AGENDA PACKET

FEBUARY 28, 2023 MEETING
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TOWN OF LEWISBORO
Westchester County, New York

Planning Board
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-5592
Fax: (914) 875-9148
Email: planning@lewisborogov.com

AGENDA

Tuesday, February 28, 2023 **Courtroom at 79 Bouton Road**

Meeting will start at 7:30 p.m. and end at or before 11:00 p.m.

I. EXTENSION OF TIME REQUESTS

Cal #08-14PB, Cal# 95-14WP, Cal# 20-14SW
Goldens Bridge Village Center, NYS Route 22, Goldens Bridge, NY 10526; Sheet 4, Block 11126, Lot 07 (Stephen Cipes, owner of record) – The Planning Board Resolution for Site Development Plan Approval, Wetland Activity Permit Approval and Town Stormwater Permit granted on January 21, 2020 for modifications to the existing shopping center expired January 21, 2022.

Cal #04-19PB, Cal #17-19WP, Cal #06-19SW
Pound Ridge Stone, 2 West Road, South Salem, NY 10590; Sheet 49B, Block 9831, Lot 1 (Two West Road LLC, owner of record) – The Planning Board Resolution for a Negative Declaration of Significance, Site Development Plan Approval, Special Use Permit Approval, Town Wetland Activity Permit Approval and Town Stormwater Permit Approval granted on August 17, 2021 for site upgrades including additional parking and storage areas expired February 17, 2023.

II. PUBLIC HEARINGS

Cal #06-22PB, Cal #05-22WP, Cal #03-22SW
Waccabuc Country Club Snack Bar, 18 Perch Bay Road, Waccabuc, NY 10597; Sheet 25A, Block 10813, Lot 1 & 0 Tarry-A-Bit Lane, Waccabuc, NY 10597; Sheet 25, Block 11155, Lot 148 (Waccabuc Country Club Co., owner of record for both lots) - Application for beachfront improvements including renovation of the boathouse, construction of a pavilion, replacement of the snack bar, and installation of accessible parking and walkways.

Cal #02-20PB
Mandia Residences, 65 Old Bedford Road, Goldens Bridge, NY 10526; Sheet 4A, Block 11112, Lot 2 (Town of Lewisboro, owner of record) - The Planning Board Resolution for Site Development Plan Approval, Special Use Permit Approval and Town Stormwater Permit Approval granted on June 19, 2020 included a construction performance bond for the four apartments and a request for a partial bond release has been submitted.

III. DECISION

Cal #10-17PB, Cal #19-22SW
Mercedes Benz of Goldens Bridge, 321 Main Street, Goldens Bridge, NY 10526; Sheet 4E, Block 11135, Lots 1, 2, 3, 4, 5, 6, 7 & 9 and Sheet 4E, Block 11137, Lot 42 (Celebrity Westchester Realty, LLC., owner of record for the nine lots) – Based on the applicant's January 17, 2023 request for an amendment of the Approving Site Development Plan Approval and Town Stormwater Permit Approval Resolution (dated March 17, 2020) and Amended Resolution (dated January 17, 2023) for installation of a water treatment system.

IV. SUBDIVISION

Cal #15-22PB
Vandervoort/Rising Starr Subdivision, 93 Silver Spring Rd, Wilton, CT 06897; Sheet 48, Block 10057, Lots 14, 19, 84 & 134 (SJK, LLC & PVK, LLC, owners of record) - Application for a subdivision.

V. SITE DEVELOPMENT PLAN REVIEW

Cal #18-22PB
Bichon LLC, 876 Route 35, Cross River, NY 10518; Sheet 20, Block 10801, Lot 2 (Bichon LLC – owner of record) – Application for a change of use from residential to commercial (professional office and outdoor storage of containers).

VI. WETLAND PERMIT REVIEW

Cal #34-22WP, Cal #01-21WV
Maple Tree Farm, 400 Smith Ridge Road, South Salem, NY 10590; Sheet 24, Block 9831, Lot 49B (Maple Tree Farm, LLC, owner of record) - Application for remediation of wetlands.

Cal #39-22WP
Morrissey Residence, 10 Hoyt Street, South Salem, NY 10590; Sheet 36C, Block 11172, Lot 5 (Susan Morrissey, owner of record) - Application for sunroom/porch, terrace and walkway.

Cal #42-22WP and Cal #21-22SW
Simpkins Residence, 120 Mill River Road, South Salem, NY 10590; Sheet 45, Block 10299, Lot 86 (Nancy Simpkins, owner of record) – Application for an addition.

Cal #01-23WP
Vitiello residence, 43 Conant Valley Road, Pound Ridge, NY 10576; Sheet 49, Block 9827, Lot 100 (Linda & Michael Vitiello – owners of record) – Application for driveway improvements.

Cal #02-23WP
Ritacco Pool, 37 Gideon Reynolds Road, Cross River, NY 10518; Sheet 16, Block 10533, Lot 423 (George & Eileen Ritacco, owners of record) – Application for a pool.

VII. WETLAND VIOLATION

Cal #01-23WV

VIII. DISCUSSION

Cal #06-17PB
Wolf Conservation Center, Buck Run, South Salem, NY 10590; Sheet 21, Block 10803, Lots 3, 65, 67, 81, 82, 83, 86 & 88 (Wolf Conservation Center, owner of record) - Application for a Subdivision and Special Use Permit associated with a private nature preserve.

IX. SCHEDULE A POST-CONSTRUCTION SITE VISIT

Cal #10-15 PB, Cal #20-17WP, Cal #5-17SW
Lewisboro Commons (Wilder Balter), 100 Beekman Lane, Goldens Bridge, NY 10526; Sheet 5, Block 10776, Lots 19, 20 & 21 (Lewisboro Commons Housing Development Fund Co., Inc., owner of record)

X. MINUTES OF January 17, 2023.

XI. NEXT MEETING DATE: March 21, 2023.

XII. ADJOURN MEETING.

KELLARD SESSIONS

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM
Town Consulting Professionals

DATE: February 24, 2023

RE: Wetland Permit & Stormwater Permit
Susan Morrissey
10 Hoyt Street
Sheet 036C, Block 11172, Lot 005

PROJECT DESCRIPTION

The subject property consists of ±0.27 acre of land and is located at 10 Hoyt Street within the R-1/4A Zoning District. The subject property is developed with a single-family residence, asphalt driveway, walkways and other ancillary improvements. The residence is served by a community water system and on-site wastewater treatment system. The applicant is proposing to construct a sunroom/porch and stone terrace at the rear of the house, as well as retaining walls, steps, generator, trash enclosure, drainage facilities, wetland mitigation and other ancillary improvements. The property has frontage on Truesdale Lake, which coincides with the wetland boundary, and the wetlands buffer covers most of the property.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. A Wetland Activity Permit and a Town Stormwater Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

COMMENTS

1. As previously discussed, the applicant has acknowledged the need to confirm the ownership of the right-of-way depicted on the plan, particularly regarding the existing stone wall and gate at the front of the entry to the property.

2. As previously noted, this office defers review of the plan for zoning compliance to the Building Inspector. It is recommended that the application be referred to the Building Inspector for review.

3. The stormwater calculations should be modified to use a curve number of 89 for all areas with gravel cover.

4. The plan shall indicate all trees to be removed or protected within and 15 feet beyond the limit of disturbance. The plan shall also include a temporary stabilized construction entrance and a soil stockpile area. We note that an additional silt fence is needed along the west property line and downgrade of all proposed planting areas.

5. The limit of disturbance in the area of the proposed six (6) inch pipe from CB #2 to the SWMP requires adjustment. It appears the eight (8) inch tree adjacent to the pipe will require removal.

6. The plan proposes 4,785 s.f. of total disturbance. As previously noted, the limits of disturbance depicted on the plan appears limited and unlikely to maintain during construction. The limits shall be adjusted, as needed, and shall include all areas of tree protection and removal, temporary erosion and sediment controls and all proposed improvements, grading, planting areas, etc. As such, it appears that land disturbance will exceed 5,000 s.f. and will therefore require conformance with New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit (GP-0-20-001) and filing of a Notice of Intent (NOI) and MS4 Acceptance Form with the NYSDEC. Submit draft copies to this office for review.

7. The applicant has indicated that the proposed outdoor shower will tie into the existing septic system. As previously requested, the plans shall illustrate the proposed connection to the existing septic system.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY ALP ENGINEERING, DATED FEBRUARY 3, 2023:

- Site Plan (C-101)
- Erosion and Sediment Control Plan (C-102)
- Demolition and Removals Plan (C-103)
- Mitigation Planting Plan (C-104)
- Construction Details (C-111)
- Construction Details (C-112)

DOCUMENTS REVIEWED:

- Letter, prepared by ALP Engineering, dated February 6, 2023
- Architecturals, prepared by Darren P. Mercer, Architect, PLLC, dated January 20, 2023

JKJ/dc

ALP Engineering
& Landscape Architecture, PLLC

February 6, 2023

Hon. Janet Andersen, Chairwoman and Members of the Planning Board
Town of Lewisboro
79 Bouton Road
South Salem, NY 10590

Re: 10 Hoyt Street
Sheet 036C, Block 11172, Lot 005
Application for Wetland Activity Permit and Stormwater Management Permit

Dear Chairwoman Andersen and Members of the Planning Board:

We are pleased to submit four (4) copies of the following revised drawings in support of this application by Susan Morrissey, owner of the property located at 10 Hoyt Street for Wetlands and Stormwater Management Permits:

Drawing No.:	Drawing Title:	Date:
Dwg. C-101	Site Plan	02/03/2023
Dwg. C-102	Erosion and Sediment Control Plan	02/03/2023
Dwg. C-103	Demolition and Removals Plan	02/03/2023
Dwg. C-104	Mitigation Planting Plan	02/03/2023
Dwg. C-111	Erosion and Sediment Control Plan Details	12/28/2022
Dwg. C-112	Construction Details	12/28/2022

Architectural Plans prepared by Darren P. Mercer, Architect, PLLC:

- Dwg. A.1, Basement & First Floor Plans – Existing Conditions and Proposed, dated 01/20/2023.
- Dwg. A.2, Second Floor Plans – Existing Conditions and Proposed, dated 01/20/2023

1. The applicant has acknowledged the need to confirm the ownership of the right-of-way depicted on the plan, particularly regarding the existing stone wall and gate at the front of the entry to the property.

Response: We are endeavoring to confirm the ownership of the right-of-way of Hoyt Street. We also note that other homes in the vicinity also have such similar improvements within the street right-of-way.

P.O. Box 843 Ridgefield, CT 06877
Direct: (475) 215-5343 Mobile: (203) 710-0587
Email: alan@eaec-inc.com

2. As previously noted, this office defers review of the plan for zoning compliance to the Building Inspector. It is recommended that the application be referred to the Building Inspector for review.

Response: The Town Building Inspector has provided a review, without any comment regarding the right-of-way noted in 1 above.

3. The Bulk Zoning Table is inaccurate and should be adjusted, the values for the front setback (required) have been reversed. We note that the egress window well is proposed within the side yard setback. The applicant shall obtain a determination from the Building Inspector as to whether this will require an area variance.

Response: The Bulk Zoning Table has been corrected. We note that the letter from the Town Building Inspector dated 01/18/2023 did not address the question regarding the proposed on-grade egress window from the basement.

4. The wetland mitigation, as proposed, appears appropriate. The applicant has extended the mitigation area along the lake frontage, as suggested.

Response: So noted.

5. The plan shall illustrate the location of the existing and proposed electric service.

Response: The plan shows that the existing electric service to the house is obtained from the existing utility pole on the north side of Hoyt Street. The service line is attached to the façade of the house closest to the street. It is not proposed to modify the electric service from the utility to the house.

6. The plan shall illustrate that the minimum required Westchester County Department of Health (WCDH) separation distances from the septic tank to the piers of the proposed sunroom, as well as the from the absorption fields to the piers of the proposed sunroom, the proposed terrace, and the 6-inch outlet pipe from OCS to the emitter. The applicant will need a determination from the WCDH as to whether the proposed setbacks are acceptable. The Planning Board had requested a "no objection" review of the project by the WCDH.

Response: The applicant has contacted the Westchester County Department of Health and obtained an initial response. The applicant's architect is presently following up with the Health Department.

7. The plan has been revised to include a proposed planter for a portion of the roof (RDL-8), which is located up gradient to the septic field. The applicant will need a determination from the WCDH as to whether this is acceptable.

Response: The plan has been revised to eliminate roof drain leader RDL-8 which was only shown to direct runoff to the planter. Instead, the runoff from the eastern half of the roof of the sunroom/porch addition will be directed to a pop-up emitter which will discharge to the proposed wetland buffer mitigation area.

8. As previously noted, the names of the adjacent property owners shall be illustrated on a plan.

Response: The amended plan provides the names of the adjacent property owners to the all sides of the property, including across the street.

9. As previously requested, the plan shall note the proposed building floor elevation, patio elevation and illustrate proposed contours and spot elevations as needed.

Response: The building finished floor elevation has been added to the plan (see Sheet C-101). The grade of the proposed patio has also been added with spot elevations shown.

We look forward to your review of the revised plans. If you have any questions regarding this submission, please feel free to call me on my direct line at (475) 215-5343 or my cell at (203) 710-0587, or by email at alan@eaec-inc.com.

Sincerely,

ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC

Alan L. Pilch, P.E., R.L.A.
Principal

cc: Susan Morrissey (via email)
Darren Mercer, Architect (via email)

ALP Engineering & Landscape Architecture, PLLC

LETTER OF TRANSMITTAL

Date: February 20, 2023

To: **Hon. Janet Andersen and Members of the Planning Board**
Town of Lewisboro
79 Bouton Road
South Salem, NY 10590

Re: **Morrissey Property**
10 Hoyt Street
South Salem, N.Y.

We are sending you via Email the following documents:

No. of Copies	Date	Description
1	01/20/2023	Dwg. A.1, Basement & First Floor Plans – Existing Conditions and Proposed
1	01/20/2023	Dwg. A.2, Second Floor Plans – Existing Conditions and Proposed
1	01/22/2023	Dwg. C-101, Site Plan

THESE ARE TRANSMITTED:

[ ] For Approval **[X] For Your Use** [ ] As Requested

[ ] For Review and Comment

COMMENTS:

As was noted in our 2/06/2023 letter to the Planning Board, the applicant's engineer and architect had contacted the Westchester County Department of Health regarding the separation distance of the piers (which are to support the proposed addition) from the existing septic tank.

Enclosed please find the architectural plans and the site plan which have been stamped "NO OBJECTION" by the Health Department. Based on the determination of the Health Department, we conclude that the construction of the addition on the piers is acceptable, as is the storm drainage pipe along the western edge of the property line, and that the relocation of the septic tank would not be necessary.

If you have any questions about the enclosed plans or would like to have the original hard copy of the "No Objection" stamped plans, please let us know.

P.O. Box 843 · Ridgefield, Connecticut 06877 · Direct Tel: 475-215-5343 · Mobile: 203-710-0587

ALP Engineering & Landscape Architecture, PLLC

Signed:_____
Alan L. Pilch, P.E., R.L.A.
Principal

cc: Edward P. Larkin, PE (via email)
Darren Mercer, Architect (via email)
Susan Morrissey (via email)

P.O. Box 843 · Ridgefield, Connecticut 06877 · Direct Tel: 475-215-5343 · Mobile: 203-710-0587

SITE LOCATION MAP

TABLE OF LOT COVERAGE REGULATIONS

ZONING: R-1/4A DISTRICT ZONE
SITE AREA: 11,739.58 SQ. FEET
SBL: 036C - 11172 - 005

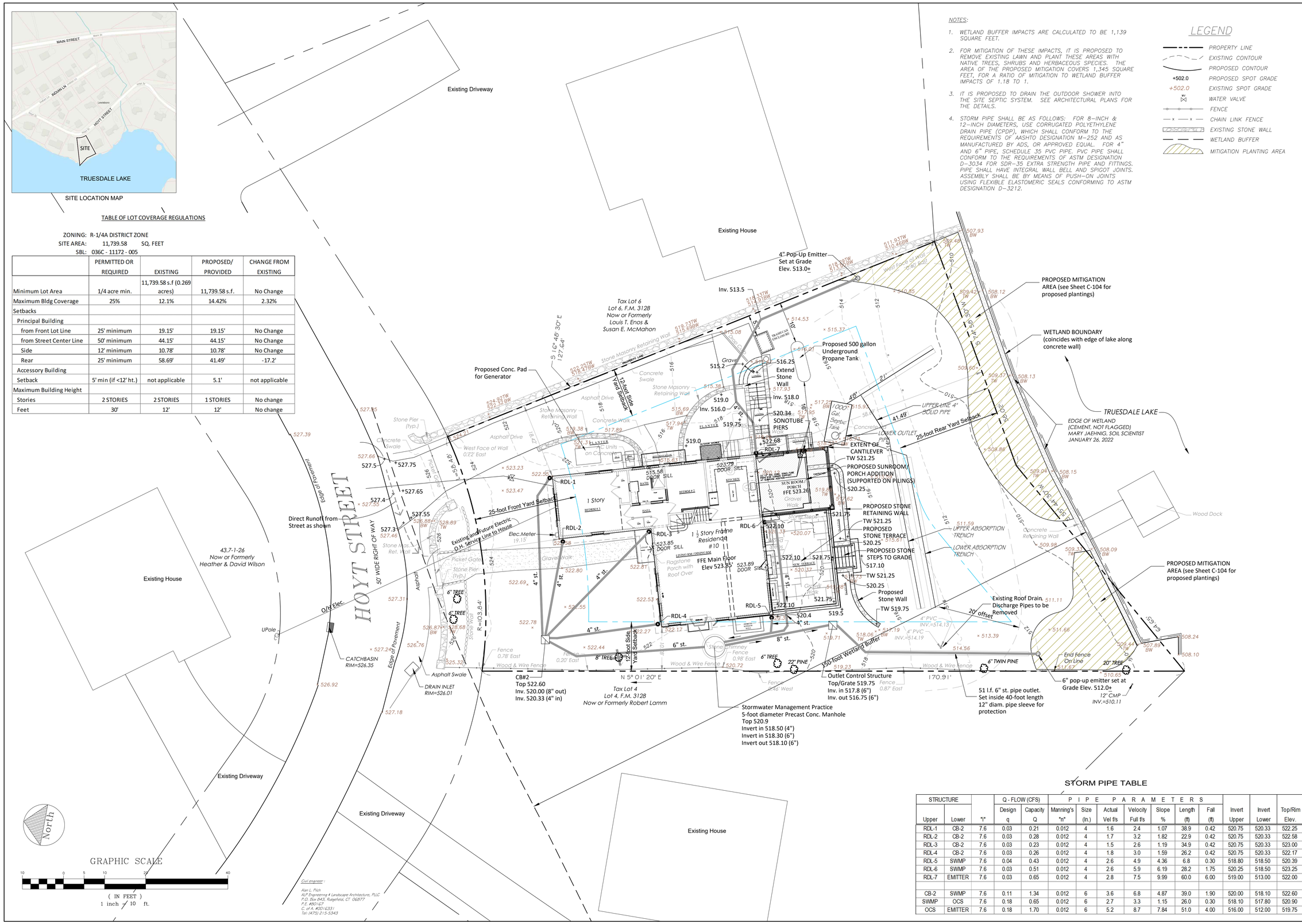
	PERMITTED OR REQUIRED	EXISTING	PROPOSED/ PROVIDED	CHANGE FROM EXISTING
Minimum Lot Area	1/4 acre min.	11,739.58 s.f (0.269 acres)	11,739.58 s.f.	No Change
Maximum Bldg Coverage	25%	12.1%	14.42%	2.32%
Setbacks				
Principal Building				
from Front Lot Line	25' minimum	19.15'	19.15'	No Change
from Street Center Line	50' minimum	44.15'	44.15'	No Change
Side	12' minimum	10.78'	10.78'	No Change
Rear	25' minimum	58.69'	41.49'	-17.2'
Accessory Building				
Setback	5' min (if <12' ht.)	not applicable	5.1'	not applicable
Maximum Building Height				
Stories	2 STORIES	2 STORIES	1 STORIES	No change
Feet	30'	12'	12'	No change

NOTES:

1. WETLAND BUFFER IMPACTS ARE CALCULATED TO BE 1,139 SQUARE FEET.
2. FOR MITIGATION OF THESE IMPACTS, IT IS PROPOSED TO REMOVE EXISTING LAWN AND PLANT THESE AREAS WITH NATIVE TREES, SHRUBS AND HERBACEOUS SPECIES. THE AREA OF THE PROPOSED MITIGATION COVERS 1,345 SQUARE FEET, FOR A RATIO OF MITIGATION TO WETLAND BUFFER IMPACTS OF 1.18 TO 1.
3. IT IS PROPOSED TO DRAIN THE OUTDOOR SHOWER INTO THE SITE SEPTIC SYSTEM. SEE ARCHITECTURAL PLANS FOR THE DETAILS.
4. STORM PIPE SHALL BE AS FOLLOWS: FOR 8–INCH & 12–INCH DIAMETERS, USE CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP), WHICH SHALL CONFORM TO THE REQUIREMENTS OF AASHTO DESIGNATION M–252 AND AS MANUFACTURED BY ADS, OR APPROVED EQUAL. FOR 4" AND 6" PIPE, SCHEDULE 35 PVC PIPE. PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D–3034 FOR SDR–35 EXTRA STRENGTH PIPE AND FITTINGS. PIPE SHALL HAVE INTEGRAL WALL BELL AND SPIGOT JOINTS. ASSEMBLY SHALL BE BY MEANS OF PUSH–ON JOINTS USING FLEXIBLE ELASTOMERIC SEALS CONFORMING TO ASTM DESIGNATION D–3212.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- +502.0 PROPOSED SPOT GRADE
- +502.0 EXISTING SPOT GRADE
- WV WATER VALVE
- FENCE
- CHAIN LINK FENCE
- EXISTING STONE WALL
- WETLAND BUFFER
- MITIGATION PLANTING AREA



Civil engineer:
Alan L. Pilch
ALP Engineering & Landscape Architecture, PLLC
P.O. Box 643, Ridgefield, CT 06877
P.E. #80167
C. of A. #20163331
Tel: (475) 215-5343

STORM PIPE TABLE

STRUCTURE			Q - FLOW (CFS)		PIPE PARAMETERS								
Upper	Lower	"i"	Design q	Capacity Q	Manning's "n"	Size (in.)	Actual Vel f/s	Velocity Full f/s	Slope %	Length (ft)	Fall (ft)	Invert Upper	Invert Lower	Top/Rim Elev.
RDL-1	CB-2	7.6	0.03	0.21	0.012	4	1.6	2.4	1.07	38.9	0.42	520.75	520.33	522.25
RDL-2	CB-2	7.6	0.03	0.28	0.012	4	1.7	3.2	1.82	22.9	0.42	520.75	520.33	522.58
RDL-3	CB-2	7.6	0.03	0.23	0.012	4	1.5	2.6	1.19	34.9	0.42	520.75	520.33	523.00
RDL-4	CB-2	7.6	0.03	0.26	0.012	4	1.8	3.0	1.59	26.2	0.42	520.75	520.33	522.17
RDL-5	SWMP	7.6	0.04	0.43	0.012	4	2.6	4.9	4.36	6.8	0.30	518.80	518.50	520.39
RDL-6	SWMP	7.6	0.03	0.51	0.012	4	2.6	5.9	6.19	28.2	1.75	520.25	518.50	523.25
RDL-7	EMITTER	7.6	0.03	0.65	0.012	4	2.8	7.5	9.99	60.0	6.00	519.00	513.00	522.00
CB-2	SWMP	7.6	0.11	1.34	0.012	6	3.6	6.8	4.87	39.0	1.90	520.00	518.10	522.60
SWMP	OCS	7.6	0.18	0.65	0.012	6	2.7	3.3	1.15	26.0	0.30	518.10	517.80	520.90
OCS	EMITTER	7.6	0.18	1.70	0.012	6	5.2	8.7	7.84	51.0	4.00	516.00	512.00	519.75

PROPERTY OWNER:
Susan Morrissey
8A 239 Central Park West
New York, NY 10024

CONSULTANTS:

ARCHITECT:
Darren P. Mercer, Architect, PLLC
32 Flintlock Ridge Road
Katonah, NY 10536
Tel: (914) 391-4490

SURVEYOR:
TC Merritts Land Surveyors
394 Bedford Road
Pleasantville, NY 10570
Tel: (914) 769-8003

ISSUED:

Submission to Planning Board	11/18/2022
Rev. as per Planning Board & Town Consultant comments	12/26/2022
Submission of plan to WCDOH	01/22/2023
Rev. as per Planning Board & Town Consultant comments	02/03/2023

OWNERSHIP AND USE OF DOCUMENTS

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

No part of these drawings shall be copied, disclosed to others or used in connection with any work or project other than for which they have been prepared without the express written consent of the licensed professional who prepared the document.

SEAL:

STATE OF NEW YORK · ALAN L PILCH · No. 080167 · LICENSED PROFESSIONAL ENGINEER

PROJECT NAME:
MORRISSEY RESIDENCE
10 Hoyt Street
South Salem, New York 10590

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 643 Ridgefield, CT 06877
Direct Tel: (475) 215-5343 Cell (203) 710-0587

Drawing Title:
Site Plan

Date: October 12, 2022
Dwn. by: alp
ID: 10 Hoyt St Site_01-20-2023

C-101

EROSION & SEDIMENT CONTROL PLAN LEGEND

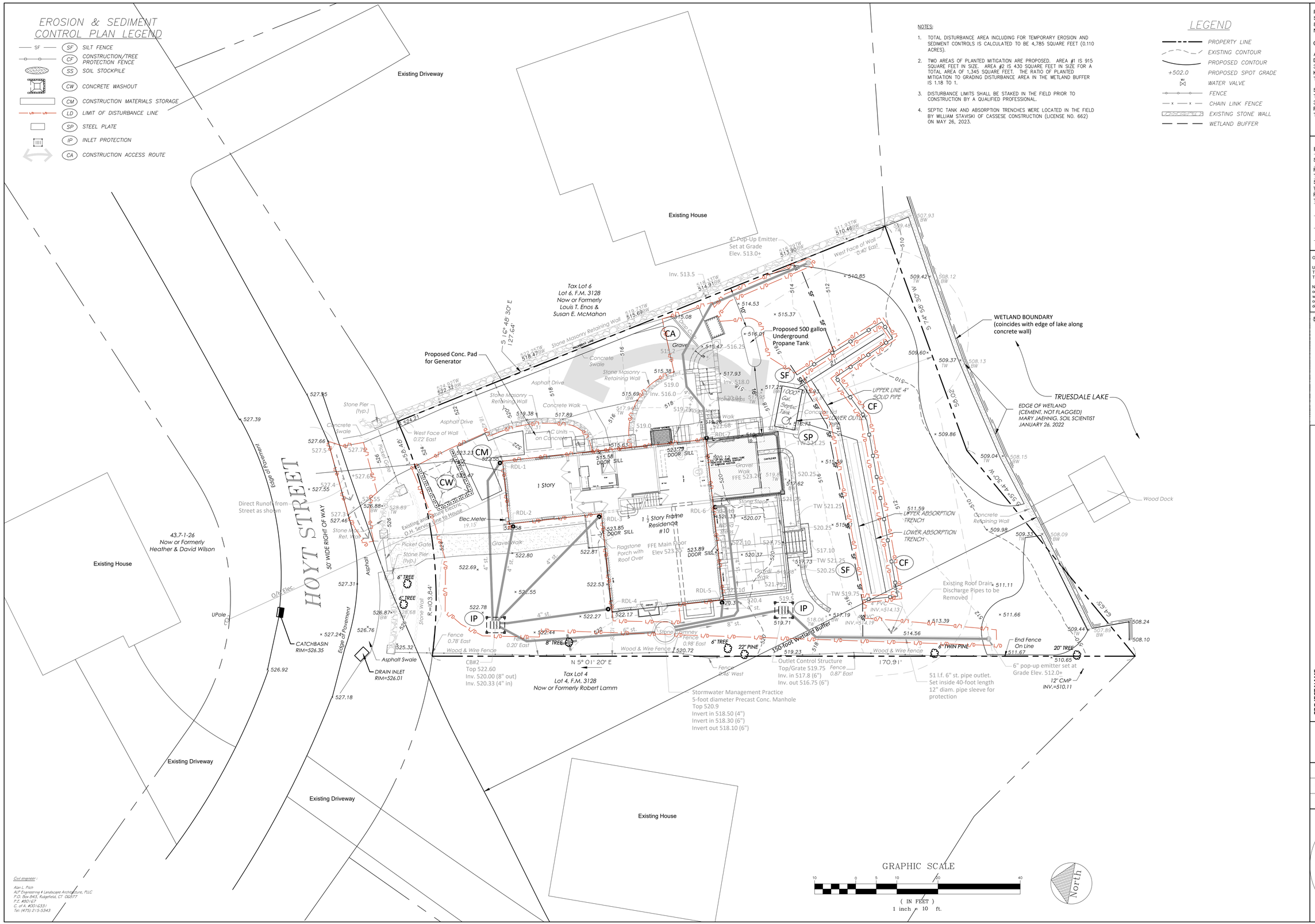
- SF — SILT FENCE
- CF — CONSTRUCTION/TREE PROTECTION FENCE
- SS — SOIL STOCKPILE
- CW — CONCRETE WASHOUT
- CM — CONSTRUCTION MATERIALS STORAGE
- LD — LIMIT OF DISTURBANCE LINE
- SP — STEEL PLATE
- IP — INLET PROTECTION
- CA — CONSTRUCTION ACCESS ROUTE

NOTES:

1. TOTAL DISTURBANCE AREA INCLUDING FOR TEMPORARY EROSION AND SEDIMENT CONTROLS IS CALCULATED TO BE 4,785 SQUARE FEET (0.110 ACRES).
2. TWO AREAS OF PLANTED MITIGATION ARE PROPOSED. AREA #1 IS 915 SQUARE FEET IN SIZE. AREA #2 IS 430 SQUARE FEET IN SIZE FOR A TOTAL AREA OF 1,345 SQUARE FEET. THE RATIO OF PLANTED MITIGATION TO GRADING DISTURBANCE AREA IN THE WETLAND BUFFER IS 1.18 TO 1.
3. DISTURBANCE LIMITS SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION BY A QUALIFIED PROFESSIONAL.
4. SEPTIC TANK AND ABSORPTION TRENCHES WERE LOCATED IN THE FIELD BY WILLIAM STAVISKI OF CASSESE CONSTRUCTION (LICENSE NO. 662) ON MAY 26, 2023.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- +502.0 PROPOSED SPOT GRADE
- WATER VALVE
- FENCE
- CHAIN LINK FENCE
- EXISTING STONE WALL
- WETLAND BUFFER



Civil engineer:
Alan L. Pilch
ALP Engineering & Landscape Architecture, PLLC
P.O. Box 843, Ridgefield, CT 06877
P.E. #80167
C. of A. #001633
Tel: (475) 215-5343

PROPERTY OWNER:
Susan Morrissey
8A 239 Central Park West
New York, NY 10024

CONSULTANTS:

ARCHITECT:
Darren P. Mercer, Architect, PLLC
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Katonah, NY 10536
Tel: (914) 391-4490

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ISSUED:

Submission to Planning Board	11/18/2022
Rev. as per Planning Board & Town Consultant comments	12/26/2022
Submission of plan to WCDOH	01/22/2023
Rev. as per Planning Board & Town Consultant comments	02/03/2023

OWNERSHIP AND USE OF DOCUMENTS

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SEAL:

STATE OF NEW YORK · ALAN L. PILCH · No. 080167 · LICENSED PROFESSIONAL ENGINEER

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P.O. Box 843 Ridgefield, CT 06877
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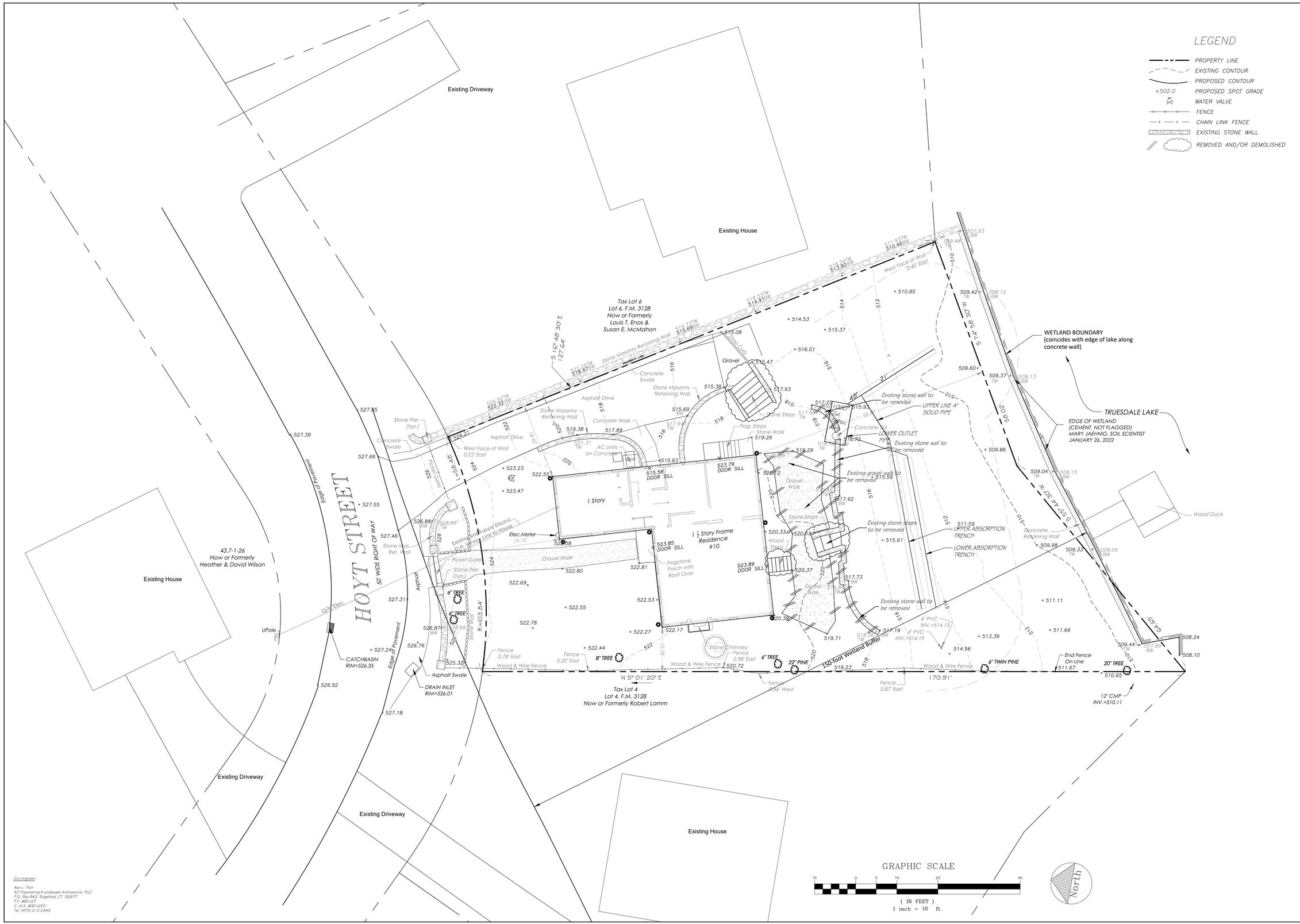
Drawing Title:
Erosion and Sediment Control Plan

Date: October 12, 2022

Dwn. by: alp

ID: 10 Hoyt St Site_01-20-2023

C-102



Civil engineer:
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Tel: (475) 215-5343

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CONSULTANTS:

ARCHITECT:
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SURVEYOR:
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Tel: (914) 769-8003

ISSUED:

Submission to Planning Board	11/18/2022
Submission to Planning Board	12/26/2022
Submission to Planning Board	02/03/2023

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P.O. Box 843 Ridgefield, CT 06877
Direct tel. (475) 215-5343 Cell (203) 710-0587

Drawing Title:
Demolition and Removals Plan

Date: October 12, 2022

Dwn. by: alp

ID: 10 Hoyt St Site_01-20-2023

C-103

MITIGATION PLANT LIST

TREES AND SHRUBS						
CODE	QTY.	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING/ROOT	SPACING	REMARKS
AA	5	Aronia arbutifolia	Red Chokeberry	#3 container	4' on center	
AC	1	Amelanchier canadensis	Shadblow	2"-2.5" caliper, B&B	not applicable	tree form
BN	1	Betula nigra	River Birch	2"-2.5" caliper, B&B	not applicable	
CA	3	Clethra alnifolia	Summersweet Clethra	#3 container	4' on center	
CP	3	Comptonia peregrina	Sweetfern	#3 container	3' on center	
CS	2	Cornus sericea	Red Osier Dogwood	#3 container	5' on center	
FG	4	Fothergilla gardenii	Dwarf Fothergilla	#3 container	4' on center	
HV	1	Hamamelis virginiana	Witch Hazel	4'-5' ht.	not applicable	
IIV	3	Itea virginica	Virginia Sweetspire	#3 container	4' on center	
IV	3	Ilex verticillata	Winterberry	#3 container	6' on center	2-F, 1-M
JH	3	Juniperus horizontalis 'Wiltonii'	Wilton Juniper	#2 container	3' on center	

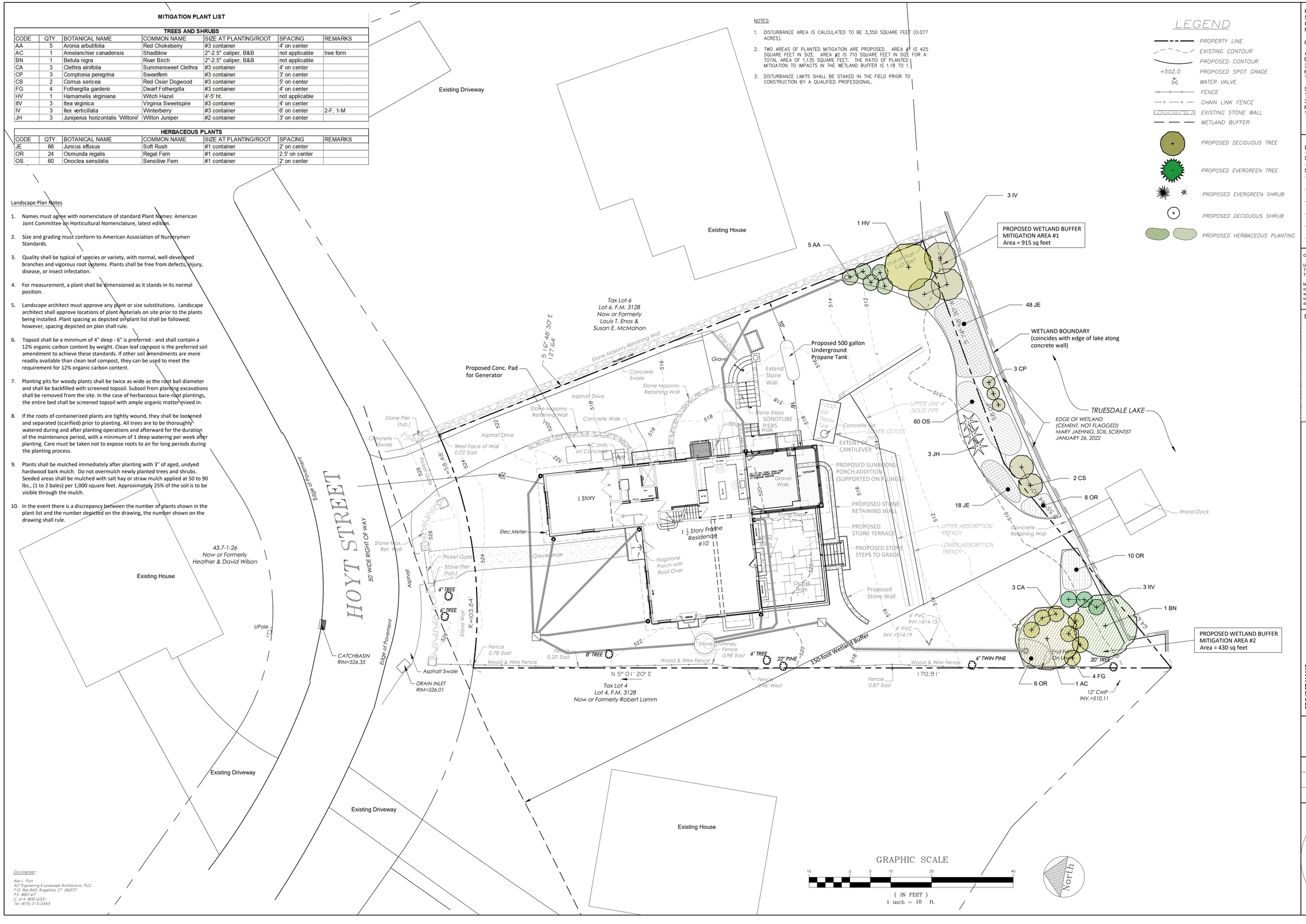
HERBACEOUS PLANTS						
CODE	QTY.	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING/ROOT	SPACING	REMARKS
JE	66	Juncus effusus	Soft Rush	#1 container	2' on center	
OR	24	Osmunda regalis	Regal Fern	#1 container	2.5' on center	
OS	60	Onoclea sensibilis	Sensitive Fern	#1 container	2' on center	

Landscape Plan Notes

1. Names must agree with nomenclature of standard Plant Names: American Joint Committee on Horticultural Nomenclature, latest edition.
2. Size and grading must conform to American Association of Nurserymen Standards.
3. Quality shall be typical of species or variety, with normal, well-developed branches and vigorous root systems. Plants shall be free from defects, injury, disease, or insect infestation.
4. For measurement, a plant shall be dimensioned as it stands in its normal position.
5. Landscape architect must approve any plant or size substitutions. Landscape architect shall approve locations of plant materials on site prior to the plants being installed. Plant spacing as depicted on plant list shall be followed; however, spacing depicted on plan shall rule.
6. Topsoil shall be a minimum of 4" deep - 6" is preferred - and shall contain a 12% organic carbon content by weight. Clean leaf compost is the preferred soil amendment to achieve these standards. If other soil amendments are more readily available than clean leaf compost, they can be used to meet the requirement for 12% organic carbon content.
7. Planting pits for woody plants shall be twice as wide as the root ball diameter and shall be backfilled with screened topsoil. Subsoil from planting excavations shall be removed from the site. In the case of herbaceous bare-root plantings, the entire bed shall be screened topsoil with ample organic matter mixed in.
8. If the roots of containerized plants are tightly wound, they shall be loosened and separated (scarified) prior to planting. All trees are to be thoroughly watered during and after planting operations and afterward for the duration of the maintenance period, with a minimum of 1 deep watering per week after planting. Care must be taken not to expose roots to air for long periods during the planting process.
9. Plants shall be mulched immediately after planting with 3" of aged, undyed hardwood bark mulch. Do not overmulch newly planted trees and shrubs. Seeded areas shall be mulched with salt hay or straw mulch applied at 50 to 90 lbs., (1 to 2 bales) per 1,000 square feet. Approximately 25% of the soil is to be visible through the mulch.
10. In the event there is a discrepancy between the number of plants shown in the plant list and the number depicted on the drawing, the number shown on the drawing shall rule.

NOTES:

1. DISTURBANCE AREA IS CALCULATED TO BE 3,350 SQUARE FEET (0.077 ACRES).
2. TWO AREAS OF PLANTED MITIGATION ARE PROPOSED. AREA #1 IS 425 SQUARE FEET IN SIZE. AREA #2 IS 710 SQUARE FEET IN SIZE FOR A TOTAL AREA OF 1,135 SQUARE FEET. THE RATIO OF PLANTED MITIGATION TO IMPACTS IN THE WETLAND BUFFER IS 1.18 TO 1.
3. DISTURBANCE LIMITS SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION BY A QUALIFIED PROFESSIONAL.



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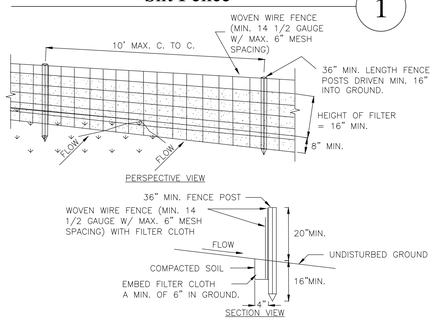
Drawing Title:
Mitigation Planting Plan

Date: December 26, 2022
Dwn. by: alp
ID: 10 Hoyt St Site_01-20-2023

C-104

Silt Fence (1)



CONSTRUCTION SPECIFICATIONS

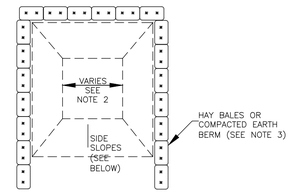
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

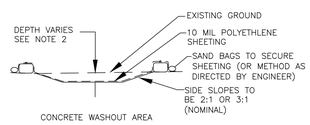
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE	SILT FENCE

Concrete Washout Area (2)

NOTES:

1. Concrete washout areas shall be installed prior to concrete placement of on-site. The concrete washout area shall be entirely self-contained.
2. The contractor shall submit the design, location and sizing of the concrete washout area(s) with the project's erosion and sedimentation control plan and shall be approved by the engineer. Location: Washout area(s) are to be located at least 50 feet from any stream, wetland, storm drains, or other sensitive resource. The flood contingency plan must address the concrete washout if the washout is to be located within the floodplain. Size: the washout must have sufficient volume to contain all liquid and concrete waste generated by washout operations including, but not limited to, operations associated with grout and mortar.
3. Surface discharge is unacceptable. Therefore, hay bales or other control measures, as approved by the engineer, should be used around the perimeter of the concrete washout area for containment.
4. Signs should be placed at the construction entrance, at the concrete area(s) and elsewhere as necessary to clearly indicate the location of the concrete washout to operators of concrete trucks and pump rigs. Washout area(s) should be flagged with safety fencing or other approved method.
5. Washout area(s) are to be inspected at least once a week for structural integrity, adequate holding capacity and check for leaks, tears or overflow. (As required by the construction site environmental inspection report, washout areas should be checked after heavy rains.)
6. Hardened concrete waste should be removed and disposed of when the waste has accumulated to half the concrete washout's height. The waste can be stored at an upland location, as approved by the engineer. All concrete waste shall be disposed of in a manner consistent with all applicable laws, regulations and guidelines.
7. Payment for this item is to be included under the general cost of the work for the project, including site restoration.

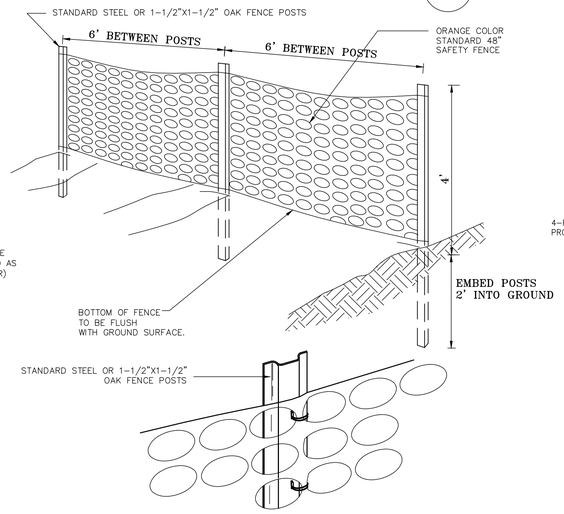




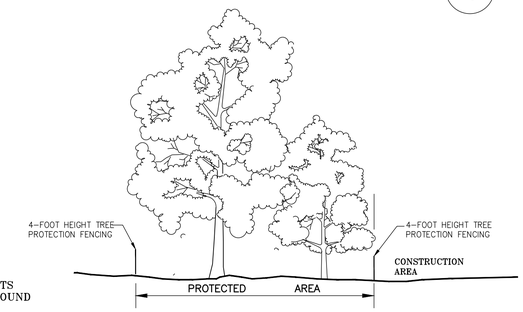
CONCRETE WASHOUT AREA

NOT TO SCALE
(SEE NOTE 2)

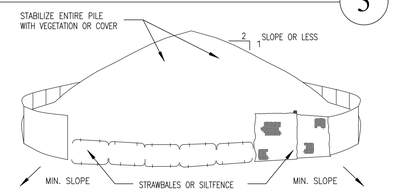
Construction Fence/Tree Protection (3)



Construction Fence/Tree Protection (4)



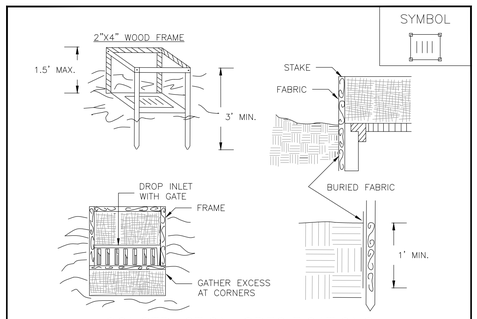
Soil Stockpile (5)



INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING (WHICH IS PREFERRED) OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

Stone and Block Drop Inlet Protection (6)



CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUN DRAINAGE AREA 1 ACRE

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE	FILTER FABRIC DROP INLET PROTECTION

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Drawing Title:

Construction Details

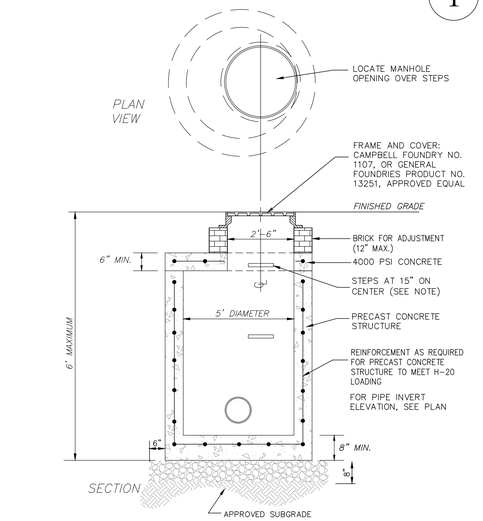
Date: October 12, 2022

Dwn. by: alp

ID: 10 Hoyt St Site_01-20-2023

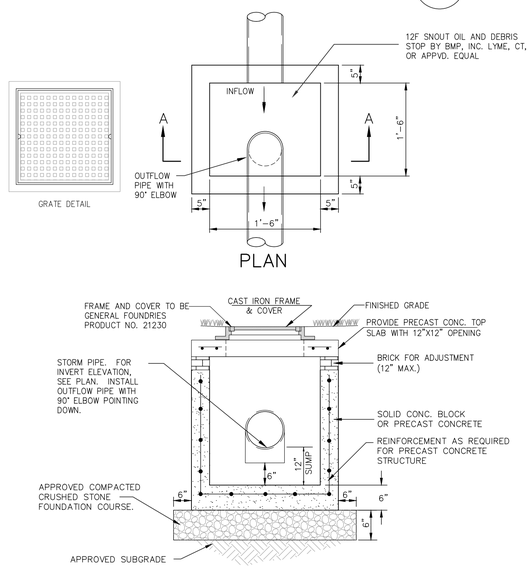
C-111

Stormwater Management Facility (1)



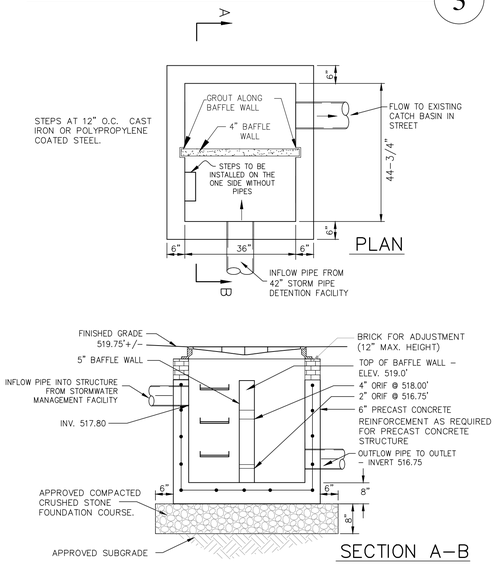
NOTES:
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EACH STRUCTURE.
2. STRUCTURE SHALL BE CERTIFIED AS CONFORMING TO ASTM-C913.
3. STRUCTURE SHALL BE DESIGNED FOR AASHTO H-20 LOADING.
4. STEPS NOT REQUIRED FOR STRUCTURES LESS THAN 4 FEET FROM FINISHED GRADE TO BOTTOM OF STRUCTURE.

Catch Basin (2)

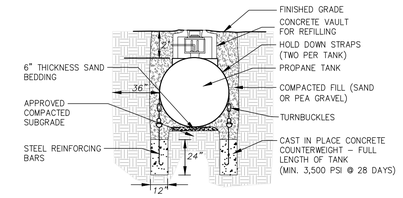


NOTES:
1. CONCRETE: 4,000 PSI @ 28 DAYS.
2. REINFORCING: AS PER ASTM A-185 6"X6" W4/W4 W.W.M.

Outlet Control Structure (3)

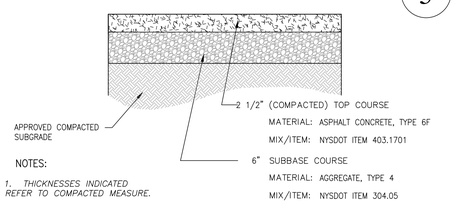


Typical Propane Tank Installation (4)



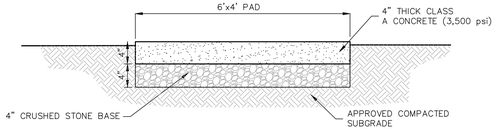
NOTE:
1. INSTALLATION OF TANK MUST MEET ALL TANK MANUFACTURER REQUIREMENTS, UTILITY COMPANY REQUIRMENTS AND OSHA REGULATIONS.
2. REFILLING APPURTENANCES SHALL BE IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.

Driveway Pavement (5)

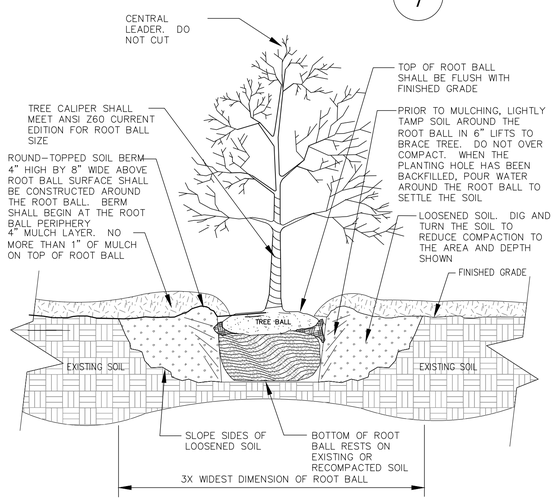


NOTES:
1. THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
2. ITEM NUMBERS REFER TO: NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

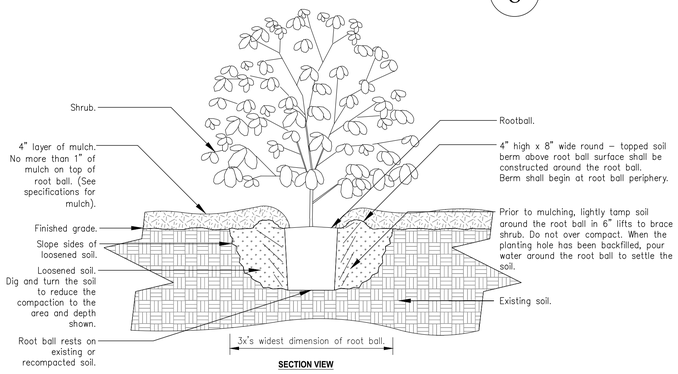
Concrete Pad for Generator (6)



Tree Planting Detail (7)



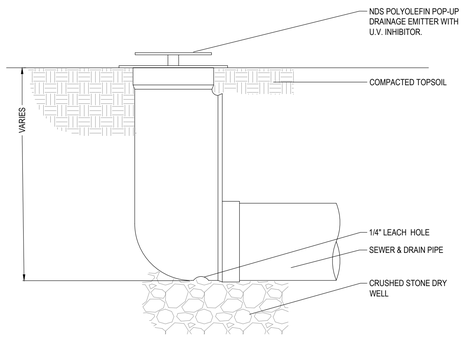
Shrub Planting Detail (8)



Notes:
1- Shrubs shall be of quality prescribed in the root observations detail and specifications.

2- See specifications for further requirements related to this detail.

Pop-Up Emitter (9)



SECTION

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

DRAINAGE EMITTER
TYPICAL POP-UP DRAINAGE EMITTER

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SEAL:

STATE OF NEW YORK · ALAN L. PILCH · No. 080167 · LICENSED PROFESSIONAL ENGINEER

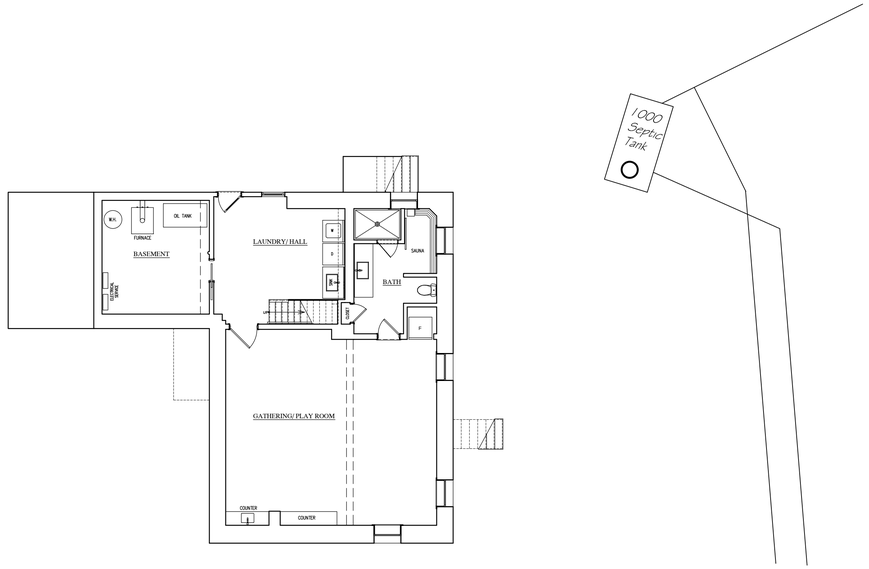
PROJECT NAME:
MORRISSEY RESIDENCE
10 Hoyt Street
South Salem, New York 10590

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843 Ridgefield, CT 06877
Direct Tel. (475) 215-5343 Cell (203) 710-0587

Drawing Title:
Construction Details

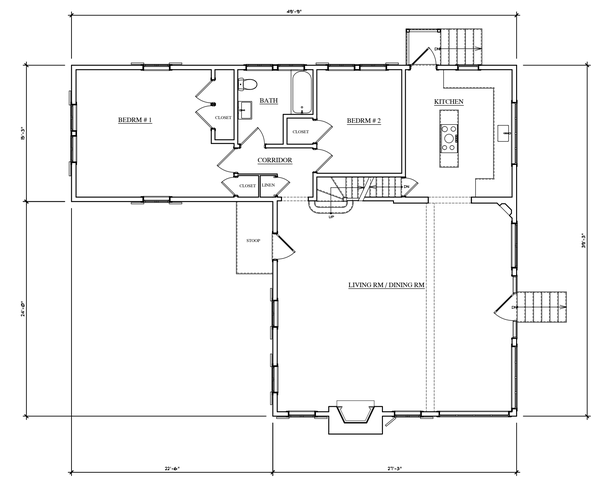
Date: October 12, 2022
Dwn. by: alp
ID: 10 Hoyt St Site_01-20-2023

C-112



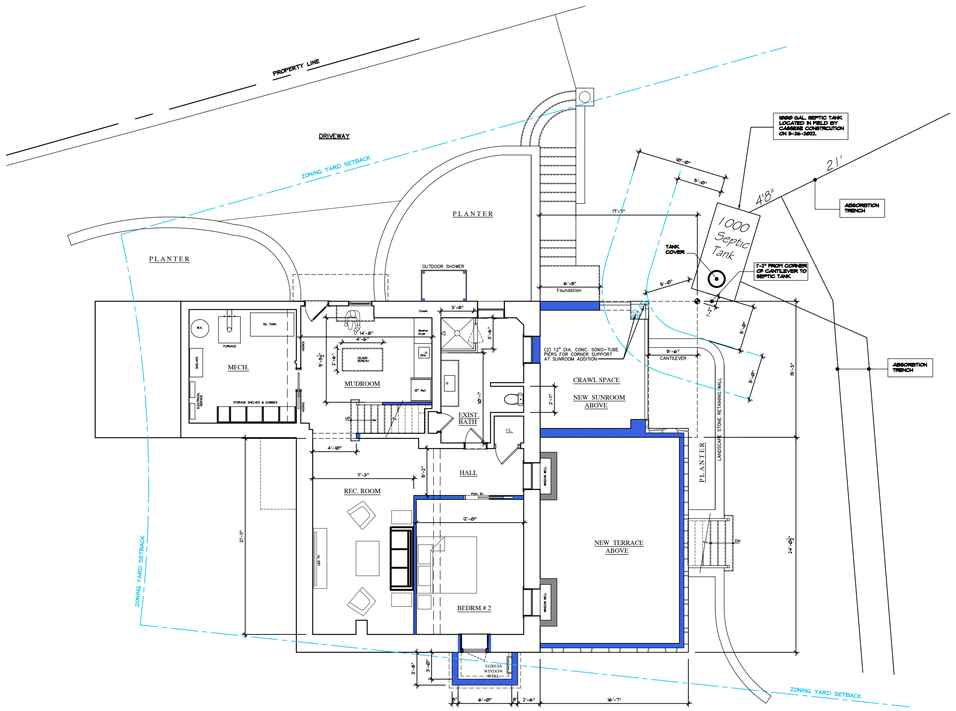
NORTH

1 BASEMENT FLOOR PLAN EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



NORTH

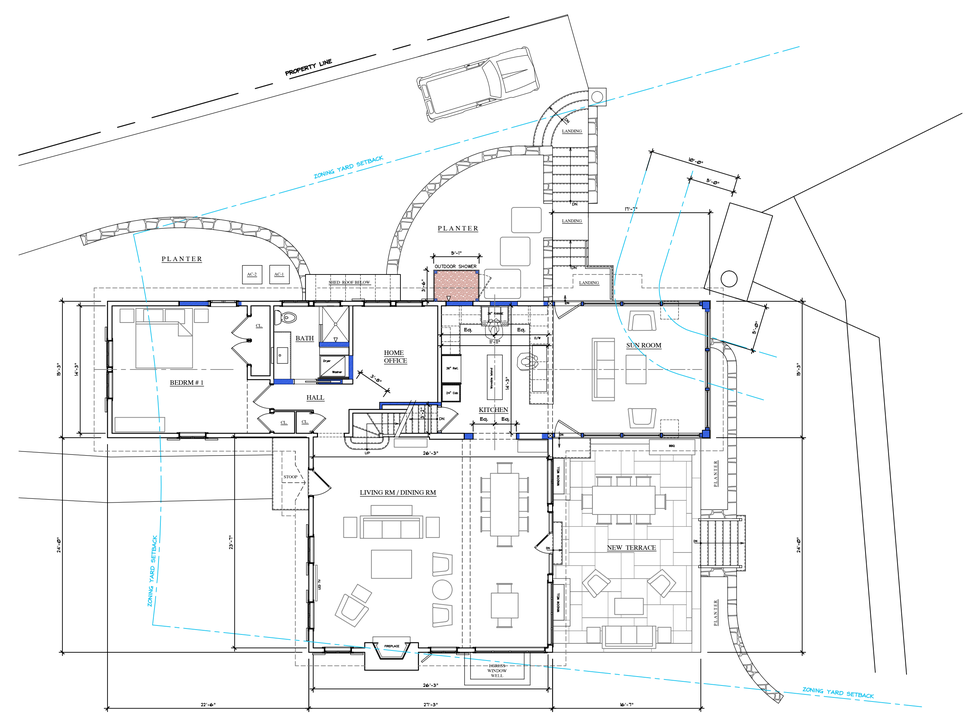
3 FIRST FLOOR PLAN EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



NORTH

2 BASEMENT FLOOR PLAN PROPOSED
SCALE: 1/8" = 1'-0"

PLAN KEY:
EXISTING CONSTRUCTION TO REMAIN
NEW CONSTRUCTION
CONSTRUCTION TO BE REMOVED



NORTH

4 FIRST FLOOR PLAN PROPOSED
SCALE: 1/8" = 1'-0"

PLAN KEY:
EXISTING CONSTRUCTION TO REMAIN
NEW CONSTRUCTION
CONSTRUCTION TO BE REMOVED

Darren P. Mercer, Architect, PLLC ©

NYS Lic. No. 020910 NJ Lic. No. 11952
CT Lic. No. 9243 MA Lic. No. 31909

Darren P. Mercer, Architect, PLLC
Architecture & Interior Design
32 Flintlock Ridge Road
Katonah, New York 10536
914.391.4490
darrenpmercer@gmail.com

Alterations & Additions To:
Existing Residence
10 Hoyt Street
South Salem, New York

Revisions:

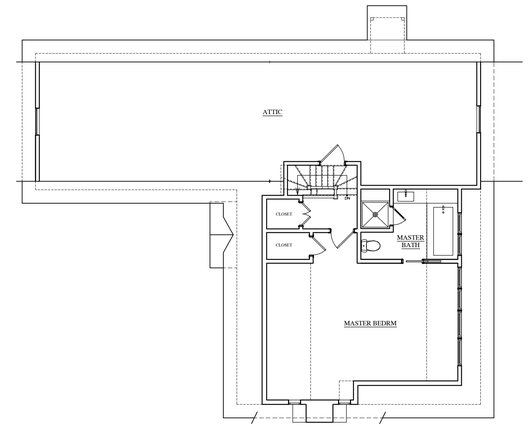
	Date:	Description:
	1-20-23	WCDOH REVIEW

Drawing Title:
BASEMENT & FIRST FLOOR PLANS EXISTING CONDITIONS & PROPOSED

Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

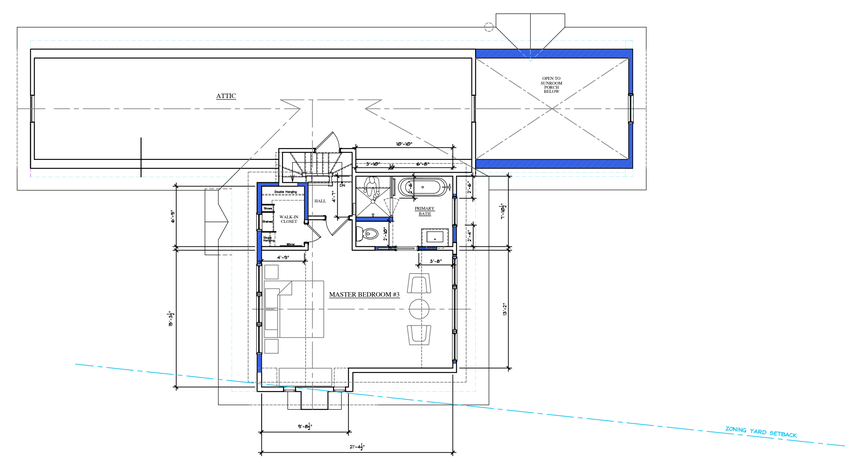
10 Hoyt Street

A.1



NORTH

1 SECOND FLOOR PLAN EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



NORTH

2 SECOND FLOOR PLAN PROPOSED
SCALE: 1/8" = 1'-0"

PLAN KEY:
EXISTING CONSTRUCTION TO REMAIN
NEW CONSTRUCTION
CONSTRUCTION TO BE REMOVED

Darren P. Mercer,
Architect, PLLC ©

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darrenpmercer@gmail.com

Alterations & Additions To:
Existing Residence
10 Hoyt Street
South Salem, New York

Revisions:

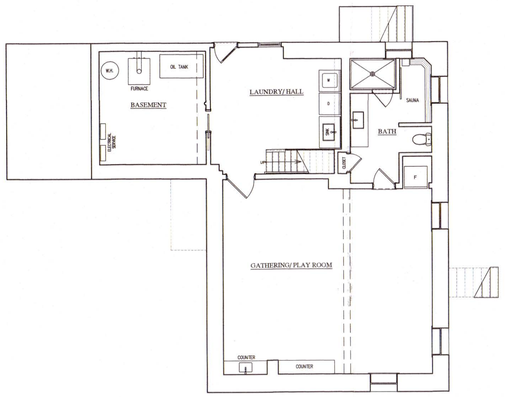
	Date:	Description:
	1-20-23	WCDOH REVIEW

Drawing Title:
SECOND FLOOR PLANS
EXISTING CONDITIONS
& PROPOSED

Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

10 Hoyt Street

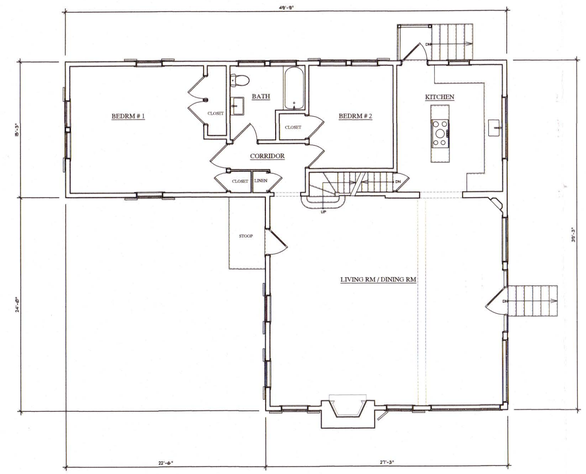
A.2



1000 Septic Tank

NORTH

1 BASEMENT FLOOR PLAN EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



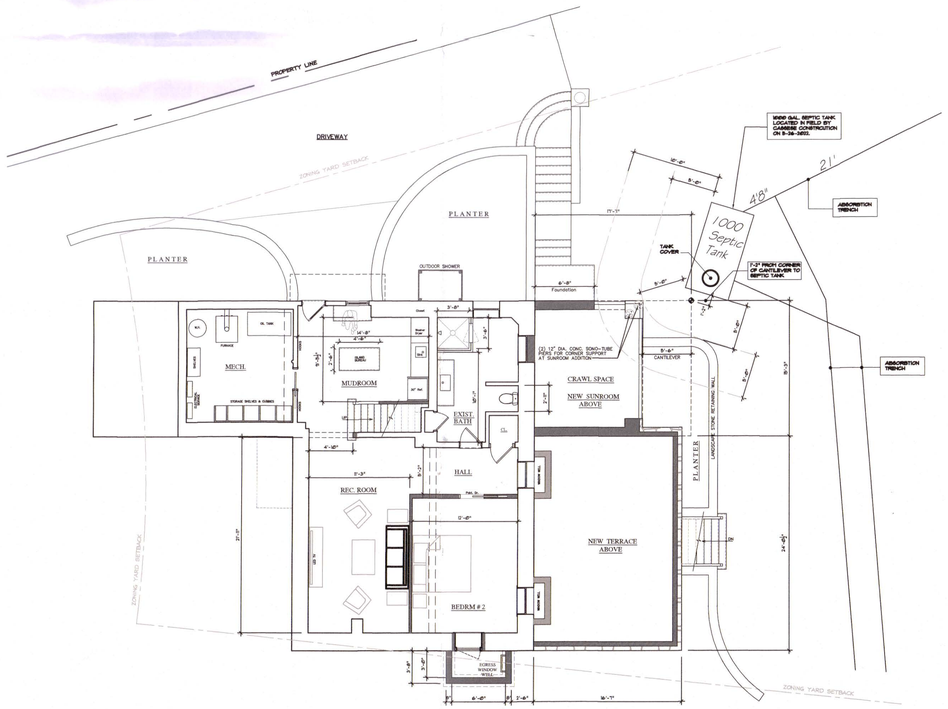
NORTH

3 FIRST FLOOR PLAN EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"

2023-05-BR
NO OBJECTION
FEB - 9 2023
WEST. CO. DEPT. OF HEALTH
BY

NO OBJECTION TO ADDITION / RENOVATIONS AS SHOWN TO REMAIN A THREE (3) BEDROOM RESIDENCE AS PER RA LETTER 2/6/2023

REFERENCE FOR PLAN SET OF 2 SHEETS AND SITE PLAN



NORTH

2 BASEMENT FLOOR PLAN PROPOSED
SCALE: 1/8" = 1'-0"

PLAN KEY:
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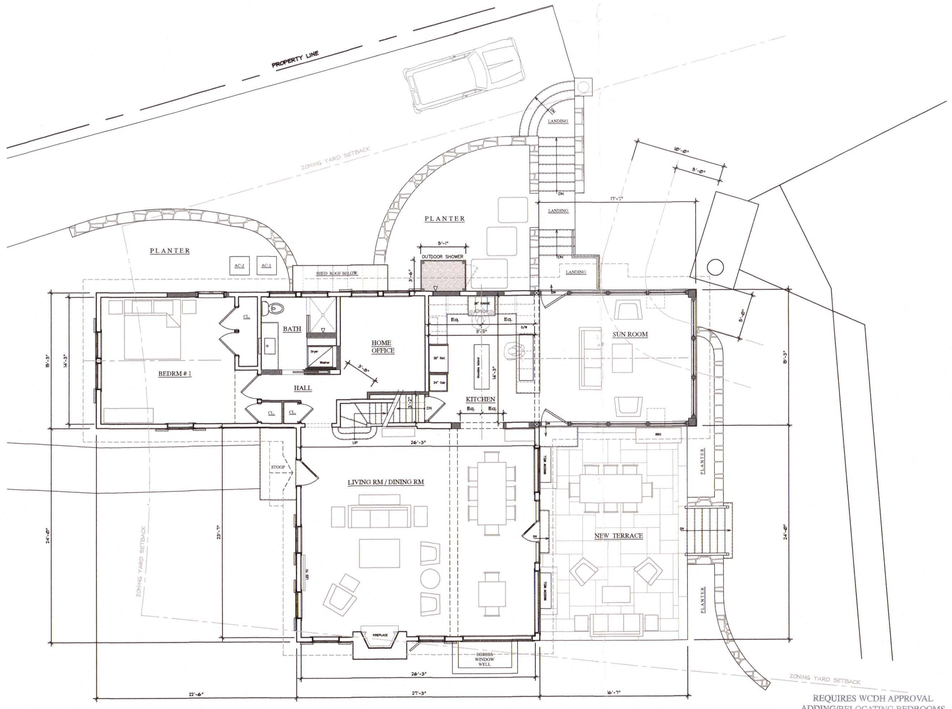
NEW CONSTRUCTION
CONSTRUCTION TO BE REMOVED



NORTH

4 FIRST FLOOR PLAN PROPOSED
SCALE: 1/8" = 1'-0"

PLAN KEY:
EXISTING CONSTRUCTION TO REMAIN
NEW CONSTRUCTION
CONSTRUCTION TO BE REMOVED

REQUIRES WCDH APPROVAL ADDING/RELOCATING BEDROOMS
1/25/23
DATE
INSPECTOR

Darren P. Mercer, Architect, PLLC ©
REGISTERED ARCHITECT DARREN P. MERCER No. 020910 STATE OF NEW YORK
NYS Lic. No. 020910 NJ Lic. No. 11952
CT Lic. No. 9243 MA Lic. No. 31909

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Alterations & Additions To:
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South Salem, New York

Revisions:

	Date:	Description:
△	1-20-23	WCDOH REVIEW

Drawing Title:
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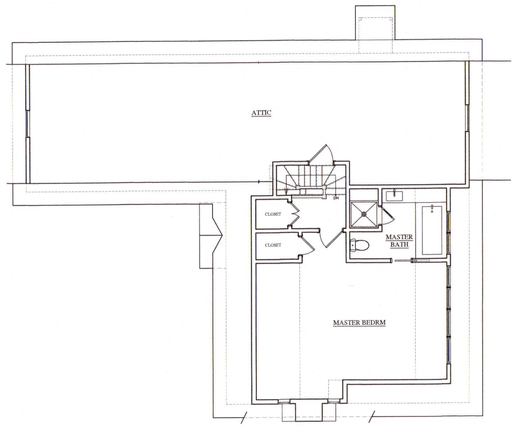
Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

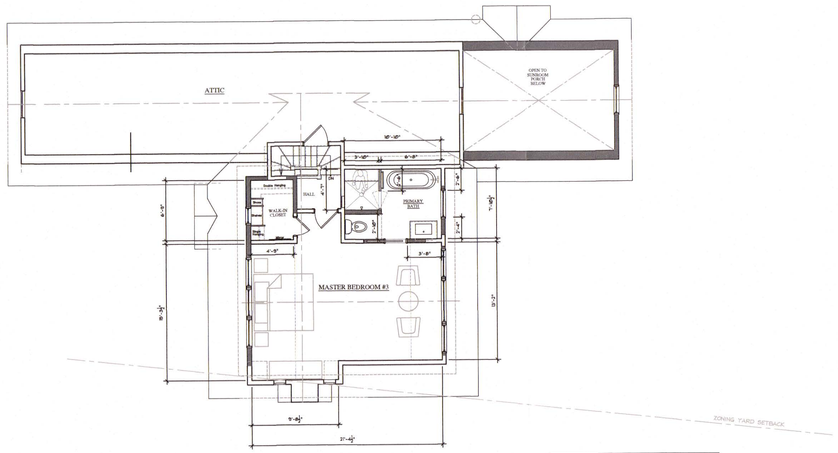
10 Hoyt Street

A.1



NORTH

1 SECOND FLOOR PLAN EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



NORTH

2 SECOND FLOOR PLAN PROPOSED
SCALE: 1/8" = 1'-0"

PLAN KEY:
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NEW CONSTRUCTION
CONSTRUCTION TO BE REMOVED

Darren P. Mercer, Architect, PLLC ©
REGISTERED ARCHITECT DARREN P. MERCER 020910 NEW YORK
NYS Lic. No. 020910 NJ Lic. No. 11952
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10 Hoyt Street
South Salem, New York

Revisions:

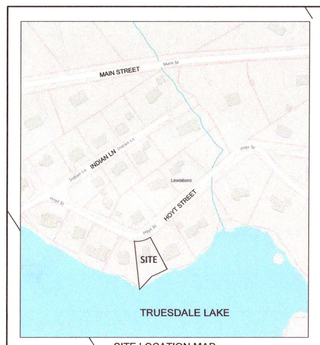
	Date:	Description:
	1-20-23	WCDOH REVIEW

Drawing Title:
SECOND FLOOR PLANS EXISTING CONDITIONS & PROPOSED

Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

10 Hoyt Street

A.2



SITE LOCATION MAP

BULK ZONING TABLE

ZONING: R-1/4A
SITE AREA: 11,739.58 SQ FEET

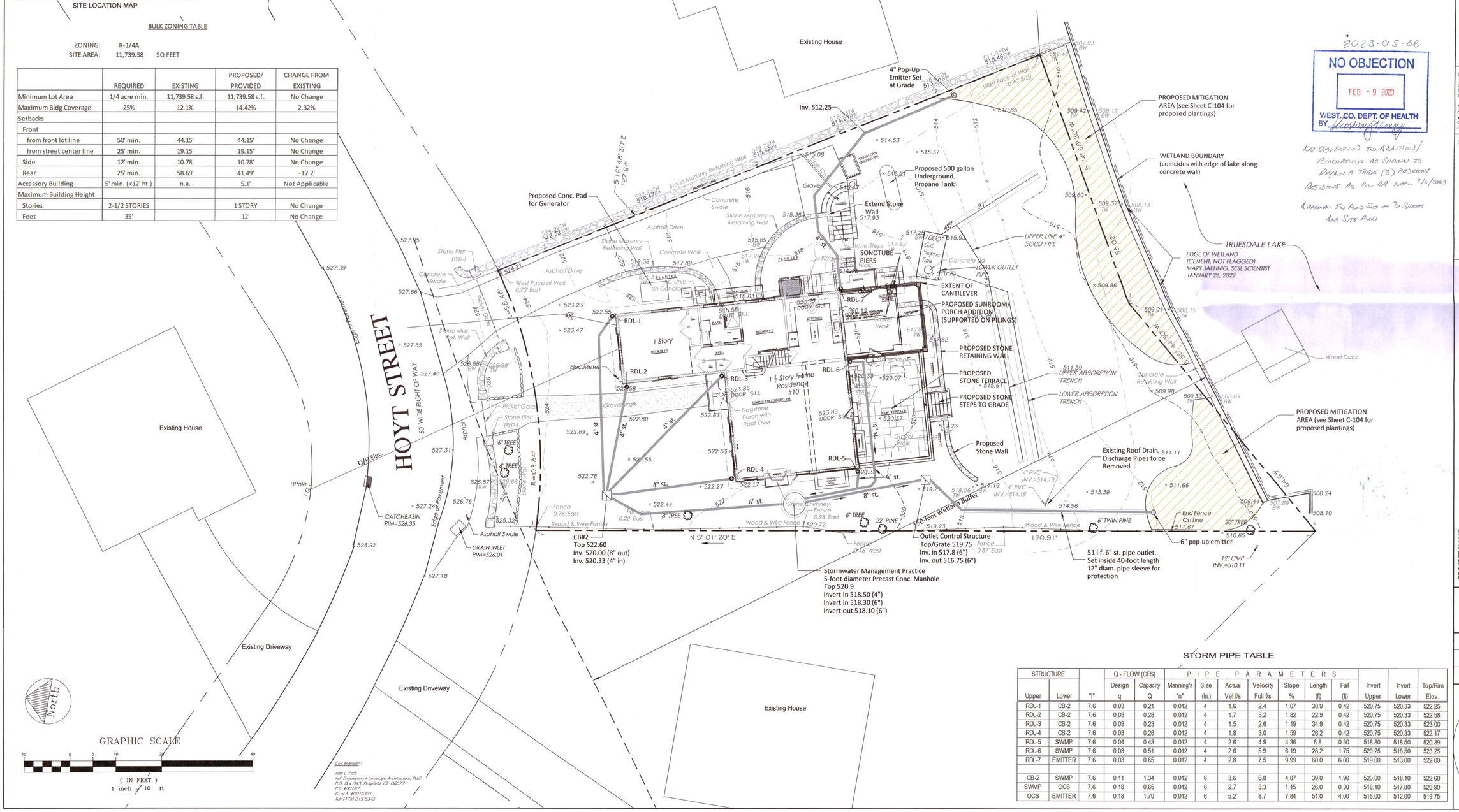
	REQUIRED	EXISTING	PROPOSED/ PROVIDED	CHANGE FROM EXISTING
Minimum Lot Area	1/4 acre min.	11,739.58 s.f.	11,739.58 s.f.	No Change
Maximum Bldg Coverage	25%	12.1%	14.42%	2.32%
Setbacks				
Front				
from front lot line	50' min.	44.15'	44.15'	No Change
from street center line	25' min.	19.15'	19.15'	No Change
Side	12' min.	10.78'	10.78'	No Change
Rear	25' min.	58.69'	41.49'	-17.2'
Accessory Building	5' min. (<12' ht.)	n.a.	5.1'	Not Applicable
Maximum Building Height				
Stories	2-1/2 STORIES		1 STORY	No Change
Feet	35'		12'	No Change

NOTES:

1. WETLAND BUFFER IMPACTS ARE CALCULATED TO BE 1,139 SQUARE FEET.
2. FOR MITIGATION OF THESE IMPACTS, IT IS PROPOSED TO REMOVE EXISTING LAWN AND PLANT THESE AREAS WITH NATIVE TREES, SHRUBS AND HERBACEOUS SPECIES. THE AREA OF THE PROPOSED MITIGATION COVERS 1,345 SQUARE FEET, FOR A RATIO OF MITIGATION TO WETLAND BUFFER IMPACTS OF 1.18 TO 1.
3. IT IS PROPOSED TO DRAIN THE OUTDOOR SHOWER INTO THE SITE SEPTIC SYSTEM. SEE ARCHITECTURAL PLANS FOR THE DETAILS.
4. STORM PIPE SHALL BE AS FOLLOWS: FOR 8-INCH & 12-INCH DIAMETERS, USE CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP), WHICH SHALL CONFORM TO THE REQUIREMENTS OF AASHTO DESIGNATION M-252 AND AS MANUFACTURED BY ADS, OR APPROVED EQUAL. FOR 4" AND 6" PIPE, SCHEDULE 35 PVC PIPE. PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D-3034 FOR SDR-35 EXTRA STRENGTH PIPE AND FITTINGS. PIPE SHALL HAVE INTEGRAL WALL BELL AND SPIGOT JOINTS. ASSEMBLY SHALL BE BY MEANS OF PUSH-ON JOINTS USING FLEXIBLE ELASTOMERIC SEALS CONFORMING TO ASTM DESIGNATION D-3212.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- +502.0 PROPOSED SPOT GRADE
- WATER VALVE
- FENCE
- CHAIN LINK FENCE
- EXISTING STONE WALL
- WETLAND BUFFER
- MITIGATION PLANTING AREA



Civil engineer:
Alan L. Plich
ALP Engineering & Landscape Architecture, PLLC
P.O. Box 843, Ridgefield, CT 06877
P.E. #001677
C. of A. #001633
Tel: (475) 215-5343

STORM PIPE TABLE

STRUCTURE Upper	STRUCTURE Lower	"i"	Q - FLOW (CFS) Design q	Q - FLOW (CFS) Capacity Q	PIPE PARAMETERS Manning's "n"	Size (in.)	Actual Vel f/s	Velocity Full f/s	Slope %	Length (ft)	Fall (ft)	Invert Upper	Invert Lower	Top/Rim Elev.
RDL-1	CB-2	7.6	0.03	0.21	0.012	4	1.6	2.4	1.07	38.9	0.42	520.75	520.33	522.25
RDL-2	CB-2	7.6	0.03	0.28	0.012	4	1.7	3.2	1.82	22.9	0.42	520.75	520.33	522.58
RDL-3	CB-2	7.6	0.03	0.23	0.012	4	1.5	2.6	1.19	34.9	0.42	520.75	520.33	523.00
RDL-4	CB-2	7.6	0.03	0.26	0.012	4	1.8	3.0	1.59	26.2	0.42	520.75	520.33	522.17
RDL-5	SWMP	7.6	0.04	0.43	0.012	4	2.6	4.9	4.36	6.8	0.30	518.80	518.50	520.39
RDL-6	SWMP	7.6	0.03	0.51	0.012	4	2.6	5.9	6.19	28.2	1.75	520.25	518.50	523.25
RDL-7	EMITTER	7.6	0.03	0.65	0.012	4	2.8	7.5	9.99	60.0	6.00	519.00	513.00	522.00
CB-2	SWMP	7.6	0.11	1.34	0.012	6	3.6	6.8	4.87	39.0	1.90	520.00	518.10	522.60
SWMP	OCS	7.6	0.18	0.65	0.012	6	2.7	3.3	1.15	26.0	0.30	518.10	517.80	520.90
OCS	EMITTER	7.6	0.18	1.70	0.012	6	5.2	8.7	7.84	51.0	4.00	516.00	512.00	519.75

2023-05-BR

NO OBJECTION
FEB - 9 2023
WEST. CO. DEPT. OF HEALTH
BY

NO OBJECTION TO ADDITION/ RENOVATIONS AS SHOWN TO REPLACE A THREE (3) BEDROOM RESIDENCE AS PER RA LETTER 2/6/2023
APPROVAL FOR PLAN SET OF 12 SHEETS AND SITE PLAN

PROPERTY OWNER:
Susan Morrissey
8A 239 Central Park West
New York, NY 10024

CONSULTANTS:

ARCHITECT:
Darren P. Mercer, Architect, PLLC
32 Flintlock Ridge Road
Katonah, NY 10536
Tel: (914) 391-4490

SURVEYOR:
TC Merritts Land Surveyors
394 Bedford Road
Pleasantville, NY 10570
Tel: (914) 769-8003

ISSUED:

Submission to Planning Board	11/18/2022
Rev. as per Planning Board & Town Consultant comments	12/26/2022
Submission of plan to WCDOH	01/22/2023

OWNERSHIP AND USE OF DOCUMENTS

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

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SEAL:

STATE OF NEW YORK · ALAN L. PLICH · LICENSED PROFESSIONAL ENGINEER · No. 080191

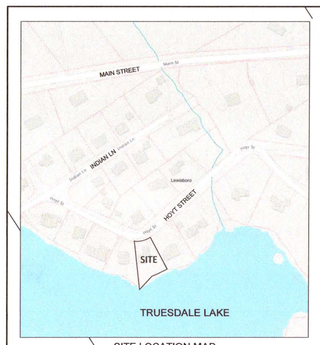
PROJECT NAME:
MORRISSEY RESIDENCE
10 Hoyt Street
South Salem, New York 10590

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843 Ridgefield, CT 06877
Direct Tel. (475) 215-5343 Cell (203) 710-0587

Drawing Title:
Site Plan

Date: October 12, 2022
Dwn. by: alp
ID: 10 Hoyt St Site_01-20-2023

C-101



SITE LOCATION MAP

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Setbacks				
Front				
from front lot line	50' min.	44.15'	44.15'	No Change
from street center line	25' min.	19.15'	19.15'	No Change
Side	12' min.	10.78'	10.78'	No Change
Rear	25' min.	58.69'	41.49'	-17.2'
Accessory Building	5' min. (<12' ht.)	n.a.	5.1'	Not Applicable
Maximum Building Height				
Stories	2-1/2 STORIES		1 STORY	No Change
Feet	35'		12'	No Change

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LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
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- CHAIN LINK FENCE
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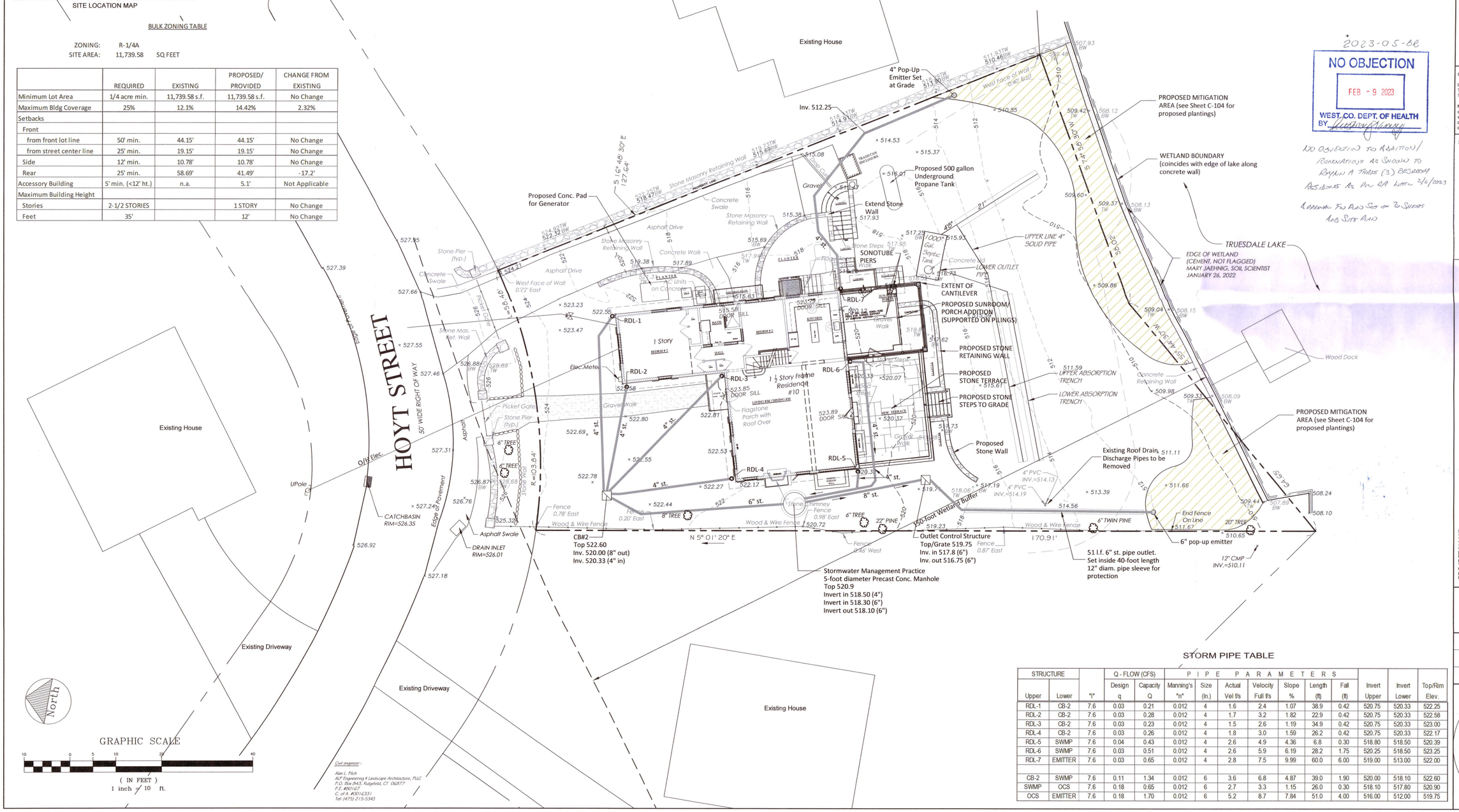

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RDL-6	SWMP	7.6	0.03	0.51	0.012	4	2.6	5.9	6.19	28.2	1.75	520.25	518.50	523.25
RDL-7	EMITTER	7.6	0.03	0.65	0.012	4	2.8	7.5	9.99	60.0	6.00	519.00	513.00	522.00
CB-2	SWMP	7.6	0.11	1.34	0.012	6	3.6	6.8	4.87	39.0	1.90	520.00	518.10	522.60
SWMP	OCS	7.6	0.18	0.65	0.012	6	2.7	3.3	1.15	26.0	0.30	518.10	517.80	520.90
OCS	EMITTER	7.6	0.18	1.70	0.012	6	5.2	8.7	7.84	51.0	4.00	516.00	512.00	519.75

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Submission of plan to WCDOH	01/22/2023

OWNERSHIP AND USE OF DOCUMENTS

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

No part of these drawings shall be copied, disclosed to others or used in connection with any work or project other than for which they have been prepared without the express written consent of the licensed professional who prepared the document.

SEAL:

STATE OF NEW YORK · ALAN L. PLICH · LICENSED PROFESSIONAL ENGINEER · No. 080191

PROJECT NAME:
MORRISSEY RESIDENCE
10 Hoyt Street
South Salem, New York 10590

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843 Ridgefield, CT 06877
Direct Tel. (475) 215-5343 Cell (203) 710-0587

Drawing Title:
Site Plan

Date: October 12, 2022
Dwn. by: alp
ID: 10 Hoyt St Site_01-20-2023

C-101

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.

620323540DED001P

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Thoroughbred Title Services, LLC	Phone:	914-644-6100
Address 1:	800 Westchester Avenue	Fax:	914-644-6159
Address 2:	Suite S514	Email:	recording@thoroughbredtitleservices.co
City/State/Zip:	Rye Brook NY 10573	Reference for Submitter:	47442 McCaughey

Document Details

Control Number: **620323540** Document Type: **Deed (DED)**

Package ID: 2022020100238001002 Document Page Count: **2** Total Page Count: **3**

Parties

☐ Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1: MCCAUGHEY PATRICK E	- Individual	1: MORRISSEY SUSAN	- Individual
2:		2:	

Property

☐ Additional Properties on Continuation page

Street Address: 10 HOYT STREET Tax Designation: 36C-11172-5

City/Town: LEWISBORO Village:

Cross- References

☐ Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584 3: IT-2663

Recording Fees

Statutory Recording Fee:	$40.00
Page Fee:	$15.00
Cross-Reference Fee:	$0.00
Mortgage Affidavit Filing Fee:	$0.00
RP-5217 Filing Fee:	$125.00
TP-584 Filing Fee:	$5.00
RPL 291 Notice Fee:	$10.00
Total Recording Fees Paid:	**$195.00**

Transfer Taxes

Consideration:	$1,300,000.00
Transfer Tax:	$5,200.00
Mansion Tax:	$13,000.00
Transfer Tax Number:	9913

Mortgage Taxes

Document Date:

Mortgage Amount:

Basic:	$0.00
Westchester:	$0.00
Additional:	$0.00
MTA:	$0.00
Special:	$0.00
Yonkers:	$0.00
Total Mortgage Tax:	**$0.00**

Dwelling Type: Exempt: ☐

Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK

Recorded: 02/08/2022 at 09:46 AM

Control Number: **620323540**

Witness my hand and official seal

Timothy C.Idoni
Westchester County Clerk

Record and Return To

☐ Pick-up at County Clerk's office

Thoroughbred Title Services
800 Westchester Avenue
SUITE S514
Rye Brook , NY 10573

47442

— Bargain and Sale Deed, with Covenant against Grantor's Acts — Individual or Corporation (Single Sheet)

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 2nd day of February, in the year 2022

BETWEEN PATRICK EDWARD McCAUGHEY residing at 10 Hoyt Street, South Salem, NY 10590

party of the first part, and

SUSAN MORRISSEY residing at 239 Central Park West, Apt 8A, New York, NY 10024

party of the second part,

WITNESSETH, that the party of the first part, in consideration of

TEN (10.00) dollars

paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the

SEE SCHEDULE A ANNEXED HERETO

Being and intended to be the same premises conveyed to the party of the first part by deed dated June 4, 2003 and recorded on July 28, 2003 in the Westchester County Clerk's Office in Control No. 431990220

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.
AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

PATRICK EDWARD McCAUGHEY

THOROUGHBRED TITLE SERVICES, LLC
as Agent for
Investors Title Insurance Company

SCHEDULE A (Legal Description)

Title No.: TTS47442

ALL that certain plot, piece or parcel of land, situate, lying and being in the Town of Lewisboro, County of Westchester, and State of New York, designated by the Lot Number 5 on a certain, map entitled, "Map of Section No. 4 of Truesdale Lake Property South Salem, Town of Lewisboro, Westchester County, New York" made by J. Albert Schaefer, Surveyor, dated December 28, 1926 and filed in the County Clerk's Office, Division of Land Records, formerly Register's Office, Westchester County, New York, on April 18, 1927, as Map Number 3128 and bounded and described as follows:

BEGINNING at a point on the southerly side of Hoyt Street at the dividing line between Lots 5 and 6 on said map and distant as measured along said southerly side of Hoyt Street 465.44 feet westerly from the westerly end of a curve having a radius of 28.25 feet and a length of arc of 46.08 feet connecting said southerly side of Hoyt Street with the westerly side of Hoyt Street, thence running along the dividing line between Lots 5 and 6 on said map, South 16° 48' 30" East 127.64 feet to the northerly shore of Truesdale Lake; thence running along said northerly shore of Truesdale Lake, South 74° 58' 30" West 58.02 feet and South 55° 44' 30" West 64.65 feet to the dividing line between Lots 4 and 5; thence running along said dividing line, North 5° 01' 20" East 170.91 feet to the southerly side of Hoyt Street; thence running easterly along said southerly side of Hoyt Street, on a curve to the left having a radius of 103.84 feet, a distance of 58.48 feet to the point of BEGINNING. INSURE

FOR CONVEYANCING ONLY

The policy to be issued under this report will insure the title to such buildings and improvements erected on the premises which by law constitute real property.

TOGETHER with all the right, title and interest of the party of the first part, of, in and to the land lying in the street in front of and adjoining said premises.

File with maps of lake roads taken over by Town FEC 12-3-7

...EPS

On motion of Mr. Thibdeau, seconded by Mr. Cronk, the following resolution was adopted:

The Vote:			
	Yes,	Jordan, Neukirch, Cronk and Thibdeau	-4
	No,	None	-0
	Absent,	Boissy	-1

RESOLVED, that the following transfers be made from the Surplus Account

To:			
	Town Property	Improvements	$2,376.97
	Health Insurance	Disability	3.83
		Health	95.40
	Assessor	Office Expense	64.53

HIGHWAYS - Goldens Bridge Colony, Lake Waccabuc, Lake Kitchawan, Lower Salem Road, Stewart Road, Briscoe Road, Lake Katonah, Truesdale Lake and Twin Lakes Road Ext.

On motion of Mr. Thibdeau, seconded by Mr. Neukirch, the following resolution was adopted:

The Vote:			
	Yes,	Jordan, Neukirch, Cronk and Thibdeau	-4
	No,	None	-0
	Absent,	Boissy	-1

In the Matter of the Ascertaining, Describing and Recording as Town Highways in the Town of Lewisboro, County of Westchester and State of New York, Roads Used by the Public for Upwards of Ten Years.

WHEREAS, those portions of roads as shown in bold outline on the maps now before this Board have been used by the public for a period in excess of ten years as public highways, and

WHEREAS, in accordance with the provisions of Section 189 of the Highway Law, it is in all respects proper that such portions of roads shall be duly ascertained, described and entered on record, as town highways of the Town of Lewisboro and worked and kept in repair by such Town;

NOW THEREFORE, consent is hereby granted to the Town Superintendent of Highways of the Town of Lewisboro to lay out and record as town highways of the Town of Lewisboro, those portions of roads shown in ~~bold~~ outline on the maps now before this Board and hereby filed with the Town Clerk to become attached to and a part of the minutes of this meeting, and identified as sheets 1-1 to 1-8, 2-1 to 2-4, 3-1 to 3-9, 4-1 to 4-4, 5-1, 6-1 to 6-6, 7-1 to

HIGHWAYS - Continued

7-9, 8-1 and 8-2, all in accordance with the provisions of Section 189 of the Highway Law; it being understood and conditioned that such laying out and recording shall apply only to the existing traveled portions and existing drainage provisions and facilities, and not to the full width of the right-of-way shown on any filed maps or elsewhere; and it being further understood and conditioned that such laying out and recording shall convey to the Town of Lewisboro no rights to any water lines, mains, hydrants, curb cocks, standpipes, house connections and pump feed lines in said portions of roads, but that the owners of such water lines or equipment may maintain, repair or replace the same, provided they comply with the provisions of Article IV of the Street Ordinance of the Town of Lewisboro, and other applicable laws and ordinances.

LEWISBORO TOWN PARK - Traffic

The following letter was presented:

October 30, 1970

Alvin Jordan, Supervisor
Town of Lewisboro
S. Salem, N. Y.

Dear Al,

At the last meeting of the Recreation Commission, concern was again expressed about the passing lane at the entrance/exit of the Recreation Area on Route #35. We unanimously passed a resolution requesting the Town of Lewisboro Town Board to request the N. Y. State Traffic Commission to review this dangerous entrance and exit and change the dotted line to a solid line at that point.

Very truly yours,

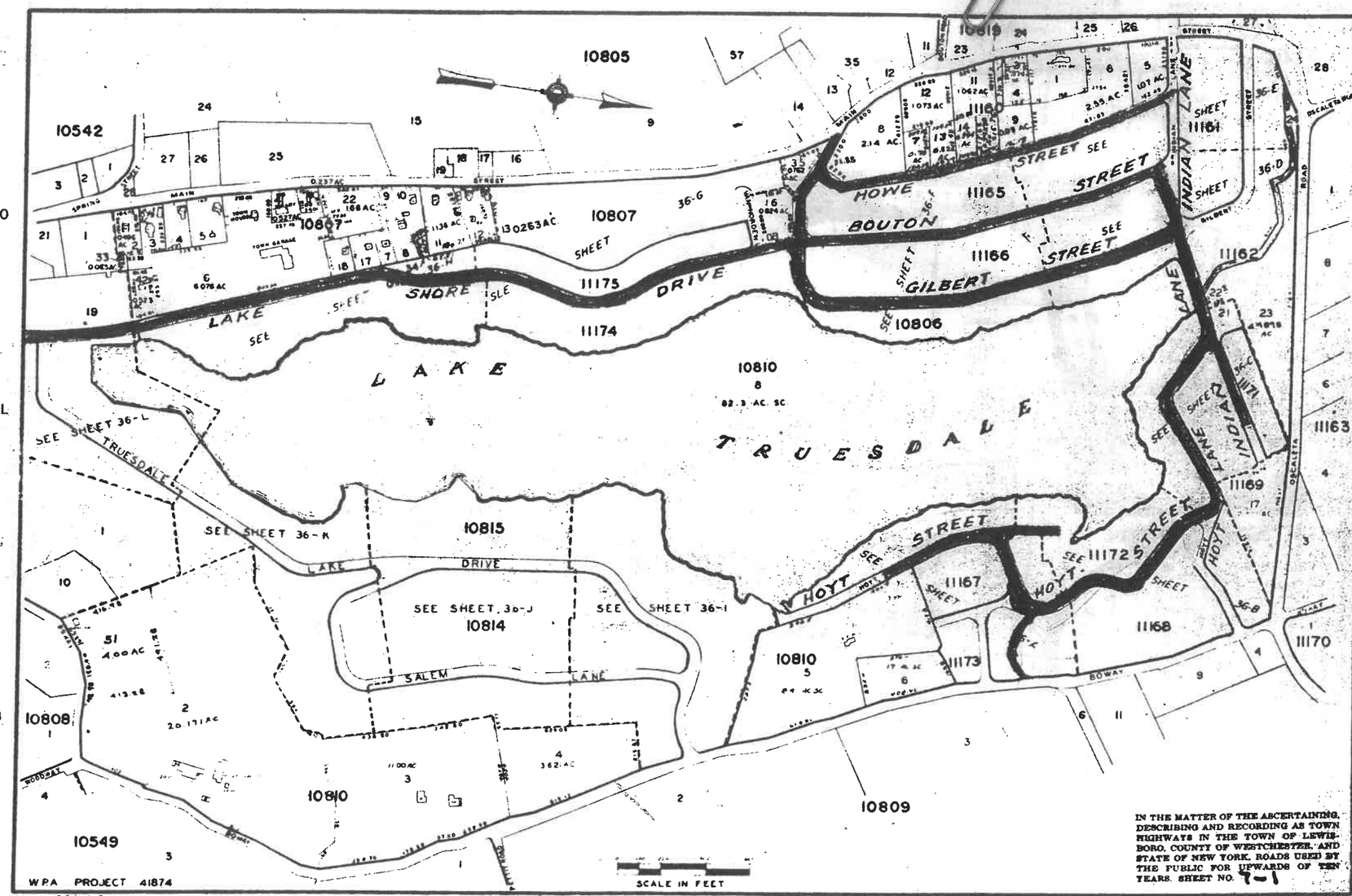
Derwaynelyapotassell

On motion of Mr. Cronk, seconded by Mr. Thibdeau, the following resolution was unanimously adopted:

RESOLVED, that the Town Clerk be directed to contact the N.Y.S. Department of Transportation and ask that they made a study of the Lewisboro Town Park, Route 35 area and request they change the dotted line in front of the park to a solid line because of the dangerous traffic situation at this location.

LEWISBORO CONSERVATION ADVISORY COUNCIL

The following letter was presented and referred to Town Attorney Stanley E. Anderson, Jr. for study and report:


31
32-B
30
36-L
38
35
37
36
10805
10542
10807
10807
10807

KELLARD SESSIONS

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP JKJ
Joseph M. Cermele, P.E., CFM JMC
Town Consulting Professionals

DATE: February 24, 2023

RE: Wetland Permit & Stormwater Permit
Nancy Simpkins
120 Mill River Road, South Salem
Sheet 45, Block 10299, Lot 86

PROJECT DESCRIPTION

The subject property consists of ±5 acres of land and is located at 120 Mill River Road within the R-2A Zoning District. The subject property is developed with a single-family residence, detached barn/cottage, driveway, potable well and two (2) individual septic systems. The applicant is proposing an addition to the residence, stormwater infiltration system and wetland mitigation area. On-site wetlands are jurisdictional to the New York State Department of Environmental Conservation (NYSDEC) and the Town of Lewisboro and the majority of the proposed addition is located within the Town's 150-foot regulated buffer.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. A Wetland Activity Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

COMMENTS

1. This office defers review of the plan for zoning compliance to the Building Inspector. It is recommended that the application be referred to the Building Inspector for review.

2. The area of the addition on Sheet A-1, and associated narratives, does not match the calculations for the proposed building coverage of Sheet A-2. Please coordinate as needed.

3. On-site wetlands are jurisdictional to the New York State Department of Environmental Conservation (NYSDEC) and the wetland boundary must be verified and validated by same. Please submit a Wetland Boundary Map, including a fully executed copy of the NYSDEC Wetland Validation Block.

4. The person responsible for the wetland delineation and date of the delineation should be noted on the plan.

5. The applicant shall submit a Wetland Report which shall contain the information required under Sections 217-5 and 6 of the Town's wetland ordinance.

6. While a wetland mitigation area has been depicted on the plan, a planting plan shall be provided.

7. The property is partially encumbered by the FEMA 100-year Floodplain (Zone A) and appears to extend close to the proposed area of improvements. The floodplain boundary shall be depicted on the plan. A Flood Development Permit will be required in accordance with Chapter 126 of the Town Code. Should any development be proposed within the floodplain, additional floodplain mitigation may be required to provide adequate compensatory storage to offset and potential loss in floodplain storage as a result of the project.

8. The area of disturbance shall be adjusted to include the oil tank removal. All proposed erosion controls must be located within the limits of disturbance.

9. The site plan shall include topography; grading; top and bottom elevations of walls; first floor elevations; elevations at door sills, stairs, walkways, etc.

10. All applicable Westchester County Department of Health (WCHD) separation distance requirements shall be illustrated and denoted on the plan to demonstrate compliance.

11. How was the location of the existing septic system derived? Provide any available information on the size and condition of the system, including recent inspections, if any.

12. The plan shall illustrate the location of the existing septic service line to the SSTS treatment areas. Additionally, please show the existing well and service line. The plan points to a patio for the well location but no symbol is shown. Please clarify.

13. The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and result shall be shown on the plan. Contact this office to schedule the testing.

14. The drainage plan shall specify slope of pipe, invert elevations, top of system, bottom of system, etc. Provide outlet protection details.

15. The plan shall include the proposed stormwater piping within the limits of disturbance (s.f.). In addition, the proposed soil stockpile area shall be relocated from above the proposed stormwater infiltration area.

16. The plan shall illustrate the location and connection between all proposed roof drains. It appears the southwest corner gutter downspout is not shown for the addition.

17. The plan shall illustrate the footing drain location on the site plan. Include the size, slope, and material of drainage pipe and provide outlet protection details.

18. Include erosion control measures on the plan, including, but not limited to, temporary construction access, silt fence, tree protection, erosion control blankets, construction sequence, etc. Details shall be provided and shall be in conformance with the most recent version of the New York State Standards and Specifications for Erosion and Sediment Control.

19. Proposed erosion controls must be shown for the disturbance associated to the stormwater treatment area work.

20. The plan shall note that disturbance limits shall be staked in the field prior to construction.

21. Provide existing/proposed floor plans for the 2nd floor of the residence and detached barn/cottage.

22. Clearly identify the number of existing and proposed bedrooms. The Building Department shall determine the need to refer the application to the WCHD for review of the proposed bedroom count and whether modifications or upgrades to the existing septic system are required.

23. All walls equal to or greater than four (4) feet in height shall be designed by a NYS Licensed Professional Engineer. Provide construction details and specifications on the plan. The plan

shall note that the construction of all walls equal to or greater than four (4) feet in height shall be certified by the Design Professional prior to issuance of a Certificate of Completion.

24. Provide construction details for all proposed improvements, including but not limited to, stone walls, stairs, stormwater pipe trench, bluestone walkways, Belgium block curb etc.

25. The applicant shall submit an updated existing condition survey (boundary and 2-foot contours), signed and sealed by a NYS Licensed Land Surveyor.

26. The plan shall illustrate and identify the location, specie type and diameter at breast height (dbh) of all trees with a dbh of 8 inches or greater and located within the limits of disturbance and 25 feet beyond. Indicate trees to be removed and/or protected. If no trees are proposed to be removed, a note on this effect shall be added to the plan.

27. The names of the adjacent property owners and the location of any neighboring driveways, structures, buildings, wells and septic areas shall appear on the plan.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY PATRICK M. CROKE, ARCHITECT, DATED FEBRUARY 3, 2023:

- Site Plan and General Notes (A-1)
- Stormwater System (A-2)
- Demolition Floor Plans (A-3)
- Basement Plan (A-4)
- First Floor Plan (A-5)
- Elevations (A-6)
- Elevations and Section (A-7)

DOCUMENTS REVIEWED:

- Letter, prepared by Patrick M. Croke, dated December 8, 2022
- Letter, prepared by Stephen W. Coleman, dated December 19, 2022
- Wetland Permit Application
- Stormwater Permit Application
- Short EAF, dated December8, 2022

JKJ/dc
https://kellardsessionsconsulti.sharepoint.com/sites/Kellard/Municipal/Lewisboro/Correspondence/2023-02-24_LWPB_Simpkins - 120 Mill River Road_Review Memo.docx

TO: The Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: Simpkins Residence, 120 Mill River Road, South Salem, NY 10590

DATE: February 8, 2023

The Conservation Advisory Council (CAC) has reviewed the materials submitted by the applicant for the construction of a bedroom addition.

The CAC would like to see a wetland mitigation plan with a planting list, a one-to-one calculation and a stormwater plan if necessary.

Patrick M. Croke
Architect

8 December 2022

Lewisboro Planning Board
79 Bouton Road
South Salem, New York 10590

RE: 120 Mill River Road
Zoning district R-2A, Sheet 45, block 10299, lot 86

Dear Chairperson Andersen and members of the Lewisboro Planning Board,

I represent the owner of the above referenced property and, on behalf of my client, enclosed for submission is an application and accompanying plans and documents in support of a request for a wetland's activity permit for the addition to the existing residence.

The project consists of the addition of a 729 SF space to be used as a master bedroom suite. A bedroom in the existing home is being renovated to no longer be considered a bedroom to maintain the current bedroom count and eliminate the need for any changes to the existing septic system. The addition consists of the bedroom suite at the first floor and storage and mechanical space in the basement below. The associated exterior work consists of the construction of a new stair from the upper driveway level to the basement and rear yard. The construction of the stair and basement will require the removal of a portion of a rock outcropping at the new stair location. Other exterior construction includes the relocation of HVAC condensers, the removal of an oil tank and the installation of new walkways and curbing. The total site disturbance is expected to be approximately 2213 SF at the construction area and 841 SF at the soil stockpile area for a total of 3054+/- SF. Approximately 1400 SF of disturbance will be between the 100' and 15' wetlands buffer lines. No disturbance is planned to be closer than the 100' buffer line. Material and vehicle storage will be on the existing driveway beyond the 150' buffer line.

We look forward to the opportunity to discuss this project further at the next available meeting of the Planning Board. In the meantime, please do not hesitate to contact me if you have any questions about the application or if you require additional information.

Sincerely,

Patrick M. Croke
LEED AP, BD+C

914 - 234 - 6093
www.pmcarchitect.com
20 Woodsbridge Road
Katonah, New York 10536

Patrick M. Croke
Architect

13 February 2023

Town of Lewisboro Planning Board
79 Bouton Road
South Salem, New York 10590

RE: Simpkins Residence, 120 Mill River Road, South Salem, NY 10590

Dear Chair Andersen and members of the Lewisboro Planning Board,

I represent, as architect, the owner of the above referenced property, and on behalf of my client, I present the following in response to the Conservation Advisory Council memo dated 2/8/23 for this project.

1. A wetland mitigation plan and a planting list were included with our submission.
2. The proposed mitigation planting area is approximately 1,000 SF. The proposed addition totals 729 SF. The mitigation planting area is 1.37 times the area of the addition.
3. A stormwater plan was included with our submission.

I look forward to the opportunity to discuss this further, if needed, at the next available meetings of the Planning Board. In the meantime, please do not hesitate to contact me if you have any questions about the application or require additional information.

Sincerely,

Patrick M. Croke
LEED AP, BD+C

914 - 234 - 6093
www.pmcarchitect.com
20 Woodsbridge Road
Katonah, New York 10536

Application No.: _____
Fee: _____ Date: _____

TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION

79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 875-9148

Project Address: 120 Mill River Road

Sheet: 45 Block: 10299 Lot(s): 86

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): Addition to house in 100-150' buffer, 2000+/- SF disturbance

Owner's Name: Nancy Simpkins Phone: (914) 533-6739

Owner's Address: 120 Mill River Road, South Salem Email: NancyKSimpkins@gmail.com

Applicant's Name (if different): Patrick Croke, Architect Phone: 914-234-6093

Applicant's Address: 20 Woodsbridge Rd, Katonah, NY 10536 Email: patrick@pmcarchitect.com

Agent's Name (if applicable): _____ Phone: _____

Agent's Address: _____ Email: _____

TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

☐ Administrative ☒ Planning Board

Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No

Total area of proposed disturbance: ☒ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☐ ≥1 acre

Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: Building permit

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: Nancy K. Simpkins Date: 12/8/22

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592
Fax: (914) 875-9148

Affidavit of Ownership

State of : New York

County of: New York

Nancy Simpkins, being duly sworn, deposes and says that he/she

resides at 120 Mill River Road, South Salem, NY 10590

in the County of Westchester, State of NY

and that he/she is (check one) X the owner, or ____ the _____
Title

of _____
Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of Lewisboro as:

Block 10299, Lot 86, on Sheet 45.

Nancy K. Simpkins
Owner's Signature

Sworn to before me this

12th **day of** December, 2022

FELICITA SURIEL
Notary Public - State of New York
NO. 01SU6355859
Qualified in New York County
My Commission Expires Mar 20, 2025

Notary Public – affix stamp

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant
(Please type or print)

PATRICK CROKE
Name of Applicant

SIMPKINS ADDITION
Project Name

Property Description

Tax Block(s): 10299

Tax Lot(s): 86

Tax Sheet(s): 45

Property Assessed to:

Name NANCY K. SIMPKINS

Address 120 MILL RIVER ROAD

City SO. SALEM *State* NY *Zip* 10590

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes: Deirdre G. Casper *Date* 9/9/22

Sworn to before me this

9th **day of** September, 2022

Janet L. Donohue
Signature - Notary Public (affix stamp)

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2020

Application No.: _____
Fee: _____ Date: _____

TOWN OF LEWISBORO
STORMWATER PERMIT APPLICATION

79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 875-9148

Project Address: 120 Mill River Road

Sheet: 45 Block: 10299 Lot(s): 86

Project Description (describe overall project including all proposed land development activities):
Addition to house of 729 SF within the 100-150' wetlands buffer, 3000+/- SF disturbance

Owner's Name: Nancy Simpkins Phone: (914) 533-6739

Owner's Address: 120 Mill River Road, South Salem Email: NancyKSimpkins@gmail.com

Applicant's Name (if different): Patrick Croke, Architect Phone: 914-234-6093

Applicant's Address: 20 Woodsbridge Rd, Katonah, NY 10536 Email: patrick@pmcarchitect.com

Agent's Name (if applicable): _____ Phone: _____

Agent's Address: _____ Email: _____

TO BE COMPLETED BY OWNER/APPLICANT

The approval authority is? (see §189-5 of the Town Code)

□ Town Engineer and Stormwater Management Officer ■ Planning Board

Is the project located within the NYCDEP Watershed? ■ Yes □ No

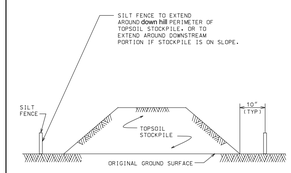
Total area of proposed disturbance: ■ 5,000 s.f. - < 1 acre □ ≥1 acre

Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity? □ Yes □ No □ Requires post-construction stormwater practice

Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: Building permit

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under §189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

Owner Signature: Nancy K. Simpkins Date: 12/8/22



NOTES:

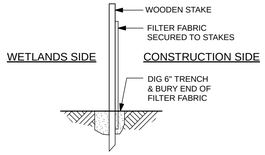
1. AN ON-SITE DRAINAGE SWALE SHALL BE LOCATED BETWEEN THE TOPSOIL STOCKPILE AND OFF-SITE PROPERTY.
2. REFERENCE IS MADE TO THE SILT FENCE DETAIL FOR MATERIALS AND INSTALLATION METHODS.
3. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH BURLAP MATTING OR SEEDED WITHIN 7 DAYS OF COMPLETION TO MINIMIZE EROSION.
4. INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF ½". REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. SEDIMENT TRAPPED BY THE FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.
6. SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN DIRECTED BY THE CITY.

NOT TO SCALE

TEMPORARY TOPSOIL STOCKPILE DETAIL

DATE: 3-31-09

F-5



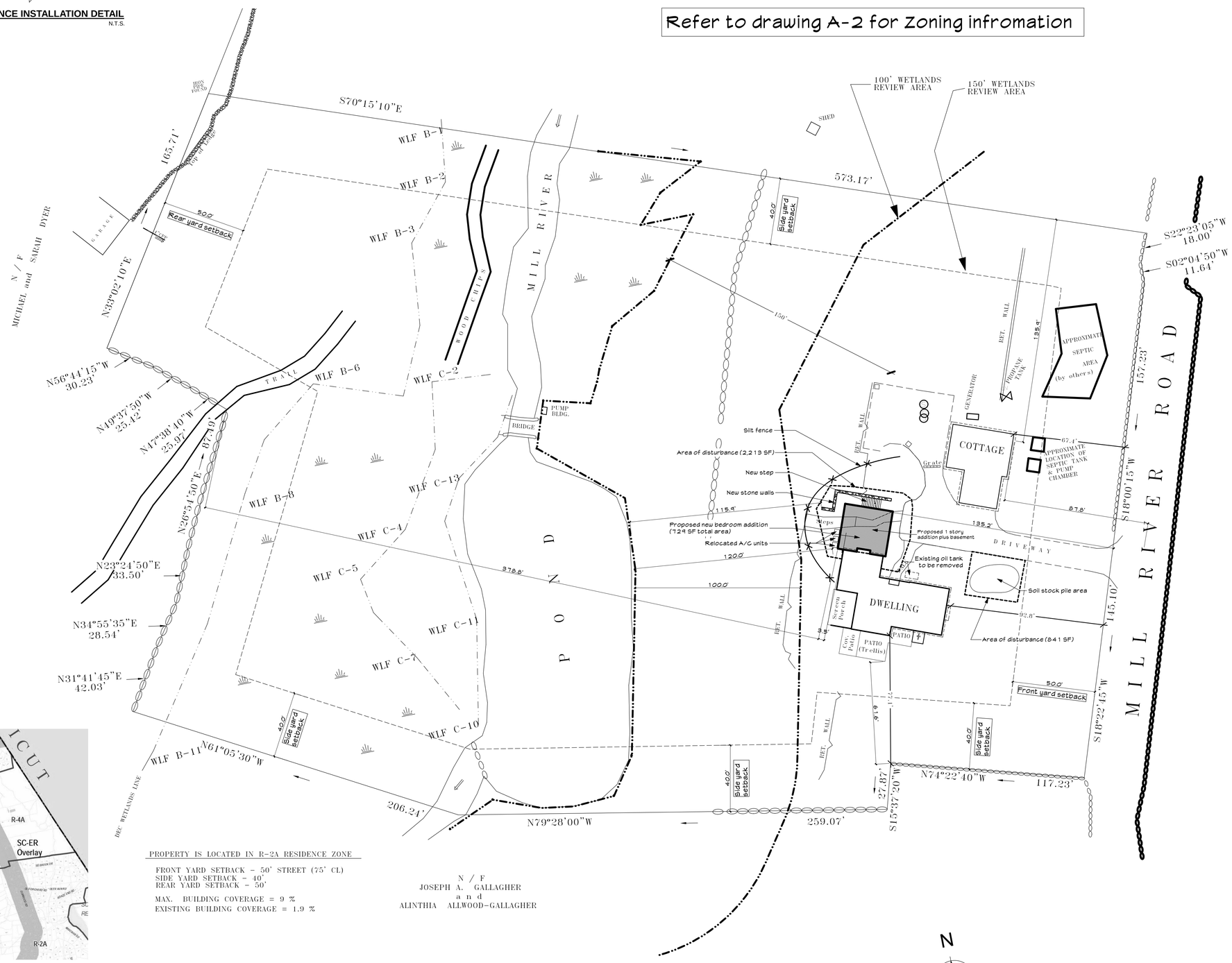
SILT FENCE INSTALLATION DETAIL

N.T.S.

Table R301.2(1)
Climatic and Geographic Design Criteria

Ground Snow Load	Wind Speed (MPH)	Seismic Design Category	Subject to damage from: Weathering	Frost line depth	Termite	Decay	Winter design temp.	Ice shield underlayment required	Flood hazards	Design load criteria: Floor (non-bedroom)	Floor (Bedroom)	Roof
45	90 - 100 MPH	C	Severe	42"	Moderate - heavy	Slight - moderate	7° F	Yes	361227A 3/84	40 live 15 dead	30 live 15 dead	30 live 15 dead

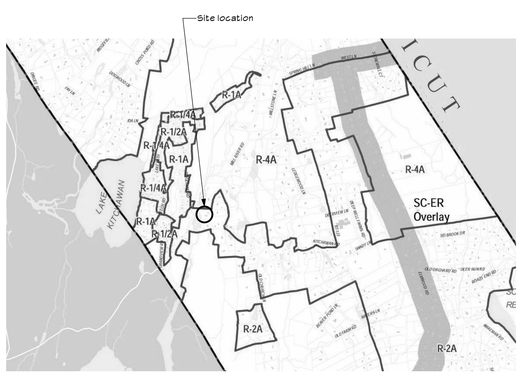
Refer to drawing A-2 for Zoning infromation



PROPERTY IS LOCATED IN R-2A RESIDENCE ZONE

FRONT YARD SETBACK - 50' STREET (75' CL)
SIDE YARD SETBACK - 40'.
REAR YARD SETBACK - 50'

MAX. BUILDING COVERAGE = 9 %
EXISTING BUILDING COVERAGE = 1.9 %



Z **Zoning map**

NOT TO SCALE

S **Site plan**

SCALE: 1" = 30'

Site plan based on survey prepared by RKW Land Surveying, last surveyed 11/15/22 and map completed 12/04/22.

N

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NOTE: DO NOT SCALE DRAWINGS

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This project is designed to conform to the 2020 Residential Code of NYS

No:	Description:	Date:	
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4	Revised per clients changes	10/17/22	☐
3	Site plan updates	09/20/22	☐
2	Permit submission	07/25/22	☐
1	Client revisions	07/22/22	☐

Revisions: R-#

Project Name:

Simpkins residence addition
120 Mill River Road
South Salem, New York

Drawing Title:

Site plan and general notes

Date: 12/09/22
Revised as noted above

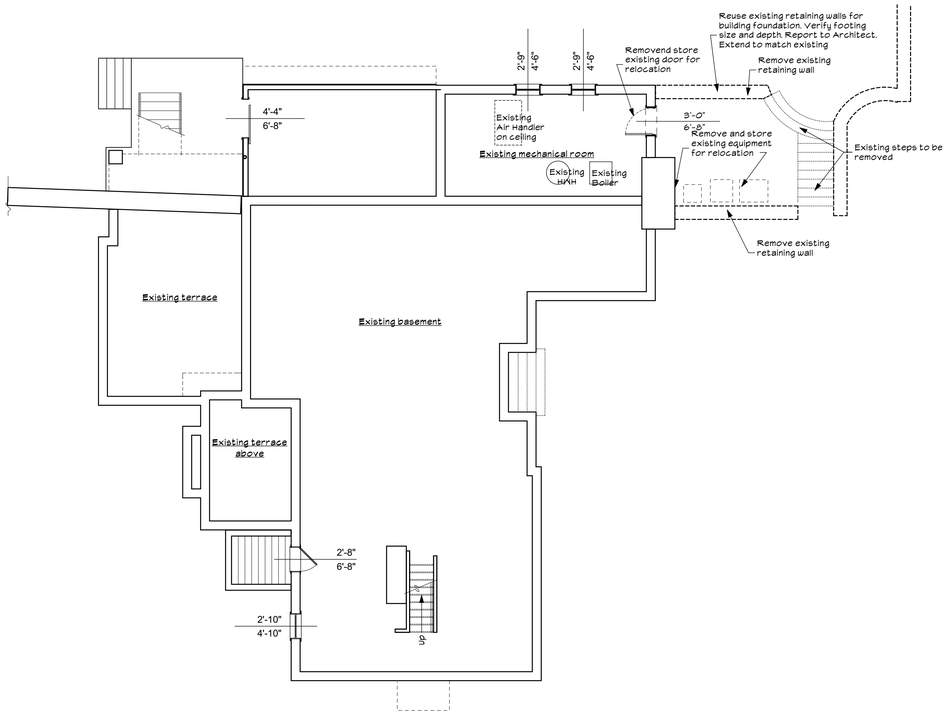
Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

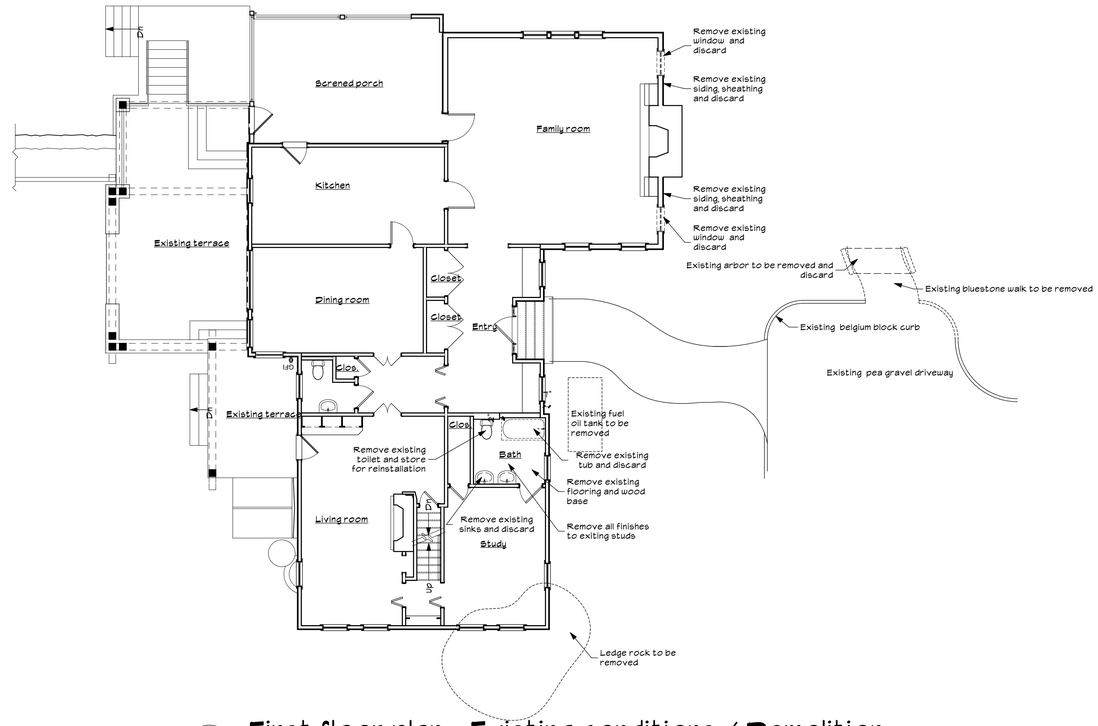
Drawing Number:

A-1



-1 Basement plan - Existing conditions/ Demolition

SCALE: 1/8" = 1' - 0"



1e First floor plan - Existing conditions / Demolition

SCALE: 1/8" = 1' - 0"

Energy Conservation Construction Code of New York State, Residential

Schedule of insulation and fenestration requirements
(Table N1102.1.2 (R402.1.2) of the 2020 Residential Code of New York State)

Climate zone #4a - Westchester, Suffolk and Nassau Counties and NYC

Building component	Maximum U-factor	Minimum R-value (c)	Depth of insulation
Fenestration	0.32		
Glazed fenestration SHGC	0.40		
Skylight	0.55		
Ceiling/ Roof		49 (d, e)	
Wood framed wall		20 cavity or 13 cavity +5 continuous	
Mass wall (a) (b)		8/13	
Floor		19	
Basement wall (b)		10/13	
Slab (unheated)		10	2 ft
Slab (heated)		5 under full slab plus 10 vert edge	2 ft
Crawl space wall (b)		10/13	

All existing portions of the building shell that are opened are to be insulated by having cavities filled with insulation as per Note C.

(a) The second R-value applies when more than half the insulation is on the interior of the mass wall.

(b) The first value shown represents minimum "R" value of continuous insulated sheathing on the interior or the exterior of the wall, the second value shown represents minimum "R" value of cavity insulation at the interior of the basement wall. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.

(c) Alterations, renovations or repairs to roof/ceiling, wall or floor cavities shall be insulated as noted above where possible. If the available cavity is not deep enough, such areas shall be insulated to full depth with insulation having a minimal nominal value of R-3.0/inch. (N1109.1.1 (R503.1.1) of the 2020 Residential Code of New York State)

(d) Ceilings with attic spaces - Where R-49 installation is required in ceilings, installation of R-38 over 100% of the ceiling area requiring installation shall satisfy the requirement for R-49 insulation wherever the full height of uncompressed R 38 insulation extends over the wall top plate at eaves. (R402.2.1)

(e) Ceilings without attic spaces - Where greater than R-30 installation is required in roof/ceilings, installation of R-38 over 100% of the ceiling area requiring installation shall satisfy the requirement for R-49 insulation wherever the full height of uncompressed R 38 insulation extends over the wall top plate at eaves. (R402.2.1)

Envelope insulation values

Schedule of Insulation and fenestration reqirements
Table N1102.1.2 (R402.1.2) of the Residential Code of New York State

Surface	CODE Minimum R-value	TO BE INSTALLED Insulation type, see key below	Thickness (Inches)	R-value per inch	Installed R-value	Notes
New 2x6 exterior walls	20	SIPF-Open	5.5	3.8	21	
Floor - 2x10 floor joist	19	SIPF-Open	9	3.8	34	
Roof - 2x12 rafters	49	SIPF-Open	13	3.8	49	
Existing cavities insulated as per ECCCNY 101.4.3, ex 3						
2x4 cavity	11	FG-VB	3.5	3.0	11	See note below ECCCNY 101.4.3, exception 3
2x6 cavity	17	FG-VB	5.5	3.0	17	See note below ECCCNY 101.4.3, exception 3
2x8 cavity	22	FG-VB	7.25	3.0	22	See note below ECCCNY 101.4.3, exception 3
2x10 cavity	28	FG-VB	9.25	3.0	28	See note below ECCCNY 101.4.3, exception 3
2x12 cavity	34	FG-VB	11.25	3.0	34	See note below ECCCNY 101.4.3, exception 3

Insulation type key
FG-VB = Fiberglass batt insulation with integral vapor barrier, typical R value = 3.0/inch
SIPF-Closed = Closed cell sprayed in place foam insulation, typical R value = 7.0/inch
SIPF-Open = Open cell sprayed in place foam insulation, typical R value = 3.8/inch
Rigid board = Polyisocyanurate rigid foam board insulation, R 6.5/inch, continuous with taped joints.

ECCCNY 101.4.3, exception 3 - Alterations, renovations or repairs to roof/ceiling, wall or floor cavities shall be insulated as noted above where possible. If the available cavity is not deep enough, such areas shall be insulated to full depth with insulation having a minimal nominal value of R-3.0/inch.

Note: Provide sprayed on thermal barrier that meet requirements as per R316.4 of the 2020 Residental Code of New York State on all exposed sprayed-in-place foam

Addition complies with the 2020 NY energy code

Zoning analysis

New addition to existing 1 family residence
120 Mill River Road South Salem, N.Y.

Section: 66.1
Block: 1
Lot: 3
Zone: R-2A
Lot size (acres): 5.001
Lot size (square feet): 217,844

Regulation	Minimum	Maximum	Actual (Existing)	Proposed	Remarks
Min. lot size (acres)	2		5.001	5.001	
Min. lot width	200'		332	332	
Front yard (Feet) from street center line	75'		87.8	87.8	3
Front yard (Feet) from front lot line	50'		67.4	67.4	3
Side one (Feet)	40'		61.6	61.6	2
Rear yard (Feet)	50'		382.3	378.8	1
Max. height, stories		2 1/2	2	2	2
Max. height, feet		35'	26' +/-	26' +/-	2
Building coverage		9%	1.89%	2.17%	Percentage
		19,606	4,112	4,731	Square feet

Note : dimensions on the zoning table are from the lesser dimension
1 - Dimension is from new addition
2 - Dimension is from existing residence
3 - Dimension is from existing barn

Building coverage summary

120 Mill River Road South Salem, N.Y.

Based on survey prepared by RKW Land Surveying, last surveyed 11/15/22 and map completed 12/04/22

Section: 66.1
Block: 1
Lot: 3
Zone: R-2A
Lot size (acre): 5.001 217,844 SF
Max. Principle bldg: 9% 19,606 SF

Structure	Existing Foot print	Existing % of lot	Proposed Change (SF)	Proposed Foot print	Proposed % of lot
Residence	2,192	1.01%	0	2,192	1.01%
Screen porch	315	0.14%	0	315	0.14%
Covered patio	169	0.08%	0	169	0.08%
Barn	1,436	0.66%	0	1,436	0.66%
New addition		0.00%	619	619	0.28%
Total building coverage	**4,112**	**1.89%**	**619**	**4,731**	**2.17%**

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2	Permit submission	07/25/22	☐
1	Client revisions	07/22/22	☐

Revisions:

Project Name:
Simpkins residence addition
120 Mill River Road
South Salem, New York

Drawing Title:
Demolition Floor Plans

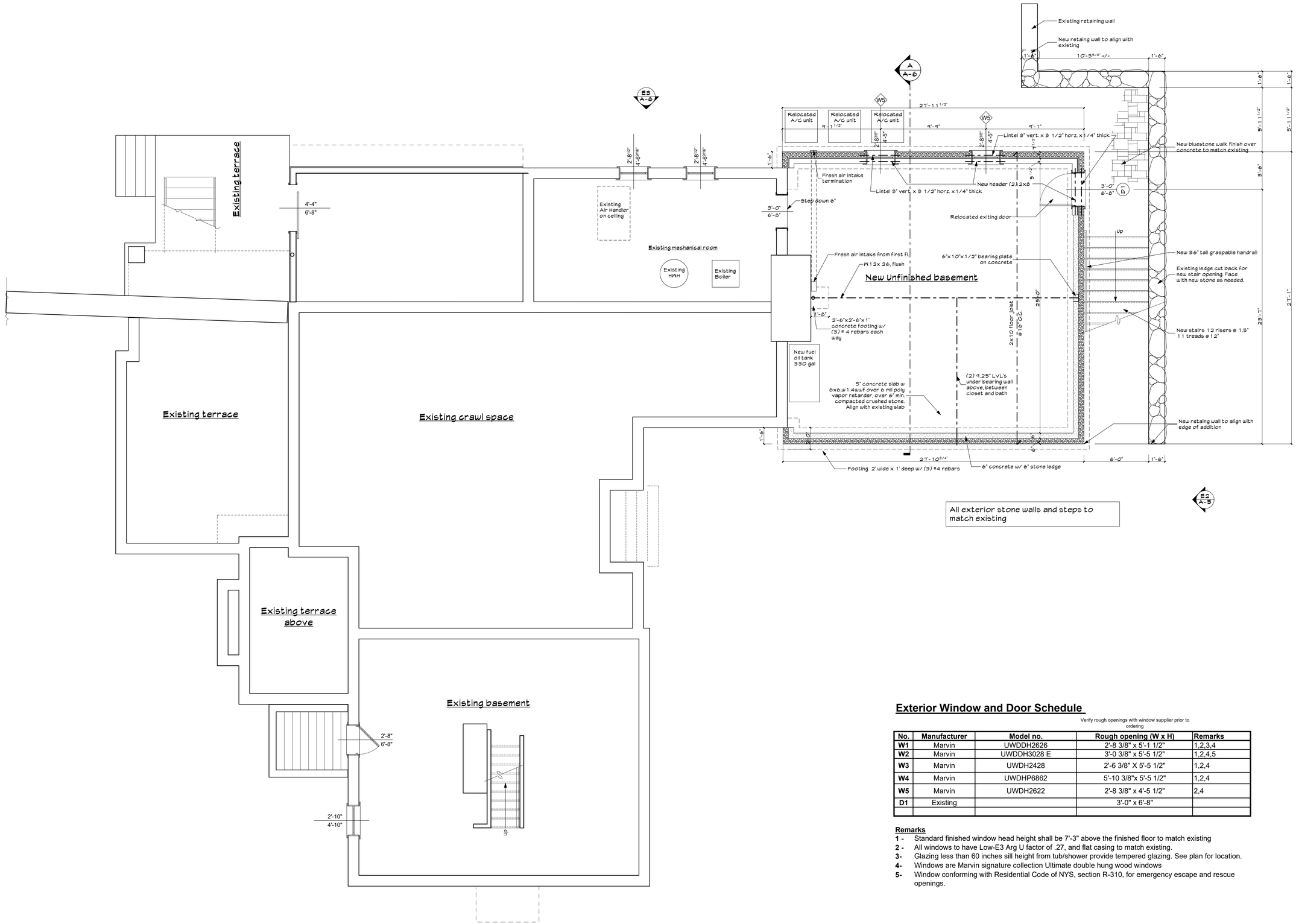
Date: 12/09/22
Revised as noted above

Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:
A-2



All exterior stone walls and steps to match existing

Exterior Window and Door Schedule

Verify rough openings with window supplier prior to ordering

No.	Manufacturer	Model no.	Rough opening (W x H)	Remarks
W1	Marvin	UWDDH2626	2'-8 3/8" x 5'-1 1/2"	1,2,3,4
W2	Marvin	UWDDH3028 E	3'-0 3/8" x 5'-5 1/2"	1,2,4,5
W3	Marvin	UWDH2428	2'-6 3/8" X 5'-5 1/2"	1,2,4
W4	Marvin	UWDHP6862	5'-10 3/8"x 5'-5 1/2"	1,2,4
W5	Marvin	UWDH2622	2'-8 3/8" x 4'-5 1/2"	2,4
D1	Existing		3'-0" x 6'-8"	

Remarks

1 - Standard finished window head height shall be 7'-3" above the finished floor to match existing
2 - All windows to have Low-E3 Arg U factor of .27, and flat casing to match existing.
3- Glazing less than 60 inches sill height from tub/shower provide tempered glazing. See plan for location.
4- Windows are Marvin signature collection Ultimate double hung wood windows
5- Window conforming with Residential Code of NYS, section R-310, for emergency escape and rescue openings.

Basement plan - Renovation

1

SCALE: 1/4" = 1' - 0"

E1
A-5

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Revisions:

Project Name:

Simpkins residence addition
120 Mill River Road
South Salem, New York

Drawing Title:

Basement Plan

Date: 12/09/22
Revised as noted above

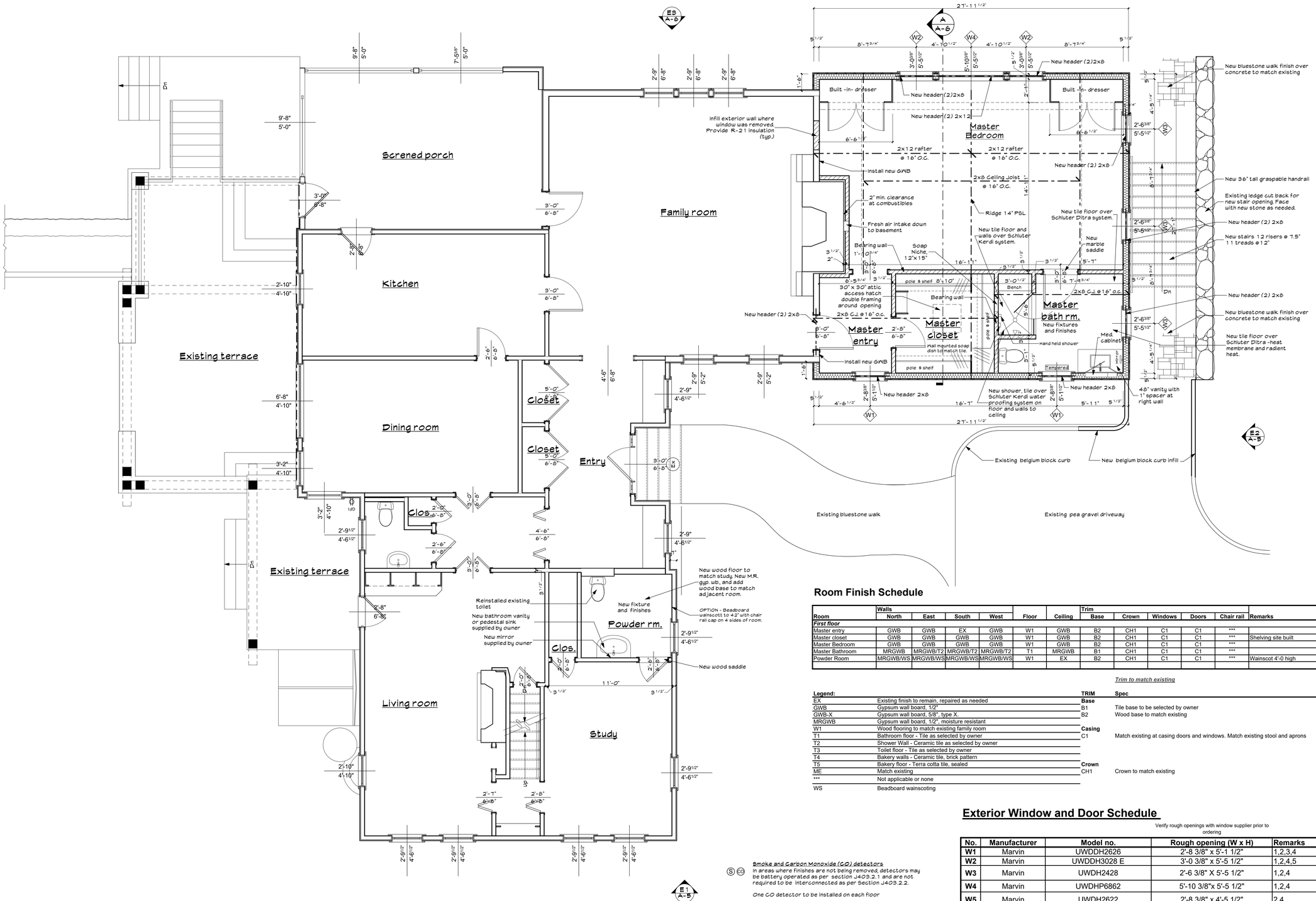
Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:

A-3



1r First floor plan - Renovation

SCALE: 1/4" = 1' - 0"

Smoke and Carbon Monoxide (CO) detectors

In areas where finishes are not being removed, detectors may be battery operated as per section J403.2.1 and are not required to be interconnected as per Section J403.2.2.

One CO detector to be installed on each floor

A minimum of one smoke detector to be installed on each floor. One smoke detector to be installed in each bedroom of the second floor and one in the hall within 10' of the door to each bedroom.

Room Finish Schedule

Room	Walls North	East	South	West	Floor	Ceiling	Trim Base	Crown	Windows	Doors	Chair rail	Remarks
First floor												
Master entry	GWB	GWB	EX	GWB	W1	GWB	B2	CH1	C1	C1	***	
Master closet	GWB	GWB	GWB	GWB	W1	GWB	B2	CH1	C1	C1	***	Shelving site built
Master Bedroom	GWB	GWB	GWB	GWB	W1	GWB	B2	CH1	C1	C1	***	
Master Bathroom	MRGWB	MRGWB/T2	MRGWB/T2	MRGWB/T2	T1	MRGWB	B1	CH1	C1	C1	***	
Powder Room	MRGWB/WS	MRGWB/WS	MRGWB/WS	MRGWB/WS	W1	EX	B2	CH1	C1	C1	***	Wainscot 4'-0 high

Trim to match existing

Legend:		TRIM	Spec
EX	Existing finish to remain, repaired as needed	**Base**	
GWB	Gypsum wall board, 1/2"	B1	Tile base to be selected by owner
GWB-X	Gypsum wall board, 5/8", type X.	B2	Wood base to match existing
MRGWB	Gypsum wall board, 1/2", moisture resistant		
W1	Wood flooring to match existing family room	**Casing**	
T1	Bathroom floor - Tile as selected by owner	C1	Match existing at casing doors and windows. Match existing stool and aprons
T2	Shower Wall - Ceramic tile as selected by owner		
T3	Toilet floor - Tile as selected by owner		
T4	Bakery walls - Ceramic tile, brick pattern		
T5	Bakery floor - Terra cotta tile, sealed	**Crown**	
ME	Match existing	CH1	Crown to match existing
***	Not applicable or none		
WS	Beadboard wainscoting		

Exterior Window and Door Schedule

Verify rough openings with window supplier prior to ordering

No.	Manufacturer	Model no.	Rough opening (W x H)	Remarks
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D1	Existing		3'-0" x 6'-8"	

Remarks

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3- Glazing less than 60 inches sill height from tub/shower provide tempered glazing. See plan for location.
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5- Window conforming with Residential Code of NYS, section R-310, for emergency escape and rescue openings.

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Revisions:

Project Name:

Simpkins residence addition
120 Mill River Road
South Salem, New York

Drawing Title:

First Floor plan

Date: 12/09/22
Revised as noted above

Project #: 21010

Scale: As noted

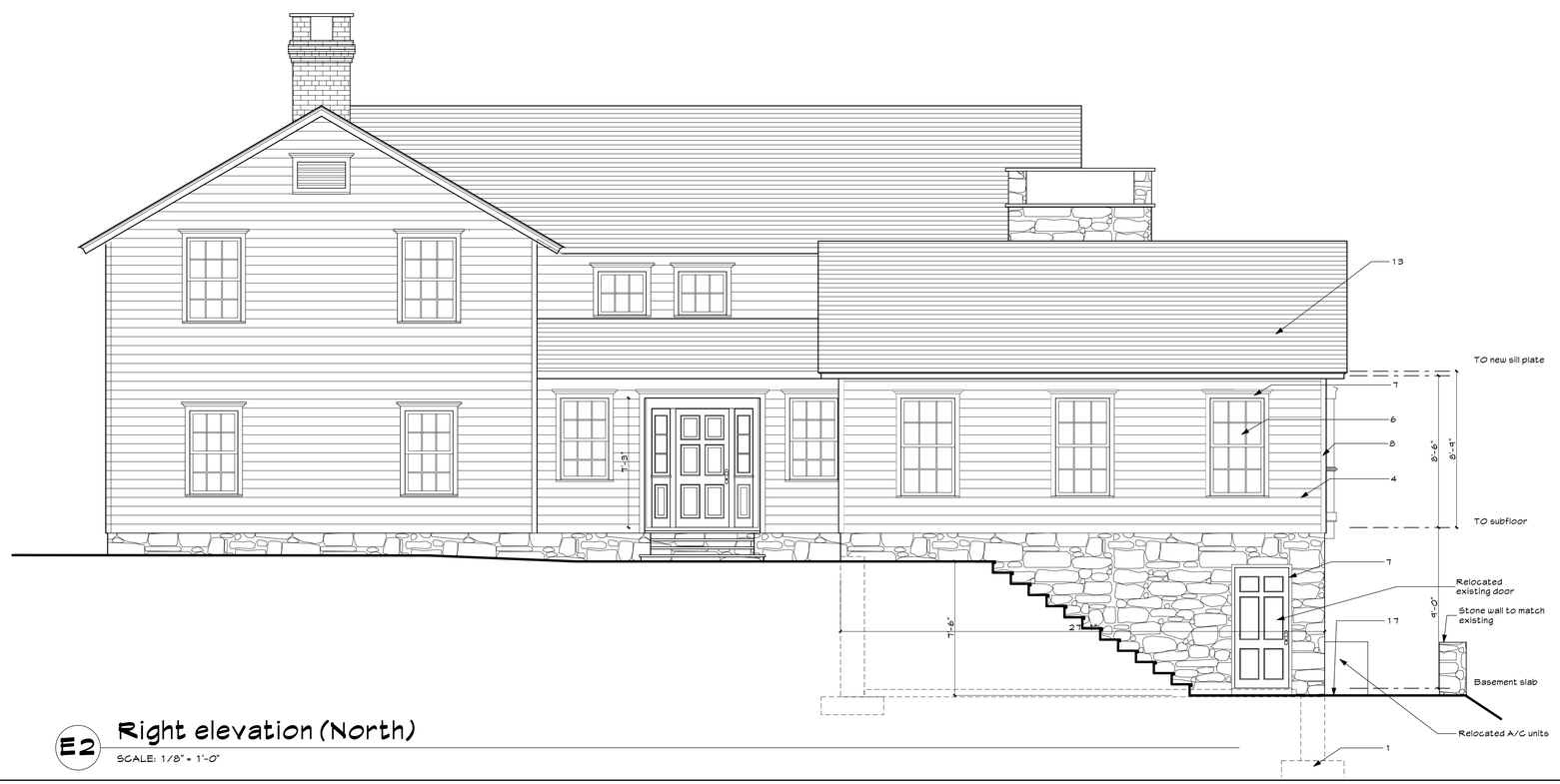
REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:

A-4

E1 Front elevation (East)

SCALE: 1/8" = 1'-0"



E2 Right elevation (North)

SCALE: 1/8" = 1'-0"

Elevation and section key notes

1 - FOOTING ASSEMBLY
- 12" X 24" concrete footing (bottom of footing at 42" min. below grade min.
- (3) continuous #4 rebars (minimum 3" cover)
- Rebars to be bonded together and tied into electric grounding electrode system

2 - FOOTING DRAIN ASSEMBLY
- 4" perforated footing drain
- Set in 12" x 12" crushed stone
- Cover with filter fabric
- Connect to existing system

3 - MUD SILL ASSEMBLY
- Continuous 2x6 pressure treated sill
- Sill sealer
- Anchor bolts @ 6'-0" o.c. minimum, 1'-0" mumimum to corners

4 - EXTERIOR WALL ASSEMBLY
- Wood siding to match existing
- TYVEK house wrap
- 1/2" CDX plywood R-sheathing 1 ½" (R-5) or "Advantech"
- 2x6 studs @ 16" o.c. or match existing where needed
- insulation as per #12
- 1/2" gypsum wall board

5 - FLOOR ASSEMBLY
- Finish flooring (as per owner)
- 3/4" wood flooring
- 1/2" cement backer board or ½" CDX plywood Schluter Ditra system under tile and Kerdi at shower
- 3/4" CDX T&G "Advantech" or CDX plywood floor sheathing, glued
- Floor joists - as per plan

6 - EXTERIOR WINDOWS & DOORS
- Window finished head height as shown on drawings
- "Marvin" units, size & model as per floor plans and window schedule

7 - EXTERIOR WINDOW TRIM
- Wood trim to match existing
- Copper flashing overhead trim

8 - CORNER BOARDS
- Match existing

9 - INTERIOR WALL ASSEMBLY
- 2"x4" studs @ 16" o.c.
- ½" gypsum wall board on both sides
- Moisture/ mold resistant at all wet areas

10 - INTERIOR DOORS
- Match existing style
- Refer to floor plans for size, location and orientation

11 - INTERIOR TRIM
- Match existing

12 - INSULATION
- Sprayed in place foam of a minimum R-value as notes in Energy Conservation code of New York State, residential

13 - PITCHED ROOF ASSEMBLY
- Shingles to match existing
- ice & water shield at all eaves, valleys and roof to wall joints, typical
- 15lb. felt paper
- 5/8" CDX plywood sheathing
- Roof rafters- Simpson H2.5A (or similar) connection to wall plate
- Ceiling joists- as per plan
- insulation as per #12
- Plastic vent channels at cathedral ceilings and at eaves
- Continuous ridge vent by GOR-A-VENT

14 - EAVE ASSEMBLY
- Match existing

15 - RAKE ASSMEBLY
- Match existing

16 - ROOF WATER DRAINAGE
- Copper gutters and leaders to match existing (not shown on plans and elevations)
- Drain into boot and solid PVC pipe separate from footing drains, run to daylight
- All joints to be mitered, screwed, glued and sealed with caulk and primer upon completion of fabrication
- 5 ½" neck base around bottom
- Flashing with copper
- Provide ventilation at top and bottom

17 - TERRACE PLATFORM
- 1 ½" New York bluestone to match existing set in 1 ½" mortar bed
- 4" concrete slab with 6x6W1.4xW1.4 W.W.F.
- 6" min. compacted crush stone base

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NOTE: DO NOT SCALE DRAWINGS

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7	Planning Board submission for wetlands permit review	12/09/22	☒
6	Updated site plan pased on new survey, correction to R-2A zone	12/06/22	☐
5	Revised per Building Dept. comments	12/01/22	☐
4	Revised per clients changes	10/17/22	☐
3	Site plan updates	09/20/22	☐
2	Permit submission	07/25/22	☐
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins residence addition
120 Mill River Road
South Salem, New York

Drawing Title:

Elevations

Date: 12/09/22
Revised as noted above

Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

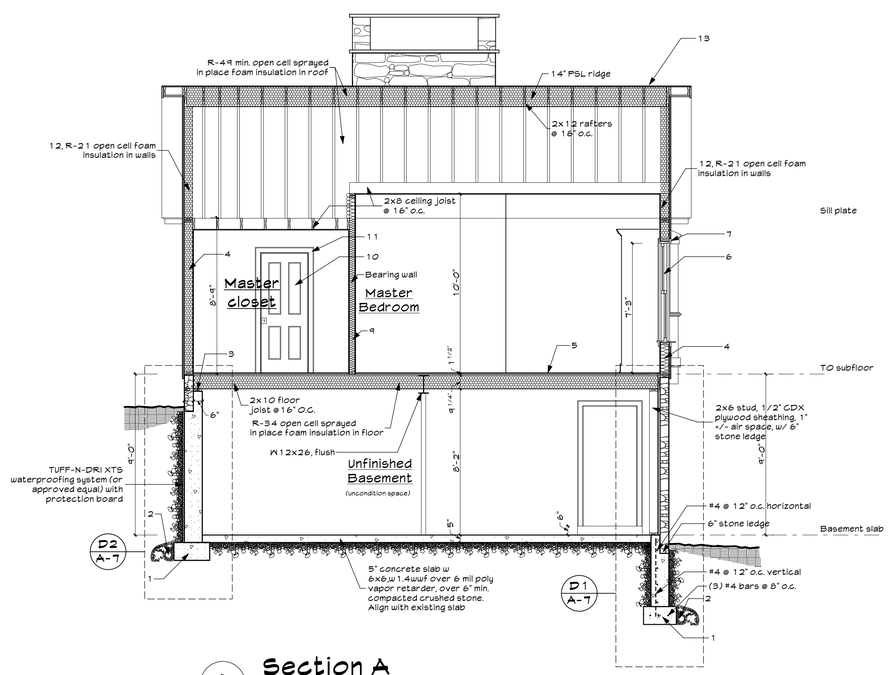
Drawing Number:

A-5

Refer to drawing A-5 for Elevation and Section key notes

E3 Rear elevation (West)

SCALE: 1/8" = 1'-0"



A Section A

SCALE: 1/4" = 1' - 0"

GENERAL NOTES AND SPECIFICATIONS FOR STRUCTURAL MEMBERS

SECTION 03010 - CONCRETE

A. Scope of Work
1) Concrete shall be ready mix 3500 psi ultimate strength in 28 days. Slump shall not exceed 4".
2) Reinforcement shall be as indicated. Slabs shall be reinforced with 6" x 6" W1.4 x W1.4 WWF unless otherwise indicated. All reinforcing bars shall conform to ASTM (A625) deformed bars with a minimum yield stress of 40,000 PSI.

B. Execution
1) Place concrete in conformance with American Concrete Institute Standards.

SECTION 04200 - UNIT MASONRY

A. Materials
1) Concrete Masonry Units (CMU) ASTM C90, Grade N, Type 1, normal weight units.
2) Bricks - Standard Modular Brick, color as specified by architect.
3) Masonry Mortar, Exterior: ASTM C 270, portland cement-lime mortar, Type M.
4) Continuous Masonry Wire Reinforcement: Truss or Ladder design, minimum 9 ga. welded steel wire, 0.8 oz. hot-dip zinc coating, width 1-1/2" to 2" less than wall thickness.

B. Execution
1) Comply with recommendations of the National Concrete Masonry Association and A.C.I.531.
2) Install continuous masonry wire reinforcement at every other course in CMU walls. Overlap at corners. Lap 16" at ends.
3) Anchor wall to adjacent construction with panel anchors.
4) Bond intersecting walls with masonry units or provide anchors spaced 0'- 8" O.C.
5) Anchor ends of walls to structure with anchors spaced 8" O.C., except as otherwise shown.
6) Do masonry work only when average daily temperature is above 40 degrees F. or consult Architect for cold weather procedures which shall be provided at no additional cost.

SECTION 05120 - STRUCTURAL STEEL

A. Materials
1) Steel shapes, plates, and bars: ASTM A36.
2) Steel pipe: ASTM A501
3) High strength threaded fasteners: ASTM A325

B. Execution
1) Comply with Specifications for the Design, Fabrication and Erection of Structural Steel for Buildings of the American Institute of Steel Construction (latest edition).

SECTION 06100 - ROUGH CARPENTRY

A. Materials
1) Framing shall be as shown on the drawings and shall conform to all applicable building codes. All members unless otherwise noted (U.O.N.) on structural drawings shall be one of the following:
   a) Douglas Fir (South) No. 2 or Better (Minimum design values in psi: Fb=825, Fv=90, E=1,200,000).
   b) TJI Joists - Plywood web joists as manufactured by Trus Joist Corporation.
   c) LVL as used on the drawings refers to 2.0 E Microllam Laminated Veneer Lumber beams manufactured under the TrusJoist brand by Weyerhauser.
   d) PSL as used on the drawings refers to 2.0 E Microllam Parallel Strand Lumber beams manufactured under the TrusJoist brand by Weyerhauser.
   e) LSL as used on the drawings refers to 1.3 E TimberStrand Laminated Strand Lumber beams manufactured under the TrusJoist brand by Weyerhauser.
   f) Any framing lumber in contact with concrete, exposed to weather or less than 6" above grade shall be pressure treated unless specifically noted otherwise.
   g) Prefabricated Wood Trusses - Gable shaped trusses manufactured from standard dimensional lumber connected by metal plates. Trusses shall be designed, engineered and certified by professional engineer so that when constructed and installed they meet the requirements of all applicable codes.
2) Studs shall be nom. 2" x 6" for exterior wall and nom. 2" x 4" for interior walls unless otherwise noted, and placed not over 16 o.c. and shall be doubled at openings and tripled at corners.
3) Joists and rafters shall be single lengths between bearings and doubled around openings. All joists under parallel partitions and all headers and trimmers shall be doubled.
4) Connectors at all flush framing and where noted shall be galvanized as manufactured by Teco, Simson, or equal. Sizes as required.
5) Provide blocking, bridging, cats, furring, etc., as required by good practice. Cross-bridging shall not be over 8'-0" o.c. in all floor and roof framing of standard dimensional lumber.
6) All members manufactured by Trus Joist Corporation shall be installed in strict accordance with the manufacturer's requirements and suggested details.
7) All floor and flat roof systems utilizing shall be constructed as a "glued and nailed" system with 3/4" T&G plywood sheathing.
8) Any wood or laminated beam supported on steel columns shall be supported using Lally Column Caps (LCC) as manufactured by Simpson. LCC to be welded to column or provide other sufficient permanent attachment to column.

Members on the drawings noted as "LVL" refer to MICRO=LAM brand veneer lumber

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3	Site plan updates	09/20/22	☐
2	Permit submission	07/25/22	☐
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins residence addition
120 Mill River Road
South Salem, New York

Drawing Title:

Elevations and section

Date: 12/09/22
Revised as noted above

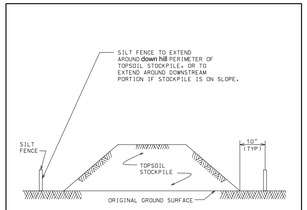
Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:

A-6



NOTES:

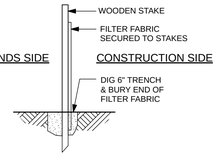
1. AN ON-SITE DRAINAGE SWALE SHALL BE LOCATED BETWEEN THE TOPSOIL STOCKPILE AND OFF-SITE PROPERTY.
2. REFERENCE IS MADE TO THE SILT FENCE DETAIL FOR MATERIALS AND INSTALLATION METHODS.
3. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH BURLAP MATTING OR SEEDED WITHIN 7 DAYS OF COMPLETION TO MINIMIZE EROSION.
4. INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF ½". REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. SEDIMENT TRAPPED BY THE FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.
6. SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN DIRECTED BY THE CITY.

NOT TO SCALE

TEMPORARY TOPSOIL STOCKPILE DETAIL

DATE: 3-31-09

F-5



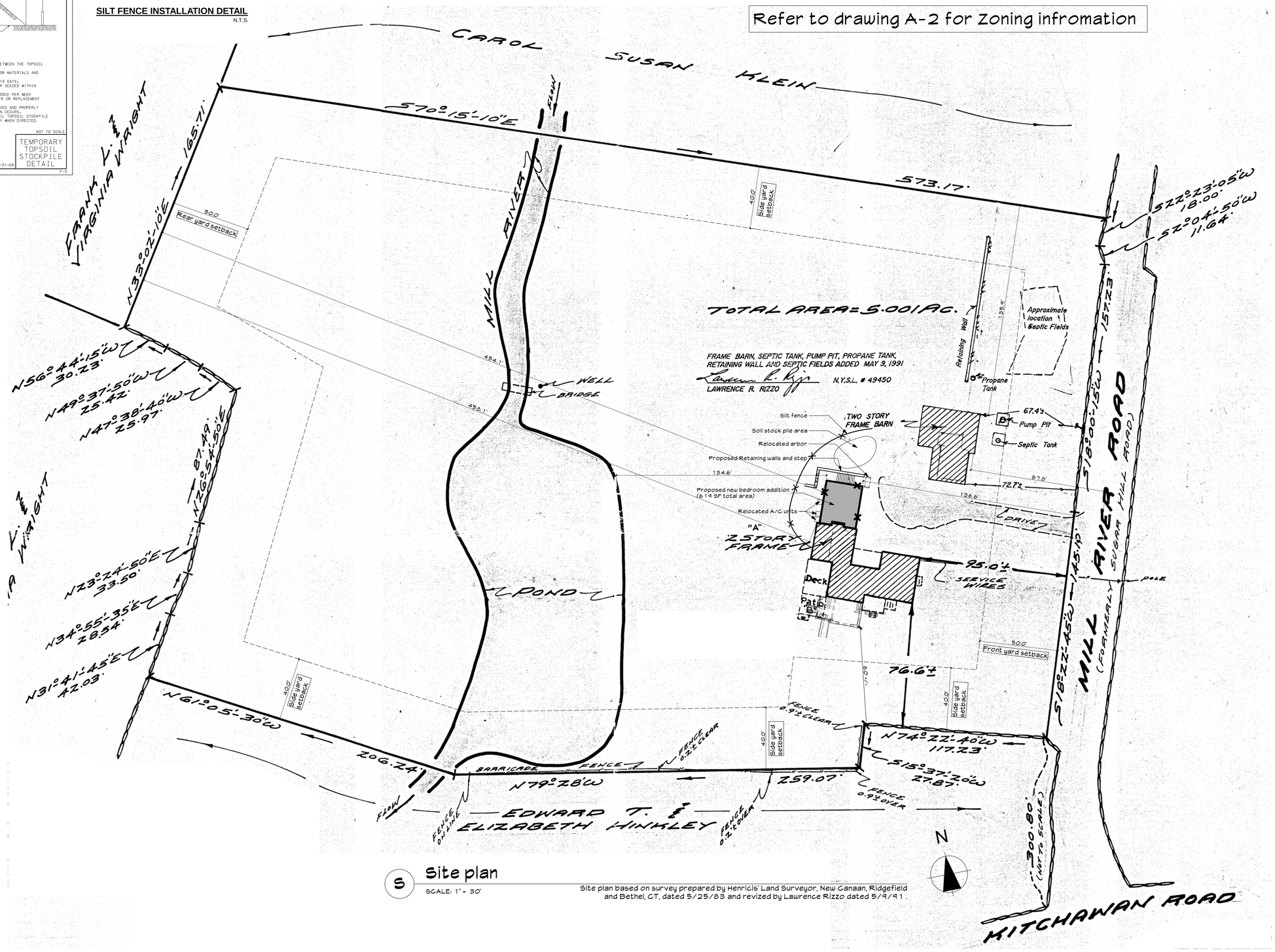
SILT FENCE INSTALLATION DETAIL

N.T.S.

Table R301.2(1)
Climatic and Geographic Design Criteria

Ground Snow Load	Wind Speed (MPH)	Seismic Design Category	Subject to damage from: Weathering	Frost line depth	Termite	Decay	Winter design temp.	Ice shield underlayment required	Flood hazards	Design load criteria: Floor (non-bedroom)	Floor (Bedroom)	Roof
45	90 - 100 MPH	C	Severe	42"	Moderate - heavy	Slight - moderate	7° F	Yes	361227A 3/84	40 live 15 dead	30 live 15 dead	30 live 15 dead

Refer to drawing A-2 for Zoning infromation



S Site plan

SCALE: 1" = 30'

Site plan based on survey prepared by Henricis' Land Surveyor, New Canaan, Ridgefield and Bethel, CT, dated 5/25/83 and revized by Lawrence Rizzo dated 5/9/91.

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No:	Description:	Date:	
2	Permit submission	07/25/22	☒
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:

Site plan and general notes

Date: 07/25/22
Revised as noted above

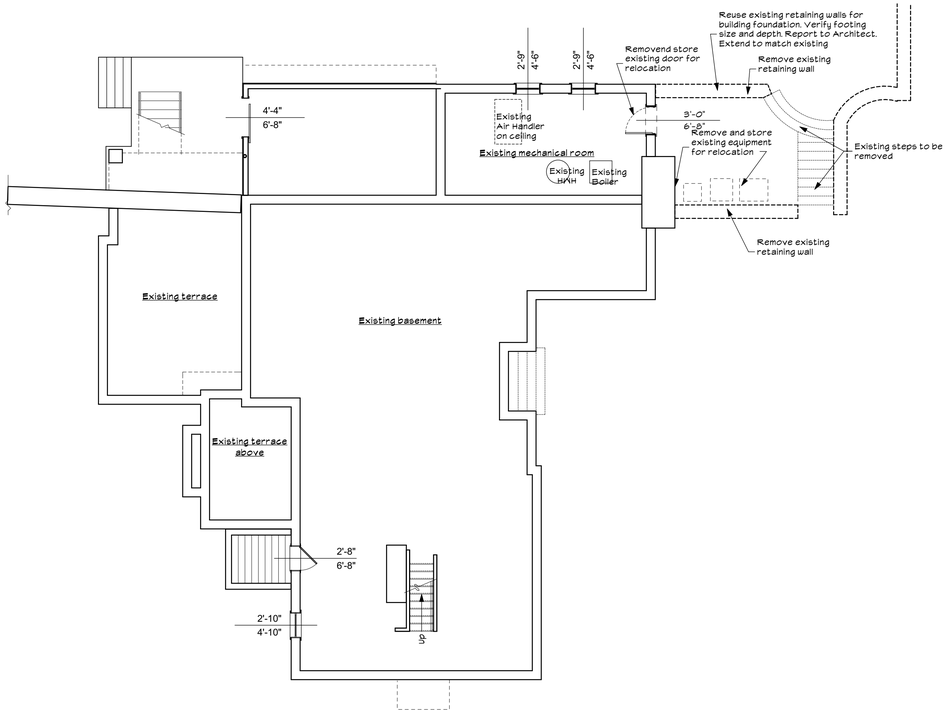
Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 17551 STATE OF NEW YORK

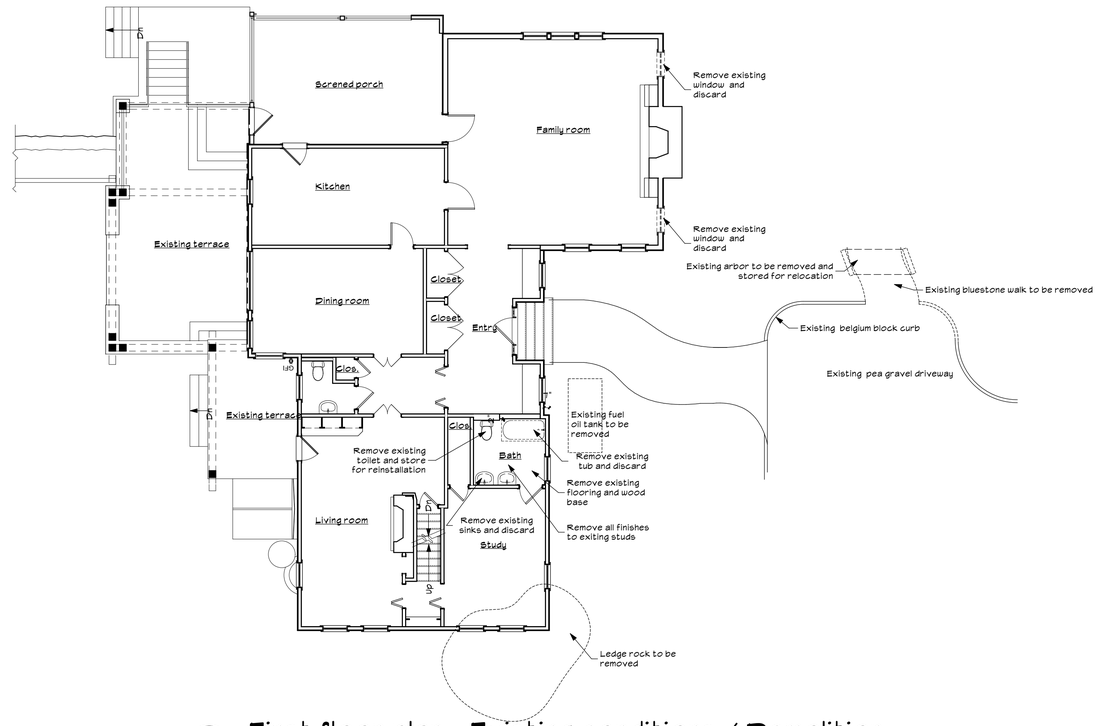
Drawing Number:

A-1



-1 Basement plan - Existing conditions/ Demolition

SCALE: 1/8" = 1' - 0"



1e First floor plan - Existing conditions / Demolition

SCALE: 1/8" = 1' - 0"

Energy Conservation Construction Code of New York State, Residential

Schedule of insulation and fenestration requirements
(Table N1102.1.2 (R402.1.2) of the 2020 Residential Code of New York State)

Climate zone #4a - Westchester, Suffolk and Nassau Counties and NYC

Building component	Maximum U-factor	Minimum R-value (c)	Depth of insulation
Fenestration	0.32		
Glazed fenestration SHGC	0.40		
Skylight	0.55		
Ceiling/ Roof		49 (d, e)	
Wood framed wall		20 cavity or 13 cavity +5 continuous	
Mass wall (a) (b)		8/13	
Floor		19	
Basement wall (b)		10/13	
Slab (unheated)		10	2 ft
Slab (heated)		5 under full slab plus 10 vert edge	2 ft
Crawl space wall (b)		10/13	

All existing portions of the building shell that are opened are to be insulated by having cavities filled with insulation as per Note C.

(a) The second R-value applies when more than half the insulation is on the interior of the mass wall.

(b) The first value shown represents minimum "R" value of continuous insulated sheathing on the interior or the exterior of the wall, the second value shown represents minimum "R" value of cavity insulation at the interior of the basement wall. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.

(c) Alterations, renovations or repairs to roof/ceiling, wall or floor cavities shall be insulated as noted above where possible. If the available cavity is not deep enough, such areas shall be insulated to full depth with insulation having a minimal nominal value of R-3.0/inch. (N1109.1.1 (R503.1.1) of the 2020 Residential Code of New York State)

(d) Ceilings with attic spaces - Where R-49 installation is required in ceilings, installation of R-38 over 100% of the ceiling area requiring installation shall satisfy the requirement for R-49 insulation wherever the full height of uncompressed R 38 insulation extends over the wall top plate at eaves. (R402.2.1)

(e) Ceilings without attic spaces - Where greater than R-30 installation is required in roof/ceilings, installation of R-38 over 100% of the ceiling area requiring installation shall satisfy the requirement for R-49 insulation wherever the full height of uncompressed R 38 insulation extends over the wall top plate at eaves. (R402.2.1)

Zoning analysis

New addition to existing 1 family residence
120 Mill River Road South Salem, N.Y.

Section: 66.1
Block: 1
Lot: 3
Zone: R-2A
Lot size (acres): 5.001
Lot size (square feet): 217,844

Regulation	Minimum	Maximum	Actual (Existing)	Proposed	Remarks
Min. lot size (square feet)	87,120		217,844	217,844	
Min. lot width	200'		332	332	
Front yard (Feet) from street center line	75'		87	87	3
Front yard (Feet) from front lot line	50'		67.4	67.4	3
Side one (Feet)	40'		60	60	2
Rear yard (Feet)	50'		458	454	1
Max. height, stories		2 1/2	2	2	
Max. height, feet		35'	26' +/-	26' +/-	
Building coverage		9%	1.77%	2.05%	Percentage
		19,606	3,852	4,471	Square feet

Note : dimensions on the zoning table are from the lesser dimension
1 - Dimension is from new addition
2 - Dimension is from existing residence
3 - Dimension is from existing barn

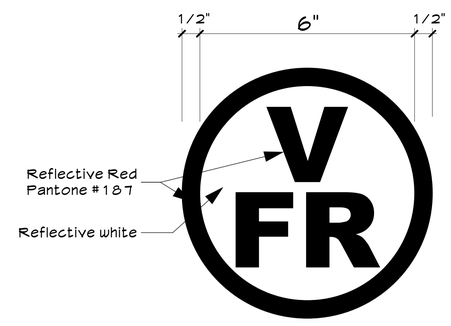
Building coverage summary

120 Mill River Road South Salem, N.Y.

As per Henricis' Land Surveyor dated 5/25/83 revised by Lawrence Rizzo dated 5/9/91

Section: 66.1
Block: 1
Lot: 3
Zone: R-2A
Lot size (acre): 5.001 217,844 SF
Max. Principle bldg: 9% 19,606 SF

Structure	Existing Foot print	Existing % of lot	Change (SF)	Proposed Foot print	Proposed % of lot
Residence	2,113	0.97%	0	2,113	0.97%
Screen porch	310	0.14%	0	310	0.14%
Barn	1,429	0.66%	0	1,429	0.66%
New addition		0.00%	619	619	0.28%
Total building coverage	**3,852**	**1.77%**	**619**	**4,471**	**2.05%**



This structure contains pre-engineered wood construction in floors and roofs. The required notification placard, shown above, shall be installed on the exterior of the building in a location to be approved by the building department.

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No:	Description:	Date:	
2	Permit submission	07/25/22	☒
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:

Demolition Floor Plans

Date: 07/25/22
Revised as noted above

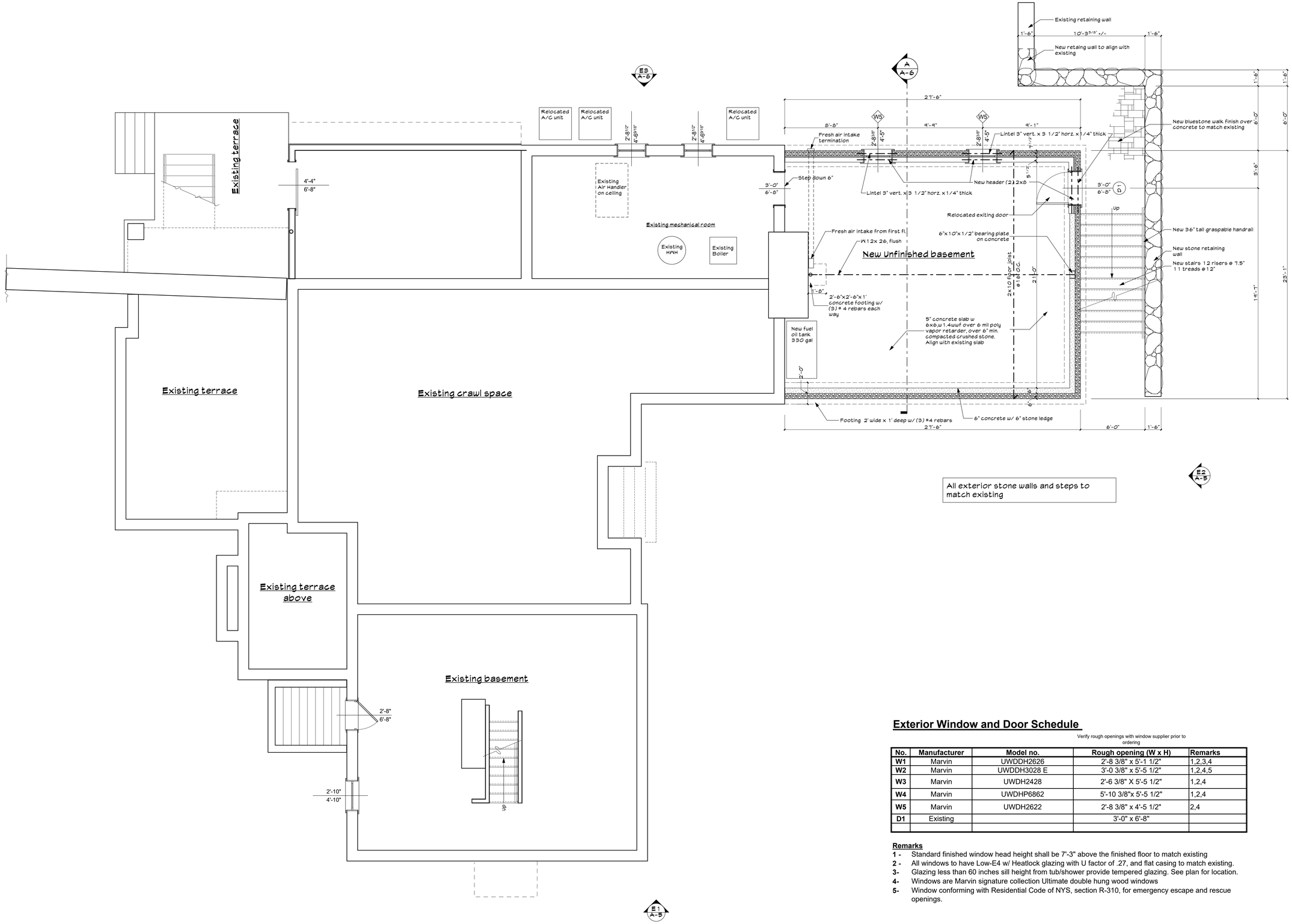
Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 17551 STATE OF NEW YORK

Drawing Number:

A-2



All exterior stone walls and steps to match existing

Exterior Window and Door Schedule

Verify rough openings with window supplier prior to ordering

No.	Manufacturer	Model no.	Rough opening (W x H)	Remarks
W1	Marvin	UWDDH2626	2'-8 3/8" x 5'-1 1/2"	1,2,3,4
W2	Marvin	UWDDH3028 E	3'-0 3/8" x 5'-5 1/2"	1,2,4,5
W3	Marvin	UWDH2428	2'-6 3/8" X 5'-5 1/2"	1,2,4
W4	Marvin	UWDHP6862	5'-10 3/8"x 5'-5 1/2"	1,2,4
W5	Marvin	UWDH2622	2'-8 3/8" x 4'-5 1/2"	2,4
D1	Existing		3'-0" x 6'-8"	

Remarks

1 - Standard finished window head height shall be 7'-3" above the finished floor to match existing
2 - All windows to have Low-E4 w/ Heatlock glazing with U factor of .27, and flat casing to match existing.
3- Glazing less than 60 inches sill height from tub/shower provide tempered glazing. See plan for location.
4- Windows are Marvin signature collection Ultimate double hung wood windows
5- Window conforming with Residential Code of NYS, section R-310, for emergency escape and rescue openings.

- 1 Basement plan - Renovation

SCALE: 1/4" = 1' - 0"

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2	Permit submission	07/25/22	☒
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:

Basement Plan

Date: 07/25/22
Revised as noted above

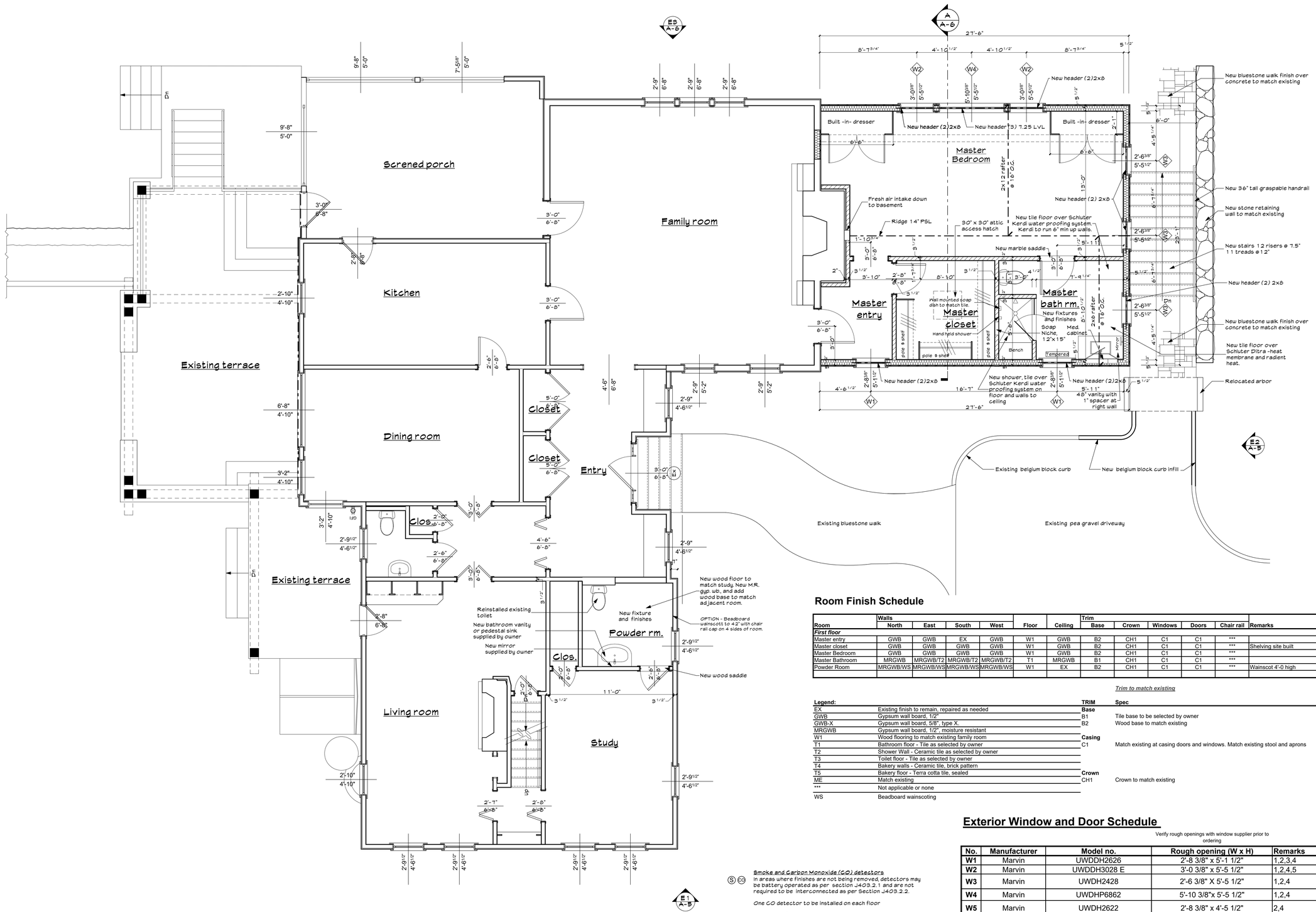
Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:

A-3



1r First floor plan - Renovation

SCALE: 1/4" = 1' - 0"

Room Finish Schedule

Room	Walls North	Walls East	Walls South	Walls West	Floor	Ceiling	Trim Base	Trim Crown	Trim Windows	Trim Doors	Trim Chair rail	Remarks
First floor												
Master entry	GWB	GWB	EX	GWB	W1	GWB	B2	CH1	C1	C1	***	
Master closet	GWB	GWB	GWB	GWB	W1	GWB	B2	CH1	C1	C1	***	Shelving site built
Master Bedroom	GWB	GWB	GWB	GWB	W1	GWB	B2	CH1	C1	C1	***	
Master Bathroom	MRGWB	MRGWB/T2	MRGWB/T2	MRGWB/T2	T1	MRGWB	B1	CH1	C1	C1	***	
Powder Room	MRGWB/WS	MRGWB/WS	MRGWB/WS	MRGWB/WS	W1	EX	B2	CH1	C1	C1	***	Wainscot 4'-0 high

Legend:	
EX	Existing finish to remain, repaired as needed
GWB	Gypsum wall board, 1/2"
GWB-X	Gypsum wall board, 5/8", type X.
MRGWB	Gypsum wall board, 1/2", moisture resistant
W1	Wood flooring to match existing family room
T1	Bathroom floor - Tile as selected by owner
T2	Shower Wall - Ceramic tile as selected by owner
T3	Toilet floor - Tile as selected by owner
T4	Bakery walls - Ceramic tile, brick pattern
T5	Bakery floor - Terra cotta tile, sealed
ME	Match existing
***	Not applicable or none
WS	Beadboard wainscoting

Trim to match existing

TRIM	Spec
Base	
B1	Tile base to be selected by owner
B2	Wood base to match existing
Casing	
C1	Match existing at casing doors and windows. Match existing stool and aprons
Crown	
CH1	Crown to match existing

Exterior Window and Door Schedule

Verify rough openings with window supplier prior to ordering

No.	Manufacturer	Model no.	Rough opening (W x H)	Remarks
W1	Marvin	UWDDH2626	2'-8 3/8" x 5'-1 1/2"	1,2,3,4
W2	Marvin	UWDDH3028 E	3'-0 3/8" x 5'-5 1/2"	1,2,4,5
W3	Marvin	UWDH2428	2'-6 3/8" X 5'-5 1/2"	1,2,4
W4	Marvin	UWDHP6862	5'-10 3/8"x 5'-5 1/2"	1,2,4
W5	Marvin	UWDH2622	2'-8 3/8" x 4'-5 1/2"	2,4
D1	Existing		3'-0" x 6'-8"	

Remarks

1 - Standard finished window head height shall be 7'-3" above the finished floor to match existing
2 - All windows to have Low-E4 w/ Heatlock glazing with U factor of .27, and flat casing to match existing.
3- Glazing less than 60 inches sill height from tub/shower provide tempered glazing. See plan for location.
4- Windows are Marvin signature collection Ultimate double hung wood windows
5- Window conforming with Residential Code of NYS, section R-310, for emergency escape and rescue openings.

S CO **Smoke and Carbon Monoxide (CO) detectors**

In areas where finishes are not being removed, detectors may be battery operated as per section J403.2.1 and are not required to be interconnected as per Section J403.2.2.

One CO detector to be installed on each floor

A minimum of one smoke detector to be installed on each floor. One smoke detector to be installed in each bedroom of the second floor and one in the hall within 10' of the door to each bedroom.

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NOTE: DO NOT SCALE DRAWINGS

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This project is designed to conform to the 2020 Residential Code of NYS

No:	Description:	Date:
2	Permit submission	07/25/22
1	Client revisions	07/22/22

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:

First Floor plan

Date: 07/25/22
Revised as noted above

Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 17551 STATE OF NEW YORK

Drawing Number:

A-4

E 1 Front elevation (East)

SCALE: 1/8" = 1'-0"

E2 Right elevation (North)

SCALE: 1/8" = 1'-0"

Elevation and section key notes

1 - FOOTING ASSEMBLY
- 12" X 24" concrete footing (bottom of footing at 42" min. below grade min.
- (3) continuous #4 rebars (minimum 3" cover)
- Rebars to be bonded together and tied into electric grounding electrode system

2 - FOOTING DRAIN ASSEMBLY
- 4" perforated footing drain
- Set in 12" x 12" crushed stone
- Cover with filter fabric
- Connect to existing system

3 - MUD SILL ASSEMBLY
- Continuous 2x6 pressure treated sill
- Sill sealer
- Anchor bolts @ 6'-0" o.c. minimum, 1'-0" mumimum to corners

4 - EXTERIOR WALL ASSEMBLY
- Wood siding to match existing
- TYVEK house wrap
- 1/2" CDX plywood sheathing
- 2x6 studs @ 16" o.c. or match existing where needed
- insulation as per #12
- 1/2" gypsum wall board

5 - FLOOR ASSEMBLY
- Finish flooring (as per owner)
- 3/4" wood flooring
- 1/2" cement backer board or ½" CDX plywood Schluter Ditra system under tile and Kerdi at shower
- 3/4" CDX T&G "Advantech" or CDX plywood floor sheathing, glued
- Floor joists - as per plan

6 - EXTERIOR WINDOWS & DOORS
- Window finished head height as shown on drawings
- "Marvin" units, size & model as per floor plans and window schedule

7 - EXTERIOR WINDOW TRIM
- Wood trim to match existing
- Copper flashing overhead trim

8 - CORNER BOARDS
- Match existing

9 - INTERIOR WALL ASSEMBLY
- 2"x4" studs @ 16" o.c.
- ½" gypsum wall board on both sides
- Moisture/ mold resistant at all wet areas

10 - INTERIOR DOORS
- Match existing style
- Refer to floor plans for size, location and orientation

11 - INTERIOR TRIM
- Match existing

12 - INSULATION
- Sprayed in place foam of a minimum R-value as notes in Energy Conservation code of New York State, residential

13 - PITCHED ROOF ASSEMBLY
- Shingles to match existing
- Ice & water shield at all eaves, valleys and roof to wall joints, typical
- 15lb. felt paper
- 5/8" CDX plywood sheathing
- Roof rafters- Simpson H2.5A (or similar) connection to wall plate
- Ceiling joists- as per plan
- Insulation as per #12
- Plastic vent channels at cathedral ceilings and at eaves
- Continuous ridge vent by COR-A-VENT

14 - EAVE ASSEMBLY
- Match existing

15 - RAKE ASSEMBLY
- Match existing

16 - ROOF WATER DRAINAGE
- Copper gutters and leaders to match existing (not shown on plans and elevations)
- Drain into boot and solid PVC pipe separate from footing drains, run to daylight
- All joints to be mitered, screwed, glued and sealed with caulk and primer upon completion of fabrication
- 5 ¼" neck base around bottom
- Flashing with copper
- Provide ventilation at top and bottom

17 - TERRACE PLATFORM
- 1 ½" New York bluestone to match existing set in 1 ½" mortar bed
- 4" concrete slab with 6x6W1.4xW1.4 W.W.F.
- 6" min. compacted crush stone base

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This project is designed to conform to the 2020 Residential Code of NYS

No:	Description:	Date:	
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2	Permit submission	07/25/22	☒
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:

Elevations

Date: 07/25/22
Revised as noted above

Project #: 21010

Scale: As noted

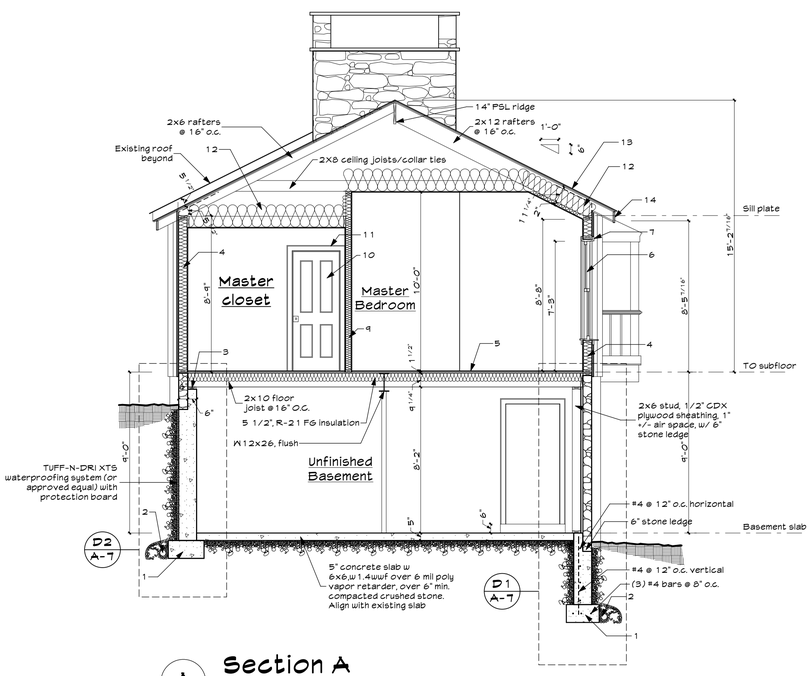
REGISTERED ARCHITECT PATRICK MICHAEL CROKE 17551 STATE OF NEW YORK

Drawing Number:

A-5

E3 Rear elevation (West)

SCALE: 1/8" = 1'-0"



A Section A

SCALE: 1/4" = 1'-0"

GENERAL NOTES AND SPECIFICATIONS FOR STRUCTURAL MEMBERS

SECTION 03010 - CONCRETE

A. Scope of Work
1) Concrete shall be ready mix 3500 psi ultimate strength in 28 days. Slump shall not exceed 4".
2) Reinforcement shall be as indicated. Slabs shall be reinforced with 6" x 6" W1.4 x W1.4 WWF unless otherwise indicated. All reinforcing bars shall conform to ASTM (A625) deformed bars with a minimum yield stress of 40,000 PSI.

B. Execution
1) Place concrete in conformance with American Concrete Institute Standards.

SECTION 04200 - UNIT MASONRY

A. Materials
1) Concrete Masonry Units (CMU) ASTM C90, Grade N, Type 1, normal weight units.
2) Bricks - Standard Modular Brick, color as specified by architect.
3) Masonry Mortar, Exterior: ASTM C 270, portland cement-lime mortar, Type M.
4) Continuous Masonry Wire Reinforcement: Truss or Ladder design, minimum 9 ga. welded steel wire, 0.8 oz. hot-dip zinc coating, width 1-1/2" to 2" less than wall thickness.

B. Execution
1) Comply with recommendations of the National Concrete Masonry Association and A.C.I.531.
2) Install continuous masonry wire reinforcement at every other course in CMU walls. Overlap at corners. Lap 16" at ends.
3) Anchor wall to adjacent construction with panel anchors.
4) Bond intersecting walls with masonry units or provide anchors spaced 0'- 8" O.C.
5) Anchor ends of walls to structure with anchors spaced 8" O.C., except as otherwise shown.
6) Do masonry work only when average daily temperature is above 40 degrees F. or consult Architect for cold weather procedures which shall be provided at no additional cost.

SECTION 05120 - STRUCTURAL STEEL

A. Materials
1) Steel shapes, plates, and bars: ASTM A36.
2) Steel pipe: ASTM A501
3) High strength threaded fasteners: ASTM A325

B. Execution
1) Comply with Specifications for the Design, Fabrication and Erection of Structural Steel for Buildings of the American Institute of Steel Construction (latest edition).

SECTION 06100 - ROUGH CARPENTRY

A. Materials
1) Framing shall be as shown on the drawings and shall conform to all applicable building codes. All members unless otherwise noted (U.O.N.) on structural drawings shall be one of the following:
   a) Douglas Fir (South) No. 2 or Better (Minimum design values in psi: Fb=825, Fv=90, E=1,200,000).
   b) TJI Joists - Plywood web joists as manufactured by Trus Joist Corporation.
   c) LVL as used on the drawings refers to 2.0 E Microllam Laminated Veneer Lumber beams manufactured under the TrusJoist brand by Weyerhauser.
   d) PSL as used on the drawings refers to 2.0 E Microllam Parallel Strand Lumber beams manufactured under the TrusJoist brand by Weyerhauser.
   e) LSL as used on the drawings refers to 1.3 E TimberStrand Laminated Strand Lumber beams manufactured under the TrusJoist brand by Weyerhauser.
   f) Any framing lumber in contact with concrete, exposed to weather or less than 6" above grade shall be pressure treated unless specifically noted otherwise.
   g) Prefabricated Wood Trusses - Gable shaped trusses manufactured from standard dimensional lumber connected by metal plates. Trusses shall be designed, engineered and certified by professional engineer so that when constructed and installed they meet the requirements of all applicable codes.
2) Studs shall be nom. 2" x 6" for exterior wall and nom. 2" x 4" for interior walls unless otherwise noted, and placed not over 16 o.c. and shall be doubled at openings and tripled at corners.
3) Joists and rafters shall be single lengths between bearings and doubled around openings. All joists under parallel partitions and all headers and trimmers shall be doubled.
4) Connectors at all flush framing and where noted shall be galvanized as manufactured by Teco, Simson, or equal. Sizes as required.
5) Provide blocking, bridging, cats, furring, etc., as required by good practice. Cross-bridging shall not be over 8'-0" o.c. in all floor and roof framing of standard dimensional lumber.
6) All members manufactured by Trus Joist Corporation shall be installed in strict accordance with the manufacturer's requirements and suggested details.
7) All floor and flat roof systems utilizing shall be constructed as a "glued and nailed" system with 3/4" T&G plywood sheathing.
8) Any wood or laminated beam supported on steel columns shall be supported using Lally Column Caps (LCC) as manufactured by Simpson. LCC to be welded to column or provide other sufficient permanent attachment to column.

Members on the drawings noted as "LVL" refer to MICRO=LAM brand veneer lumber

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No:	Description:	Date:	
2	Permit submission	07/25/22	☒
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:

Elevations and section

Date: 07/25/22
Revised as noted above

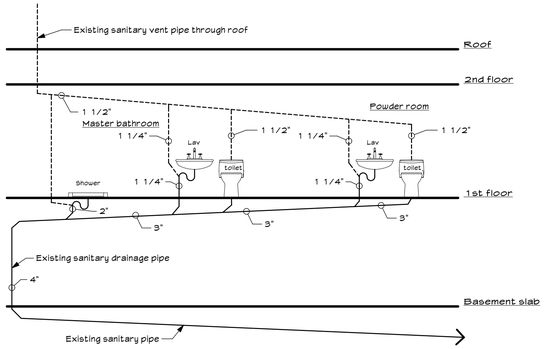
Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:

A-6

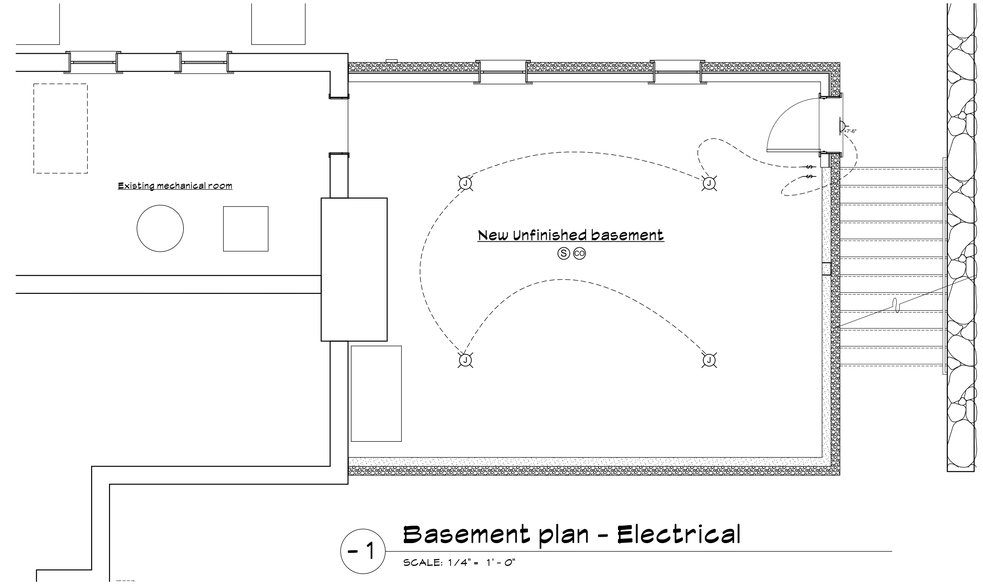


PR Plumbing riser diagram

SCALE: 1/4" = 1' - 0"

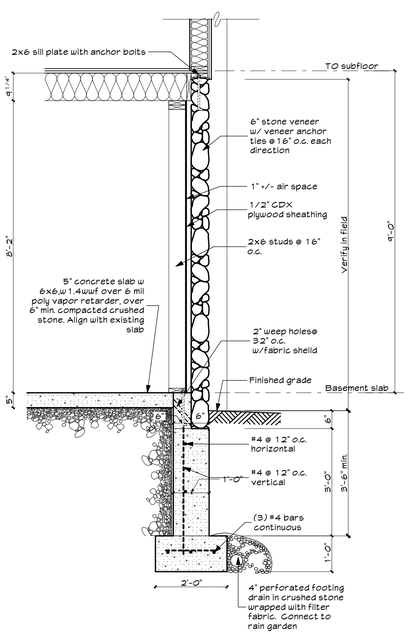
---------- Sanitary vent pipe
——— Sanitary drainage pipe

All existing plumbing fixtures shown as remaining on the plans shall utilize existing waste and vent lines. All lines shall be tested for leaks and fire damage and repaired or replaced as needed.



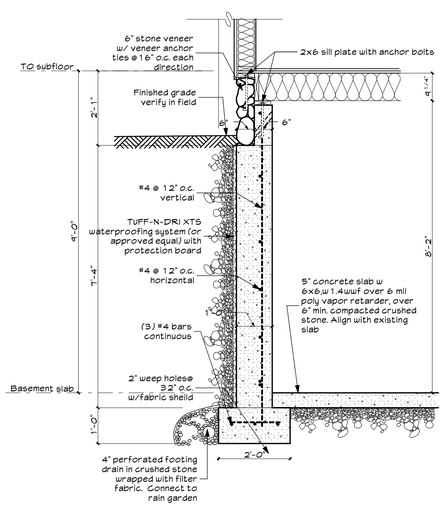
-1 Basement plan - Electrical

SCALE: 1/4" = 1' - 0"



D1 Wall detail

SCALE: 1/2" = 1' - 0"



D2 Wall detail

SCALE: 1/2" = 1' - 0"

Electrical fixture schedule

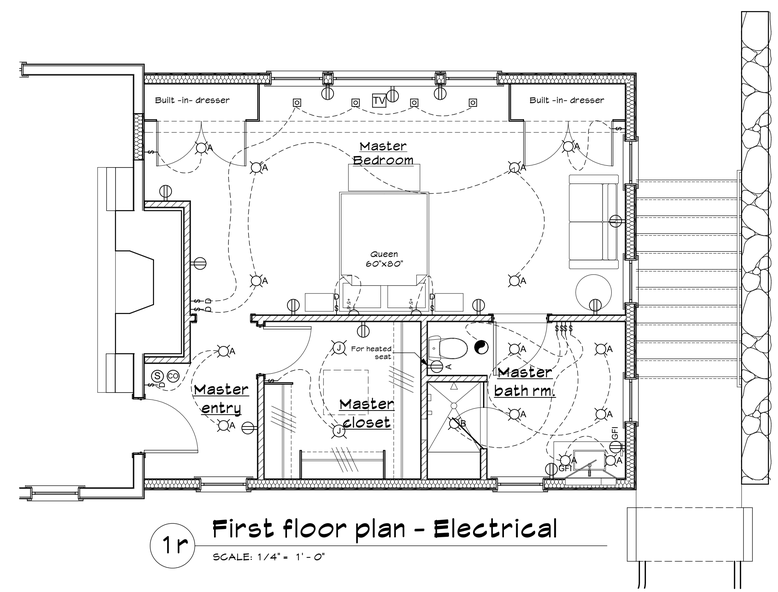
- Dimmer switch - Lutron Skylark (see dimmer note)
- Single pole switch - Levition Decora quiet rocker switch
- Duplex receptical - Style to match existing or as selected by Owner
- GFCI duplex receptical - Style to match existing or as selected by Owner
- Appliance Outlet - Size circuit and connection as required by appliance
- A — Recessed light - 5" aperture, LED recessed fixture. Halo LED, IC and air-tight where needed , confirm light color (likely to be 2700K or 3000K), white trim
- B — Recessed light with Lens - 4" aperture, LED recessed fixture. Lightolier, Halo, NAC or approved equal, confirm light color (likely to be 3000K), white surface mounted trim with lens, shower rated
- Exhaust fan. Nutone Fan (80 CFM)
- 48" — Wall mounted junction box. Fixture will be supplied by owner and installed by electrician. Verify noted height.
- J — Ceiling mounted junction box. Fixture will be supplied by owner and installed by electrician.
- "Hockey puck" style low voltage halogen light, under cabinet installations to be recessed or surface mounted as coordinated with cabinet design, ceiling locations to be recessed installation. Remote transformer. (NAC Lighting HR-88 or equal)
- TV — Cable TV jack - 1 line at each location, home runs.

Electrical plan notes:

1. All fixtures shall be installed to be centered in rooms or aligned with center or edge of adjacent objects as is appropriate.
2. All fixture locations to be verified with Owner prior to start of installation.
3. All recessed fixtures shall be" IC" type where required.
4. Duplex outlets noted as "Switched" are to have one outlet switched and one unswitched. Bottom outlet to be switched at vertiaal installations right outlet if horizontal..
5. Colors for switches, outlets, plates, etc. to be selected from four standard colors - White, Brown, Ivory or Almond.

Dimmer note:

All new recessed, sconce and ceiling mounted fixtures are to be controlled by dimmers.



1r First floor plan - Electrical

SCALE: 1/4" = 1' - 0"

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No:	Description:	Date:	
2	Permit submission	07/25/22	☒
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:

Plumbing Riser diagram, electrical plan and wall details

Date: 07/25/22
Revised as noted above

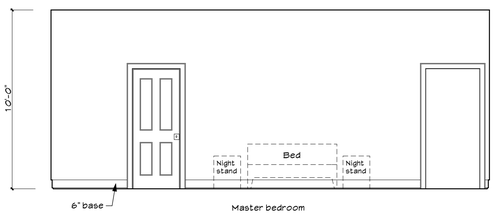
Project #: 21010

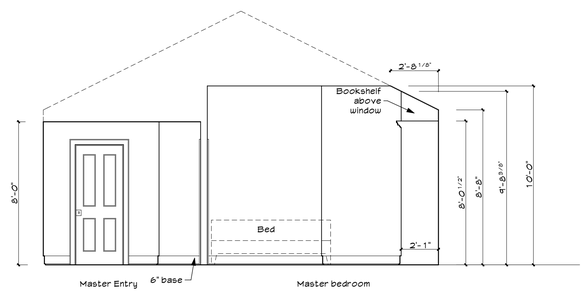
Scale: As noted

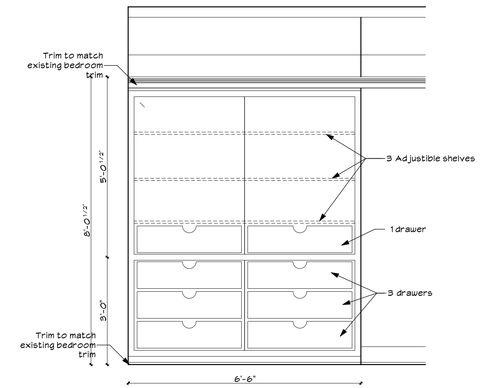
REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:

A-7

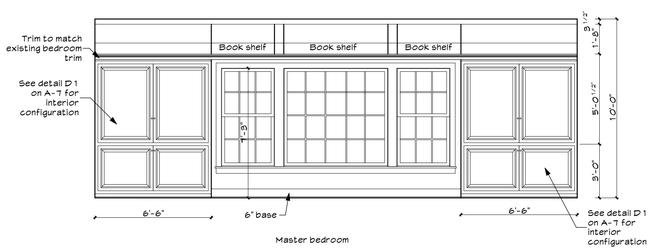


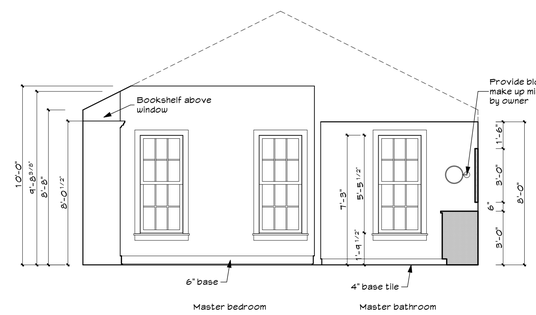




D1 Cabinet Elevation

SCALE: 1/2" = 1' - 0"

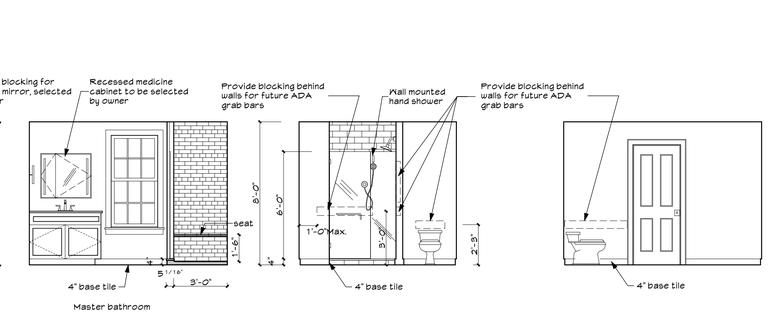




Ie Interior Elevation - Master Bedroom

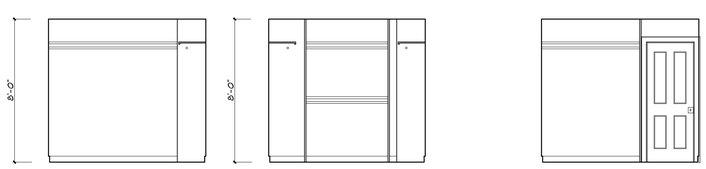
SCALE: 1/4" = 1' - 0"

Note : All trim to match exiting, base, stool casing and crown



Ie Interior Elevation - Bathroom

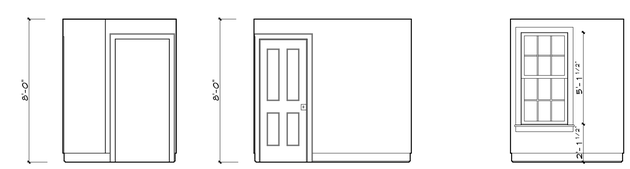
SCALE: 1/4" = 1' - 0"



Closet shelving will be site built

Ie Interior Elevation - Master Closet

SCALE: 1/4" = 1' - 0"



Ie Interior Elevation - Master Entry

SCALE: 1/4" = 1' - 0"

Patrick M. Croke Architect

20 Woodsbridge Road
Katonah, New York 10536

T: 914.234.6093
F: 914.234.0548
info@pmcarchitect.com

COPYRIGHT: ©2017 PATRICK M. CROKE, ARCHITECT

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. DOCUMENTS ARE NOT BE USED, IN WHOLE OR IN PART, FOR OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT.

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS ARE TO BE WORKED FROM. DISCREPANCIES MUST BE REPORTED IMMIDIATELY TO THE ARCHITECT BEFORE PROCEEDING.

NOTE: DO NOT SCALE DRAWINGS

D:\1-Project Files\21010 - Simpkins Bedroom Addition\2 - Drawings\21010-Simpkins CD-22013 24.pln

This project is designed to conform to the 2020 Residential Code of NYS

No:	Description:	Date:
2	Permit submission	07/25/22
1	Client revisions	07/22/22

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:
Interior elevations

Date: 07/25/22
Revised as noted above

Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:

A-8

Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information

Name of Action or Project:
Simpkins residence addition

Project Location (describe, and attach a location map):
120 Mill River Road, South Salem, NY 10590

Brief Description of Proposed Action:
Addition to house of 729 SF within the 100-150' wetlands buffer, 3000+/- SF disturbance

Name of Applicant or Sponsor:	Telephone: 914-234-6093
Patrick M. Croke, Architect	E-Mail: patrick@pmcarchitect.com

Address:
20 Woodsbridge Road

City/PO:	State:	Zip Code:
Katonah	NY	10536

	NO	YES
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	☑	☐
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Building permit	☐	☑

3. a. Total acreage of the site of the proposed action? 5.001 acres
   b. Total acreage to be physically disturbed? .07 acres
   c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 5.001 acres

4. Check all land uses that occur on, are adjoining or near the proposed action:

5. ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☑ Residential (suburban)
   ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify):
   ☐ Parkland

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?	☐	☑	☐
b. Consistent with the adopted comprehensive plan?	☐	☐	☑

	NO	YES
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	☐	☑
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: Name:Watershed Properties, Reason:Exceptional or unique character, Agency:Westchester County, Date:1-31-90	☐	☑

	NO	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	☑	☐
b. Are public transportation services available at or near the site of the proposed action?	☑	☐
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☑	☐
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies:	☐	☑
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water:	☐	☑
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment:	☐	☑
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	☑	☐
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☐	☑
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	☐	☑
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☑	☐
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:		

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional

☑ Wetland ☐ Urban ☑ Suburban

	NO	YES
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	✓	
16. Is the project site located in the 100-year flood plan?		✓
17. Will the proposed action create storm water discharge, either from point or non-point sources?	✓	
If Yes,		
a. Will storm water discharges flow to adjacent properties?	✓	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	✓	
If Yes, briefly describe:		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	✓	

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

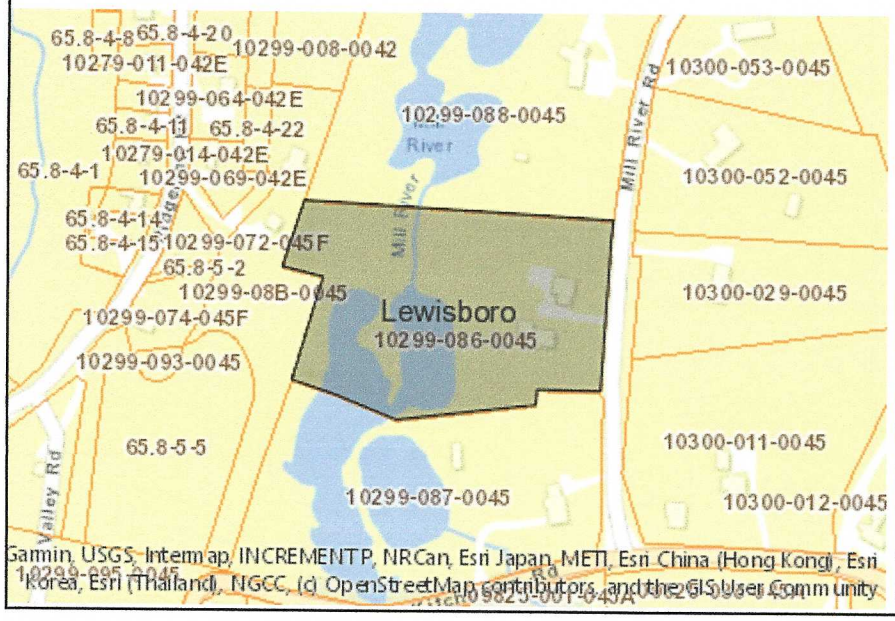
Applicant/sponsor/name: Patrick Croke Date: 12/8/22

Signature: Title: Architect

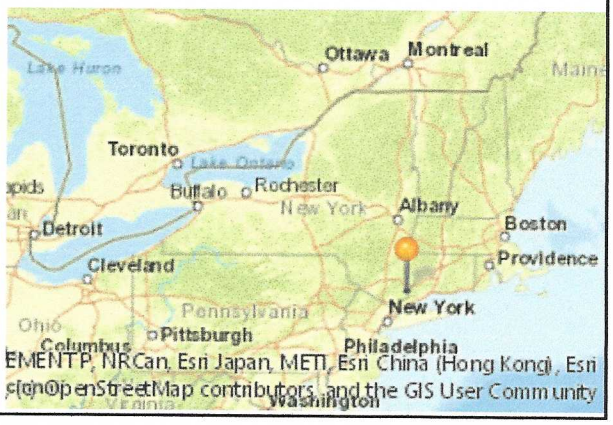
PRINT FORM

EAF Mapper Summary Report

Thursday, December 8, 2022 3:38 PM



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Watershed Properties, Reason:Exceptional or unique character, Agency:Westchester County, Date:1-31-90
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

STEPHEN W. COLEMAN
ENVIRONMENTAL CONSULTING, LLC

Environmental Planning & Site Analysis
Wetland Mitigation & Restoration Plans
Wetland Delineation & Assessment
Natural Resource Management
Pond & Lake Management
Wildlife & Plant Surveys
Breeding Bird Surveys
Landscape Design

December 19, 2022

Mr. Patrick M. Croke, Architect
20 Woodsbridge Road
Katonah, NY 10536
Via email: patrick@pmcarchitect.com

Re: 120 Mill River Road, South Salem, NY, tax map # 66.1-1-3 - Wetlands Delineation Report

Dear Patrick:

This report is submitted in support of an addition to an existing residence located at 120 Mill River Road, South Salem, NY.

Existing Conditions:

The wetland resources located on the subject parcel are part of a NYSDEC jurisdictional wetland # D-5, a Class II wetland. The wetland consists of the Mill River and associated riparian wetlands located on both sides of the Mill River, along with a series of man-made ponds. The wetland complex is in the rear of the subject parcel and extends from the north to the south along most of the rear of the property. The wetlands were previously flagged in 2003 in support of a pond dredging application. The 100 ft. adjacent area consists of a dense planting of native plants along the pond edge and scattered native and ornamental plantings throughout the adjacent area. Most of the adjacent area has been converted to lawn grasses and maintained as lawn. A prominent stone wall extends parallel to the approximate wetland boundary across two-thirds of the rear property and serves as an effective separation of the wetland from residential uses. The existing residence appears to be located outside of the 100 ft. adjacent area. The wetland is also regulated locally by the Town of Lewisboro. The Town of Lewisboro regulates a 150 ft. wetland buffer to the wetland.

The banks on both sides of the inlet channel from a pond on the adjacent parcel to the south have been planted with a combination of native and ornamental shrubs and ground covers. The existing pond on the property consists primarily of earthen banks around the entire perimeter with a well-established riparian edge of native and ornamental plantings. The outlet to the pond includes a concrete containment and spillway, which is part of the Mill River. On the eastern side of the Mill River, the wetland extends close to the existing stone wall that runs parallel to the Mill River. The Mill River enters another pond located on the adjacent parcel to the North.

A review of existing digital map resources (Westchester County GIS resources, and the NYSDEC Environmental Resource Mapper shows wetlands extending along both sides of the Mill River with a series of existing man-made ponds. The National Wetlands Inventory layer shows the existing ponds, the outlet stream (Mill River), and the adjacent off-site wetlands as a forested/shrub wetland.

Wetland Delineation:

A wetland/watercourse investigation of the subject property was completed on October 12, 2022. The purpose of the environmental review included investigation and determination of wetland and watercourse resources that are present on the property. The respective wetland/watercourse features

were flagged in accordance with the criteria outlined within the codes of the NYSDEC and the Town of Lewisboro. The wetlands determination was based upon criteria outlined in the 1987 Federal Manual, which included the following parameters - vegetation, hydric soils, and hydrology to determine the outer wetland boundary limits. Pink surveyors flagging labeled "Wetland Delineation/Wetland Boundary" were hung on the respective boundaries of each wetland/watercourse area.

Wetland Methodology:

Vegetation was sampled along each of the wetland areas. Dominant vegetation was noted at each point, and hydrophytic (wetland) vegetation, was present when 50 % or more of the vegetation, throughout the strata of each plant community, was classified as either facultative, facultative wet, or obligate. Hydrophytic vegetation was also positively identified based on the presence of secondary characteristics including morphological adaptations for occurrence in wetlands.

Soils were then sampled where facultative or facultative wet vegetation was dominant. Soils samples were taken with a dutch auger to a depth of 16 inches of the soil profile where possible. Hydric soil indicators noted include presence of a seasonal high-water table, inundation, presence of hydrogen sulfide odor, soil chroma of 1 (without mottles) or 2 (with mottles) as per the Munsell Soil Color Chart, gleying, iron and manganese concretions, and oxidized rhizospheres. Hydric soils were determined to be present when any one of these indicators was observed.

Each area along the wetland/upland interface was also examined to determine if wetland hydrology was present at some time during the growing season. Indicators of wetland hydrology noted within the wetland areas included soil saturation within the test hole or at the soil surface, inundation, positive drainage patterns, and watermarks on the tree trunks or water-stained leaves on the ground.

When an observation points along the wetland/upland interface contained all three wetland parameters: dominant hydrophytic vegetation, hydric soils, and evidence of hydrology, the point was determined to be wetland. The area surrounding the observation point was then investigated to determine the upland boundary via the same methodology. The delineation was then confirmed by placing sequentially numbered flags at the edge of the wetland/upland boundary. Areas identified as watercourses may not meet all three parameters.

The respective wetland boundary was marked with sequential flags A-01-A-18. Please refer to field sketch that shows the approximate boundaries. The size of the wetland (including neighboring properties) may meet the criteria to be regulated by the USACOE, however, no direct disturbance is planned within the wetland areas. The USACOE does not regulate a buffer area.

Vegetation:

Dominant wetland vegetation is present along the pond edge and within the designated wetlands on both sides of the pond and the Mill River. The vegetative community is dominated by red maple and American elm trees and native shrubs including spicebush, winterberry, summersweet, arrowwood viburnum, and silky dogwood. The ground layer is dominated by lawn grasses with patches of sedges, iris, ferns and ornamental grasses. A moderate amount of invasive plant species (approximately 15%) were observed including multiflora rose, garlic mustard, oriental bittersweet, and Japanese stilt grass.

Hydric Soils:

Due to the prior land use and the construction of a man-made pond, the soils along the watercourse channel and around the edge of the pond show udorthent fill materials and do not show typical hydric soil characteristics. It appears that some of the original dredge spoils from the pond excavation were

stockpiled along the edge of the pond. Soil samples taken revealed a mixed soil profile with the addition of a topsoil layer, and mixed mineral soils. Testing of the soils within these areas revealed typical hydric soil characteristics, including low chroma colors, and mottles within the first 16 inches of the soil profile.

Hydrology:

Primary hydrological characteristics are readily apparent due to the open water pond and flowing watercourse channel. Other typical primary or secondary hydrological features were readily observed including soil saturation within the test holes, positive drift marks and buttressed tree roots.

Wetland Delineation Summary:

Based upon field investigation, the respective wetland boundary is very similar to the wetland boundary established in 2003. The proposed addition appears to be located outside of the 100 ft. adjacent area. As per the Town of Lewisboro, the proposed addition would be located within a portion of the 150 ft. wetland buffer.

This completes the wetlands investigation of the property. Please let me know if you have any questions or require any additional information.

Sincerely,

Stephen W. Coleman
Stephen W. Coleman
Principal

3 ASPEN COURT, OSSINING, NY 10562 • 914-494-5544 • stevecoleman.scec@gmail.com

KELLARD SESSIONS

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM
Town Consulting Professionals

DATE: February 24, 2023

RE: Wetland Permit
Michael & Linda Vitiello
43 Conant Valley Road
Sheet 49, Block 9827, Lot 100

PROJECT DESCRIPTION

The subject property consists of ±4.38 acres of land and is located at 43 Conant Valley Road within the R-2A Zoning District. The applicant is proposing to pave a portion of the existing gravel driveway (±3,300 s.f.).

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. A Wetland Activity Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

COMMENTS

1. The plan shall illustrate more clearly the existing topography (2-foot contours) and any proposed grading, including spot grades, as appropriate, within the vicinity of the improvements.

2. Include a proposed pavement section detail for review.

3. The plan shall illustrate any existing trees with a dbh of 8" or greater within the disturbance limits, as well as 25' beyond the limits of disturbance to the plans. Trees in the vicinity of the work should be protected. If no trees are proposed to be removed, a note to that effect should be added to the plan.

4. The plan shall illustrate and quantify the limits of disturbance (s.f.). The plan shall note that disturbance limits shall be staked in the field prior to construction. The limits of disturbance should include the storm water treatment area and associated piping, as well as any stockpiles.

5. Proposed erosion controls must be shown to be located within the proposed limits of disturbance line.

6. The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact this office to schedule the testing.

7. The applicant shall provide stormwater mitigation and design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour storm event. Provide details of the stormwater mitigation system.

8. Per the NYS Stormwater Management Design Manual, infiltration chambers shall be installed in virgin soils and cannot be installed on slopes with grades steeper than 15% or in fill sections greater than the top quarter of the drywell system. It is unclear on the plans due to the existing contour not being legible. It appears when reviewing the location on the available Westchester County GIS Database, that the system is located on steep slopes.

9. The names of the adjacent property owners shall appear on the plan.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY DTS PROVIDENT, DATED JANUARY 23, 2023:

- Site Plan (C-101)
- Detail Sheet (C-102)

DOCUMENTS REVIEWED:

- Wetland Permit Application

JKJ/dc

https://kellardsessionsconsulti.sharepoint.com/sites/Kellard/Municipal/Lewisboro/Correspondence/2023-02-24_LWPB_Vitiello - 43 Conant Valley Road_Review Memo.docx

TO: The Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: Vitiello residence, 43 Conant Valley Road, Pound Ridge, NY 10576

DATE: February 8, 2023

The Conservation Advisory Council (CAC) has reviewed the materials submitted by the applicant for driveway improvements.

The CAC would like to understand if the new paved driveway is the same footprint as the previous driveway. The CAC would like to have additional details on the stormwater management plan. Finally the CAC would like to know if any of the trees whose roots are close to the new paved areas are going to be removed. The paving could damage the roots.

Application No.: _____
Fee: _____ Date: _____

TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION

79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 875-9148

Project Address: 43 Conant Valley Road, Pound Ridge, NY 10576

Sheet: 49 Block: 9827 Lot(s): 100

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): _____

Owner's Name: Michael & Linda Vitello Phone: _____

Owner's Address: 43 Conant Valley Road Email: linda.vitiello@outlook.com

Applicant's Name (if different): Same as Owner Phone: _____

Applicant's Address: _____ Email: _____

Agent's Name (if applicable): Peter J. Gregory, P.E. Phone: 914-559-6745

Agent's Address: One North Broadway, White Plains, NY 10601 Email: pgregory@dtsprovident.com

TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

□ Administrative ■ Planning Board

Is the project located within the NYCDEP Watershed? □ Yes ■ No

Total area of proposed disturbance: □ < 5,000 s.f. ■ 5,000 s.f. - < 1 acre □ ≥1 acre

Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: _____

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: Linda Vitello Date: 1/24/23

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592
Fax: (914) 875-9148

Affidavit of Ownership

State of : New York

County of: Westchester

Linda Vitello, being duly sworn, deposes and says that he/she

resides at 43 Conant Valley Road, Pound Ridge

in the County of Westchester, State of New York

and that he/she is (check one) ✓ the owner, or ____ the _____
Title

of _____
Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of Lewisboro as:

Block 9827, Lot 100, on Sheet 49.

Linda Vitello
Owner's Signature

Sworn to before me this

24 **day of** JANUARY, 2023

THERESA GIANNONE
NOTARY PUBLIC-STATE OF NEW YORK
No. 01GI4888784
Qualified in Dutchess County
My Commission Expires 04-08-2023

Theresa Giannone
Notary Public – affix stamp

Revised 2-2019

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant
(Please type or print)

Michael & Linda Vitello
Name of Applicant

43 Conant Valley Road - Driveway Improvements
Project Name

Property Description

Tax Block(s): 9827

Tax Lot(s): 100

Tax Sheet(s): 49

Property Assessed to:

Michael & Linda Vitello
Name

43 Conant Valley Road
Address

Pound Ridge NY 10576
City State Zip

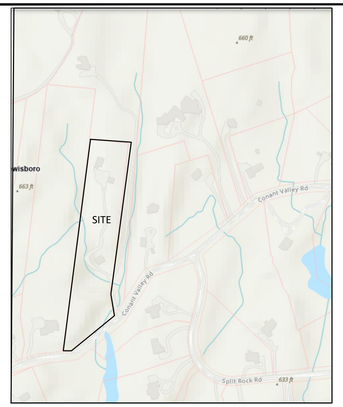
The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Deputy Receiver of Taxes: Ann M Bent 11/3/22
Date

Sworn to before me this 3 **day of** November, 2022

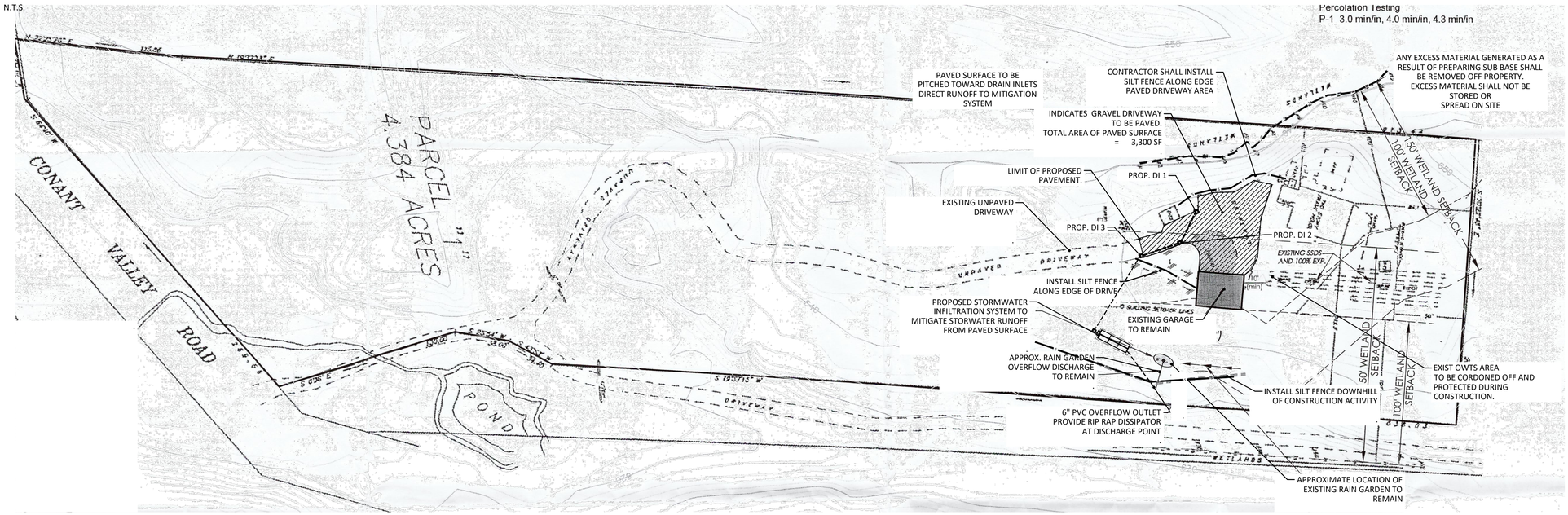
JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2020

Janet L Donohue
Signature - Notary Public (affix stamp)



LOCATION MAP

N.T.S.



PLAN SCALE 1" = 40'

PROJECT NOTES:

1. OWNER / APPLICANT:
   MICHAEL & LINDA VITELLO
   43 CONANT VALLEY ROAD
   POUND RIDGE, NEW YORK 10576
   (T) LEWISBORO

2. TOWN OF LEWISBORO TAX MAP INFORMATION:
   SHEET: 49 BLOCK: 9827, LOT: 100
   TOTAL AREA OF PARCEL = 4.38 ACRES
   R-2A ONE-FAMILY RESIDENCE DISTRICT

3. WATERSHED:
   LONG ISLAND SOUND - MILL RIVER BASIN

CONSTRUCTION NOTES

1. THE TOTAL AREA OF PAVED SURFACE IS APPROXIMATELY 3,300 S.F. OF WHICH ENTIRE AREA IS WITHIN REGULATED WETLAND BUFFER AREA.

2. THE CONSTRUCTION WILL NOT REQUIRE THE REMOVAL OF ANY TREES.

3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND CONFIRMED BY THE TOWN OF LEWISBORO BUILDING INSPECTOR PRIOR TO THE COMMENCEMENT OF ANY WORK.

APPROVED BY RESOLUTION OF THE
LEWISBORO PLANNING BOARD

_____
Janet Andersen, Chair Date

_____
Ciorsdan Conran, Administrator Date

TOWN ENGINEER'S CERTIFICATION
Reviewed for compliance with the Planning Board Resolution dated_____.

_____
Joseph M. Cermele, P.E. Date
Kellard Sessions Consulting
Town Consulting Engineer

OWNER'S CERTIFICATION
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

_____
Owners Date
Owners Address

NO.	REVISION	DATE

Owner
Michael & Linda Vitello
43 Conant Valley Road
Pound Ridge, NY 10576

DTS · PROVIDENT
Intelligent Land Use
DTS Provident Design Engineering, LLP
One North Broadway White Plains, NY 10601
P: 914.428.0010
F: 914.428.0017

Under New York State Education Law Article 145 (Engineering), Section 7209 (2), It Is A Violation Of This Law For Any Person, Unless Acting Under The Direction Of A Licensed Professional Engineer, To Alter This Document

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Certificate Of Authorization #0017846

VITELLO RESIDENCE
43 Conant Valley ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
SITE PLAN

Seal
STATE OF NEW YORK · PETER J. GREGORY · No. 071236 · LICENSED PROFESSIONAL ENGINEER

Scale:	1" = 20'
Date:	1/23/2023
Drawn By:	
Checked By:	PJG
Project No.:	
Sheet No.:	1 of 2
Dwg. No.:	C-101

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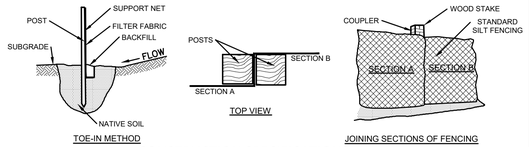
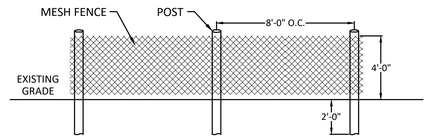


CONSTRUCTION SPECIFICATIONS

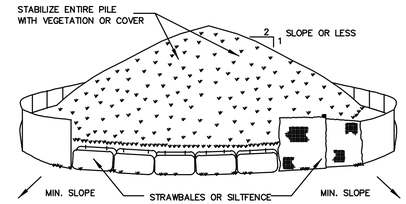
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE
NOT TO SCALE
1



INSTALLATION NOTES:
1) MESH TO BE PLACED ON "OUTSIDE" FACE OF POST TO RENDER NON-CLIMABLE
2) MESH COLOR TO BE BLAZE ORANGE

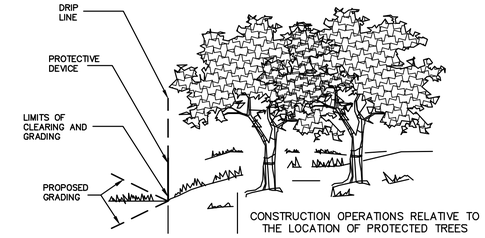
TYPICAL ORANGE MESH CONSTRUCTION FENCE
NOT TO SCALE
2



INSTALLATION NOTES

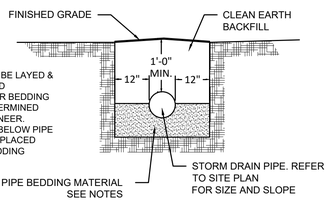
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILTFENCE.

SOIL STOCKPILING
NOT TO SCALE
3



TREE PROTECTION
NOT TO SCALE
4

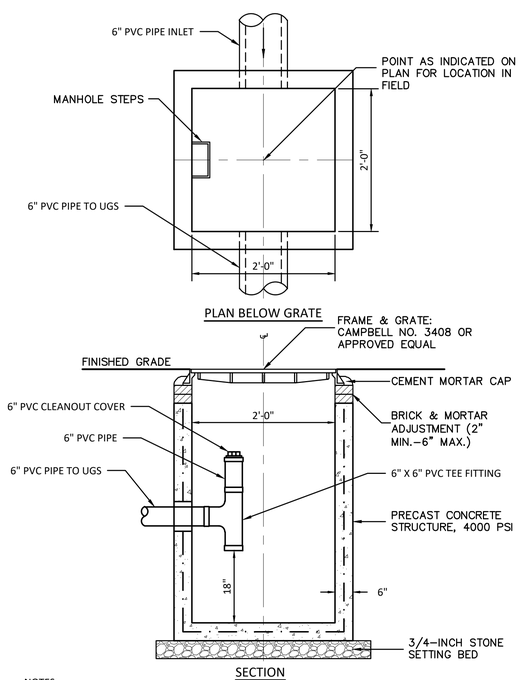
NO.	REVISION	DATE



NOTES

1. PIPE BEDDING MATERIAL TO BE LAYED & COMPACTED IN DRY GROUND
2. NATIVE SOIL TO BE USED FOR BEDDING MATERIAL UNLESS IT IS DETERMINED UNSUITABLE BY TOWN ENGINEER.
3. ALL UNSUITABLE MATERIAL BELOW PIPE SHALL BE REMOVED AND REPLACED WITH 6" OF CLEAN SAND BEDDING

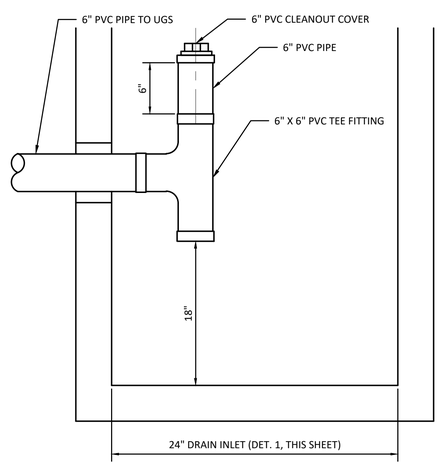
STORM DRAIN TRENCH DETAIL
NOT TO SCALE
5



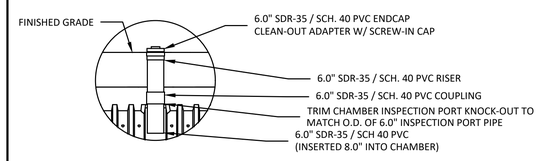
NOTES:

1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF EACH INLET FOR THE ENGINEERS APPROVAL PRIOR TO FABRICATION.
2. PRECAST INLETS SHALL BE CERTIFIED AS CONFORMING TO ASTM C913, LATEST REVISION.
3. PRECAST INLETS SHALL BE DESIGNED FOR HS-20 LOADING.
4. MANHOLE STEPS ARE NOT REQUIRED FOR INLET DEPTHS LESS THAN 4 FEET.
5. "KNOCKOUT" TYPE INLET STRUCTURES SHALL NOT BE PERMITTED.

DRAIN INLET
NOT TO SCALE
6

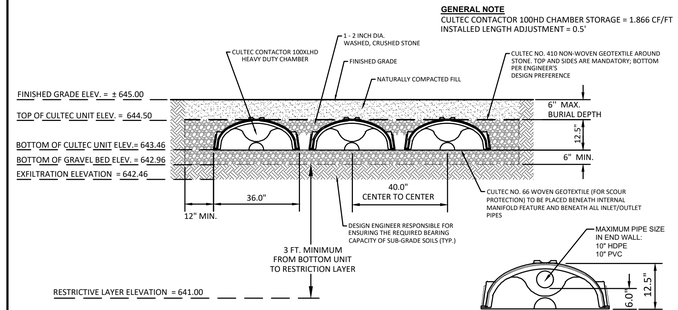


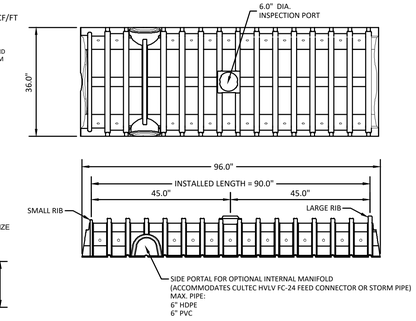
OUTLET TEE - SUMP
NOT TO SCALE
7



INSPECTION PORT - ZOOM DETAIL
NOT TO SCALE
8

GENERAL NOTE
CULTEC CONTACTOR 100HD CHAMBER STORAGE = 1.866 CF/FT
INSTALLED LENGTH ADJUSTMENT = 0.5'





CULTEC RECHARGER 100XLHD HEAVY DUTY
NOT TO SCALE
9

Owner
Michael & Linda Vitello
43 Conant Valley Road
Pound Ridge, NY 10576

DTS · PROVIDENT
Intelligent Land Use

DTS Provident Design Engineering, LLP
One North Broadway White Plains, NY 10601
P: 914.428.0010
F: 914.428.0017

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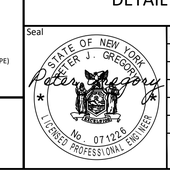
Certificate Of Authorization #0017846

VITELLO RESIDENCE
43 Conant Valley ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:

DETAIL SHEET

Seal



Scale:	AS NOTED
Date:	1/23/2023
Drawn By:	
Checked By:	PJG
Project No.:	
Sheet No.:	2 of 2
Dwg. No.:	C-102

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KELLARD SESSIONS

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM
Town Consulting Professionals

DATE: February 24, 2023

RE: Wetland Permit & Stormwater Permit
George & Eileen Ritacco
37 Gideon Reynolds Road
Sheet 16, Block 10533, Lot 423

PROJECT DESCRIPTION

The subject property consists of ±1.13 acres of land and is located at 37 Gideon Reynolds Road within the R-1A Zoning District. The applicant is proposing an in-ground pool and associated equipment.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. A Wetland Activity Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

2. The applicant has obtained an Article 24 Freshwater Wetland Permit from the New York State Department of Environmental Conservation (NYSDEC).

COMMENTS

1. We defer review of the plan for zoning compliance to the Building Inspector; the Planning Board should refer the application to the Building Inspector for review.

2. The zoning setbacks appearing in the zoning table and setback lines appearing on the plan are not correct.

3. The wetland boundary line as it appears on the site plan, requires clarification. Wetland Flags A-9 through A-19 appear on the plan, but have no boundary line.

4. The applicant shall submit a Wetland Report, which shall contain the information required under Sections 217-5 and 6 of the Town's Wetland Ordinance.

5. The proposed retaining wall appears to be set on or very close to the wetland boundary. It will be difficult to construct this wall without disturbing the wetland. It is recommended that the pool be reduced in size and perhaps slid to the south to reduce impacts and allow room for construction.

6. The applicant shall develop a Wetland Mitigation Plan which provides, at a minimum, mitigation at a ratio of 1:1 (for every s.f. of wetland or wetland buffer disturbance proposed, an equal or greater amount of mitigation shall be provided). Reference is made to the Town's mitigation guidelines provided in Chapter 217, Appendix B.

7. Provide 2-foot contour lines throughout the entire property; topography is only shown to the rear of the house. How does the existing driveway drain?

8. The plan shall illustrate the location of the existing water service.

9. We suggest moving the proposed sewer service at least five (5) feet from the edge of the pool. This will allow for future repairs, if required without compromising the pool.

10. Please include size, type, inverts, and slopes of the proposed sewer service to be re-located.

11. There appears to be two (2) 104' existing contours shown on the plans. Please revise the label accordingly.

12. The plan shall note that the construction of all walls greater than or equal to four (4) feet in height shall be certified by the Design Professional prior to issuance of a Certificate of Occupancy/Completion.

13. All walls greater than or equal to four (4) feet in height shall be designed by a NYS Licensed Professional Engineer. Provide construction details and specifications on the plan.

14. If no trees are proposed to be removed, a note to this effect shall be added to the plan.

15. It appears the disturbance line provides no room to install the temporary silt fence and the proposed boulder retaining wall. Please clarify how these listed items are to be constructed without encroaching beyond the limit of disturbance, as well as into the wetland.

16. Please include a silt fence detail to the plan in conformance with the most recent version of the New York State Standards and Specifications for Erosion and Sediment Control.

17. It shall be noted on the plans that the owner is responsible for providing temporary pool barriers, as required by NYS Building Code, to be in place for the duration of the pool construction.

18. Provide a temporary construction access to the site plan, along with a detail in conformance with the most recent version of the New York State Standards and Specifications for Erosion and Sediment Control. The construction access should be included within the disturbance limit line; the area of disturbance calculation shall be updated.

19. The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact this office to schedule the testing.

20. The applicant shall provide stormwater mitigation and design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour storm event or the full pool 6" drawdown, whichever is greater. Provide details of the stormwater mitigation system.

21. Provide rim and invert elevations along with the size and materials of all drainage facilities. Provide details.

22. The plan shall note the means to accomplish seasonal pool drawdown and the connection to the infiltration practice.

23. The proposed stormwater practice shall include an emergency overflow to a stabilized outfall. Provide details.

24. The proposed pool equipment should be properly landscaped to screen the view from Gideon Reynolds Road or moved to the rear of the dwelling. Please include landscaping on the landscape plan.

25. The pdf plans shall be signed/sealed by the Design Professional.

26. The names of the adjacent property owners shall appear on the plan.

27. It is recommended that the Planning Board conduct a site visit.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY DTS PROVIDENT, DATED JANUARY 23, 2023:

- Site Plan (C-101)
- Construction Plan and Detail Sheet (C-102)

DOCUMENTS REVIEWED:

- Letter, prepared by Peter Gregory, P.E., dated January 23, 2023
- Wetland Permit Application
- Stormwater Permit Application
- NYSDEC Freshwater Wetlands Permit, dated July 20, 2022

JKJ/dc

TO: The Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: Ritacco Pool, 37 Gideon Reynolds Road, Cross River, NY 10518

DATE: February 8, 2023

The Conservation Advisory Council (CAC) has reviewed the materials submitted by the applicant for the construction of a pool and stone wall.

The CAC would like to see the plans updated with 100ft and 150 wetland buffers. The CAC would also like the complete mitigation plan including a listing of plantings and a calculation to show comliance with the one-to-one requirement. The CAC would also like to understand how the disturbance figure of 3,385 Sq Ft was calculated and whether it included the disturbance of the construction of the stone wall and any temporary disturbance associated with constructing the pool.

DTS • PROVIDENT
Intelligent Land Use

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White Plains, NY 10601
P: 914.428.0010
F: 914.428.0017
www.dtsprovident.com

Andrew V. Tung, ASLA, Esq., LEED AP
Gerhard M. Schwalbe, P.E.
Charles 'Carlito' Holt, P.E., PTOE
Brian Dempsey, P.E., PTOE, RSP1

January 23, 2023

Hon. Janet Andersen
Chairman of the Town of Lewisboro Planning Board
and Members of the Board
79 Bouton Road
South Salem, New York 10590

Regarding: Ritacco Residence Swimming Pool
37 Gideon Reynolds Road, Cross River
Wetland Permit Application

Dear Chairman Andersen and Members of the Board:

Our firm represents George and Eileen Ritacco, owners of the property at 37 Gideon Reynolds Road in the Town of Lewisboro. The Ritaccos are proposing to construct a swimming pool, in the rear yard of their home. All of the improvements and disturbance associated with the construction are located within a 100-foot State and locally regulated wetland buffer. It has been determined that the application will require a Wetland Permit review from the Planning Board. A permit from New York State DEC authorizing disturbance to the adjacent area of NYS Regulated Freshwater Wetland L-17 to construct the pool was issued July 20, 2022, copy attached

Siting the pool in the desired location, the existing sanitary waste line will need to be relocated in the rear yard to avoid the pool.

The project will result in the creation of approximately 800 square feet of new impervious surface, all of which will be within the regulated buffer area. A stormwater mitigation system is proposed to serve the dual purpose of mitigating stormwater runoff generated from the new impervious surface and to provide a system to accept pool water drawdown.

Construction of the proposed pool, equipment and mitigation area will create 3,385 square feet of overall disturbance on the property. The total amount of disturbance occurring with the regulated buffer area is 3,385 square feet. No trees will be removed as a result of the proposed activity.

Wetland buffer mitigation is proposed to offset the impact created by the disturbance associated with the project. The strategy for the buffer mitigation is to remove maintained lawn along existing wetland and supplement existing landscape with enhanced plantings of additional native flowers, ferns, and grasses.

In addition to the landscape mitigation, a landscape boulder wall will be placed adjacent to the proposed pool to limit yard area and disturbance within the wetlands itself. All disturbed areas will be restored by placement of topsoil and restoring vegetation.

In support of this application, we are submitting the following material:

- 4 Copies of Signed Environmental Questionnaire
- 4 Copies of Wetland Permit Application
- 4 Copies of Affidavit of Ownership
- 4 Copies of Tax Payment Affadavit
- Plan set including; Site Plan, Construction Plan and Details
- Application fee of $255.0
- Escrow fee of $2000.0

The owners respectfully request to be placed on the Planning Board February agenda to be considered for review of a Wetland Permit application. If you have any questions or require additional information, please do not hesitate to contact me at (914) 559-6745 or via email me at pgregory@dtsprovident.com. We look forward to meeting with you and discussing the project next month.

Very truly yours,

DTS Provident Design Engineering, LLP

Peter J. Gregory, P.E.
Senior Associate

Fee: $50.00 Date: 01/02/2023

TOWN OF LEWISBORO
ENVIRONMENTAL QUESTIONNAIRE

The purpose of this Questionnaire is to determine whether a Town Wetland Permit, a Town Stormwater Permit and/or coverage under the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity is required. This form does not provide authorization to commence work.

Project Address: 37 GIDEON REYNOLDS RD

S/B/L: 10533-423-0016

Project Description: INSTALL 18x36 inground pool, 3-7' deep, with spa, propane gas heater, no diving board AS PER THE 2020 RESIDENTIAL CODE OF NYS

This questionnaire must be accompanied with a Site Plan or, at a minimum, a Plot Plan which clearly illustrates the location and dimensions of the proposed activity. Said plans must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). Failure to submit these items will delay review.

Owner's Name: GEORGE & EILEEN RITACCO Phone:

Owner's Address: 37 GIDEON REYNOLDS RD CROSS RIVER, NY Email:

Agent's Name (if applicable): Carol De Leonardis Phone: (609)923-8628

Agent's Address: 30 Chapin Road, Unit 1206, Pine Brook NJ Email: Cdeleogriffith@gmail.com

I hereby grant permission to the Town's professional consultants to enter onto my property to conduct a site inspection.
Owner (Signature): GEORGE & EILEEN RITACCO Date: 08/24/2022

FOR TOWN USE – PLEASE DO NOT WRITE BELOW THIS LINE

1. The use of the property is?

2. Is a Town Wetland Permit required? **Yes**
   If Yes, what type of Wetland Permit is required? **Planning Board**

3. Is the project located within the NYCDEP Watershed? **Yes**

4. Area of proposed disturbance: **TBD**

5. Is a Town Stormwater Permit required? **TBD**
   If Yes, the approval authority will be?

6. Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity?

Application Fee (if required): **Wetland Permit** $: $255 plus $2,000 escrow
Stormwater Permit $: TBD

Notes: **Requires Planning Board approval; applicant to set up a pre-application meeting with the Town Planner**

Signature: Jan K. Johannessen
Wetland Inspector/Consultant

Date: 01/02/2023

Application No.: _____
Fee: _____ Date: _____

TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION

79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 875-9148

Project Address: 37 Gideon Reynolds Road, Cross River, NY 10518

Sheet: 16 Block: 10533 Lot(s): 423

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): Construction of 18'x36' inground pool. (Dist = 3,385 sf)

Owner's Name: Eileen Ritacco Phone: 914 364-8021

Owner's Address: 37 Gideon Reynolds Road Email: eileenr1955@yahoo.com

Applicant's Name (if different): Same as Owner Phone: _____

Applicant's Address: _____ Email: _____

Agent's Name (if applicable): Peter J. Gregory, P.E. Phone: 914-559-6745

Agent's Address: One North Broadway, White Plains, NY 10601 Email: pgregory@dtsprovident.com

TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

□ Administrative ■ Planning Board

Is the project located within the NYCDEP Watershed? ■ Yes □ No

Total area of proposed disturbance: □ < 5,000 s.f. ■ 5,000 s.f. - < 1 acre □ ≥1 acre

Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: _____
Town of Lewisboro Building Permit, Planning Board Wetland Permit, NYSDEC Wetland and Stormwater Permit

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials cutlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: Eileen Ritacco Date: 1-10-2023

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592
Fax: (914) 875-9148

Affidavit of Ownership

State of : New York

County of: Westchester

Eileen Ritacco, being duly sworn, deposes and says that he/she

resides at 37 Gideon Reynolds Road, Cross River

in the County of Westchester, State of New York

and that he/she is (check one) ✓ the owner, or ____ the _____
Title

of _____
Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of Lewisboro as:

Block 10533, Lot 423, on Sheet 16.

Eileen Ritacco
Owner's Signature

Sworn to before me this

20th **day of** December, 2022

ANGJELO HARAPI
Notary Public - State of New York
NO. 01HA6376519
Qualified in Westchester County
My Commission Expires Jun 11, 2026

Notary Public – affix stamp

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant
(Please type or print)

Eileen Ritacco
Name of Applicant

37 Gideon Reynolds Road - Construction of Swimming Pool
Project Name

Property Description

Tax Block(s): 10533

Tax Lot(s): 423

Tax Sheet(s): 16

Property Assessed to:

George & Eileen Ritacco
Name

37 Gideon Reynolds Road
Address

Cross River NY 10518
City State Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes: [signature] 12. 20. 2022
Date

Sworn to before me this

20th **day of** December, 2022

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2020

[signature]
Signature - Notary Public (affix stamp)

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3
21 South Putt Corners Road, New Paltz, NY 12561-1620
P: (845) 256-3054 | F: (845) 255-4659
www.dec.ny.gov

NEW YORK STATE OF OPPORTUNITY | Department of Environmental Conservation

IMPORTANT NOTICE TO ALL PERMITTEES

The permit you requested is enclosed. Please read it carefully and note the conditions that are included in it. The permit is valid for only that activity expressly authorized therein; work beyond the scope of the permit may be considered a violation of law and be subject to appropriate enforcement action. Granting of this permit does not relieve the permittee of the responsibility of obtaining any other permission, consent or approval from any other federal, state, or local government which may be required.

Please note the expiration date of the permit. Applications for permit renewal should be made well in advance of the expiration date (minimum of 30 days) and submitted to the Regional Permit Administrator at the above address. For SPDES, Solid Waste and Hazardous Waste Permits, renewals must be made at least 180 days prior to the expiration date.

The DEC permit number & program ID number noted on page 1 under "Permit Authorization" of the permit are important and should be retained for your records. These numbers should be referenced on all correspondence related to the permit, and on any future applications for permits associated with this facility/project area.

If a permit notice sign is enclosed, you must post it at the work site with appropriate weather protection, as well as a copy of the permit per General Condition 1.

If you have any questions on the extent of work authorized or your obligations under the permit, please contact the staff person indicated below or the Division of Environmental Permits at the above address.

Frank Benedetto

Frank Benedetto

Division of Environmental Permits, Region 3
Telephone (845) 256-0208
Frank.benedetto@dec.ny.gov

PERMIT

Under the Environmental Conservation Law (ECL)

Permittee and Facility Information

Permit Issued To:
GEORGE RITACCO
37 GIDEON REYNOLDS RD
CROSS RIVER, NY 10518
(914) 763-2239

EILEEN RITACCO
37 GIDEON REYNOLDS RD
CROSS RIVER, NY 10518
(914) 763-2239

Facility:
RITACCO PROPERTY
37 GIDEON REYNOLDS RD
CROSS RIVER, NY 10518

Facility Application Contact:
PAUL J JAEHNIG
PO BOX 1071
RIDGEFIELD, CT 06877
(203) 241-3515

Facility Location: in LEWISBORO in WESTCHESTER COUNTY
Facility Principal Reference Point: NYTM-E: 615.4109853538721 NYTM-N: 4569.89667041207
Latitude: 41°16'20.1" Longitude: 73°37'19.4"
Authorized Activity: This permit authorizes disturbance to the adjacent area of NYS Regulated Freshwater Wetland L-17, a Class 1 wetland, in association with the construction of a 18' x 36' in ground swimming pool.

Permit Authorizations

Freshwater Wetlands - Under Article 24
Permit ID 3-5530-00246/00001
New Permit Effective Date: 7/20/2022 Expiration Date: 12/31/2027

NYSDEC Approval

By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.

Permit Administrator: CHRISTOPHER LANG, Deputy Regional Permit Administrator
Address: NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY 12561

Authorized Signature: Chris Lang Digitally signed by Chris Lang Date: 2022.07.20 15:16:47 -04'00' Date 07 / 20 / 2022

Distribution List

PAUL J JAEHNIG
Sarah Pawliczak; NYSDEC
Town of Lewisboro
Maria Tupper-Goebel; NYCDEP

Permit Components

NATURAL RESOURCE PERMIT CONDITIONS

GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Permit Attachments

Permit Sign

NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following Permits: FRESHWATER WETLANDS

1. **Conformance With Plans** All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by the applicant and consists of "Proposed Pool Site Plan Ritacco Residence" and was received by DEC on February 9, 2022..

2. **Notice of Intent to Commence Work** The permittee or their representative must notify Sarah Pawliczak of the DEC Bureau of Ecosystem Health via email (sarah.pawliczak@dec.ny.gov) no less than 48 hours prior to the commencement of work.

3. **Prior Approval of Changes** If the permittee desires to make any minor changes to the scope of work shown in the approved plans referenced in Natural Resource Permit Condition 1, the permittee shall submit a request via email to Sarah Pawliczak of the DEC Burea of Ecosystem Health (sarah.pawliczak@dec.ny.gov) to make such proposed changes. The proposed changes shall not be implemented unless authorized in writing by the Department. Issuance of such approval without modification of the permit is at the Department's discretion.

4. **Install Controls as Shown on Plans** Prior to commencement of the activities authorized herein, the permittee shall install securely anchored silt fencing and/or continuous staked straw bales as shown on the plans or drawings referenced in this permit.

5. **Maintain Erosion Controls** These erosion control devices shall be maintained until all disturbed land is fully vegetated to prevent any silt or sediment from entering the freshwater wetland or its adjacent area. Silt fencing, hay bales and any accumulated silt or sediment shall be completely removed for disposal at an appropriate upland site.

6. **Bog Turtle Take-Avoidance Measures** For site work that occurs during the warm season between April 1st and September 30th; bog turtle barrier fencing, education and encounter plan, and trap hazard protection measures shall be employed as shown on the approved plans.

7. **No Wetland Disturbance** No disturbance to the wetland is authorized.

8. **Clean Fill Only** All fill shall consist of clean soil, sand and/or gravel that is free of the following substances: asphalt, slag, flyash, broken concrete, demolition debris, garbage, household refuse, tires, woody materials including tree or landscape debris, and metal objects. The introduction of materials toxic to aquatic life is expressly prohibited.

9. **Seed, Mulch Disturbed Areas** All areas of soil disturbance resulting from this project shall be seeded with an appropriate perennial grass, and mulched with straw immediately upon completion of the project, within two days of final grading, or by the expiration of the permit, whichever is first.

10. **Invasive Species (Non-native Vegetation)** To prevent the unintentional introduction or spread of invasive species, the permittee must ensure that all construction equipment be cleaned of mud, seeds, vegetation and other debris before entering any approved construction areas within the state regulated freshwater wetland or its 100 foot adjacent area.

11. **No Pool Discharges to Wetland** There shall be no draining of swimming pool water directly or indirectly into wetlands or protected buffer areas.

12. **Disposal of Material** Any demolition debris, excess construction materials, and/or excess excavated materials shall be immediately and completely disposed of on an approved upland site more than 100 feet from any regulated waterbody or wetland. These materials shall be suitably stabilized so as not to re-enter any water body, wetland, or wetland adjacent area; and must be disposed of in accordance with all local, state, and federal statutes, regulations, or ordinances.

13. **State Not Liable for Damage** The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

14. **State May Order Removal or Alteration of Work** If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.

15. **State May Require Site Restoration** If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.

16. **Precautions Against Contamination of Waters** All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.

GENERAL CONDITIONS - Apply to ALL Authorized Permits:

1. **Facility Inspection by The Department** The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

2. Relationship of this Permit to Other Department Orders and Determinations Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

3. Applications For Permit Renewals, Modifications or Transfers The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator
NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY12561

4. Submission of Renewal Application The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Freshwater Wetlands.

5. Permit Modifications, Suspensions and Revocations by the Department The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

a. materially false or inaccurate statements in the permit application or supporting papers;

b. failure by the permittee to comply with any terms or conditions of the permit;

c. exceeding the scope of the project as described in the permit application;

d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;

e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

6. Permit Transfer Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification
The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

Item B: Permittee's Contractors to Comply with Permit
The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.

Item C: Permittee Responsible for Obtaining Other Required Permits
The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

Item D: No Right to Trespass or Interfere with Riparian Rights
This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.

New York State

Department of Environmental Conservation

NOTICE

The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Department condition on it, contact the DEC at 845-256-3054 or dep.r3@dec.ny.gov. Please refer to the permit number shown when contacting the DEC.

Permittee: George Ritacco

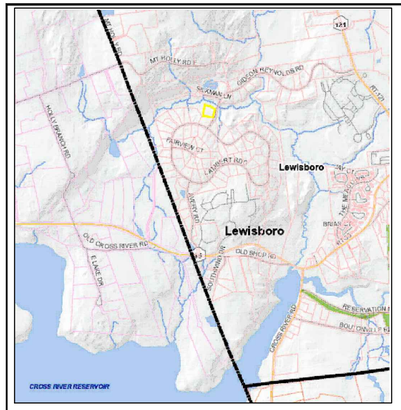
Permit No. 3-5530-00246/00001

Effective Date: July 20, 2022

Expiration Date: December 31, 2027

☐ Applicable if checked. No instream work allowed between October 1 & April 30

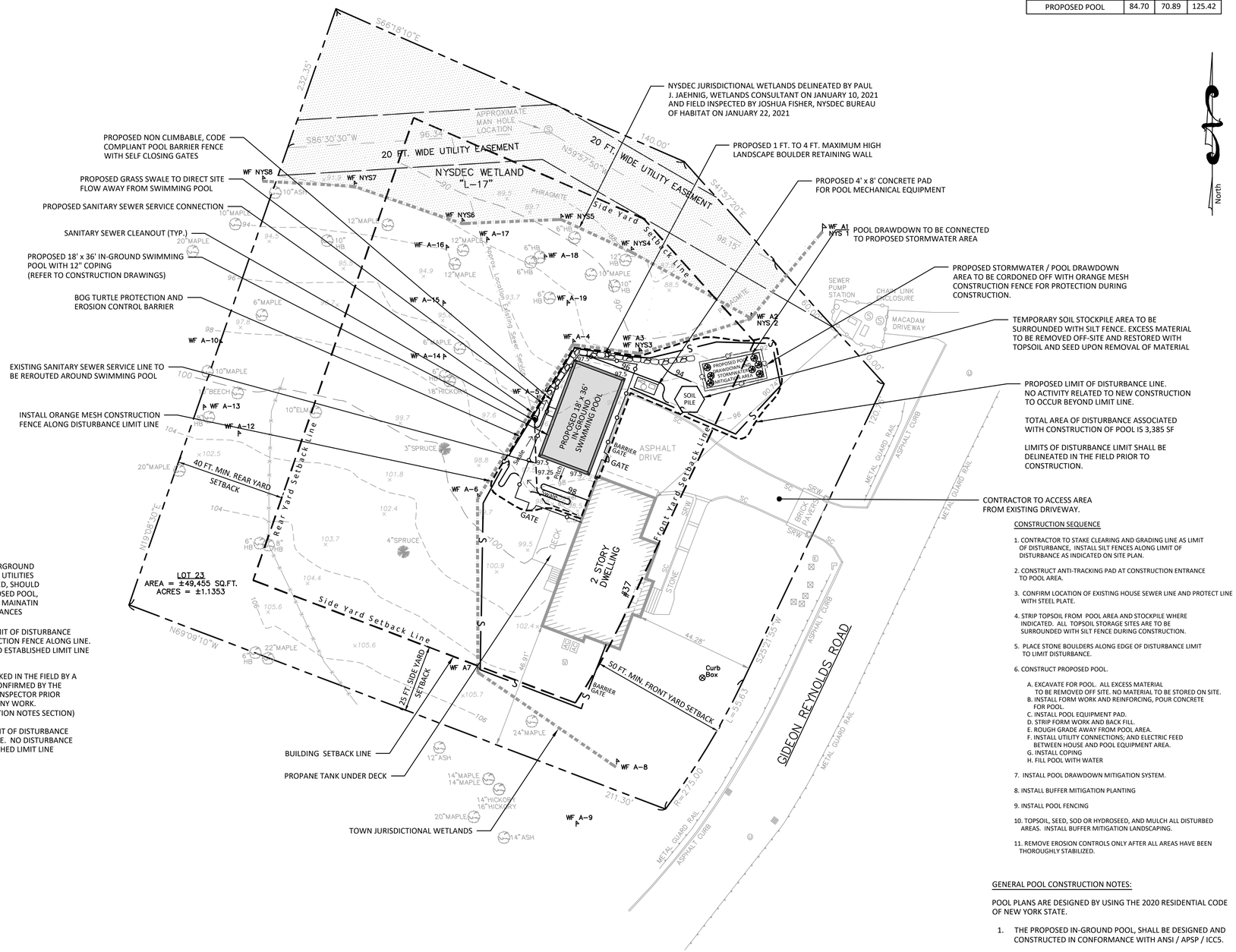
NOTE: This notice is **NOT** a permit.



LOCATION MAP

N.T.S.

TOWN OF LEWISBORO				
SCHEDULE OF DIMENSIONAL AND BULK REGULATIONS FOR RESIDENTIAL DISTRICT				
ZONING DISTRICT	MIN. LOT SIZE	MINIMUM YARDS		
	LOT AREA (ACRES)	FRONT (FEET)	SIDE (FEET)	REAR (FEET)
R-1A	1 AC	50	25	40
EXISTING	1.135 AC	44.28	46.91	134.64
PROPOSED POOL		84.70	70.89	125.42



NOTE

CONTRACTOR TO VERIFY UNDERGROUND UTILITIES AND IF ENCOUNTERED UTILITIES SHALL BE PROTECTED AS REQUIRED, SHOULD SYSTEM BE WITHIN 10' OF PROPOSED POOL, SYSTEM SHALL BE RELOCATED TO MAINATIN REQUIRED SEPARATION DISTANCES

CONTRACTOR SHALL DELINEATE LIMIT OF DISTURBANCE BY INSTALLING ORANGE MESH CONSTRUCTION FENCE ALONG LINE. NO DISTURBANCE SHALL OCCUR BEYOND ESTABLISHED LIMIT LINE

LIMITS OF DISTURBANCE SHALL BE STAKED IN THE FIELD BY A LICENSED LAND SURVEYOR AND CONFIRMED BY THE TOWN OF LEWISBORO BUILDNG INSPECTOR PRIOR TO COMMENCEMENT OF ANY WORK. (REFER TO NOTE 3 UNDER CONSTRUCTION NOTES SECTION)

CONTRACTOR SHALL DELINEATE LIMIT OF DISTURBANCE BY INSTALLING SILT FENCE ALONG LINE. NO DISTURBANCE SHALL OCCUR BEYOND ESTABLISHED LIMIT LINE

PROJECT NOTES:

1. OWNER / APPLICANT:
   GEORGE & EILEEN RITACCO
   37 GIDEON REYNOLDS ROAD
   CROSS RIVER, NEW YORK 10518
   (T) LEWISBORO
2. TOWN OF LEWISBORO TAX MAP INFORMATION:
   SHEET: 42.3 BLOCK: 1, LOT: 128
   TOTAL AREA OF PARCEL = ±1.135 ACRES (49,455 SF)
   R-1A ONE-FAMILY RESIDENCE DISTRICT
3. WATERSHED:
   NEW YORK CITY - CROTON - CROSS RIVER BASIN
4. SURVEY AND TOPOGRAPHICAL INFORMATION OBTAINED FROM MAP PREPARED BY:
   ROWAN LAND SURVEYING, PLLC
   330 OLD ALBANY POST ROAD
   GARRISON, NY 10524

CONSTRUCTION NOTES

1. THE TOTAL AREA OF DISTURBANCE ASSOCIATED WITH THE CONSTRUCTION OF POOL, UTILITY CONNECTION AND EQUIPMENT PAD IS 3,385 S.F.

   ENTIRE PROJECT WITHIN REGULATED WETLAND BUFFER AREA. TOTAL DISTURBANCE TO REGULATED BUFFER AREA IS 3,385 S.F.
2. THE CONSTRUCTION WILL NOT REQUIRE THE REMOVAL OF ANY TREES.
3. THE LIMITS OF DISTURBANCE SHALL BE STAKED IN THE FIELD BY A LICENSED LAND SURVEYOR AND CONFIRMED BY THE TOWN OF LEWISBORO BUILDING INSPECTOR PRIOR TO THE COMMENCEMENT OF ANY WORK.

FILED MAP REFERENCE:

THE PREMISES SHOWN HEREON BEING KNOWN AND DESIGNATED AS LOT No. 23 ON A CERTAIN MAP ENTITLED, "SHEET 1 of 2, MICHELLE ESTATES AT CROSS RIVER, SUBDIVISION SURVEY PREPARED FOR BAYSWATER REALTY & CAPITAL CORP." LAST REVISED NOVEMBER 27, 1989, MADE BY ROBERT M. HENRICI. FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS, ON JANUARY 3, 1990 AS FILED MAP No. 24046

CONSTRUCTION SEQUENCE

1. CONTRACTOR TO STAKE CLEARING AND GRADING LINE AS LIMIT OF DISTURBANCE, INSTALL SILT FENCES ALONG LIMIT OF DISTURBANCE AS INDICATED ON SITE PLAN.
2. CONSTRUCT ANTI-TRACKING PAD AT CONSTRUCTION ENTRANCE TO POOL AREA.
3. CONFIRM LOCATION OF EXISTING HOUSE SEWER LINE AND PROTECT LINE WITH STEEL PLATE.
4. STRIP TOPSOIL FROM POOL AREA AND STOCKPILE WHERE INDICATED. ALL TOPSOIL STORAGE SITES ARE TO BE SURROUNDED WITH SILT FENCE DURING CONSTRUCTION.
5. PLACE STONE BOULDERS ALONG EDGE OF DISTURBANCE LIMIT TO LIMIT DISTURBANCE.
6. CONSTRUCT PROPOSED POOL.
   A. EXCAVATE FOR POOL. ALL EXCESS MATERIAL TO BE REMOVED OFF SITE. NO MATERIAL TO BE STORED ON SITE.
   B. INSTALL FORM WORK AND REINFORCING, POUR CONCRETE FOR POOL.
   C. INSTALL POOL EQUIPMENT PAD.
   D. STRIP FORM WORK AND BACK FILL.
   E. ROUGH GRADE AWAY FROM POOL AREA.
   F. INSTALL UTILITY CONNECTIONS; AND ELECTRIC FEED BETWEEN HOUSE AND POOL EQUIPMENT AREA.
   G. INSTALL COPING
   H. FILL POOL WITH WATER
7. INSTALL POOL DRAWDOWN MITIGATION SYSTEM.
8. INSTALL BUFFER MITIGATION PLANTING
9. INSTALL POOL FENCING
10. TOPSOIL, SEED, SOD OR HYDROSEED, AND MULCH ALL DISTURBED AREAS. INSTALL BUFFER MITIGATION LANDSCAPING.
11. REMOVE EROSION CONTROLS ONLY AFTER ALL AREAS HAVE BEEN THOROUGHLY STABILIZED.

GENERAL POOL CONSTRUCTION NOTES:

POOL PLANS ARE DESIGNED BY USING THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

1. THE PROPOSED IN-GROUND POOL, SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANSI / APSP / ICC5.

   ENTIRE POOL SHALL BE SURROUNDED BY A PERMANENT POOL BARRIER AND IT SHALL BE INSTALLED AS PER ALL APPLICABLE REQUIREMENTS LISTED IN THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
2. ALL GATES ARE TO BE SELF CLOSING, SWING AWAY FROM POOL AND HAVE A LOCKING MECHANISM SUCH AS A MAGNA LATCH AT LEAST 54" ABOVE GRADE LEVEL.
3. POOL SHALL PROVIDE A SAFETY VACUUM RELEASE SYSTEM THAT CONFORMS TO ASME A112.19.17 PER SECTION R326. SUCTION COVERS ON DRAIN OUTLETS SHALL CONFORM TO ANSI / ASME 112.19.8M OR ALTERNATIVES PER R326.6.2

NO.	REVISION	DATE

LEGEND

- PROPERTY LINE
- LIMITS OF DISTURBANCE
- 100 EXISTING CONTOUR LINE
- 96 PROPOSED CONTOUR LINE
- + 97.5 PROPOSED SPOT ELEVATION
- WF NYS NYSDEC FLAGGED WETLAND LINE
- WF A LOCAL FLAGGED WETLAND LINE
- SS TOPSOIL STOCKPILE
- S EROSION CONTROL BARRIER
- CF CONSTRUCTION FENCE BARRIER
- STP-1 DEEP TEST PIT LOCATION & ID
- PROPOSED STORM PIPE
- PROPOSED FENCE LINE
- SAN PROPOSED SANITARY SEWER
- PROPOSED CLEAN OUT

20 15 10 5 0 20 40
SCALE IN FEET

Surveyor
Rowan Land Surveying LS, PLLC
330 Old Albany Post Road
Garrison, NY 10524
Tel: 914-815-3986
Email: rowanlandsurveying@outlook.com

Owner
George & Eileen Ritacco
37 Gideon Reynolds Road
Cross River, NY 10518

DTS · PROVIDENT
Intelligent Land Use
DTS Provident Design Engineering, LLP
One North Broadway White Plains, NY 10601
P: 914.428.0010
F: 914.428.0017

Under New York State Education Law Article 145 (Engineering), Section 7209 (2), It Is A Violation Of This Law For Any Person, Unless Acting Under The Direction Of A Licensed Professional Engineer, To Alter This Document

© DTS Provident Design Engineering, LLP
Certificate Of Authorization #0017846

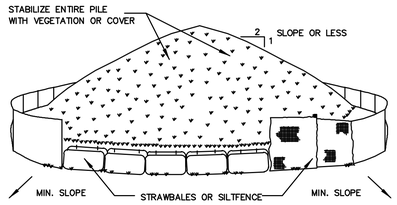
RITACCO RESIDENCE POOL
37 GIDEON REYNOLDS ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
SITE PLAN

Seal: STATE OF NEW YORK · PETER J. GREGORY · No. 071226 · LICENSED PROFESSIONAL ENGINEER

Scale:	1" = 20'
Date:	1/23/2023
Drawn By:	KMM
Checked By:	PJG
Project No.:	0972
Sheet No.:	1 of 2
Dwg. No.:	C-101

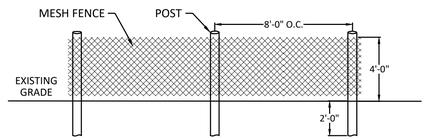
A:\PROJECTS-DTSP\0972 - Gideon Reynolds Road, Cross River, NY\AutoCAD\Construction\37 Gideon Reynolds Rd - Site Plan.dwg



INSTALLATION NOTES

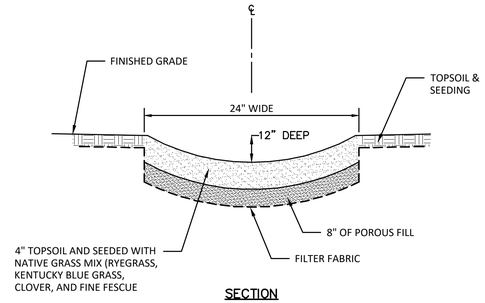
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILTFENCE.

SOIL STOCKPILING
NOT TO SCALE
1

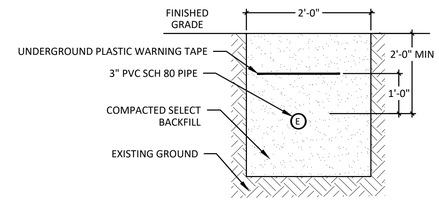


INSTALLATION NOTES:
1) MESH TO BE PLACED ON "OUTSIDE" FACE OF POST TO RENDER NON-CLIMABLE
2) MESH COLOR TO BE BLAZE ORANGE

TYPICAL ORANGE MESH CONSTRUCTION FENCE
NOT TO SCALE
2

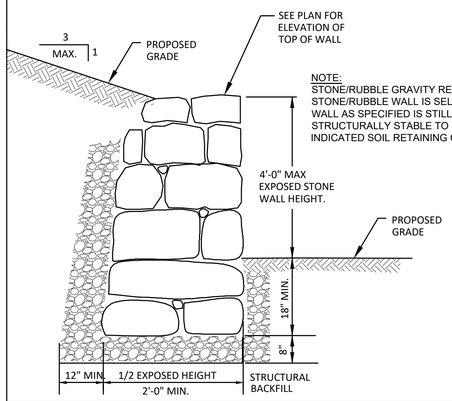


GRASS SWALE DTAIL
NOT TO SCALE
3

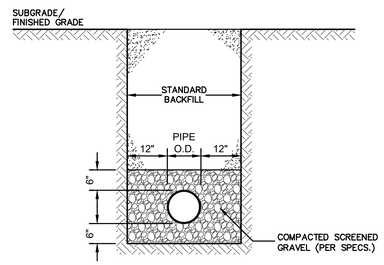


UTILITY TRENCH DETAIL
NOT TO SCALE
4

NO.	REVISION	DATE

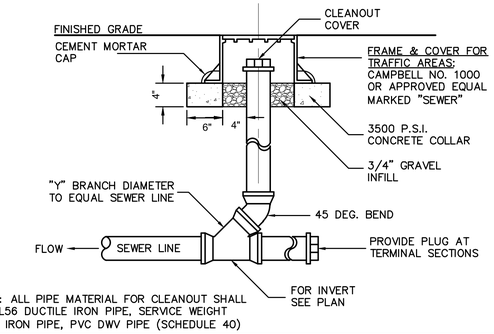


LANDSCAPE BOULDER RETAINING WALL DETAIL
NOT TO SCALE
5



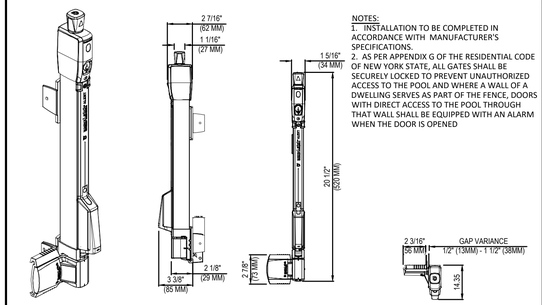
NOTES:
1. SCREENED GRAVEL SHALL BE WELL GRADED IN SIZE FROM 3/8 INCH TO 3/4 INCH.
2. SCREENED GRAVEL SHALL BE COMPACTED TO 85% OF THE MAXIMUM DENSITY.

PVC PIPE TRENCH DETAIL
NOT TO SCALE
6



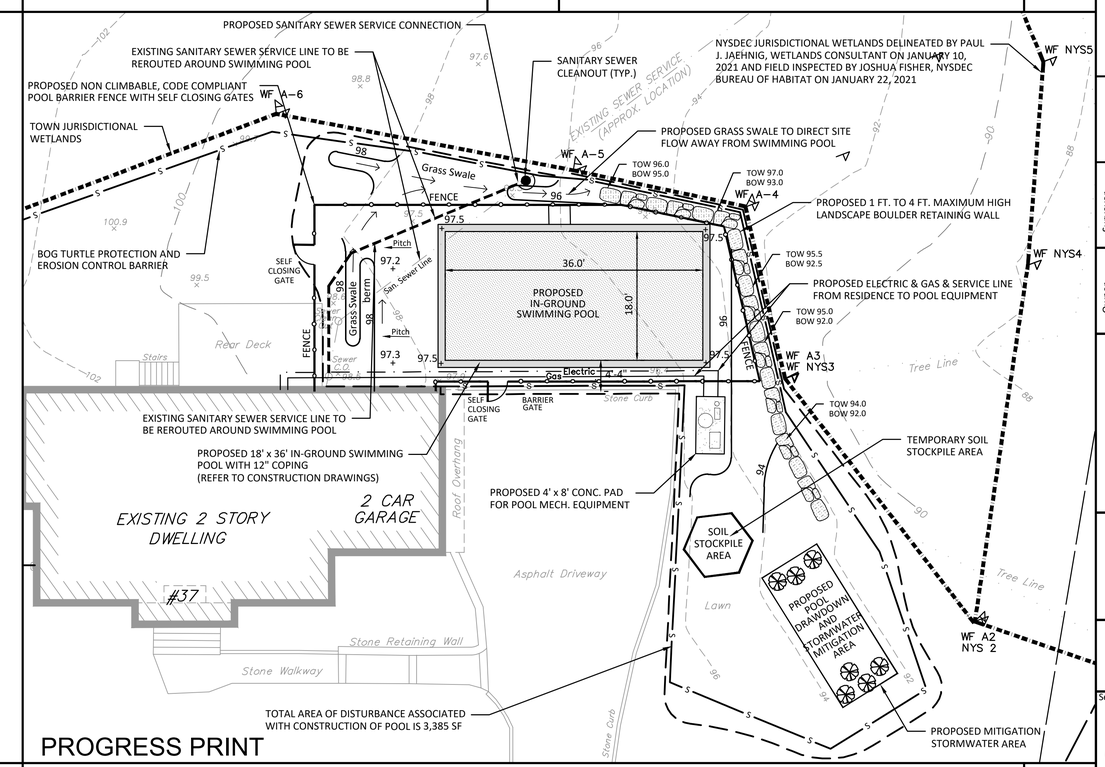
NOTE: ALL PIPE MATERIAL FOR CLEANOUT SHALL BE CL56 DUCTILE IRON PIPE, SERVICE WEIGHT CAST IRON PIPE, PVC DWV PIPE (SCHEDULE 40)

SEWER CLEANOUT
NOT TO SCALE
7



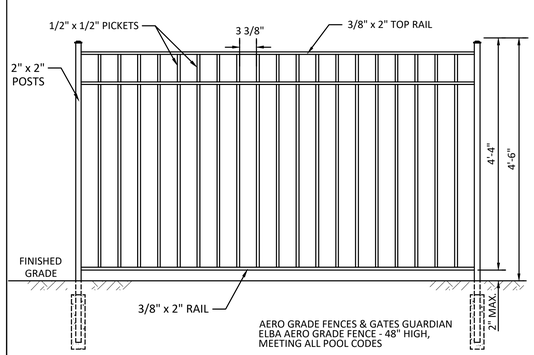
NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. AS PER APPENDIX G OF THE RESIDENTIAL CODE OF NEW YORK STATE, ALL GATES SHALL BE SECURELY LOCKED TO PREVENT UNAUTHORIZED ACCESS TO THE POOL AND WHERE A WALL OF A DWELLING SERVES AS PART OF THE FENCE, DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM WHEN THE DOOR IS OPENED

GATE LATCH
NOT TO SCALE
8



INSTALLATION NOTES:

1) TOP OF FENCE SHALL BE 4.5 FEET ABOVE GRADE MEASURED ON THE SIDE OF THE FENCE WHICH FACES AWAY FROM THE SWIMMING POOL
2) MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE FENCE SHALL BE 2-INCHES MEASURED ON THE SIDE OF THE FENCE WHICH FACES AWAY FROM THE SWIMMING POOL
3) ALL GATES SHALL BE SELF-CLOSING AND OPEN OUTWARD AWAY FROM THE POOL
4) ALL GATES SHALL BE SELF-LATCHING WITH THE LATCH HANDLE LOCATED WITHIN THE ENCLOSURE (ON THE POOL SIDE OF THE ENCLOSURE) AND AT LEAST 54-INCHES ABOVE GRADE
5) SHOULD THE LATCH HANDLE BE LOCATED LESS THEN 54-INCHES FROM THE BOTTOM OF THE GATE, THE LATCH HANDLE SHALL BE LOCATED AT LEAST 3-INCHES BELOW THE TOP OF THE GATE, AND NEITHER THE GATE NOT THE FENCE SHALL HAVE ANY OPENING GREATER THEN $\frac{1}{2}$-INCH WITHIN 18-INCHES OF THE LATCH HANDLE
6) AS PER APPENDIX G OF THE RESIDENTIAL CODE OF NEW YORK STATE, ALL GATES SHALL BE SECURELY LOCKED TO PREVENT UNAUTHORIZED ACCESS TO THE POOL AND WHERE A WALL OF A DWELLING SERVES AS PART OF THE FENCE, DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM WHEN THE DOOR IS OPENED



POOL ENCLOSURE FENCE
NOT TO SCALE
9

Surveyor
Rowan Land Surveying LS, PLLC
330 Old Albany Post Road
Garrison, NY 10524
Tel: 914-815-3986
Email: rowanlandsurveying@outlook.com

Owner
George & Eileen Ritacco
37 Gideon Reynolds Road
Cross River, NY 10518

DTS · PROVIDENT
Intelligent Land Use
DTS Provident Design Engineering, LLP
One North Broadway White Plains, NY 10601
P: 914.428.0010
F: 914.428.0017

Under New York State Education Law Article 145 (Engineering), Section 7209 (2), It Is A Violation Of This Law For Any Person, Unless Acting Under The Direction Of A Licensed Professional Engineer, To Alter This Document

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Certificate Of Authorization #0017846

RITACCO RESIDENCE POOL
37 GIDEON REYNOLDS ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
CONSTRUCTION PLAN AND DETAIL SHEET

Seal: STATE OF NEW YORK · PETER J. GREGORY · No. 071226 · LICENSED PROFESSIONAL ENGINEER

Scale:	AS NOTED
Date:	1/23/2023
Drawn By:	KMM
Checked By:	PJG
Project No.:	0972
Sheet No.:	2 of 2
Dwg. No.:	C-102

DATE: December 12, 2022

CONSTRUCTION PLAN
SCALE: 1" = 10 FT.
10

AGENDA PACKET

FEBUARY 28, 2023 MEETING
Part 2B of 3

	CAL#	PAGE
AGENDA		
MORRISSEY RESIDENCE, 10 HOYT STREET, SOUTH SALEM	**Cal #39-22WP**	**Cal #01-23SW**
Kellard Sessions review memo, dated February 24, 2023		
Cover letter; Alan Pilch, P.E.; dated February 6, 2023		
Letter of Transmittal, Alan Pilch, P.E.; dated February 20, 2023		
Engineering drawings; Alan Pilch, P.E.; dated February 3, 2023		
Architectural drawings; Darren Mercer, AIA; dated January 20, 2023		
Deed, dated February 2, 2022		
Town Board minutes November 10, 1970		
Assessor map, Sheet 36, undated		
SIMPKINS RESIDENCE, 120 MILL RIVER ROAD, SOUTH SALEM	**Cal #42-22WP**	**Cal #21-22SW**
Kellard Sessions review memo, dated February 24, 2023		
CAC Memo, dated February 8, 2023		
Cover letters; Patrick Croke, AIA; dated December 8, 2022 and February 13, 2023		
Wetland and stormwater applications, dated December 8, 2022		
Site plan and architectural drawings; Patrick Croke, AIA; dated December 9, 2022		
SEAF, dated December 8, 2022		
Stormwater Management Report, Stephen Coleman, dated December 19, 2022		
VITIELLO RESIDENCE, 43 CONANT VALLEY ROAD, POUND RIDGE	**Cal #01-23WP**	
Kellard Sessions review memo, dated February 24, 2023		
CAC Memo, dated February 8, 2023		
Wetland application, dated January 21, 2023		

Site plan and detail sheet, DTS Provident Design Engineering, dated January 23, 2023		
<u>RITACCO POOL, 37 GIDEON REYNOLDS ROAD, CROSS RIVER</u>	**Cal #02-23WP**	
Kellard Sessions review memo, dated February 24, 2023		
CAC Memo, dated February 8, 2023		
Wetland application, dated January 10, 2023		
DEC permit, dated July 20, 2022		
Site plan and detail sheet, DTS Provident Design Engineering, dated January 23, 2023		

TOWN OF LEWISBORO
Westchester County, New York

Planning Board
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-5592
Fax: (914) 875-9148
Email: planning@lewisborogov.com

AGENDA

Tuesday, February 28, 2023 **Courtroom at 79 Bouton Road**

Meeting will start at 7:30 p.m. and end at or before 11:00 p.m.

I. EXTENSION OF TIME REQUESTS

Cal #08-14PB, Cal# 95-14WP, Cal# 20-14SW
Goldens Bridge Village Center, NYS Route 22, Goldens Bridge, NY 10526; Sheet 4, Block 11126, Lot 07 (Stephen Cipes, owner of record) – The Planning Board Resolution for Site Development Plan Approval, Wetland Activity Permit Approval and Town Stormwater Permit granted on January 21, 2020 for modifications to the existing shopping center expired January 21, 2022.

Cal #04-19PB, Cal #17-19WP, Cal #06-19SW
Pound Ridge Stone, 2 West Road, South Salem, NY 10590; Sheet 49B, Block 9831, Lot 1 (Two West Road LLC, owner of record) – The Planning Board Resolution for a Negative Declaration of Significance, Site Development Plan Approval, Special Use Permit Approval, Town Wetland Activity Permit Approval and Town Stormwater Permit Approval granted on August 17, 2021 for site upgrades including additional parking and storage areas expired February 17, 2023.

II. PUBLIC HEARINGS

Cal #06-22PB, Cal #05-22WP, Cal #03-22SW
Waccabuc Country Club Snack Bar, 18 Perch Bay Road, Waccabuc, NY 10597; Sheet 25A, Block 10813, Lot 1 & 0 Tarry-A-Bit Lane, Waccabuc, NY 10597; Sheet 25, Block 11155, Lot 148 (Waccabuc Country Club Co., owner of record for both lots) - Application for beachfront improvements including renovation of the boathouse, construction of a pavilion, replacement of the snack bar, and installation of accessible parking and walkways.

Cal #02-20PB
Mandia Residences, 65 Old Bedford Road, Goldens Bridge, NY 10526; Sheet 4A, Block 11112, Lot 2 (Town of Lewisboro, owner of record) - The Planning Board Resolution for Site Development Plan Approval, Special Use Permit Approval and Town Stormwater Permit Approval granted on June 19, 2020 included a construction performance bond for the four apartments and a request for a partial bond release has been submitted.

III. DECISION

Cal #10-17PB, Cal #19-22SW
Mercedes Benz of Goldens Bridge, 321 Main Street, Goldens Bridge, NY 10526; Sheet 4E, Block 11135, Lots 1, 2, 3, 4, 5, 6, 7 & 9 and Sheet 4E, Block 11137, Lot 42 (Celebrity Westchester Realty, LLC., owner of record for the nine lots) – Based on the applicant's January 17, 2023 request for an amendment of the Approving Site Development Plan Approval and Town Stormwater Permit Approval Resolution (dated March 17, 2020) and Amended Resolution (dated January 17, 2023) for installation of a water treatment system.

IV. SUBDIVISION

Cal #15-22PB
Vandervoort/Rising Starr Subdivision, 93 Silver Spring Rd, Wilton, CT 06897; Sheet 48, Block 10057, Lots 14, 19, 84 & 134 (SJK, LLC & PVK, LLC, owners of record) - Application for a subdivision.

V. SITE DEVELOPMENT PLAN REVIEW

Cal #18-22PB
Bichon LLC, 876 Route 35, Cross River, NY 10518; Sheet 20, Block 10801, Lot 2 (Bichon LLC – owner of record) – Application for a change of use from residential to commercial (professional office and outdoor storage of containers).

VI. WETLAND PERMIT REVIEW

Cal #34-22WP, Cal #01-21WV
Maple Tree Farm, 400 Smith Ridge Road, South Salem, NY 10590; Sheet 24, Block 9831, Lot 49B (Maple Tree Farm, LLC, owner of record) - Application for remediation of wetlands.

Cal #39-22WP
Morrissey Residence, 10 Hoyt Street, South Salem, NY 10590; Sheet 36C, Block 11172, Lot 5 (Susan Morrissey, owner of record) - Application for sunroom/porch, terrace and walkway.

Cal #42-22WP and Cal #21-22SW
Simpkins Residence, 120 Mill River Road, South Salem, NY 10590; Sheet 45, Block 10299, Lot 86 (Nancy Simpkins, owner of record) – Application for an addition.

Cal #01-23WP
Vitiello residence, 43 Conant Valley Road, Pound Ridge, NY 10576; Sheet 49, Block 9827, Lot 100 (Linda & Michael Vitiello – owners of record) – Application for driveway improvements.

Cal #02-23WP
Ritacco Pool, 37 Gideon Reynolds Road, Cross River, NY 10518; Sheet 16, Block 10533, Lot 423 (George & Eileen Ritacco, owners of record) – Application for a pool.

VII. WETLAND VIOLATION

Cal #01-23WV

VIII. DISCUSSION

Cal #06-17PB
Wolf Conservation Center, Buck Run, South Salem, NY 10590; Sheet 21, Block 10803, Lots 3, 65, 67, 81, 82, 83, 86 & 88 (Wolf Conservation Center, owner of record) - Application for a Subdivision and Special Use Permit associated with a private nature preserve.

IX. SCHEDULE A POST-CONSTRUCTION SITE VISIT

Cal #10-15 PB, Cal #20-17WP, Cal #5-17SW
Lewisboro Commons (Wilder Balter), 100 Beekman Lane, Goldens Bridge, NY 10526; Sheet 5, Block 10776, Lots 19, 20 & 21 (Lewisboro Commons Housing Development Fund Co., Inc., owner of record)

X. MINUTES OF January 17, 2023.

XI. NEXT MEETING DATE: March 21, 2023.

XII. ADJOURN MEETING.

KELLARD SESSIONS

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM
Town Consulting Professionals

DATE: February 24, 2023

RE: Wetland Permit & Stormwater Permit
Susan Morrissey
10 Hoyt Street
Sheet 036C, Block 11172, Lot 005

PROJECT DESCRIPTION

The subject property consists of ±0.27 acre of land and is located at 10 Hoyt Street within the R-1/4A Zoning District. The subject property is developed with a single-family residence, asphalt driveway, walkways and other ancillary improvements. The residence is served by a community water system and on-site wastewater treatment system. The applicant is proposing to construct a sunroom/porch and stone terrace at the rear of the house, as well as retaining walls, steps, generator, trash enclosure, drainage facilities, wetland mitigation and other ancillary improvements. The property has frontage on Truesdale Lake, which coincides with the wetland boundary, and the wetlands buffer covers most of the property.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. A Wetland Activity Permit and a Town Stormwater Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

COMMENTS

1. As previously discussed, the applicant has acknowledged the need to confirm the ownership of the right-of-way depicted on the plan, particularly regarding the existing stone wall and gate at the front of the entry to the property.

2. As previously noted, this office defers review of the plan for zoning compliance to the Building Inspector. It is recommended that the application be referred to the Building Inspector for review.

3. The stormwater calculations should be modified to use a curve number of 89 for all areas with gravel cover.

4. The plan shall indicate all trees to be removed or protected within and 15 feet beyond the limit of disturbance. The plan shall also include a temporary stabilized construction entrance and a soil stockpile area. We note that an additional silt fence is needed along the west property line and downgrade of all proposed planting areas.

5. The limit of disturbance in the area of the proposed six (6) inch pipe from CB #2 to the SWMP requires adjustment. It appears the eight (8) inch tree adjacent to the pipe will require removal.

6. The plan proposes 4,785 s.f. of total disturbance. As previously noted, the limits of disturbance depicted on the plan appears limited and unlikely to maintain during construction. The limits shall be adjusted, as needed, and shall include all areas of tree protection and removal, temporary erosion and sediment controls and all proposed improvements, grading, planting areas, etc. As such, it appears that land disturbance will exceed 5,000 s.f. and will therefore require conformance with New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit (GP-0-20-001) and filing of a Notice of Intent (NOI) and MS4 Acceptance Form with the NYSDEC. Submit draft copies to this office for review.

7. The applicant has indicated that the proposed outdoor shower will tie into the existing septic system. As previously requested, the plans shall illustrate the proposed connection to the existing septic system.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY ALP ENGINEERING, DATED FEBRUARY 3, 2023:

- Site Plan (C-101)
- Erosion and Sediment Control Plan (C-102)
- Demolition and Removals Plan (C-103)
- Mitigation Planting Plan (C-104)
- Construction Details (C-111)
- Construction Details (C-112)

DOCUMENTS REVIEWED:

- Letter, prepared by ALP Engineering, dated February 6, 2023
- Architecturals, prepared by Darren P. Mercer, Architect, PLLC, dated January 20, 2023

JKJ/dc

ALP Engineering
& Landscape Architecture, PLLC

February 6, 2023

Hon. Janet Andersen, Chairwoman and Members of the Planning Board
Town of Lewisboro
79 Bouton Road
South Salem, NY 10590

Re: 10 Hoyt Street
Sheet 036C, Block 11172, Lot 005
Application for Wetland Activity Permit and Stormwater Management Permit

Dear Chairwoman Andersen and Members of the Planning Board:

We are pleased to submit four (4) copies of the following revised drawings in support of this application by Susan Morrissey, owner of the property located at 10 Hoyt Street for Wetlands and Stormwater Management Permits:

Drawing No.:	Drawing Title:	Date:
Dwg. C-101	Site Plan	02/03/2023
Dwg. C-102	Erosion and Sediment Control Plan	02/03/2023
Dwg. C-103	Demolition and Removals Plan	02/03/2023
Dwg. C-104	Mitigation Planting Plan	02/03/2023
Dwg. C-111	Erosion and Sediment Control Plan Details	12/28/2022
Dwg. C-112	Construction Details	12/28/2022

Architectural Plans prepared by Darren P. Mercer, Architect, PLLC:

- Dwg. A.1, Basement & First Floor Plans – Existing Conditions and Proposed, dated 01/20/2023.
- Dwg. A.2, Second Floor Plans – Existing Conditions and Proposed, dated 01/20/2023

1. The applicant has acknowledged the need to confirm the ownership of the right-of-way depicted on the plan, particularly regarding the existing stone wall and gate at the front of the entry to the property.

Response: We are endeavoring to confirm the ownership of the right-of-way of Hoyt Street. We also note that other homes in the vicinity also have such similar improvements within the street right-of-way.

P.O. Box 843 Ridgefield, CT 06877
Direct: (475) 215-5343 Mobile: (203) 710-0587
Email: alan@eaec-inc.com

2. As previously noted, this office defers review of the plan for zoning compliance to the Building Inspector. It is recommended that the application be referred to the Building Inspector for review.

Response: The Town Building Inspector has provided a review, without any comment regarding the right-of-way noted in 1 above.

3. The Bulk Zoning Table is inaccurate and should be adjusted, the values for the front setback (required) have been reversed. We note that the egress window well is proposed within the side yard setback. The applicant shall obtain a determination from the Building Inspector as to whether this will require an area variance.

Response: The Bulk Zoning Table has been corrected. We note that the letter from the Town Building Inspector dated 01/18/2023 did not address the question regarding the proposed on-grade egress window from the basement.

4. The wetland mitigation, as proposed, appears appropriate. The applicant has extended the mitigation area along the lake frontage, as suggested.

Response: So noted.

5. The plan shall illustrate the location of the existing and proposed electric service.

Response: The plan shows that the existing electric service to the house is obtained from the existing utility pole on the north side of Hoyt Street. The service line is attached to the façade of the house closest to the street. It is not proposed to modify the electric service from the utility to the house.

6. The plan shall illustrate that the minimum required Westchester County Department of Health (WCDH) separation distances from the septic tank to the piers of the proposed sunroom, as well as the from the absorption fields to the piers of the proposed sunroom, the proposed terrace, and the 6-inch outlet pipe from OCS to the emitter. The applicant will need a determination from the WCDH as to whether the proposed setbacks are acceptable. The Planning Board had requested a "no objection" review of the project by the WCDH.

Response: The applicant has contacted the Westchester County Department of Health and obtained an initial response. The applicant's architect is presently following up with the Health Department.

7. The plan has been revised to include a proposed planter for a portion of the roof (RDL-8), which is located up gradient to the septic field. The applicant will need a determination from the WCDH as to whether this is acceptable.

Response: The plan has been revised to eliminate roof drain leader RDL-8 which was only shown to direct runoff to the planter. Instead, the runoff from the eastern half of the roof of the sunroom/porch addition will be directed to a pop-up emitter which will discharge to the proposed wetland buffer mitigation area.

8. As previously noted, the names of the adjacent property owners shall be illustrated on a plan.

Response: The amended plan provides the names of the adjacent property owners to the all sides of the property, including across the street.

9. As previously requested, the plan shall note the proposed building floor elevation, patio elevation and illustrate proposed contours and spot elevations as needed.

Response: The building finished floor elevation has been added to the plan (see Sheet C-101). The grade of the proposed patio has also been added with spot elevations shown.

We look forward to your review of the revised plans. If you have any questions regarding this submission, please feel free to call me on my direct line at (475) 215-5343 or my cell at (203) 710-0587, or by email at alan@eaec-inc.com.

Sincerely,

ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC

Alan L. Pilch, P.E., R.L.A.
Principal

cc: Susan Morrissey (via email)
Darren Mercer, Architect (via email)

ALP Engineering & Landscape Architecture, PLLC

LETTER OF TRANSMITTAL

Date: February 20, 2023

To: **Hon. Janet Andersen and Members of the Planning Board**
Town of Lewisboro
79 Bouton Road
South Salem, NY 10590

Re: **Morrissey Property**
10 Hoyt Street
South Salem, N.Y.

We are sending you via Email the following documents:

No. of Copies	Date	Description
1	01/20/2023	Dwg. A.1, Basement & First Floor Plans – Existing Conditions and Proposed
1	01/20/2023	Dwg. A.2, Second Floor Plans – Existing Conditions and Proposed
1	01/22/2023	Dwg. C-101, Site Plan

THESE ARE TRANSMITTED:

[ ] For Approval **[X] For Your Use** [ ] As Requested

[ ] For Review and Comment

COMMENTS:

As was noted in our 2/06/2023 letter to the Planning Board, the applicant's engineer and architect had contacted the Westchester County Department of Health regarding the separation distance of the piers (which are to support the proposed addition) from the existing septic tank.

Enclosed please find the architectural plans and the site plan which have been stamped "NO OBJECTION" by the Health Department. Based on the determination of the Health Department, we conclude that the construction of the addition on the piers is acceptable, as is the storm drainage pipe along the western edge of the property line, and that the relocation of the septic tank would not be necessary.

If you have any questions about the enclosed plans or would like to have the original hard copy of the "No Objection" stamped plans, please let us know.

P.O. Box 843 · Ridgefield, Connecticut 06877 · Direct Tel: 475-215-5343 · Mobile: 203-710-0587

ALP Engineering & Landscape Architecture, PLLC

Signed:_____
Alan L. Pilch, P.E., R.L.A.
Principal

cc: Edward P. Larkin, PE (via email)
Darren Mercer, Architect (via email)
Susan Morrissey (via email)

P.O. Box 843 · Ridgefield, Connecticut 06877 · Direct Tel: 475-215-5343 · Mobile: 203-710-0587

SITE LOCATION MAP

TABLE OF LOT COVERAGE REGULATIONS

ZONING: R-1/4A DISTRICT ZONE
SITE AREA: 11,739.58 SQ. FEET
SBL: 036C - 11172 - 005

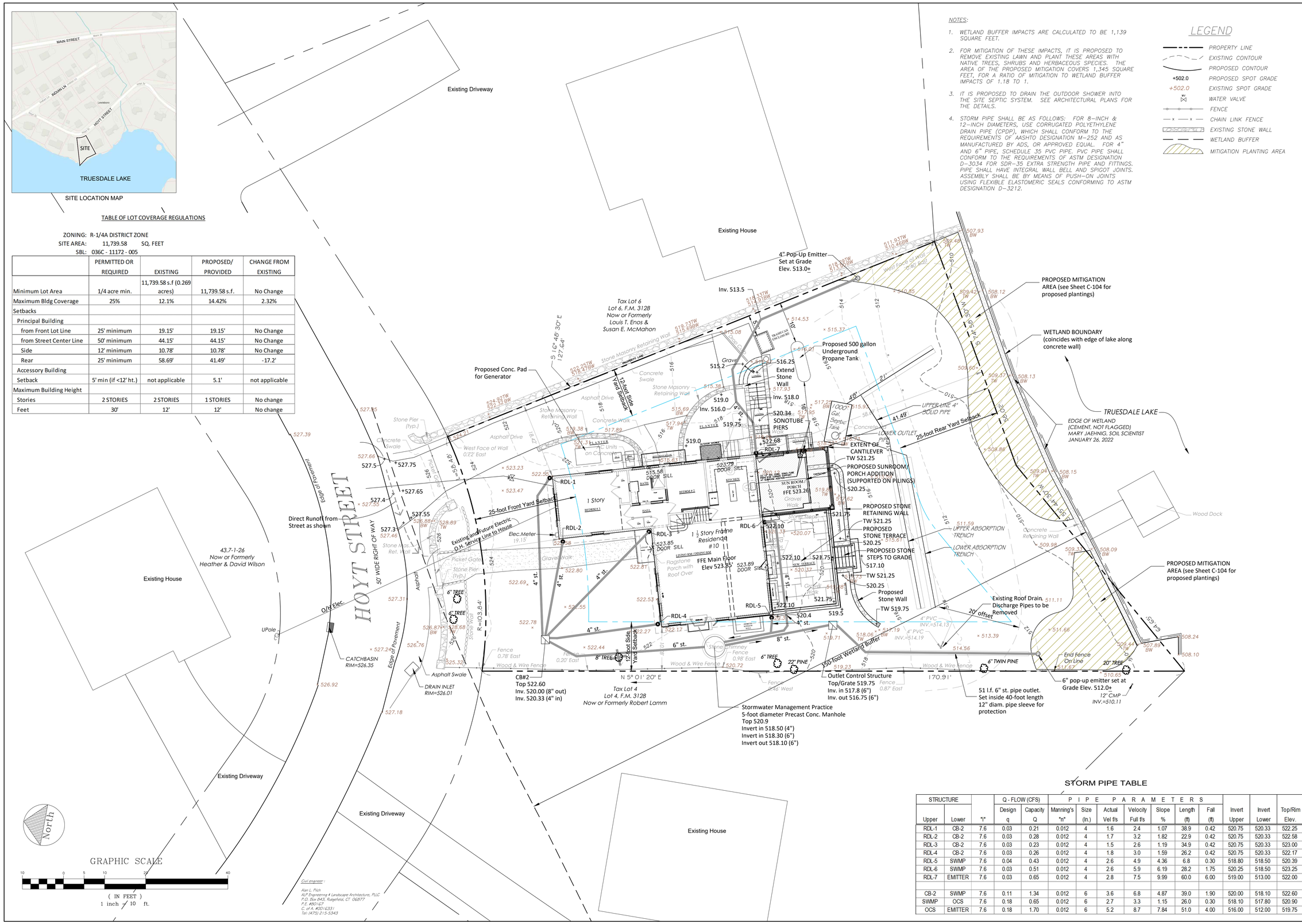
	PERMITTED OR REQUIRED	EXISTING	PROPOSED/ PROVIDED	CHANGE FROM EXISTING
Minimum Lot Area	1/4 acre min.	11,739.58 s.f (0.269 acres)	11,739.58 s.f.	No Change
Maximum Bldg Coverage	25%	12.1%	14.42%	2.32%
Setbacks				
Principal Building				
from Front Lot Line	25' minimum	19.15'	19.15'	No Change
from Street Center Line	50' minimum	44.15'	44.15'	No Change
Side	12' minimum	10.78'	10.78'	No Change
Rear	25' minimum	58.69'	41.49'	-17.2'
Accessory Building				
Setback	5' min (if <12' ht.)	not applicable	5.1'	not applicable
Maximum Building Height				
Stories	2 STORIES	2 STORIES	1 STORIES	No change
Feet	30'	12'	12'	No change

NOTES:

1. WETLAND BUFFER IMPACTS ARE CALCULATED TO BE 1,139 SQUARE FEET.
2. FOR MITIGATION OF THESE IMPACTS, IT IS PROPOSED TO REMOVE EXISTING LAWN AND PLANT THESE AREAS WITH NATIVE TREES, SHRUBS AND HERBACEOUS SPECIES. THE AREA OF THE PROPOSED MITIGATION COVERS 1,345 SQUARE FEET, FOR A RATIO OF MITIGATION TO WETLAND BUFFER IMPACTS OF 1.18 TO 1.
3. IT IS PROPOSED TO DRAIN THE OUTDOOR SHOWER INTO THE SITE SEPTIC SYSTEM. SEE ARCHITECTURAL PLANS FOR THE DETAILS.
4. STORM PIPE SHALL BE AS FOLLOWS: FOR 8–INCH & 12–INCH DIAMETERS, USE CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP), WHICH SHALL CONFORM TO THE REQUIREMENTS OF AASHTO DESIGNATION M–252 AND AS MANUFACTURED BY ADS, OR APPROVED EQUAL. FOR 4" AND 6" PIPE, SCHEDULE 35 PVC PIPE. PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D–3034 FOR SDR–35 EXTRA STRENGTH PIPE AND FITTINGS. PIPE SHALL HAVE INTEGRAL WALL BELL AND SPIGOT JOINTS. ASSEMBLY SHALL BE BY MEANS OF PUSH–ON JOINTS USING FLEXIBLE ELASTOMERIC SEALS CONFORMING TO ASTM DESIGNATION D–3212.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- +502.0 PROPOSED SPOT GRADE
- +502.0 EXISTING SPOT GRADE
- WV WATER VALVE
- FENCE
- CHAIN LINK FENCE
- EXISTING STONE WALL
- WETLAND BUFFER
- MITIGATION PLANTING AREA



Civil engineer:
Alan L. Pilch
ALP Engineering & Landscape Architecture, PLLC
P.O. Box 643, Ridgefield, CT 06877
P.E. #80167
C. of A. #20163331
Tel: (475) 215-5343

STORM PIPE TABLE

STRUCTURE			Q - FLOW (CFS)		PIPE PARAMETERS								
Upper	Lower	"i"	Design q	Capacity Q	Manning's "n"	Size (in.)	Actual Vel f/s	Velocity Full f/s	Slope %	Length (ft)	Fall (ft)	Invert Upper	Invert Lower	Top/Rim Elev.
RDL-1	CB-2	7.6	0.03	0.21	0.012	4	1.6	2.4	1.07	38.9	0.42	520.75	520.33	522.25
RDL-2	CB-2	7.6	0.03	0.28	0.012	4	1.7	3.2	1.82	22.9	0.42	520.75	520.33	522.58
RDL-3	CB-2	7.6	0.03	0.23	0.012	4	1.5	2.6	1.19	34.9	0.42	520.75	520.33	523.00
RDL-4	CB-2	7.6	0.03	0.26	0.012	4	1.8	3.0	1.59	26.2	0.42	520.75	520.33	522.17
RDL-5	SWMP	7.6	0.04	0.43	0.012	4	2.6	4.9	4.36	6.8	0.30	518.80	518.50	520.39
RDL-6	SWMP	7.6	0.03	0.51	0.012	4	2.6	5.9	6.19	28.2	1.75	520.25	518.50	523.25
RDL-7	EMITTER	7.6	0.03	0.65	0.012	4	2.8	7.5	9.99	60.0	6.00	519.00	513.00	522.00
CB-2	SWMP	7.6	0.11	1.34	0.012	6	3.6	6.8	4.87	39.0	1.90	520.00	518.10	522.60
SWMP	OCS	7.6	0.18	0.65	0.012	6	2.7	3.3	1.15	26.0	0.30	518.10	517.80	520.90
OCS	EMITTER	7.6	0.18	1.70	0.012	6	5.2	8.7	7.84	51.0	4.00	516.00	512.00	519.75

PROPERTY OWNER:
Susan Morrissey
8A 239 Central Park West
New York, NY 10024

CONSULTANTS:

ARCHITECT:
Darren P. Mercer, Architect, PLLC
32 Flintlock Ridge Road
Katonah, NY 10536
Tel: (914) 391-4490

SURVEYOR:
TC Merritts Land Surveyors
394 Bedford Road
Pleasantville, NY 10570
Tel: (914) 769-8003

ISSUED:

Submission to Planning Board	11/18/2022
Rev. as per Planning Board & Town Consultant comments	12/26/2022
Submission of plan to WCDOH	01/22/2023
Rev. as per Planning Board & Town Consultant comments	02/03/2023

OWNERSHIP AND USE OF DOCUMENTS

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

No part of these drawings shall be copied, disclosed to others or used in connection with any work or project other than for which they have been prepared without the express written consent of the licensed professional who prepared the document.

SEAL:

STATE OF NEW YORK · ALAN L PILCH · No. 080167 · LICENSED PROFESSIONAL ENGINEER

PROJECT NAME:
MORRISSEY RESIDENCE
10 Hoyt Street
South Salem, New York 10590

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 643 Ridgefield, CT 06877
Direct Tel: (475) 215-5343 Cell (203) 710-0587

Drawing Title:
Site Plan

Date: October 12, 2022
Dwn. by: alp
ID: 10 Hoyt St Site_01-20-2023

C-101

EROSION & SEDIMENT CONTROL PLAN LEGEND

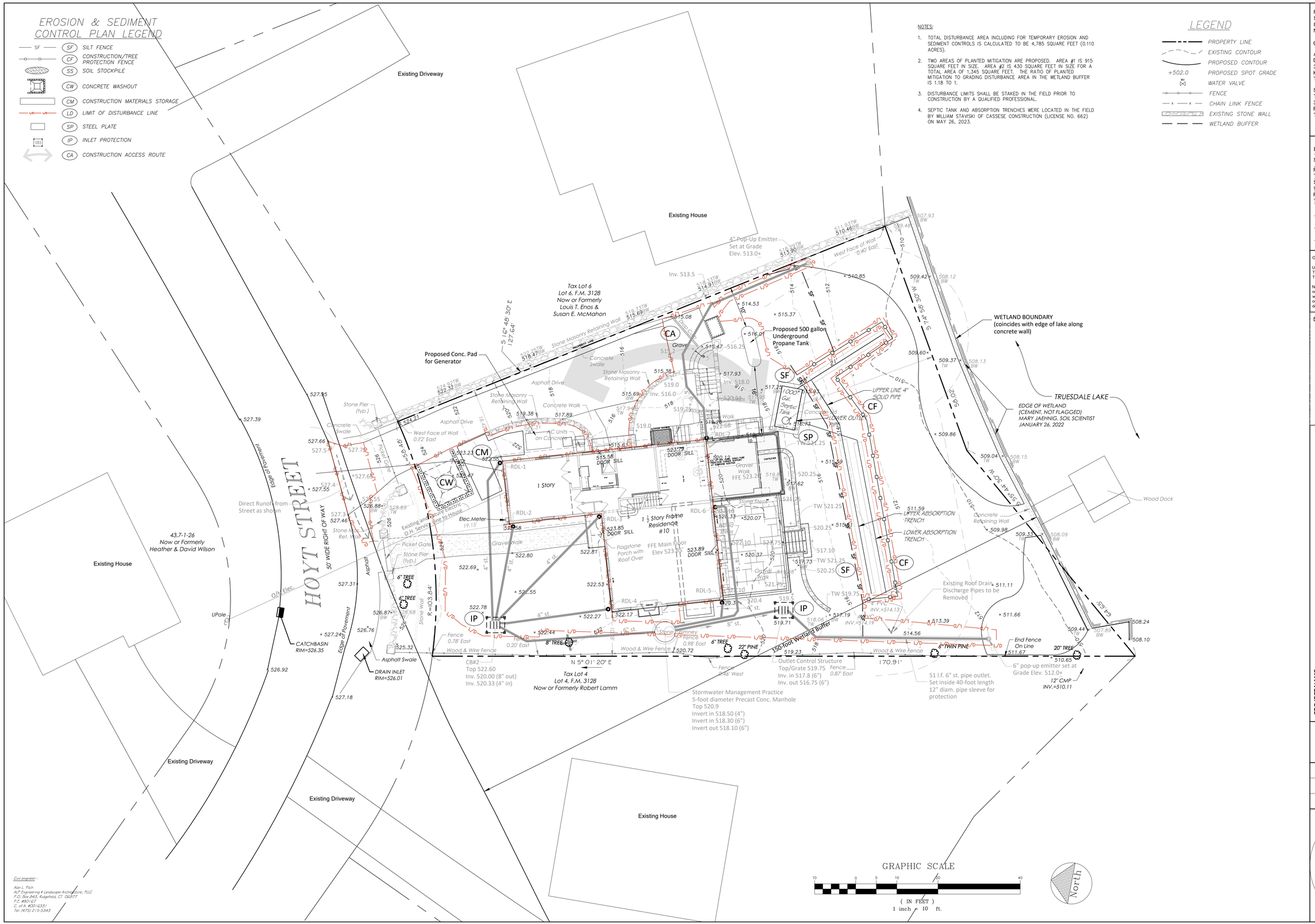
- SF — SILT FENCE
- CF — CONSTRUCTION/TREE PROTECTION FENCE
- SS — SOIL STOCKPILE
- CW — CONCRETE WASHOUT
- CM — CONSTRUCTION MATERIALS STORAGE
- LD — LIMIT OF DISTURBANCE LINE
- SP — STEEL PLATE
- IP — INLET PROTECTION
- CA — CONSTRUCTION ACCESS ROUTE

NOTES:

1. TOTAL DISTURBANCE AREA INCLUDING FOR TEMPORARY EROSION AND SEDIMENT CONTROLS IS CALCULATED TO BE 4,785 SQUARE FEET (0.110 ACRES).
2. TWO AREAS OF PLANTED MITIGATION ARE PROPOSED. AREA #1 IS 915 SQUARE FEET IN SIZE. AREA #2 IS 430 SQUARE FEET IN SIZE FOR A TOTAL AREA OF 1,345 SQUARE FEET. THE RATIO OF PLANTED MITIGATION TO GRADING DISTURBANCE AREA IN THE WETLAND BUFFER IS 1.18 TO 1.
3. DISTURBANCE LIMITS SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION BY A QUALIFIED PROFESSIONAL.
4. SEPTIC TANK AND ABSORPTION TRENCHES WERE LOCATED IN THE FIELD BY WILLIAM STAVISKI OF CASSESE CONSTRUCTION (LICENSE NO. 662) ON MAY 26, 2023.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- +502.0 PROPOSED SPOT GRADE
- WATER VALVE
- FENCE
- CHAIN LINK FENCE
- EXISTING STONE WALL
- WETLAND BUFFER



Civil engineer:
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C. of A. #001633
Tel: (475) 215-5343

PROPERTY OWNER:
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CONSULTANTS:

ARCHITECT:
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SURVEYOR:
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ISSUED:

Submission to Planning Board	11/18/2022
Rev. as per Planning Board & Town Consultant comments	12/26/2022
Submission of plan to WCDOH	01/22/2023
Rev. as per Planning Board & Town Consultant comments	02/03/2023

OWNERSHIP AND USE OF DOCUMENTS

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SEAL:

STATE OF NEW YORK · ALAN L. PILCH · No. 080167 · LICENSED PROFESSIONAL ENGINEER

PROJECT NAME:
MORRISSEY RESIDENCE
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South Salem, New York 10590

ENGINEER & LANDSCAPE ARCHITECT:
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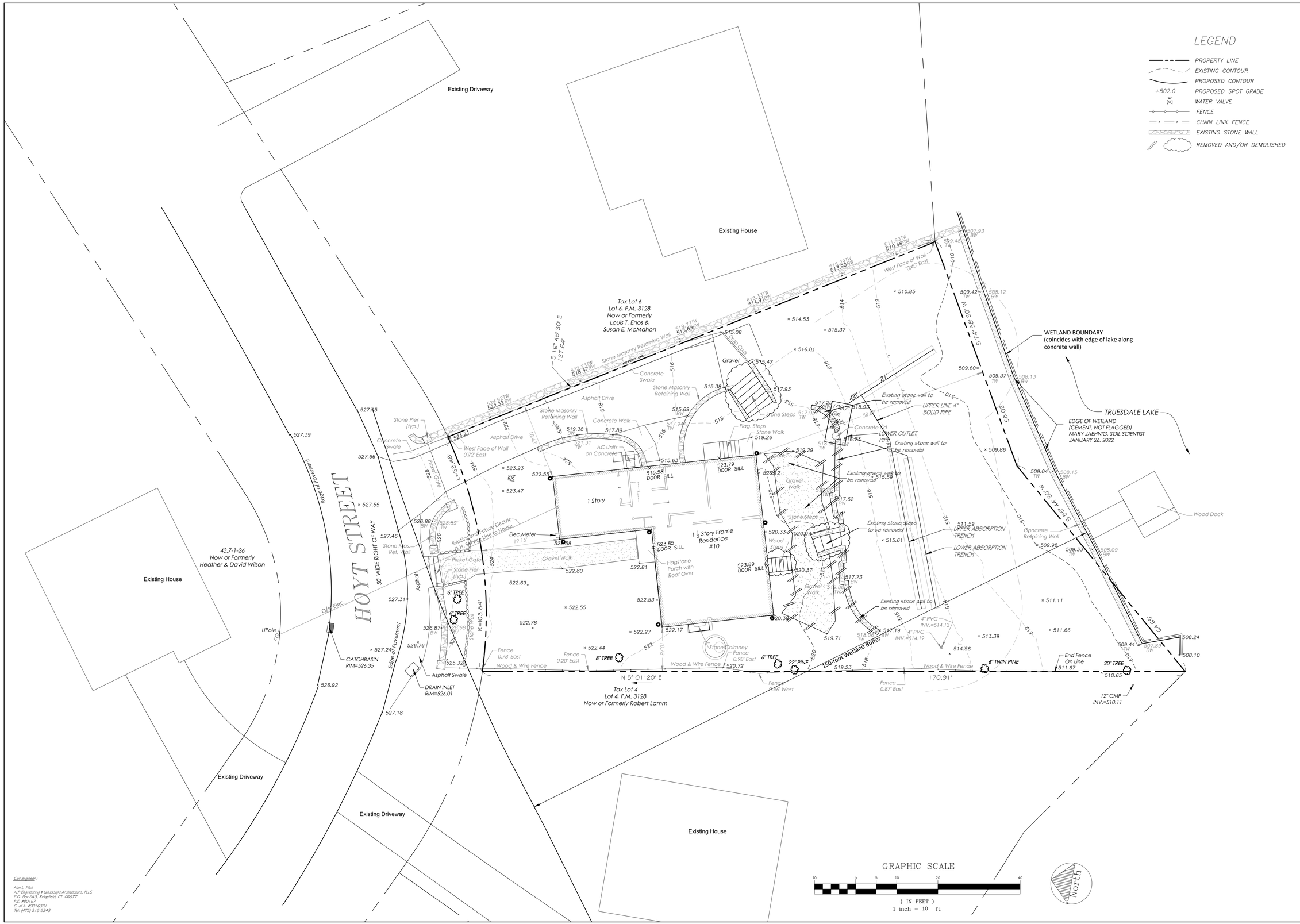
Drawing Title:
Erosion and Sediment Control Plan

Date: October 12, 2022

Dwn. by: alp

ID: 10 Hoyt St Site_01-20-2023

C-102



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Tel: (914) 769-8003

ISSUED:

Submission to Planning Board	11/18/2022
Submission to Planning Board	12/26/2022
Submission to Planning Board	02/03/2023

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P.O. Box 843 Ridgefield, CT 06877
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Drawing Title:
Demolition and Removals Plan

Date: October 12, 2022

Dwn. by: alp

ID: 10 Hoyt St Site_01-20-2023

C-103

MITIGATION PLANT LIST

TREES AND SHRUBS						
CODE	QTY.	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING/ROOT	SPACING	REMARKS
AA	5	Aronia arbutifolia	Red Chokeberry	#3 container	4' on center	
AC	1	Amelanchier canadensis	Shadblow	2"-2.5" caliper, B&B	not applicable	tree form
BN	1	Betula nigra	River Birch	2"-2.5" caliper, B&B	not applicable	
CA	3	Clethra alnifolia	Summersweet Clethra	#3 container	4' on center	
CP	3	Comptonia peregrina	Sweetfern	#3 container	3' on center	
CS	2	Cornus sericea	Red Osier Dogwood	#3 container	5' on center	
FG	4	Fothergilla gardenii	Dwarf Fothergilla	#3 container	4' on center	
HV	1	Hamamelis virginiana	Witch Hazel	4'-5' ht.	not applicable	
IIV	3	Itea virginica	Virginia Sweetspire	#3 container	4' on center	
IV	3	Ilex verticillata	Winterberry	#3 container	6' on center	2-F, 1-M
JH	3	Juniperus horizontalis 'Wiltonii'	Wilton Juniper	#2 container	3' on center	

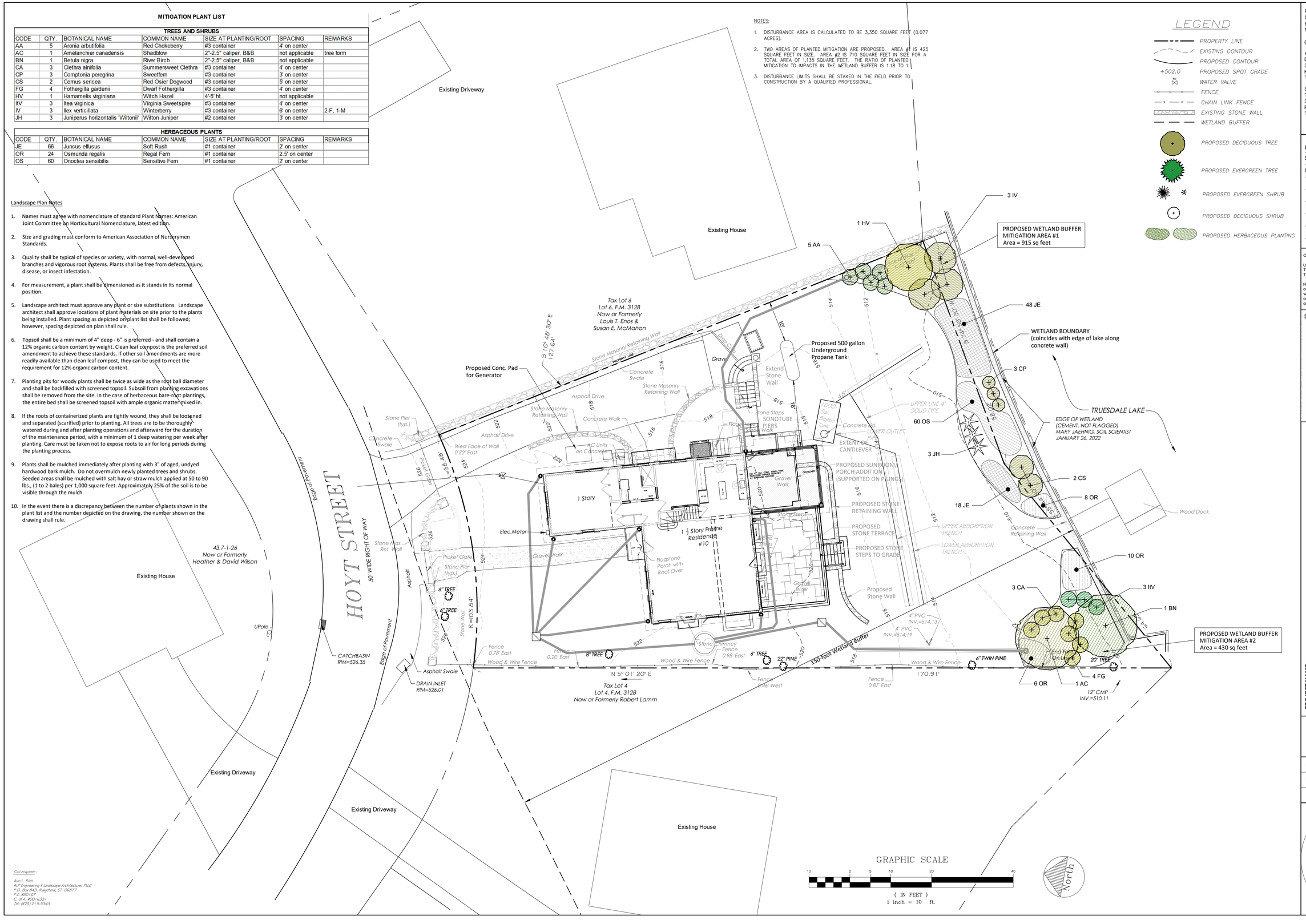
HERBACEOUS PLANTS						
CODE	QTY.	BOTANICAL NAME	COMMON NAME	SIZE AT PLANTING/ROOT	SPACING	REMARKS
JE	66	Juncus effusus	Soft Rush	#1 container	2' on center	
OR	24	Osmunda regalis	Regal Fern	#1 container	2.5' on center	
OS	60	Onoclea sensibilis	Sensitive Fern	#1 container	2' on center	

Landscape Plan Notes

1. Names must agree with nomenclature of standard Plant Names: American Joint Committee on Horticultural Nomenclature, latest edition.
2. Size and grading must conform to American Association of Nurserymen Standards.
3. Quality shall be typical of species or variety, with normal, well-developed branches and vigorous root systems. Plants shall be free from defects, injury, disease, or insect infestation.
4. For measurement, a plant shall be dimensioned as it stands in its normal position.
5. Landscape architect must approve any plant or size substitutions. Landscape architect shall approve locations of plant materials on site prior to the plants being installed. Plant spacing as depicted on plant list shall be followed; however, spacing depicted on plan shall rule.
6. Topsoil shall be a minimum of 4" deep - 6" is preferred - and shall contain a 12% organic carbon content by weight. Clean leaf compost is the preferred soil amendment to achieve these standards. If other soil amendments are more readily available than clean leaf compost, they can be used to meet the requirement for 12% organic carbon content.
7. Planting pits for woody plants shall be twice as wide as the root ball diameter and shall be backfilled with screened topsoil. Subsoil from planting excavations shall be removed from the site. In the case of herbaceous bare-root plantings, the entire bed shall be screened topsoil with ample organic matter mixed in.
8. If the roots of containerized plants are tightly wound, they shall be loosened and separated (scarified) prior to planting. All trees are to be thoroughly watered during and after planting operations and afterward for the duration of the maintenance period, with a minimum of 1 deep watering per week after planting. Care must be taken not to expose roots to air for long periods during the planting process.
9. Plants shall be mulched immediately after planting with 3" of aged, undyed hardwood bark mulch. Do not overmulch newly planted trees and shrubs. Seeded areas shall be mulched with salt hay or straw mulch applied at 50 to 90 lbs., (1 to 2 bales) per 1,000 square feet. Approximately 25% of the soil is to be visible through the mulch.
10. In the event there is a discrepancy between the number of plants shown in the plant list and the number depicted on the drawing, the number shown on the drawing shall rule.

NOTES:

1. DISTURBANCE AREA IS CALCULATED TO BE 3,350 SQUARE FEET (0.077 ACRES).
2. TWO AREAS OF PLANTED MITIGATION ARE PROPOSED. AREA #1 IS 425 SQUARE FEET IN SIZE. AREA #2 IS 710 SQUARE FEET IN SIZE FOR A TOTAL AREA OF 1,135 SQUARE FEET. THE RATIO OF PLANTED MITIGATION TO IMPACTS IN THE WETLAND BUFFER IS 1.18 TO 1.
3. DISTURBANCE LIMITS SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION BY A QUALIFIED PROFESSIONAL.



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ISSUED:

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Submission to Planning Board	02/03/2023

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South Salem, New York 10590

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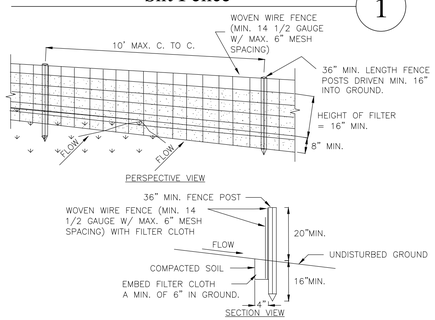
Direct Tel. (475) 215-5343 Cell (203) 710-0587

Drawing Title:
Mitigation Planting Plan

Date: December 26, 2022
Dwn. by: alp
ID: 10 Hoyt St Site_01-20-2023

C-104

Silt Fence (1)



CONSTRUCTION SPECIFICATIONS

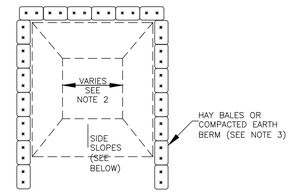
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

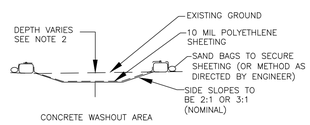
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE	SILT FENCE

Concrete Washout Area (2)

NOTES:

1. Concrete washout areas shall be installed prior to concrete placement of on-site. The concrete washout area shall be entirely self-contained.
2. The contractor shall submit the design, location and sizing of the concrete washout area(s) with the project's erosion and sedimentation control plan and shall be approved by the engineer. Location: Washout area(s) are to be located at least 50 feet from any stream, wetland, storm drains, or other sensitive resource. The flood contingency plan must address the concrete washout if the washout is to be located within the floodplain. Size: the washout must have sufficient volume to contain all liquid and concrete waste generated by washout operations including, but not limited to, operations associated with grout and mortar.
3. Surface discharge is unacceptable. Therefore, hay bales or other control measures, as approved by the engineer, should be used around the perimeter of the concrete washout area for containment.
4. Signs should be placed at the construction entrance, at the concrete area(s) and elsewhere as necessary to clearly indicate the location of the concrete washout to operators of concrete trucks and pump rigs. Washout area(s) should be flagged with safety fencing or other approved method.
5. Washout area(s) are to be inspected at least once a week for structural integrity, adequate holding capacity and check for leaks, tears or overflow. (As required by the construction site environmental inspection report, washout areas should be checked after heavy rains.)
6. Hardened concrete waste should be removed and disposed of when the waste has accumulated to half the concrete washout's height. The waste can be stored at an upland location, as approved by the engineer. All concrete waste shall be disposed of in a manner consistent with all applicable laws, regulations and guidelines.
7. Payment for this item is to be included under the general cost of the work for the project, including site restoration.

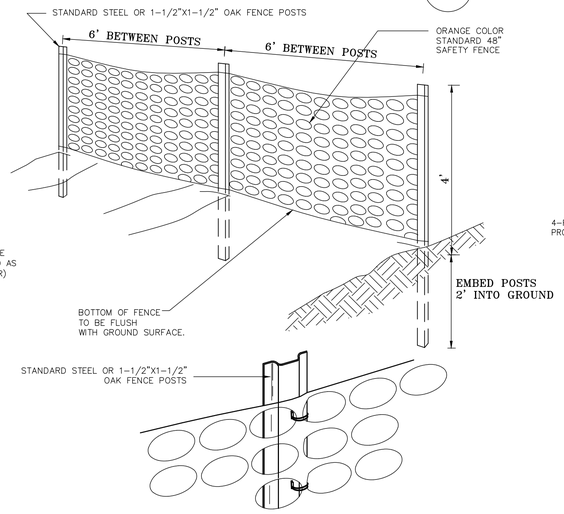




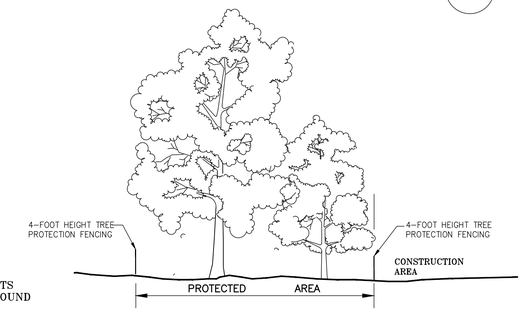
CONCRETE WASHOUT AREA

NOT TO SCALE
(SEE NOTE 2)

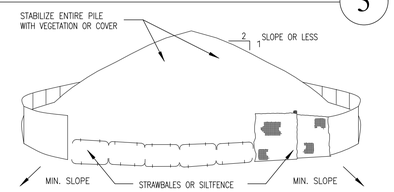
Construction Fence/Tree Protection (3)



Construction Fence/Tree Protection (4)



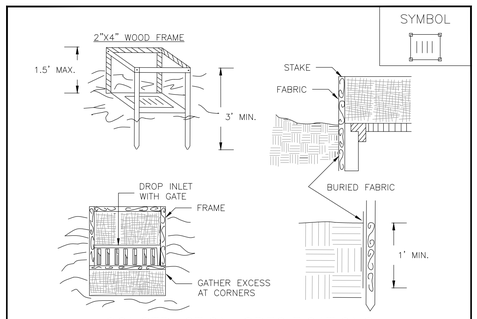
Soil Stockpile (5)



INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING (WHICH IS PREFERRED) OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

Stone and Block Drop Inlet Protection (6)



CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUN DRAINAGE AREA 1 ACRE

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE	FILTER FABRIC DROP INLET PROTECTION

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Submission to Planning Board	11/18/2022
Rev. as per Planning Board & Town Consultant comments	12/26/2022

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Drawing Title:

Construction Details

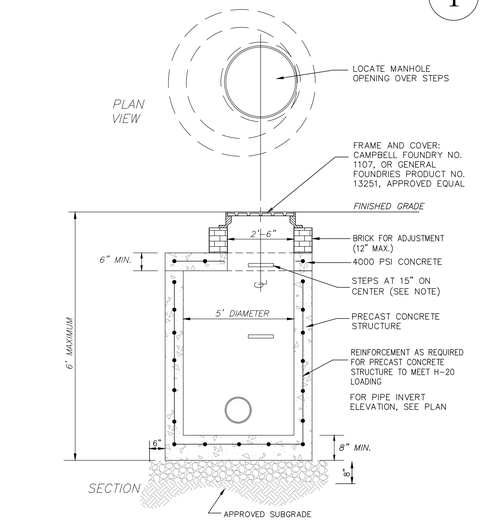
Date: October 12, 2022

Dwn. by: alp

ID: 10 Hoyt St Site_01-20-2023

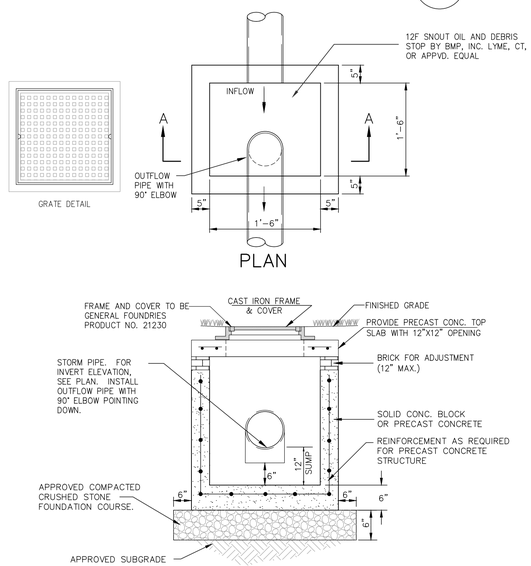
C-111

Stormwater Management Facility (1)



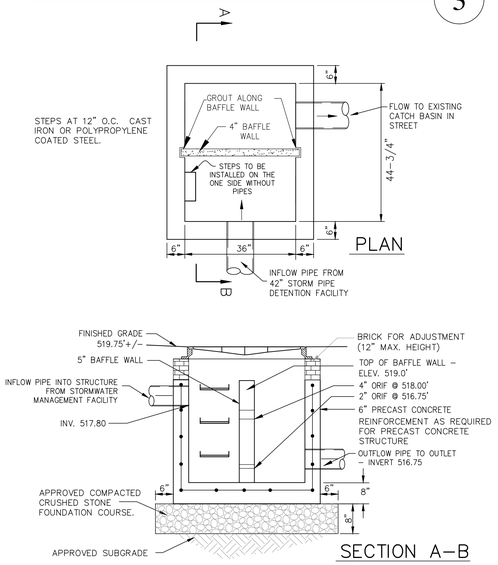
NOTES:
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EACH STRUCTURE.
2. STRUCTURE SHALL BE CERTIFIED AS CONFORMING TO ASTM-C913.
3. STRUCTURE SHALL BE DESIGNED FOR AASHTO H-20 LOADING.
4. STEPS NOT REQUIRED FOR STRUCTURES LESS THAN 4 FEET FROM FINISHED GRADE TO BOTTOM OF STRUCTURE.

Catch Basin (2)

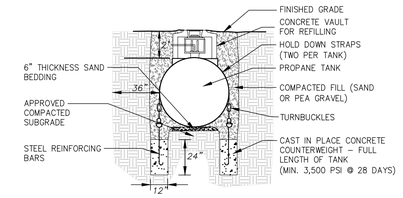


NOTES:
1. CONCRETE: 4,000 PSI @ 28 DAYS.
2. REINFORCING: AS PER ASTM A-185 6"X6" W4/W4 W.W.M.

Outlet Control Structure (3)

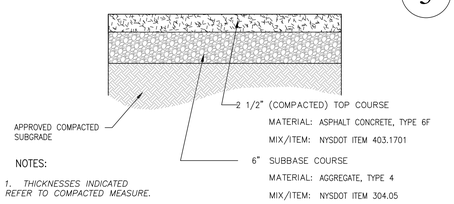


Typical Propane Tank Installation (4)



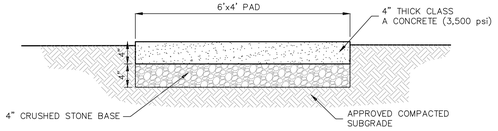
NOTE:
1. INSTALLATION OF TANK MUST MEET ALL TANK MANUFACTURER REQUIREMENTS, UTILITY COMPANY REQUIRMENTS AND OSHA REGULATIONS.
2. REFILLING APPURTENANCES SHALL BE IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.

Driveway Pavement (5)

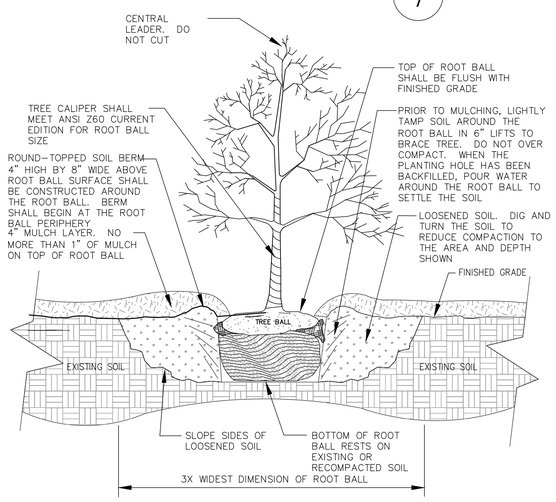


NOTES:
1. THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
2. ITEM NUMBERS REFER TO: NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

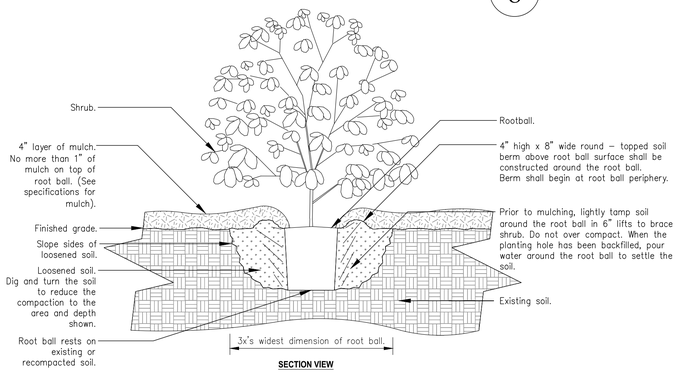
Concrete Pad for Generator (6)



Tree Planting Detail (7)



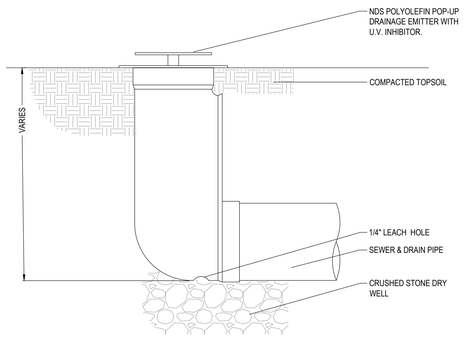
Shrub Planting Detail (8)



Notes:
1- Shrubs shall be of quality prescribed in the root observations detail and specifications.

2- See specifications for further requirements related to this detail.

Pop-Up Emitter (9)



SECTION

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

DRAINAGE EMITTER
TYPICAL POP-UP DRAINAGE EMITTER

NDS, INC.
851 NORTH HARVARD AVE.
LINDSAY, CA 93247
TOLL FREE: 1-800-726-1994
PHONE: (559) 562-9888
FAX: (559) 562-4488
www.ndspro.com

Civil engineer:
Alan L. Pilch
ALP Engineering & Landscape Architecture, PLLC
P.O. Box 843, Ridgefield, CT 06877
P.E. #80167
C. of A. #001633
Tel: (475) 215-5343

PROPERTY OWNER:
Susan Morrissey
8A 239 Central Park West
New York, NY 10024

CONSULTANTS:

ARCHITECT:
Darren P. Mercer, Architect, PLLC
32 Flintlock Ridge Road
Katonah, NY 10536
Tel: (914) 391-4490

SURVEYOR:
TC Merritts Land Surveyors
394 Bedford Road
Pleasantville, NY 10570
Tel: (914) 769-8003

ISSUED:

Submission to Planning Board	11/18/2022
Rev. as per Planning Board & Town Consultant comments	12/26/2022

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SEAL:

STATE OF NEW YORK · ALAN L. PILCH · No. 080167 · LICENSED PROFESSIONAL ENGINEER

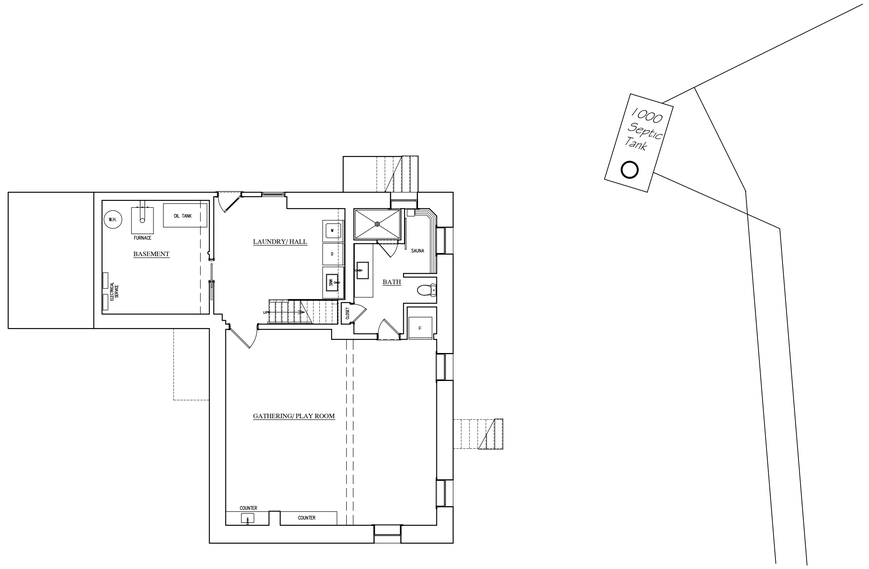
PROJECT NAME:
MORRISSEY RESIDENCE
10 Hoyt Street
South Salem, New York 10590

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843 Ridgefield, CT 06877
Direct Tel. (475) 215-5343 Cell (203) 710-0587

Drawing Title:
Construction Details

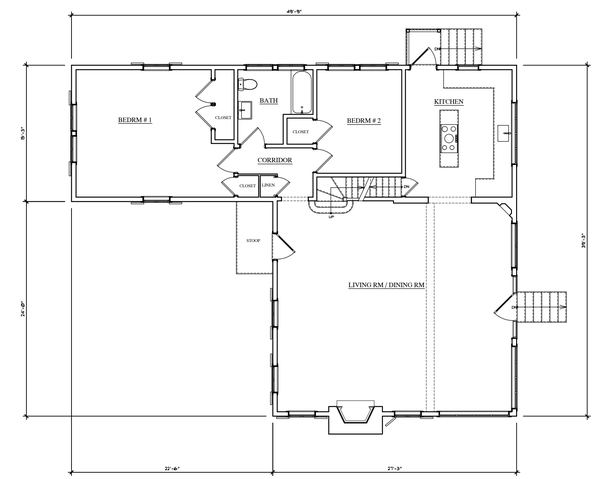
Date: October 12, 2022
Dwn. by: alp
ID: 10 Hoyt St Site_01-20-2023

C-112



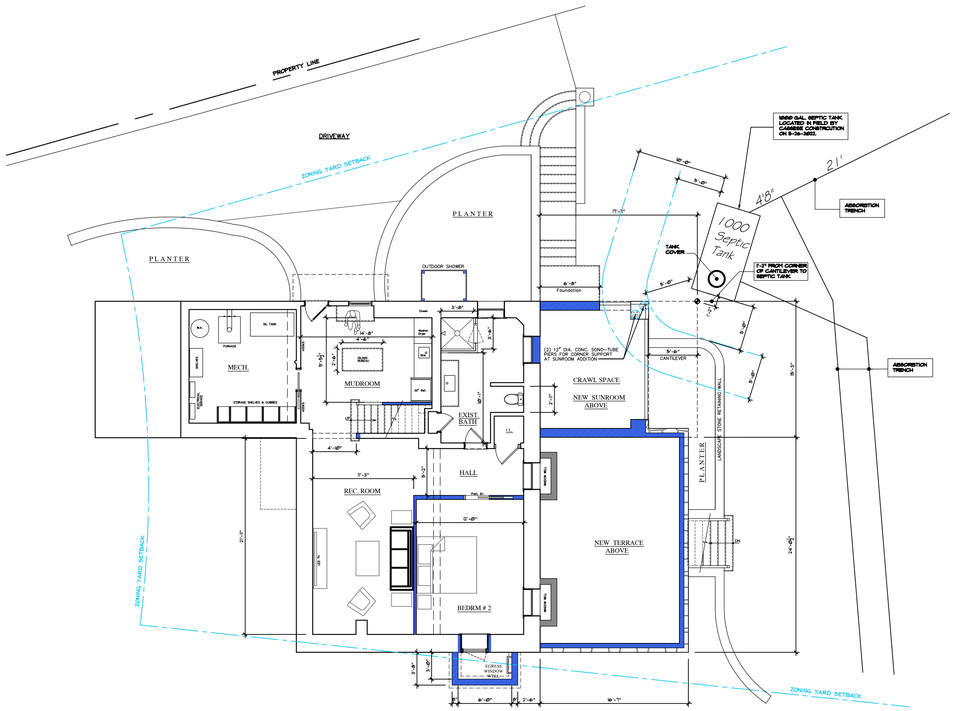
NORTH

1 BASEMENT FLOOR PLAN EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



NORTH

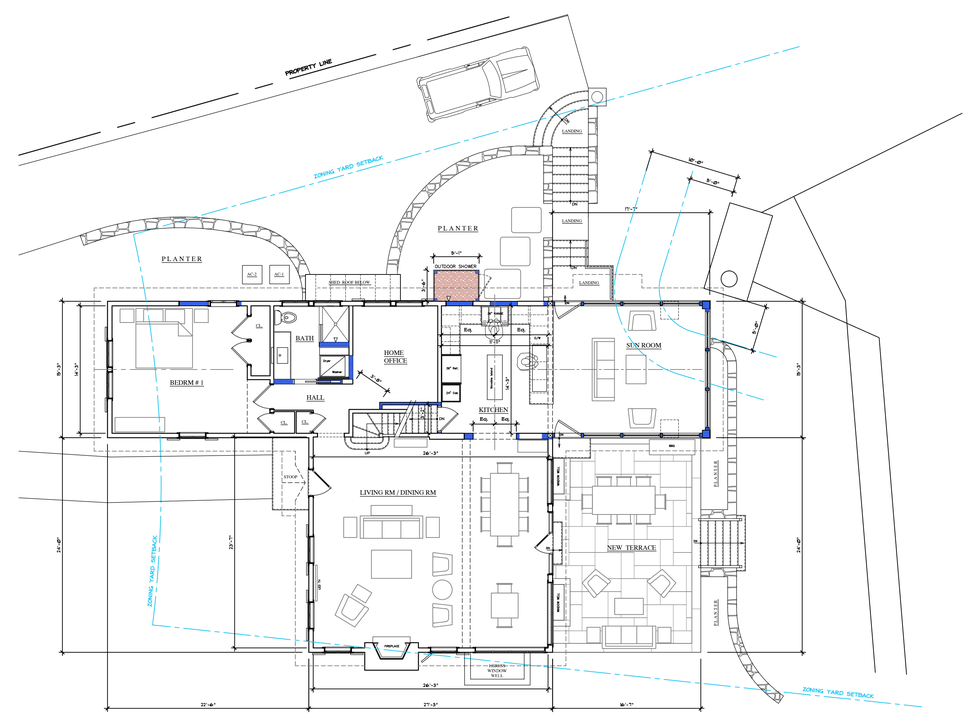
3 FIRST FLOOR PLAN EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



NORTH

2 BASEMENT FLOOR PLAN PROPOSED
SCALE: 1/8" = 1'-0"

PLAN KEY:
EXISTING CONSTRUCTION TO REMAIN
NEW CONSTRUCTION
CONSTRUCTION TO BE REMOVED



NORTH

4 FIRST FLOOR PLAN PROPOSED
SCALE: 1/8" = 1'-0"

PLAN KEY:
EXISTING CONSTRUCTION TO REMAIN
NEW CONSTRUCTION
CONSTRUCTION TO BE REMOVED

Darren P. Mercer, Architect, PLLC ©

NYS Lic. No. 020910 NJ Lic. No. 11952
CT Lic. No. 9243 MA Lic. No. 31909

Darren P. Mercer, Architect, PLLC
Architecture & Interior Design
32 Flintlock Ridge Road
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914.391.4490
darrenpmercer@gmail.com

Alterations & Additions To:
Existing Residence
10 Hoyt Street
South Salem, New York

Revisions:

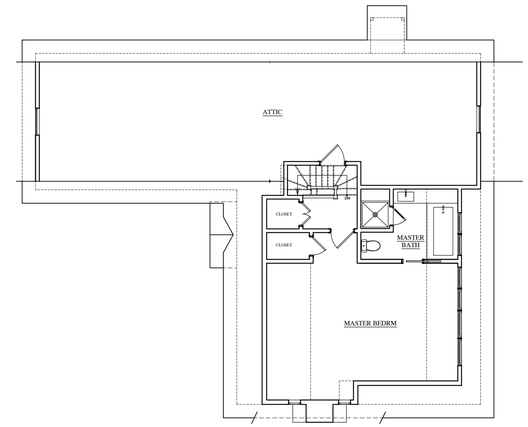
	Date:	Description:
	1-20-23	WCDOH REVIEW

Drawing Title:
BASEMENT & FIRST FLOOR PLANS EXISTING CONDITIONS & PROPOSED

Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

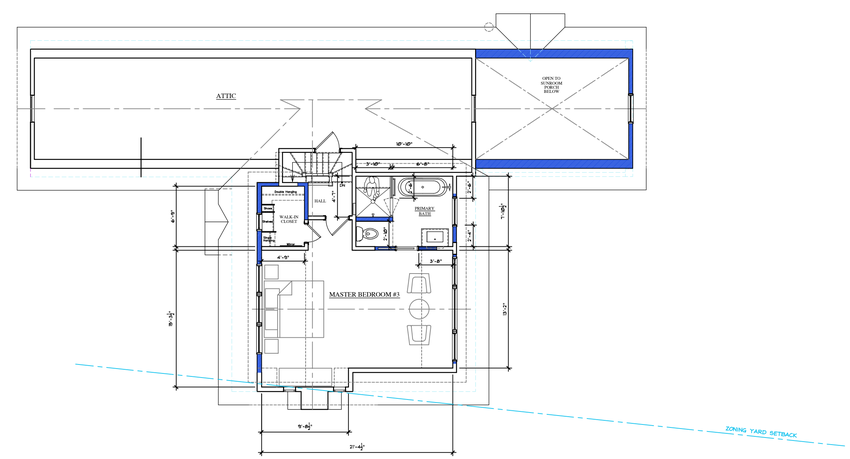
10 Hoyt Street

A.1



NORTH

1 SECOND FLOOR PLAN EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



NORTH

2 SECOND FLOOR PLAN PROPOSED
SCALE: 1/8" = 1'-0"

PLAN KEY:
EXISTING CONSTRUCTION TO REMAIN
NEW CONSTRUCTION
CONSTRUCTION TO BE REMOVED

Darren P. Mercer,
Architect, PLLC ©

NYS Lic. No. 020910 NJ Lic. No. 11952
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Darren P. Mercer, Architect, PLLC
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Katonah, New York 10536
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darrenpmercer@gmail.com

Alterations & Additions To:
Existing Residence
10 Hoyt Street
South Salem, New York

Revisions:

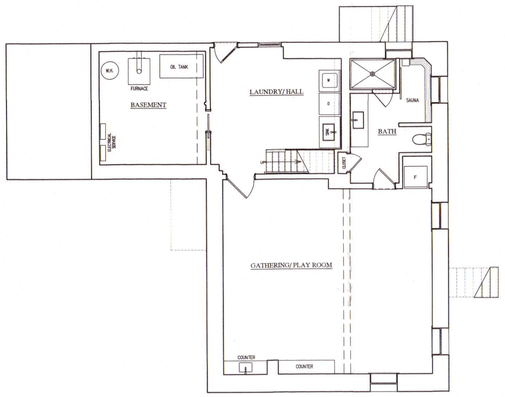
	Date:	Description:
	1-20-23	WCDOH REVIEW

Drawing Title:
SECOND FLOOR PLANS
EXISTING CONDITIONS
& PROPOSED

Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

10 Hoyt Street

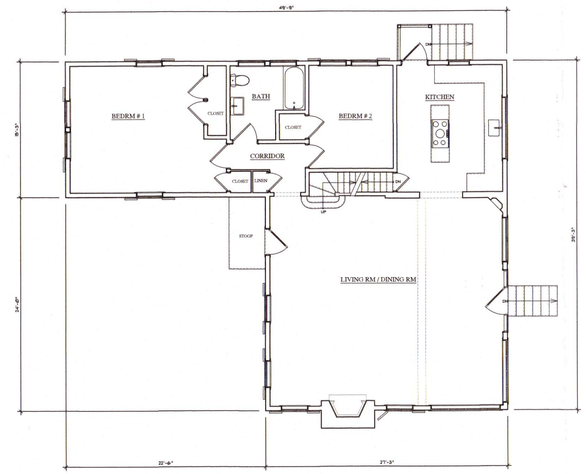
A.2



1000 Septic Tank

NORTH

1 BASEMENT FLOOR PLAN EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



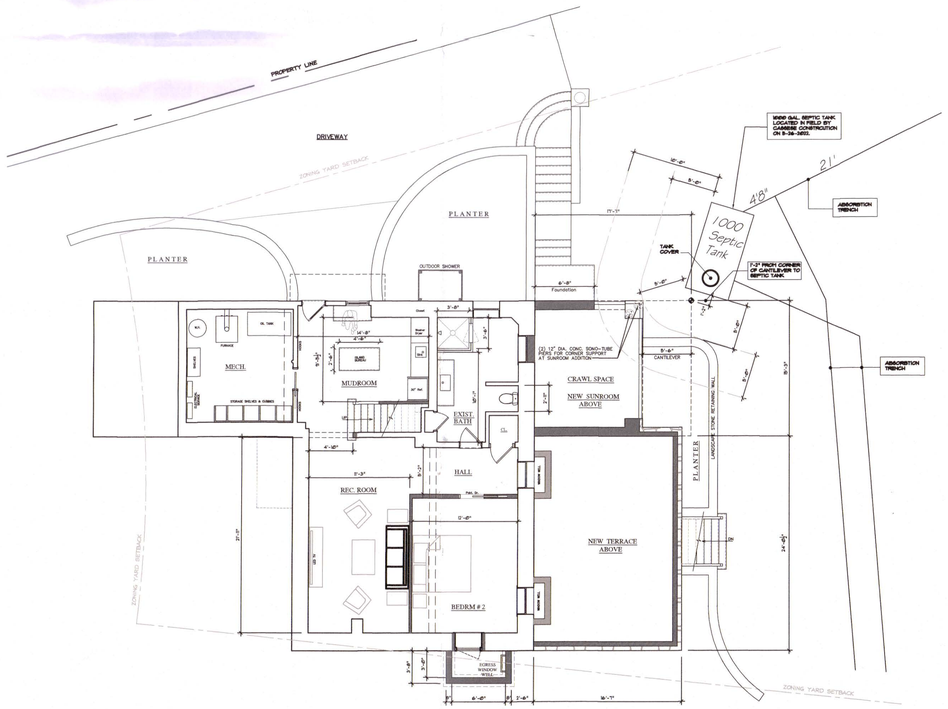
NORTH

3 FIRST FLOOR PLAN EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"

2023-05-BR
NO OBJECTION
FEB - 9 2023
WEST. CO. DEPT. OF HEALTH
BY

NO OBJECTION TO ADDITION / RENOVATIONS AS SHOWN TO REMAIN A THREE (3) BEDROOM RESIDENCE AS PER RA LETTER 2/6/2023

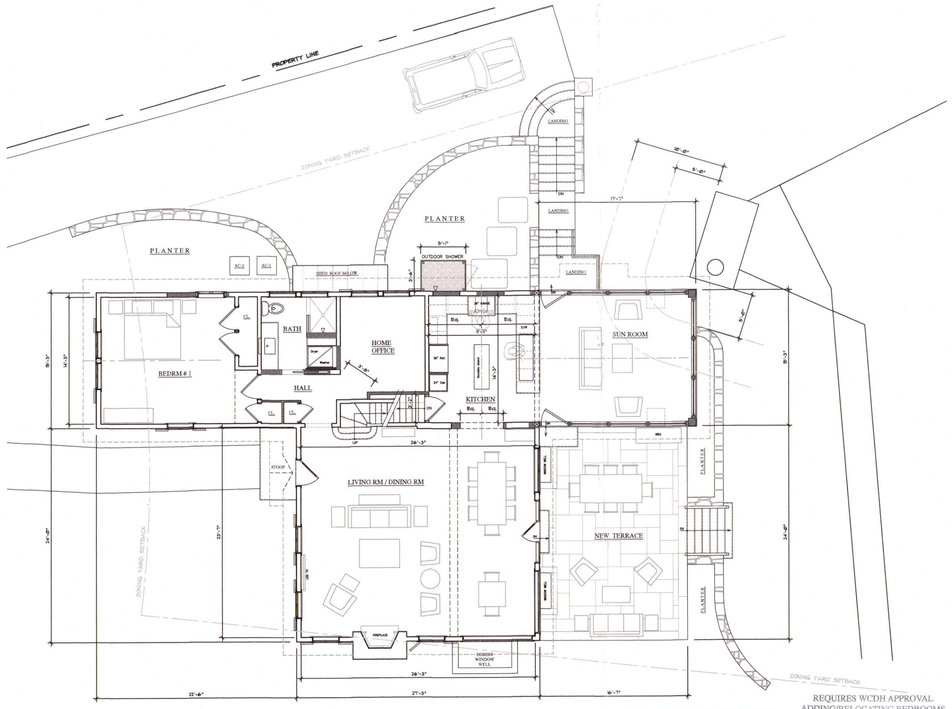
REFERENCE FOR PLAN SET OF 2 SHEETS AND SITE PLAN



NORTH

2 BASEMENT FLOOR PLAN PROPOSED
SCALE: 1/8" = 1'-0"

PLAN KEY:
EXISTING CONSTRUCTION TO REMAIN
NEW CONSTRUCTION
CONSTRUCTION TO BE REMOVED



NORTH

4 FIRST FLOOR PLAN PROPOSED
SCALE: 1/8" = 1'-0"

PLAN KEY:
EXISTING CONSTRUCTION TO REMAIN
NEW CONSTRUCTION
CONSTRUCTION TO BE REMOVED

REQUIRES WCDH APPROVAL ADDING/RELOCATING BEDROOMS
1/25/23
DATE
INSPECTOR

Darren P. Mercer, Architect, PLLC ©
REGISTERED ARCHITECT DARREN P. MERCER No. 020910 STATE OF NEW YORK
NYS Lic. No. 020910 NJ Lic. No. 11952
CT Lic. No. 9243 MA Lic. No. 31909

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Alterations & Additions To:
Existing Residence
10 Hoyt Street
South Salem, New York

Revisions:

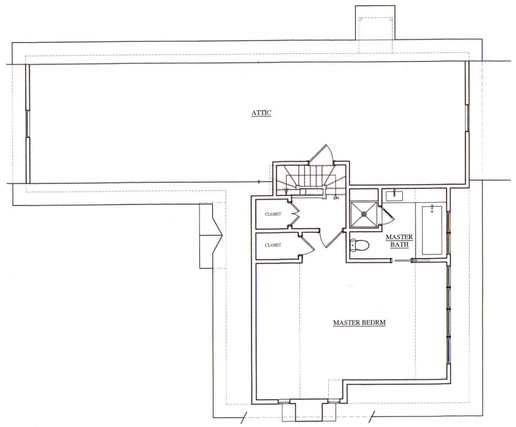
	Date:	Description:
△	1-20-23	WCDOH REVIEW

Drawing Title:
BASEMENT & FIRST FLOOR PLANS EXISTING CONDITIONS & PROPOSED

Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

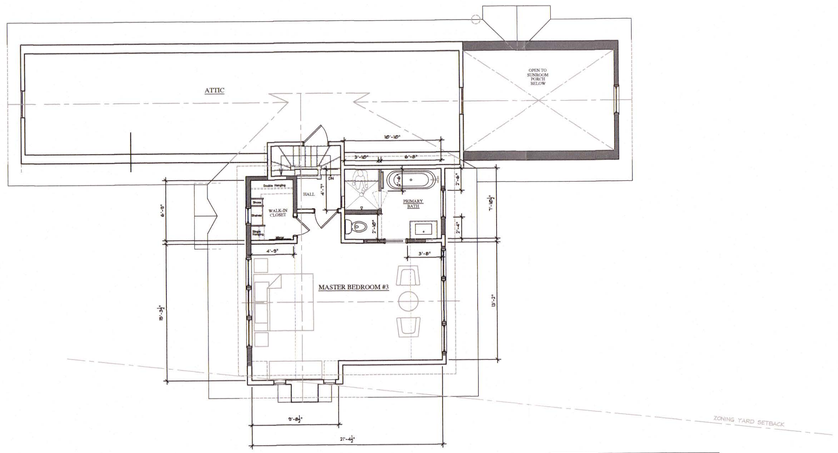
10 Hoyt Street

A.1



NORTH

1 SECOND FLOOR PLAN EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



NORTH

2 SECOND FLOOR PLAN PROPOSED
SCALE: 1/8" = 1'-0"

PLAN KEY:
EXISTING CONSTRUCTION TO REMAIN
NEW CONSTRUCTION
CONSTRUCTION TO BE REMOVED

Darren P. Mercer, Architect, PLLC ©
REGISTERED ARCHITECT DARREN P. MERCER 020910 NEW YORK
NYS Lic. No. 020910 NJ Lic. No. 11952
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Alterations & Additions To:
Existing Residence
10 Hoyt Street
South Salem, New York

Revisions:

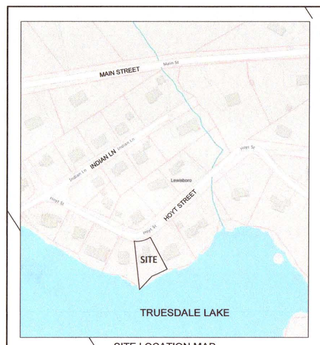
	Date:	Description:
	1-20-23	WCDOH REVIEW

Drawing Title:
SECOND FLOOR PLANS EXISTING CONDITIONS & PROPOSED

Date: 1-10-22
Scale: AS NOTED
Drawn: RCS
Rev.:
Job#: 1405

10 Hoyt Street

A.2



SITE LOCATION MAP

BULK ZONING TABLE

ZONING: R-1/4A
SITE AREA: 11,739.58 SQ FEET

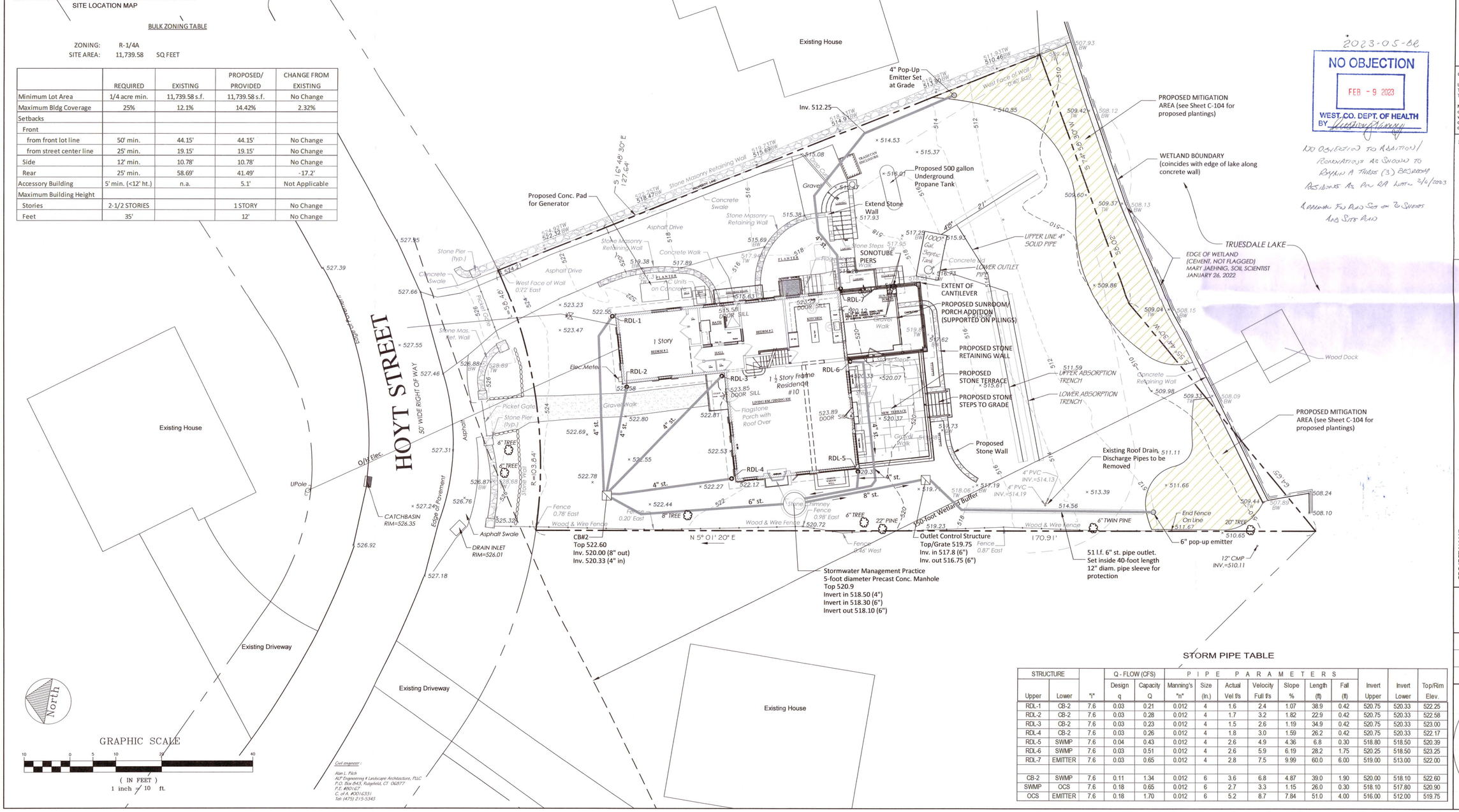
	REQUIRED	EXISTING	PROPOSED/ PROVIDED	CHANGE FROM EXISTING
Minimum Lot Area	1/4 acre min.	11,739.58 s.f.	11,739.58 s.f.	No Change
Maximum Bldg Coverage	25%	12.1%	14.42%	2.32%
Setbacks				
Front				
from front lot line	50' min.	44.15'	44.15'	No Change
from street center line	25' min.	19.15'	19.15'	No Change
Side	12' min.	10.78'	10.78'	No Change
Rear	25' min.	58.69'	41.49'	-17.2'
Accessory Building	5' min. (<12' ht.)	n.a.	5.1'	Not Applicable
Maximum Building Height				
Stories	2-1/2 STORIES		1 STORY	No Change
Feet	35'		12'	No Change

NOTES:

1. WETLAND BUFFER IMPACTS ARE CALCULATED TO BE 1,139 SQUARE FEET.
2. FOR MITIGATION OF THESE IMPACTS, IT IS PROPOSED TO REMOVE EXISTING LAWN AND PLANT THESE AREAS WITH NATIVE TREES, SHRUBS AND HERBACEOUS SPECIES. THE AREA OF THE PROPOSED MITIGATION COVERS 1,345 SQUARE FEET, FOR A RATIO OF MITIGATION TO WETLAND BUFFER IMPACTS OF 1.18 TO 1.
3. IT IS PROPOSED TO DRAIN THE OUTDOOR SHOWER INTO THE SITE SEPTIC SYSTEM. SEE ARCHITECTURAL PLANS FOR THE DETAILS.
4. STORM PIPE SHALL BE AS FOLLOWS: FOR 8-INCH & 12-INCH DIAMETERS, USE CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP), WHICH SHALL CONFORM TO THE REQUIREMENTS OF AASHTO DESIGNATION M-252 AND AS MANUFACTURED BY ADS, OR APPROVED EQUAL. FOR 4" AND 6" PIPE, SCHEDULE 35 PVC PIPE. PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D-3034 FOR SDR-35 EXTRA STRENGTH PIPE AND FITTINGS. PIPE SHALL HAVE INTEGRAL WALL BELL AND SPIGOT JOINTS. ASSEMBLY SHALL BE BY MEANS OF PUSH-ON JOINTS USING FLEXIBLE ELASTOMERIC SEALS CONFORMING TO ASTM DESIGNATION D-3212.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- +502.0 PROPOSED SPOT GRADE
- WATER VALVE
- FENCE
- CHAIN LINK FENCE
- EXISTING STONE WALL
- WETLAND BUFFER
- MITIGATION PLANTING AREA



Civil engineer:
Alan L. Plich
ALP Engineering & Landscape Architecture, PLLC
P.O. Box 843, Ridgefield, CT 06877
P.E. #001677
C. of A. #001633
Tel: (475) 215-5343

STORM PIPE TABLE

STRUCTURE Upper	STRUCTURE Lower	"i"	Q - FLOW (CFS) Design q	Q - FLOW (CFS) Capacity Q	PIPE PARAMETERS Manning's "n"	Size (in.)	Actual Vel f/s	Velocity Full f/s	Slope %	Length (ft)	Fall (ft)	Invert Upper	Invert Lower	Top/Rim Elev.
RDL-1	CB-2	7.6	0.03	0.21	0.012	4	1.6	2.4	1.07	38.9	0.42	520.75	520.33	522.25
RDL-2	CB-2	7.6	0.03	0.28	0.012	4	1.7	3.2	1.82	22.9	0.42	520.75	520.33	522.58
RDL-3	CB-2	7.6	0.03	0.23	0.012	4	1.5	2.6	1.19	34.9	0.42	520.75	520.33	523.00
RDL-4	CB-2	7.6	0.03	0.26	0.012	4	1.8	3.0	1.59	26.2	0.42	520.75	520.33	522.17
RDL-5	SWMP	7.6	0.04	0.43	0.012	4	2.6	4.9	4.36	6.8	0.30	518.80	518.50	520.39
RDL-6	SWMP	7.6	0.03	0.51	0.012	4	2.6	5.9	6.19	28.2	1.75	520.25	518.50	523.25
RDL-7	EMITTER	7.6	0.03	0.65	0.012	4	2.8	7.5	9.99	60.0	6.00	519.00	513.00	522.00
CB-2	SWMP	7.6	0.11	1.34	0.012	6	3.6	6.8	4.87	39.0	1.90	520.00	518.10	522.60
SWMP	OCS	7.6	0.18	0.65	0.012	6	2.7	3.3	1.15	26.0	0.30	518.10	517.80	520.90
OCS	EMITTER	7.6	0.18	1.70	0.012	6	5.2	8.7	7.84	51.0	4.00	516.00	512.00	519.75

2023-05-BR

NO OBJECTION
FEB - 9 2023
WEST. CO. DEPT. OF HEALTH
BY

NO OBJECTION TO ADDITION/ RENOVATIONS AS SHOWN TO REPLACE A THREE (3) BEDROOM RESIDENCE AS PER RA LETTER 2/6/2023
APPROVAL FOR PLAN SET OF 12 SHEETS AND SITE PLAN

PROPERTY OWNER:
Susan Morrissey
8A 239 Central Park West
New York, NY 10024

CONSULTANTS:

ARCHITECT:
Darren P. Mercer, Architect, PLLC
32 Flintlock Ridge Road
Katonah, NY 10536
Tel: (914) 391-4490

SURVEYOR:
TC Merritts Land Surveyors
394 Bedford Road
Pleasantville, NY 10570
Tel: (914) 769-8003

ISSUED:

Submission to Planning Board	11/18/2022
Rev. as per Planning Board & Town Consultant comments	12/26/2022
Submission of plan to WCDOH	01/22/2023

OWNERSHIP AND USE OF DOCUMENTS

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SEAL:

STATE OF NEW YORK · ALAN L. PLICH · LICENSED PROFESSIONAL ENGINEER · No. 080191

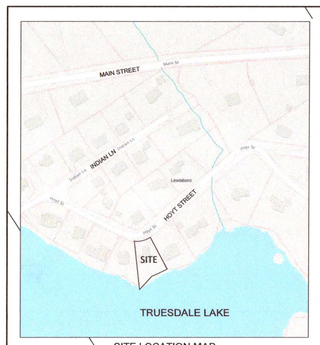
PROJECT NAME:
MORRISSEY RESIDENCE
10 Hoyt Street
South Salem, New York 10590

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843 Ridgefield, CT 06877
Direct Tel. (475) 215-5343 Cell (203) 710-0587

Drawing Title:
Site Plan

Date: October 12, 2022
Dwn. by: alp
ID: 10 Hoyt St Site_01-20-2023

C-101



SITE LOCATION MAP

BULK ZONING TABLE

ZONING: R-1/4A
SITE AREA: 11,739.58 SQ FEET

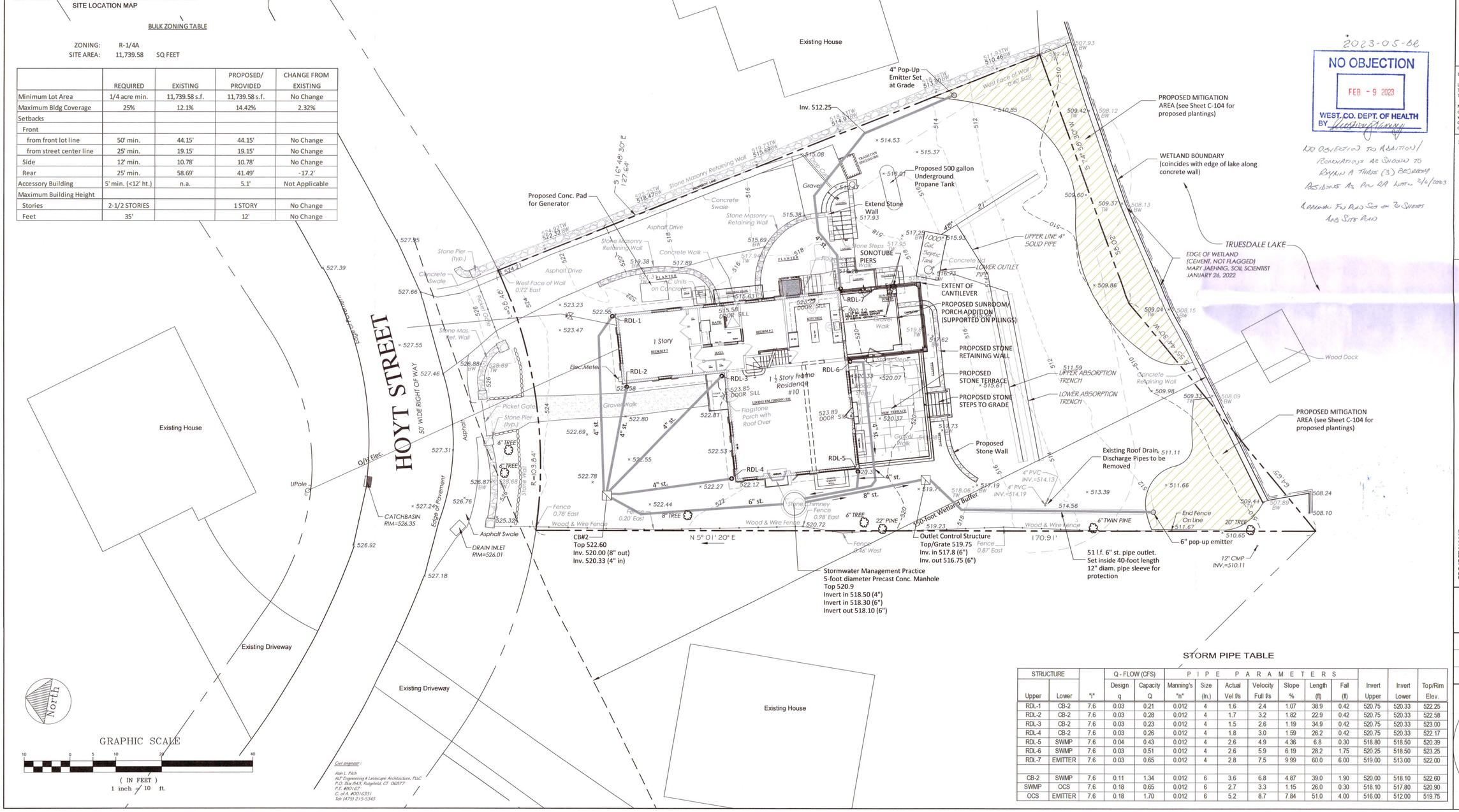
	REQUIRED	EXISTING	PROPOSED/ PROVIDED	CHANGE FROM EXISTING
Minimum Lot Area	1/4 acre min.	11,739.58 s.f.	11,739.58 s.f.	No Change
Maximum Bldg Coverage	25%	12.1%	14.42%	2.32%
Setbacks				
Front				
from front lot line	50' min.	44.15'	44.15'	No Change
from street center line	25' min.	19.15'	19.15'	No Change
Side	12' min.	10.78'	10.78'	No Change
Rear	25' min.	58.69'	41.49'	-17.2'
Accessory Building	5' min. (<12' ht.)	n.a.	5.1'	Not Applicable
Maximum Building Height				
Stories	2-1/2 STORIES		1 STORY	No Change
Feet	35'		12'	No Change

NOTES:

1. WETLAND BUFFER IMPACTS ARE CALCULATED TO BE 1,139 SQUARE FEET.
2. FOR MITIGATION OF THESE IMPACTS, IT IS PROPOSED TO REMOVE EXISTING LAWN AND PLANT THESE AREAS WITH NATIVE TREES, SHRUBS AND HERBACEOUS SPECIES. THE AREA OF THE PROPOSED MITIGATION COVERS 1,345 SQUARE FEET, FOR A RATIO OF MITIGATION TO WETLAND BUFFER IMPACTS OF 1.18 TO 1.
3. IT IS PROPOSED TO DRAIN THE OUTDOOR SHOWER INTO THE SITE SEPTIC SYSTEM. SEE ARCHITECTURAL PLANS FOR THE DETAILS.
4. STORM PIPE SHALL BE AS FOLLOWS: FOR 8-INCH & 12-INCH DIAMETERS, USE CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP), WHICH SHALL CONFORM TO THE REQUIREMENTS OF AASHTO DESIGNATION M-252 AND AS MANUFACTURED BY ADS, OR APPROVED EQUAL. FOR 4" AND 6" PIPE, SCHEDULE 35 PVC PIPE. PVC PIPE SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D-3034 FOR SDR-35 EXTRA STRENGTH PIPE AND FITTINGS. PIPE SHALL HAVE INTEGRAL WALL BELL AND SPIGOT JOINTS. ASSEMBLY SHALL BE BY MEANS OF PUSH-ON JOINTS USING FLEXIBLE ELASTOMERIC SEALS CONFORMING TO ASTM DESIGNATION D-3212.

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- +502.0 PROPOSED SPOT GRADE
- WATER VALVE
- FENCE
- CHAIN LINK FENCE
- EXISTING STONE WALL
- WETLAND BUFFER
- MITIGATION PLANTING AREA



Civil engineer:
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P.O. Box 843, Ridgefield, CT 06877
P.E. #001677
C. of A. #001633
Tel: (475) 215-5343

STORM PIPE TABLE

STRUCTURE Upper	STRUCTURE Lower	"i"	Q - FLOW (CFS) Design q	Q - FLOW (CFS) Capacity Q	PIPE PARAMETERS Manning's "n"	Size (in.)	Actual Vel f/s	Velocity Full f/s	Slope %	Length (ft)	Fall (ft)	Invert Upper	Invert Lower	Top/Rim Elev.
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RDL-2	CB-2	7.6	0.03	0.28	0.012	4	1.7	3.2	1.82	22.9	0.42	520.75	520.33	522.58
RDL-3	CB-2	7.6	0.03	0.23	0.012	4	1.5	2.6	1.19	34.9	0.42	520.75	520.33	523.00
RDL-4	CB-2	7.6	0.03	0.26	0.012	4	1.8	3.0	1.59	26.2	0.42	520.75	520.33	522.17
RDL-5	SWMP	7.6	0.04	0.43	0.012	4	2.6	4.9	4.36	6.8	0.30	518.80	518.50	520.39
RDL-6	SWMP	7.6	0.03	0.51	0.012	4	2.6	5.9	6.19	28.2	1.75	520.25	518.50	523.25
RDL-7	EMITTER	7.6	0.03	0.65	0.012	4	2.8	7.5	9.99	60.0	6.00	519.00	513.00	522.00
CB-2	SWMP	7.6	0.11	1.34	0.012	6	3.6	6.8	4.87	39.0	1.90	520.00	518.10	522.60
SWMP	OCS	7.6	0.18	0.65	0.012	6	2.7	3.3	1.15	26.0	0.30	518.10	517.80	520.90
OCS	EMITTER	7.6	0.18	1.70	0.012	6	5.2	8.7	7.84	51.0	4.00	516.00	512.00	519.75

2023-05-BR

NO OBJECTION
FEB - 9 2023
WEST. CO. DEPT. OF HEALTH
BY

NO OBJECTION TO ADDITION/ RENOVATIONS AS SHOWN TO REPLACE A THREE (3) BEDROOM RESIDENCE AS PER RA LETTER 2/6/2023
APPROVAL FOR PLAN SET OF 12 SHEETS AND SITE PLAN

PROPERTY OWNER:
Susan Morrissey
8A 239 Central Park West
New York, NY 10024

CONSULTANTS:

ARCHITECT:
Darren P. Mercer, Architect, PLLC
32 Flintlock Ridge Road
Katonah, NY 10536
Tel: (914) 391-4490

SURVEYOR:
TC Merritts Land Surveyors
394 Bedford Road
Pleasantville, NY 10570
Tel: (914) 769-8003

ISSUED:

Submission to Planning Board	11/18/2022
Rev. as per Planning Board & Town Consultant comments	12/26/2022
Submission of plan to WCDOH	01/22/2023

OWNERSHIP AND USE OF DOCUMENTS

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

No part of these drawings shall be copied, disclosed to others or used in connection with any work or project other than for which they have been prepared without the express written consent of the licensed professional who prepared the document.

SEAL:

STATE OF NEW YORK · ALAN L. PLICH · LICENSED PROFESSIONAL ENGINEER · No. 080191

PROJECT NAME:
MORRISSEY RESIDENCE
10 Hoyt Street
South Salem, New York 10590

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843 Ridgefield, CT 06877
Direct Tel. (475) 215-5343 Cell (203) 710-0587

Drawing Title:
Site Plan

Date: October 12, 2022
Dwn. by: alp
ID: 10 Hoyt St Site_01-20-2023

C-101

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.

620323540DED001P

Westchester County Recording & Endorsement Page

Submitter Information

Name:	Thoroughbred Title Services, LLC	Phone:	914-644-6100
Address 1:	800 Westchester Avenue	Fax:	914-644-6159
Address 2:	Suite S514	Email:	recording@thoroughbredtitleservices.co
City/State/Zip:	Rye Brook NY 10573	Reference for Submitter:	47442 McCaughey

Document Details

Control Number: **620323540** Document Type: **Deed (DED)**

Package ID: 2022020100238001002 Document Page Count: **2** Total Page Count: **3**

Parties

☐ Additional Parties on Continuation page

1st PARTY		2nd PARTY	
1: MCCAUGHEY PATRICK E	- Individual	1: MORRISSEY SUSAN	- Individual
2:		2:	

Property

☐ Additional Properties on Continuation page

Street Address: 10 HOYT STREET Tax Designation: 36C-11172-5

City/Town: LEWISBORO Village:

Cross- References

☐ Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584 3: IT-2663

Recording Fees

Statutory Recording Fee:	$40.00
Page Fee:	$15.00
Cross-Reference Fee:	$0.00
Mortgage Affidavit Filing Fee:	$0.00
RP-5217 Filing Fee:	$125.00
TP-584 Filing Fee:	$5.00
RPL 291 Notice Fee:	$10.00
Total Recording Fees Paid:	**$195.00**

Transfer Taxes

Consideration:	$1,300,000.00
Transfer Tax:	$5,200.00
Mansion Tax:	$13,000.00
Transfer Tax Number:	9913

Mortgage Taxes

Document Date:

Mortgage Amount:

Basic:	$0.00
Westchester:	$0.00
Additional:	$0.00
MTA:	$0.00
Special:	$0.00
Yonkers:	$0.00
Total Mortgage Tax:	**$0.00**

Dwelling Type: Exempt: ☐

Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK

Recorded: 02/08/2022 at 09:46 AM

Control Number: **620323540**

Witness my hand and official seal

Timothy C.Idoni
Westchester County Clerk

Record and Return To

☐ Pick-up at County Clerk's office

Thoroughbred Title Services
800 Westchester Avenue
SUITE S514
Rye Brook , NY 10573

47442

— Bargain and Sale Deed, with Covenant against Grantor's Acts — Individual or Corporation (Single Sheet)

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 2nd day of February, in the year 2022

BETWEEN PATRICK EDWARD McCAUGHEY residing at 10 Hoyt Street, South Salem, NY 10590

party of the first part, and

SUSAN MORRISSEY residing at 239 Central Park West, Apt 8A, New York, NY 10024

party of the second part,

WITNESSETH, that the party of the first part, in consideration of

TEN (10.00) dollars

paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the

SEE SCHEDULE A ANNEXED HERETO

Being and intended to be the same premises conveyed to the party of the first part by deed dated June 4, 2003 and recorded on July 28, 2003 in the Westchester County Clerk's Office in Control No. 431990220

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.
AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

PATRICK EDWARD McCAUGHEY

THOROUGHBRED TITLE SERVICES, LLC
as Agent for
Investors Title Insurance Company

SCHEDULE A (Legal Description)

Title No.: TTS47442

ALL that certain plot, piece or parcel of land, situate, lying and being in the Town of Lewisboro, County of Westchester, and State of New York, designated by the Lot Number 5 on a certain, map entitled, "Map of Section No. 4 of Truesdale Lake Property South Salem, Town of Lewisboro, Westchester County, New York" made by J. Albert Schaefer, Surveyor, dated December 28, 1926 and filed in the County Clerk's Office, Division of Land Records, formerly Register's Office, Westchester County, New York, on April 18, 1927, as Map Number 3128 and bounded and described as follows:

BEGINNING at a point on the southerly side of Hoyt Street at the dividing line between Lots 5 and 6 on said map and distant as measured along said southerly side of Hoyt Street 465.44 feet westerly from the westerly end of a curve having a radius of 28.25 feet and a length of arc of 46.08 feet connecting said southerly side of Hoyt Street with the westerly side of Hoyt Street, thence running along the dividing line between Lots 5 and 6 on said map, South 16° 48' 30" East 127.64 feet to the northerly shore of Truesdale Lake; thence running along said northerly shore of Truesdale Lake, South 74° 58' 30" West 58.02 feet and South 55° 44' 30" West 64.65 feet to the dividing line between Lots 4 and 5; thence running along said dividing line, North 5° 01' 20" East 170.91 feet to the southerly side of Hoyt Street; thence running easterly along said southerly side of Hoyt Street, on a curve to the left having a radius of 103.84 feet, a distance of 58.48 feet to the point of BEGINNING. INSURE

FOR CONVEYANCING ONLY

The policy to be issued under this report will insure the title to such buildings and improvements erected on the premises which by law constitute real property.

TOGETHER with all the right, title and interest of the party of the first part, of, in and to the land lying in the street in front of and adjoining said premises.

File with maps of lake roads taken over by Town FEC 12-3-7

...EPS

On motion of Mr. Thibdeau, seconded by Mr. Cronk, the following resolution was adopted:

The Vote:			
	Yes,	Jordan, Neukirch, Cronk and Thibdeau	-4
	No,	None	-0
	Absent,	Boissy	-1

RESOLVED, that the following transfers be made from the Surplus Account

To:			
	Town Property	Improvements	$2,376.97
	Health Insurance	Disability	3.83
		Health	95.40
	Assessor	Office Expense	64.53

HIGHWAYS - Goldens Bridge Colony, Lake Waccabuc, Lake Kitchawan, Lower Salem Road, Stewart Road, Briscoe Road, Lake Katonah, Truesdale Lake and Twin Lakes Road Ext.

On motion of Mr. Thibdeau, seconded by Mr. Neukirch, the following resolution was adopted:

The Vote:			
	Yes,	Jordan, Neukirch, Cronk and Thibdeau	-4
	No,	None	-0
	Absent,	Boissy	-1

In the Matter of the Ascertaining, Describing and Recording as Town Highways in the Town of Lewisboro, County of Westchester and State of New York, Roads Used by the Public for Upwards of Ten Years.

WHEREAS, those portions of roads as shown in bold outline on the maps now before this Board have been used by the public for a period in excess of ten years as public highways, and

WHEREAS, in accordance with the provisions of Section 189 of the Highway Law, it is in all respects proper that such portions of roads shall be duly ascertained, described and entered on record, as town highways of the Town of Lewisboro and worked and kept in repair by such Town;

NOW THEREFORE, consent is hereby granted to the Town Superintendent of Highways of the Town of Lewisboro to lay out and record as town highways of the Town of Lewisboro, those portions of roads shown in ~~bold~~ outline on the maps now before this Board and hereby filed with the Town Clerk to become attached to and a part of the minutes of this meeting, and identified as sheets 1-1 to 1-8, 2-1 to 2-4, 3-1 to 3-9, 4-1 to 4-4, 5-1, 6-1 to 6-6, 7-1 to

HIGHWAYS - Continued

7-9, 8-1 and 8-2, all in accordance with the provisions of Section 189 of the Highway Law; it being understood and conditioned that such laying out and recording shall apply only to the existing traveled portions and existing drainage provisions and facilities, and not to the full width of the right-of-way shown on any filed maps or elsewhere; and it being further understood and conditioned that such laying out and recording shall convey to the Town of Lewisboro no rights to any water lines, mains, hydrants, curb cocks, standpipes, house connections and pump feed lines in said portions of roads, but that the owners of such water lines or equipment may maintain, repair or replace the same, provided they comply with the provisions of Article IV of the Street Ordinance of the Town of Lewisboro, and other applicable laws and ordinances.

LEWISBORO TOWN PARK - Traffic

The following letter was presented:

October 30, 1970

Alvin Jordan, Supervisor
Town of Lewisboro
S. Salem, N. Y.

Dear Al,

At the last meeting of the Recreation Commission, concern was again expressed about the passing lane at the entrance/exit of the Recreation Area on Route #35. We unanimously passed a resolution requesting the Town of Lewisboro Town Board to request the N. Y. State Traffic Commission to review this dangerous entrance and exit and change the dotted line to a solid line at that point.

Very truly yours,

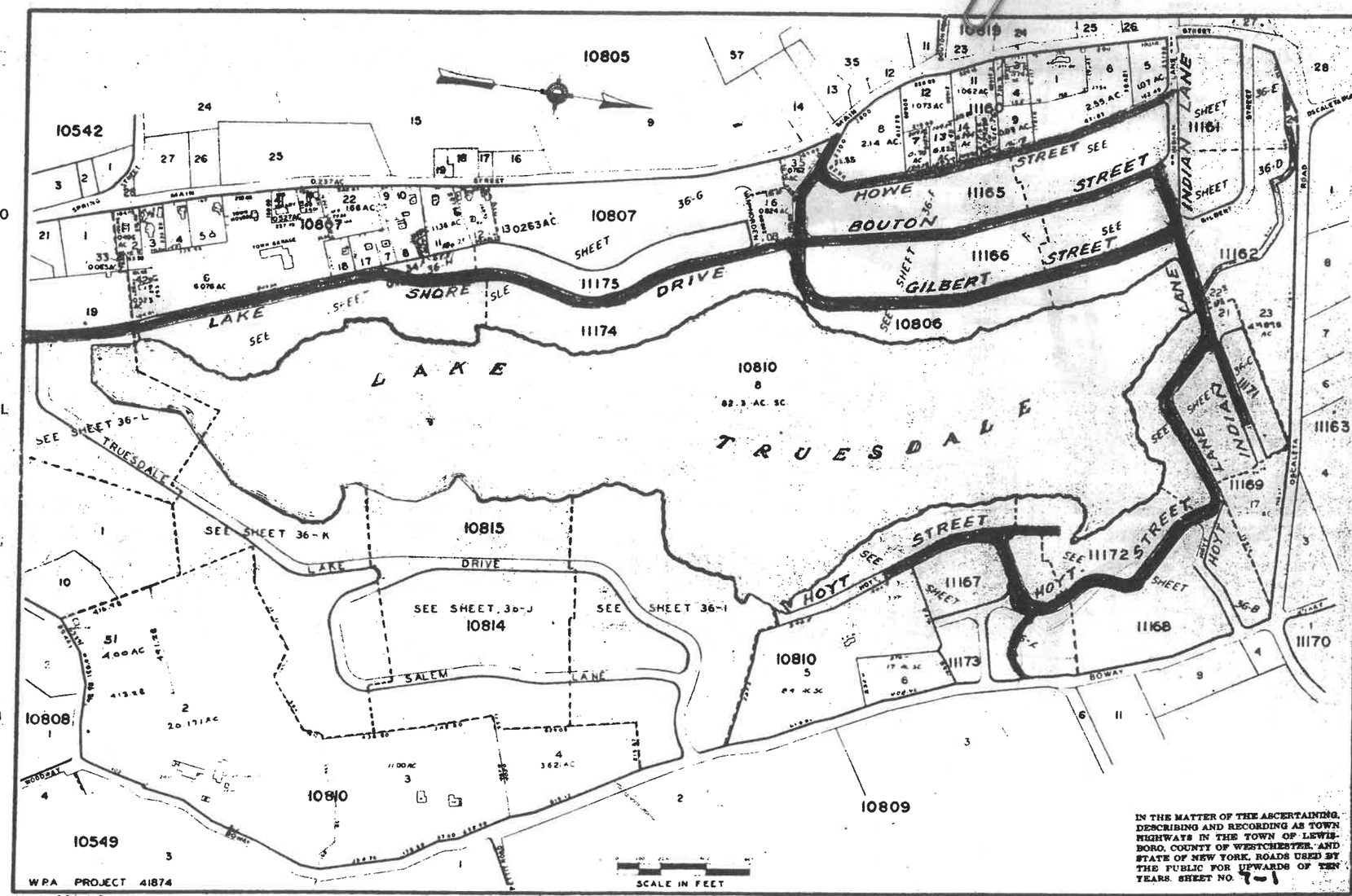
Derwaynelyapotassell

On motion of Mr. Cronk, seconded by Mr. Thibdeau, the following resolution was unanimously adopted:

RESOLVED, that the Town Clerk be directed to contact the N.Y.S. Department of Transportation and ask that they made a study of the Lewisboro Town Park, Route 35 area and request they change the dotted line in front of the park to a solid line because of the dangerous traffic situation at this location.

LEWISBORO CONSERVATION ADVISORY COUNCIL

The following letter was presented and referred to Town Attorney Stanley E. Anderson, Jr. for study and report:


31
32-B
30
36-L
38
35
37
36
10805
10542
10807
10807
10807

KELLARD SESSIONS

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP JKJ
Joseph M. Cermele, P.E., CFM JMC
Town Consulting Professionals

DATE: February 24, 2023

RE: Wetland Permit & Stormwater Permit
Nancy Simpkins
120 Mill River Road, South Salem
Sheet 45, Block 10299, Lot 86

PROJECT DESCRIPTION

The subject property consists of ±5 acres of land and is located at 120 Mill River Road within the R-2A Zoning District. The subject property is developed with a single-family residence, detached barn/cottage, driveway, potable well and two (2) individual septic systems. The applicant is proposing an addition to the residence, stormwater infiltration system and wetland mitigation area. On-site wetlands are jurisdictional to the New York State Department of Environmental Conservation (NYSDEC) and the Town of Lewisboro and the majority of the proposed addition is located within the Town's 150-foot regulated buffer.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. A Wetland Activity Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

COMMENTS

1. This office defers review of the plan for zoning compliance to the Building Inspector. It is recommended that the application be referred to the Building Inspector for review.

2. The area of the addition on Sheet A-1, and associated narratives, does not match the calculations for the proposed building coverage of Sheet A-2. Please coordinate as needed.

3. On-site wetlands are jurisdictional to the New York State Department of Environmental Conservation (NYSDEC) and the wetland boundary must be verified and validated by same. Please submit a Wetland Boundary Map, including a fully executed copy of the NYSDEC Wetland Validation Block.

4. The person responsible for the wetland delineation and date of the delineation should be noted on the plan.

5. The applicant shall submit a Wetland Report which shall contain the information required under Sections 217-5 and 6 of the Town's wetland ordinance.

6. While a wetland mitigation area has been depicted on the plan, a planting plan shall be provided.

7. The property is partially encumbered by the FEMA 100-year Floodplain (Zone A) and appears to extend close to the proposed area of improvements. The floodplain boundary shall be depicted on the plan. A Flood Development Permit will be required in accordance with Chapter 126 of the Town Code. Should any development be proposed within the floodplain, additional floodplain mitigation may be required to provide adequate compensatory storage to offset and potential loss in floodplain storage as a result of the project.

8. The area of disturbance shall be adjusted to include the oil tank removal. All proposed erosion controls must be located within the limits of disturbance.

9. The site plan shall include topography; grading; top and bottom elevations of walls; first floor elevations; elevations at door sills, stairs, walkways, etc.

10. All applicable Westchester County Department of Health (WCHD) separation distance requirements shall be illustrated and denoted on the plan to demonstrate compliance.

11. How was the location of the existing septic system derived? Provide any available information on the size and condition of the system, including recent inspections, if any.

12. The plan shall illustrate the location of the existing septic service line to the SSTS treatment areas. Additionally, please show the existing well and service line. The plan points to a patio for the well location but no symbol is shown. Please clarify.

13. The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and result shall be shown on the plan. Contact this office to schedule the testing.

14. The drainage plan shall specify slope of pipe, invert elevations, top of system, bottom of system, etc. Provide outlet protection details.

15. The plan shall include the proposed stormwater piping within the limits of disturbance (s.f.). In addition, the proposed soil stockpile area shall be relocated from above the proposed stormwater infiltration area.

16. The plan shall illustrate the location and connection between all proposed roof drains. It appears the southwest corner gutter downspout is not shown for the addition.

17. The plan shall illustrate the footing drain location on the site plan. Include the size, slope, and material of drainage pipe and provide outlet protection details.

18. Include erosion control measures on the plan, including, but not limited to, temporary construction access, silt fence, tree protection, erosion control blankets, construction sequence, etc. Details shall be provided and shall be in conformance with the most recent version of the New York State Standards and Specifications for Erosion and Sediment Control.

19. Proposed erosion controls must be shown for the disturbance associated to the stormwater treatment area work.

20. The plan shall note that disturbance limits shall be staked in the field prior to construction.

21. Provide existing/proposed floor plans for the 2nd floor of the residence and detached barn/cottage.

22. Clearly identify the number of existing and proposed bedrooms. The Building Department shall determine the need to refer the application to the WCHD for review of the proposed bedroom count and whether modifications or upgrades to the existing septic system are required.

23. All walls equal to or greater than four (4) feet in height shall be designed by a NYS Licensed Professional Engineer. Provide construction details and specifications on the plan. The plan

shall note that the construction of all walls equal to or greater than four (4) feet in height shall be certified by the Design Professional prior to issuance of a Certificate of Completion.

24. Provide construction details for all proposed improvements, including but not limited to, stone walls, stairs, stormwater pipe trench, bluestone walkways, Belgium block curb etc.

25. The applicant shall submit an updated existing condition survey (boundary and 2-foot contours), signed and sealed by a NYS Licensed Land Surveyor.

26. The plan shall illustrate and identify the location, specie type and diameter at breast height (dbh) of all trees with a dbh of 8 inches or greater and located within the limits of disturbance and 25 feet beyond. Indicate trees to be removed and/or protected. If no trees are proposed to be removed, a note on this effect shall be added to the plan.

27. The names of the adjacent property owners and the location of any neighboring driveways, structures, buildings, wells and septic areas shall appear on the plan.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY PATRICK M. CROKE, ARCHITECT, DATED FEBRUARY 3, 2023:

- Site Plan and General Notes (A-1)
- Stormwater System (A-2)
- Demolition Floor Plans (A-3)
- Basement Plan (A-4)
- First Floor Plan (A-5)
- Elevations (A-6)
- Elevations and Section (A-7)

DOCUMENTS REVIEWED:

- Letter, prepared by Patrick M. Croke, dated December 8, 2022
- Letter, prepared by Stephen W. Coleman, dated December 19, 2022
- Wetland Permit Application
- Stormwater Permit Application
- Short EAF, dated December8, 2022

JKJ/dc
https://kellardsessionsconsulti.sharepoint.com/sites/Kellard/Municipal/Lewisboro/Correspondence/2023-02-24_LWPB_Simpkins - 120 Mill River Road_Review Memo.docx

TO: The Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: Simpkins Residence, 120 Mill River Road, South Salem, NY 10590

DATE: February 8, 2023

The Conservation Advisory Council (CAC) has reviewed the materials submitted by the applicant for the construction of a bedroom addition.

The CAC would like to see a wetland mitigation plan with a planting list, a one-to-one calculation and a stormwater plan if necessary.

Patrick M. Croke
Architect

8 December 2022

Lewisboro Planning Board
79 Bouton Road
South Salem, New York 10590

RE: 120 Mill River Road
Zoning district R-2A, Sheet 45, block 10299, lot 86

Dear Chairperson Andersen and members of the Lewisboro Planning Board,

I represent the owner of the above referenced property and, on behalf of my client, enclosed for submission is an application and accompanying plans and documents in support of a request for a wetland's activity permit for the addition to the existing residence.

The project consists of the addition of a 729 SF space to be used as a master bedroom suite. A bedroom in the existing home is being renovated to no longer be considered a bedroom to maintain the current bedroom count and eliminate the need for any changes to the existing septic system. The addition consists of the bedroom suite at the first floor and storage and mechanical space in the basement below. The associated exterior work consists of the construction of a new stair from the upper driveway level to the basement and rear yard. The construction of the stair and basement will require the removal of a portion of a rock outcropping at the new stair location. Other exterior construction includes the relocation of HVAC condensers, the removal of an oil tank and the installation of new walkways and curbing. The total site disturbance is expected to be approximately 2213 SF at the construction area and 841 SF at the soil stockpile area for a total of 3054+/- SF. Approximately 1400 SF of disturbance will be between the 100' and 15' wetlands buffer lines. No disturbance is planned to be closer than the 100' buffer line. Material and vehicle storage will be on the existing driveway beyond the 150' buffer line.

We look forward to the opportunity to discuss this project further at the next available meeting of the Planning Board. In the meantime, please do not hesitate to contact me if you have any questions about the application or if you require additional information.

Sincerely,

Patrick M. Croke
LEED AP, BD+C

914 - 234 - 6093
www.pmcarchitect.com
20 Woodsbridge Road
Katonah, New York 10536

Patrick M. Croke
Architect

13 February 2023

Town of Lewisboro Planning Board
79 Bouton Road
South Salem, New York 10590

RE: Simpkins Residence, 120 Mill River Road, South Salem, NY 10590

Dear Chair Andersen and members of the Lewisboro Planning Board,

I represent, as architect, the owner of the above referenced property, and on behalf of my client, I present the following in response to the Conservation Advisory Council memo dated 2/8/23 for this project.

1. A wetland mitigation plan and a planting list were included with our submission.
2. The proposed mitigation planting area is approximately 1,000 SF. The proposed addition totals 729 SF. The mitigation planting area is 1.37 times the area of the addition.
3. A stormwater plan was included with our submission.

I look forward to the opportunity to discuss this further, if needed, at the next available meetings of the Planning Board. In the meantime, please do not hesitate to contact me if you have any questions about the application or require additional information.

Sincerely,

Patrick M. Croke
LEED AP, BD+C

914 - 234 - 6093
www.pmcarchitect.com
20 Woodsbridge Road
Katonah, New York 10536

Application No.: _____
Fee: _____ Date: _____

TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION

79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 875-9148

Project Address: 120 Mill River Road

Sheet: 45 Block: 10299 Lot(s): 86

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): Addition to house in 100-150' buffer, 2000+/- SF disturbance

Owner's Name: Nancy Simpkins Phone: (914) 533-6739

Owner's Address: 120 Mill River Road, South Salem Email: NancyKSimpkins@gmail.com

Applicant's Name (if different): Patrick Croke, Architect Phone: 914-234-6093

Applicant's Address: 20 Woodsbridge Rd, Katonah, NY 10536 Email: patrick@pmcarchitect.com

Agent's Name (if applicable): _____ Phone: _____

Agent's Address: _____ Email: _____

TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

☐ Administrative ☒ Planning Board

Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No

Total area of proposed disturbance: ☒ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☐ ≥1 acre

Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: Building permit

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: Nancy K. Simpkins Date: 12/8/22

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592
Fax: (914) 875-9148

Affidavit of Ownership

State of : New York

County of: New York

Nancy Simpkins, being duly sworn, deposes and says that he/she

resides at 120 Mill River Road, South Salem, NY 10590

in the County of Westchester, State of NY

and that he/she is (check one) X the owner, or ____ the _____
Title

of _____
Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of Lewisboro as:

Block 10299, Lot 86, on Sheet 45.

Nancy K. Simpkins
Owner's Signature

Sworn to before me this

12th **day of** December, 2022

FELICITA SURIEL
Notary Public - State of New York
NO. 01SU6355859
Qualified in New York County
My Commission Expires Mar 20, 2025

Notary Public – affix stamp

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant
(Please type or print)

PATRICK CROKE
Name of Applicant

SIMPKINS ADDITION
Project Name

Property Description

Tax Block(s): 10299

Tax Lot(s): 86

Tax Sheet(s): 45

Property Assessed to:

Name NANCY K. SIMPKINS

Address 120 MILL RIVER ROAD

City SO. SALEM *State* NY *Zip* 10590

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes: Deirdre G. Casper *Date* 9/9/22

Sworn to before me this

9th **day of** September, 2022

Janet L. Donohue
Signature - Notary Public (affix stamp)

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2020

Application No.: _____
Fee: _____ Date: _____

TOWN OF LEWISBORO
STORMWATER PERMIT APPLICATION

79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 875-9148

Project Address: 120 Mill River Road

Sheet: 45 Block: 10299 Lot(s): 86

Project Description (describe overall project including all proposed land development activities):
Addition to house of 729 SF within the 100-150' wetlands buffer, 3000+/- SF disturbance

Owner's Name: Nancy Simpkins Phone: (914) 533-6739

Owner's Address: 120 Mill River Road, South Salem Email: NancyKSimpkins@gmail.com

Applicant's Name (if different): Patrick Croke, Architect Phone: 914-234-6093

Applicant's Address: 20 Woodsbridge Rd, Katonah, NY 10536 Email: patrick@pmcarchitect.com

Agent's Name (if applicable): _____ Phone: _____

Agent's Address: _____ Email: _____

TO BE COMPLETED BY OWNER/APPLICANT

The approval authority is? (see §189-5 of the Town Code)

□ Town Engineer and Stormwater Management Officer ■ Planning Board

Is the project located within the NYCDEP Watershed? ■ Yes □ No

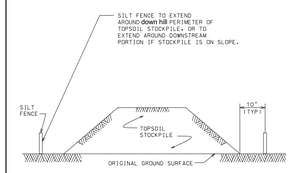
Total area of proposed disturbance: ■ 5,000 s.f. - < 1 acre □ ≥1 acre

Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity? □ Yes □ No □ Requires post-construction stormwater practice

Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: Building permit

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under §189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

Owner Signature: Nancy K. Simpkins Date: 12/8/22



NOTES:

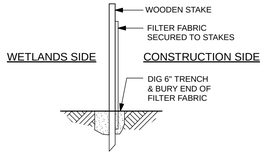
1. AN ON-SITE DRAINAGE SWALE SHALL BE LOCATED BETWEEN THE TOPSOIL STOCKPILE AND OFF-SITE PROPERTY.
2. REFERENCE IS MADE TO THE SILT FENCE DETAIL FOR MATERIALS AND INSTALLATION METHODS.
3. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH BURLAP MATTING OR SEEDED WITHIN 7 DAYS OF COMPLETION TO MINIMIZE EROSION.
4. INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF ½". REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. SEDIMENT TRAPPED BY THE FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.
6. SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN DIRECTED BY THE CITY.

NOT TO SCALE

TEMPORARY TOPSOIL STOCKPILE DETAIL

DATE: 3-31-09

F-5



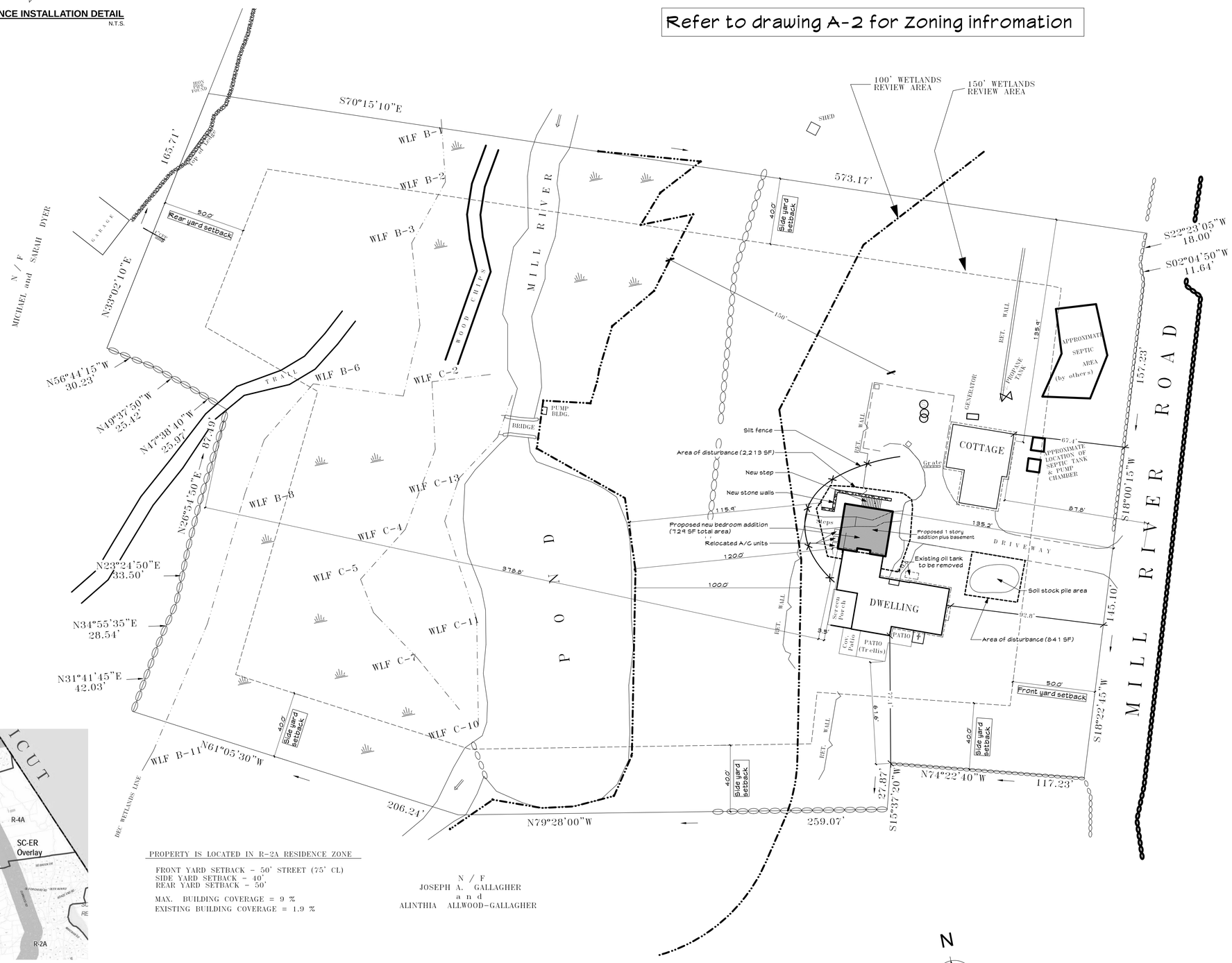
SILT FENCE INSTALLATION DETAIL

N.T.S.

Table R301.2(1)
Climatic and Geographic Design Criteria

Ground Snow Load	Wind Speed (MPH)	Seismic Design Category	Subject to damage from: Weathering	Frost line depth	Termite	Decay	Winter design temp.	Ice shield underlayment required	Flood hazards	Design load criteria: Floor (non-bedroom)	Floor (Bedroom)	Roof
45	90 - 100 MPH	C	Severe	42"	Moderate - heavy	Slight - moderate	7° F	Yes	361227A 3/84	40 live 15 dead	30 live 15 dead	30 live 15 dead

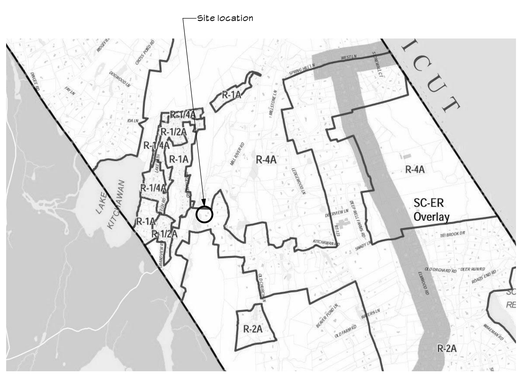
Refer to drawing A-2 for Zoning infromation



PROPERTY IS LOCATED IN R-2A RESIDENCE ZONE

FRONT YARD SETBACK - 50' STREET (75' CL)
SIDE YARD SETBACK - 40'.
REAR YARD SETBACK - 50'

MAX. BUILDING COVERAGE = 9 %
EXISTING BUILDING COVERAGE = 1.9 %



Z **Zoning map**

NOT TO SCALE

S **Site plan**

SCALE: 1" = 30'

Site plan based on survey prepared by RKW Land Surveying, last surveyed 11/15/22 and map completed 12/04/22.

N

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NOTE: DO NOT SCALE DRAWINGS

D:\1-Project Files\21010 - Simpkins Bedroom Addition\3 - Drawings\21010-Simpkins CD-22014.pln

This project is designed to conform to the 2020 Residential Code of NYS

No:	Description:	Date:	
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			☐
			☐
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4	Revised per clients changes	10/17/22	☐
3	Site plan updates	09/20/22	☐
2	Permit submission	07/25/22	☐
1	Client revisions	07/22/22	☐

Revisions: R-#

Project Name:

Simpkins residence addition
120 Mill River Road
South Salem, New York

Drawing Title:

Site plan and general notes

Date: 12/09/22
Revised as noted above

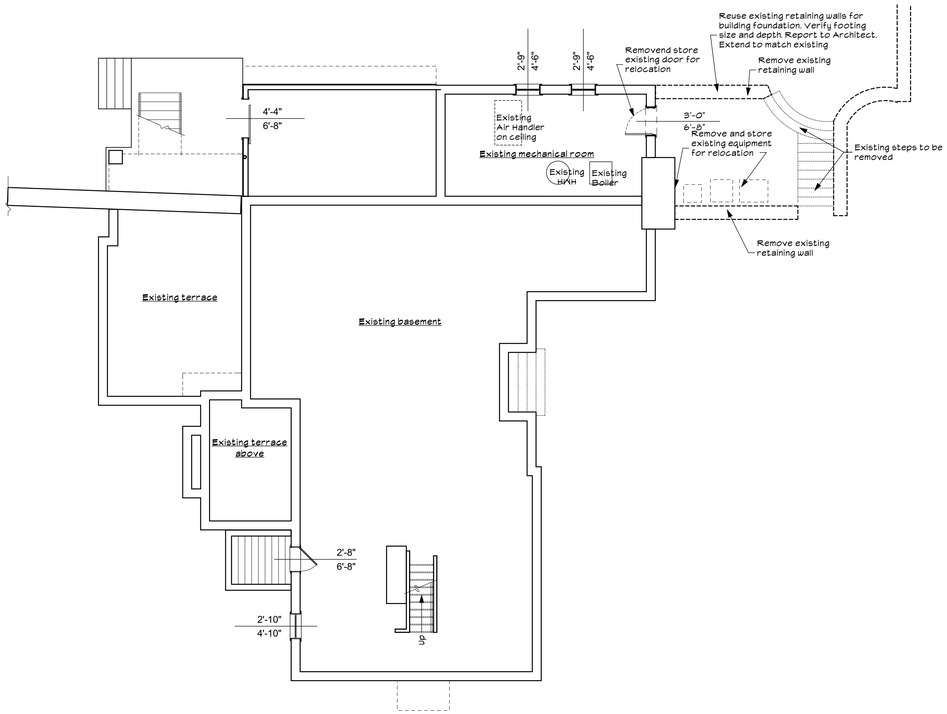
Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

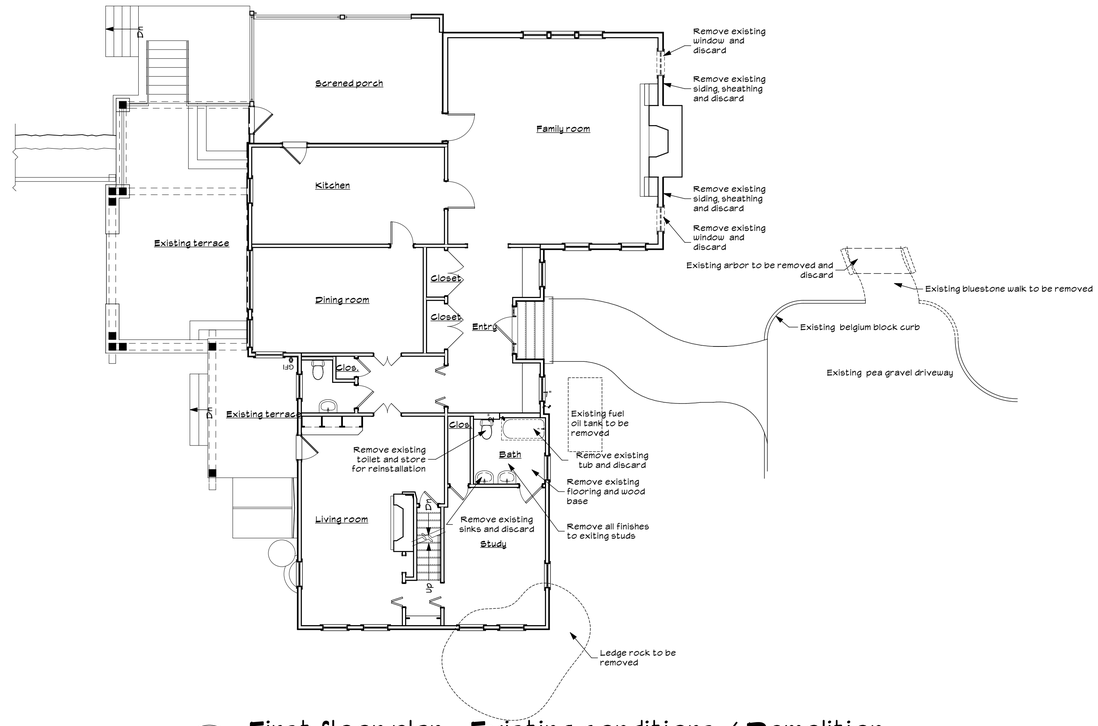
Drawing Number:

A-1



-1 Basement plan - Existing conditions/ Demolition

SCALE: 1/8" = 1' - 0"



1e First floor plan - Existing conditions / Demolition

SCALE: 1/8" = 1' - 0"

Energy Conservation Construction Code of New York State, Residential

Schedule of insulation and fenestration requirements
(Table N1102.1.2 (R402.1.2) of the 2020 Residential Code of New York State)

Climate zone #4a - Westchester, Suffolk and Nassau Counties and NYC

Building component	Maximum U-factor	Minimum R-value (c)	Depth of insulation
Fenestration	0.32		
Glazed fenestration SHGC	0.40		
Skylight	0.55		
Ceiling/ Roof		49 (d, e)	
Wood framed wall		20 cavity or 13 cavity +5 continuous	
Mass wall (a) (b)		8/13	
Floor		19	
Basement wall (b)		10/13	
Slab (unheated)		10	2 ft
Slab (heated)		5 under full slab plus 10 vert edge	2 ft
Crawl space wall (b)		10/13	

All existing portions of the building shell that are opened are to be insulated by having cavities filled with insulation as per Note C.

(a) The second R-value applies when more than half the insulation is on the interior of the mass wall.

(b) The first value shown represents minimum "R" value of continuous insulated sheathing on the interior or the exterior of the wall, the second value shown represents minimum "R" value of cavity insulation at the interior of the basement wall. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.

(c) Alterations, renovations or repairs to roof/ceiling, wall or floor cavities shall be insulated as noted above where possible. If the available cavity is not deep enough, such areas shall be insulated to full depth with insulation having a minimal nominal value of R-3.0/inch. (N1109.1.1 (R503.1.1) of the 2020 Residential Code of New York State)

(d) Ceilings with attic spaces - Where R-49 installation is required in ceilings, installation of R-38 over 100% of the ceiling area requiring installation shall satisfy the requirement for R-49 insulation wherever the full height of uncompressed R 38 insulation extends over the wall top plate at eaves. (R402.2.1)

(e) Ceilings without attic spaces - Where greater than R-30 installation is required in roof/ceilings, installation of R-38 over 100% of the ceiling area requiring installation shall satisfy the requirement for R-49 insulation wherever the full height of uncompressed R 38 insulation extends over the wall top plate at eaves. (R402.2.1)

Envelope insulation values

Schedule of Insulation and fenestration reqirements
Table N1102.1.2 (R402.1.2) of the Residential Code of New York State

Surface	CODE Minimum R-value	TO BE INSTALLED Insulation type, see key below	Thickness (Inches)	R-value per inch	Installed R-value	Notes
New 2x6 exterior walls	20	SIPF-Open	5.5	3.8	21	
Floor - 2x10 floor joist	19	SIPF-Open	9	3.8	34	
Roof - 2x12 rafters	49	SIPF-Open	13	3.8	49	
Existing cavities insulated as per ECCCNY 101.4.3, ex 3						
2x4 cavity	11	FG-VB	3.5	3.0	11	See note below ECCCNY 101.4.3, exception 3
2x6 cavity	17	FG-VB	5.5	3.0	17	See note below ECCCNY 101.4.3, exception 3
2x8 cavity	22	FG-VB	7.25	3.0	22	See note below ECCCNY 101.4.3, exception 3
2x10 cavity	28	FG-VB	9.25	3.0	28	See note below ECCCNY 101.4.3, exception 3
2x12 cavity	34	FG-VB	11.25	3.0	34	See note below ECCCNY 101.4.3, exception 3

Insulation type key
FG-VB = Fiberglass batt insulation with integral vapor barrier, typical R value = 3.0/inch
SIPF-Closed = Closed cell sprayed in place foam insulation, typical R value = 7.0/inch
SIPF-Open = Open cell sprayed in place foam insulation, typical R value = 3.8/inch
Rigid board = Polyisocyanurate rigid foam board insulation, R 6.5/inch, continuous with taped joints.

ECCCNY 101.4.3, exception 3 - Alterations, renovations or repairs to roof/ceiling, wall or floor cavities shall be insulated as noted above where possible. If the available cavity is not deep enough, such areas shall be insulated to full depth with insulation having a minimal nominal value of R-3.0/inch.

Note: Provide sprayed on thermal barrier that meet requirements as per R316.4 of the 2020 Residental Code of New York State on all exposed sprayed-in-place foam

Addition complies with the 2020 NY energy code

Zoning analysis

New addition to existing 1 family residence
120 Mill River Road South Salem, N.Y.

Section: 66.1
Block: 1
Lot: 3
Zone: R-2A
Lot size (acres): 5.001
Lot size (square feet): 217,844

Regulation	Minimum	Maximum	Actual (Existing)	Proposed	Remarks
Min. lot size (acres)	2		5.001	5.001	
Min. lot width	200'		332	332	
Front yard (Feet) from street center line	75'		87.8	87.8	3
Front yard (Feet) from front lot line	50'		67.4	67.4	3
Side one (Feet)	40'		61.6	61.6	2
Rear yard (Feet)	50'		382.3	378.8	1
Max. height, stories		2 1/2	2	2	2
Max. height, feet		35'	26' +/-	26' +/-	2
Building coverage		9%	1.89%	2.17%	Percentage
		19,606	4,112	4,731	Square feet

Note : dimensions on the zoning table are from the lesser dimension
1 - Dimension is from new addition
2 - Dimension is from existing residence
3 - Dimension is from existing barn

Building coverage summary

120 Mill River Road South Salem, N.Y.

Based on survey prepared by RKW Land Surveying, last surveyed 11/15/22 and map completed 12/04/22

Section: 66.1
Block: 1
Lot: 3
Zone: R-2A
Lot size (acre): 5.001 217,844 SF
Max. Principle bldg: 9% 19,606 SF

Structure	Existing Foot print	Existing % of lot	Proposed Change (SF)	Proposed Foot print	Proposed % of lot
Residence	2,192	1.01%	0	2,192	1.01%
Screen porch	315	0.14%	0	315	0.14%
Covered patio	169	0.08%	0	169	0.08%
Barn	1,436	0.66%	0	1,436	0.66%
New addition		0.00%	619	619	0.28%
Total building coverage	**4,112**	**1.89%**	**619**	**4,731**	**2.17%**

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D:\1-Project Files\21010 - Simpkins Bedroom Addition\3 - Drawings\21010-Simpkins CD-220914.pln

This project is designed to conform to the 2020 Residential Code of NYS

No:	Description:	Date:	
7	Planning Board submission for wetlands permit review	12/09/22	☒
6	Updated site plan pased on new survey, correction to R-2A zone	12/06/22	☐
5	Revised per Building Dept. comments	12/01/22	☐
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3	Site plan updates	09/20/22	☐
2	Permit submission	07/25/22	☐
1	Client revisions	07/22/22	☐

Revisions:

Project Name:
Simpkins residence addition
120 Mill River Road
South Salem, New York

Drawing Title:
Demolition Floor Plans

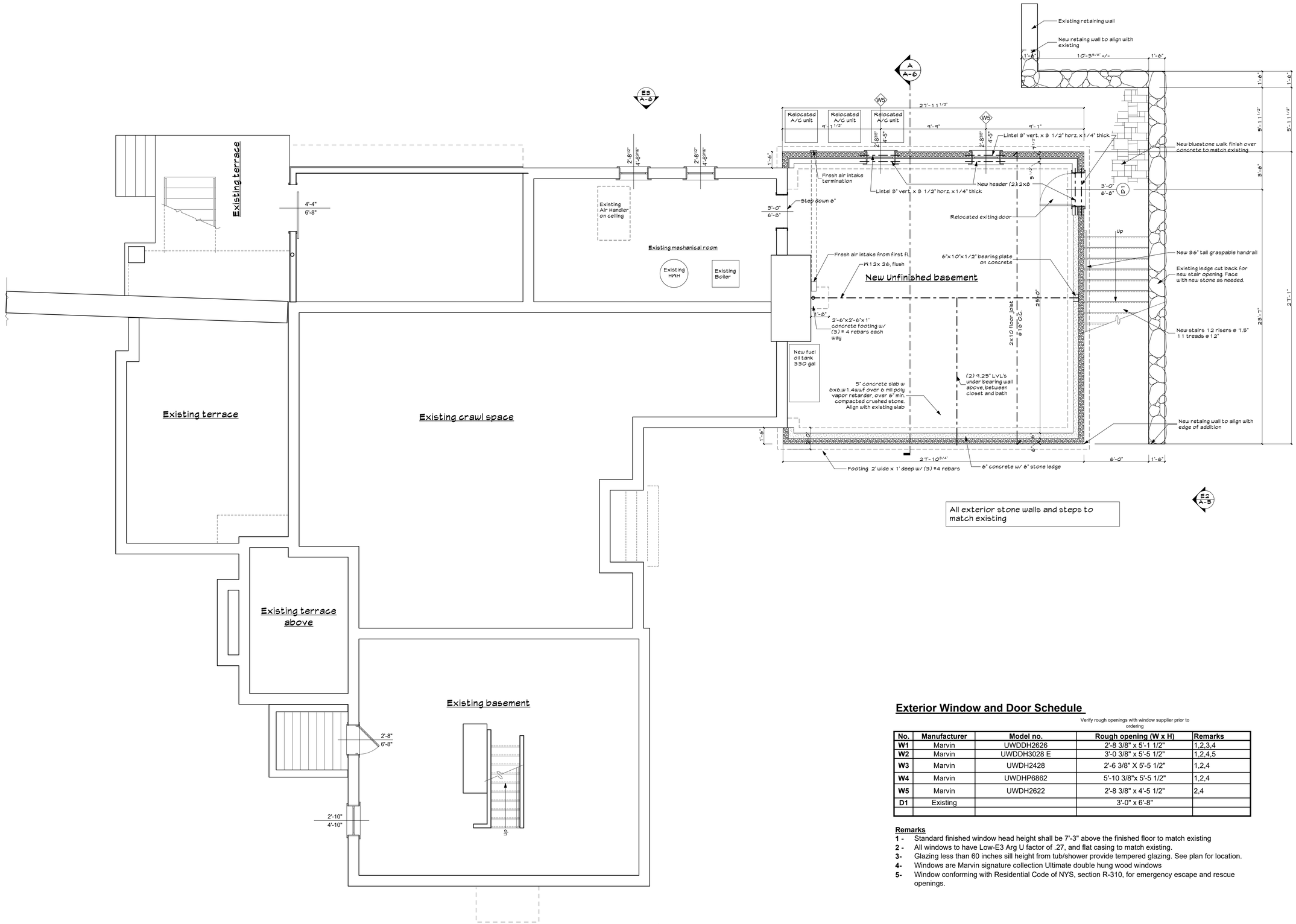
Date: 12/09/22
Revised as noted above

Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:
A-2



All exterior stone walls and steps to match existing

Exterior Window and Door Schedule

Verify rough openings with window supplier prior to ordering

No.	Manufacturer	Model no.	Rough opening (W x H)	Remarks
W1	Marvin	UWDDH2626	2'-8 3/8" x 5'-1 1/2"	1,2,3,4
W2	Marvin	UWDDH3028 E	3'-0 3/8" x 5'-5 1/2"	1,2,4,5
W3	Marvin	UWDH2428	2'-6 3/8" X 5'-5 1/2"	1,2,4
W4	Marvin	UWDHP6862	5'-10 3/8"x 5'-5 1/2"	1,2,4
W5	Marvin	UWDH2622	2'-8 3/8" x 4'-5 1/2"	2,4
D1	Existing		3'-0" x 6'-8"	

Remarks

1 - Standard finished window head height shall be 7'-3" above the finished floor to match existing
2 - All windows to have Low-E3 Arg U factor of .27, and flat casing to match existing.
3- Glazing less than 60 inches sill height from tub/shower provide tempered glazing. See plan for location.
4- Windows are Marvin signature collection Ultimate double hung wood windows
5- Window conforming with Residential Code of NYS, section R-310, for emergency escape and rescue openings.

Basement plan - Renovation

1

SCALE: 1/4" = 1' - 0"

E1
A-5

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Revisions:

Project Name:

Simpkins residence addition
120 Mill River Road
South Salem, New York

Drawing Title:

Basement Plan

Date: 12/09/22
Revised as noted above

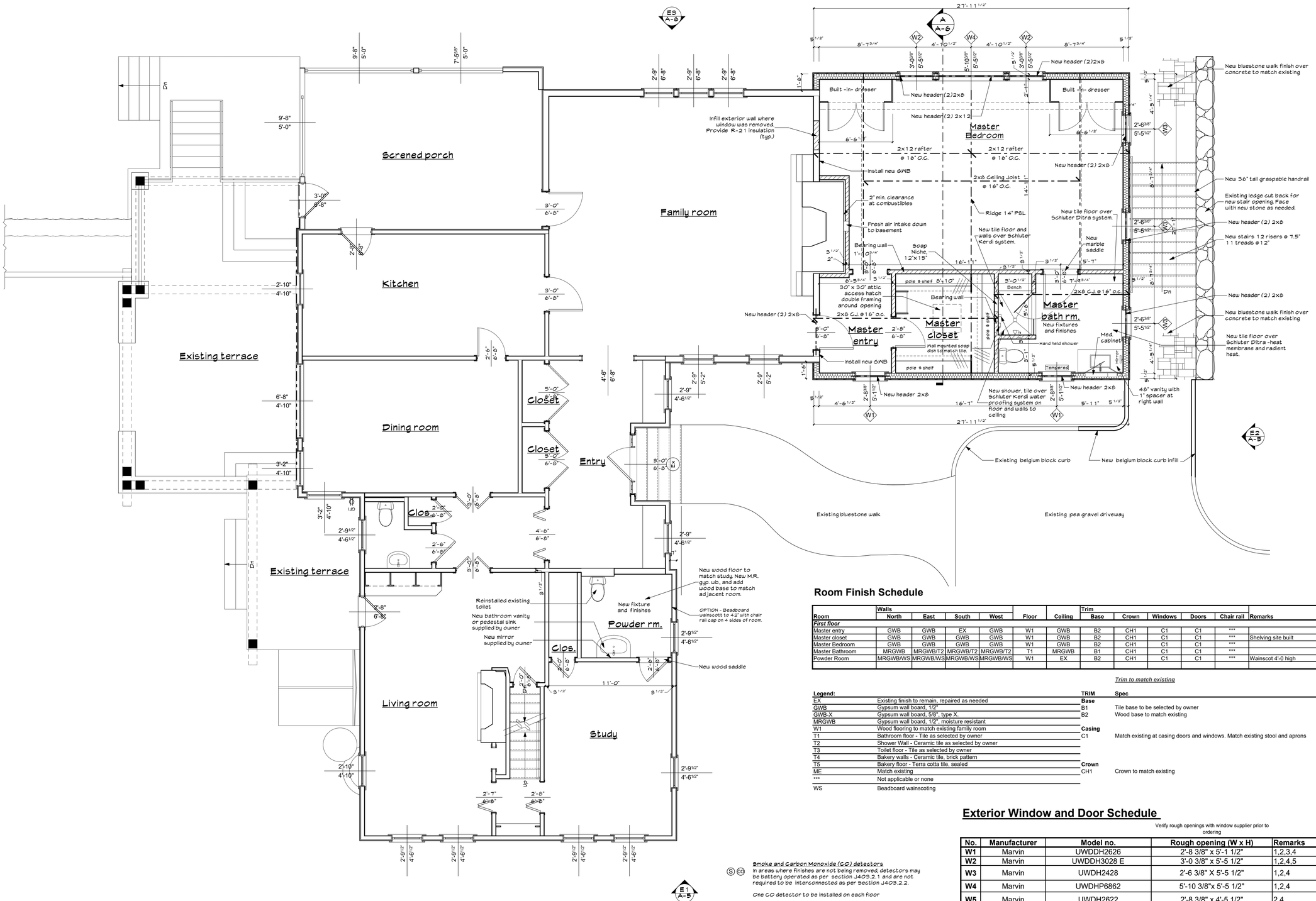
Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:

A-3



1r First floor plan - Renovation

SCALE: 1/4" = 1' - 0"

Smoke and Carbon Monoxide (CO) detectors

In areas where finishes are not being removed, detectors may be battery operated as per section J403.2.1 and are not required to be interconnected as per Section J403.2.2.

One CO detector to be installed on each floor

A minimum of one smoke detector to be installed on each floor. One smoke detector to be installed in each bedroom of the second floor and one in the hall within 10' of the door to each bedroom.

Room Finish Schedule

Room	Walls North	East	South	West	Floor	Ceiling	Trim Base	Crown	Windows	Doors	Chair rail	Remarks
First floor												
Master entry	GWB	GWB	EX	GWB	W1	GWB	B2	CH1	C1	C1	***	
Master closet	GWB	GWB	GWB	GWB	W1	GWB	B2	CH1	C1	C1	***	Shelving site built
Master Bedroom	GWB	GWB	GWB	GWB	W1	GWB	B2	CH1	C1	C1	***	
Master Bathroom	MRGWB	MRGWB/T2	MRGWB/T2	MRGWB/T2	T1	MRGWB	B1	CH1	C1	C1	***	
Powder Room	MRGWB/WS	MRGWB/WS	MRGWB/WS	MRGWB/WS	W1	EX	B2	CH1	C1	C1	***	Wainscot 4'-0 high

Trim to match existing

Legend:		TRIM	Spec
EX	Existing finish to remain, repaired as needed	**Base**	
GWB	Gypsum wall board, 1/2"	B1	Tile base to be selected by owner
GWB-X	Gypsum wall board, 5/8", type X.	B2	Wood base to match existing
MRGWB	Gypsum wall board, 1/2", moisture resistant		
W1	Wood flooring to match existing family room	**Casing**	
T1	Bathroom floor - Tile as selected by owner	C1	Match existing at casing doors and windows. Match existing stool and aprons
T2	Shower Wall - Ceramic tile as selected by owner		
T3	Toilet floor - Tile as selected by owner		
T4	Bakery walls - Ceramic tile, brick pattern		
T5	Bakery floor - Terra cotta tile, sealed	**Crown**	
ME	Match existing	CH1	Crown to match existing
***	Not applicable or none		
WS	Beadboard wainscoting		

Exterior Window and Door Schedule

Verify rough openings with window supplier prior to ordering

No.	Manufacturer	Model no.	Rough opening (W x H)	Remarks
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W3	Marvin	UWDH2428	2'-6 3/8" X 5'-5 1/2"	1,2,4
W4	Marvin	UWDHP6862	5'-10 3/8"x 5'-5 1/2"	1,2,4
W5	Marvin	UWDH2622	2'-8 3/8" x 4'-5 1/2"	2,4
D1	Existing		3'-0" x 6'-8"	

Remarks

1 - Standard finished window head height shall be 7'-3" above the finished floor to match existing
2 - All windows to have Low-E3 Arg U factor of .27, and flat casing to match existing.
3- Glazing less than 60 inches sill height from tub/shower provide tempered glazing. See plan for location.
4- Windows are Marvin signature collection Ultimate double hung wood windows
5- Window conforming with Residential Code of NYS, section R-310, for emergency escape and rescue openings.

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NOTE: DO NOT SCALE DRAWINGS

D:\1-Project Files\21010 - Simpkins Bedroom Addition\2 - Drawings\21010-Simpkins CD-220914.pln

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No:	Description:	Date:	
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7	Planning Board submission for wetlands permit review	12/09/22	☒
6	Updated site plan pased on new survey, correction to R-2A zone	12/06/22	☐
5	Revised per Building Dept. comments	12/01/22	☐
4	Revised per clients changes	10/17/22	☐
3	Site plan updates	09/20/22	☐
2	Permit submission	07/25/22	☐
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins residence addition
120 Mill River Road
South Salem, New York

Drawing Title:

First Floor plan

Date: 12/09/22
Revised as noted above

Project #: 21010

Scale: As noted

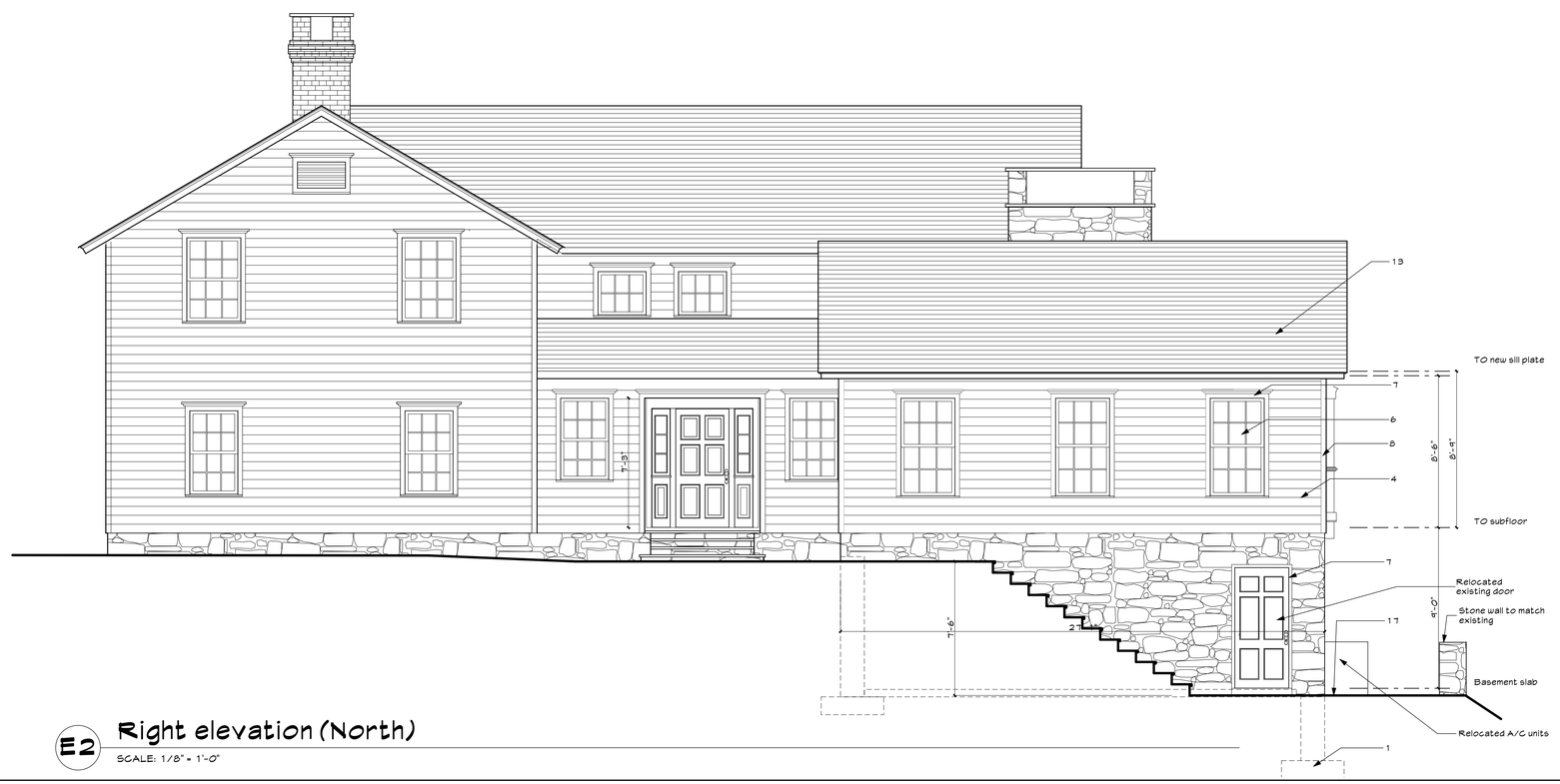
REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:

A-4

E1 Front elevation (East)

SCALE: 1/8" = 1'-0"



E2 Right elevation (North)

SCALE: 1/8" = 1'-0"

Elevation and section key notes

1 - FOOTING ASSEMBLY
- 12" X 24" concrete footing (bottom of footing at 42" min. below grade min.
- (3) continuous #4 rebars (minimum 3" cover)
- Rebars to be bonded together and tied into electric grounding electrode system

2 - FOOTING DRAIN ASSEMBLY
- 4" perforated footing drain
- Set in 12" x 12" crushed stone
- Cover with filter fabric
- Connect to existing system

3 - MUD SILL ASSEMBLY
- Continuous 2x6 pressure treated sill
- Sill sealer
- Anchor bolts @ 6'-0" o.c. minimum, 1'-0" mumimum to corners

4 - EXTERIOR WALL ASSEMBLY
- Wood siding to match existing
- TYVEK house wrap
- 1/2" CDX plywood R-sheathing 1 ½" (R-5) or "Advantech"
- 2x6 studs @ 16" o.c. or match existing where needed
- insulation as per #12
- 1/2" gypsum wall board

5 - FLOOR ASSEMBLY
- Finish flooring (as per owner)
- 3/4" wood flooring
- 1/2" cement backer board or ½" CDX plywood Schluter Ditra system under tile and Kerdi at shower
- 3/4" CDX T&G "Advantech" or CDX plywood floor sheathing, glued
- Floor joists - as per plan

6 - EXTERIOR WINDOWS & DOORS
- Window finished head height as shown on drawings
- "Marvin" units, size & model as per floor plans and window schedule

7 - EXTERIOR WINDOW TRIM
- Wood trim to match existing
- Copper flashing overhead trim

8 - CORNER BOARDS
- Match existing

9 - INTERIOR WALL ASSEMBLY
- 2"x4" studs @ 16" o.c.
- ½" gypsum wall board on both sides
- Moisture/ mold resistant at all wet areas

10 - INTERIOR DOORS
- Match existing style
- Refer to floor plans for size, location and orientation

11 - INTERIOR TRIM
- Match existing

12 - INSULATION
- Sprayed in place foam of a minimum R-value as notes in Energy Conservation code of New York State, residential

13 - PITCHED ROOF ASSEMBLY
- Shingles to match existing
- ice & water shield at all eaves, valleys and roof to wall joints, typical
- 15lb. felt paper
- 5/8" CDX plywood sheathing
- Roof rafters- Simpson H2.5A (or similar) connection to wall plate
- Ceiling joists- as per plan
- insulation as per #12
- Plastic vent channels at cathedral ceilings and at eaves
- Continuous ridge vent by GOR-A-VENT

14 - EAVE ASSEMBLY
- Match existing

15 - RAKE ASSMEBLY
- Match existing

16 - ROOF WATER DRAINAGE
- Copper gutters and leaders to match existing (not shown on plans and elevations)
- Drain into boot and solid PVC pipe separate from footing drains, run to daylight
- All joints to be mitered, screwed, glued and sealed with caulk and primer upon completion of fabrication
- 5 ½" neck base around bottom
- Flashing with copper
- Provide ventilation at top and bottom

17 - TERRACE PLATFORM
- 1 ½" New York bluestone to match existing set in 1 ½" mortar bed
- 4" concrete slab with 6x6W1.4xW1.4 W.W.F.
- 6" min. compacted crush stone base

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2	Permit submission	07/25/22	☐
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins residence addition
120 Mill River Road
South Salem, New York

Drawing Title:

Elevations

Date: 12/09/22
Revised as noted above

Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

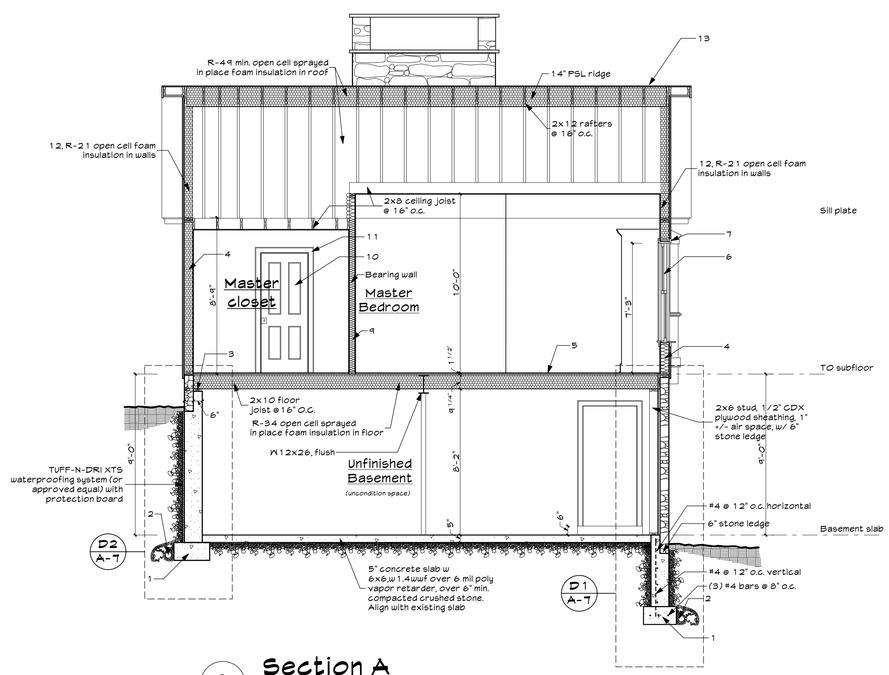
Drawing Number:

A-5

Refer to drawing A-5 for Elevation and Section key notes

E3 Rear elevation (West)

SCALE: 1/8" = 1'-0"



A Section A

SCALE: 1/4" = 1' - 0"

GENERAL NOTES AND SPECIFICATIONS FOR STRUCTURAL MEMBERS

SECTION 03010 - CONCRETE

A. Scope of Work
1) Concrete shall be ready mix 3500 psi ultimate strength in 28 days. Slump shall not exceed 4".
2) Reinforcement shall be as indicated. Slabs shall be reinforced with 6" x 6" W1.4 x W1.4 WWF unless otherwise indicated. All reinforcing bars shall conform to ASTM (A625) deformed bars with a minimum yield stress of 40,000 PSI.

B. Execution
1) Place concrete in conformance with American Concrete Institute Standards.

SECTION 04200 - UNIT MASONRY

A. Materials
1) Concrete Masonry Units (CMU) ASTM C90, Grade N, Type 1, normal weight units.
2) Bricks - Standard Modular Brick, color as specified by architect.
3) Masonry Mortar, Exterior: ASTM C 270, portland cement-lime mortar, Type M.
4) Continuous Masonry Wire Reinforcement: Truss or Ladder design, minimum 9 ga. welded steel wire, 0.8 oz. hot-dip zinc coating, width 1-1/2" to 2" less than wall thickness.

B. Execution
1) Comply with recommendations of the National Concrete Masonry Association and A.C.I.531.
2) Install continuous masonry wire reinforcement at every other course in CMU walls. Overlap at corners. Lap 16" at ends.
3) Anchor wall to adjacent construction with panel anchors.
4) Bond intersecting walls with masonry units or provide anchors spaced 0'- 8" O.C.
5) Anchor ends of walls to structure with anchors spaced 8" O.C., except as otherwise shown.
6) Do masonry work only when average daily temperature is above 40 degrees F. or consult Architect for cold weather procedures which shall be provided at no additional cost.

SECTION 05120 - STRUCTURAL STEEL

A. Materials
1) Steel shapes, plates, and bars: ASTM A36.
2) Steel pipe: ASTM A501
3) High strength threaded fasteners: ASTM A325

B. Execution
1) Comply with Specifications for the Design, Fabrication and Erection of Structural Steel for Buildings of the American Institute of Steel Construction (latest edition).

SECTION 06100 - ROUGH CARPENTRY

A. Materials
1) Framing shall be as shown on the drawings and shall conform to all applicable building codes. All members unless otherwise noted (U.O.N.) on structural drawings shall be one of the following:
   a) Douglas Fir (South) No. 2 or Better (Minimum design values in psi: Fb=825, Fv=90, E=1,200,000).
   b) TJI Joists - Plywood web joists as manufactured by Trus Joist Corporation.
   c) LVL as used on the drawings refers to 2.0 E Microllam Laminated Veneer Lumber beams manufactured under the TrusJoist brand by Weyerhauser.
   d) PSL as used on the drawings refers to 2.0 E Microllam Parallel Strand Lumber beams manufactured under the TrusJoist brand by Weyerhauser.
   e) LSL as used on the drawings refers to 1.3 E TimberStrand Laminated Strand Lumber beams manufactured under the TrusJoist brand by Weyerhauser.
   f) Any framing lumber in contact with concrete, exposed to weather or less than 6" above grade shall be pressure treated unless specifically noted otherwise.
   g) Prefabricated Wood Trusses - Gable shaped trusses manufactured from standard dimensional lumber connected by metal plates. Trusses shall be designed, engineered and certified by professional engineer so that when constructed and installed they meet the requirements of all applicable codes.
2) Studs shall be nom. 2" x 6" for exterior wall and nom. 2" x 4" for interior walls unless otherwise noted, and placed not over 16 o.c. and shall be doubled at openings and tripled at corners.
3) Joists and rafters shall be single lengths between bearings and doubled around openings. All joists under parallel partitions and all headers and trimmers shall be doubled.
4) Connectors at all flush framing and where noted shall be galvanized as manufactured by Teco, Simson, or equal. Sizes as required.
5) Provide blocking, bridging, cats, furring, etc., as required by good practice. Cross-bridging shall not be over 8'-0" o.c. in all floor and roof framing of standard dimensional lumber.
6) All members manufactured by Trus Joist Corporation shall be installed in strict accordance with the manufacturer's requirements and suggested details.
7) All floor and flat roof systems utilizing shall be constructed as a "glued and nailed" system with 3/4" T&G plywood sheathing.
8) Any wood or laminated beam supported on steel columns shall be supported using Lally Column Caps (LCC) as manufactured by Simpson. LCC to be welded to column or provide other sufficient permanent attachment to column.

Members on the drawings noted as "LVL" refer to MICRO=LAM brand veneer lumber

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1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins residence addition
120 Mill River Road
South Salem, New York

Drawing Title:

Elevations and section

Date: 12/09/22
Revised as noted above

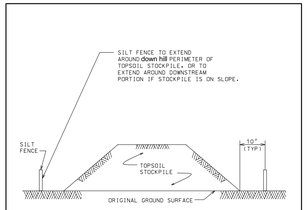
Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:

A-6



NOTES:

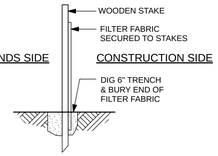
1. AN ON-SITE DRAINAGE SWALE SHALL BE LOCATED BETWEEN THE TOPSOIL STOCKPILE AND OFF-SITE PROPERTY.
2. REFERENCE IS MADE TO THE SILT FENCE DETAIL FOR MATERIALS AND INSTALLATION METHODS.
3. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH BURLAP MATTING OR SEEDED WITHIN 7 DAYS OF COMPLETION TO MINIMIZE EROSION.
4. INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF ½". REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. SEDIMENT TRAPPED BY THE FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.
6. SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN DIRECTED BY THE CITY.

NOT TO SCALE

TEMPORARY TOPSOIL STOCKPILE DETAIL

DATE: 3-31-09

F-5



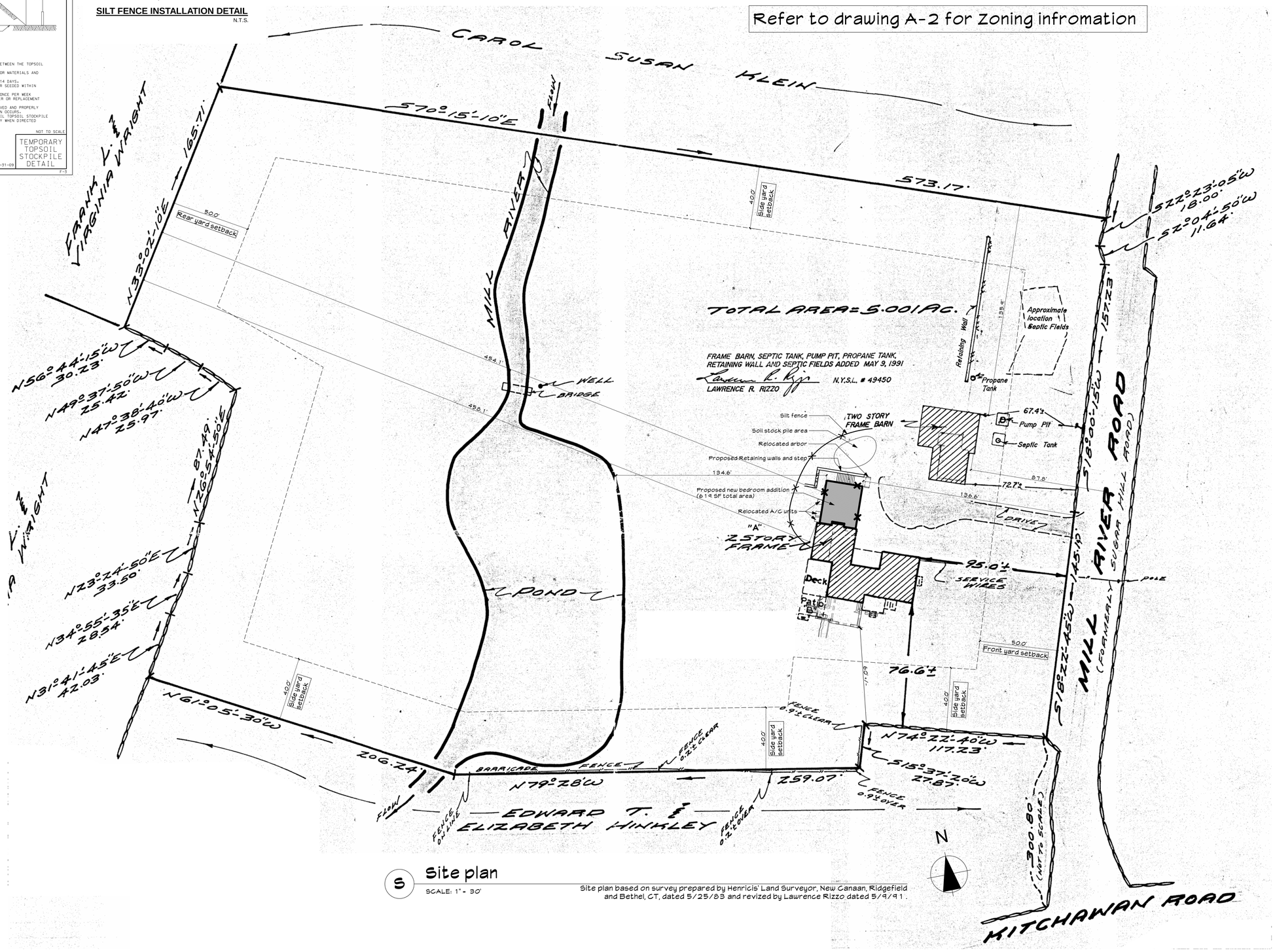
SILT FENCE INSTALLATION DETAIL

N.T.S.

Table R301.2(1)
Climatic and Geographic Design Criteria

Ground Snow Load	Wind Speed (MPH)	Seismic Design Category	Subject to damage from: Weathering	Frost line depth	Termite	Decay	Winter design temp.	Ice shield underlayment required	Flood hazards	Design load criteria: Floor (non-bedroom)	Floor (Bedroom)	Roof
45	90 - 100 MPH	C	Severe	42"	Moderate - heavy	Slight - moderate	7° F	Yes	361227A 3/84	40 live 15 dead	30 live 15 dead	30 live 15 dead

Refer to drawing A-2 for Zoning infromation



S Site plan

SCALE: 1" = 30'

Site plan based on survey prepared by Henricis' Land Surveyor, New Canaan, Ridgefield and Bethel, CT, dated 5/25/83 and revized by Lawrence Rizzo dated 5/9/91.

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This project is designed to conform to the 2020 Residential Code of NYS

No:	Description:	Date:	
2	Permit submission	07/25/22	☒
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:

Site plan and general notes

Date: 07/25/22
Revised as noted above

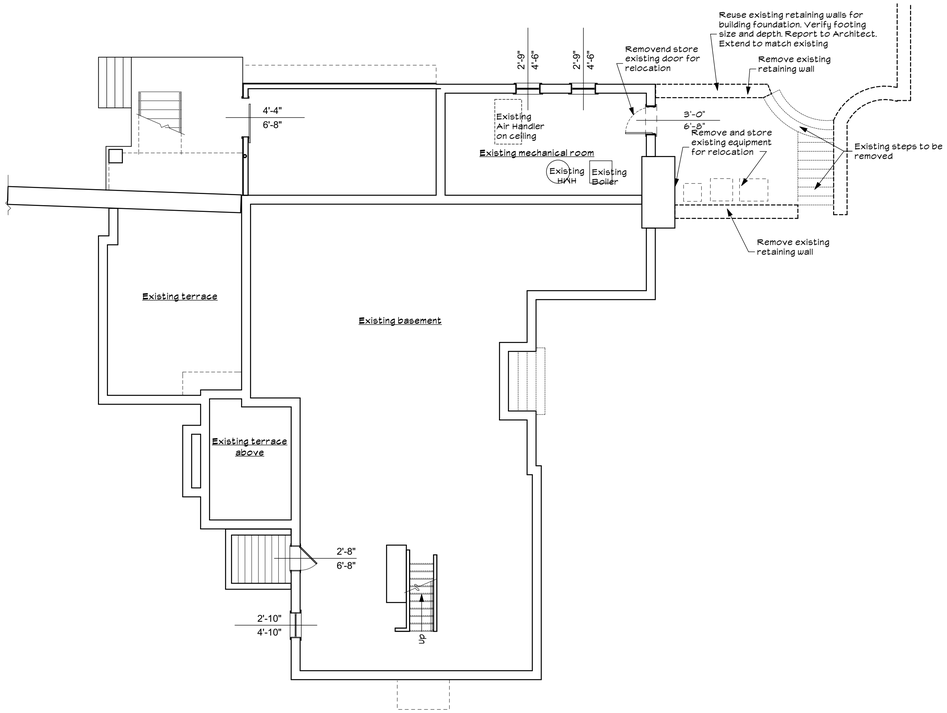
Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 17551 STATE OF NEW YORK

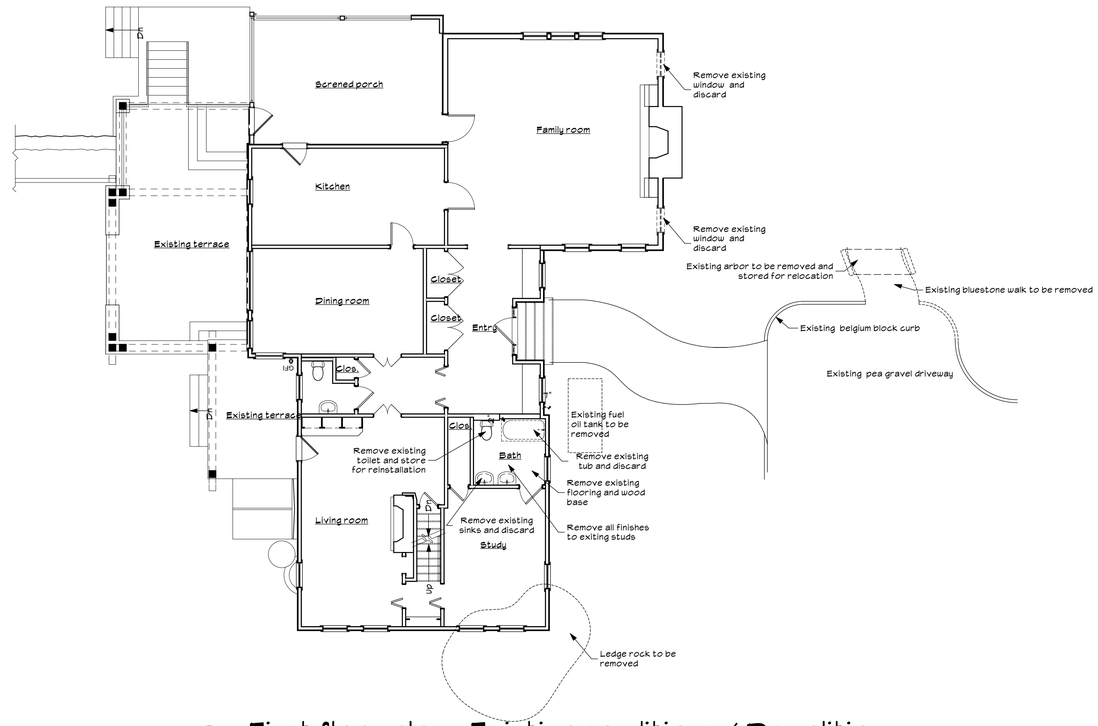
Drawing Number:

A-1



-1 Basement plan - Existing conditions/ Demolition

SCALE: 1/8" = 1' - 0"



1e First floor plan - Existing conditions / Demolition

SCALE: 1/8" = 1' - 0"

Energy Conservation Construction Code of New York State, Residential

Schedule of insulation and fenestration requirements
(Table N1102.1.2 (R402.1.2) of the 2020 Residential Code of New York State)

Climate zone #4a - Westchester, Suffolk and Nassau Counties and NYC

Building component	Maximum U-factor	Minimum R-value (c)	Depth of insulation
Fenestration	0.32		
Glazed fenestration SHGC	0.40		
Skylight	0.55		
Ceiling/ Roof		49 (d, e)	
Wood framed wall		20 cavity or 13 cavity +5 continuous	
Mass wall (a) (b)		8/13	
Floor		19	
Basement wall (b)		10/13	
Slab (unheated)		10	2 ft
Slab (heated)		5 under full slab plus 10 vert edge	2 ft
Crawl space wall (b)		10/13	

All existing portions of the building shell that are opened are to be insulated by having cavities filled with insulation as per Note C.

(a) The second R-value applies when more than half the insulation is on the interior of the mass wall.

(b) The first value shown represents minimum "R" value of continuous insulated sheathing on the interior or the exterior of the wall, the second value shown represents minimum "R" value of cavity insulation at the interior of the basement wall. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.

(c) Alterations, renovations or repairs to roof/ceiling, wall or floor cavities shall be insulated as noted above where possible. If the available cavity is not deep enough, such areas shall be insulated to full depth with insulation having a minimal nominal value of R-3.0/inch. (N1109.1.1 (R503.1.1) of the 2020 Residential Code of New York State)

(d) Ceilings with attic spaces - Where R-49 installation is required in ceilings, installation of R-38 over 100% of the ceiling area requiring installation shall satisfy the requirement for R-49 insulation wherever the full height of uncompressed R 38 insulation extends over the wall top plate at eaves. (R402.2.1)

(e) Ceilings without attic spaces - Where greater than R-30 installation is required in roof/ceilings, installation of R-38 over 100% of the ceiling area requiring installation shall satisfy the requirement for R-49 insulation wherever the full height of uncompressed R 38 insulation extends over the wall top plate at eaves. (R402.2.1)

Zoning analysis

New addition to existing 1 family residence
120 Mill River Road South Salem, N.Y.

Section: 66.1
Block: 1
Lot: 3
Zone: R-2A
Lot size (acres): 5.001
Lot size (square feet): 217,844

Regulation	Minimum	Maximum	Actual (Existing)	Proposed	Remarks
Min. lot size (square feet)	87,120		217,844	217,844	
Min. lot width	200'		332	332	
Front yard (Feet) from street center line	75'		87	87	3
Front yard (Feet) from front lot line	50'		67.4	67.4	3
Side one (Feet)	40'		60	60	2
Rear yard (Feet)	50'		458	454	1
Max. height, stories		2 1/2	2	2	
Max. height, feet		35'	26' +/-	26' +/-	
Building coverage		9%	1.77%	2.05%	Percentage
		19,606	3,852	4,471	Square feet

Note : dimensions on the zoning table are from the lesser dimension
1 - Dimension is from new addition
2 - Dimension is from existing residence
3 - Dimension is from existing barn

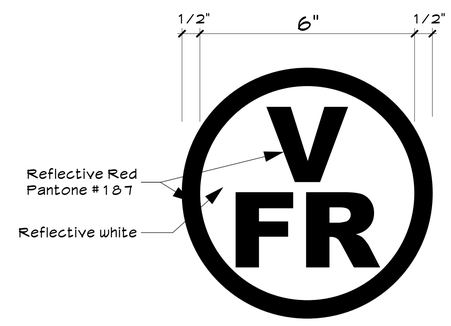
Building coverage summary

120 Mill River Road South Salem, N.Y.

As per Henricis' Land Surveyor dated 5/25/83 revised by Lawrence Rizzo dated 5/9/91

Section: 66.1
Block: 1
Lot: 3
Zone: R-2A
Lot size (acre): 5.001 217,844 SF
Max. Principle bldg: 9% 19,606 SF

Structure	Existing Foot print	Existing % of lot	Change (SF)	Proposed Foot print	Proposed % of lot
Residence	2,113	0.97%	0	2,113	0.97%
Screen porch	310	0.14%	0	310	0.14%
Barn	1,429	0.66%	0	1,429	0.66%
New addition		0.00%	619	619	0.28%
Total building coverage	**3,852**	**1.77%**	**619**	**4,471**	**2.05%**



This structure contains pre-engineered wood construction in floors and roofs. The required notification placard, shown above, shall be installed on the exterior of the building in a location to be approved by the building department.

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No:	Description:	Date:	
2	Permit submission	07/25/22	☒
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:

Demolition Floor Plans

Date: 07/25/22
Revised as noted above

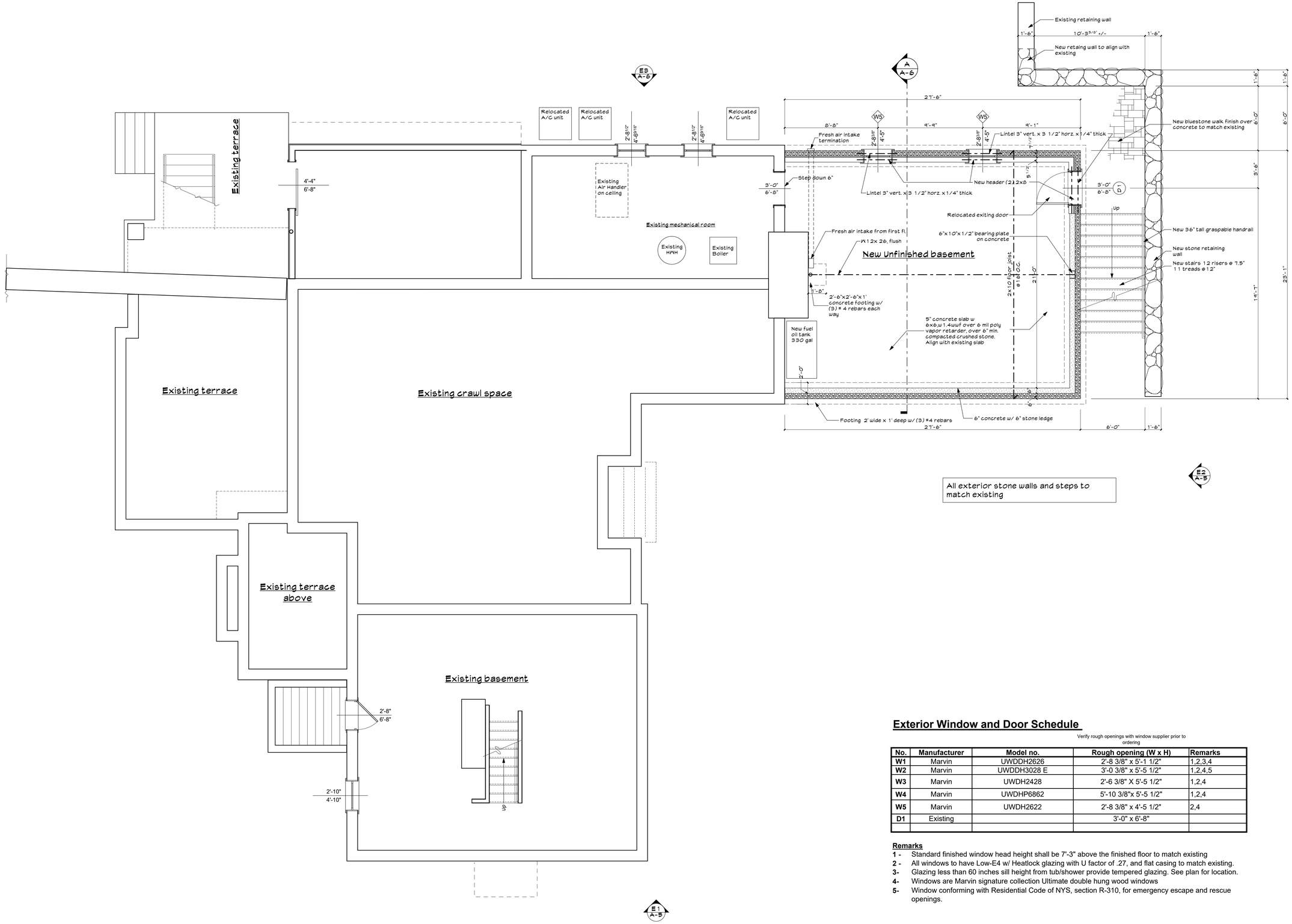
Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 17551 STATE OF NEW YORK

Drawing Number:

A-2



All exterior stone walls and steps to match existing

Exterior Window and Door Schedule

Verify rough openings with window supplier prior to ordering

No.	Manufacturer	Model no.	Rough opening (W x H)	Remarks
W1	Marvin	UWDDH2626	2'-8 3/8" x 5'-1 1/2"	1,2,3,4
W2	Marvin	UWDDH3028 E	3'-0 3/8" x 5'-5 1/2"	1,2,4,5
W3	Marvin	UWDH2428	2'-6 3/8" X 5'-5 1/2"	1,2,4
W4	Marvin	UWDHP6862	5'-10 3/8"x 5'-5 1/2"	1,2,4
W5	Marvin	UWDH2622	2'-8 3/8" x 4'-5 1/2"	2,4
D1	Existing		3'-0" x 6'-8"	

Remarks

1 - Standard finished window head height shall be 7'-3" above the finished floor to match existing
2 - All windows to have Low-E4 w/ Heatlock glazing with U factor of .27, and flat casing to match existing.
3- Glazing less than 60 inches sill height from tub/shower provide tempered glazing. See plan for location.
4- Windows are Marvin signature collection Ultimate double hung wood windows
5- Window conforming with Residential Code of NYS, section R-310, for emergency escape and rescue openings.

- 1 Basement plan - Renovation

SCALE: 1/4" = 1' - 0"

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NOTE: DO NOT SCALE DRAWINGS

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This project is designed to conform to the 2020 Residential Code of NYS

No:	Description:	Date:	
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2	Permit submission	07/25/22	☒
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:

Basement Plan

Date: 07/25/22
Revised as noted above

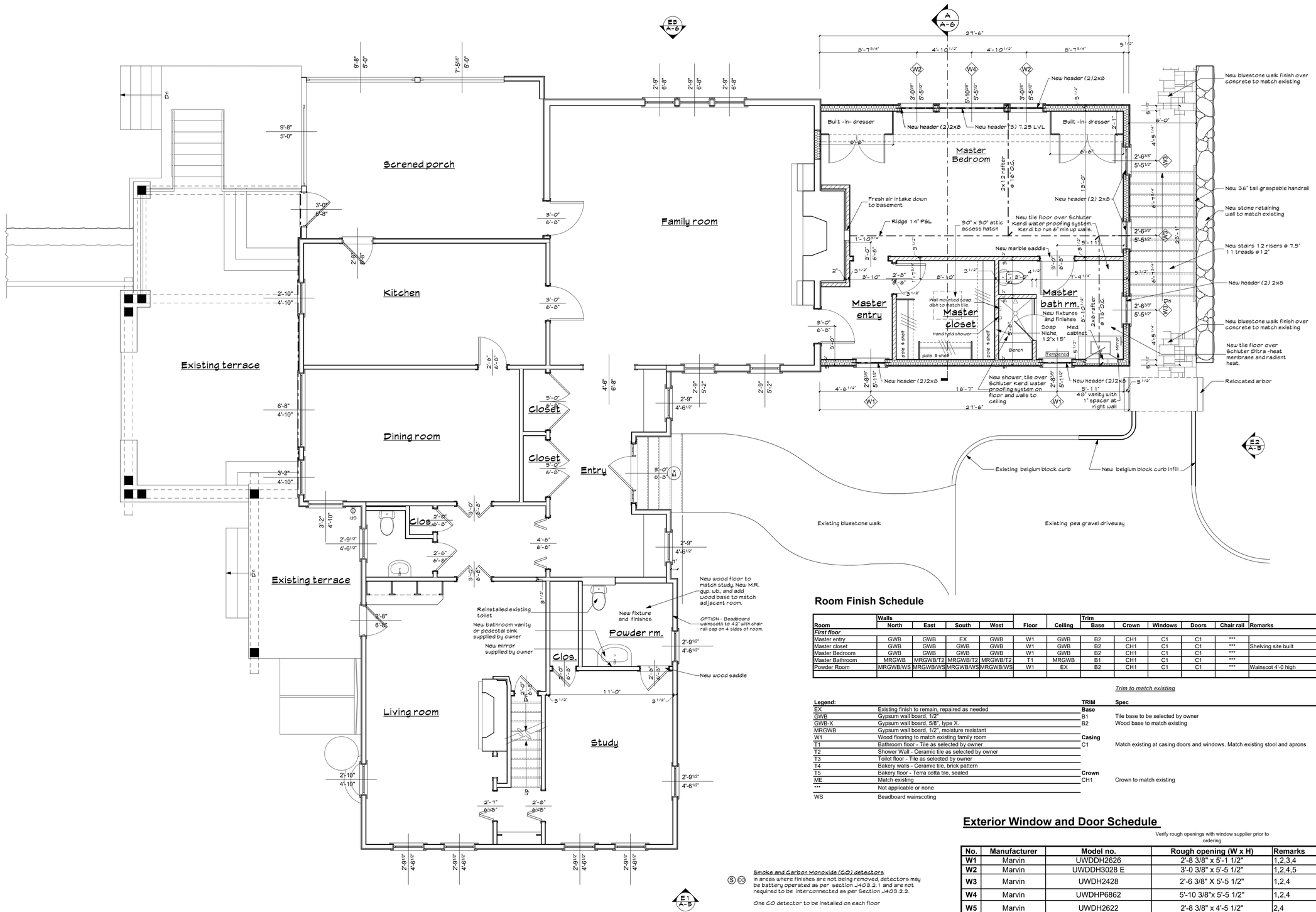
Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:

A-3



1r First floor plan - Renovation

SCALE: 1/4" = 1' - 0"

Room Finish Schedule

Room	Walls North	Walls East	Walls South	Walls West	Floor	Ceiling	Trim Base	Trim Crown	Trim Windows	Trim Doors	Trim Chair rail	Remarks
First floor												
Master entry	GWB	GWB	EX	GWB	W1	GWB	B2	CH1	C1	C1	***	
Master closet	GWB	GWB	GWB	GWB	W1	GWB	B2	CH1	C1	C1	***	Shelving site built
Master Bedroom	GWB	GWB	GWB	GWB	W1	GWB	B2	CH1	C1	C1	***	
Master Bathroom	MRGWB	MRGWB/T2	MRGWB/T2	MRGWB/T2	T1	MRGWB	B1	CH1	C1	C1	***	
Powder Room	MRGWB/WS	MRGWB/WS	MRGWB/WS	MRGWB/WS	W1	EX	B2	CH1	C1	C1	***	Wainscot 4'-0 high

Legend:	
EX	Existing finish to remain, repaired as needed
GWB	Gypsum wall board, 1/2"
GWB-X	Gypsum wall board, 5/8", type X.
MRGWB	Gypsum wall board, 1/2", moisture resistant
W1	Wood flooring to match existing family room
T1	Bathroom floor - Tile as selected by owner
T2	Shower Wall - Ceramic tile as selected by owner
T3	Toilet floor - Tile as selected by owner
T4	Bakery walls - Ceramic tile, brick pattern
T5	Bakery floor - Terra cotta tile, sealed
ME	Match existing
***	Not applicable or none
WS	Beadboard wainscoting

Trim to match existing

TRIM	Spec
Base	
B1	Tile base to be selected by owner
B2	Wood base to match existing
Casing	
C1	Match existing at casing doors and windows. Match existing stool and aprons
Crown	
CH1	Crown to match existing

Exterior Window and Door Schedule

Verify rough openings with window supplier prior to ordering

No.	Manufacturer	Model no.	Rough opening (W x H)	Remarks
W1	Marvin	UWDDH2626	2'-8 3/8" x 5'-1 1/2"	1,2,3,4
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W4	Marvin	UWDHP6862	5'-10 3/8"x 5'-5 1/2"	1,2,4
W5	Marvin	UWDH2622	2'-8 3/8" x 4'-5 1/2"	2,4
D1	Existing		3'-0" x 6'-8"	

Remarks

1 - Standard finished window head height shall be 7'-3" above the finished floor to match existing
2 - All windows to have Low-E4 w/ Heatlock glazing with U factor of .27, and flat casing to match existing.
3- Glazing less than 60 inches sill height from tub/shower provide tempered glazing. See plan for location.
4- Windows are Marvin signature collection Ultimate double hung wood windows
5- Window conforming with Residential Code of NYS, section R-310, for emergency escape and rescue openings.

S CO **Smoke and Carbon Monoxide (CO) detectors**

In areas where finishes are not being removed, detectors may be battery operated as per section J403.2.1 and are not required to be interconnected as per Section J403.2.2.

One CO detector to be installed on each floor

A minimum of one smoke detector to be installed on each floor. One smoke detector to be installed in each bedroom of the second floor and one in the hall within 10' of the door to each bedroom.

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This project is designed to conform to the 2020 Residential Code of NYS

No:	Description:	Date:
2	Permit submission	07/25/22
1	Client revisions	07/22/22

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:

First Floor plan

Date: 07/25/22
Revised as noted above

Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 17551 STATE OF NEW YORK

Drawing Number:

A-4

E 1 Front elevation (East)

SCALE: 1/8" = 1'-0"

E2 Right elevation (North)

SCALE: 1/8" = 1'-0"

Elevation and section key notes

1 - FOOTING ASSEMBLY
- 12" X 24" concrete footing (bottom of footing at 42" min. below grade min.
- (3) continuous #4 rebars (minimum 3" cover)
- Rebars to be bonded together and tied into electric grounding electrode system

2 - FOOTING DRAIN ASSEMBLY
- 4" perforated footing drain
- Set in 12" x 12" crushed stone
- Cover with filter fabric
- Connect to existing system

3 - MUD SILL ASSEMBLY
- Continuous 2x6 pressure treated sill
- Sill sealer
- Anchor bolts @ 6'-0" o.c. minimum, 1'-0" mumimum to corners

4 - EXTERIOR WALL ASSEMBLY
- Wood siding to match existing
- TYVEK house wrap
- 1/2" CDX plywood sheathing
- 2x6 studs @ 16" o.c. or match existing where needed
- insulation as per #12
- 1/2" gypsum wall board

5 - FLOOR ASSEMBLY
- Finish flooring (as per owner)
- 3/4" wood flooring
- 1/2" cement backer board or ½" CDX plywood Schluter Ditra system under tile and Kerdi at shower
- 3/4" CDX T&G "Advantech" or CDX plywood floor sheathing, glued
- Floor joists - as per plan

6 - EXTERIOR WINDOWS & DOORS
- Window finished head height as shown on drawings
- "Marvin" units, size & model as per floor plans and window schedule

7 - EXTERIOR WINDOW TRIM
- Wood trim to match existing
- Copper flashing overhead trim

8 - CORNER BOARDS
- Match existing

9 - INTERIOR WALL ASSEMBLY
- 2"x4" studs @ 16" o.c.
- ½" gypsum wall board on both sides
- Moisture/ mold resistant at all wet areas

10 - INTERIOR DOORS
- Match existing style
- Refer to floor plans for size, location and orientation

11 - INTERIOR TRIM
- Match existing

12 - INSULATION
- Sprayed in place foam of a minimum R-value as notes in Energy Conservation code of New York State, residential

13 - PITCHED ROOF ASSEMBLY
- Shingles to match existing
- Ice & water shield at all eaves, valleys and roof to wall joints, typical
- 15lb. felt paper
- 5/8" CDX plywood sheathing
- Roof rafters- Simpson H2.5A (or similar) connection to wall plate
- Ceiling joists- as per plan
- Insulation as per #12
- Plastic vent channels at cathedral ceilings and at eaves
- Continuous ridge vent by COR-A-VENT

14 - EAVE ASSEMBLY
- Match existing

15 - RAKE ASSEMBLY
- Match existing

16 - ROOF WATER DRAINAGE
- Copper gutters and leaders to match existing (not shown on plans and elevations)
- Drain into boot and solid PVC pipe separate from footing drains, run to daylight
- All joints to be mitered, screwed, glued and sealed with caulk and primer upon completion of fabrication
- 5 ¼" neck base around bottom
- Flashing with copper
- Provide ventilation at top and bottom

17 - TERRACE PLATFORM
- 1 ½" New York bluestone to match existing set in 1 ½" mortar bed
- 4" concrete slab with 6x6W1.4xW1.4 W.W.F.
- 6" min. compacted crush stone base

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2	Permit submission	07/25/22	☒
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:

Elevations

Date: 07/25/22
Revised as noted above

Project #: 21010

Scale: As noted

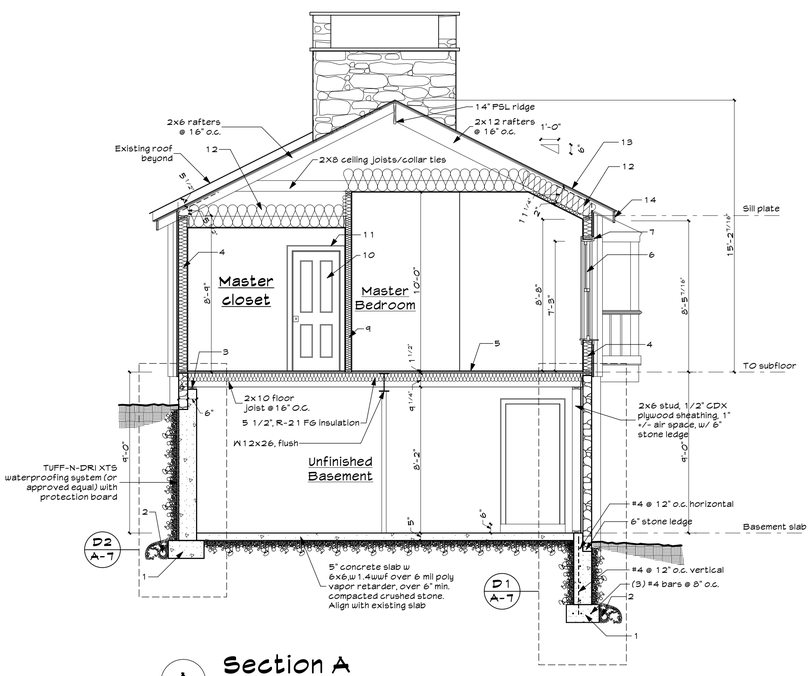
REGISTERED ARCHITECT PATRICK MICHAEL CROKE 17551 STATE OF NEW YORK

Drawing Number:

A-5

E3 Rear elevation (West)

SCALE: 1/8" = 1'-0"



A Section A

SCALE: 1/4" = 1'-0"

GENERAL NOTES AND SPECIFICATIONS FOR STRUCTURAL MEMBERS

SECTION 03010 - CONCRETE

A. Scope of Work
1) Concrete shall be ready mix 3500 psi ultimate strength in 28 days. Slump shall not exceed 4".
2) Reinforcement shall be as indicated. Slabs shall be reinforced with 6" x 6" W1.4 x W1.4 WWF unless otherwise indicated. All reinforcing bars shall conform to ASTM (A625) deformed bars with a minimum yield stress of 40,000 PSI.

B. Execution
1) Place concrete in conformance with American Concrete Institute Standards.

SECTION 04200 - UNIT MASONRY

A. Materials
1) Concrete Masonry Units (CMU) ASTM C90, Grade N, Type 1, normal weight units.
2) Bricks - Standard Modular Brick, color as specified by architect.
3) Masonry Mortar, Exterior: ASTM C 270, portland cement-lime mortar, Type M.
4) Continuous Masonry Wire Reinforcement: Truss or Ladder design, minimum 9 ga. welded steel wire, 0.8 oz. hot-dip zinc coating, width 1-1/2" to 2" less than wall thickness.

B. Execution
1) Comply with recommendations of the National Concrete Masonry Association and A.C.I.531.
2) Install continuous masonry wire reinforcement at every other course in CMU walls. Overlap at corners. Lap 16" at ends.
3) Anchor wall to adjacent construction with panel anchors.
4) Bond intersecting walls with masonry units or provide anchors spaced 0'- 8" O.C.
5) Anchor ends of walls to structure with anchors spaced 8" O.C., except as otherwise shown.
6) Do masonry work only when average daily temperature is above 40 degrees F. or consult Architect for cold weather procedures which shall be provided at no additional cost.

SECTION 05120 - STRUCTURAL STEEL

A. Materials
1) Steel shapes, plates, and bars: ASTM A36.
2) Steel pipe: ASTM A501
3) High strength threaded fasteners: ASTM A325

B. Execution
1) Comply with Specifications for the Design, Fabrication and Erection of Structural Steel for Buildings of the American Institute of Steel Construction (latest edition).

SECTION 06100 - ROUGH CARPENTRY

A. Materials
1) Framing shall be as shown on the drawings and shall conform to all applicable building codes. All members unless otherwise noted (U.O.N.) on structural drawings shall be one of the following:
   a) Douglas Fir (South) No. 2 or Better (Minimum design values in psi: Fb=825, Fv=90, E=1,200,000).
   b) TJI Joists - Plywood web joists as manufactured by Trus Joist Corporation.
   c) LVL as used on the drawings refers to 2.0 E Microllam Laminated Veneer Lumber beams manufactured under the TrusJoist brand by Weyerhauser.
   d) PSL as used on the drawings refers to 2.0 E Microllam Parallel Strand Lumber beams manufactured under the TrusJoist brand by Weyerhauser.
   e) LSL as used on the drawings refers to 1.3 E TimberStrand Laminated Strand Lumber beams manufactured under the TrusJoist brand by Weyerhauser.
   f) Any framing lumber in contact with concrete, exposed to weather or less than 6" above grade shall be pressure treated unless specifically noted otherwise.
   g) Prefabricated Wood Trusses - Gable shaped trusses manufactured from standard dimensional lumber connected by metal plates. Trusses shall be designed, engineered and certified by professional engineer so that when constructed and installed they meet the requirements of all applicable codes.
2) Studs shall be nom. 2" x 6" for exterior wall and nom. 2" x 4" for interior walls unless otherwise noted, and placed not over 16 o.c. and shall be doubled at openings and tripled at corners.
3) Joists and rafters shall be single lengths between bearings and doubled around openings. All joists under parallel partitions and all headers and trimmers shall be doubled.
4) Connectors at all flush framing and where noted shall be galvanized as manufactured by Teco, Simson, or equal. Sizes as required.
5) Provide blocking, bridging, cats, furring, etc., as required by good practice. Cross-bridging shall not be over 8'-0" o.c. in all floor and roof framing of standard dimensional lumber.
6) All members manufactured by Trus Joist Corporation shall be installed in strict accordance with the manufacturer's requirements and suggested details.
7) All floor and flat roof systems utilizing shall be constructed as a "glued and nailed" system with 3/4" T&G plywood sheathing.
8) Any wood or laminated beam supported on steel columns shall be supported using Lally Column Caps (LCC) as manufactured by Simpson. LCC to be welded to column or provide other sufficient permanent attachment to column.

Members on the drawings noted as "LVL" refer to MICRO=LAM brand veneer lumber

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No:	Description:	Date:	
2	Permit submission	07/25/22	☒
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:

Elevations and section

Date: 07/25/22
Revised as noted above

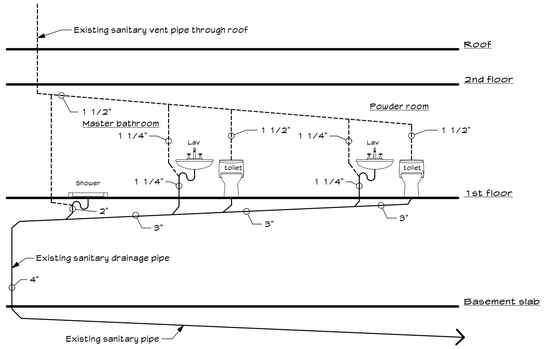
Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:

A-6

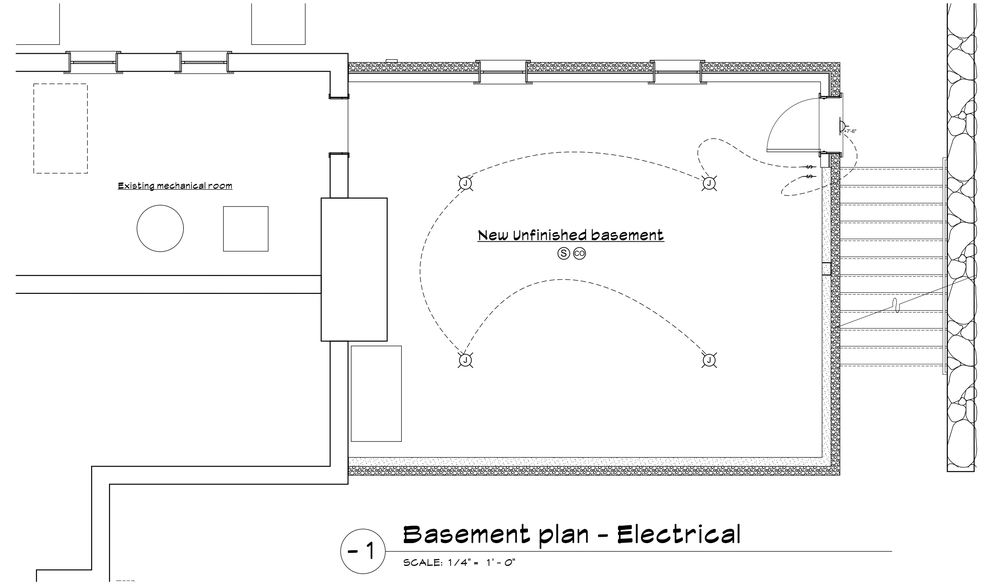


PR Plumbing riser diagram

SCALE: 1/4" = 1' - 0"

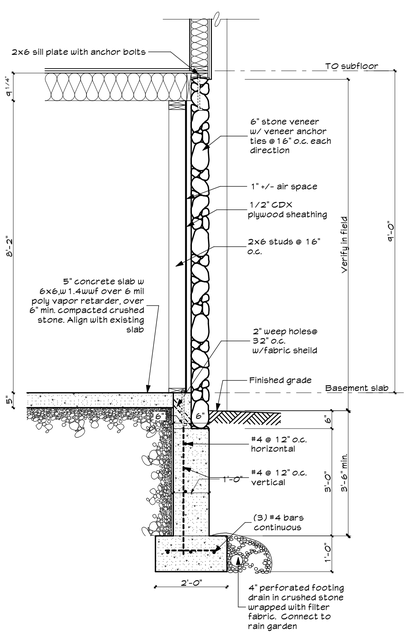
---------- Sanitary vent pipe
——— Sanitary drainage pipe

All existing plumbing fixtures shown as remaining on the plans shall utilize existing waste and vent lines. All lines shall be tested for leaks and fire damage and repaired or replaced as needed.



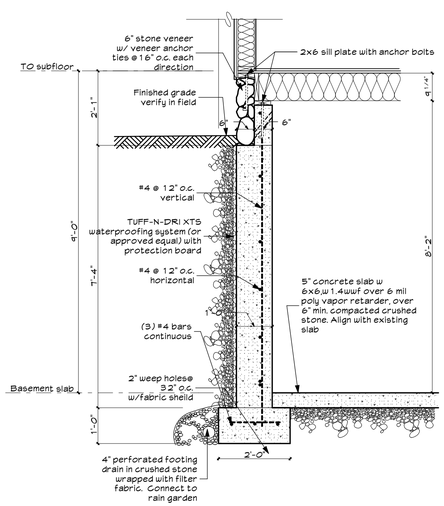
-1 Basement plan - Electrical

SCALE: 1/4" = 1' - 0"



D1 Wall detail

SCALE: 1/2" = 1' - 0"



D2 Wall detail

SCALE: 1/2" = 1' - 0"

Electrical fixture schedule

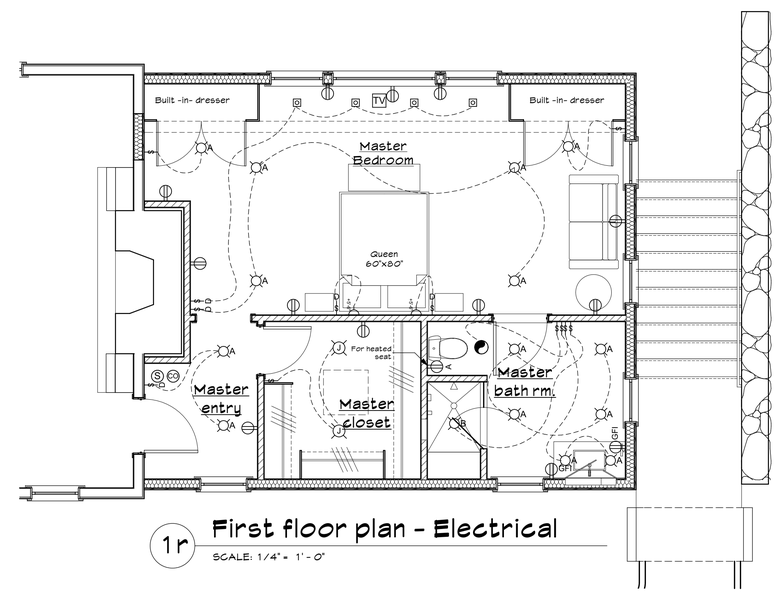
- Dimmer switch - Lutron Skylark (see dimmer note)
- Single pole switch - Levition Decora quiet rocker switch
- Duplex receptical - Style to match existing or as selected by Owner
- GFCI duplex receptical - Style to match existing or as selected by Owner
- Appliance Outlet - Size circuit and connection as required by appliance
- A — Recessed light - 5" aperture, LED recessed fixture. Halo LED, IC and air-tight where needed , confirm light color (likely to be 2700K or 3000K), white trim
- B — Recessed light with Lens - 4" aperture, LED recessed fixture. Lightolier, Halo, NAC or approved equal, confirm light color (likely to be 3000K), white surface mounted trim with lens, shower rated
- Exhaust fan. Nutone Fan (80 CFM)
- 48" — Wall mounted junction box. Fixture will be supplied by owner and installed by electrician. Verify noted height.
- J — Ceiling mounted junction box. Fixture will be supplied by owner and installed by electrician.
- "Hockey puck" style low voltage halogen light, under cabinet installations to be recessed or surface mounted as coordinated with cabinet design, ceiling locations to be recessed installation. Remote transformer. (NAC Lighting HR-88 or equal)
- TV — Cable TV jack - 1 line at each location, home runs.

Electrical plan notes:

1. All fixtures shall be installed to be centered in rooms or aligned with center or edge of adjacent objects as is appropriate.
2. All fixture locations to be verified with Owner prior to start of installation.
3. All recessed fixtures shall be" IC" type where required.
4. Duplex outlets noted as "Switched" are to have one outlet switched and one unswitched. Bottom outlet to be switched at vertiaal installations right outlet if horizontal..
5. Colors for switches, outlets, plates, etc. to be selected from four standard colors - White, Brown, Ivory or Almond.

Dimmer note:

All new recessed, sconce and ceiling mounted fixtures are to be controlled by dimmers.



1r First floor plan - Electrical

SCALE: 1/4" = 1' - 0"

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2	Permit submission	07/25/22	☒
1	Client revisions	07/22/22	☐

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:

Plumbing Riser diagram, electrical plan and wall details

Date: 07/25/22
Revised as noted above

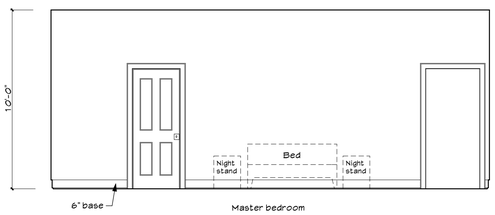
Project #: 21010

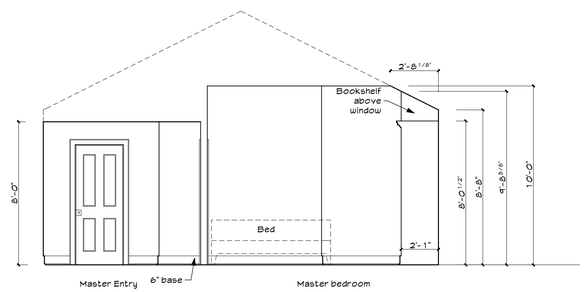
Scale: As noted

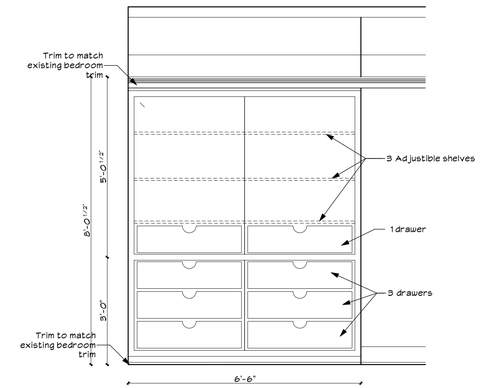
REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:

A-7

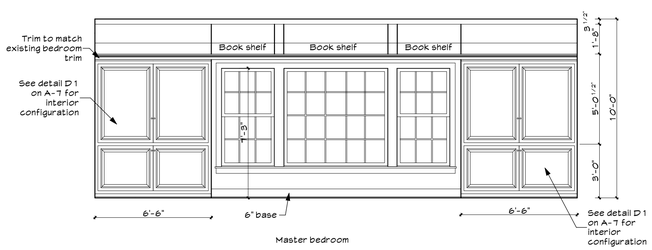


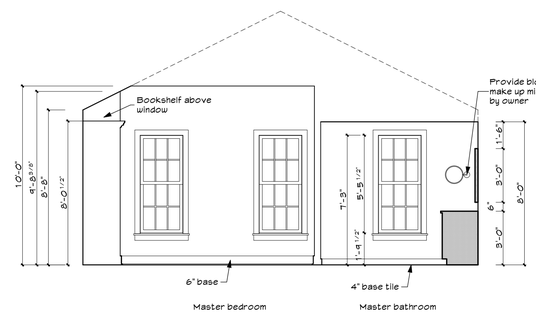




D1 Cabinet Elevation

SCALE: 1/2" = 1' - 0"

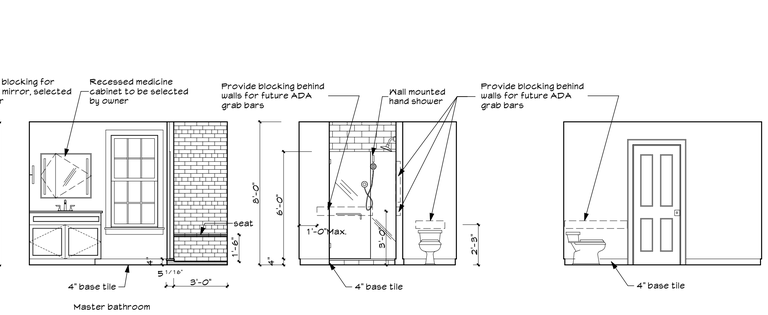




Ie Interior Elevation - Master Bedroom

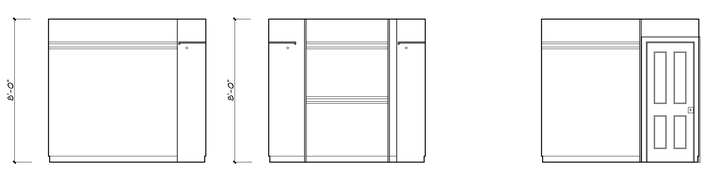
SCALE: 1/4" = 1' - 0"

Note : All trim to match exiting, base, stool casing and crown



Ie Interior Elevation - Bathroom

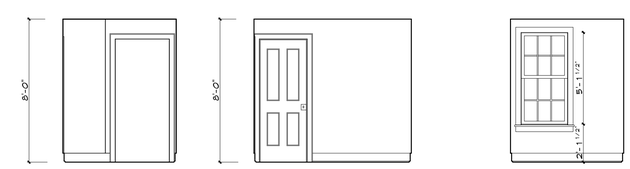
SCALE: 1/4" = 1' - 0"



Closet shelving will be site built

Ie Interior Elevation - Master Closet

SCALE: 1/4" = 1' - 0"



Ie Interior Elevation - Master Entry

SCALE: 1/4" = 1' - 0"

Patrick M. Croke Architect

20 Woodsbridge Road
Katonah, New York 10536

T: 914.234.6093
F: 914.234.0548
info@pmcarchitect.com

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DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. DOCUMENTS ARE NOT BE USED, IN WHOLE OR IN PART, FOR OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT.

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS ARE TO BE WORKED FROM. DISCREPANCIES MUST BE REPORTED IMMIDIATELY TO THE ARCHITECT BEFORE PROCEEDING.

NOTE: DO NOT SCALE DRAWINGS

D:\1-Project Files\21010 - Simpkins Bedroom Addition\2 - Drawings\21010-Simpkins CD-22013 24.pln

This project is designed to conform to the 2020 Residential Code of NYS

No:	Description:	Date:
2	Permit submission	07/25/22
1	Client revisions	07/22/22

Revisions:

Project Name:

Simpkins Residence
Bedroom addition
120 Mill River Road
South Salem, New York

Drawing Title:
Interior elevations

Date: 07/25/22
Revised as noted above

Project #: 21010

Scale: As noted

REGISTERED ARCHITECT PATRICK MICHAEL CROKE 017551 STATE OF NEW YORK

Drawing Number:

A-8

Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information

Name of Action or Project:
Simpkins residence addition

Project Location (describe, and attach a location map):
120 Mill River Road, South Salem, NY 10590

Brief Description of Proposed Action:
Addition to house of 729 SF within the 100-150' wetlands buffer, 3000+/- SF disturbance

Name of Applicant or Sponsor:	Telephone: 914-234-6093
Patrick M. Croke, Architect	E-Mail: patrick@pmcarchitect.com

Address:
20 Woodsbridge Road

City/PO:	State:	Zip Code:
Katonah	NY	10536

	NO	YES
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	☑	☐
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Building permit	☐	☑

3. a. Total acreage of the site of the proposed action? 5.001 acres
   b. Total acreage to be physically disturbed? .07 acres
   c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 5.001 acres

4. Check all land uses that occur on, are adjoining or near the proposed action:

5. ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☑ Residential (suburban)
   ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify):
   ☐ Parkland

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?	☐	☑	☐
b. Consistent with the adopted comprehensive plan?	☐	☐	☑

	NO	YES
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	☐	☑
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: Name:Watershed Properties, Reason:Exceptional or unique character, Agency:Westchester County, Date:1-31-90	☐	☑

	NO	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	☑	☐
b. Are public transportation services available at or near the site of the proposed action?	☑	☐
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☑	☐
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies:	☐	☑
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water:	☐	☑
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment:	☐	☑
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	☑	☐
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☐	☑
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	☐	☑
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☑	☐
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:		

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional

☑ Wetland ☐ Urban ☑ Suburban

	NO	YES
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	✓	
16. Is the project site located in the 100-year flood plan?		✓
17. Will the proposed action create storm water discharge, either from point or non-point sources?	✓	
If Yes,		
a. Will storm water discharges flow to adjacent properties?	✓	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	✓	
If Yes, briefly describe:		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	✓	

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

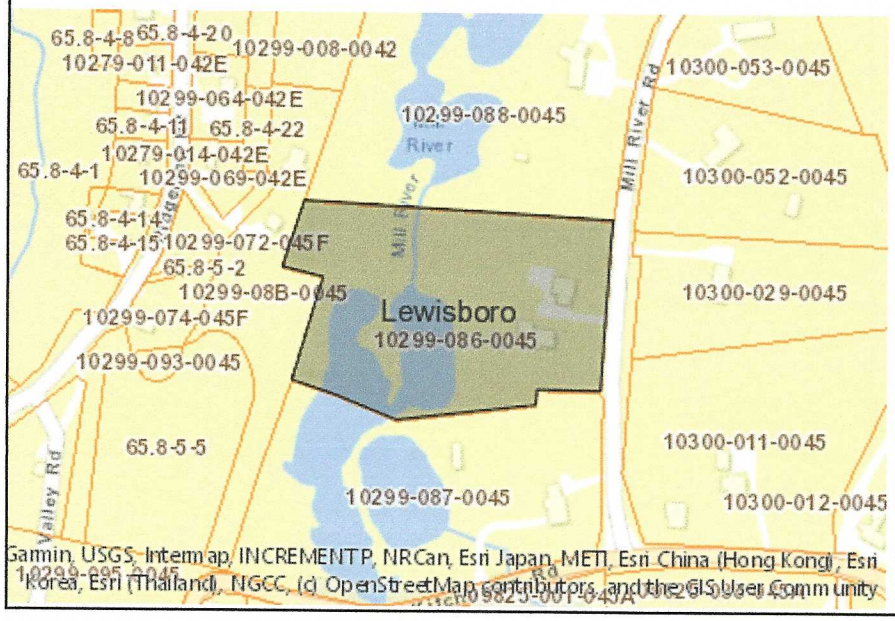
Applicant/sponsor/name: Patrick Croke Date: 12/8/22

Signature: Title: Architect

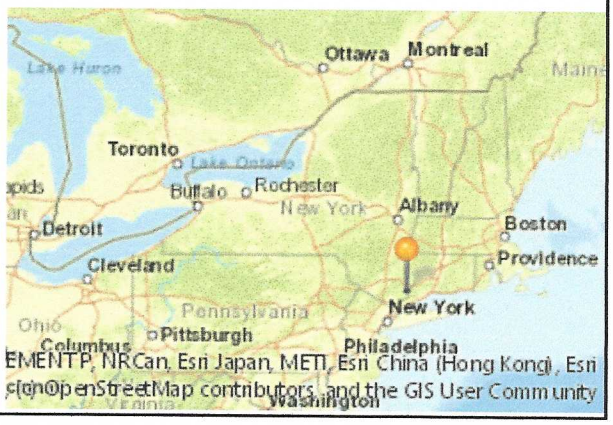
PRINT FORM

EAF Mapper Summary Report

Thursday, December 8, 2022 3:38 PM



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Watershed Properties, Reason:Exceptional or unique character, Agency:Westchester County, Date:1-31-90
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

STEPHEN W. COLEMAN
ENVIRONMENTAL CONSULTING, LLC

Environmental Planning & Site Analysis
Wetland Mitigation & Restoration Plans
Wetland Delineation & Assessment
Natural Resource Management
Pond & Lake Management
Wildlife & Plant Surveys
Breeding Bird Surveys
Landscape Design

December 19, 2022

Mr. Patrick M. Croke, Architect
20 Woodsbridge Road
Katonah, NY 10536
Via email: patrick@pmcarchitect.com

Re: 120 Mill River Road, South Salem, NY, tax map # 66.1-1-3 - Wetlands Delineation Report

Dear Patrick:

This report is submitted in support of an addition to an existing residence located at 120 Mill River Road, South Salem, NY.

Existing Conditions:

The wetland resources located on the subject parcel are part of a NYSDEC jurisdictional wetland # D-5, a Class II wetland. The wetland consists of the Mill River and associated riparian wetlands located on both sides of the Mill River, along with a series of man-made ponds. The wetland complex is in the rear of the subject parcel and extends from the north to the south along most of the rear of the property. The wetlands were previously flagged in 2003 in support of a pond dredging application. The 100 ft. adjacent area consists of a dense planting of native plants along the pond edge and scattered native and ornamental plantings throughout the adjacent area. Most of the adjacent area has been converted to lawn grasses and maintained as lawn. A prominent stone wall extends parallel to the approximate wetland boundary across two-thirds of the rear property and serves as an effective separation of the wetland from residential uses. The existing residence appears to be located outside of the 100 ft. adjacent area. The wetland is also regulated locally by the Town of Lewisboro. The Town of Lewisboro regulates a 150 ft. wetland buffer to the wetland.

The banks on both sides of the inlet channel from a pond on the adjacent parcel to the south have been planted with a combination of native and ornamental shrubs and ground covers. The existing pond on the property consists primarily of earthen banks around the entire perimeter with a well-established riparian edge of native and ornamental plantings. The outlet to the pond includes a concrete containment and spillway, which is part of the Mill River. On the eastern side of the Mill River, the wetland extends close to the existing stone wall that runs parallel to the Mill River. The Mill River enters another pond located on the adjacent parcel to the North.

A review of existing digital map resources (Westchester County GIS resources, and the NYSDEC Environmental Resource Mapper shows wetlands extending along both sides of the Mill River with a series of existing man-made ponds. The National Wetlands Inventory layer shows the existing ponds, the outlet stream (Mill River), and the adjacent off-site wetlands as a forested/shrub wetland.

Wetland Delineation:

A wetland/watercourse investigation of the subject property was completed on October 12, 2022. The purpose of the environmental review included investigation and determination of wetland and watercourse resources that are present on the property. The respective wetland/watercourse features

were flagged in accordance with the criteria outlined within the codes of the NYSDEC and the Town of Lewisboro. The wetlands determination was based upon criteria outlined in the 1987 Federal Manual, which included the following parameters - vegetation, hydric soils, and hydrology to determine the outer wetland boundary limits. Pink surveyors flagging labeled "Wetland Delineation/Wetland Boundary" were hung on the respective boundaries of each wetland/watercourse area.

Wetland Methodology:

Vegetation was sampled along each of the wetland areas. Dominant vegetation was noted at each point, and hydrophytic (wetland) vegetation, was present when 50 % or more of the vegetation, throughout the strata of each plant community, was classified as either facultative, facultative wet, or obligate. Hydrophytic vegetation was also positively identified based on the presence of secondary characteristics including morphological adaptations for occurrence in wetlands.

Soils were then sampled where facultative or facultative wet vegetation was dominant. Soils samples were taken with a dutch auger to a depth of 16 inches of the soil profile where possible. Hydric soil indicators noted include presence of a seasonal high-water table, inundation, presence of hydrogen sulfide odor, soil chroma of 1 (without mottles) or 2 (with mottles) as per the Munsell Soil Color Chart, gleying, iron and manganese concretions, and oxidized rhizospheres. Hydric soils were determined to be present when any one of these indicators was observed.

Each area along the wetland/upland interface was also examined to determine if wetland hydrology was present at some time during the growing season. Indicators of wetland hydrology noted within the wetland areas included soil saturation within the test hole or at the soil surface, inundation, positive drainage patterns, and watermarks on the tree trunks or water-stained leaves on the ground.

When an observation points along the wetland/upland interface contained all three wetland parameters: dominant hydrophytic vegetation, hydric soils, and evidence of hydrology, the point was determined to be wetland. The area surrounding the observation point was then investigated to determine the upland boundary via the same methodology. The delineation was then confirmed by placing sequentially numbered flags at the edge of the wetland/upland boundary. Areas identified as watercourses may not meet all three parameters.

The respective wetland boundary was marked with sequential flags A-01-A-18. Please refer to field sketch that shows the approximate boundaries. The size of the wetland (including neighboring properties) may meet the criteria to be regulated by the USACOE, however, no direct disturbance is planned within the wetland areas. The USACOE does not regulate a buffer area.

Vegetation:

Dominant wetland vegetation is present along the pond edge and within the designated wetlands on both sides of the pond and the Mill River. The vegetative community is dominated by red maple and American elm trees and native shrubs including spicebush, winterberry, summersweet, arrowwood viburnum, and silky dogwood. The ground layer is dominated by lawn grasses with patches of sedges, iris, ferns and ornamental grasses. A moderate amount of invasive plant species (approximately 15%) were observed including multiflora rose, garlic mustard, oriental bittersweet, and Japanese stilt grass.

Hydric Soils:

Due to the prior land use and the construction of a man-made pond, the soils along the watercourse channel and around the edge of the pond show udorthent fill materials and do not show typical hydric soil characteristics. It appears that some of the original dredge spoils from the pond excavation were

stockpiled along the edge of the pond. Soil samples taken revealed a mixed soil profile with the addition of a topsoil layer, and mixed mineral soils. Testing of the soils within these areas revealed typical hydric soil characteristics, including low chroma colors, and mottles within the first 16 inches of the soil profile.

Hydrology:

Primary hydrological characteristics are readily apparent due to the open water pond and flowing watercourse channel. Other typical primary or secondary hydrological features were readily observed including soil saturation within the test holes, positive drift marks and buttressed tree roots.

Wetland Delineation Summary:

Based upon field investigation, the respective wetland boundary is very similar to the wetland boundary established in 2003. The proposed addition appears to be located outside of the 100 ft. adjacent area. As per the Town of Lewisboro, the proposed addition would be located within a portion of the 150 ft. wetland buffer.

This completes the wetlands investigation of the property. Please let me know if you have any questions or require any additional information.

Sincerely,

Stephen W. Coleman
Stephen W. Coleman
Principal

3 ASPEN COURT, OSSINING, NY 10562 • 914-494-5544 • stevecoleman.scec@gmail.com

KELLARD SESSIONS

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM
Town Consulting Professionals

DATE: February 24, 2023

RE: Wetland Permit
Michael & Linda Vitiello
43 Conant Valley Road
Sheet 49, Block 9827, Lot 100

PROJECT DESCRIPTION

The subject property consists of ±4.38 acres of land and is located at 43 Conant Valley Road within the R-2A Zoning District. The applicant is proposing to pave a portion of the existing gravel driveway (±3,300 s.f.).

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. A Wetland Activity Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

COMMENTS

1. The plan shall illustrate more clearly the existing topography (2-foot contours) and any proposed grading, including spot grades, as appropriate, within the vicinity of the improvements.

2. Include a proposed pavement section detail for review.

3. The plan shall illustrate any existing trees with a dbh of 8" or greater within the disturbance limits, as well as 25' beyond the limits of disturbance to the plans. Trees in the vicinity of the work should be protected. If no trees are proposed to be removed, a note to that effect should be added to the plan.

4. The plan shall illustrate and quantify the limits of disturbance (s.f.). The plan shall note that disturbance limits shall be staked in the field prior to construction. The limits of disturbance should include the storm water treatment area and associated piping, as well as any stockpiles.

5. Proposed erosion controls must be shown to be located within the proposed limits of disturbance line.

6. The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact this office to schedule the testing.

7. The applicant shall provide stormwater mitigation and design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour storm event. Provide details of the stormwater mitigation system.

8. Per the NYS Stormwater Management Design Manual, infiltration chambers shall be installed in virgin soils and cannot be installed on slopes with grades steeper than 15% or in fill sections greater than the top quarter of the drywell system. It is unclear on the plans due to the existing contour not being legible. It appears when reviewing the location on the available Westchester County GIS Database, that the system is located on steep slopes.

9. The names of the adjacent property owners shall appear on the plan.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY DTS PROVIDENT, DATED JANUARY 23, 2023:

- Site Plan (C-101)
- Detail Sheet (C-102)

DOCUMENTS REVIEWED:

- Wetland Permit Application

JKJ/dc

https://kellardsessionsconsulti.sharepoint.com/sites/Kellard/Municipal/Lewisboro/Correspondence/2023-02-24_LWPB_Vitiello - 43 Conant Valley Road_Review Memo.docx

TO: The Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: Vitiello residence, 43 Conant Valley Road, Pound Ridge, NY 10576

DATE: February 8, 2023

The Conservation Advisory Council (CAC) has reviewed the materials submitted by the applicant for driveway improvements.

The CAC would like to understand if the new paved driveway is the same footprint as the previous driveway. The CAC would like to have additional details on the stormwater management plan. Finally the CAC would like to know if any of the trees whose roots are close to the new paved areas are going to be removed. The paving could damage the roots.

Application No.: _____
Fee: _____ Date: _____

TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION

79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 875-9148

Project Address: 43 Conant Valley Road, Pound Ridge, NY 10576

Sheet: 49 Block: 9827 Lot(s): 100

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): _____

Owner's Name: Michael & Linda Vitello Phone: _____

Owner's Address: 43 Conant Valley Road Email: linda.vitiello@outlook.com

Applicant's Name (if different): Same as Owner Phone: _____

Applicant's Address: _____ Email: _____

Agent's Name (if applicable): Peter J. Gregory, P.E. Phone: 914-559-6745

Agent's Address: One North Broadway, White Plains, NY 10601 Email: pgregory@dtsprovident.com

TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

□ Administrative ■ Planning Board

Is the project located within the NYCDEP Watershed? □ Yes ■ No

Total area of proposed disturbance: □ < 5,000 s.f. ■ 5,000 s.f. - < 1 acre □ ≥1 acre

Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: _____

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: Linda Vitello Date: 1/24/23

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592
Fax: (914) 875-9148

Affidavit of Ownership

State of : New York

County of: Westchester

Linda Vitello, being duly sworn, deposes and says that he/she

resides at 43 Conant Valley Road, Pound Ridge

in the County of Westchester, State of New York

and that he/she is (check one) ✓ the owner, or ____ the _____
Title

of _____
Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of Lewisboro as:

Block 9827, Lot 100, on Sheet 49.

Linda Vitello
Owner's Signature

Sworn to before me this

24 **day of** JANUARY, 2023

THERESA GIANNONE
NOTARY PUBLIC-STATE OF NEW YORK
No. 01GI4888784
Qualified in Dutchess County
My Commission Expires 04-08-2023

Theresa Giannone
Notary Public – affix stamp

Revised 2-2019

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant
(Please type or print)

Michael & Linda Vitello
Name of Applicant

43 Conant Valley Road - Driveway Improvements
Project Name

Property Description

Tax Block(s): 9827

Tax Lot(s): 100

Tax Sheet(s): 49

Property Assessed to:

Michael & Linda Vitello
Name

43 Conant Valley Road
Address

Pound Ridge NY 10576
City State Zip

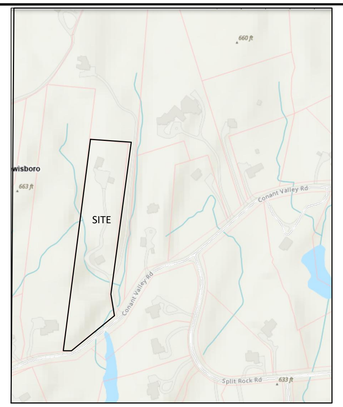
The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Deputy Receiver of Taxes: Ann M Bent 11/3/22
Date

Sworn to before me this 3 **day of** November, 2022

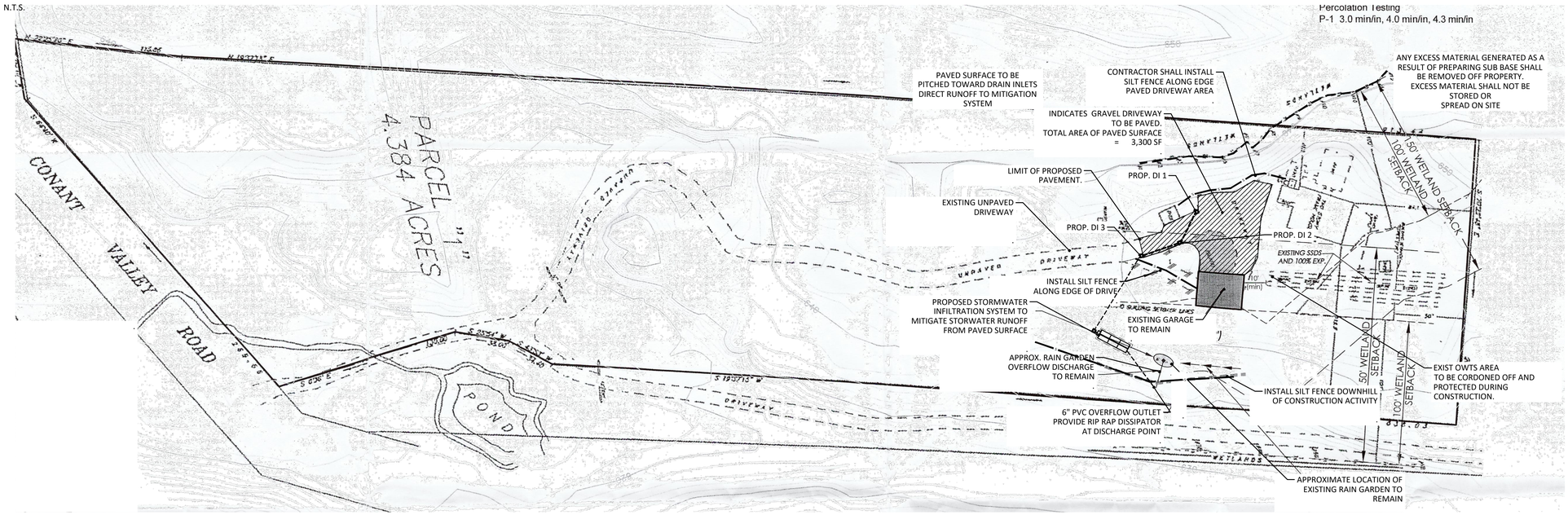
JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2020

Janet L Donohue
Signature - Notary Public (affix stamp)



LOCATION MAP

N.T.S.



PLAN SCALE 1" = 40'

PROJECT NOTES:

1. OWNER / APPLICANT:
   MICHAEL & LINDA VITELLO
   43 CONANT VALLEY ROAD
   POUND RIDGE, NEW YORK 10576
   (T) LEWISBORO

2. TOWN OF LEWISBORO TAX MAP INFORMATION:
   SHEET: 49 BLOCK: 9827, LOT: 100
   TOTAL AREA OF PARCEL = 4.38 ACRES
   R-2A ONE-FAMILY RESIDENCE DISTRICT

3. WATERSHED:
   LONG ISLAND SOUND - MILL RIVER BASIN

CONSTRUCTION NOTES

1. THE TOTAL AREA OF PAVED SURFACE IS APPROXIMATELY 3,300 S.F. OF WHICH ENTIRE AREA IS WITHIN REGULATED WETLAND BUFFER AREA.

2. THE CONSTRUCTION WILL NOT REQUIRE THE REMOVAL OF ANY TREES.

3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND CONFIRMED BY THE TOWN OF LEWISBORO BUILDING INSPECTOR PRIOR TO THE COMMENCEMENT OF ANY WORK.

APPROVED BY RESOLUTION OF THE
LEWISBORO PLANNING BOARD

_____
Janet Andersen, Chair Date

_____
Ciorsdan Conran, Administrator Date

TOWN ENGINEER'S CERTIFICATION
Reviewed for compliance with the Planning Board Resolution dated_____.

_____
Joseph M. Cermele, P.E. Date
Kellard Sessions Consulting
Town Consulting Engineer

OWNER'S CERTIFICATION
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

_____
Owners Date
Owners Address

NO.	REVISION	DATE

Owner
Michael & Linda Vitello
43 Conant Valley Road
Pound Ridge, NY 10576

DTS · PROVIDENT
Intelligent Land Use
DTS Provident Design Engineering, LLP
One North Broadway White Plains, NY 10601
P: 914.428.0010
F: 914.428.0017

Under New York State Education Law Article 145 (Engineering), Section 7209 (2), It Is A Violation Of This Law For Any Person, Unless Acting Under The Direction Of A Licensed Professional Engineer, To Alter This Document

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Certificate Of Authorization #0017846

VITELLO RESIDENCE
43 Conant Valley ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
SITE PLAN

Seal
STATE OF NEW YORK · PETER J. GREGORY · No. 071236 · LICENSED PROFESSIONAL ENGINEER

Scale:	1" = 20'
Date:	1/23/2023
Drawn By:	
Checked By:	PJG
Project No.:	
Sheet No.:	1 of 2
Dwg. No.:	C-101

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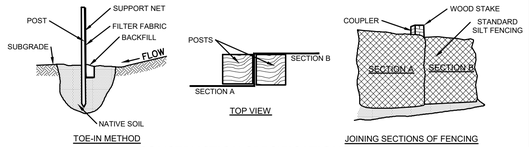
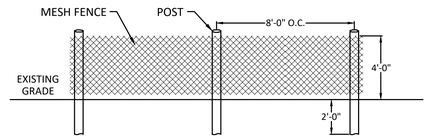


CONSTRUCTION SPECIFICATIONS

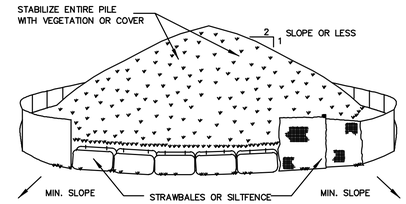
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE
NOT TO SCALE
1



INSTALLATION NOTES:
1) MESH TO BE PLACED ON "OUTSIDE" FACE OF POST TO RENDER NON-CLIMABLE
2) MESH COLOR TO BE BLAZE ORANGE

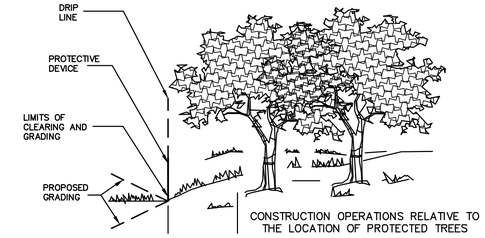
TYPICAL ORANGE MESH CONSTRUCTION FENCE
NOT TO SCALE
2



INSTALLATION NOTES

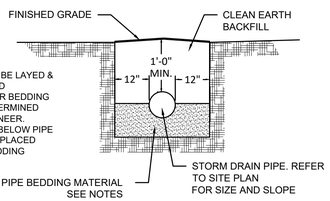
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILTFENCE.

SOIL STOCKPILING
NOT TO SCALE
3



TREE PROTECTION
NOT TO SCALE
4

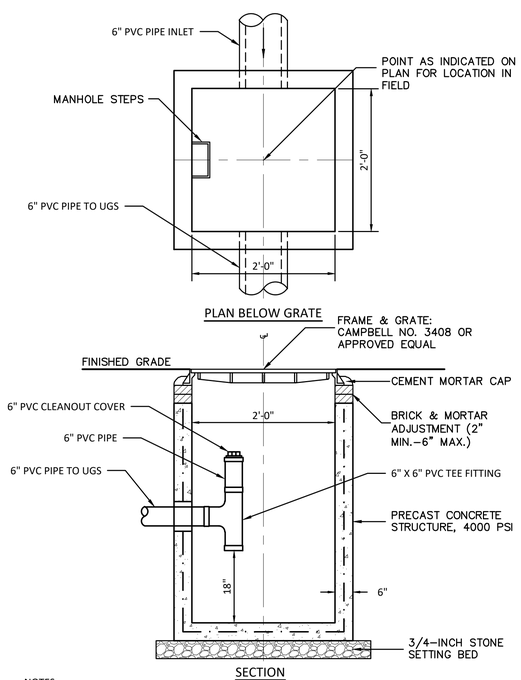
NO.	REVISION	DATE



NOTES

1. PIPE BEDDING MATERIAL TO BE LAYED & COMPACTED IN DRY GROUND
2. NATIVE SOIL TO BE USED FOR BEDDING MATERIAL UNLESS IT IS DETERMINED UNSUITABLE BY TOWN ENGINEER.
3. ALL UNSUITABLE MATERIAL BELOW PIPE SHALL BE REMOVED AND REPLACED WITH 6" OF CLEAN SAND BEDDING

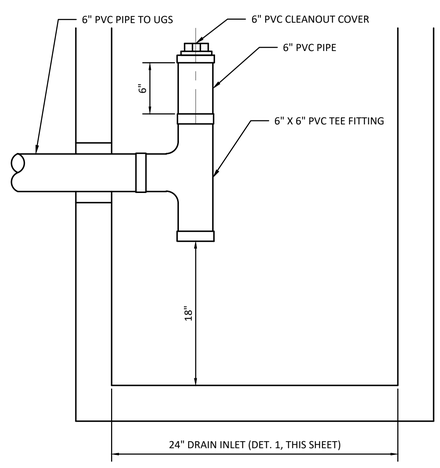
STORM DRAIN TRENCH DETAIL
NOT TO SCALE
5



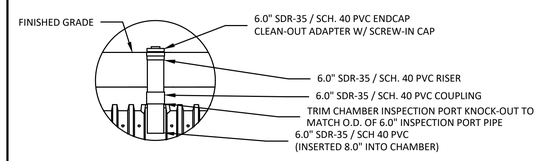
NOTES:

1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF EACH INLET FOR THE ENGINEERS APPROVAL PRIOR TO FABRICATION.
2. PRECAST INLETS SHALL BE CERTIFIED AS CONFORMING TO ASTM C913, LATEST REVISION.
3. PRECAST INLETS SHALL BE DESIGNED FOR HS-20 LOADING.
4. MANHOLE STEPS ARE NOT REQUIRED FOR INLET DEPTHS LESS THAN 4 FEET.
5. "KNOCKOUT" TYPE INLET STRUCTURES SHALL NOT BE PERMITTED.

DRAIN INLET
NOT TO SCALE
6

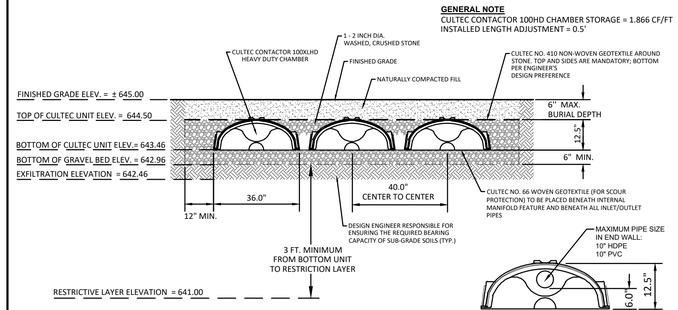


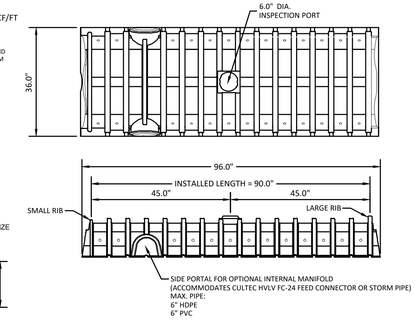
OUTLET TEE - SUMP
NOT TO SCALE
7



INSPECTION PORT - ZOOM DETAIL
NOT TO SCALE
8

GENERAL NOTE
CULTEC CONTACTOR 100HD CHAMBER STORAGE = 1.866 CF/FT
INSTALLED LENGTH ADJUSTMENT = 0.5'





CULTEC RECHARGER 100XLHD HEAVY DUTY
NOT TO SCALE
9

Owner
Michael & Linda Vitello
43 Conant Valley Road
Pound Ridge, NY 10576

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Intelligent Land Use

DTS Provident Design Engineering, LLP
One North Broadway White Plains, NY 10601
P: 914.428.0010
F: 914.428.0017

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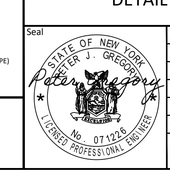
Certificate Of Authorization #0017846

VITELLO RESIDENCE
43 Conant Valley ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:

DETAIL SHEET

Seal



Scale:	AS NOTED
Date:	1/23/2023
Drawn By:	
Checked By:	PJG
Project No.:	
Sheet No.:	2 of 2
Dwg. No.:	C-102

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KELLARD SESSIONS

John Kellard, P.E.
David Sessions, RLA, AICP
Joseph M. Cermele, P.E., CFM
Jan K. Johannessen, AICP

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM
Town Consulting Professionals

DATE: February 24, 2023

RE: Wetland Permit & Stormwater Permit
George & Eileen Ritacco
37 Gideon Reynolds Road
Sheet 16, Block 10533, Lot 423

PROJECT DESCRIPTION

The subject property consists of ±1.13 acres of land and is located at 37 Gideon Reynolds Road within the R-1A Zoning District. The applicant is proposing an in-ground pool and associated equipment.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. A Wetland Activity Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

2. The applicant has obtained an Article 24 Freshwater Wetland Permit from the New York State Department of Environmental Conservation (NYSDEC).

COMMENTS

1. We defer review of the plan for zoning compliance to the Building Inspector; the Planning Board should refer the application to the Building Inspector for review.

2. The zoning setbacks appearing in the zoning table and setback lines appearing on the plan are not correct.

3. The wetland boundary line as it appears on the site plan, requires clarification. Wetland Flags A-9 through A-19 appear on the plan, but have no boundary line.

4. The applicant shall submit a Wetland Report, which shall contain the information required under Sections 217-5 and 6 of the Town's Wetland Ordinance.

5. The proposed retaining wall appears to be set on or very close to the wetland boundary. It will be difficult to construct this wall without disturbing the wetland. It is recommended that the pool be reduced in size and perhaps slid to the south to reduce impacts and allow room for construction.

6. The applicant shall develop a Wetland Mitigation Plan which provides, at a minimum, mitigation at a ratio of 1:1 (for every s.f. of wetland or wetland buffer disturbance proposed, an equal or greater amount of mitigation shall be provided). Reference is made to the Town's mitigation guidelines provided in Chapter 217, Appendix B.

7. Provide 2-foot contour lines throughout the entire property; topography is only shown to the rear of the house. How does the existing driveway drain?

8. The plan shall illustrate the location of the existing water service.

9. We suggest moving the proposed sewer service at least five (5) feet from the edge of the pool. This will allow for future repairs, if required without compromising the pool.

10. Please include size, type, inverts, and slopes of the proposed sewer service to be re-located.

11. There appears to be two (2) 104' existing contours shown on the plans. Please revise the label accordingly.

12. The plan shall note that the construction of all walls greater than or equal to four (4) feet in height shall be certified by the Design Professional prior to issuance of a Certificate of Occupancy/Completion.

13. All walls greater than or equal to four (4) feet in height shall be designed by a NYS Licensed Professional Engineer. Provide construction details and specifications on the plan.

14. If no trees are proposed to be removed, a note to this effect shall be added to the plan.

15. It appears the disturbance line provides no room to install the temporary silt fence and the proposed boulder retaining wall. Please clarify how these listed items are to be constructed without encroaching beyond the limit of disturbance, as well as into the wetland.

16. Please include a silt fence detail to the plan in conformance with the most recent version of the New York State Standards and Specifications for Erosion and Sediment Control.

17. It shall be noted on the plans that the owner is responsible for providing temporary pool barriers, as required by NYS Building Code, to be in place for the duration of the pool construction.

18. Provide a temporary construction access to the site plan, along with a detail in conformance with the most recent version of the New York State Standards and Specifications for Erosion and Sediment Control. The construction access should be included within the disturbance limit line; the area of disturbance calculation shall be updated.

19. The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact this office to schedule the testing.

20. The applicant shall provide stormwater mitigation and design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour storm event or the full pool 6" drawdown, whichever is greater. Provide details of the stormwater mitigation system.

21. Provide rim and invert elevations along with the size and materials of all drainage facilities. Provide details.

22. The plan shall note the means to accomplish seasonal pool drawdown and the connection to the infiltration practice.

23. The proposed stormwater practice shall include an emergency overflow to a stabilized outfall. Provide details.

24. The proposed pool equipment should be properly landscaped to screen the view from Gideon Reynolds Road or moved to the rear of the dwelling. Please include landscaping on the landscape plan.

25. The pdf plans shall be signed/sealed by the Design Professional.

26. The names of the adjacent property owners shall appear on the plan.

27. It is recommended that the Planning Board conduct a site visit.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY DTS PROVIDENT, DATED JANUARY 23, 2023:

- Site Plan (C-101)
- Construction Plan and Detail Sheet (C-102)

DOCUMENTS REVIEWED:

- Letter, prepared by Peter Gregory, P.E., dated January 23, 2023
- Wetland Permit Application
- Stormwater Permit Application
- NYSDEC Freshwater Wetlands Permit, dated July 20, 2022

JKJ/dc

TO: The Town of Lewisboro Planning Board

FROM: Lewisboro Conservation Advisory Council

SUBJECT: Ritacco Pool, 37 Gideon Reynolds Road, Cross River, NY 10518

DATE: February 8, 2023

The Conservation Advisory Council (CAC) has reviewed the materials submitted by the applicant for the construction of a pool and stone wall.

The CAC would like to see the plans updated with 100ft and 150 wetland buffers. The CAC would also like the complete mitigation plan including a listing of plantings and a calculation to show comliance with the one-to-one requirement. The CAC would also like to understand how the disturbance figure of 3,385 Sq Ft was calculated and whether it included the disturbance of the construction of the stone wall and any temporary disturbance associated with constructing the pool.

DTS • PROVIDENT
Intelligent Land Use

DTS Provident Design Engineering, LLP
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White Plains, NY 10601
P: 914.428.0010
F: 914.428.0017
www.dtsprovident.com

Andrew V. Tung, ASLA, Esq., LEED AP
Gerhard M. Schwalbe, P.E.
Charles 'Carlito' Holt, P.E., PTOE
Brian Dempsey, P.E., PTOE, RSP1

January 23, 2023

Hon. Janet Andersen
Chairman of the Town of Lewisboro Planning Board
and Members of the Board
79 Bouton Road
South Salem, New York 10590

Regarding: Ritacco Residence Swimming Pool
37 Gideon Reynolds Road, Cross River
Wetland Permit Application

Dear Chairman Andersen and Members of the Board:

Our firm represents George and Eileen Ritacco, owners of the property at 37 Gideon Reynolds Road in the Town of Lewisboro. The Ritaccos are proposing to construct a swimming pool, in the rear yard of their home. All of the improvements and disturbance associated with the construction are located within a 100-foot State and locally regulated wetland buffer. It has been determined that the application will require a Wetland Permit review from the Planning Board. A permit from New York State DEC authorizing disturbance to the adjacent area of NYS Regulated Freshwater Wetland L-17 to construct the pool was issued July 20, 2022, copy attached

Siting the pool in the desired location, the existing sanitary waste line will need to be relocated in the rear yard to avoid the pool.

The project will result in the creation of approximately 800 square feet of new impervious surface, all of which will be within the regulated buffer area. A stormwater mitigation system is proposed to serve the dual purpose of mitigating stormwater runoff generated from the new impervious surface and to provide a system to accept pool water drawdown.

Construction of the proposed pool, equipment and mitigation area will create 3,385 square feet of overall disturbance on the property. The total amount of disturbance occurring with the regulated buffer area is 3,385 square feet. No trees will be removed as a result of the proposed activity.

Wetland buffer mitigation is proposed to offset the impact created by the disturbance associated with the project. The strategy for the buffer mitigation is to remove maintained lawn along existing wetland and supplement existing landscape with enhanced plantings of additional native flowers, ferns, and grasses.

In addition to the landscape mitigation, a landscape boulder wall will be placed adjacent to the proposed pool to limit yard area and disturbance within the wetlands itself. All disturbed areas will be restored by placement of topsoil and restoring vegetation.

In support of this application, we are submitting the following material:

- 4 Copies of Signed Environmental Questionnaire
- 4 Copies of Wetland Permit Application
- 4 Copies of Affidavit of Ownership
- 4 Copies of Tax Payment Affadavit
- Plan set including; Site Plan, Construction Plan and Details
- Application fee of $255.0
- Escrow fee of $2000.0

The owners respectfully request to be placed on the Planning Board February agenda to be considered for review of a Wetland Permit application. If you have any questions or require additional information, please do not hesitate to contact me at (914) 559-6745 or via email me at pgregory@dtsprovident.com. We look forward to meeting with you and discussing the project next month.

Very truly yours,

DTS Provident Design Engineering, LLP

Peter J. Gregory, P.E.
Senior Associate

Fee: $50.00 Date: 01/02/2023

TOWN OF LEWISBORO
ENVIRONMENTAL QUESTIONNAIRE

The purpose of this Questionnaire is to determine whether a Town Wetland Permit, a Town Stormwater Permit and/or coverage under the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity is required. This form does not provide authorization to commence work.

Project Address: 37 GIDEON REYNOLDS RD

S/B/L: 10533-423-0016

Project Description: INSTALL 18x36 inground pool, 3-7' deep, with spa, propane gas heater, no diving board AS PER THE 2020 RESIDENTIAL CODE OF NYS

This questionnaire must be accompanied with a Site Plan or, at a minimum, a Plot Plan which clearly illustrates the location and dimensions of the proposed activity. Said plans must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). Failure to submit these items will delay review.

Owner's Name: GEORGE & EILEEN RITACCO Phone:

Owner's Address: 37 GIDEON REYNOLDS RD CROSS RIVER, NY Email:

Agent's Name (if applicable): Carol De Leonardis Phone: (609)923-8628

Agent's Address: 30 Chapin Road, Unit 1206, Pine Brook NJ Email: Cdeleogriffith@gmail.com

I hereby grant permission to the Town's professional consultants to enter onto my property to conduct a site inspection.
Owner (Signature): GEORGE & EILEEN RITACCO Date: 08/24/2022

FOR TOWN USE – PLEASE DO NOT WRITE BELOW THIS LINE

1. The use of the property is?

2. Is a Town Wetland Permit required? **Yes**
   If Yes, what type of Wetland Permit is required? **Planning Board**

3. Is the project located within the NYCDEP Watershed? **Yes**

4. Area of proposed disturbance: **TBD**

5. Is a Town Stormwater Permit required? **TBD**
   If Yes, the approval authority will be?

6. Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity?

Application Fee (if required): **Wetland Permit** $: $255 plus $2,000 escrow
Stormwater Permit $: TBD

Notes: **Requires Planning Board approval; applicant to set up a pre-application meeting with the Town Planner**

Signature: Jan K. Johannessen
Wetland Inspector/Consultant

Date: 01/02/2023

Application No.: _____
Fee: _____ Date: _____

TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION

79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 875-9148

Project Address: 37 Gideon Reynolds Road, Cross River, NY 10518

Sheet: 16 Block: 10533 Lot(s): 423

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): Construction of 18'x36' inground pool. (Dist = 3,385 sf)

Owner's Name: Eileen Ritacco Phone: 914 364-8021

Owner's Address: 37 Gideon Reynolds Road Email: eileenr1955@yahoo.com

Applicant's Name (if different): Same as Owner Phone: _____

Applicant's Address: _____ Email: _____

Agent's Name (if applicable): Peter J. Gregory, P.E. Phone: 914-559-6745

Agent's Address: One North Broadway, White Plains, NY 10601 Email: pgregory@dtsprovident.com

TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

□ Administrative ■ Planning Board

Is the project located within the NYCDEP Watershed? ■ Yes □ No

Total area of proposed disturbance: □ < 5,000 s.f. ■ 5,000 s.f. - < 1 acre □ ≥1 acre

Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: _____
Town of Lewisboro Building Permit, Planning Board Wetland Permit, NYSDEC Wetland and Stormwater Permit

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials cutlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: Eileen Ritacco Date: 1-10-2023

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592
Fax: (914) 875-9148

Affidavit of Ownership

State of : New York

County of: Westchester

Eileen Ritacco, being duly sworn, deposes and says that he/she

resides at 37 Gideon Reynolds Road, Cross River

in the County of Westchester, State of New York

and that he/she is (check one) ✓ the owner, or ____ the _____
Title

of _____
Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of Lewisboro as:

Block 10533, Lot 423, on Sheet 16.

Eileen Ritacco
Owner's Signature

Sworn to before me this

20th **day of** December, 2022

ANGJELO HARAPI
Notary Public - State of New York
NO. 01HA6376519
Qualified in Westchester County
My Commission Expires Jun 11, 2026

Notary Public – affix stamp

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant
(Please type or print)

Eileen Ritacco
Name of Applicant

37 Gideon Reynolds Road - Construction of Swimming Pool
Project Name

Property Description

Tax Block(s): 10533

Tax Lot(s): 423

Tax Sheet(s): 16

Property Assessed to:

George & Eileen Ritacco
Name

37 Gideon Reynolds Road
Address

Cross River NY 10518
City State Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes: [signature] 12. 20. 2022
Date

Sworn to before me this

20th **day of** December, 2022

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2020

[signature]
Signature - Notary Public (affix stamp)

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3
21 South Putt Corners Road, New Paltz, NY 12561-1620
P: (845) 256-3054 | F: (845) 255-4659
www.dec.ny.gov

NEW YORK STATE OF OPPORTUNITY | Department of Environmental Conservation

IMPORTANT NOTICE TO ALL PERMITTEES

The permit you requested is enclosed. Please read it carefully and note the conditions that are included in it. The permit is valid for only that activity expressly authorized therein; work beyond the scope of the permit may be considered a violation of law and be subject to appropriate enforcement action. Granting of this permit does not relieve the permittee of the responsibility of obtaining any other permission, consent or approval from any other federal, state, or local government which may be required.

Please note the expiration date of the permit. Applications for permit renewal should be made well in advance of the expiration date (minimum of 30 days) and submitted to the Regional Permit Administrator at the above address. For SPDES, Solid Waste and Hazardous Waste Permits, renewals must be made at least 180 days prior to the expiration date.

The DEC permit number & program ID number noted on page 1 under "Permit Authorization" of the permit are important and should be retained for your records. These numbers should be referenced on all correspondence related to the permit, and on any future applications for permits associated with this facility/project area.

If a permit notice sign is enclosed, you must post it at the work site with appropriate weather protection, as well as a copy of the permit per General Condition 1.

If you have any questions on the extent of work authorized or your obligations under the permit, please contact the staff person indicated below or the Division of Environmental Permits at the above address.

Frank Benedetto

Frank Benedetto

Division of Environmental Permits, Region 3
Telephone (845) 256-0208
Frank.benedetto@dec.ny.gov

PERMIT

Under the Environmental Conservation Law (ECL)

Permittee and Facility Information

Permit Issued To:
GEORGE RITACCO
37 GIDEON REYNOLDS RD
CROSS RIVER, NY 10518
(914) 763-2239

EILEEN RITACCO
37 GIDEON REYNOLDS RD
CROSS RIVER, NY 10518
(914) 763-2239

Facility:
RITACCO PROPERTY
37 GIDEON REYNOLDS RD
CROSS RIVER, NY 10518

Facility Application Contact:
PAUL J JAEHNIG
PO BOX 1071
RIDGEFIELD, CT 06877
(203) 241-3515

Facility Location: in LEWISBORO in WESTCHESTER COUNTY
Facility Principal Reference Point: NYTM-E: 615.4109853538721 NYTM-N: 4569.89667041207
Latitude: 41°16'20.1" Longitude: 73°37'19.4"
Authorized Activity: This permit authorizes disturbance to the adjacent area of NYS Regulated Freshwater Wetland L-17, a Class 1 wetland, in association with the construction of a 18' x 36' in ground swimming pool.

Permit Authorizations

Freshwater Wetlands - Under Article 24
Permit ID 3-5530-00246/00001
New Permit Effective Date: 7/20/2022 Expiration Date: 12/31/2027

NYSDEC Approval

By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.

Permit Administrator: CHRISTOPHER LANG, Deputy Regional Permit Administrator
Address: NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY 12561

Authorized Signature: Chris Lang Digitally signed by Chris Lang Date: 2022.07.20 15:16:47 -04'00' Date 07 / 20 / 2022

Distribution List

PAUL J JAEHNIG
Sarah Pawliczak; NYSDEC
Town of Lewisboro
Maria Tupper-Goebel; NYCDEP

Permit Components

NATURAL RESOURCE PERMIT CONDITIONS

GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Permit Attachments

Permit Sign

NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following Permits: FRESHWATER WETLANDS

1. **Conformance With Plans** All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by the applicant and consists of "Proposed Pool Site Plan Ritacco Residence" and was received by DEC on February 9, 2022..

2. **Notice of Intent to Commence Work** The permittee or their representative must notify Sarah Pawliczak of the DEC Bureau of Ecosystem Health via email (sarah.pawliczak@dec.ny.gov) no less than 48 hours prior to the commencement of work.

3. **Prior Approval of Changes** If the permittee desires to make any minor changes to the scope of work shown in the approved plans referenced in Natural Resource Permit Condition 1, the permittee shall submit a request via email to Sarah Pawliczak of the DEC Burea of Ecosystem Health (sarah.pawliczak@dec.ny.gov) to make such proposed changes. The proposed changes shall not be implemented unless authorized in writing by the Department. Issuance of such approval without modification of the permit is at the Department's discretion.

4. **Install Controls as Shown on Plans** Prior to commencement of the activities authorized herein, the permittee shall install securely anchored silt fencing and/or continuous staked straw bales as shown on the plans or drawings referenced in this permit.

5. **Maintain Erosion Controls** These erosion control devices shall be maintained until all disturbed land is fully vegetated to prevent any silt or sediment from entering the freshwater wetland or its adjacent area. Silt fencing, hay bales and any accumulated silt or sediment shall be completely removed for disposal at an appropriate upland site.

6. **Bog Turtle Take-Avoidance Measures** For site work that occurs during the warm season between April 1st and September 30th; bog turtle barrier fencing, education and encounter plan, and trap hazard protection measures shall be employed as shown on the approved plans.

7. **No Wetland Disturbance** No disturbance to the wetland is authorized.

8. **Clean Fill Only** All fill shall consist of clean soil, sand and/or gravel that is free of the following substances: asphalt, slag, flyash, broken concrete, demolition debris, garbage, household refuse, tires, woody materials including tree or landscape debris, and metal objects. The introduction of materials toxic to aquatic life is expressly prohibited.

9. **Seed, Mulch Disturbed Areas** All areas of soil disturbance resulting from this project shall be seeded with an appropriate perennial grass, and mulched with straw immediately upon completion of the project, within two days of final grading, or by the expiration of the permit, whichever is first.

10. **Invasive Species (Non-native Vegetation)** To prevent the unintentional introduction or spread of invasive species, the permittee must ensure that all construction equipment be cleaned of mud, seeds, vegetation and other debris before entering any approved construction areas within the state regulated freshwater wetland or its 100 foot adjacent area.

11. **No Pool Discharges to Wetland** There shall be no draining of swimming pool water directly or indirectly into wetlands or protected buffer areas.

12. **Disposal of Material** Any demolition debris, excess construction materials, and/or excess excavated materials shall be immediately and completely disposed of on an approved upland site more than 100 feet from any regulated waterbody or wetland. These materials shall be suitably stabilized so as not to re-enter any water body, wetland, or wetland adjacent area; and must be disposed of in accordance with all local, state, and federal statutes, regulations, or ordinances.

13. **State Not Liable for Damage** The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

14. **State May Order Removal or Alteration of Work** If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.

15. **State May Require Site Restoration** If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.

16. **Precautions Against Contamination of Waters** All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.

GENERAL CONDITIONS - Apply to ALL Authorized Permits:

1. **Facility Inspection by The Department** The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

2. Relationship of this Permit to Other Department Orders and Determinations Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

3. Applications For Permit Renewals, Modifications or Transfers The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator
NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY12561

4. Submission of Renewal Application The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Freshwater Wetlands.

5. Permit Modifications, Suspensions and Revocations by the Department The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

a. materially false or inaccurate statements in the permit application or supporting papers;

b. failure by the permittee to comply with any terms or conditions of the permit;

c. exceeding the scope of the project as described in the permit application;

d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;

e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

6. Permit Transfer Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification
The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

Item B: Permittee's Contractors to Comply with Permit
The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.

Item C: Permittee Responsible for Obtaining Other Required Permits
The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

Item D: No Right to Trespass or Interfere with Riparian Rights
This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.

New York State

Department of Environmental Conservation

NOTICE

The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Department condition on it, contact the DEC at 845-256-3054 or dep.r3@dec.ny.gov. Please refer to the permit number shown when contacting the DEC.

Permittee: George Ritacco

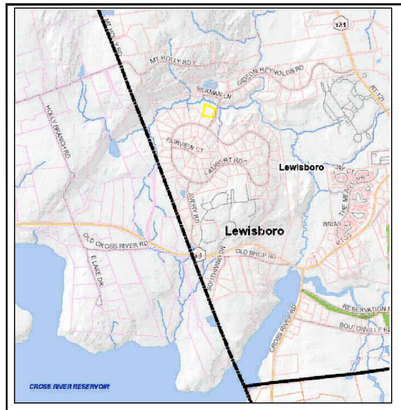
Permit No. 3-5530-00246/00001

Effective Date: July 20, 2022

Expiration Date: December 31, 2027

☐ Applicable if checked. No instream work allowed between October 1 & April 30

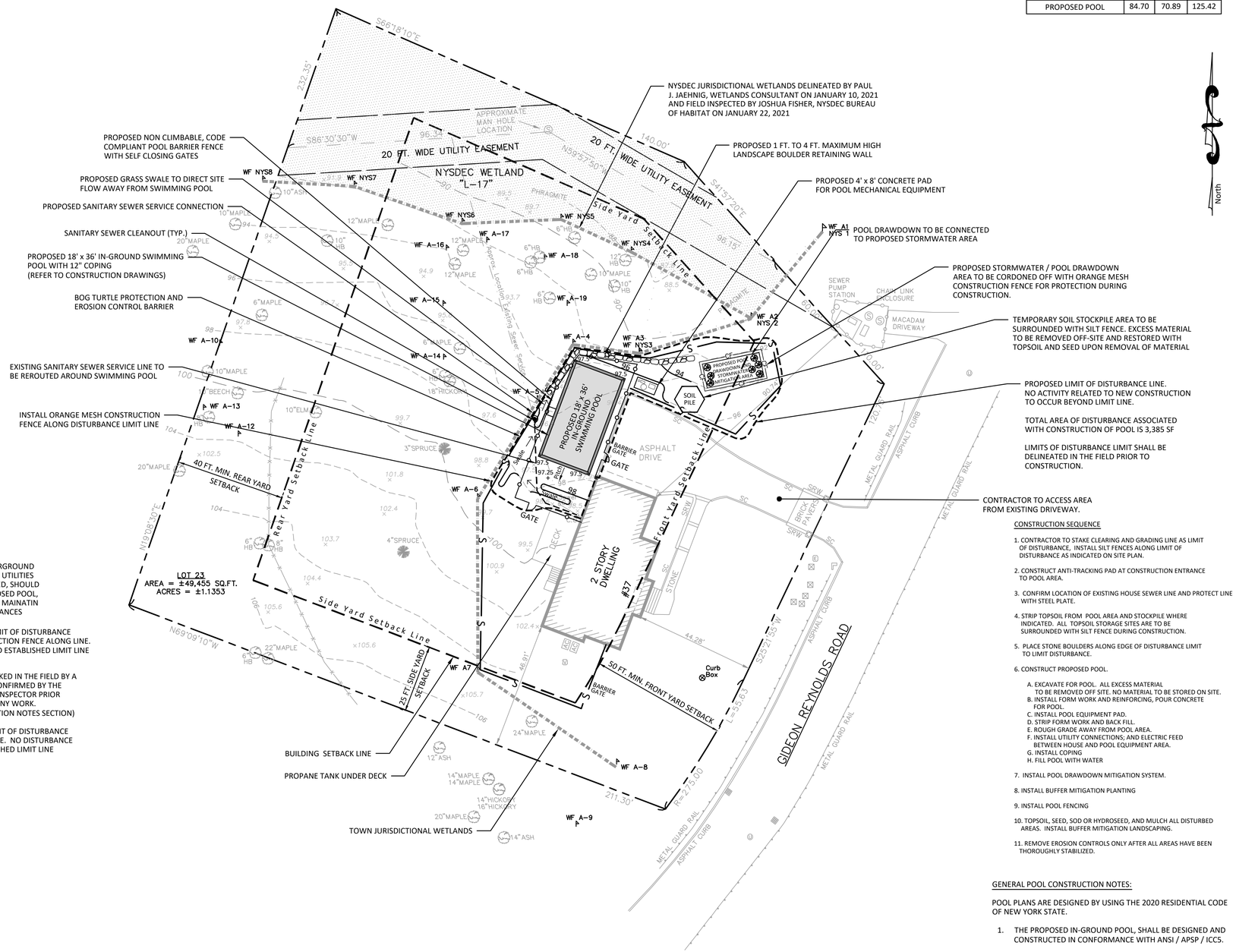
NOTE: This notice is **NOT** a permit.



LOCATION MAP

N.T.S.

TOWN OF LEWISBORO				
SCHEDULE OF DIMENSIONAL AND BULK REGULATIONS FOR RESIDENTIAL DISTRICT				
ZONING DISTRICT	MIN. LOT SIZE	MINIMUM YARDS		
	LOT AREA (ACRES)	FRONT (FEET)	SIDE (FEET)	REAR (FEET)
R-1A	1 AC	50	25	40
EXISTING	1.135 AC	44.28	46.91	134.64
PROPOSED POOL		84.70	70.89	125.42



NOTE

CONTRACTOR TO VERIFY UNDERGROUND UTILITIES AND IF ENCOUNTERED UTILITIES SHALL BE PROTECTED AS REQUIRED, SHOULD SYSTEM BE WITHIN 10' OF PROPOSED POOL, SYSTEM SHALL BE RELOCATED TO MAINATIN REQUIRED SEPARATION DISTANCES

CONTRACTOR SHALL DELINEATE LIMIT OF DISTURBANCE BY INSTALLING ORANGE MESH CONSTRUCTION FENCE ALONG LINE. NO DISTURBANCE SHALL OCCUR BEYOND ESTABLISHED LIMIT LINE

LIMITS OF DISTURBANCE SHALL BE STAKED IN THE FIELD BY A LICENSED LAND SURVEYOR AND CONFIRMED BY THE TOWN OF LEWISBORO BUILDNG INSPECTOR PRIOR TO COMMENCEMENT OF ANY WORK. (REFER TO NOTE 3 UNDER CONSTRUCTION NOTES SECTION)

CONTRACTOR SHALL DELINEATE LIMIT OF DISTURBANCE BY INSTALLING SILT FENCE ALONG LINE. NO DISTURBANCE SHALL OCCUR BEYOND ESTABLISHED LIMIT LINE

PROJECT NOTES:

1. OWNER / APPLICANT:
   GEORGE & EILEEN RITACCO
   37 GIDEON REYNOLDS ROAD
   CROSS RIVER, NEW YORK 10518
   (T) LEWISBORO
2. TOWN OF LEWISBORO TAX MAP INFORMATION:
   SHEET: 42.3 BLOCK: 1, LOT: 128
   TOTAL AREA OF PARCEL = ±1.135 ACRES (49,455 SF)
   R-1A ONE-FAMILY RESIDENCE DISTRICT
3. WATERSHED:
   NEW YORK CITY - CROTON - CROSS RIVER BASIN
4. SURVEY AND TOPOGRAPHICAL INFORMATION OBTAINED FROM MAP PREPARED BY:
   ROWAN LAND SURVEYING, PLLC
   330 OLD ALBANY POST ROAD
   GARRISON, NY 10524

CONSTRUCTION NOTES

1. THE TOTAL AREA OF DISTURBANCE ASSOCIATED WITH THE CONSTRUCTION OF POOL, UTILITY CONNECTION AND EQUIPMENT PAD IS 3,385 S.F.

   ENTIRE PROJECT WITHIN REGULATED WETLAND BUFFER AREA. TOTAL DISTURBANCE TO REGULATED BUFFER AREA IS 3,385 S.F.
2. THE CONSTRUCTION WILL NOT REQUIRE THE REMOVAL OF ANY TREES.
3. THE LIMITS OF DISTURBANCE SHALL BE STAKED IN THE FIELD BY A LICENSED LAND SURVEYOR AND CONFIRMED BY THE TOWN OF LEWISBORO BUILDING INSPECTOR PRIOR TO THE COMMENCEMENT OF ANY WORK.

FILED MAP REFERENCE:

THE PREMISES SHOWN HEREON BEING KNOWN AND DESIGNATED AS LOT No. 23 ON A CERTAIN MAP ENTITLED, "SHEET 1 of 2, MICHELLE ESTATES AT CROSS RIVER, SUBDIVISION SURVEY PREPARED FOR BAYSWATER REALTY & CAPITAL CORP." LAST REVISED NOVEMBER 27, 1989, MADE BY ROBERT M. HENRICI. FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS, ON JANUARY 3, 1990 AS FILED MAP No. 24046

CONSTRUCTION SEQUENCE

1. CONTRACTOR TO STAKE CLEARING AND GRADING LINE AS LIMIT OF DISTURBANCE, INSTALL SILT FENCES ALONG LIMIT OF DISTURBANCE AS INDICATED ON SITE PLAN.
2. CONSTRUCT ANTI-TRACKING PAD AT CONSTRUCTION ENTRANCE TO POOL AREA.
3. CONFIRM LOCATION OF EXISTING HOUSE SEWER LINE AND PROTECT LINE WITH STEEL PLATE.
4. STRIP TOPSOIL FROM POOL AREA AND STOCKPILE WHERE INDICATED. ALL TOPSOIL STORAGE SITES ARE TO BE SURROUNDED WITH SILT FENCE DURING CONSTRUCTION.
5. PLACE STONE BOULDERS ALONG EDGE OF DISTURBANCE LIMIT TO LIMIT DISTURBANCE.
6. CONSTRUCT PROPOSED POOL.
   A. EXCAVATE FOR POOL. ALL EXCESS MATERIAL TO BE REMOVED OFF SITE. NO MATERIAL TO BE STORED ON SITE.
   B. INSTALL FORM WORK AND REINFORCING, POUR CONCRETE FOR POOL.
   C. INSTALL POOL EQUIPMENT PAD.
   D. STRIP FORM WORK AND BACK FILL.
   E. ROUGH GRADE AWAY FROM POOL AREA.
   F. INSTALL UTILITY CONNECTIONS; AND ELECTRIC FEED BETWEEN HOUSE AND POOL EQUIPMENT AREA.
   G. INSTALL COPING
   H. FILL POOL WITH WATER
7. INSTALL POOL DRAWDOWN MITIGATION SYSTEM.
8. INSTALL BUFFER MITIGATION PLANTING
9. INSTALL POOL FENCING
10. TOPSOIL, SEED, SOD OR HYDROSEED, AND MULCH ALL DISTURBED AREAS. INSTALL BUFFER MITIGATION LANDSCAPING.
11. REMOVE EROSION CONTROLS ONLY AFTER ALL AREAS HAVE BEEN THOROUGHLY STABILIZED.

GENERAL POOL CONSTRUCTION NOTES:

POOL PLANS ARE DESIGNED BY USING THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

1. THE PROPOSED IN-GROUND POOL, SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANSI / APSP / ICC5.

   ENTIRE POOL SHALL BE SURROUNDED BY A PERMANENT POOL BARRIER AND IT SHALL BE INSTALLED AS PER ALL APPLICABLE REQUIREMENTS LISTED IN THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
2. ALL GATES ARE TO BE SELF CLOSING, SWING AWAY FROM POOL AND HAVE A LOCKING MECHANISM SUCH AS A MAGNA LATCH AT LEAST 54" ABOVE GRADE LEVEL.
3. POOL SHALL PROVIDE A SAFETY VACUUM RELEASE SYSTEM THAT CONFORMS TO ASME A112.19.17 PER SECTION R326. SUCTION COVERS ON DRAIN OUTLETS SHALL CONFORM TO ANSI / ASME 112.19.8M OR ALTERNATIVES PER R326.6.2

NO.	REVISION	DATE

LEGEND

- PROPERTY LINE
- LIMITS OF DISTURBANCE
- 100 EXISTING CONTOUR LINE
- 96 PROPOSED CONTOUR LINE
- + 97.5 PROPOSED SPOT ELEVATION
- WF NYS NYSDEC FLAGGED WETLAND LINE
- WF A LOCAL FLAGGED WETLAND LINE
- SS TOPSOIL STOCKPILE
- S EROSION CONTROL BARRIER
- CF CONSTRUCTION FENCE BARRIER
- STP-1 DEEP TEST PIT LOCATION & ID
- PROPOSED STORM PIPE
- PROPOSED FENCE LINE
- SAN PROPOSED SANITARY SEWER
- PROPOSED CLEAN OUT

20 15 10 5 0 20 40
SCALE IN FEET

Surveyor
Rowan Land Surveying LS, PLLC
330 Old Albany Post Road
Garrison, NY 10524
Tel: 914-815-3986
Email: rowanlandsurveying@outlook.com

Owner
George & Eileen Ritacco
37 Gideon Reynolds Road
Cross River, NY 10518

DTS · PROVIDENT
Intelligent Land Use
DTS Provident Design Engineering, LLP
One North Broadway White Plains, NY 10601
P: 914.428.0010
F: 914.428.0017

Under New York State Education Law Article 145 (Engineering), Section 7209 (2), It Is A Violation Of This Law For Any Person, Unless Acting Under The Direction Of A Licensed Professional Engineer, To Alter This Document

© DTS Provident Design Engineering, LLP
Certificate Of Authorization #0017846

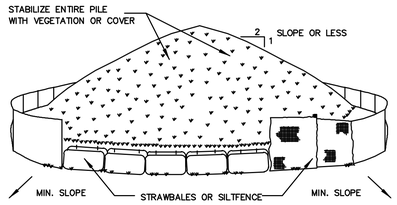
RITACCO RESIDENCE POOL
37 GIDEON REYNOLDS ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
SITE PLAN

Seal: STATE OF NEW YORK · PETER J. GREGORY · No. 071226 · LICENSED PROFESSIONAL ENGINEER

Scale:	1" = 20'
Date:	1/23/2023
Drawn By:	KMM
Checked By:	PJG
Project No.:	0972
Sheet No.:	1 of 2
Dwg. No.:	C-101

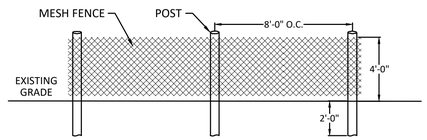
A:\PROJECTS-DTSP\0972 - Gideon Reynolds Road, Cross River, NY\AutoCAD\Construction\37 Gideon Reynolds Rd - Site Plan.dwg



INSTALLATION NOTES

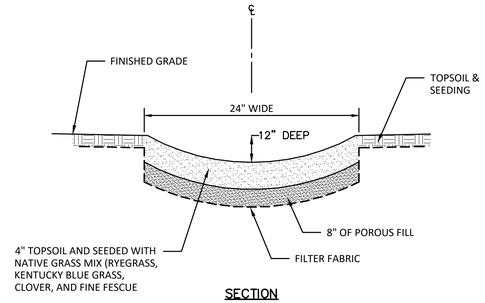
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILTFENCE.

SOIL STOCKPILING
NOT TO SCALE
1

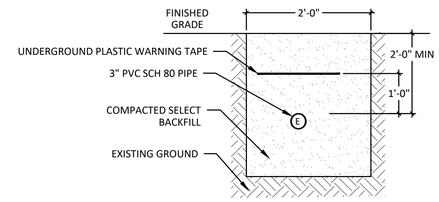


INSTALLATION NOTES:
1) MESH TO BE PLACED ON "OUTSIDE" FACE OF POST TO RENDER NON-CLIMABLE
2) MESH COLOR TO BE BLAZE ORANGE

TYPICAL ORANGE MESH CONSTRUCTION FENCE
NOT TO SCALE
2

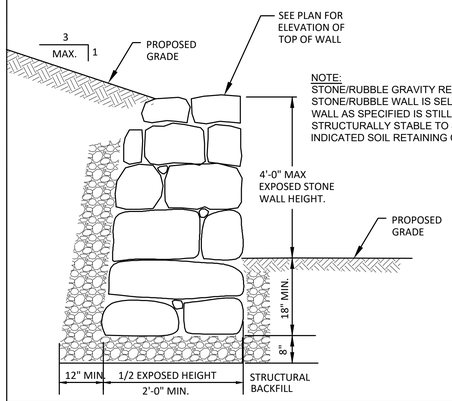


GRASS SWALE DTAIL
NOT TO SCALE
3

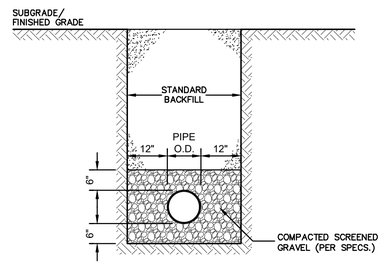


UTILITY TRENCH DETAIL
NOT TO SCALE
4

NO.	REVISION	DATE

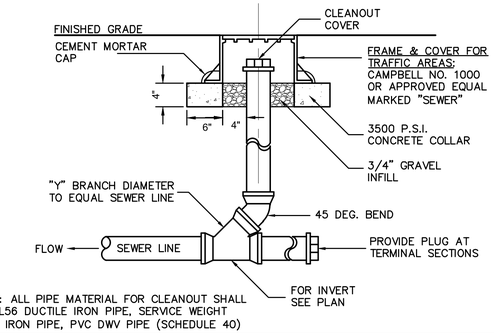


LANDSCAPE BOULDER RETAINING WALL DETAIL
NOT TO SCALE
5



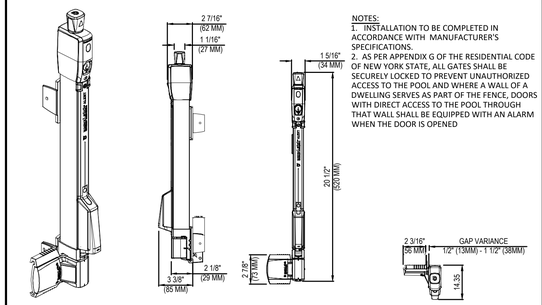
NOTES:
1. SCREENED GRAVEL SHALL BE WELL GRADED IN SIZE FROM 3/8 INCH TO 3/4 INCH.
2. SCREENED GRAVEL SHALL BE COMPACTED TO 85% OF THE MAXIMUM DENSITY.

PVC PIPE TRENCH DETAIL
NOT TO SCALE
6



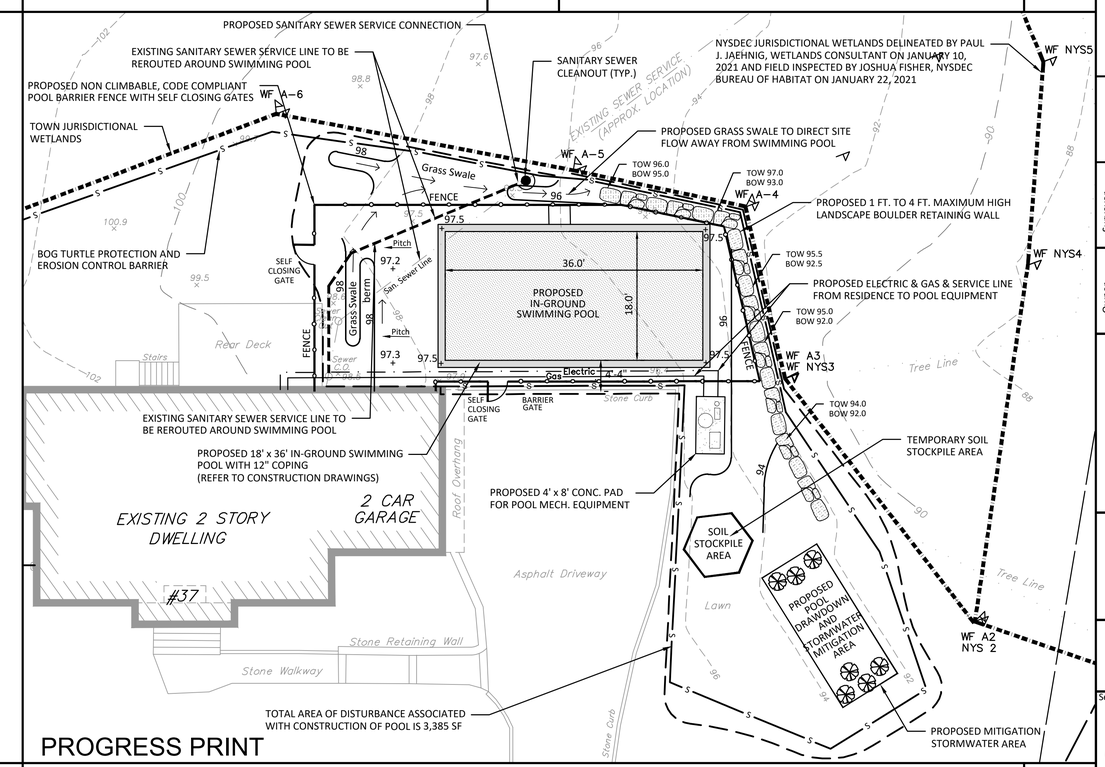
NOTE: ALL PIPE MATERIAL FOR CLEANOUT SHALL BE CL56 DUCTILE IRON PIPE, SERVICE WEIGHT CAST IRON PIPE, PVC DWV PIPE (SCHEDULE 40)

SEWER CLEANOUT
NOT TO SCALE
7



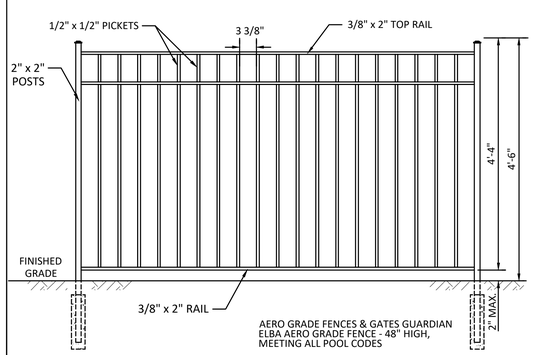
NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. AS PER APPENDIX G OF THE RESIDENTIAL CODE OF NEW YORK STATE, ALL GATES SHALL BE SECURELY LOCKED TO PREVENT UNAUTHORIZED ACCESS TO THE POOL AND WHERE A WALL OF A DWELLING SERVES AS PART OF THE FENCE, DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM WHEN THE DOOR IS OPENED

GATE LATCH
NOT TO SCALE
8



INSTALLATION NOTES:

1) TOP OF FENCE SHALL BE 4.5 FEET ABOVE GRADE MEASURED ON THE SIDE OF THE FENCE WHICH FACES AWAY FROM THE SWIMMING POOL
2) MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE FENCE SHALL BE 2-INCHES MEASURED ON THE SIDE OF THE FENCE WHICH FACES AWAY FROM THE SWIMMING POOL
3) ALL GATES SHALL BE SELF-CLOSING AND OPEN OUTWARD AWAY FROM THE POOL
4) ALL GATES SHALL BE SELF-LATCHING WITH THE LATCH HANDLE LOCATED WITHIN THE ENCLOSURE (ON THE POOL SIDE OF THE ENCLOSURE) AND AT LEAST 54-INCHES ABOVE GRADE
5) SHOULD THE LATCH HANDLE BE LOCATED LESS THEN 54-INCHES FROM THE BOTTOM OF THE GATE, THE LATCH HANDLE SHALL BE LOCATED AT LEAST 3-INCHES BELOW THE TOP OF THE GATE, AND NEITHER THE GATE NOT THE FENCE SHALL HAVE ANY OPENING GREATER THEN $\frac{1}{2}$-INCH WITHIN 18-INCHES OF THE LATCH HANDLE
6) AS PER APPENDIX G OF THE RESIDENTIAL CODE OF NEW YORK STATE, ALL GATES SHALL BE SECURELY LOCKED TO PREVENT UNAUTHORIZED ACCESS TO THE POOL AND WHERE A WALL OF A DWELLING SERVES AS PART OF THE FENCE, DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM WHEN THE DOOR IS OPENED



POOL ENCLOSURE FENCE
NOT TO SCALE
9

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RITACCO RESIDENCE POOL
37 GIDEON REYNOLDS ROAD
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
CONSTRUCTION PLAN AND DETAIL SHEET

Seal: STATE OF NEW YORK · PETER J. GREGORY · No. 071226 · LICENSED PROFESSIONAL ENGINEER

Scale:	AS NOTED
Date:	1/23/2023
Drawn By:	KMM
Checked By:	PJG
Project No.:	0972
Sheet No.:	2 of 2
Dwg. No.:	C-102

DATE: December 12, 2022

CONSTRUCTION PLAN
SCALE: 1" = 10 FT.
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