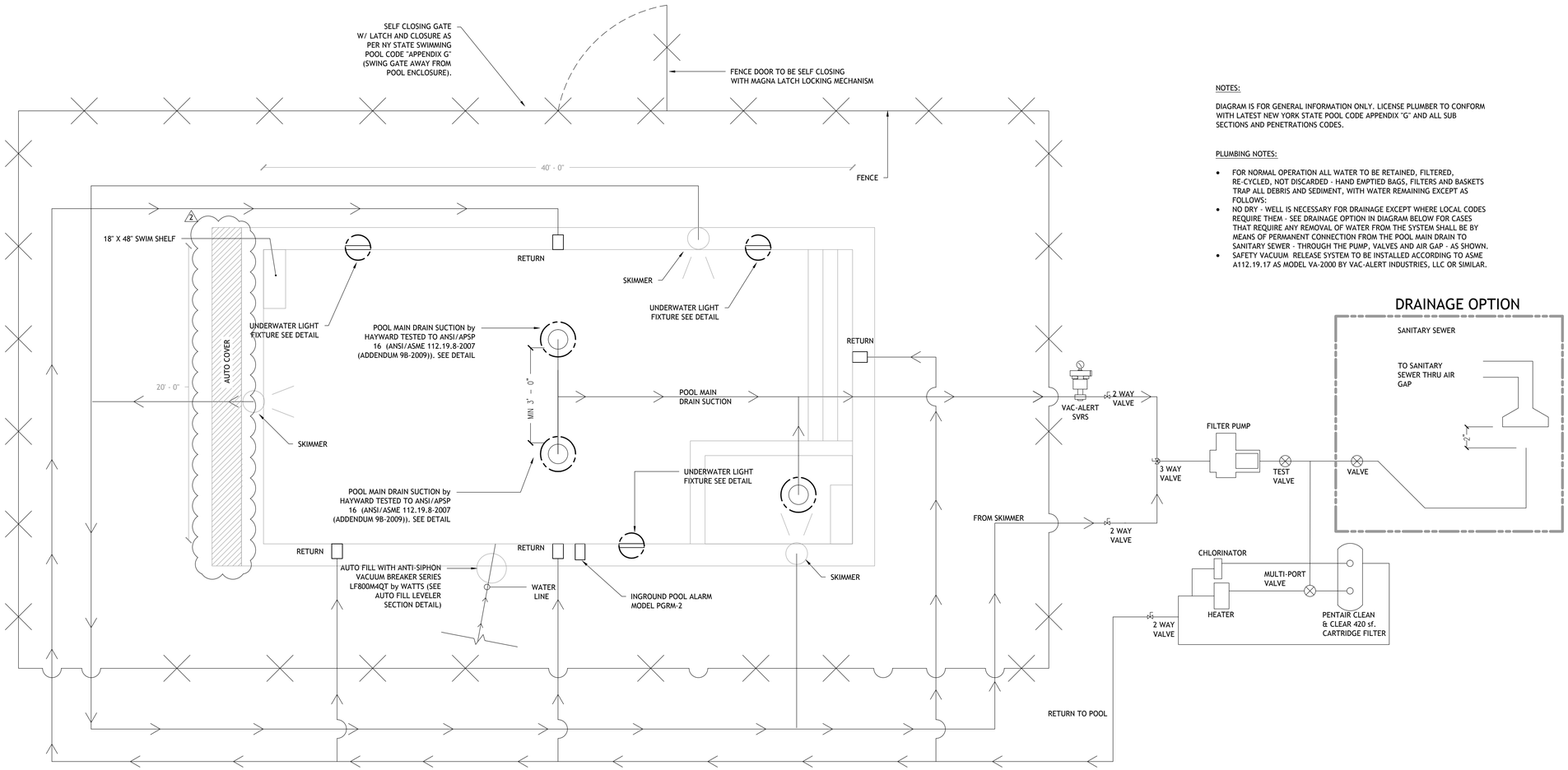
TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899

STATE OF NEW YORK · SCOTT B. GRAY · NO. 50672 · LICENSED LAND SURVEYOR

Surveyed: September 25, 2020
Map Prepared: September 25, 2020
Map Revised: September 29, 2020 to revise 150' wetland setback line
Map Revised: October 8, 2020 to show 100' wetland setback line

By:
Scott B. Gray New York State Licensed Land Surveyor No.050672

Project: 20-350	*Field Survey By: AN/PT*
Drawn By: CMP	*Checked By: SBG*



PLUMBING DIAGRAM

SCALE: N.T.S.

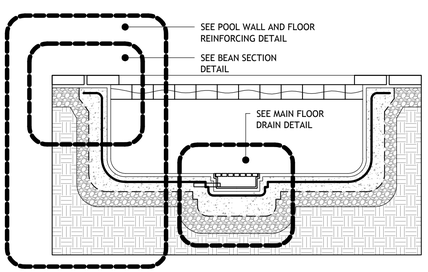
NOTES:

DIAGRAM IS FOR GENERAL INFORMATION ONLY. LICENSE PLUMBER TO CONFORM WITH LATEST NEW YORK STATE POOL CODE APPENDIX "G" AND ALL SUB SECTIONS AND PENETRATIONS CODES.

PLUMBING NOTES:

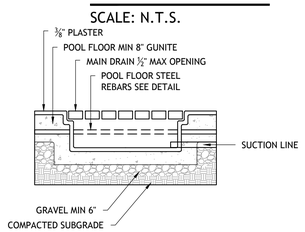
- FOR NORMAL OPERATION ALL WATER TO BE RETAINED, FILTERED, RE-CYCLED, NOT DISCARDED - HAND EMPTIED BAGS, FILTERS AND BASKETS TRAP ALL DEBRIS AND SEDIMENT, WITH WATER REMAINING EXCEPT AS FOLLOWS:
- NO DRY - WELL IS NECESSARY FOR DRAINAGE EXCEPT WHERE LOCAL CODES REQUIRE THEM - SEE DRAINAGE OPTION IN DIAGRAM BELOW FOR CASES THAT REQUIRE ANY REMOVAL OF WATER FROM THE SYSTEM SHALL BE BY MEANS OF PERMANENT CONNECTION FROM THE POOL MAIN DRAIN TO SANITARY SEWER - THROUGH THE PUMP, VALVES AND AIR GAP - AS SHOWN.
- SAFETY VACUUM RELEASE SYSTEM TO BE INSTALLED ACCORDING TO ASME A112.19.17 AS MODEL VA-2000 BY VAC-ALERT INDUSTRIES, LLC OR SIMILAR.

DRAINAGE OPTION



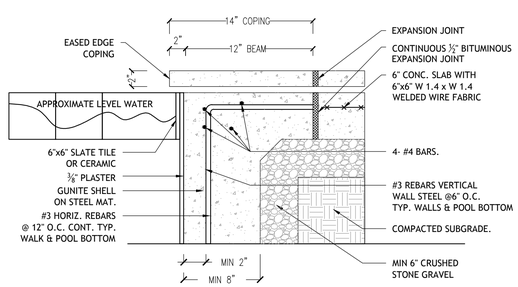
POOL SECTION

SCALE: N.T.S.



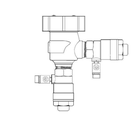
MAIN FLOOR DRAIN DETAIL

SCALE: N.T.S.

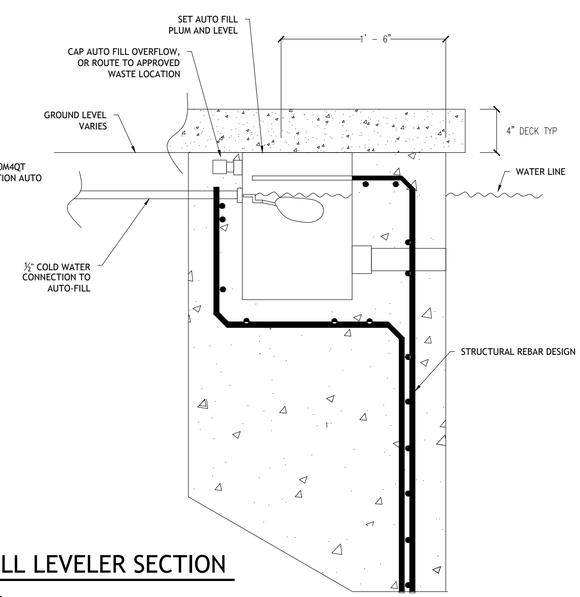


BEAM SECTION DETAIL

SCALE: N.T.S.



NOTE:
ADD ANTI-SIPHON PRESSURE VACUUM BREAKER SERIES LF800M4QT SIZE OF COLD WATER CONNECTION AUTO FILL by WATTS



AUTO FILL LEVELER SECTION

SCALE: N.T.S.

MARCHETTI CONSULTING ENGINEERS
25 High Ridge Rd
Pound Ridge, NY 10576
P (914) 764-9011
F (914) 764-9012
info@marchetticonsultingengineers.com

Drawings and Specifications, as instruments of professional service, are and shall remain the property of the Engineer. Documents are not to be used, in whole or in part, for other projects or purposes or by any other parties than those authorized by contract without the specific written authorization of the Engineer. The use of this document is contingent upon payment to the engineer for services rendered. Non-payment shall give the Engineer the authority to bar document use by any and all parties. If owner disputes any Engineer's statements for services, it is required that the owner advise the engineer in writing with ten (10) days. Remaining, undisputed portions are due and payable upon receipt. The owner shall indemnify the Engineer against any claims alleging damages or delays incurred in the event the Engineer exercises the right to bar document use for non-payment. Contractors must check all dimensions on site. Only figured dimensions are to be worked from. Discrepancies must be reported immediately to the Engineer before proceeding.

No.	DESCRIPTION	DATE
1	FOR PERMIT	2021-09-22
2	AS PER BUILDING DEPARTMENT COMMENTS	2021-11-23

STAMP & SIGN:

NELSON RESIDENCE
TOWN OF LEWISBORO,
WESTCHESTER COUNTY, NY

POOL LAYOUT AND DETAILS

PROJECT NUMBER:	#2021-80
DATE:	2021-09-22
DRAWN BY:	EF
CHECKED BY:	PGM

PL-1

SCALE: AS NOTED

POOL GENERAL NOTES:
VERIFICATION:

- PRIOR TO EXCAVATION, CONTRACTOR IS TO NOTIFY AGENCY WHICH HAS JURISDICTION TO FIELD LOCATE AND MARK LOCATIONS OF BURIED UTILITIES WITHIN AREA OF WORK TO BE PERFORMED.

- CONTRACTOR MUST VERIFY SOIL CONDITIONS PRIOR TO COMMENCING WORK. IF SOIL CONDITIONS ARE NOT ADEQUATE FOR BEARING AND VIRGIN SOIL NOT OBTAINABLE WITHIN POOL EXCAVATION DESIGN: CONTRACTOR MUST RETAIN SOIL AND STRUCTURAL ENGINEER TO DESIGN APPROPRIATE POOL STRUCTURE FOR FIELD CONDITIONS AND NOTIFY ARCHITECT.

APPROVAL:

- ALL PLANS WERE DESIGNED IN ACCORDANCE WITH 2020 RESIDENTIAL CODE OF NYS.
- NO WORK SHALL COMMENCE PRIOR TO OBTAIN PRIOR REQUIRED PERMITS.
- POOL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AND ATTEND ALL MEETINGS AS REQUIRED BY THE TOWN OF LEWISBORO NY.
- POOL CONTRACTOR SHALL ARRANGE FOR ALL REQUIRED INSPECTIONS AND APPLY FOR AND SECURE FINAL CERTIFICATE OF OCCUPANCY.
- ALL CONSTRUCTION TO COMPLY WITH ALL APPLICABLE SECTIONS OF THE NYS BUILDING AND RESIDENTIAL CODE 2020 EDITION.
- ALL ELECTRICAL WORK SHALL BE EXECUTED BY A LICENSED ELECTRICIAN.
- ALL PLUMBING WORK SHALL BE EXECUTED BY A LICENSED PLUMBER.
- POOL SHALL BE GROUNDED IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL AND STATE BOARD OF FIRE UNDERWRITERS AND ALL APPLICABLE SECTIONS OF THE NY BUILDING CODES.

EXCAVATION AND GRADING:

- ALL EXCAVATED SOIL MATERIAL FROM POOL DIG SHALL BE TEMPORARILY STOCK PILED AND REGRADED AS DIRECTED AND AS REQUIRED.

EQUIPMENT SPECIFICATIONS:

- POOL CONTRACTOR SHALL SUPPLY AND INSTALL ALL EQUIPMENT NECESSARY TO OPERATE THE POOL AND ALL RELATED EQUIPMENT, INCLUDING ALL ELECTRICAL, GAS AND PLUMBING CONNECTIONS INCLUDING TRENCHING.
- POOL CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS SHOWN ON THESE PLANS INCLUDING BUT NOT LIMITED TO:

a. 3 (THREE) IN - WALL SKIMMER AND 4 (FOUR) RETURNS BY "HAYWARD PRODUCTS INC."
b. 3 (THREE) UNDERWATER LIGHT FIXTURES EACH BEING A 500W, 100V by "PENTAIR"
c. FILTER SHALL BE A PENTAIR CLEAN AND CLEAR PLUS 420 CARTRIDGE FILTER - 2 HP PUMP AND SEPARATION TANK.
d. A 4000,000 BTU HEATER BY "PENTAIR".
e. AN AUTOMATIC POOL FILLER BY "PENTAIR".
f. AN AUTOMATIC COMPUTER SYSTEM FOR POOL OPERATION AQUA LINK - 8000 BY "JANDY"
g. ~~3 (THREE) MAIN FLOOR DRAINS HEYWARD SP1054 2" GUNITE MAIN DRAINS.~~ 2
h. AN AUTOMATIC POOL COVER BY COVERSTAR WITH VAPOR-RETARDANT AS PER N1103.10.3 (R403.10.3) AND UL/ASTM STANDARD F1346
i. ~~AN OVERFLOW POOL DRAIN LOCATED IN A SKIMMER UNIT.~~
j. PROVIDE ONE EACH OF THE FOLLOWING: HAND SKIMMER - WALL BRUSH - THERMOMETER - TEST KIT - MANUAL CLEANER UNIT W/ A 50 FOOT HOSE AND A 16' TELESCOPE POLE HANDLE.
k. ALL ELECTRICAL SWITCHES FROM HOUSE TO POOL AS DIRECTED BY: OWNER.
l. AN INGROUND POOL ALARM BY POOLGUARD MODEL PGRM-2 AS PER NSF CERTIFIED TO ASTM F 2208-08.
m. A VACALERT ATMOSPHERIC VACUUM RELIEF SYSTEM ON ALL POOL PUMPS CONFORMING TO ASME A112.19.17, POOL PUMP TO BE PENTAIR INTELLIFLO VS+SVRS (HAS SVRS SAFETY SHUT-OFF BUILT IN).

- ALL ITEMS NOT GIVEN A MANUFACTURER AND CATALOGUE NUMBER SHALL BE THE LATEST MODEL AVAILABLE FOR THAT ITEM.

FILTER BACKWASH AND DRAINAGE:

- POOL WATER SHALL BE TRUCKED IN FOR INITIAL FILL UP AND TRUCKED OUT DURING TIMES OF POOL STRUCTURE SERVICING (I.E : REPAIR AND REPLASTERING).

STRUCTURE:

- GUNITE WALLS AND POOL FLOOR SHALL BE A MINIMUM OF 4,000 PSI WITH A MINIMUM WALL THICKNESS OF 8" AND A CONTINUOUS BEAM OF 12" WIDE AT POOL PERIMETER (SEE DETAILS).
- REINFORCING BARS FOR POOL SHALL BE SIZED AND SPACE AS PER REINFORCING DETAILS.

POOL DEPTH:

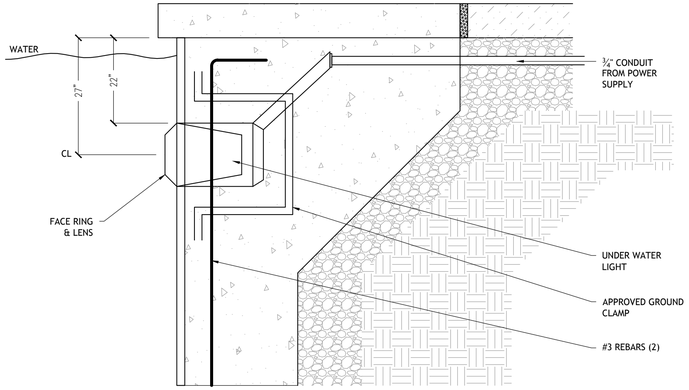
- POOL WATER DEPTH SHALL BE AS INDICATED ON PLAN. SHALLOW END AND DEEP END SHALL BE AS INDICATED.

TILE AND PLASTER:

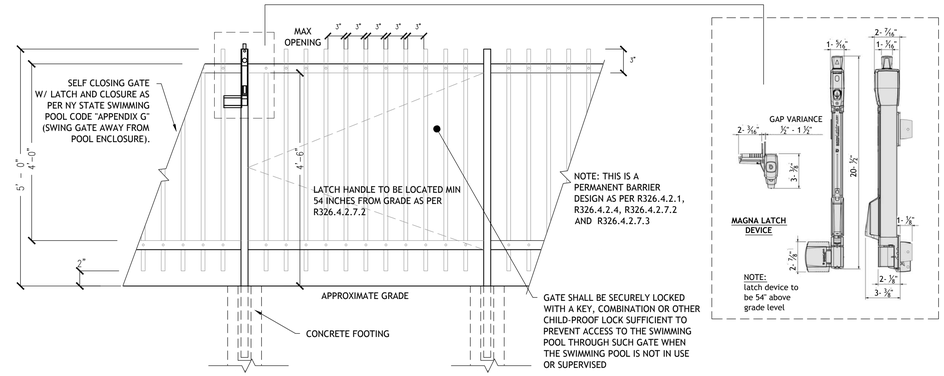
- BORDER TILES SHALL BE 6" X 6" CERAMIC TILE. POOL CONTRACTOR SHALL SUBMIT COLOR SAMPLES TO OWNER FOR SELECTION.
- TILE GROUT COLOR SHALL MATCH POOL PLASTER COLOR.
- POOL INTERIOR PLASTER COLOR SHALL BE LIGHT GRAY, UNLESS OWNERS SELECTION DIFFERS.

POOL ENCLOSURE:

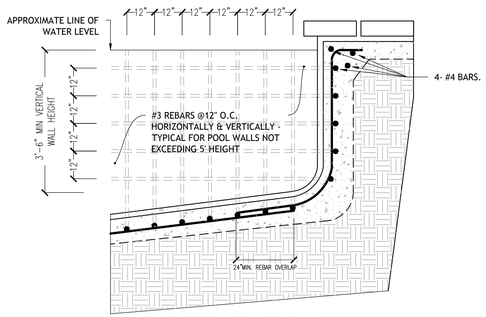
- THESE PLANS WERE PREPARED USING 2020 NYS RESIDENTIAL CODE
- PROPOSED POOL IS DESIGN AND WILL BE CONSTRUCTED IN CONFORMANCE WITH ANSI/APSP/ICC5.
- SWIMMING POOL NECESSARY EQUIPMENT SHALL BE PROVIDED WITH AN ENCLOSURE WHICH SHALL BE A MINIMUM OF 5 (FIVE) FEET IN HEIGHT AND HAVE A MAXIMUM VERTICAL CLEARANCE TO GRADE OF 2 (TWO) INCHES. MAXIMUM BALUSTRADES 2" O.C. (SEE DETAIL). 2
- ENCLOSURE SHALL BE CONSTRUCTED SO AS NOT TO PROVIDE FOOTHOLDS, SHALL HAVE RALINGS AND POSTS WITHIN THE ENCLOSURE, WHICH SHALL BE CAPABLE OF RESISTING A MINIMUM LATERAL LOAD OF 150 LBS. APPLIED MIDWAY BETWEEN POSTS AND THE TOP OF POSTS RESPECTIVELY.
- GATES PROVIDED IN THE ENCLOSURE SHALL BE SELF - CLOSING AND SELF - LATCHING WITH THE LATCH LOCATED WITHIN THE ENCLOSURE AND AT LEAST 48 INCHES ABOVE GRADE.
- ANY DOOR WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM THAT PRODUCES AND AUDIBLE WARNING WHEN THE DOOR AND/OR ITS SCREEN, IF PRESENT ARE OPENED. OPERABLE WINDOWS IN THE WALL OR WALLS USED AS A BARRIER SHALL HAVE A LATCHING DEVICE LOCATED NO LESS THAN 48" ABOVE THE FLOOR. OPENINGS IN OPERABLE WINDOWS SHALL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION: AND WHERE THE DWELLING IS WHOLLY CONTAINED WITHIN THE POOL BARRIER ENCLOSURE, ALARMS SHALL BE PROVIDED AT EVERY DOOR WITH DIRECT ACCESS TO THE POOL IN ACCORDANCE WITH R326.4.2.8



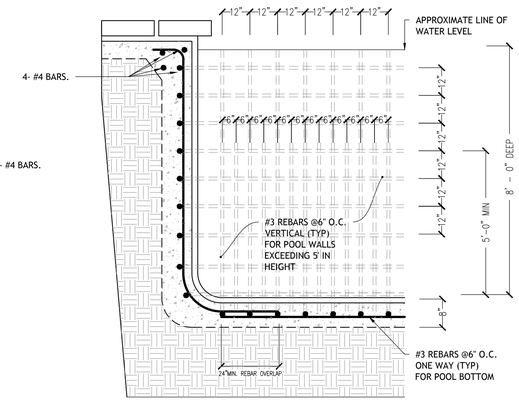
UNDER WATER LIGHT DETAIL
SCALE: N.T.S.



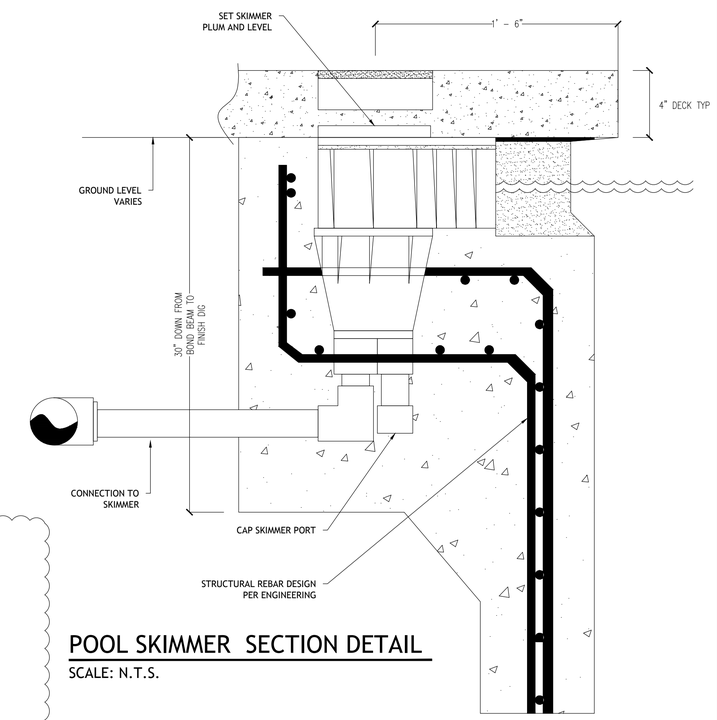
PERMANENT POOL BARRIER DESIGN AND DETAIL
SCALE: N.T.S.



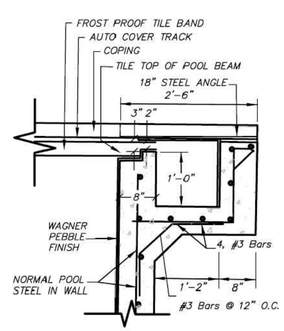
WALL AND FLOOR REINFORCING DETAIL
SCALE: N.T.S.



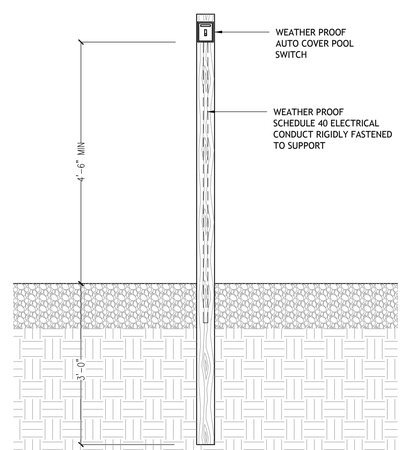
WALL AND FLOOR REINFORCING DETAIL
SCALE: N.T.S.



POOL SKIMMER SECTION DETAIL
SCALE: N.T.S.



AUTO COVER DETAIL
SCALE: N.T.S.



PRESSURE TREATED SWITCH POST DETAIL
SCALE: N.T.S.

MARCHETTI CONSULTING ENGINEERS
25 High Ridge Rd
Pound Ridge, NY 10576
P (914) 764-9011
F (914) 764-9012
info@marchetticonsultingengineers.com

Drawings and Specifications, as instruments of professional service, are and shall remain the property of the Engineer. Documents are not to be used, in whole or in part, for other projects or purposes or by any other parties than those authorized by contract without the specific written authorization of the Engineer. The use of this document is contingent upon payment to the engineer for services rendered. Non-payment shall give the Engineer the authority to bar document use by any and all parties. If owner disputes any Engineer's statements for services, it is required that the owner advise the engineer in writing with ten (10) days. Remaining, undisputed portions are due and payable upon receipt. The owner shall indemnify the Engineer against any claims alleging damages or delays incurred in the event the Engineer exercises the right to bar document use for non-payment. Contractors must check all dimensions on site. Only figured dimensions are to be worked from. Discrepancies must be reported immediately to the Engineer before proceeding.

No.	DESCRIPTION	DATE
1	FOR PERMIT	2021-09-22
2	AS PER BUILDING DEPARTMENT COMMENTS	2021-11-23

STAMP & SIGN:

NELSON RESIDENCE
TOWN OF LEWISBORO,
WESTCHESTER COUNTY, NY

DETAILS AND SPECIFICATIONS

PROJECT NUMBER:	#2021-80
DATE:	2021-09-22
DRAWN BY:	EF
CHECKED BY:	PGM

PL-2

SCALE:	AS NOTED

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3
21 South Putt Corners Road, New Paltz, NY 12561-1620
P: (845) 256-3054 | F: (845) 255-4659
www.dec.ny.gov

NEW YORK STATE OF OPPORTUNITY | Department of Environmental Conservation

IMPORTANT NOTICE TO ALL PERMITTEES

The permit you requested is enclosed. Please read it carefully and note the conditions that are included in it. The permit is valid for only that activity expressly authorized therein; work beyond the scope of the permit may be considered a violation of law and be subject to appropriate enforcement action. Granting of this permit does not relieve the permittee of the responsibility of obtaining any other permission, consent or approval from any other federal, state, or local government which may be required.

Please note the expiration date of the permit. Applications for permit renewal should be made well in advance of the expiration date (minimum of 30 days) and submitted to the Regional Permit Administrator at the above address. For SPDES, Solid Waste and Hazardous Waste Permits, renewals must be made at least 180 days prior to the expiration date.

The DEC permit number & program ID number noted on page 1 under "Permit Authorization" of the permit are important and should be retained for your records. These numbers should be referenced on all correspondence related to the permit, and on any future applications for permits associated with this facility/project area.

If a permit notice sign is enclosed, you must post it at the work site with appropriate weather protection, as well as a copy of the permit per General Condition 1.

If the permit is associated with a project that will entail construction of new water pollution control facilities or modifications to existing facilities, plan approval for the system design will be required from the appropriate Department's regional Division of Water or delegated local Health Department, as specified in the State Pollutant Discharge Elimination System (SPDES) permit.

If you have any questions on the extent of work authorized or your obligations under the permit, please contact the staff person indicated below or the Division of Environmental Permits at the above address.

Alysse Devine
Division of Environmental Permits, Region 3
Telephone (845) 240-7806

- [ ] Applicable only if checked. Please note all work authorized under this permit is prohibited during trout spawning season commencing October 1 and ending April 30.
- [ ] Applicable only if checked for STORMWATER SPDES INFORMATION: We have determined that your project requires coverage under the General Stormwater SPDES Permit. You must file a Notice of Intent to obtain coverage under the General Permit. This form can be downloaded at: http://www.dec.ny.gov/chemical/43133.html
- [ ] Applicable only if checked - MS4 Areas: This site is within an MS4 area (Municipal Separate Storm Sewer System), therefore the SWPPP must be reviewed and accepted by the municipality. The MS-4 Acceptance Form must be submitted in addition to the Notice of Intent.

Send the completed form(s) to: NYS DEC, Stormwater Permitting, Division of Water, 625 Broadway, Albany, New York 12233-3505.

NEW YORK STATE OF OPPORTUNITY | Department of Environmental Conservation

PERMIT

Under the Environmental Conservation Law (ECL)

Permittee and Facility Information

Permit Issued To:
John Nelson
30 Gideon Reynolds Rd
Cross River, NY 10518
(914) 419-3157

Christina Nelson
30 Gideon Reynolds Rd
Cross River, NY 10518

Facility:
Nelson Property
30 Gideon Reynolds Rd
Cross River, NY 10518

Facility Location: in LEWISBORO in WESTCHESTER COUNTY
Facility Principal Reference Point: NYTM-E: 615.585 NYTM-N: 4570.029
Latitude: 41°16'24.3" Longitude: 73°37'11.8"
Project Location: 30 Gideon Reynolds Road, Cross River NY
Authorized Activity: This permit authorizes disturbances to the 100 foot adjacent area of NYS Freshwater Wetland L-17, Class 1, associated with the installation of a chain link fence and native plantings. This action is associated with the installation of a pool, patio, and shed outside the regulated area. No disturbance to the wetland is authorized. All work must be conducted in strict accordance with plans referenced in Natural Resource Condition #2.

Permit Authorizations

Freshwater Wetlands - Under Article 24
Permit ID 3-5530-00255/00001
New Permit Effective Date: 12/23/2022 Expiration Date: 12/31/2027

NYSDEC Approval

By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.

Permit Administrator: TRACEY L O'MALLEY, Deputy Regional Permit Administrator
Address: NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY 12561

Authorized Signature: _____ Date 12/ 23 / 2022

Distribution List

Abigail Adams, A2 Land Consulting
NYSDEC Bureau of Wildlife
Sarah Pawliczak-Vacek, NYSDEC Bureau of Ecosystem Health
Town of Lewisboro

Permit Components

NATURAL RESOURCE PERMIT CONDITIONS

GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Permit Attachments

Permit Sign

NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following Permits: FRESHWATER WETLANDS

1. **No Wetland Disturbance** No disturbance to the wetland is authorized.

2. **Conformance With Plans** All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by Marchetti Consulting Engineers and A2 Land Consulting, LLC, and consist of plans listed in Natural Resource Condition #3.

3. **Approved Plans** The approved plans, prepared by A2 Land Consulting, LLC, titled "Prepared for John and Kristina Nelson 30 Gideon Reynolds Road Cross River, NY", consist of the following items:

1. Sheet 1 of 2, Site Plan, dated 11/28/22;
2. Sheet 2 of 2, Notes & Details, dated 11/28/22.

The approved plans, prepared by Marchetti Consulting Engineers, titled "30, Gideon Reynolds Road Cross River, NY 10518", consist of the following items:

1. Sheet 1 of 2, Storm Water Management Plan and Details, dated 11/22/22;
2. Sheet 2 of 2, Storm System Chamber Details, dated 11/22/22.

4. **Post Permit Sign** The permit sign enclosed with this permit shall be posted in a conspicuous location on the worksite and adequately protected from the weather.

5. **Notify DEC 48 Hrs Prior to Work** The permittee or a representative must contact by telephone Sarah Pawliczak-Vacek, NYSDEC Bureau of Ecosystem Health, at 845-256-3050, or by email at Sarah.Pawliczak@dec.ny.gov at least 48 hours prior to the commencement of the project authorized herein.

6. **Minor Modifications** Minor modifications to technical details can be submitted to Sarah Pawliczak-Vacek, NYSDEC Bureau of Ecosystem Health, by email at Sarah.Pawliczak@dec.ny.gov for review and approval.

7. **Bog Turtle Take-Avoidance Measures** For site work that occurs between April 1st and September 30th, barrier fencing, and education and encounter plan, shall be employed as shown on the approved plans.

8. **Install Controls as Shown on Plans** Prior to commencement of the activities authorized herein, the permittee shall install securely anchored silt fencing and/or continuous staked straw bales as shown on the plans or drawings referenced in this permit.

9. **Maintain Erosion Controls** These erosion control devices shall be maintained until all disturbed land is fully vegetated to prevent any silt or sediment from entering the freshwater wetland or its adjacent area. Silt fencing, hay bales and any accumulated silt or sediment shall be completely removed for disposal at an appropriate upland site.

10. **No Equipment in Wetland** Heavy equipment, including bulldozers, backhoes, payloaders, etc., shall not be operated in the wetland.

11. **Long Term Survival of Wetland/Adjacent Area Plantings** The permittee is responsible for replacement of lost wetland and/or wetland adjacent area plantings if the survival rate of the initial plantings is less than 85% within one year after planting. During the subsequent years of monitoring the success of these plantings as required by this permit, if the survival rate of these plantings remains less than 85% or invasive species are noted at levels greater than 10-15%, the permittee must evaluate the reasons for these results and develop and implement a remediation plan approved by the Department to ensure a successful plantings mitigation.

12. **Seed, Mulch Disturbed Areas** All areas of soil disturbance resulting from this project shall be seeded with an appropriate perennial grass, and mulched with straw immediately upon completion of the project, within two days of final grading, or by the expiration of the permit, whichever is first.

13. **Temporary Mulch, Final Seeding** If seeding is impracticable due to the time of year, a temporary mulch shall be applied and final seeding shall be performed at the earliest opportunity when weather conditions favor germination and growth but not more than six months after project completion.

14. **Invasive Species (Non-native Vegetation)** To prevent the unintentional introduction or spread of invasive species, the permittee must ensure that all construction equipment be cleaned of mud, seeds, vegetation and other debris before entering any approved construction areas within the state regulated freshwater wetland or its 100 foot adjacent area.

15. Stockpile Areas Excavated materials and/or fill materials shall be stockpiled more than 100 feet landward of the wetland or water body and shall be contained by straw bales or silt fencing to prevent erosion.

16. Disposal of Material Any demolition debris, excess construction materials, and/or excess excavated materials shall be immediately and completely disposed of on an approved upland site more than 100 feet from any regulated waterbody or wetland. These materials shall be suitably stabilized so as not to re-enter any water body, wetland, or wetland adjacent area; and must be disposed of in accordance with all local, state, and federal statutes, regulations, or ordinances.

17. Clean Fill Only All fill shall consist of clean soil, sand and/or gravel that is free of the following substances: asphalt, slag, flyash, broken concrete, demolition debris, garbage, household refuse, tires, woody materials including tree or landscape debris, and metal objects. The introduction of materials toxic to aquatic life is expressly prohibited.

18. Precautions Against Contamination of Waters All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.

19. State Not Liable for Damage The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

20. State May Order Removal or Alteration of Work If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.

21. State May Require Site Restoration If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.

GENERAL CONDITIONS - Apply to ALL Authorized Permits:

1. **Facility Inspection by The Department** The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

2. **Relationship of this Permit to Other Department Orders and Determinations** Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

3. **Applications For Permit Renewals, Modifications or Transfers** The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator
NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY12561

4. **Submission of Renewal Application** The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Freshwater Wetlands.

5. **Permit Modifications, Suspensions and Revocations by the Department** The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

a. materially false or inaccurate statements in the permit application or supporting papers;

b. failure by the permittee to comply with any terms or conditions of the permit;

c. exceeding the scope of the project as described in the permit application;

d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;

e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

6. Permit Transfer Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification
The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

Item B: Permittee's Contractors to Comply with Permit
The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.

Item C: Permittee Responsible for Obtaining Other Required Permits
The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

Item D: No Right to Trespass or Interfere with Riparian Rights
This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.

Item E: SEQR Type II Action Under the State Environmental Quality Review Act (SEQR), this project has been determined to be a Type II Action and therefore is not subject to further procedures under this law.

January 2022-basic

Bog Turtle Education and Encounter plan – *NYS DEC issued*

This project site is located in an area of known Bog turtle habitat. Bog turtles use primarily wetland habitats but can make periodic movements over land to new habitats during dispersal events. They are particularly active on the landscape between April 1st to September 30th. This document is intended to minimize impacts to Bog and other turtles that may be encountered during otherwise lawful activities and be used in accordance with the Department's Permits and jurisdictional response letters for the above referenced project, including all other species take avoidance measures proposed. This information should be provided to construction contractors and occupants at the proposed location.

The bog turtle is listed as "Endangered" on the New York State Endangered Species List.

- As a listed species, the bog turtle is protected under the New York State Environmental Conservation Law.
- As provided by the law, it is illegal for any person to approach, touch, move, threaten, harass, disturb, injure, or kill a bog turtle. It is also illegal to take import, transport, possess, or sell any bog turtle, its skin, or other parts, except under a permit or license from the New York State Department of Environmental Conservation (DEC).
- A violation of the Environmental Conservation Law is punishable by both criminal and civil penalties.
- The bog turtle, or other turtle species, may be encountered along roads, near homes and yards, in construction sites, and in undeveloped areas. If encountered, move away and do not attempt injure or collect the turtle.
- If any turtle species is seen in the work area, stop all work immediately.
- Contact the contractor in charge and delay work in the area until the turtle has moved safely from the area. Allow the turtle to continue on its way if it is safe to do so.
- If the turtle does not move out of harm's way on its own, and unless a qualified monitor licensed in New York State to handle and relocate the species has been retained who will promptly arrange for the turtle to be moved, please contact the NYS Department of Environmental Conservation Region 3 Bureau of Wildlife at 845-256-3098 for information regarding next steps and moving the species in accordance with New York State Law.
- If the turtle is found in the roadway (or in immediate danger), it can be moved out of harm's way to the side of the road in the direction it is heading. Do not move the turtle large distances or take possession of the turtle.
- Please report any encounters within 24 hours at 845-256-3098 or Wildlife.R3@dec.ny.gov. Please provide the location, the project name, and explanation of the encounter.

Photo Credit L. Masi

Accompanying handouts:

- Turtles of New York PDF.
https://www.dec.ny.gov/docs/administration_pdf/turtles2.pdf

- NYS DEC Bog Turtle Fact Sheet. 2021
https://www.dec.ny.gov/animals/7164.html

Species description

The bog turtle is New York's smallest turtle, reaching a maximum length of 4.5 inches. It is one of seventeen species of turtles found in New York State, including marine turtles. A bright yellow or orange blotch on each side of its head and neck are a distinctive feature of this species. The body color is dark with an orange-red wash on the inside of the legs of some individuals. The carapace (upper shell) is domed and somewhat rectangular, often with prominent rings on the shell plates (scutes). In some older individuals, or those that burrow frequently in coarse substrates, the shell may become quite smooth and polished. Although generally black, the carapace is sometimes highlighted by a chestnut sunburst pattern in each scute. The plastron (lower shell) is hingeless, with a pattern of cream and black blotches.

Other more common species that may be encountered. *– All turtles are protected from collection. turtles in the wild unless injured (see below).*

Box Turtle *(Special Concern)*

Shell length: 4.5 - 6 inches

New York's most terrestrial turtle, the box turtle spends most of its time wandering open fields and forests, only retreating to shallow pools or wetlands to soak during very hot and dry periods. It can completely close its shell, distinguishing it from other turtle species. The box turtle's high-domed carapace is brightly highlighted; the plastron is hinged. Males and females can be told apart by eye color—usually brown for females, red for males. Box turtles eat a variety of fleshy fruits such as strawberries and raspberries, mushrooms and other soft vegetation, worms, slugs and snails. They will also scavenge dead birds and mammals.

Wood Turtle *(Special Concern)*

Shell length: 6 - 8 inches

The wood turtle gets its name from its preferred wooded habitat, as well as from the color of its carapace—the prominent annuli give it the sculpted appearance of weathered tree rings. Wood turtles are usually found in or along clean, fast-flowing trout streams, foraging during the summer in the woodlands bordering the streams. Like other turtles, females move into open areas for nesting. Wood turtles eat berries, mushrooms, small fish, slugs, worms and tadpoles. They have also been known to feed on carrion.

Snapping Turtle

Shell length: 10 - 16 inches

Easily recognized by its large head, long saw-toothed tail, stocky legs with large claws, and the jagged, saw-toothed rear edge on its dark shell, the snapping turtle is our largest freshwater turtle. Known for its defensive nature, this turtle will attack on land, but prefers to flee in water. Highly aquatic, this species is found in freshwater and brackish marshes, ponds, lakes, rivers and streams. Snappers often scavenge, but they also take live food ranging in size from small invertebrates to young waterfowl or small fish.

Painted Turtle

Shell length: 5 - 7 inches

Our most common species, the painted turtle is often seen basking in large numbers on logs and stumps in marshes, ponds and lakes, disappearing into the water quickly when disturbed. Bright stripes on the neck and spots on the head can be seen when the turtle is basking. The dark carapace is bordered with red. The plastron is plain yellow in the Eastern painted turtle, and has a dark central blotch in the Midland painted turtle. Males have long claws on their front feet; females have longer shells. Painted turtles eat a variety of invertebrates, tadpoles and vegetation, but will also scavenge carrion.

If you encounter an injured turtle, please contact a local NYS DEC licensed Wildlife Rehabilitator by scanning the QR code, or calling the Regional Wildlife office at 845-256-3098

SCAN ME

https://www.dec.ny.gov/cfmx/extapps/sls_searches/index.cfm?p=live_rehab

New York State

Department of Environmental Conservation

NOTICE

The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Department condition on it, contact the DEC at 845-256-3054. Please refer to the permit number shown when contacting the DEC.

Permittee: John and Christina Nelson

Permit No. 3-5530-00255/00001

Effective Date: 12/23/2022

Expiration Date: 12/31/2022

☐ **Applicable if checked. No instream work allowed between October 1 & April 30**

NOTE: This notice is NOT a permit.