

AGENDA PACKET

MARCH 21, 2023 MEETING

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No new materials.		-
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No new materials.		-
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TOWN OF LEWISBORO
Westchester County, New York



Planning Board
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-5592
Fax: (914) 875-9148
Email: planning@lewisborogov.com

AGENDA

Tuesday, March 21, 2023

Courtroom at 79 Bouton Road

Meeting will start at 7:30 p.m. and end at or before 11:00 p.m.

I. PUBLIC HEARINGS

Cal #06-22PB, Cal #05-22WP, Cal #03-22SW

Waccabuc Country Club Snack Bar, 18 Perch Bay Road, Waccabuc, NY 10597; Sheet 25A, Block 10813, Lot 1 & 0 Tarry-A-Bit Lane, Waccabuc, NY 10597; Sheet 25, Block 11155, Lot 148 (Waccabuc Country Club Co., owner of record for both lots) - Application for beachfront improvements including renovation of the boathouse, construction of a pavilion, replacement of the snack bar, and installation of accessible parking and walkways.

Cal #15-22PB

Vandervoort/Rising Starr Subdivision, 93 Silver Spring Rd, Wilton, CT 06897; Sheet 48, Block 10057, Lots 14, 19, 84 & 134 (SJK, LLC & PVK, LLC, owners of record) - Application for a two-lot subdivision.

II. SITE DEVELOPMENT PLAN REVIEW

Cal #01-23PB

Waccabuc Country Club pickleball courts, 74 Mead Street, Waccabuc, NY 10597; Sheet 22, Block 10802, Lot 23 (Waccabuc Country Club Co., owner of record) - Application for a Waiver of Site Development Plan Procedures for the installation of four pickleball courts on an existing residence's tennis court.

Cal #02-23PB

20 Boutonville LLC Horse Farm, 20 Boutonville Road South, Cross River, NY 10518; Sheet 18, Block 10526, Lot 10 (20 Boutonville LLC, owner of record) - Application for a Waiver of Site Development Plan Procedures for an existing horse farm.

III. SUBDIVISION

Cal #06-17PB

Wolf Conservation Center, Buck Run, South Salem, NY 10590; Sheet 21, Block 10803, Lots 3, 65, 67, 81, 82, 83, 86 & 88 (Wolf Conservation Center, owner of record) - Application for a Subdivision and Special Use Permit associated with a private nature preserve.

IV. WETLAND PERMIT REVIEW

Cal #34-22WP, Cal #01-21WV

Maple Tree Farm, 400 Smith Ridge Road, South Salem, NY 10590; Sheet 24, Block 9831, Lot 49B (Maple Tree Farm, LLC, owner of record) - Application for remediation of wetlands.

V. WETLAND VIOLATION

Cal #01-23WV

VI. POST-CONSTRUCTION SITE VISIT REPORT

Cal #10-15 PB, Cal #20-17WP, Cal #5-17SW

Lewisboro Commons (Wilder Balter), 100 Beekman Lane, Goldens Bridge, NY 10526; Sheet 5, Block 10776, Lots 19, 20 & 21 (Lewisboro Commons Housing Development Fund Co., Inc., owner of record)

VII. MINUTES OF February 28, 2023.

VIII. DISCUSSION

Referral from Wilton, CT Inland Wetlands Commission – Amadeo Residence, 101 Silver Spring Road, Wilton, CT – Application for invasive plant removal and planting of natives.

Referral from Wilton, CT Inland Wetlands Commission – Amadeo Residence, 103 Silver Spring Road, Wilton, CT – Application for invasive plant removal and planting of natives.

IX. NEXT MEETING DATE: April 18, 2023.

X. ADJOURN MEETING.

TOWN OF LEWISBORO
Westchester County, New York



Planning Board
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-5592
Fax: (914) 875-9148
Email: planning@lewisborogov.com

March 3, 2023

The Honorable Ms. Lori Kaback, Town Clerk
Town of Wilton
238 Danbury Road
Wilton, CT 06897

Re: Referral of Public Hearing Notice for the Vandervoort / Rising Starr subdivision

Dear Ms. Kaback,

Pursuant to Section 239-nn of the New York General Municipal Law, "The legislative body or other authorized body having jurisdiction in a municipality shall give notice to an adjacent municipality when a hearing is held by such body relating to:

(a) the issuance of a proposed special use permit or the granting of a use variance on property that is within five hundred feet of an adjacent municipality;

(b) site plan review and approval on property that is within five hundred feet of an adjacent municipality;" and Section 277.71 of the Westchester County Code, "...Such notice shall be given at least ten days prior to any such hearing by mail to the clerk of said abutting municipality affected. Such mailing shall be deemed sufficient service under this or any other law requiring notice of any such hearing..."

This letter is to inform you that a public hearing for an application for a two-lot subdivision at 93 Silver Spring Road, South Salem, NY will be held on Tuesday, Tuesday, March 21, 2023 at or around 7:30 p.m.

If you need additional information, please contact me at 914-763-5592.

Sincerely,

Ciorsdan Conran
Planning Board Administrator

Encl.: Public Hearing Notice for the Vandervoort / Rising Starr subdivision

TOWN OF LEWISBORO
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on Tuesday, March 21, 2023 at 7:30 p.m., or soon thereafter at the Town Offices at 79 Bouton Road, South Salem, New York, regarding the following:

Cal #15-22PB

Application for a two-lot subdivision by Rising Starr Horse Rescue; 93 Silver Spring Road, South Salem, New York (SJK, LLC & PVK, LLC, owners of record); Sheet 48, Block 10057, Lot 14. The subject property in Lewisboro consists of ± 150.59 acres and is located in a Four-Acre Residential (R-4A) Zoning District. The proposed subdivision would create Parcel 1 (± 39 acres) for an existing horse farm and Parcel 2 (± 111.6) would remain vacant.

A copy of materials pertaining to the subdivision may be inspected at the office of the Planning Board Administrator, 79 Bouton Road, South Salem, New York during regular Planning Board hours. Persons wishing to object to this subdivision should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to attend the Public Hearing and all will be provided an opportunity to be heard.

PLANNING BOARD
TOWN OF LEWISBORO
By: Janet Andersen
Chair

Dated: March 3, 2023

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Administrator to the Planning Board in advance.

Affidavit

STATE OF NEW YORK
COUNTY OF WESTCHESTER

The undersigned, KELLY STACKPOLE, being duly sworn, hereby deposes and says:

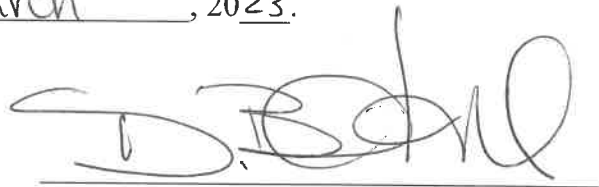
1. I am over the age of 18 and am a resident of the State of Connecticut. I have personal knowledge of the facts herein, and, if called as a witness, could testify completely thereto.
2. I suffer no legal disabilities and have personal knowledge of the facts set forth below.
3. I placed the sign of notice provided by the town of Lewisboro, NY not more than 10 feet from the lot line at the entrance of the property. 93 Silver Spring Rd Wilton, CT of notification of subdivision on March 14, 2023

Executed this 6 day of March, 2023.


Kelly Stackpole

NOTARY ACKNOWLEDGMENT

Sworn to before me this 6th day of March, 2023.


Notary Public

My commission expires 6/30/26




Affidavit

STATE OF NEW YORK
COUNTY OF WESTCHESTER

The undersigned, KELLY STACKPOLE, being duly sworn, hereby deposes and says:


1. I am over the age of 18 and am a resident of the State of Connecticut. I have personal knowledge of the facts herein, and, if called as a witness, could testify completely thereto.
2. I suffer no legal disabilities and have personal knowledge of the facts set forth below.
3. March 6, 2023 I mailed 44 registered letters to all property owners within 500 feet of 93 Silver Spring Rd Wilton, CT of notification of subdivision.

Executed this 6 day of March, 2023.

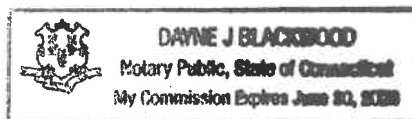

Kelly Stackpole

NOTARY ACKNOWLEDGMENT

Sworn to before me this 6th day of March, 2023.


Notary Public

My commission expires 6/30/26

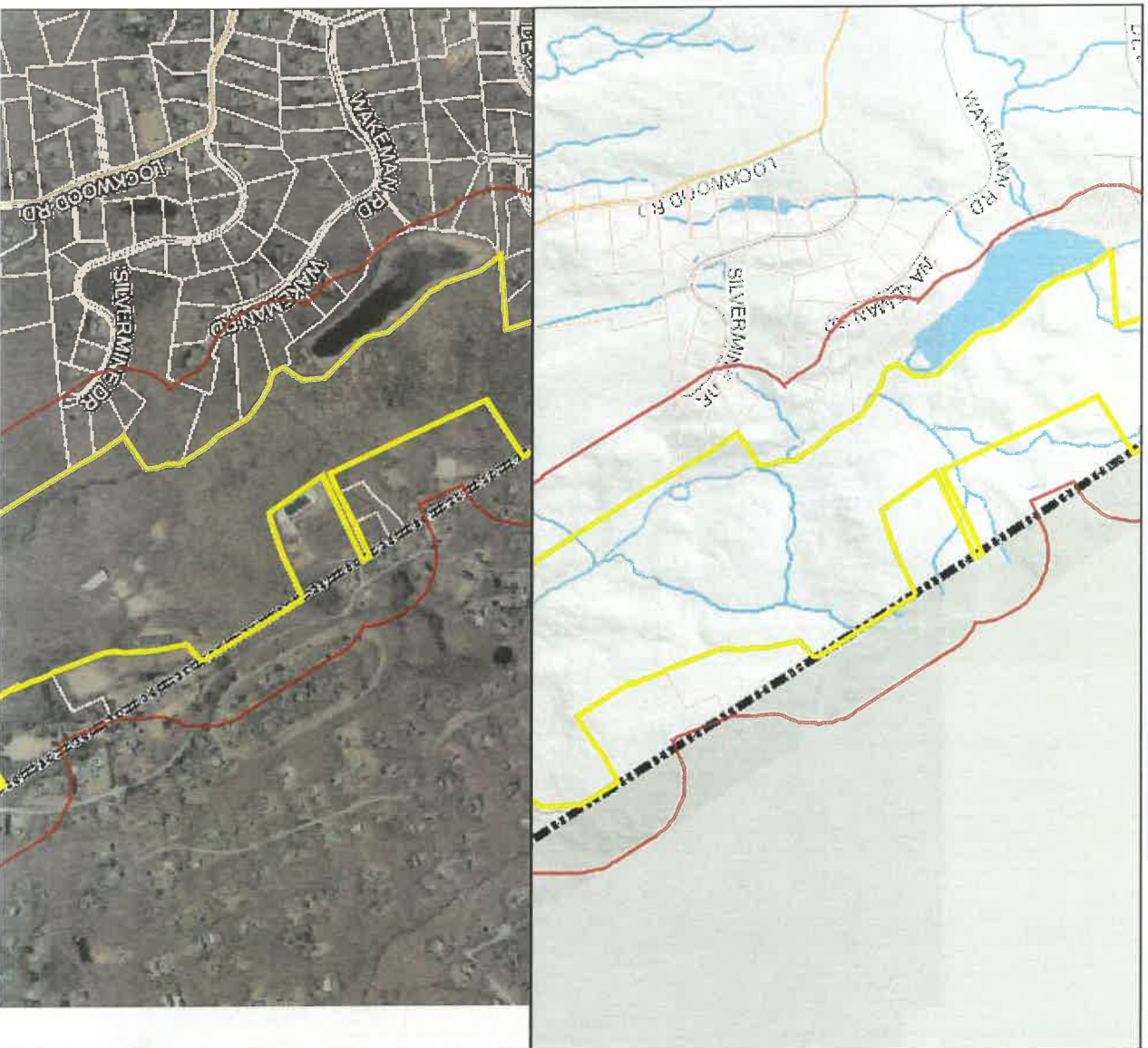


Tax Parcel Maps

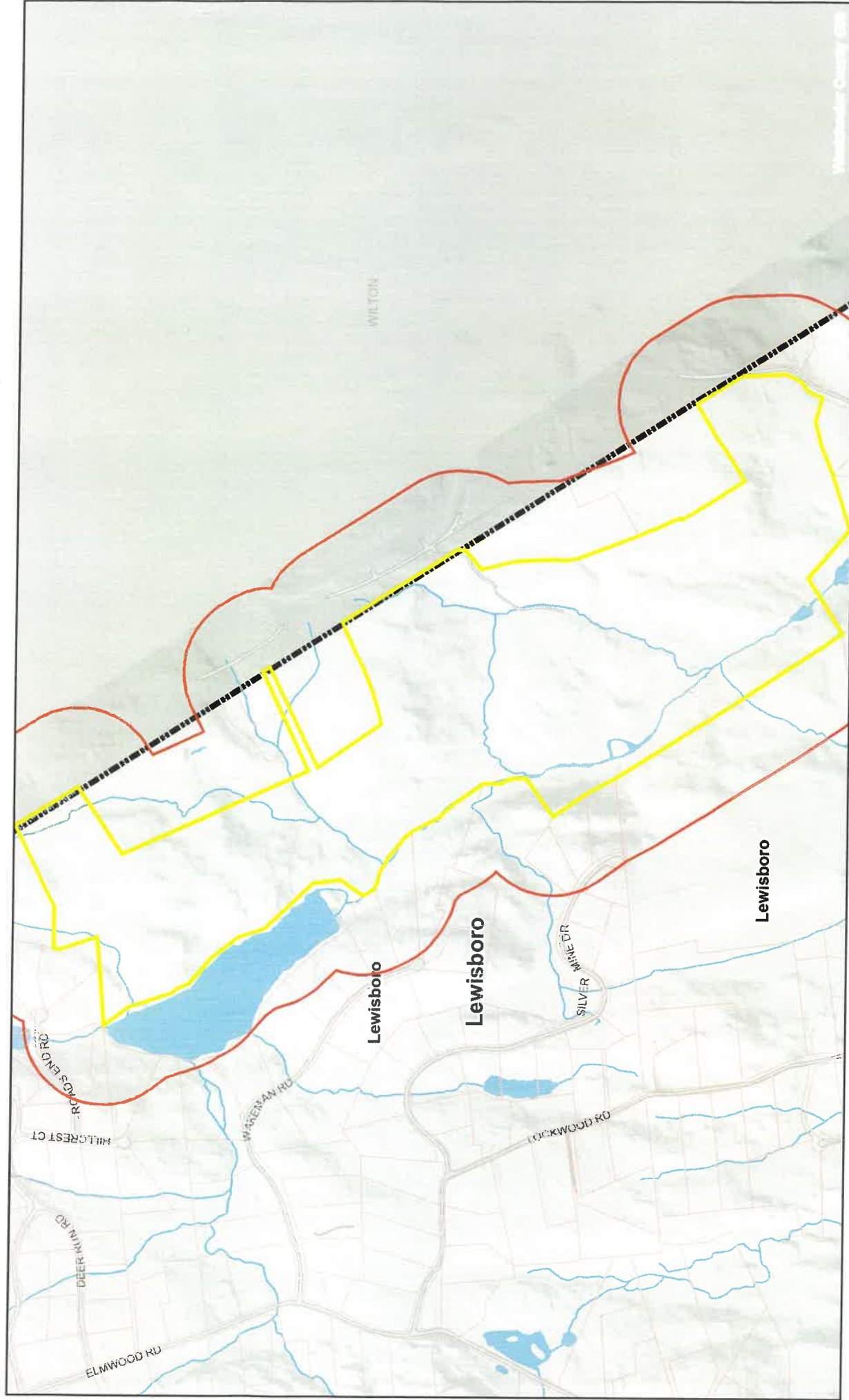
Address: 93 SILVER SPRING RD

Print Key: 66.4-4-6

SBL: 06600400040060000000



93 SILVER SPRING RD. ID: 66.4-4-6 (Lewisboro)



March 3, 2023

1:10,000



Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

Westchester County GIS
GIS
<http://giswww.westchestergov.com>
Michaelian Office Building
148 Martine Avenue Rm 214
White Plains, New York 10601

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South Salem, NY 10590

Certified Mail Fee \$4.15
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$3.35
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.63
Total Postage and Fees \$8.13

0877
28

Postmark
Here

03/06/2023

Sent To
Leopold Silvermine State's Park Dist
Street and Apt. No., or PO Box No.
100 at Leopold 11 Main St.
City, State, ZIP+4®
South Salem, NY 10590
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com™.

Pound Ridge, NY 10576

Certified Mail Fee \$4.15
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$3.35
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.63
Total Postage and Fees \$8.13

0877
28

Postmark
Here

03/06/2023

Sent To
Ridgeview Designer Builders Assoc
Street and Apt. No., or PO Box No.
45 Bender Way
City, State, ZIP+4®
Pound Ridge, NY 10576
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0001 5976 7043

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South Salem, NY 10590

Certified Mail Fee \$4.15

Extra Services & Fees (check box, add fee \$3.35 appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

0877
28Postmark
Here

Postage \$0.63

Total Postage and Fees \$8.13

03/06/2023

Sent To
Timothy + Susan Lamothe
Street and Apt. No., or PO Box No.
26 Wakeman Road
City, State, ZIP+4®
South Salem, NY 10590

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0001 5976 7036

U.S. Postal Service CERTIFIED MAIL® RECEIPT

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South Salem, NY 10590

Certified Mail Fee \$4.15

Extra Services & Fees (check box, add fee \$3.35 appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

0877
28Postmark
Here

Postage \$0.63

Total Postage and Fees \$8.13

03/06/2023

Sent To
Joseph + Deborah Rabinowitz
Street and Apt. No., or PO Box No.
7 Reads End Road
City, State, ZIP+4®
South Salem, NY 10590

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0001 5976 7029

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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Irvington, NY 10533

Certified Mail Fee \$4.15

Extra Services & Fees (check box, add fee \$3.35 appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

0877
28Postmark
Here

Postage \$0.63

Total Postage and Fees \$8.13

03/06/2023

Sent To
Ana Maria + Michael Kosciak
Street and Apt. No., or PO Box No.
374 W. Clinton Ave
City, State, ZIP+4®
Irvington, NY 10533

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0001 5976 7012

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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For delivery information, visit our website at www.usps.com

South Salem, NY 10590

Certified Mail Fee \$4.15

Extra Services & Fees (check box, add fee \$3.35 appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

0877
28Postmark
Here

Postage \$0.63

Total Postage and Fees \$8.13

03/06/2023

Sent To
Douglas + Dana Moore
Street and Apt. No., or PO Box No.
25 Silvermine Dr.
City, State, ZIP+4®
South Salem, NY 10590

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0001 5976 7005

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

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For delivery information, visit our website at www.usps.com

Wilton, CT 06897

Certified Mail Fee \$4.15

Extra Services & Fees (check box, add fee \$3.35 appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

0877
28Postmark
Here

Postage \$0.63

Total Postage and Fees \$8.13

03/06/2023

Sent To
Nathaniel Cullen + Maura Penza
Street and Apt. No., or PO Box No.
129 Silver Spring Road
City, State, ZIP+4®
Wilton, CT 06897

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0001 5976 6992

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com

South Salem, NY 10590

Certified Mail Fee \$4.15

Extra Services & Fees (check box, add fee \$3.35 appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

0877
28Postmark
Here

Postage \$0.63

Total Postage and Fees \$8.13

03/06/2023

Sent To
Harold Hurtado
Street and Apt. No., or PO Box No.
10 Reservoir Road
City, State, ZIP+4®
South Salem, NY 10590

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7022 2410 0001 5976 6886

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South Salem, NY 10590

Certified Mail Fee	\$4.15	0877
Extra Services & Fees (check box, add fee as appropriate)	\$3.35	28
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.63	
Total Postage and Fees	\$8.13	03/06/2023

Postmark Here

Sent To: **John + Barbara McKay**
Street and Apt. No., or PO Box No. **12 Reservoir Road**
City, State, ZIP+4® **South Salem, NY 10590**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0001 5976 6862

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South Salem, NY 10590

Certified Mail Fee	\$4.15	0877
Extra Services & Fees (check box, add fee as appropriate)	\$3.35	28
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.63	
Total Postage and Fees	\$8.13	03/06/2023

Postmark Here

Sent To: **Daniel + Rosemary Friel**
Street and Apt. No., or PO Box No. **303 Silver Spring Road**
City, State, ZIP+4® **South Salem, NY 10590**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0001 5976 6848

U.S. Postal Service™
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Norwalk, CT 06852

Certified Mail Fee	\$4.15	0877
Extra Services & Fees (check box, add fee as appropriate)	\$3.35	28
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.63	
Total Postage and Fees	\$8.13	03/06/2023

Postmark Here

Sent To: **Norwalk City 1st taxing district**
Street and Apt. No., or PO Box No. **PO Box 27**
City, State, ZIP+4® **Norwalk, CT 06852**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0001 5976 6879

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South Salem, NY 10590

Certified Mail Fee	\$4.15	0877
Extra Services & Fees (check box, add fee as appropriate)	\$3.35	28
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.63	
Total Postage and Fees	\$8.13	03/06/2023

Postmark Here

Sent To: **John Protano**
Street and Apt. No., or PO Box No. **25 Wakeman Road**
City, State, ZIP+4® **South Salem, NY 10590**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0001 5976 6855

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South Salem, NY 10590

Certified Mail Fee	\$4.15	0877
Extra Services & Fees (check box, add fee as appropriate)	\$3.35	28
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.63	
Total Postage and Fees	\$8.13	03/06/2023

Postmark Here

Sent To: **August K**
Street and Apt. No., or PO Box No. **24 Silvermine Dr.**
City, State, ZIP+4® **South Salem, NY 10590**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0001 5976 6831

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Wilton, CT 06897

Certified Mail Fee	\$4.15	0877
Extra Services & Fees (check box, add fee as appropriate)	\$3.35	28
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.63	
Total Postage and Fees	\$8.13	03/06/2023

Postmark Here

Sent To: **Anthony + Tracey Baxendale**
Street and Apt. No., or PO Box No. **183 Silver Spring Road**
City, State, ZIP+4® **Wilton, CT 06897**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0001 5976 6824

**U.S. Postal Service™
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Certified Mail Fee \$4.15

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.63

Total Postage and Fees \$8.13

0877
28Postmark
Here

03/06/2023

Sent To **Town of Lewisboro**

Street and Apt. No., or PO Box No. **11 Main St.**

City, State, ZIP+4® **South Salem, NY 10590**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0001 9686 5900

**U.S. Postal Service™
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Certified Mail Fee \$4.15

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.63

Total Postage and Fees \$8.13

0877
28Postmark
Here

03/06/2023

Sent To **Wu Wen-Yih & K. Meng**

Street and Apt. No., or PO Box No. **124 Larch Road**

City, State, ZIP+4® **New Hyde Park, NY 11040**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 3330 0000 0439 3702

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**
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For delivery information, visit our website at www.usps.com**Hartford, CT 06120**

Certified Mail Fee \$4.15

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.63

Total Postage and Fees \$8.13

0877
28Postmark
Here

03/06/2023

Sent To **Hidden Pond Farms % CSC**

Street and Apt. No., or PO Box No. **50 Weston Street**

City, State, ZIP+4® **Hartford, CT 06120-1537**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 3330 0000 0439 3696

**U.S. Postal Service™
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For delivery information, visit our website at www.usps.com**South Salem, NY 10590**

Certified Mail Fee \$4.15

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.63

Total Postage and Fees \$8.13

0877
28Postmark
Here

03/06/2023

Sent To **Roger + Barbara Ann Holmes**

Street and Apt. No., or PO Box No. **2 Reservoir Road**

City, State, ZIP+4® **South Salem, NY 10590**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0001 5976 6985

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**
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For delivery information, visit our website at www.usps.com**Norwalk, CT 06852**

Certified Mail Fee \$4.15

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.63

Total Postage and Fees \$8.13

0877
28Postmark
Here

03/06/2023

Sent To **Norwalk City 1st Taxing Dist.**

Street and Apt. No., or PO Box No. **PO Box 27**

City, State, ZIP+4® **Norwalk, CT 06852**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7022 2410 0001 5976 6978

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**
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For delivery information, visit our website at www.usps.com**South Salem, NY 10590**

Certified Mail Fee \$4.15

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$0.00

☐ Return Receipt (electronic) \$0.00

☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.63

Total Postage and Fees \$8.13

0877
28Postmark
Here

03/06/2023

Sent To **Francis Michele Compagnone**

Street and Apt. No., or PO Box No. **3 Keads End Road**

City, State, ZIP+4® **South Salem, NY 10590**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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For delivery information, visit our website at www.usps.com

South Salem, NY 10590

Certified Mail Fee \$4.15
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$3.75
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.63
Total Postage and Fees \$8.13

0877
28

Postmark
Here

03/06/2023

Sent To
Michael & Jerdy Yaquez
Street and Apt. No., or PO Box No.
19 Wakemen Rd
City, State, ZIP+4®
South Salem, NY 10590
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service
CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com

Wilton, CT 06897

Certified Mail Fee \$4.15
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$3.75
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.63
Total Postage and Fees \$8.13

0877
28

Postmark
Here

03/06/2023

Sent To
SILVIA PUKUC Peggy Vandervort
Street and Apt. No., or PO Box No.
49 Silver Springs Rd
City, State, ZIP+4®
South Salem, NY 10590
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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For delivery information, visit our website at www.usps.com

South Salem, NY 10590

Certified Mail Fee \$4.15
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$3.75
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.63
Total Postage and Fees \$8.13

0877
28

Postmark
Here

03/06/2023

Sent To
Rose Roger Miles Alice J.
Street and Apt. No., or PO Box No.
9 Wakemen Rd
City, State, ZIP+4®
South Salem, NY 10590
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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South Salem, NY 10590

Certified Mail Fee \$4.15
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$3.75
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.63
Total Postage and Fees \$8.13

0877
28

Postmark
Here

03/06/2023

Sent To
Thomas Faura
Street and Apt. No., or PO Box No.
3 Roads End Road
City, State, ZIP+4®
South Salem, NY 10590
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com

Irvington, NY 10533

Certified Mail Fee \$4.15
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$3.75
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.63
Total Postage and Fees \$8.13

0877
28

Postmark
Here

03/06/2023

Sent To
Ana Maria & Michael Kusiak
Street and Apt. No., or PO Box No.
374 W. Clinton Ave
City, State, ZIP+4®
Irvington, NY 10533
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™
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For delivery information, visit our website at www.usps.com

South Salem, NY 10590

Certified Mail Fee \$4.15
Extra Services & Fees (check box, add fee as appropriate)
☐ Return Receipt (hardcopy) \$3.75
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.63
Total Postage and Fees \$8.13

0877
28

Postmark
Here

03/06/2023

Sent To
Theresa & Armand Sathoe
Street and Apt. No., or PO Box No.
3 Roads End Road
City, State, ZIP+4®
South Salem, NY 10590
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

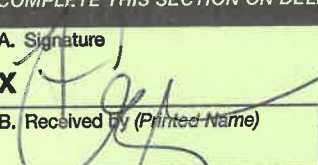


7022 2410 0001 5976 6909

U.S. Postal Service		CERTIFIED MAIL® RECEIPT	
Domestic Mail Only			
For delivery information, visit our website at www.usps.com .			
South Salem, NY 10590			
Certified Mail Fee	\$4.15	0877	
Extra Services & Fees (check box, add fee as appropriate)	\$3.35	28	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.63		
Total Postage and Fees	\$8.13	03/06/2023	
Sent To Patrick + Kathryn Sheehan Street and Apt. No., or PO Box No. 23 Walkman Rd City, State, ZIP+4® South Salem, NY 10590			
PS Form 3800, April 2015 PSN 7530-02-000-9047		See Reverse for Instructions	

7022 2410 0001 5976 6909

U.S. Postal Service		CERTIFIED MAIL® RECEIPT	
Domestic Mail Only			
For delivery information, visit our website at www.usps.com .			
South Salem, NY 10590			
Certified Mail Fee	\$4.15	0877	
Extra Services & Fees (check box, add fee as appropriate)	\$3.35	28	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.63		
Total Postage and Fees	\$8.13	03/06/2023	
Sent To Peter + Jacqueline Minio Street and Apt. No., or PO Box No. 23 Silvermine Drive City, State, ZIP+4® South Salem, NY 10590			
PS Form 3800, April 2015 PSN 7530-02-000-9047		See Reverse for Instructions	

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<p>■ Complete items 1, 2, and 3.</p> <p>■ Print your name and address on the reverse so that we can return the card to you.</p> <p>■ Attach this card to the back of the mailpiece, or on the front if space permits.</p>		<p>A. Signature  <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>X <input checked="" type="checkbox"/> <input type="checkbox"/></p> <p>B. Received by (Printed Name) C. Date of Delivery 3-7</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>	
1. Article Addressed to: Houghton, Amery III 9 Hillcrest Ct South Salem, NY 10590			
 9590 9402 7768 2152 6474 03		3. Service Type <input type="checkbox"/> Adult Signature <input type="checkbox"/> Priority Mail Express® <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail™ <input checked="" type="checkbox"/> Certified Mail® <input type="checkbox"/> Registered Mail Restricted Delivery <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation™ <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
2. Article Number (Transfer from service label) 7022 2410 0001 5976 7227		5. Service Type  9590 9402 7768 2152 6526 74	
PS Form 3811, July 2020 PSN 7530-02-000-9053		PS Form 3811, July 2020 PSN 7530-02-000-9053	
Domestic Return Receipt		Domestic Return Receipt	

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<p>■ Complete items 1, 2, and 3.</p> <p>■ Print your name and address on the reverse so that we can return the card to you.</p> <p>■ Attach this card to the back of the mailpiece, or on the front if space permits.</p>		<p>A. Signature  <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>X <input checked="" type="checkbox"/> <input type="checkbox"/></p> <p>B. Received by (Printed Name) C. Date of Delivery 3-7</p> <p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No</p>	
1. Article Addressed to: Franco + Michele Compagnone 3 Roads 2nd Rd South Salem, NY 10590			
 9590 9402 7768 2152 6529 57		3. Service Type <input type="checkbox"/> Adult Signature <input type="checkbox"/> Priority Mail Express® <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail™ <input checked="" type="checkbox"/> Certified Mail® <input type="checkbox"/> Registered Mail Restricted Delivery <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation™ <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500)	
2. Article Number (Transfer from service label) 7022 2410 0001 5976 6978		5. Service Type  9590 9402 7768 2152 6526 98	
PS Form 3811, July 2020 PSN 7530-02-000-9053		PS Form 3811, July 2020 PSN 7530-02-000-9053	
Domestic Return Receipt		Domestic Return Receipt	

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY		SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none">■ Complete items 1, 2, and 3.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.		<p>A. Signature X <i>[Signature]</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) C. Date of Delivery 3-7</p>		<ul style="list-style-type: none">■ Complete items 1, 2, and 3.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.		<p>A. Signature X <i>[Signature]</i> <input type="checkbox"/> Agent <input checked="" type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) C. Date of Delivery 8</p>	
1. Article Addressed to: Hammer, Scott Alan & Laurie 21 Silvermine Dr. South Salem NY 10590		D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No		1. Article Addressed to: Rock Star Enterprises LLC 105 Silver Spring Rd Wilton, CT 06897		D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
 9590 9402 7768 2152 6473 66		3. Service Type <input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input checked="" type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Registered Mail Restricted Delivery (over \$500)		 9590 9402 7768 2152 6530 08		3. Service Type <input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input checked="" type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Registered Mail Restricted Delivery (over \$500)	
2. Article Number (Transfer from service label) 7022 2410 0001 5976 7081				2. Article Number (Transfer from service label) 7022 2410 0001 5976 7067			
PS Form 3811, July 2020 PSN 7530-02-000-9053		Domestic Return Receipt		PS Form 3811, July 2020 PSN 7530-02-000-9053		Domestic Return Receipt	

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none">■ Complete items 1, 2, and 3.■ Print your name and address on the reverse so that we can return the card to you.■ Attach this card to the back of the mailpiece, or on the front if space permits.		<p>A. Signature X <i>[Signature]</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) C. Date of Delivery 3-7</p>	
1. Article Addressed to: Anthony & Carmen Scerra 8 Reservoir Rd. South Salem, NY 10590		D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
 9590 9402 7768 2152 6473 42		3. Service Type <input type="checkbox"/> Adult Signature <input type="checkbox"/> Adult Signature Restricted Delivery <input checked="" type="checkbox"/> Certified Mail® <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery <input type="checkbox"/> Collect on Delivery Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Registered Mail Restricted Delivery (over \$500)	
2. Article Number (Transfer from service label) 7022 2410 0001 5976 7098			
PS Form 3811, July 2020 PSN 7530-02-000-9053		Domestic Return Receipt	



NOTICE

This property is the subject of an application before the
Lewisboro Planning Board.

A Public Hearing has been scheduled at which time all interested parties
will be afforded an opportunity to be heard.

*Please contact the Planning Board Administrator at
914-763-5592*

*or visit
www.lewisborogov.com
for additional information*





P.O. Box 72, South Salem, NY 10590

Attention: South Salem Zoning Board

Dear Members,

I am writing in support of Rising Starr Horse Rescue. The non-profit Rising Starr is a well respected organization by both the community and like minded organizations. Their work is invaluable to the local community and beyond. In addition to their work rescuing horses they offer veterans and first responders free horse back riding lessons. They provide the community with exposure to horse needs and care. Children, in particular, benefit by learning the lessons of empathy and kindness through mentoring of the volunteers and staff. It also provides horse back riding lessons in a safe, respectful environment to the general public to provide revenue for their work. This organization enriches the community by offering an opportunity unique to this area. It contributes to the equine character that is part of the charm of this area.

We support zoning that will allow this group to continue to flourish and serve our community. We are lucky to have such a wonderful organization in our county.

Respectfully,

Patrick Moore

President/CEO

Animal Nation

animalnation.org

(914)400-6014

patrick@animalnation.org



THE HUMANE SOCIETY
OF THE UNITED STATES

February 28, 2023

Zoning Board of Appeals

79 Bouton Road

South Salem, NY 10590

Dear Chairman Price and Honorable ZBA Members,

On behalf of the Humane Society of the United States (HSUS) and our members and supporters in South Salem, I would like to share our enthusiasm for the work of Rising Starr Horse Rescue, an important regional group that saves, rehabilitates, retrain and rehomes abandoned, neglected or abused horses. This life-saving work is accomplished through direct rescue of horses in need and educating the public through professional programs. Rising Starr's team includes veterinarians, care staff and local volunteers.

Non-profit organizations such as Rising Starr make our communities stronger, safer and better. The HSUS is pleased to see this group thriving in their mission and ask that their presentation received favorable consideration by the board.

Thank you for your hard work and for the opportunity to share this information.

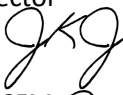

Sincerely,

Brian Shapiro
New York State Director
bshapiro@humanesociety.org
P.O. Box 7216, Albany, NY 12224
(845) 707-5350

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP 
Joseph M. Cermele, P.E., CFM 
Town Consulting Professionals

DATE: March 16, 2023

RE: Waccabuc Country Club Pickleball
74 Mead Street
Sheet 42.2, Block 1, Lot 10

PROJECT DESCRIPTION

The subject property is located at 74 Mead Street, consists of ±6.1 acres of land and is located with the R-4A Zoning District. The property is developed with a residence, tennis court, pool and other ancillary residential uses and is located immediately adjacent and to the south of the Waccabuc Country Club. The property was recently purchased by the Club and the applicant is proposing to convert the existing tennis court to a pickleball court for use by its membership.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS AND REFERRALS

1. Site Development Plan Approval is required from the Planning Board; unless waived by the Planning Board, a public hearing is required to be held on the Site Development Plan.

Chairperson Janet Andersen

March 16, 2023

Page 2 of 3

2. The proposed action must be referred to the Architectural and Community Appearance Review Council (ACARC); it is understood that the applicant has already applied to ACARC.
3. Approval from the Zoning Board of Appeals is required for expansion of an existing nonconforming use.
4. If land disturbance exceeds 5,000 s.f., a Town Stormwater Permit will be required as will coverage under New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001) will be required.

COMMENTS

1. It is understood that the subject property (74 Mead Street) was recently purchased by the Waccabuc Country Club and is intended to be used by the club as an expansion of its existing facilities. The County Club is not listed as a permitted use within the underlying zone and the application requires approval by the Zoning Board of Appeals expansion of a nonconforming use.
2. The tax maps illustrate a separate small sliver of land located immediately north of the subject property (42.2-1-9 on Westchester County GIS). This tax parcel is not reflected on the site plan. Please clarify.
3. Provide dimensions of the court on the enlarged site plan.
4. The plan notes that the court will be resurfaced. Please clarify whether the existing court surface will be removed down to subbase or if the court will be re-topped; provide notes to this effect on the plan. If subbase is exposed, this will qualify as disturbance and will require a Town Stormwater Permit and coverage under GP-0-20-001.
5. Identify direction of court pitch.
6. Specify the color of proposed wind clothes (attached to fence).
7. Illustrate the construction access route; provide a stabilized construction entrance and include a detail (if needed depending on extent of equipment required).
8. Provide a fence detail (for the proposed section of fence).

Chairperson Janet Andersen

March 16, 2023

Page 3 of 3

9. Add the following notes to the site plan:
 - a. No tree removal is proposed or authorized.
 - b. No exterior lighting is proposed or authorized.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLAN REVIEWED, PREPARED BY INSITE ENGINEERING, DATED FEBRUARY 14, 2023:

- Overall Site Plan (1/1)

DOCUMENTS REVIEWED:

- Letter, prepared by Insite Engineering, dated February 14, 2023
- Waiver of Site Development Plan Procedures Application
- Short EAF, dated February 14, 2023

JKJ/dc

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590 Tel: (914) 763-5592 Email: planning@lewisborogov.com

Site Development Plan/Subdivision Plat Application - Check all that apply:

Waiver of Site Development Plan Procedures ☒

Site Development Plan Approval

Special Use Permit Approval

Subdivision Plat Approval



Step I

☐

Step II

☐

Step I

☐

Step II

☐

Step I

☐

Step II

☐

Step III

☐

Project Information

Project Name: Waccabuc Country Club Pickleball

Project Address: 74 Mead Street, Town of Lewisboro

Gross Parcel Area: 6.1 AC +/- Zoning District: R-4A Sheet(s): 42.2 Block (s): 1 Lot(s): 10

Project Description: Waccabuc Country Club proposes to convert an existing tennis court into (4) pickleball courts. This will include resurfacing the existing asphalt, infilling asphalt at the corners of the court and installing wind cloth on the east and south sides of the existing court perimeter fence. A proposed wood chip path will lead from the neighboring Club property to the pickleball courts.

Is the site located within 500 feet of any Town boundary?

YES

☐

NO

☒

Is the site located within the New York City Watershed?

YES

☒

NO

☐

Is the site located on a State or County Highway?

YES

☐

NO

☒

Does the proposed action require any other permits/approvals from other agencies/departments?

Town Board

☐

ZBA

☒

Building Dept.

☐

Town Highway

☐

ACARC

☒

NYSDEC

☐

NYCDEP

☐

WCDH

☐

NYSDOT

☐

Town Wetland

☐

Town Stormwater

☐

Other

Owner's Information

Name: Waccabuc Country Club

Email: jdassuma@optonline.net

Address: 90 Mead Street, PO Box 400, Waccabuc, NY 10597

Phone: 914-763-3144

Applicant's Information (if different)

Name: Same as owner

Email: _____

Address: _____

Phone: _____

Authorized Agent's Information

Name: Zachary Pearson, PE, Principal Engineer

Email: zpearson@insite-eng.com

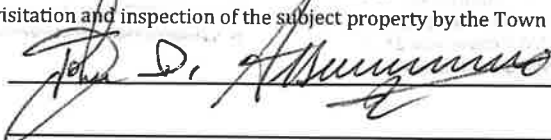
Address: 3 Garrett Place, Carmel, NY 10512

Phone: 845-225-9690

THE APPLICANT understands that any application is considered complete only when all information and documents required have been submitted and received by the Planning Board. The applicant further understands that the applicant is responsible for the payment of all application and review fees incurred by the Planning Board.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief, and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

APPLICANT'S SIGNATURE



DATE

02-13-2023

OWNER'S SIGNATURE

DATE

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590

Email: planning@lewisborogov.com

Tel: (914) 763-5592

Fax: (914) 875-9148

Affidavit of Ownership

State of: New York

County of: Westchester

John D. Assumma, being duly sworn, deposes and says that he/she
resides at 90 Mead Street - Waccabuc, New York
in the County of Westchester, State of New York
and that he/she is (check one) ☐ the owner, or ☒ the GENERAL Manager
of Waccabuc Country Club
Title
Name of corporation, partnership, or other legal entity

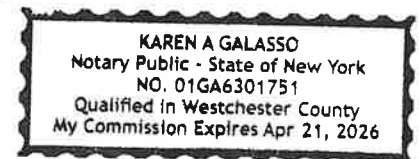
which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the
Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of
Lewisboro as:

Block 42.2, Lot 1, on Sheet 10

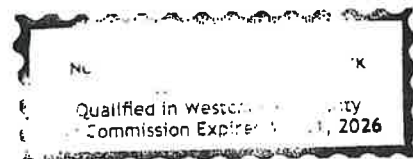
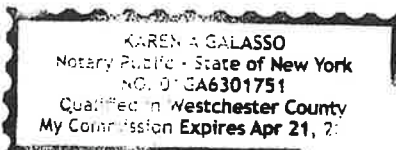
John D. Assumma
Owner's Signature

Sworn to before me this

13 day of February, 2023



[Signature]
Notary Public - affix stamp



TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant (Please type or print)

Waccabuc Country Club Company Pickle Ball Courts
Name of Applicant Project Name

Property Description : 74 Mead Street ✓ Property Assessed to:

Tax Block(s): 10802 Waccabuc Country Club
Tax Lot(s): 23 Name PO Box 400
Tax Sheet(s): 22 Address Waccabuc New York 10597
City State Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes: _____

2/13/2023
Date

Sworn to before me this

13th day of February, 2023

Janet L. Donohue
Signature - Notary Public (affix stamp)

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DC6259627
Qualified in Westchester County
Commission Expires April 16, 2024



February 14, 2023

Town of Lewisboro Planning Board
79 Bouton Road
South Salem, NY 10590

RE: Waccabuc Country Club Pickleball
74 Mead Street
Waccabuc, NY
TM# Block 42.2, Lot 1, Sheet 10

Dear Chair Anderson and Members of the Board:

Please find nine (9) copies (6 full scale & 3 half scale plans) of the following plans and documents enclosed here in support of an application for the above referenced project:

- OP-1 Overall Site Plan, dated February 14, 2023.
- Short Environmental Assessment Form, dated February 14, 2023.
- Site Development Plan Application, dated February 14, 2023.

The Waccabuc Country Club seeks a waiver from the Planning Board for site development plan procedures for proposed improvements at its' property located at 74 Mead Street in the R-4A zoning district in the Hamlet of Waccabuc. The project will also need to go to the Zoning Board of Appeals for the proposed country club use which is not a permitted use in the R-4A zone.

The project includes the conversion of an existing tennis court into (4) pickleball courts and installation of a woodchip path on the property from the adjacent club property to the court. No parking or lighting is proposed.

The renovation of the existing tennis court will consist of the following:

1. Infilling asphalt at the corners of the court to provide a full court with 90 degree corners (the court corners are currently mitered or California corners),
2. Relocating existing chain link fence only at the corners to enclose the corners of the court,
3. Resurfacing and restriping the existing court,
4. Installation of wind cloth on both the inside and outside of the existing 10 feet high chain link fence along the east and south sides of the court for sound buffering.
5. Installation of a woodchip path from the adjacent club property to the court.

Please place the project on the February 28, 2023 Planning Board agenda for discussion of the project with the Board. Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

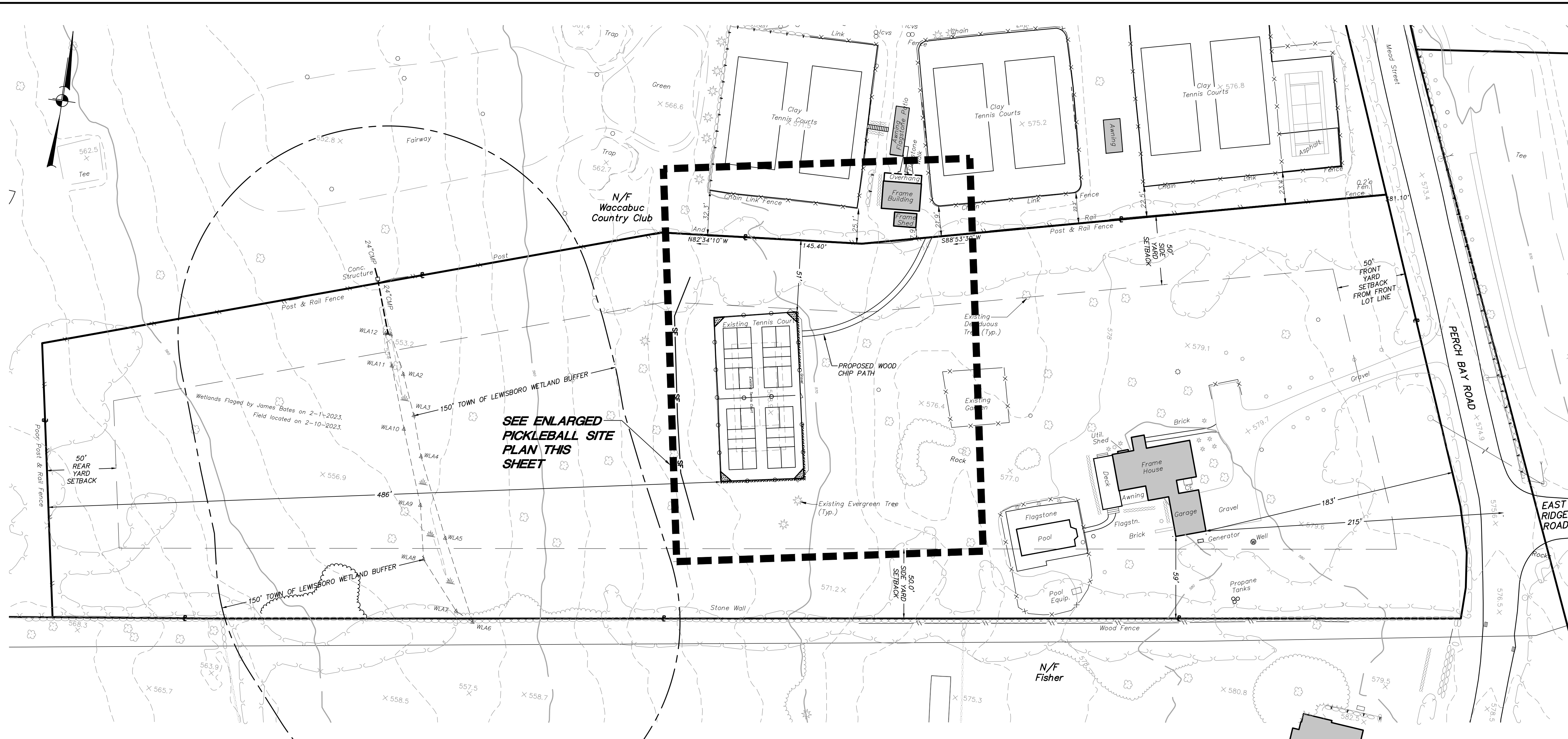
By:

Zachary M. Pearson, PE
Principal Engineer

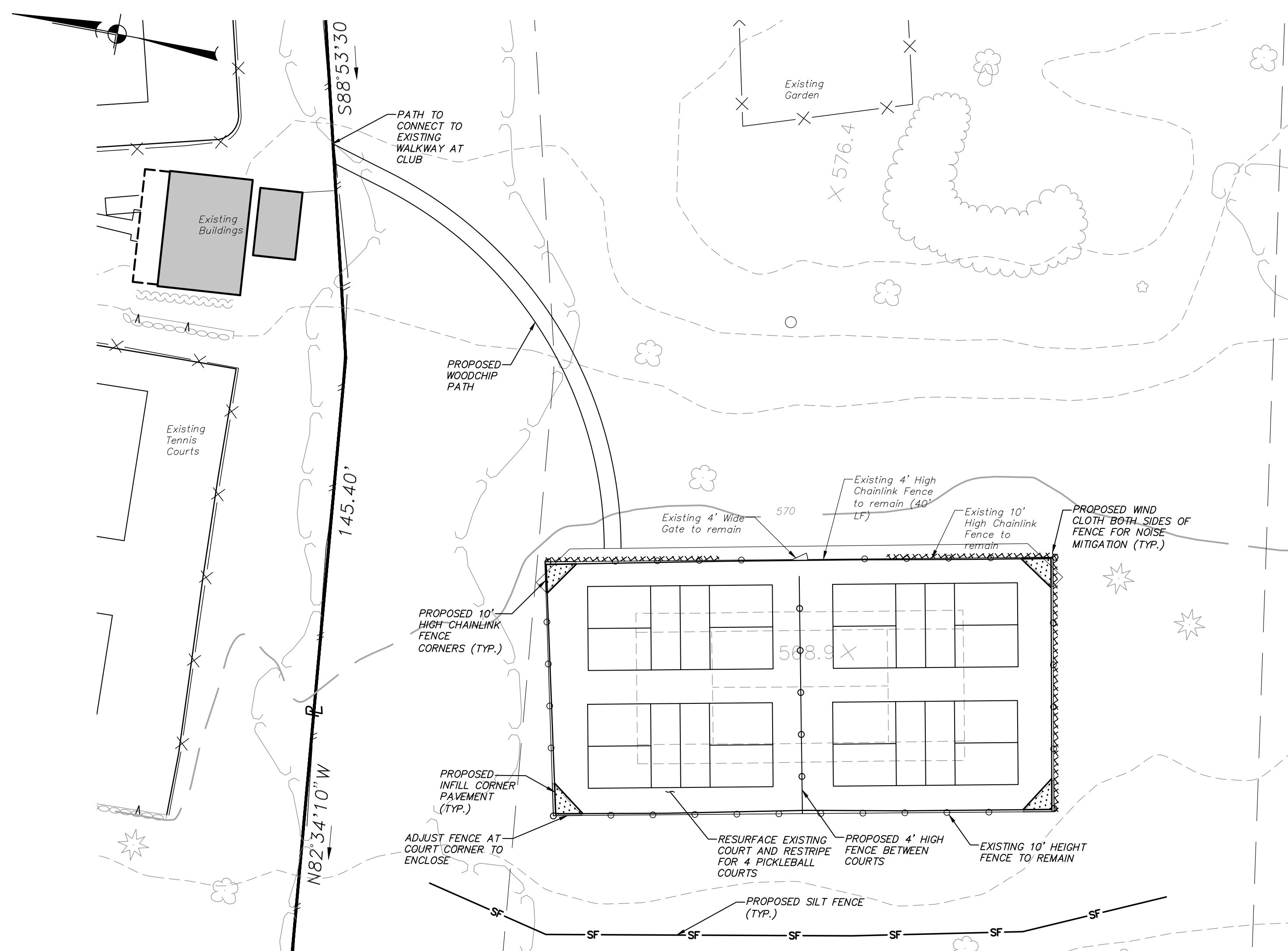
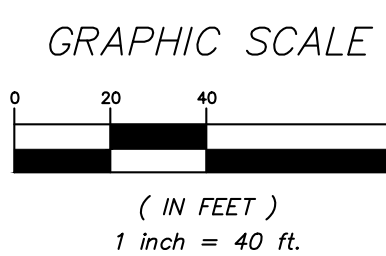
ZMP/dlm/amk

Enclosures

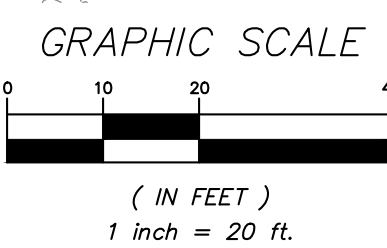
cc: Michael Sirignano, Esq., via email
John Assuma, via email
Insite File No. 23105.100



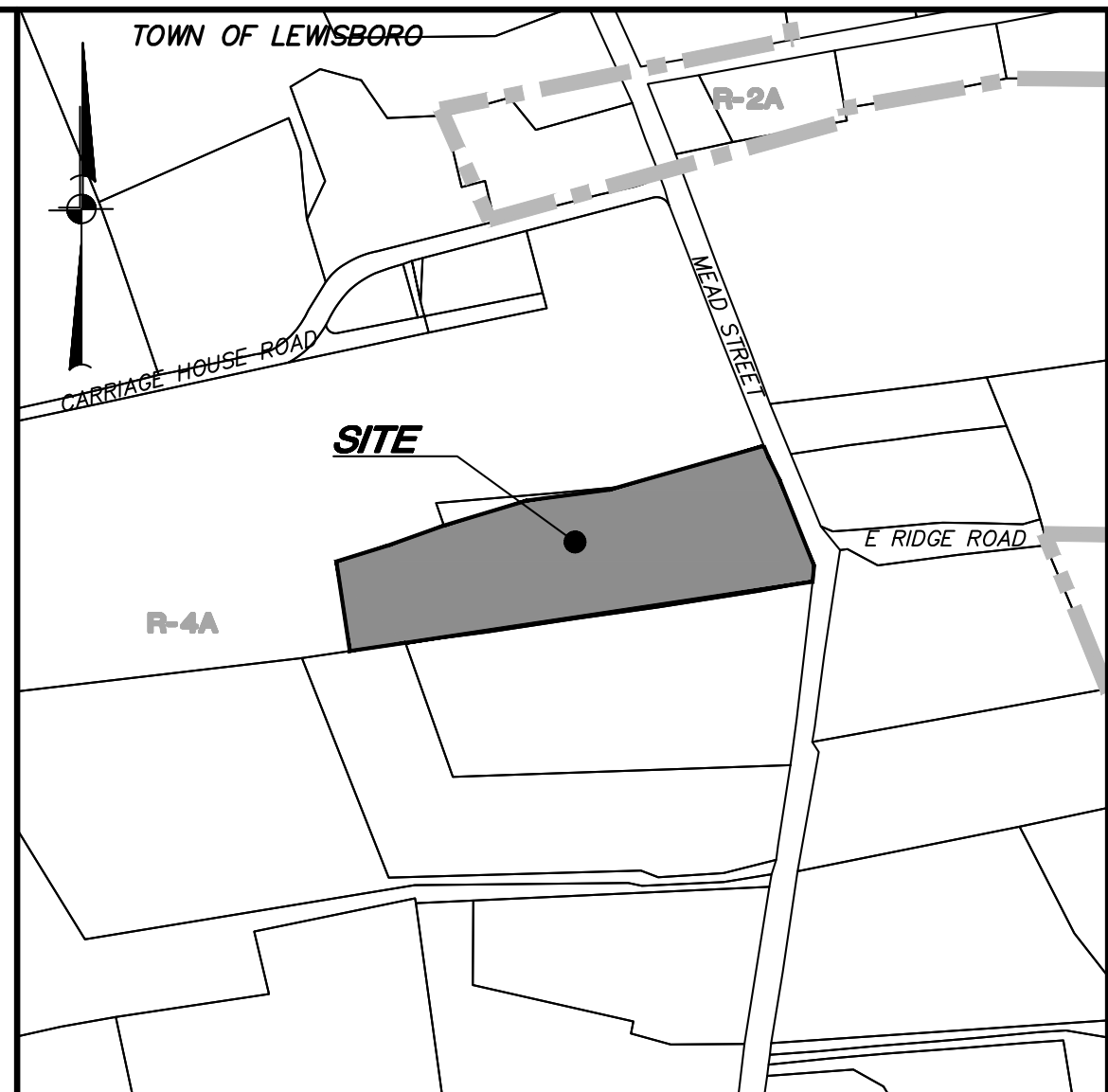
OVERALL SITE PLAN
SCALE: 1"=40'



ENLARGED PICKLEBALL SITE PLAN
SCALE: 1"=20'



R4-A ZONE REQUIREMENTS			
	REQUIRED/ PERMITTED	EXISTING	PROPOSED
Minimum Lot Size:	4 AC	6.1 AC	6.1 AC
Minimum Front Yard:			
From street center line	75'	215'	215'
From front lot line	50'	183'	183'
Minimum Side Yard:	50'	52'	51'
Minimum Rear Yard:	50'	436'	436'
Maximum Building Height:	2.5 stories/ 35'	2.5 stories/ 35'	2.5 stories/ 35'
Maximum Building Coverage:	6%	2%	2%

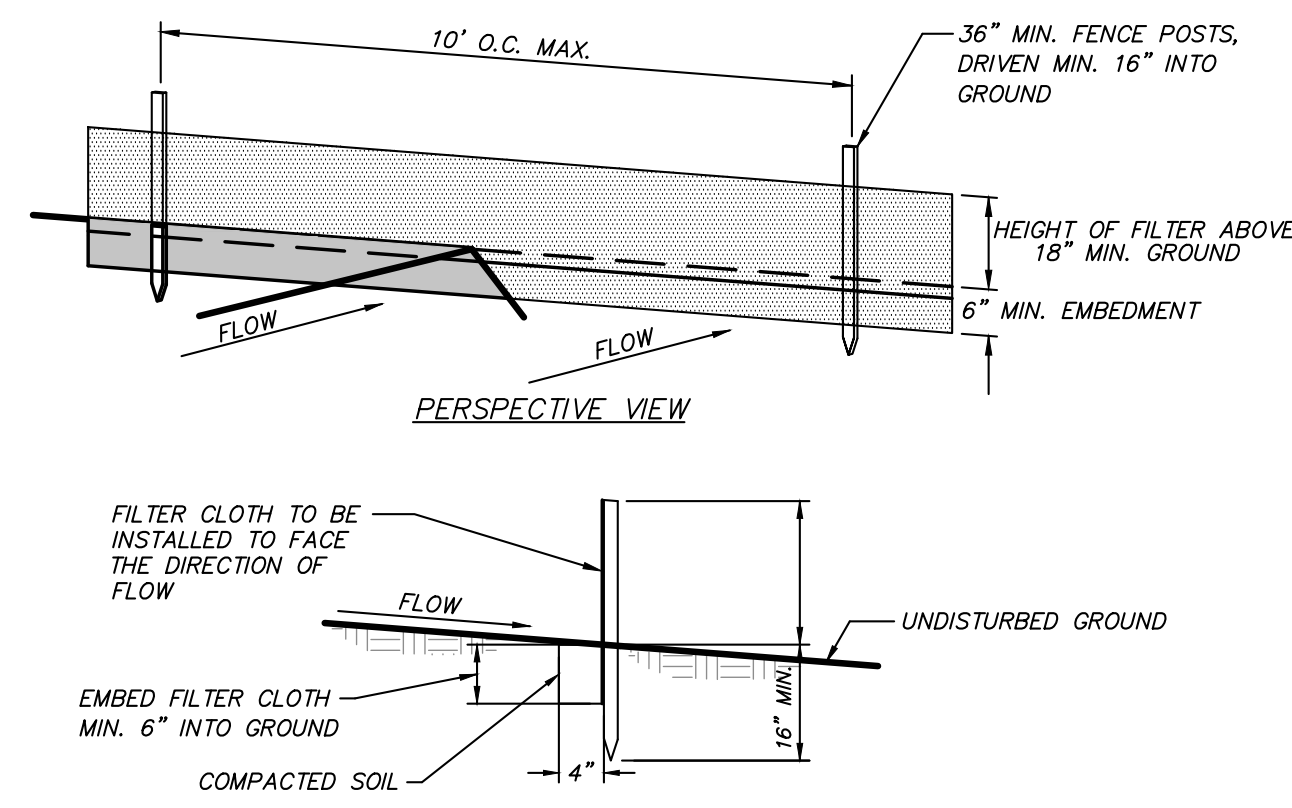
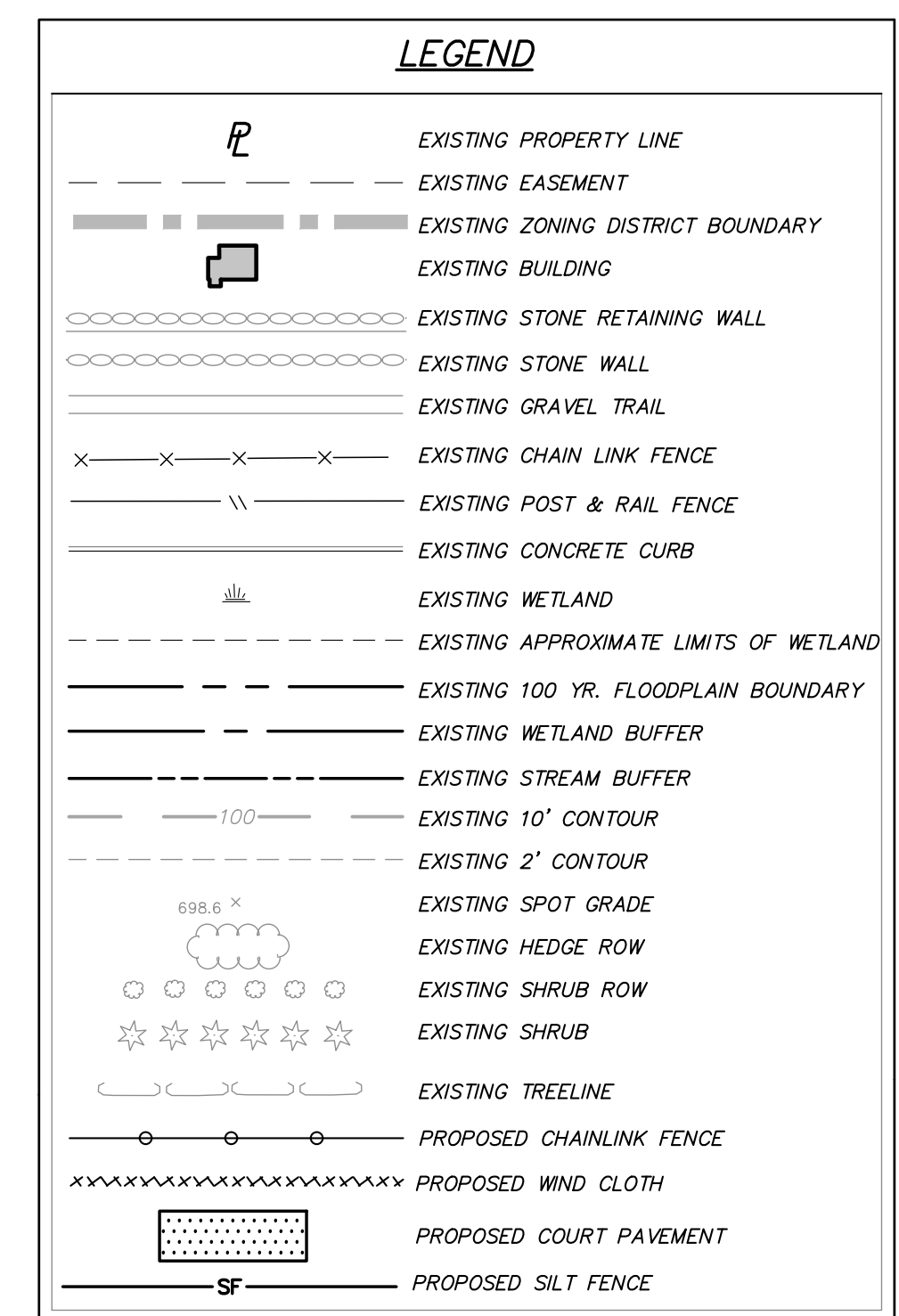


LOCATION MAP
SCALE: 1" = 400'±

OWNER/APPLICANT:
WACCABUC COUNTRY CLUB
90 MEAD STREET
WACCABUC, NY 10597

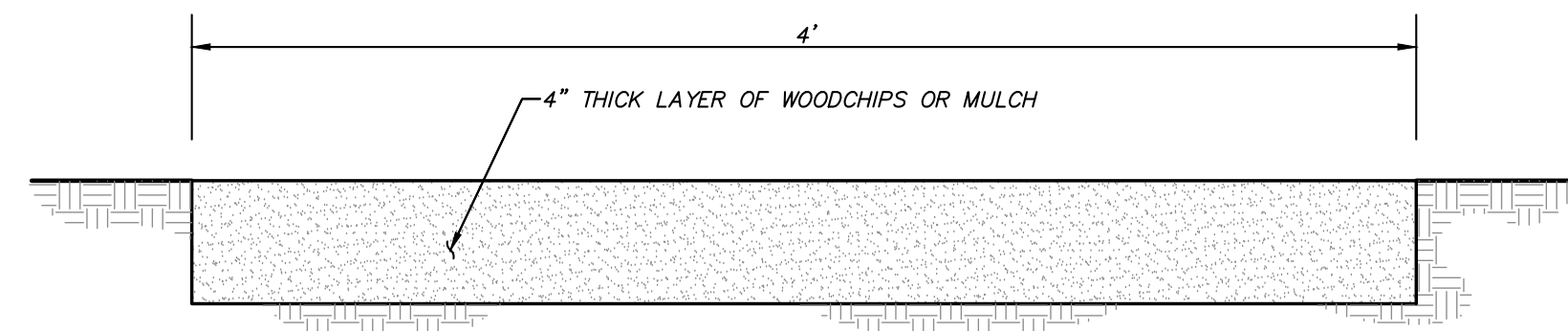
SITE DATA:
Zone: R-4A (4 Acre Residential)
Total Acreage: 6.1± AC
Tax Map No.: 42.2-1-10

- GENERAL NOTES:**
- Property lines, existing conditions and topography as shown hereon based off of survey mapping prepared by Insite Engineering, Surveying & Landscape Architecture P.C..
 - Topography shown hereon taken from both the Westchester County 2' contour, 1" = 100 scale GIS dataset dated April 2004 (elevations reference the North American Vertical Datum of 1988, NAVD 88).
 - Wetland flagging as shown hereon was delineated by James A. Bates of Ecological Analysis on February 1, 2023 and survey located by Insite Engineering, Surveying & Landscape Architecture P.C. on February 9, 2023.
 - Proposed features are labeled as such. All other features are existing.



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
FILTER CLOTH: FILTER X, MIRAF 100X, STABILINKA T140N, OR APPROVED EQUAL
PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

SILT FENCE DETAIL
(N.T.S.)



WOOD CHIP PATH DETAIL
(N.T.S.)

NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: WACCABUC COUNTRY CLUB PICKLEBALL		3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com	
DRAWING: OVERALL SITE PLAN		STATE OF NEW YORK JAMES A. BATES LICENSED PROFESSIONAL ENGINEER	
PROJECT NUMBER 23105.100	PROJECT MANAGER Z.M.P.	DRAWING NO. OP-1	SHEET 1
DATE 2-14-23	DRAWN BY J.J.S.	CHECKED BY D.L.M.	
SCALE AS NOTED			

Short Environmental Assessment Form

Part 1 - Project Information

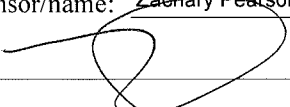
Instructions for Completing

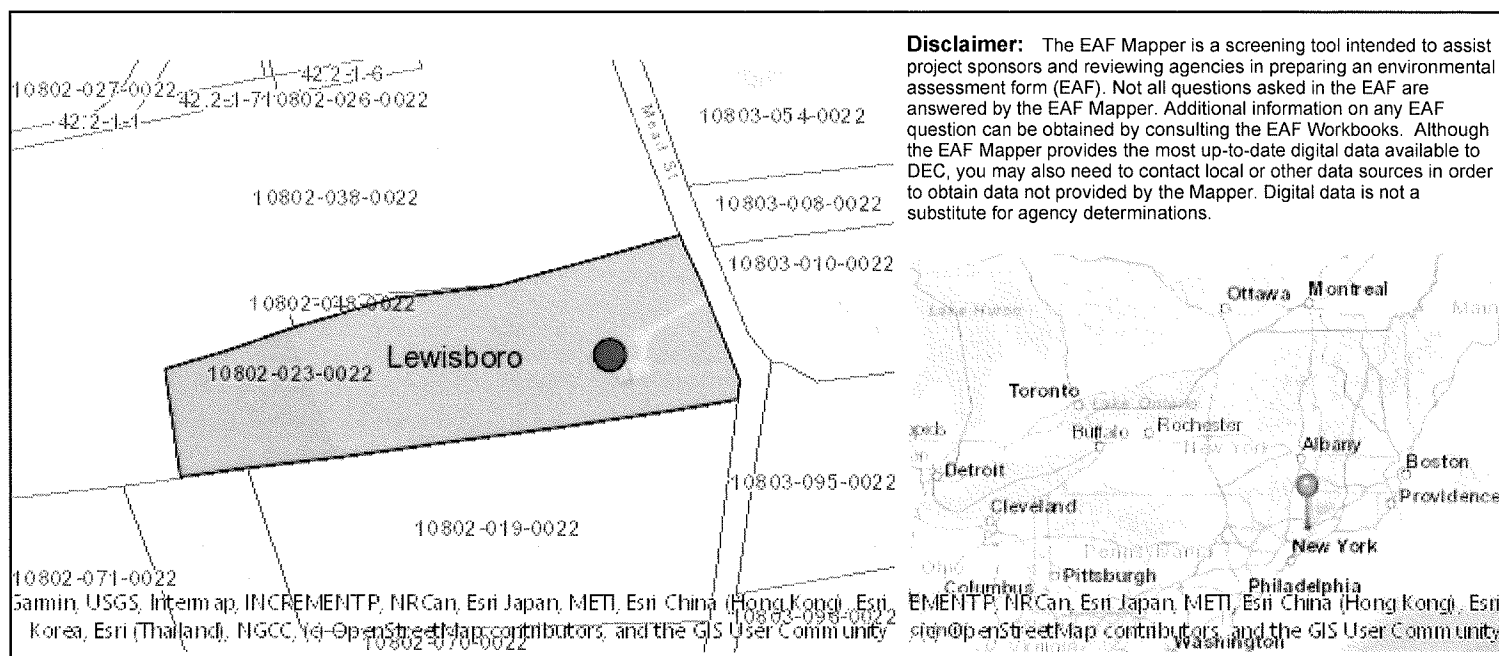
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Waccabuc Country Club Pickleball			
Project Location (describe, and attach a location map): 74 Mead Street, Town of Lewisboro			
Brief Description of Proposed Action: Waccabuc Country Club proposes to convert an existing tennis court into (4) pickleball courts. This will include infilling the "california corners" of the existing court, resurfacing and restriping the existing court minor adjustments to the existing fence at the corners of the court and installing wind cloth on the existing 10' high chain link fence. A proposed wood chip path will lead from the neighboring Club property to the pickleball courts.			
Name of Applicant or Sponsor: Zachary Pearson, PE, Principal Engineer		Telephone: 845-225-9690 E-Mail: zpearson@insite-eng.com	
Address: 3 Garrett Place			
City/PO: Carmel		State: NY	Zip Code: 10512
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Lewisboro Planning Board; Town of Lewisboro Zoning Board Town of Lewisboro ACARC approval			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			6.1 +/- acres 0.02 +/- acres 167 +/- acres
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations? An approval for the use will be required from the ZBA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: N/A	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
project does not require water			
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
project does not require wastewater			
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Waccabuc Historic District - National Register	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?			
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input checked="" type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <div style="margin-left: 40px;"> a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <div style="border-bottom: 1px solid black; height: 20px; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 20px; margin-top: 5px;"></div> </div>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: <div style="border-bottom: 1px solid black; height: 20px; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 20px; margin-top: 5px;"></div>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: <div style="border-bottom: 1px solid black; height: 20px; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 20px; margin-top: 5px;"></div>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <div style="border-bottom: 1px solid black; height: 20px; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 20px; margin-top: 5px;"></div>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Zachary Pearson, PE, Principal Engineer</u> Date: <u>February 14, 2023</u> Signature:  Title: <u>PROJECT ENGINEER</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

ARCHITECTURE AND COMMUNITY APPEARANCE REVIEW COUNCIL
TOWN OF LEWISBORO

CAL. NO. 03-23-ACARC/SC

Applicant(s): Sarah Richardsen, AICP
Insite Engineering, Surveying & Landscape Architecture

Reason for Referral: Special Character Overlay District

Address: 74 Mead Street, Waccabuc, NY

Tax Map I.D.s and Zone: Sheet 22, Block 10802, Lot 23; SCR-4A

Owner(s) of Record: Waccabuc Country Club

Decision Date: March 15, 2023

The Vote: To Approve: Rose Bonanno, Chair
Darren Mercer
Ed Ozols
Chris Winter

Absent: Ed Ozols

Presentation by: John Assumma, Waccabuc Country Club
Dawn McKenzie, RLA, Insite Engineering, Surveying & Landscape Architecture

Nature of Application: Application for construction of four pickleball courts

Evidence Presented: Site plan (OP-1) by Insite Engineering, dated February 14, 2023;

Based on the foregoing, the members of ACARC resolved to approve the Waccabuc Country Club's pickleball courts, fence changes and woodchip path at 74 Mead Street, as submitted with the condition that site plan approval be granted by the Planning Board and a building permit is issued. Note: no parking or lighting is proposed.

In favor: Rose Bonanno, Darren Mercer, and Chris Winter. Absent: Ed Ozols.




Rose Bonanno, Chair

Dated in South Salem, New York
This 15th of March, 2023

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP 
Joseph M. Cermele, P.E., CFM 
Town Consulting Professionals

DATE: March 16, 2023

RE: 20 Boutonville, LLC
20 Boutonville Road
Sheet 18, Block 10576, Lot 10

PROJECT DESCRIPTION

The subject property is located at 20 Boutonville Road within the R-2A Zoning District and is comprised of ± 61.32 acres of land, including ± 17.38 acres located within the Town of Pound Ridge. The applicant is proposing to convert an existing private horse farm into a commercial riding academy, as allowed subject to Site Plan Approval and compliance with Section 220-46.1 of the Zoning Code. The subject property contains a barn with horse stables, an indoor riding ring, grooms quarters, an outdoor riding ring, paddocks, a covered manure storage facility, and other ancillary improvements. The subject property contains wetlands that are jurisdictional to the Town of Lewisboro. The property is accessed via an existing private driveway off of Boutonville Road. No new construction or development is proposed.

SEQRA

The proposed action has been preliminarily identified as an Unlisted Action under the State Environmental Quality Review Act (SEQRA). Prior to taking action on this pending application, the Planning Board must make a determination of significance.

REQUIRED APPROVALS/REFERRALS

1. Site Development Approval is required from the Planning Board; it is recommended that a public hearing be conducted.
2. The change of use will likely require the review and approval by the Westchester County Department of Health (WCDH).
3. Approvals may be required from the Town of Pound Ridge as portions of the property are located within that jurisdiction.
4. The application should be referred to the Westchester County Planning Board in accordance with Section 239-m of the General Municipal Law; the Planning Board Administrator will coordinate this referral.

COMMENTS

1. It is recommended that the application be referred to the Building Inspector for review of zoning and code compliance matters.
2. Provide the new deed for the subject property.
3. The submitted Short EAF does not include the EAF Mapper responses; it is also incomplete with several questions either not answered or inaccurately answered. It is recommended that the Design Engineer complete the EAF.
4. Changes and potential impacts to traffic and transportation is not adequately addressed. The use of the property is changing (potentially significantly) from a private horse farm to a commercial riding academy; the number of vehicle and truck trips will likely increase as a result. The change in intensity of use has not been discussed or assessed and little information pertaining to how the facility will operate has been provided. A traffic impact and parking demand analysis may be required.
5. A standard parking calculation for the use is not specified; the number of parking spaces to be provided is case-by-case and is to be determined by the Planning Board. Parking spaces are not shown on the plan and a parking evaluation has not been provided.
6. The existing well location shall be clarified and made more pronounced (typical well symbol); WCDH regulatory setbacks shall be illustrated. Further, the Town's Riding Academy regulations prohibit a

well to be located within 100-feet of a barnyard or animal pen. The fenced areas in proximity of the well (presumably paddock areas) should be clarified as to their use.

7. As mentioned above, limited information regarding future operations has been provided. The Horse Management Plan should be prepared on the farm's letterhead and signed by the owner(s). At a minimum, the information provided on Counsel's letterhead should be included, in addition to the following:
 - a. Clarify which County and New York State Department of Environmental Conservation (NYSDEC) manure storage regulations apply and how they are being complied; the applicant states that the facility is in compliance, but the particular regulations are not identified.
 - b. A description of any proposed stables, storage buildings, grooms' quarters and other facilities must be provided, including provisions for fire safety.
 - c. Provisions for the upkeep and maintenance of cleared or grazing areas, including trails (if any).
 - d. Provide the maximum number of horses permitted by Code compared to the number proposed.
 - e. Identify whether a sound system or amplification system is proposed.
 - f. Incorporate a business plan specifying how the property will be used. Information should include hours of operation; number of staff; number, size and location of grooms quarters; will stalls be rented individually or as a group, or both? Will any portion of the property/building/stalls be subleased? Will riding lessons be provided? If so, provide programming. Will special events be held on the property? If so, provide frequency, size and type of such events. Average number visitors per day; maximum number of visitors per day during peak demand; maximum number of visitors during special events; frequency of vehicle and truck trips.
8. The existing and proposed use of the detached building located adjacent to the road should be identified and noted on the plan; does this building have plumbing facilities?
9. The width of the internal driveways shall be dimensioned on the plan; provide an existing conditions driveway profile. Note that commercial driveway standards shall apply. We defer to the Building Inspector regarding emergency vehicle access requirements per the NYS Building Code.

10. Provide fire apparatus and truck turning maneuvering diagrams; include the largest fire apparatus and truck/trailer combination anticipated for the used.
11. Identify existing and proposed vehicular and trailer parking; illustrate and dimension parking spaces.
12. The existing building height shall be identified within the zoning table.
13. The manure storage facility is described in the applicant's cover letter but should be denoted on the site plan.
14. The limits of underground water tanks for fire suppression should be illustrated on the plan; please clarify with notes whether such tanks are for sprinkler systems or storage for drafting purposes.
15. We note that a portion of the existing outdoor riding ring and portions of certain paddock areas are located within the wetland buffer; the timing of installation and approval history is unknown at this time and should be evaluated by the applicant.
16. The height of existing fencing should be identified; particularly fencing located within zoning setbacks.
17. What, if any, approvals are required from the Town of Pound Ridge? The Town of Pound Ridge should be made aware of the application and should be provided with the submitted materials.
18. The applicant should coordinate with the WCDH. It is our understanding that the proposed commercial facility will need to be reviewed and approved by the WCDH; the existing septic facility will likely need to be evaluated and a public water system will likely be required for the proposed commercial use.
19. What existing drainage systems are in place? The plan shall be revised to illustrate existing facilities, if any. Illustrate roof leader downspout locations and routing.
20. The floor plans submitted are difficult to read; the text is not legible on the overall barn plan sheet and it is not clear where the residential component is located within the barn (illustrated on second sheet). Please resubmit legible copies (to scale) and clarify existing features.
21. Are there any plans for future expansion of the use either within Lewisboro or Pound Ridge?

Chairperson Janet Andersen

March 16, 2023

Page 5 of 5

22. The Existing Conditions Survey referenced on the Site Plan shall be submitted.
23. The subject property is not currently located within the County Agricultural District; does the owner/applicant have any intention on apply to be within the Agricultural District?
24. It is recommended that the application be referred to the Fire Department for review.
25. The applicant should contact this office to schedule a site visit.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLAN REVIEWED, PREPARED BY INSITE ENGINEERING, DATED FEBRUARY 14, 2023:

- Existing Conditions Site Plan (1/1)

DOCUMENTS REVIEWED:

- Letter, prepared by Michael Fuller Sirignano, dated February 14, 2023
- Site Development Plan/Subdivision Plat Application
- Short EAF, dated October 25, 2022
- Floor Plan Architectural
- Westchester County Department of Health No Objection Approval, dated June 6, 2005

JKJ/dc

Michael Fuller Sirignano
Attorney and Counselor at Law

*Old Post Road Professional Building
892 Route 35, P. O. Box 784
Cross River, New York 10518*

*Tel: (914) 763-5500
Fax: (914) 763-9589
Email: lawoffice@sirignano.us*

February 14, 2023

Janet Anderson, Chair
Lewisboro Planning Board
79 Bouton Road
South Salem, NY 10590

Re: Applicant – 20 Boutonville LLC
Project – Riding Academy
Premises – 20 Boutonville Road South

Dear Chair Anderson & Planning Board Members:

I represent 20 Boutonville LLC, the owner of a horse farm located at 20 Boutonville Road South. The farm contains 43.940 acres in the Town of Lewisboro (Sheet 18, Block 10526, Lot 10) and a 17.38 acre contiguous parcel in the Town of Pound Ridge (Sheet 31, Block 10526, Lot 4.9), for a combined area of 61.32 acres. All agricultural buildings and most of the paddocks are located in the Town of Lewisboro. This equestrian facility was formerly known as Birdstone Farm during its prior ownership by Lee Vogelstein.

The largest structure on the property is a 1-story frame barn with 20 fully enclosed stalls, an indoor riding ring, feed room, a 2-bedroom grooms' quarters and mechanical room. A covered wood-frame structure for manure storage is attached to the northwest corner of barn (see enclosed photographs). Other accessory farm structures/facilities include a 1-story metal storage building along Boutonville Road South, several sheds, decks, a sand ring and fenced paddocks.

My client is not proposing any alterations to the aforesaid structures and equestrian facilities, all of which have CO's. Nor are we proposing any new buildings. An "as-built" survey is submitted herewith (4 sets) which shows the above-described existing conditions together with InSite's proposed Site Plan.

This horse farm and its above-described structures and facilities were privately used by the prior owner to board, train, breed and ride her own horses. Pursuant to Section 220-46.1 of the Lewisboro Zoning Code, we believe our proposed Riding Academy is eligible for waivers of the site plan review process and we respectfully request such waivers in order to expedite the approval.

As shown below, our waiver/application satisfies each of the requirements (A-G) found in Section 220-46.1:

- A. Location: The farm has safe and adequate access.
- B. Coverage: Building coverage, including accessory buildings, does not exceed 20% of the lot area. Nor does the sum total of the land covered with buildings and parking, including driveways, exceed 50% of the lot area.
- C. Setbacks: No new buildings are proposed, making setback distances of new building not applicable to this application. Off-street parking areas are more than 20 feet away from any adjoining property.
- D. Buffer area: Additional landscaped buffer areas for these existing agricultural structures are unnecessary.
- E. Parking: Reasonable and appropriate off-street parking area are existing and meet the proposed parking needs for this twenty stable farm.
- F. Horse management plan: Applicant submits the following horse management plan for approval by the Planning Board. Said plan includes provisions for the storage, disposal or removal of manure and other wastes, provisions for the feeding and exercise of the horses and provisions for the protection of adjacent properties and delineate the areas on the property which are utilized by the horses. The horse management plan includes the following:
 - (1) The storage and disposal of manure, soiled bedding and other materials that could potentially negatively affect air quality and surface water and groundwater quality will be in the covered wood-frame structure attached to the barn and such storage and disposal are in compliance with applicable Westchester County and New York State requirements. No barnyards and animal pens are located within 100 feet of a water well. The storage and disposal of manure and soiled bedding does not occur within 100 feet of a street or property line, or within a watercourse, wetlands, or wetlands buffer area.
 - (2) All processed feed shall be stored in existing feed room in rodent proof containers.
 - (3) The existing barn with stables, grooms' quarters and other facilities include provisions for fire safety and all have valid CO's. The barn is equipped with a wet fire suppression system supplied by an underground water storage tank.
 - (4) No areas of existing vegetation shall be cleared for horse grazing and/or exercising.
 - (5) The brook and pond as identified on the "as-built" survey and site plan are located along the easterly edge of the property. No equestrian uses or activities shall occur in these wetland areas or regulated buffers.
 - (6) Horses shall enter and leave the property by vehicle.

Michael Fuller Sirignano
Attorney and Counselor at Law
-3-

G. Number of horses: A maximum of twenty (20) horses will be boarded which is well below the allowable number of horses on this 61.32 acre farm.

H. Sound systems: Any use of outdoor public-address systems on the farm shall not allow more sounds to carry beyond the limits of the site than would be inherent in the ordinary residential use of the property.

We look forward to presenting our Riding Academy proposal and horse management plan to your Planning Board at its March meeting.

Very truly yours,

Michael Fuller Sirignano
Michael Fuller Sirignano

cc: 20 Boutonville LLC

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590 Tel: (914) 763-5592 Email: planning@lewisborogov.comSite Development Plan/Subdivision Plat Application – Check all that apply:

Waiver of Site Development Plan Procedures ☒
 Site Development Plan Approval ☐
 Special Use Permit Approval ☐
 Subdivision Plat Approval ☐



Step I

Step I

Step I



Step II

Step II

Step II

Step II

Step II

Step III

Project Information

Project Name: 20 Boutonville Road South Horse Farm

Project Address: 20 Boutonville Road South

Gross Parcel Area: 43.940 ac Zoning District: R-2A Sheet(s): 18 Block(s): 10526 Lot(s): 10

Project Description: Riding Academy pursuant to Sect. 220-46.1. Applicant owns additional 17.38 acres in Pound Ridge abutting its 43.940 acre horse farm in Lewisboro.

Is the site located within 500 feet of any Town boundary?

YES



NO



Is the site located within the New York City Watershed?

YES



NO



Is the site located on a State or County Highway?

YES



NO



Does the proposed action require any other permits/approvals from other agencies/departments?

Town Board



ZBA



Building Dept.



Town Highway



ACARC



NYSDEC



NYCDEP



WCDH



NYSDOT



Town Wetland



Town Stormwater



Other None

Owner's Information

Name: 20 Boutonville LLC

Email: javierhauser@gmail.com

Address: 777 Brickell Ave., Ste. 630, Miami, FL 33131

Phone: 646-761-8890

Applicant's Information (if different)

Name: _____ Email: _____

Address: _____ Phone: _____

Authorized Agent's Information

Name: Michael Fuller Sirignano, Esq.

Email: lawoffice@sirignano.us

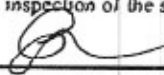
Address: PO Box 784, Cross River, NY 10518

Phone: 914-763-5500

THE APPLICANT understands that any application is considered complete only when all information and documents required have been submitted and received by the Planning Board. The applicant further understands that the applicant is responsible for the payment of all application and review fees incurred by the Planning Board.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief, and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

APPLICANT'S SIGNATURE



DATE

10/25/22

OWNER'S SIGNATURE



DATE

10/25/22

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant (Please type or print)

20 Boutonville LLC

Name of Applicant

Property Description

Tax Block(s): 10526

Tax Lot(s): 10

Tax Sheet(s): 18

Project Name

Property Assessed to:

20 Boutonville LLC

Name 777 Brickell Avenue, Ste. 630

Address Miami

City

FL

State

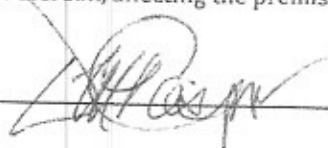
33131

Zip

Fyi:
mailing address:
Brickell Avenue
1110 Suite 603

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes:



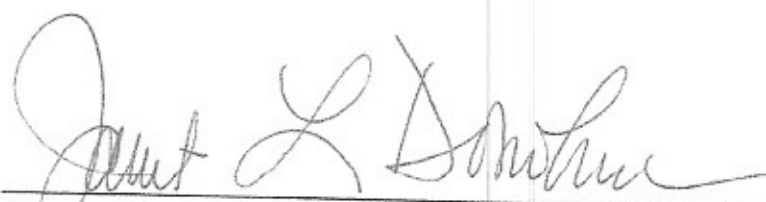
Date

10/25/2022

Sworn to before me this

25th day of October

2022



Signature - Notary Public (affix stamp)

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01D06259627
Qualified in Westchester County 4
Commission Expires April 16, 2020

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590

Email: planning@lewisborogov.com

Tel: (914) 763-5592

Fax: (914) 875-9148

Affidavit of Ownership

State of: Florida

County of: Dade

Christophe DiFalco
_____, being duly sworn, deposes and says that he/she
has offices at 777 Brickell Avenue, Ste. 630, Miami

in the County of Dade, State of Florida

and that he/she is (check one) ☐ the owner, or ☒ the Manager
of 20 Boutonville LLC Title

Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the
Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of

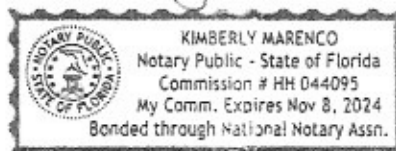
Lewisboro as:
Block 10526, Lot 10, on Sheet 18

X [Signature]
Owner's Signature

Sworn to before me this

25th day of October, 2022

[Signature]



Notary Public - affix stamp

**TOWN OF LEWISBORO
ENVIRONMENTAL QUESTIONNAIRE**

Fee: \$50.00 Date: _____

The purpose of this Questionnaire is to determine whether a Town Wetland Permit, a Town Stormwater Permit and/or coverage under the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity is required. This form does not provide authorization to commence work.

Project Address: 20 Boutonville Road South

Sheet: 18 Block: 1026 Lot(s): 10

Project Description: Waiver of site plan review for Riding Academy

This questionnaire must be accompanied with a Site Plan or, at a minimum, a Plot Plan which clearly illustrates the location and dimensions of the proposed activity. Said plans must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). Failure to submit these items will delay review.

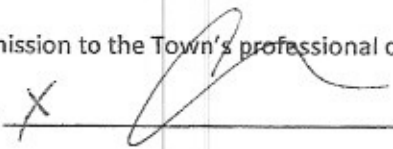
Owner's Name: 20 Boutonville LLC Phone: 646-761-8890

Owner's Address: 777 Brickell Ave., Ste. 630, Miami, FL 33131 Email: javierheuser@gmail.com

Agent's Name (if applicable): _____ Phone: _____

Agent's Address: _____ Email: _____

I hereby grant permission to the Town's professional consultants to enter onto my property to conduct a site inspection.

Owner (Signature): X  Date: 10/25/22

FOR TOWN USE – PLEASE DO NOT WRITE BELOW THIS LINE

1. The use of the property is? ☐ Residential ☒ Nonresidential
2. Is a Town Wetland Permit required? ☐ Yes ☒ No ☐ TBD
If Yes, what type of Wetland Permit is required? ☐ Administrative ☐ Planning Board ☐ TBD
3. Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No
4. Area of proposed disturbance: ☒ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☐ ≥ 1 acre ☐ TBD
5. Is a Town Stormwater Permit required? ☐ Yes ☒ No ☐ TBD
If Yes, the approval authority will be? ☐ Town Engineer/SMO ☐ Planning Board ☐ TBD
6. Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity? ☐ Yes ☒ No ☐ Requires post-construction stormwater practice

Application Fee (if required): Wetland Permit \$: _____ Stormwater Permit \$: _____

Notes: _____

Signature: _____ Date: _____
Wetland Inspector/Consultant

Short Environmental Assessment Form

Part 1 - Project Information

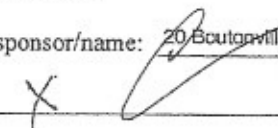
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part I based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

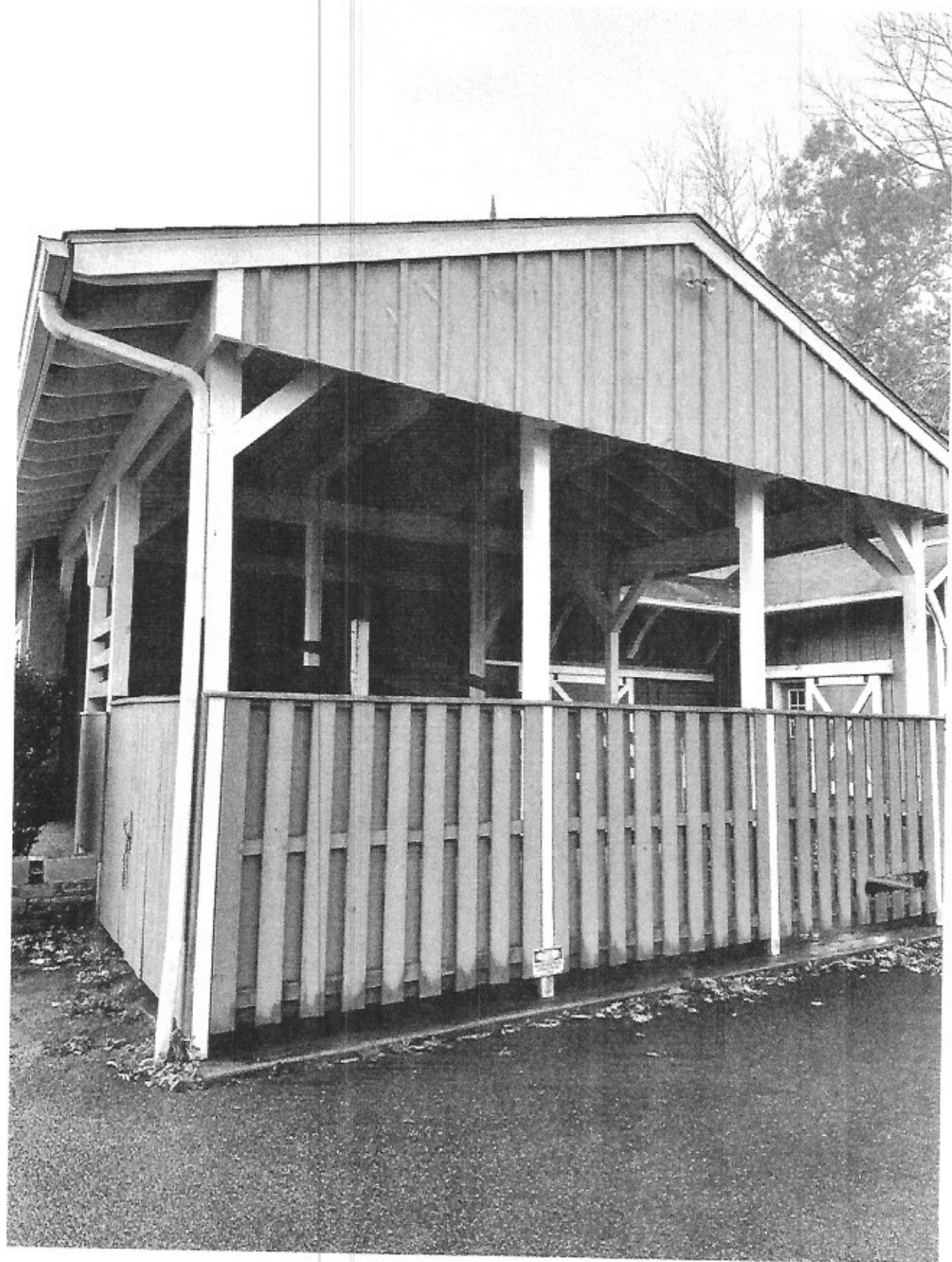
Part 1 – Project and Sponsor Information																		
Name of Action or Project: 20 Boutonville Road South Horse Farm																		
Project Location (describe, and attach a location map): 20 Boutonville Road South, Cross River, NY 10518																		
Brief Description of Proposed Action: Waiver of site plan review for riding academy pursuant to Section 220-46.1																		
Name of Applicant or Sponsor: 20 Boutonville LLC		Telephone: 646-761-8890 E-Mail: javierheuser@gmail.com																
Address: 777 Brickell Avenue, Suite 630																		
City/PO: Miami		State: Florida	Zip Code: 33131															
1. <u>Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?</u>			<table border="1" style="width: 100%; text-align: center;"> <tr> <td style="width: 50%;">NO</td> <td style="width: 50%;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>											
NO	YES																	
<input checked="" type="checkbox"/>	<input type="checkbox"/>																	
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.																		
2. <u>Does the proposed action require a permit, approval or funding from any other government Agency?</u>			<table border="1" style="width: 100%; text-align: center;"> <tr> <td style="width: 50%;">NO</td> <td style="width: 50%;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>											
NO	YES																	
<input checked="" type="checkbox"/>	<input type="checkbox"/>																	
If Yes, list agency(s) name and permit or approval:																		
3. a. <u>Total acreage of the site of the proposed action?</u>		43.940 acres																
b. <u>Total acreage to be physically disturbed?</u>		_____ acres																
c. <u>Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?</u>		61.32 acres																
4. <u>Check all land uses that occur on, are adjoining or near the proposed action:</u>																		
<table style="width: 100%;"> <tr> <td><input type="checkbox"/> Urban</td> <td><input type="checkbox"/> Rural (non-agriculture)</td> <td><input type="checkbox"/> Industrial</td> <td><input type="checkbox"/> Commercial</td> <td><input type="checkbox"/> Residential (suburban)</td> </tr> <tr> <td><input type="checkbox"/> Forest</td> <td><input checked="" type="checkbox"/> Agriculture</td> <td><input type="checkbox"/> Aquatic</td> <td colspan="2"><input type="checkbox"/> Other(Specify):</td> </tr> <tr> <td><input type="checkbox"/> Parkland</td> <td colspan="4"></td> </tr> </table>				<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential (suburban)	<input type="checkbox"/> Forest	<input checked="" type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input type="checkbox"/> Other(Specify):		<input type="checkbox"/> Parkland				
<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential (suburban)														
<input type="checkbox"/> Forest	<input checked="" type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input type="checkbox"/> Other(Specify):															
<input type="checkbox"/> Parkland																		

5. Is the proposed action,		NO	YES	N/A
a. <u>A permitted use under the zoning regulations?</u>		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. <u>Consistent with the adopted comprehensive plan?</u>		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. <u>Is the proposed action consistent with the predominant character of the existing built or natural landscape?</u>		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. <u>Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</u>		NO	YES	
If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. <u>Will the proposed action result in a substantial increase in traffic above present levels?</u>		NO	YES	
b. Are public transportation services available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. <u>Does the proposed action meet or exceed the state energy code requirements?</u>		NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>	
10. <u>Will the proposed action connect to an existing public/private water supply?</u>		NO	YES	
If No, describe method for providing potable water: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. <u>Will the proposed action connect to existing wastewater utilities?</u>		NO	YES	
If No, describe method for providing wastewater treatment: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. <u>Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</u>		NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: <u>20 Boutonville LLC, By: Christophe DiFalco</u> Date: <u>October 25, 2022</u></p> <p>Signature: <u></u> Title: <u>Manager</u></p>		













Manure Storage and Disposal —

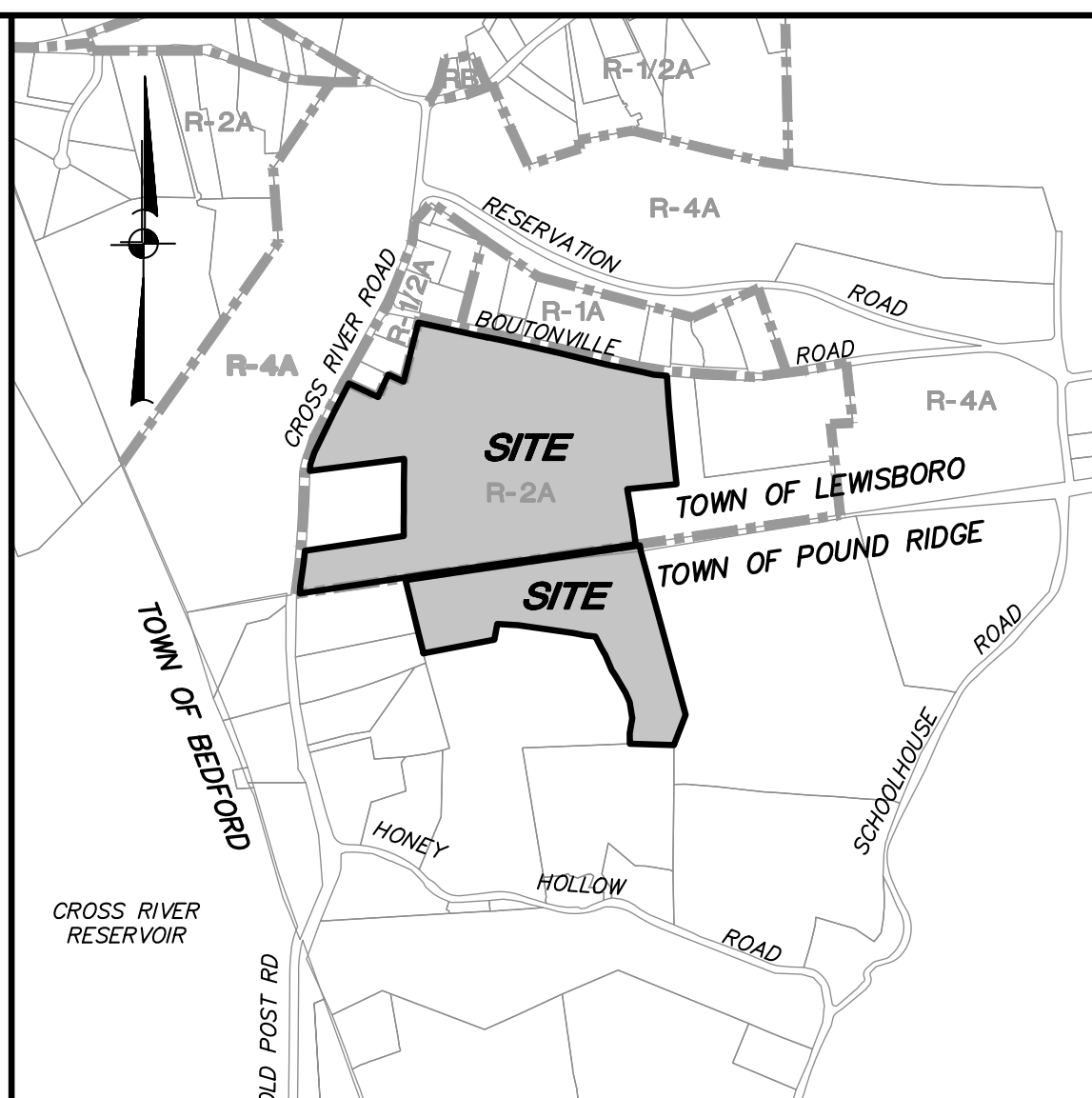
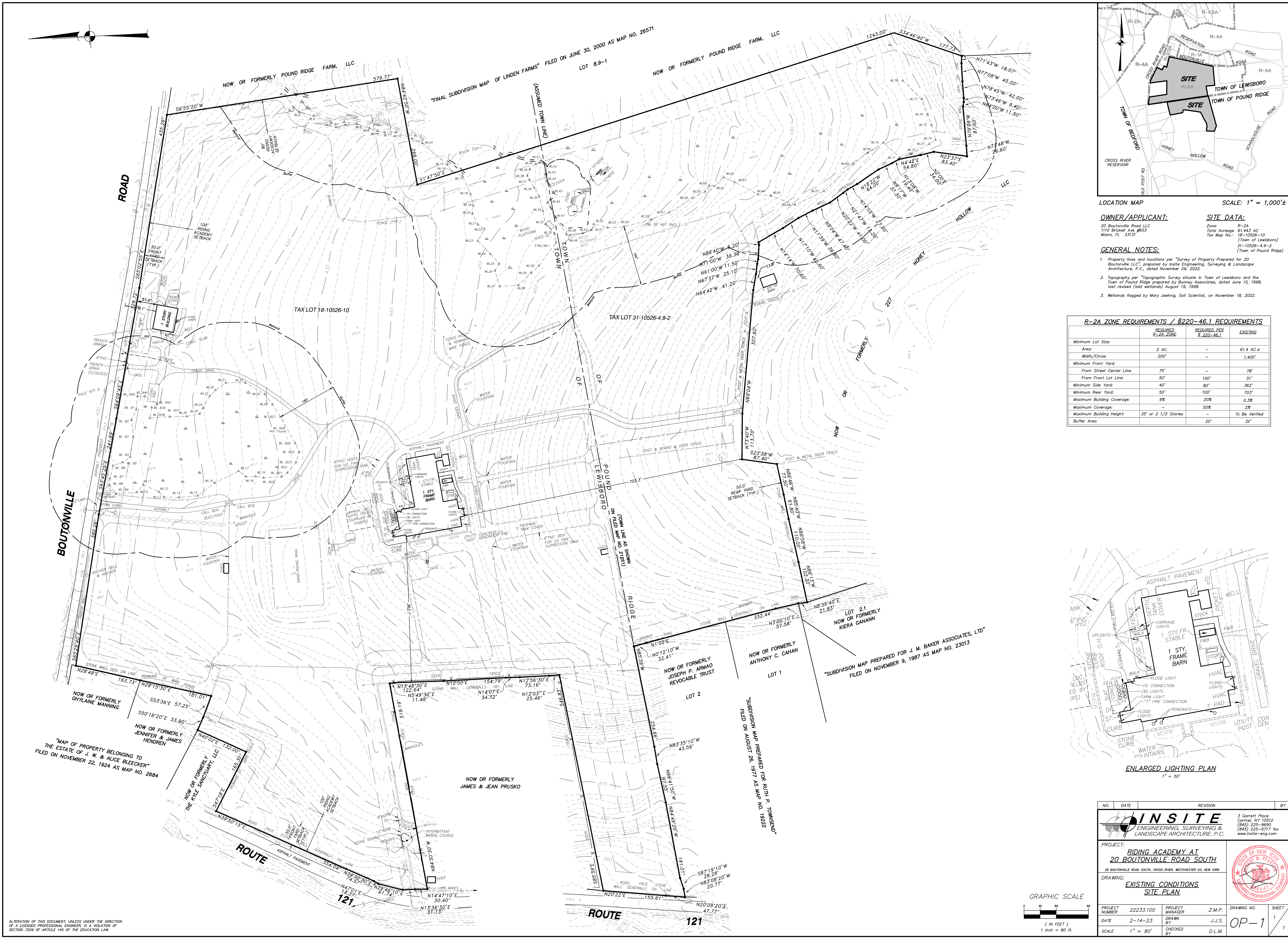
There is an existing structure that is dedicated to manure storage and easy disposal. It's a covered pavilion attached to the barn with a concrete curb and fenced in surround. A manure container truck can pull up into the main parking area and back the manure container up into the manure loading pavilion and drop off the container. There is a ramp so that manure can be easily loaded into the container using wheelbarrows from the horse stalls. Then when the manure container is full, the outside vendor can come and pickup the container the same way they dropped it off. It's a great structure that is already existing at the barn complex. Please see below pictures and the location on the survey.

Location of Manure Pavilion on the front side of the barn.



Pictures of the manure pavilion





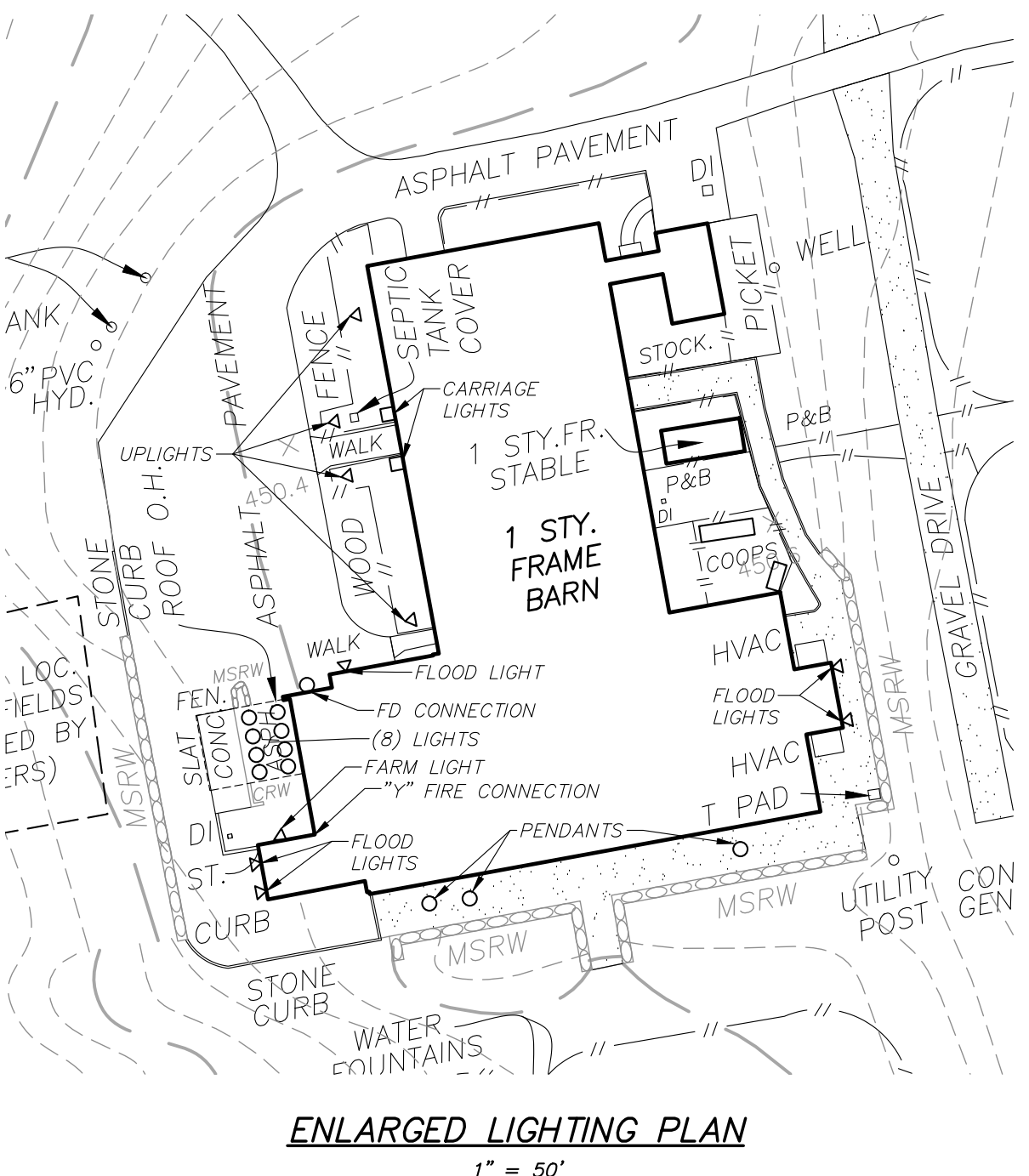
LOCATION MAP SCALE: 1" = 1,000'±



<u>OWNER/APPLICANT:</u>	<u>SITE DATA:</u>
20 Boutonville Road LLC	Zone: R-2A
1110 Brickell Ave #603	Total Acreage 61.443 AC
Miami, FL 33131	Tax Map No.: 18-10526-10
	(Town of Lewisboro)
	31-10526-4.9-2
<u>GENERAL NOTES:</u>	(Town of Pound Ridge)

GENERAL NOTES: (Town of Pound Ridge)

1. Property lines and locations per "Survey of Property Prepared for 20 Boutonville LLC", prepared by Insite Engineering, Surveying & Landscape Architecture, P.C., dated November 29, 2022.
2. Topography per "Topographic Survey situate in Town of Lewisboro and the Town of Pound Ridge prepared by Bunney Associates, dated June 15, 1998, last revised (odd wetlands) August 19, 1998.
3. Wetlands flagged by Mary Jaehnig, Soil Scientist, on November 18, 2022.

<u>R-2A ZONE REQUIREMENTS / S220-46.1 REQUIREMENTS</u>			
	<u>REQUIRED R-2A ZONE</u>	<u>REQUIRED PER S 220-46.1</u>	<u>EXISTING</u>
Minimum Lot Size:			
Area:	2 AC.	—	61.4 AC.±
Width/Circle:	200'	—	1,400'
Minimum Front Yard:			
From Street Center Line:	75'	—	78'
From Front Lot Line:	50'	100'	51'
Minimum Side Yard:	40'	80'	362'
Minimum Rear Yard:	50'	100'	703'
Maximum Building Coverage:	9%	20%	0.3%
Maximum Coverage:	—	50%	2%
Maximum Building Height:	35' or 2 1/2 Stories	—	To Be Verified
Buffer Area:		20'	32'



NO.	DATE	REVISION	BY
		INSITE ENGINEERING, SURVEY & LANDSCAPE ARCHITECTURE, P.C.	
PROJECT:		3 Carrell Place Carmel, NY 10512 (845) 225-9699 (845) 225-9717 fax www.insite-eng.com	
RIDING ACADEMY AT 20 BOUTONVILLE ROAD SOUTH			
20 BOUTONVILLE ROAD SOUTH, CROSS RIVER, WESTONESTER CO. NEW YORK			
DRAWING:		<u>EXISTING CONDITIONS</u> <u>SITE PLAN</u>	
PROJECT NUMBER	22233.100	PROJECT MANAGER	Z.M.P.
DATE	2-14-23	DRAWN BY	J.J.S.
SCALE	1" = 80'	CHECKED BY	D.L.M.
		DRAWING NO.	SHEET
		OP-1	1 / 1

GENERAL BID NOTES

1. ALL CARPET WILL BE PURCHASED AND INSTALLED BY OWNER.
2. ALL INTERIOR FLOOR AND WALL TILE WILL BE PURCHASED BY OWNER AND INSTALLED BY CONTRACTOR.
3. THE BATHROOM VANITY AND MEDICINE CABINET WILL BE PURCHASED BY OWNER AND INSTALLED BY CONTRACTOR.

MECHANICAL BID NOTES

1. INSTALL NEW HYDRO AIR HANDLER WITH A/C COIL IN THE MASTER BEDROOM ATTIC. CONNECT NEW SYSTEM TO EXISTING HOT WATER BRANCH IN THE HAYLOFT ABOVE THE EXISTING APARTMENT.
2. PROVIDE AND INSTALL ALL NECESSARY CONTROLS, DUCTWORK AND GRILLS/DIFFUSERS.

ELECTRICAL BID NOTES

1. PROVIDE ALL NECESSARY WIRING AND DEVICES AS INDICATED ON PLAN.
2. ALL LIGHT FIXTURES WILL BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.
3. USE EXISTING 200AMP PANEL IN EXISTING APT. LAUNDRY ROOM.
4. PROVIDE ALL NECESSARY POWER TO AIR HANDLER, CONDENSER AND WHIRLPOOL BATH.

PLUMBING BID NOTES

1. PROVIDE ALL NECESSARY PIPING AND VALVES FROM EXISTING HOT WATER HEATER AND COLD WATER SUPPLY IN HAYLOFT ABOVE EXISTING APT.
2. ALL PLUMBING FIXTURES AND FAUCETS WILL BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.

CONC. SLAB

- 3" THK. CONC. MIN. 3000 PSI. CONC.
- 1" RIGID FOUNDATION INSULATION
- 10 MIL VAPOR BARRIER
- 6" CLEAN COMPACTED GRAVEL

FOOTING

- 24" Wx 12" D CONTINUOUS 3000 PSI CONC.
- HORIZONTAL RE BAR #4 @ 48" O.C.
- TOP KEYED TO EXISTING FOUNDATION WALL.
- ASSUMED SOIL COMPRESSIVE STRENGTH (2000 PSI)

FOOTING DRAINS

- 4" PERFORATED PLASTIC PIPE
- 16" X 16" PIPE BED
- GED TECH FILTER PAPER

FOUNDATION WATER PROOFING

- CEMENT STUCCO FINISH ABOVE GRADE
- "RUBBER WALL" BELOW GRADE
- "Dimple Board" PROTECTION INSULATION BRD.

FOUNDATION WALL

- 8" CONCRETE BLOCK WALL
- VERTICAL RE BAR #4 @ 48" O.C. FILL CORES W/ CONCRETE
- HORIZONTAL WIRE LADDER REINFORCING @ 16" O.C.
- SILL PLATE AND ANCHORS 1/2" DIA. EMBEDDED 12" MIN
- 72" O.C. @ 12" FROM ENDS OF SILL PLATES
- 2X6 SILL PLATE PRESSURE TREATED
- SEMI-RIGID INSULATION

DOOR SCHEDULE		TYPE	MANUFACTURER	FRAME	SADDLE	HARDWARE	NOTES
#	LOCATION	DOOR SIZE					
101A	HALLWAY	3'0" X 6'0"	EXTERIOR, THERMA-TRUE (101A) - PAINTED	BONNEVILLE	PRE-HUNG, SOLID FIR, PAINTED	ALUM. W/ WEATHERSTRIP	TEMPERED, INSULATED GLASS WEATHERSTRIPPED FRAME
101B	HALLWAY	3'0" X 6'0"	EXTERIOR, THERMA-TRUE (101B) - PAINTED	EASY CHANGE, #1 WITH #11 TEMPERED STORM SASH	DOOR 101A	PRE-HUNG, SOLID FIR, PAINTED	TEMPERED, INSULATED GLASS WEATHERSTRIPPED FRAME
102	HALLWAY	6'0" X 6'0" 101A	INTERIOR, WOOD, SINGLE PANEL, PAINTED	BONNEVILLE B-50 (WGB21)	PRE-HUNG, SOLID FIR, PAINTED	ALUM. W/ WEATHERSTRIP	TEMPERED, INSULATED GLASS WEATHERSTRIPPED FRAME
103	HALLWAY	3'0" X 6'0"	INTERIOR, WOOD, SINGLE PANEL, PAINTED	SIMPSON #720	PRE-HUNG, SOLID FIR, PAINTED	PINE	T.B.S.
104	LINEN	2'6" X 6'0"	INTERIOR, WOOD, SINGLE PANEL, PAINTED	SIMPSON #720	PRE-HUNG, SOLID FIR, PAINTED	PINE	T.B.S.
105	MASTER BATHROOM	2'6" X 6'0"	INTERIOR, WOOD, SINGLE PANEL, PAINTED	SIMPSON #720	PRE-HUNG, SOLID FIR, PAINTED	PINE	T.B.S.
106	W.I.C.	2'6" X 6'0"	INTERIOR, WOOD, SINGLE PANEL, PAINTED	SIMPSON #720	PRE-HUNG, SOLID FIR, PAINTED	PINE	T.B.S.
107	W.I.C.	2'6" X 6'0"	INTERIOR, WOOD, SINGLE PANEL, PAINTED	SIMPSON #720	PRE-HUNG, SOLID FIR, PAINTED	PINE	T.B.S.
108	MASTER BEDROOM	6'1" X 6'0" 101A	GLIDING EXTERIOR, WOOD, SINGLE PANEL 12 LITES - PAINTED	BONNEVILLE B-50 (WGB21)	PRE-HUNG, SOLID FIR, PAINTED	ALUM. W/ WEATHERSTRIP	TEMPERED, INSULATED GLASS WEATHERSTRIPPED FRAME

WINDOW SCHEDULE:

#	LOCATION	ROUGH OPENING (W X H)	TYPE	MANUF. / MODEL NO.	GLASS TYPE	NOTES
FIRST FLOOR						
101	NOT USED					
102	NOT USED					
103	MASTER BEDROOM	2'1" X 2'7"	WOOD CASMENT	BONNEVILLE SERIES 10 (WAG11) 1929	INSULATED	7/8" SOL. INSECT SCREEN. FIELD APPLIED STOOL.
104	M. BATH	4'0" X 5'0" X 1'11" 1/8"	WOOD AWNING	BONNEVILLE SERIES 10 (WAG11) 4317	INSULATED	7/8" SOL. INSECT SCREEN. FIELD APPLIED STOOL.
105	MASTER BEDROOM	4'0" X 5'0" X 1'11" 1/8"	WOOD AWNING	BONNEVILLE SERIES 10 (WAG11) 4317	INSULATED	7/8" SOL. INSECT SCREEN. FIELD APPLIED STOOL.
106	MASTER BEDROOM	4'0" X 5'0" X 1'11" 1/8"	WOOD AWNING	BONNEVILLE SERIES 10 (WAG11) 4317	INSULATED	7/8" SOL. INSECT SCREEN. FIELD APPLIED STOOL.
107	MASTER BEDROOM	5'4" 1/2" X 5'2" 1/2" (FRAME SIZE)				SUPPLIED BY OWNER

- NOTES
1. ALL WINDOWS TO BE WOOD, FACTORY PRIMED & SITE FINISH PAINT
2. NO BRICK MOLDING ON ALL WINDOWS
3. VERIFY IN FIELD ALL OPENING DIMENSIONS

INTERIOR TRIM

- 1X4 WINDOW TRIM, PAINTED SEE ELEV DWG.
- 1X4 DOOR TRIM, PAINTED
- 1X6 BASE BD., PAINTED

INTERIOR PARTITIONS

- 2 X 4 W.D. STUDS @ 16" O.C.
- 3" 5" BATT SOUND INSULATION WHERE INDICATED
- 1/2" GYP. BRD. BOTH SIDE
- 1/2" GREEN BRD. IN BATHROOM
- 1/2" CEMENT BRD. @ CERAMIC TILE IN SHOWER

WALL SECTION

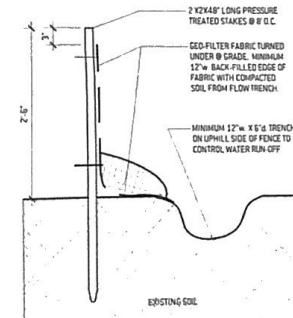
- 1/2" GYP. BRD.
- 2 X 6 W.D. STUDS @ 16" O.C.
- HEADERS (3) 2 X 10 DOUG. FIR #2 OR BETTER
- R 19 PAPER FACED BATT INSULATION
- 1/2" C.C. PL. W/WRAP
- TYVEK B.L.C. 5-MEMBR.
- 1 1/2" PLYWOOD, 5-MEMBR. PAINTED
- TRIM 1 1/2" X (SEE ELEV DWG) CEDAR "ARCH KNOTTY" SOLID STAIN
- ALUM. FLASHING OVER WINDOW DWP EOOD
- STAINLESS STEEL NAILS FOR ALL CEDAR

CEILING/ATTIC FLOOR

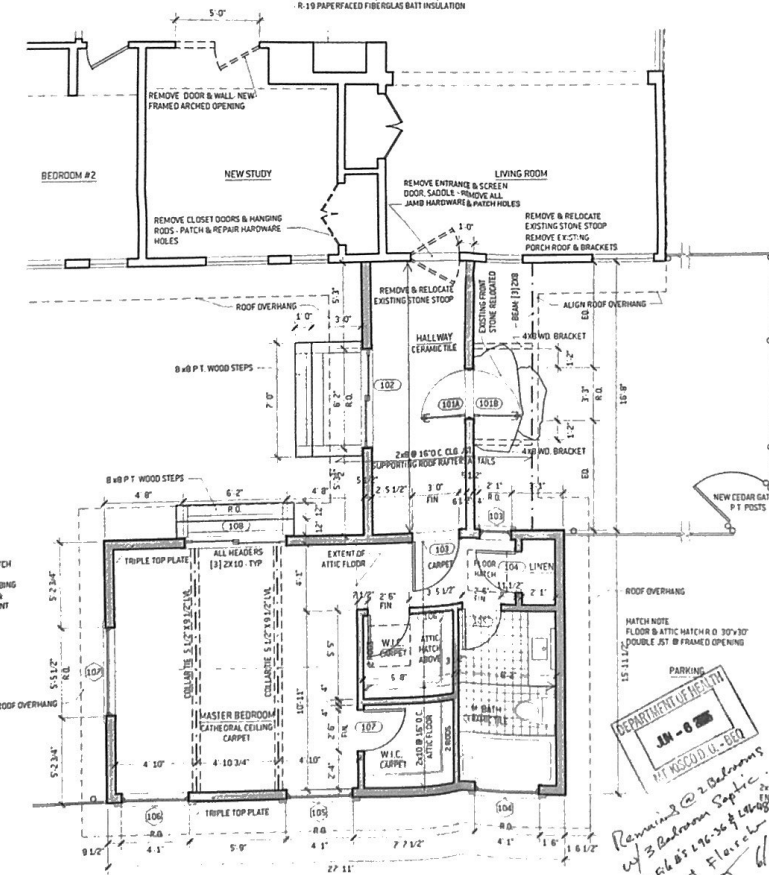
- 2X 10 WOOD ATTIC JOIST (DOUG. FIR #2 OR BETTER) @ 16" O.C. W/ 2 ROWS OF BRIDGING
 - 3/4" TYP. PLYWOOD SUBFLR
 - 1/2" GYP. BRD. @ CEILING
- # HALLWAY FLOOR
- 2X10 W.D. JOIST @ 16" O.C. (DOUG. FIR #2 OR BETTER)
 - 3/4" TYP. PLYWOOD SUBFLR
 - 10 MIL VAPOR BARRIER
 - LIGHT WEIGHT CONC. W/ WOVEN WIRE MESH CERAMIC TILE
 - R 19 PAPER FACED FIBERGLAS BATT INSULATION

BEDROOM WING FLOOR

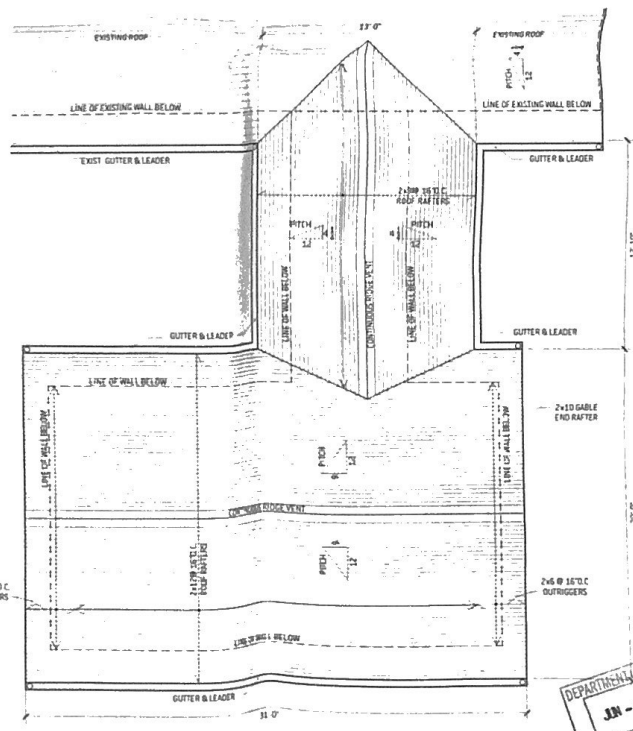
- UP 200 11 7/8" W.D. JOIST @ 16" O.C. W/ 2 ROWS OF BRIDGING
- DOOR LITE 3/4" UNDER ALL PARALLEL PARTITIONS AND FLOOR OPENINGS
- 3/4" TYP. PLYWOOD SUBFLR
- 10 MIL VAPOR BARRIER
- 1/2" CEMENT BRD. UNDERLAYMENT (BATHROOM ONLY)
- CERAMIC FLOOR TILE (BATHROOM ONLY)
- R 19 PAPER FACED FIBERGLAS BATT INSULATION



1. EROSION CONTROL FENCE
SCALE: 1/4" = 1'-0"



2. PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"





3. PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

1. PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP 
Joseph M. Cermele, P.E., CFM 
Town Consulting Professionals

DATE: March 16, 2023

RE: Wolf Conservation Center
Mead Street and Buck Run
Sheet 21, Block 10803, Lots 3, 77, 65, 81, 82, 83, 86, and 88

PROJECT DESCRIPTION

The subject property consists of ±32.3 acres of land and is located off Buck Run, a private road, within the R-2A and R-4A Zoning Districts. The applicant has submitted an application for a Special Use Permit, under Section 220-43.2, Private Nature Preserves, of the Zoning Code, and is proposing several improvements in the furtherance of its goals and objectives.

SEQRA

The proposed action has been preliminarily identified as an Unlisted Action under the State Environmental Quality Review Act (SEQRA) and the Planning Board is conducting a coordinated review as Lead Agency. The Planning Board must issue a Determination of Significance prior to taking action on this pending application.

REQUIRED APPROVALS/REFERRALS

1. Subdivision, a Special Use Permit, a Wetland Activity Permit and a Town Stormwater Permit are required from the Planning Board; a public hearing is required to be held.
2. Area variance(s) may be required from the Zoning Board of Appeals.

Chairperson Janet Andersen

March 16, 2023

Page 2 of 6

3. The application must be referred to the Architecture and Community Appearance Review Council (ACARC) for review and recommendations.
4. Westchester County Department of Health (WCDH) Approval is required for Realty Subdivision, reconstruction of an existing sanitary sewage disposal systems and new potable water well(s). A public water system will likely be required by the WCDH.
5. The proposed action requires Stormwater Pollution Prevention Plan (SWPPP) approval from the New York City Department of Environmental Protection (NYCDEP).
6. Land disturbance will exceed one (1) acre located within the NYCDEP East of Hudson Watershed; coverage under the New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit for Stormwater Discharge from Construction Activity (GP-0-20-001) is required.
7. An Article 24 Freshwater Wetland Permit may be required from the NYSDEC.
8. Improvements and modifications within the State right-of-way will require approval from the New York State Department of Transportation (NYSDOT).
9. The proposed action must be referred to the Westchester County Planning Board in accordance with Section 239-m of the General Municipal Law; the Planning Board administrator will coordinate this referral.

COMMENTS

1. It is recommended that the Planning Board review the responses provided in connection with the Part 2 EAF submitted by the applicant.
2. As previously requested, the applicant shall submit an updated Existing Conditions Survey (boundary and 2-foot contours), signed and sealed by a NYS Licensed Land Surveyor.
3. The applicant has acknowledged the need to update and resubmit its previously submitted business plan and written description demonstrating compliance with the Special Use Permit provisions for Private Nature Preserves. The business plan shall include a title and date for reference purposes.
4. It is unclear on the plans which existing trees are to be removed and which are to remain and be protected during construction. Please make the tree symbols more pronounced and place an "X" through those trees to be removed. Provide tree protection measures for existing trees to remain and located within the limits of disturbance and 25 feet beyond; tree protection should be shown on the erosion control plan. A tree removal chart should be included.

Chairperson Janet Andersen

March 16, 2023

Page 3 of 6

5. The Wetland Mitigation Plan appears appropriate; however, provide a calculation demonstrating compliance with the Town's 1:1 mitigation ratio requirement (area of disturbance within the buffer compared to area of mitigation).
6. The Lighting Plan is satisfactory; however, please provide manufacturer cut sheets for the different light fixtures proposed.
7. We note that the driveway and road profiles have been reviewed by the Fire Department, and the applicant has indicated the proposed profiles are intended to match existing road and driveway grades to the greatest intent possible to minimize land disturbance. Please provide this office with a memo from the Fire Department's acceptance of the driveway grades. Also, as previously noted, both the private road and the driveway, proposed to be modified, do not meet width and grade requirements, as per Chapter 195, Subdivision of Land, and Section 220-55D of the Town Code. A determination must be made by the Building Inspector as to whether a zoning variance is required.
8. As previously requested, a figure/exhibit illustrating the quantified cut and fill calculation should be provided. The applicant has acknowledged the request and will be submitting the map under separate cover.
9. The use of Green Infrastructure Practices for compliance with required water quality treatment, as noted in the applicant's response to our previous comment memo (Comment #12) has not been included in the SWPPP. There are no proposed tree plantings calculated within the SWPPP's Area Reduction Practice Worksheet, nor is it accounted for in Question #29 of the NOI. Please revise or clarify. Finally, it does not appear that stormwater runoff will be able to flow toward this Green Infrastructure Practices due to the proposed curbing. It seems an alternate driveway or treatment practice design may be required.
10. The elevation of the emergency spillway for Infiltration Basin 1.1 in relation to the rim and inverts of CB #10 and #11 should be evaluated. It appears that in the 100-year storm, the conveyance between CB #10 and #11 is completely submerged and the peak water surface elevation is within seven (7) inches of the catch basin's rim elevation. Additionally, it appears that the pond's emergency spillway is set higher than the catch basin rims. In the event of a major storm and/or a failure in the primary overflow control, stormwater will surcharge out of the catch basins before discharging over the emergency spillway as intended. Please review and revise as needed.
11. The applicant acknowledges that the SWPPP Report will need to include pipe flow calculations; please provide with future submissions. The calculations shall demonstrate that the proposed pipe network along the Buck Run driveway will have sufficient capacity.
12. As previously noted, we continue to recommend the need for diversion swales, water bars, and erosion blankets to be utilized during construction. The practices as shown and described in the

SWPPP will only function once the conveyances have been installed. It is recommended that Infiltration Basin #1.1P should be used as temporary sediment trap during construction. A second temporary sediment trap may be required at the upper portion of the development. Provide adequate sizing calculations in accordance with the NYSDEC Stormwater Management Design Manual (SMDM).

13. Inlet protection is required around CB #24. Additionally silt fence is required west of the roadway work and any location downgradient from construction.
14. There appears to be discrepancies between the stormwater model and the plans that require coordination, as follows:
 - The inverts for Diversion Manhole #1.2 in the model differ from what is noted on the plan's Drainage Schedule as well as the detail.
 - It appears that within Diversion Manhole #1.2 that the invert of the bypass out of DMH #2 is lower than the invert out to HDS 1.2 and the infiltration units. This would prevent stormwater from entering the treatment system.
 - The detail of Diversion Manhole #1.2 requires clarification with the elevations shown and modeled in the SWPPP, specifically with regard to the weir elevation and inlet pipe.
 - There appears to be two feet of void space in the Stormwater infiltration based on the peak stormwater elevation during the 100-yr storm event resulting in a large volume of unused storage volume within the practice. Please clarify.
 - The curve numbers (CN value) used in hydraulic model is based soil groups with a soil class designation of B and C soils, however, Question #6 of the NOI indicates C and D soils. Please clarify.
15. Comments regarding the NOI are as follows:
 - Provide the Federal Tax ID.
 - Question #14 should be answered "yes".
 - Question #40, "Freshwater Wetlands/Article 24" should be checked since work will take place in the NYSDEC Wetland Adjacent Area.
16. Proposed top and bottom wall elevations should be shown on the grading plan.
17. The proposed accessible parking spaces and loading areas required ADA signage.
18. Additional spot grades should be provided in the vicinity of the ADA parking spaces to confirm they comply with maximum slope requirements (2% max).

Chairperson Janet Andersen

March 16, 2023

Page 5 of 6

19. It appears that the fire truck turning movements conflict with the accessible parking spaces, retaining wall, and edge of pavement at proposed Building #1, as well as the spaces at the administrative headquarters. Please revise and adjust as needed to demonstrate adequate maneuverability.
20. On Sheet PP-1 it appears that the label for proposed acreage for Lot #2 located within the R-2A and R-4A Zones does not correspond to the zoning chart, when combined. Please clarify or revise.
21. Revise and or add the following note to all the wall sections on the detail sheet: "The construction of all walls greater than or equal to four (4) feet in height shall be certified by the Design Professional prior to issuance of a Certificate of Occupancy/Completion."
22. The limits of disturbance shall be added to the grading plan. All erosion controls shall be located within the limits of disturbance. The plan shall note that disturbance limits shall be staked in the field prior to construction.
23. The weep hole illustrated in the pipe anchor detail should be removed. This may promote a drainage pattern which could cause erosion below the pipes.
24. Please include the Pipe Anchor Detail notes below the drainage schedule on the drainage plans.
25. We note that concrete curbs are shown only in the locations of the concrete sidewalks and asphalt curbs are proposed throughout the remaining area of the site. The applicant should consider using concrete curbs throughout the project for their durability and longevity.
26. Please dimension and illustrate on the site plans the two (2) foot bumper overhang for the 16.5 foot long parking spaces. This overhang area shall be shown to be free of guide railing, retaining walls, landscaping, etc.
27. It is expected that the WCDH will require that a 72-hour pump test be performed for the public water system. The applicant shall coordinate with this office regarding the pump test, including preparation and approval of a work plan.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY BIBBO ASSOCIATES, LLP, DATED FEBRUARY 7, 2023:

- Cover (CS-1)
- Preliminary Subdivision Plan (PP-1)
- Existing Conditions Plan (EX-1)

Chairperson Janet Andersen

March 16, 2023

Page 6 of 6

- Existing Conditions & Removals Plan (EX-2)
- Layout Plan – South (LP-1)
- Layout Plan – North (LP-2)
- Construction Plan – South (CP-1)
- Construction Plan – North (CP-2)
- Erosion Control Plan (EC-1)
- Erosion Control Notes & Details (EC-2)
- Road Profiles (P-1)
- Drainage Profiles (P-2)
- Turning Maneuvers (T-1)
- Sight Distance & Profiles (SD-1)
- Mitigation Plan (M-1)
- Lighting Plan (LP-1)
- Details (D-1, D-2, D-3)

DOCUMENTS REVIEWED:

- Letter, prepared by Janet J. Giris, dated February 7, 2023
- Notice of Intent
- Full EAF Parts 1 and 2, dated February 7, 2023
- Stormwater Pollution Prevention Plan Report, dated February 7, 2023
- Lot Line Change Map, dated September 9, 2021

JKJ/dc

INLAND WETLANDS
COMMISSION
Telephone (203) 563-0180
Fax (203) 563-0284



TOWN HALL
238 Danbury Road
Wilton, Connecticut 06897

RECEIVED BY

MAR - 2 2023

Town Clerk
Town of Lewisboro

March 1, 2023

CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Town Clerk
Town of Lewisboro
PO Box 500
11 Main Street
South Salem, NY 10590

Town Clerk:

Pursuant to Public Act 87-533, the Wilton Inland Wetland Commission hereby gives written notice of an application involving regulated activities within 500 feet of the Lewisboro/Wilton Town Boundary. The subject of the application is for invasive plant removal and planting of natives within a regulated area at 101 Silver Spring Road, Wilton, CT.

Should you have any questions or comments, please contact our office at the above number. The application is available for review on our website at www.wiltonct.org.

Sincerely,

Liz Larkin
Administrative Assistant

INLAND WETLANDS
COMMISSION
Telephone (203) 563-0180
Fax (203) 563-0284



TOWN HALL
238 Danbury Road
Wilton, Connecticut 06897

APPLICATION FOR A MINOR REGULATED ACTIVITY

For Office Use Only:

	WET# _____
Filing Fee \$ _____	Wilton Land Record Map# _____
Date of Submission _____	Volume # _____ Page # _____
Date of Acceptance _____	Assessor's Map # _____ Lot# _____

APPLICANT INFORMATION:

Applicant: <u>Jennifer and Claude Amadeo</u>	Agent (if applicable) <u>The LaurelRock Company</u>
Address <u>101 Silver Spring Road</u>	Address <u>969 Danbury Road</u>
<u>Wilton, CT 06897</u>	<u>Wilton, CT 06897</u>
Telephone <u>203-979-7104</u>	Telephone <u>203-984-4269</u>
Email <u>jenamadeo@gmail.com</u>	Email <u>peggy.garbus@laurelrock.com</u>

PROPERTY INFORMATION:

Property Address <u>101 Silver Spring Road</u>	Site Acreage <u>4.35</u>
Acres of altered Wetlands On-Site <u>0</u>	Cu. Yds. of Material Excavated <u>15</u>
Linear Feet of Watercourse <u>0</u>	Cu. Yds. of Material to be Deposited <u>15</u>
Linear Feet of Open Water <u>0</u>	Acres of altered upland buffer <u>0</u>
Sq. Ft. of proposed and/or altered impervious coverage <u>0</u>	Sq. Ft. of disturbed land in regulated area <u>2000+/-</u>

APPLICATION REQUIREMENTS:

Is The Site Within a Public Water Supply Watershed Boundary? NO _____ YES* <u>X</u> _____	Is The Site Within 500 Feet of a Town Boundary? NO _____ YES* <u>X</u> _____
--	---

* If the answer is yes, then the applicant is responsible for notifying the appropriate water authority and/or adjoining community's Wetlands Department. Instructions for notification are available at the office of the commission.

Project Description and Purpose: The five (5) year project encompasses the removal of invasive
plant species within this area, predominately Rosa multiflora and Euonymus alatus. Removal will be
done manually. The area will be remediated with native ferns, monitored for returning invasives annually and
ferns installation to continue. Severl small to medium size dead trees to be removed at this time.

In addition, the applicant shall provide three (3) collated paper copies of the following information as well as an electronic submission via email to mike.conklin@wiltonct.org & elizabeth.larkin@wiltonct.org **

- ☒ A. Written consent from the owner authorizing the agent to act on his/her behalf
- ☒ B. A Location Map at a scale of 1" = 800'
- ☒ C. **A Site Plan showing existing and proposed features**
- ☒ D. Names and addresses of adjoining property owners

****Application materials shall be collated and copies of documents more than two pages in length shall be double sided.**

See Section 7 of the Wetlands and Watercourses Regulations of the Town of Wilton for a more detailed description of applications requirements.

The Applicant or his/her agent certifies that he is familiar with the information provided in this application and is aware of the penalties for obtaining a permit through deception, inaccurate or misleading information.

By signing this application, permission is hereby given to necessary and proper inspections of the subject property by the Commissioners and designated agents of the Commission or consultants to the Commission, at reasonable times, both before and after a final decision has been rendered.

Applicant's Signature: _____ Date: 2/22/23

Agent's Signature (if applicable): Peggy Garbus Date: 2/22/23

February 23, 2023

Town of Wilton, Environmental Affairs
TOWN HALL
239 Danbury Road
Wilton, CT 06897

To the Department of Environmental Affairs:

We hereby grant consent for the LaurelRock company to act on our behalf in applying for the minor regulated activity to take place on our property at 101 Silver Spring Road, Wilton, CT.

Sincerely,

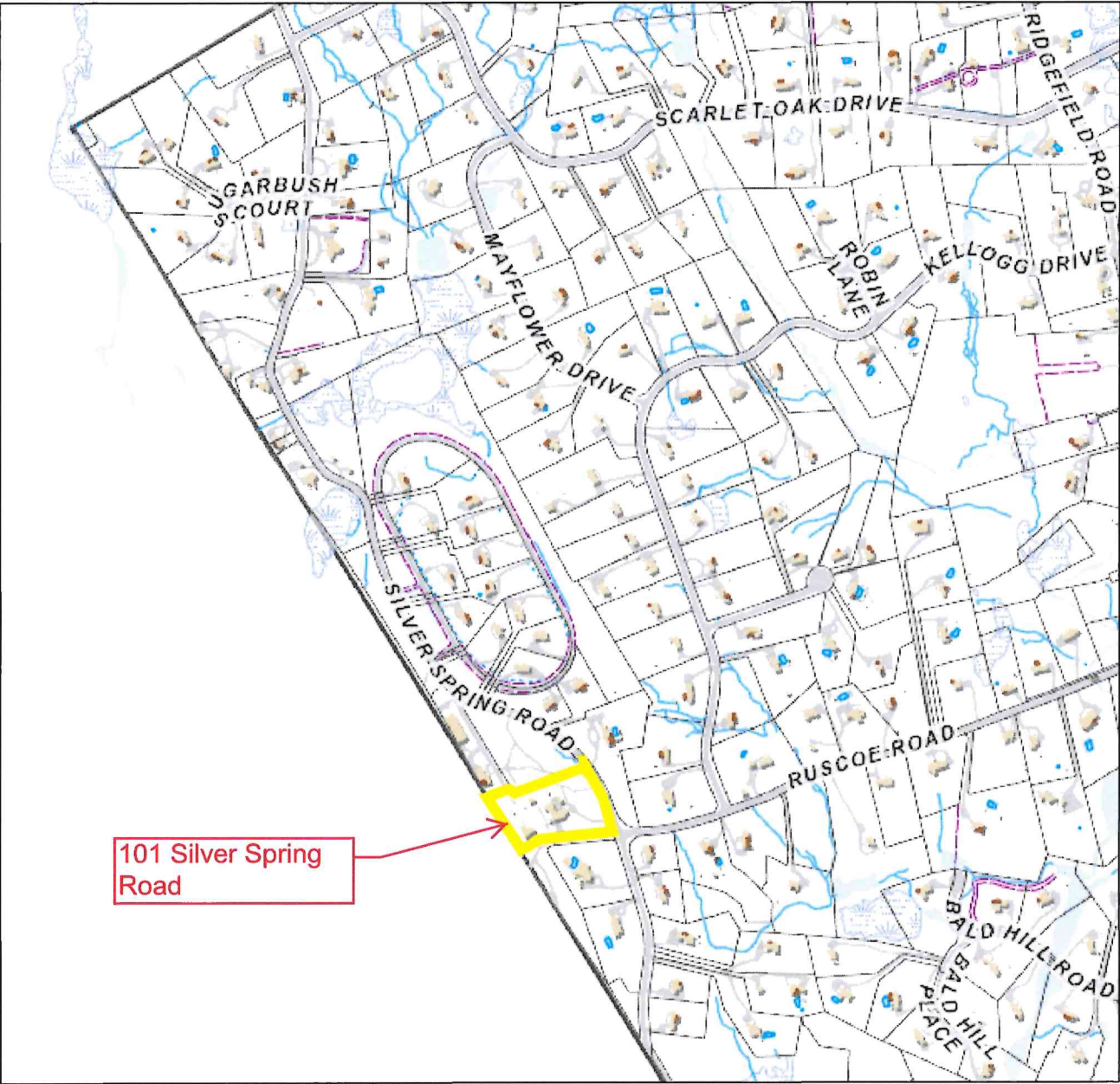
DocuSigned by:

CE0E42909DBB4D0...
Jennifer Amadeo

Town of Wilton
Geographic Information System (GIS)



Date Printed: 4/25/2022



MAP DISCLAIMER - NOTICE OF LIABILITY
This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Wilton and its mapping contractors assume no legal responsibility for the information contained herein.

Zoning Effective: July 28, 2017
Planimetrics Updated: 2014
Approximate Scale: 1 inch = 800 feet
0 800 Feet



Location Map



Adjoining Property Owner

May 2, 2022

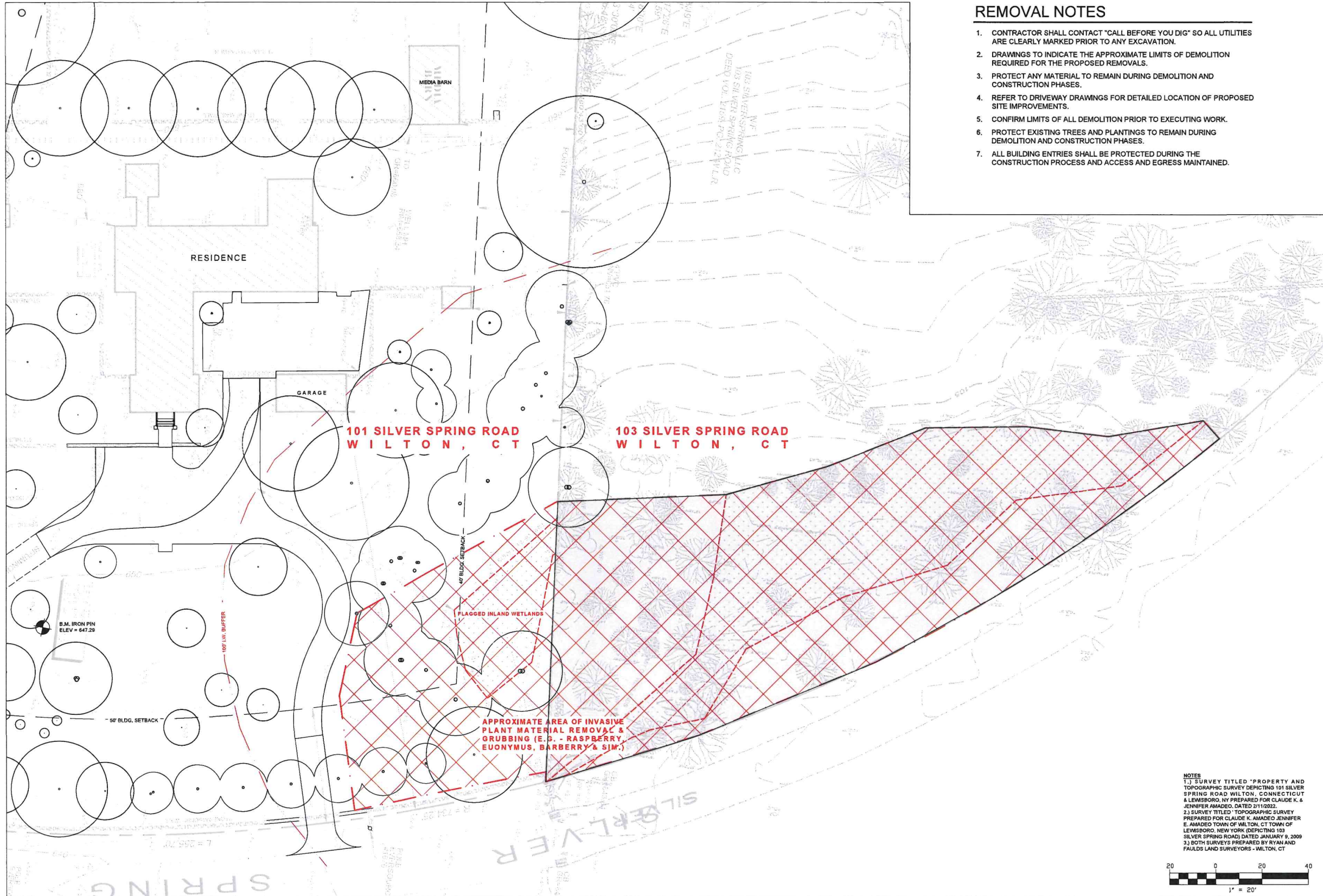
Rock Star Enterprises, LLC.
105 Silver Spring Road
Wilton, CT 06897

103 Silver Spring, LLC.
101 Silver Spring Road
Wilton, CT 06897

Peggy Vandervoort Kumble
99 Silver Spring Road
Wilton, CT 06897

Steven and Loretta Bortner
97 Silver Spring Road
Wilton, CT 06897

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REMOVAL NOTES

1. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" SO ALL UTILITIES ARE CLEARLY MARKED PRIOR TO ANY EXCAVATION.
2. DRAWINGS TO INDICATE THE APPROXIMATE LIMITS OF DEMOLITION REQUIRED FOR THE PROPOSED REMOVALS.
3. PROTECT ANY MATERIAL TO REMAIN DURING DEMOLITION AND CONSTRUCTION PHASES.
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7. ALL BUILDING ENTRIES SHALL BE PROTECTED DURING THE CONSTRUCTION PROCESS AND ACCESS AND EGRESS MAINTAINED.

AMADEO RESIDENCE

101-103 SILVER SPRING RD
WILTON, CT



969 DANBURY ROAD
WILTON, CONNECTICUT

T 203 544 0062
F 203 544 0707

www.laurelrock.com

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REDNISS & MEAD
22 FIRST STREET
STAMFORD, CT 06905
T (203) 327-0500

CIVIL ENGINEER
CHAPPA & PAOLINI ENGINEERS, LLC
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ISSUE	DATE	DESCRIPTION
1	05/19/2022	INLAND WETLAND SUBMISSION
2	12/21/2022	AMENDED INLAND WETLAND SUBMISSION
3	01/24/2023	RELEASED FOR BIDDING
4	02/22/2023	I.W. MINOR PERMIT SUBMISSION
5		
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10		

DATE: AUGUST 31, 2022
DRAWN BY: SMW
REVIEWED BY: MAS
SCALE: 1" = 20' - 0"

SEAL:

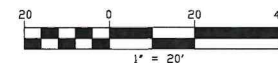


DRAWING TITLE:
SITE PLAN - INVASIVE
REMOVALS

SHEET NO.:

L 0.1

NOTES
1.) SURVEY TITLED "PROPERTY AND TOPOGRAPHIC SURVEY DEPICTING 101 SILVER SPRING ROAD WILTON, CONNECTICUT & LEWISBORO, NY PREPARED FOR CLAUDE K. & JENNIFER AMADEO, DATED 2/11/2022.
2.) SURVEY TITLED "TOPOGRAPHIC SURVEY DEPICTING 103 SILVER SPRING ROAD WILTON, CT TOWN OF LEWISBORO, NEW YORK (DEPICTING 103 SILVER SPRING ROAD) DATED JANUARY 9, 2009
3.) BOTH SURVEYS PREPARED BY RYAN AND FAULDS LAND SURVEYORS - WILTON, CT



NOTE
DRAWING NOT TO SCALE IF COPIED AND REDUCED FROM ORIGINAL SIZE UNLESS OTHERWISE NOTED

INLAND WETLANDS
COMMISSION
Telephone (203) 563-0180
Fax (203) 563-0284



TOWN HALL
238 Danbury Road
Wilton, Connecticut 06897

March 2, 2023

CERTIFIED MAIL - RETURN RECEIPT REQUESTED

Town Clerk
Town of Lewisboro
PO Box 500
11 Main Street
South Salem, NY 10590

Town Clerk:

Pursuant to Public Act 87-533, the Wilton Inland Wetland Commission hereby gives written notice of an application involving regulated activities within 500 feet of the Lewisboro/Wilton Town Boundary. The subject of the application is for invasive plant removal and planting of natives within a regulated area at 103 Silver Spring Road, Wilton, CT.

Should you have any questions or comments, please contact our office at the above number. The application is available for review on our website at www.wiltonct.org.

Sincerely,

Liz Larkin
Administrative Assistant

INLAND WETLANDS
COMMISSION
Telephone (203) 563-0180
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TOWN HALL
238 Danbury Road
Wilton, Connecticut 06897

P6 copy

APPLICATION FOR A MINOR REGULATED ACTIVITY

For Office Use Only:

WET#	_____
Filing Fee \$	Wilton Land Record Map# _____
Date of Submission _____	Volume # _____ Page # _____
Date of Acceptance _____	Assessor's Map # _____ Lot# _____

APPLICANT INFORMATION:

Applicant: Jennifer and Claude Amadeo	Agent (if applicable) The LaurelRock Company
Address 103 Silver Spring road	Address 969 Danbury Road
Wilton, CT 06897	Wilton, CT 06897
Telephone 203-979-7104	Telephone 203-984-2469
Email jenamadeo@gmail.com	Email peggy.garbus@laurelrock.com

PROPERTY INFORMATION:

Property Address 103 Silver Spring Road	Site Acreage 4.35
Acres of altered Wetlands On-Site _____	Cu. Yds. of Material Excavated 15
Linear Feet of Watercourse _____	Cu. Yds. of Material to be Deposited 15
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Sq. Ft. of proposed and/or altered impervious coverage _____	Sq. Ft. of disturbed land in regulated area 2000+/-

APPLICATION REQUIREMENTS:

Is The Site Within a Public Water Supply Watershed Boundary? NO _____ YES* <input checked="" type="checkbox"/>	Is The Site Within 500 Feet of a Town Boundary? NO _____ YES* <input checked="" type="checkbox"/>
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By signing this application, permission is hereby given to necessary and proper inspections of the subject property by the Commissioners and designated agents of the Commission or consultants to the Commission, at reasonable times, both before and after a final decision has been rendered.

Applicant's Signature: _____ Date: 02/27/23

Agent's Signature (if applicable): Peggy Garbus Date: 02/27/23

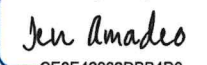
February 28, 2023

Town of Wilton, Environmental Affairs
TOWN HALL
239 Danbury Road
Wilton, CT 06897

To the Department of Environmental Affairs:

We hereby grant consent for the LaurelRock company to act on our behalf in applying for the minor regulated activity to take place on our property at 103 Silver Spring Road, Wilton, CT.

Sincerely,

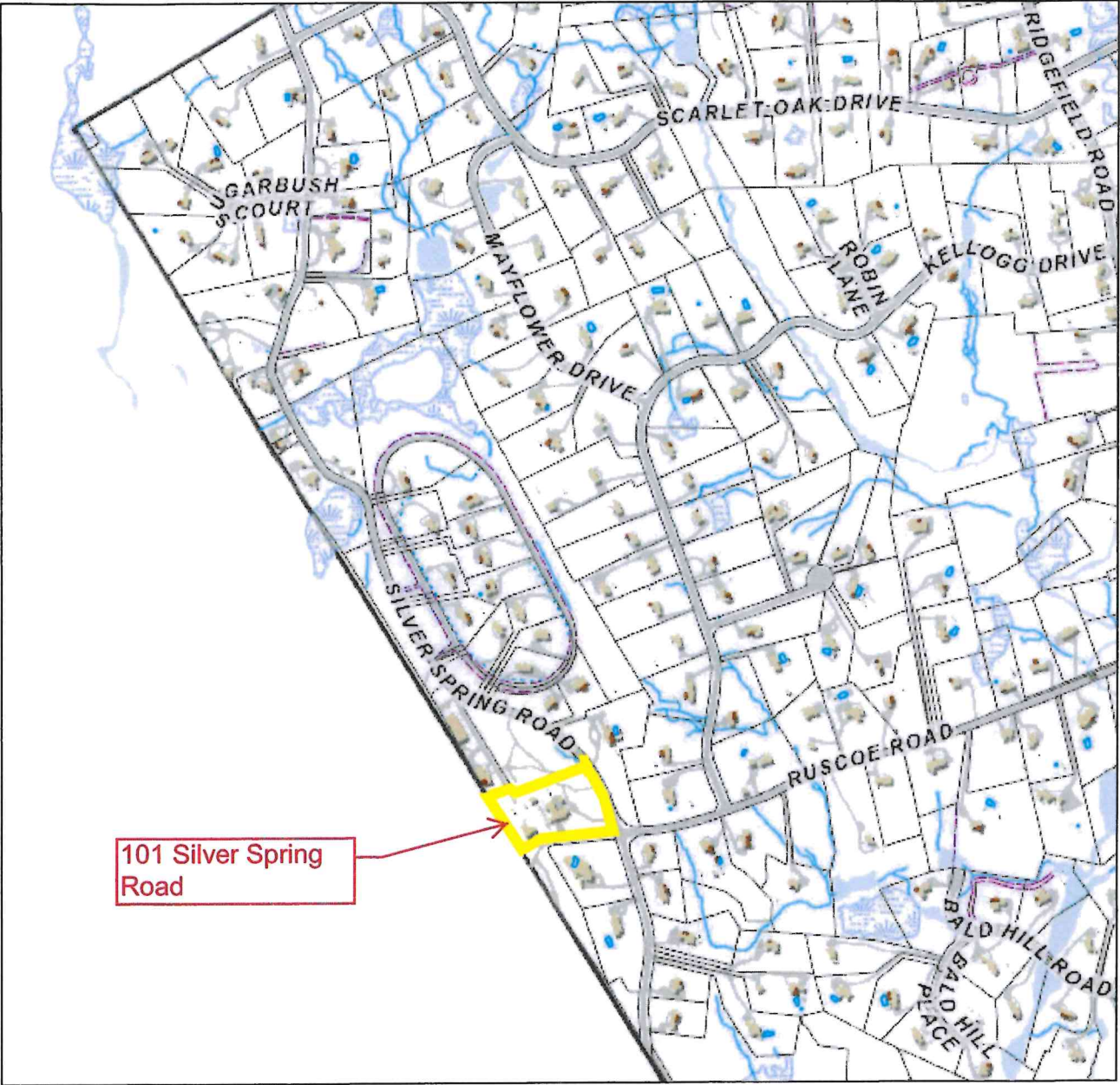
DocuSigned by:

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Jennifer Amadeo

2/27/2023



Town of Wilton
Geographic Information System (GIS)

Date Printed: 4/25/2022



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Zoning Effective: July 28, 2017
Planimetrics Updated: 2014
Approximate Scale: 1 inch = 800 feet
0 800 Feet



Location Map



Adjoining Property Owner

May 2, 2022

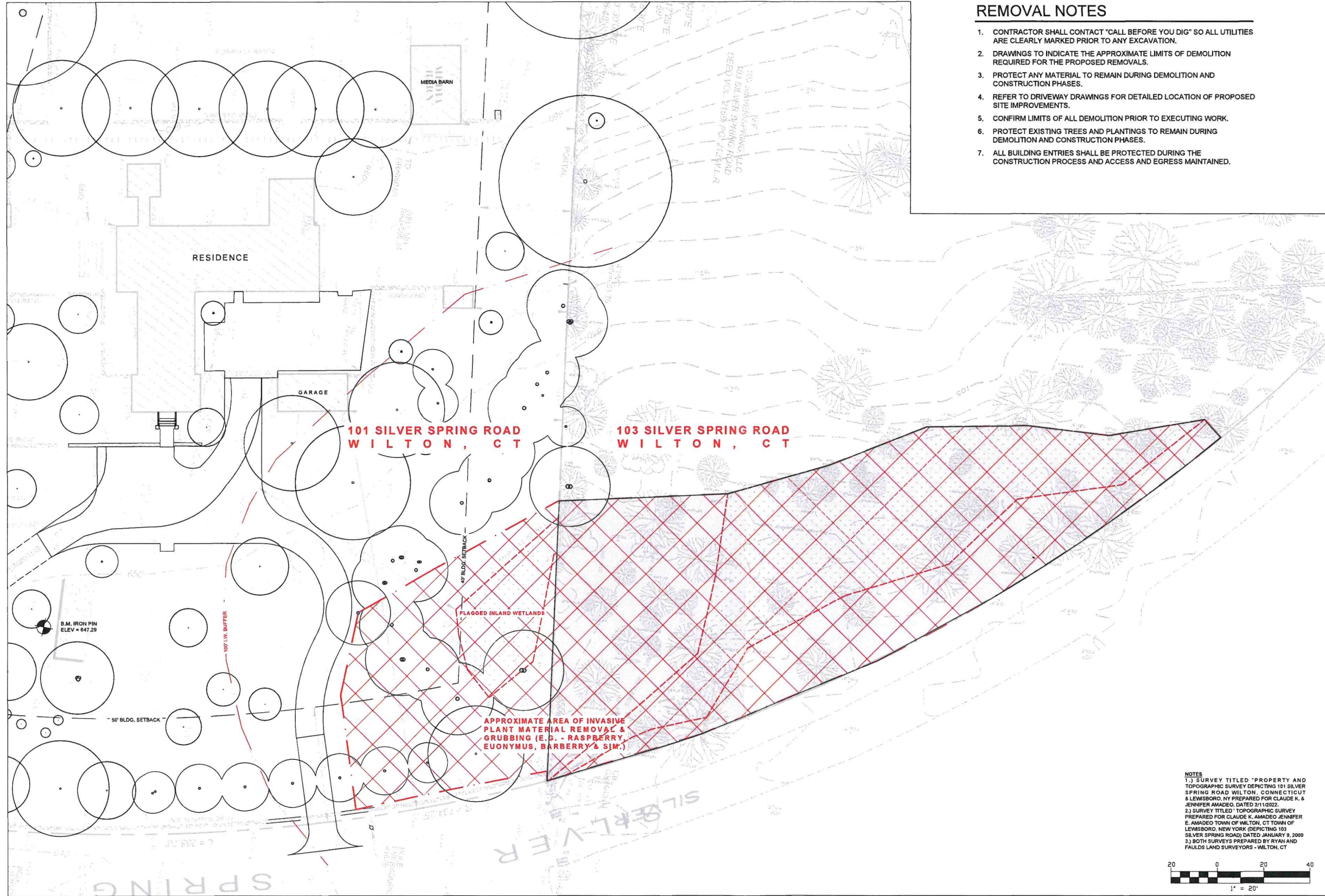
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97 Silver Spring Road
Wilton, CT 06897

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REMOVAL NOTES

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AMADEO RESIDENCE

101-103 SILVER SPRING RD
WILTON, CT



969 DANBURY ROAD
WILTON, CONNECTICUT

T 203 544 0062
F 203 544 0707

www.laurelrock.com

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DATE: AUGUST 31, 2022
DRAWN BY: SMW
REVIEWED BY: MAS
SCALE: 1" = 20' - 0"

SEAL:



DRAWING TITLE:
**SITE PLAN - INVASIVE
REMOVALS**

SHEET NO.:

L 0.1

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3.) BOTH SURVEYS PREPARED BY RYAN AND FAULDS LAND SURVEYORS - WILTON, CT



NOTE
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1 INVASIVE PLANT REMOVAL PLAN
SCALE: 1" = 20' - 0"