

TOWN OF LEWISBORO
Westchester County, New York

Zoning Board of Appeals
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3822
Fax: (914) 533-0097
Email: zoning@Lewisborogov.com

AGENDA

Wednesday, March 22, 2023, 7:30 P.M.

**79 Bouton Road, South Salem,
Justice Court**

- I. Review and adoption of the Minutes of February 22, 2023.**
- II. PUBLIC HEARING**

CAL. NO. 09-23-BZ

Application of Leonard Brandes, AIA, [70 Cove Road, LLC, owner of record], 70 Cove Road, South Salem, NY for the following variance for an alteration to the existing, non-conforming primary dwelling that is located 7.5' from the rear lot line. The proposed deck cantilever will have a 5.5' setback from the rear yard whereas 25' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring an additional 2' variance on the deck cantilever.

The property is located on the west side of (#70) Cove Road, South Salem, NY designated on the Tax Map as Sheet 033A, Block 11156, Lot 022, in an R-1/4AC, One-quarter Acre Residential District consisting of approximately 0.11 acres.

CAL. NO. 05-23-BZ

Application of Angelo Lora, [Lora, Stacey & Angelo, owner of record], 6 Cornel Drive, Goldens Bridge NY for the following variance for the proposed shed, which will be on the east side of the property with a dimension of 18.92 ft to the closest point to property line therefor requiring a side yard setback variance of 21.08 ft., *Per Article IV Section 220-12 and attachment 1, Schedule of Dimensional and Bulk Regulations for Residential Districts* of the Town of Lewisboro Zoning Code.

The property is located on the south side of (#6) Cornel Drive, Goldens Bridge, NY designated on the Tax Map as Sheet 0013, Block 11152 Lot 259, in an R-2AC, Two- Acre Residential District consisting of approximately 1.60 acres.

CAL. NO. 06-23-BZ

Application of Heike A. Schneider, [MacPhail, Lucy Hamilton, owner of record], 93 Todd Road, Katonah, NY, is proposing a two-story addition to the existing single family structure on the property, as well as increasing the size of the deck, the property is a pre-existing non-conforming lot that is significantly smaller than the current zoning, the following variances of the proposed addition to the structure are for Minimum Lot Area – Per the R-2A zoning, the minimum lot size is 2.0 acres. The existing lot is 0.279 acres (12,173 sf). While there is no proposed change to the lot, a 1.721-acre variance is required, Minimum Lot Width – The code requires a 200-foot minimum lot width in R-2A zoning. The existing lot is 60.71-feet wide. This requires a variance of 139.29-feet, Side Yard Setback – The required side yard setback in R-2A zoning is 40-feet. The proposed addition reduces the side yard setback from 16.9-feet to 15.5-feet. This requires a variance of 24.5-feet, Lot Coverage – Per R-2A zoning, the maximum lot coverage is 9%. Based on the proposed addition, the lot coverage will increase from 9% to 11.3%. This will require a variance of 2.3%, per the requirements of Article IV Section 220, attachment 1, Schedule of Dimensional and Bulk Regulations for Residential Districts of the Town of Lewisboro Zoning Code.

The property is located on the north side of (#93) Todd Road, Katonah, NY designated on the Tax Map as Sheet 0009, Block 11150 Lot 003, in an R-2AC, Two-Acre Residential District consisting of approximately 0.28 acres.

CAL. NO. 07-23-BZ

Application of Ellen Lehrman [Lehrman, Ellen, owner of record], 100 Upper Lake Shore, Katonah, NY for the following variance to install a propane tank, 7-feet from the side yard setback. Based on the R-1/2AC zoning district, the required side yard setback is 15-feet, therefore an 8-foot variance is required, per Article IV Section 220-12 and attachment 1, Schedule of Dimensional and Bulk Regulations for Residential Districts of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#100) Upper Lake Shore, Katonah, NY designated on the Tax Map as Sheet 009D, Block 11140, Lot 063, in an R-1/2AC, One Half-Acre Residential District consisting of approximately 0.60 acres.

CAL. NO. 08-23-BZ

Application of Glenn & Lynne Autorino [Autorino, Glenn P. & Lynne A., owner of record], 63 Pine Hill Drive, South Salem, NY for the following variance to install LP tanks, which will have a side yard setback of 15’ whereas 40’ are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a variance of 25’.

The property is located on the east side of (#63) Pine Hill Drive, South Salem, NY designated on the Tax Map as Sheet 029B, Block 10540, Lot 082, in an R-2AC, Two-Acre Residential District consisting of approximately 2.00 acres.

III. CORRESPONDENCE & GENERAL BUSINESS

IV. NEXT MEETING

April 26, 2023

V. ADJOURN MEETING

(914) 763-3822
FAX (914) 875-9148
TTY 800-662-1220
Email: zoning@lewisborogov.com
www.lewisborogov.com



TOWN OF LEWISBORO
Zoning Department
79 Bouton Road
South Salem, NY 10590

TOWN OF LEWISBORO, WESTCHESTER COUNTY

ZONING DEPARTMENT

ZONING BOARD OF APPEALS – March 22, 2023

<u>APPLICANT</u>	<u>CAL #</u>	<u>PAGE(S)</u>
Brandes/70 Cove Rd LLC	09-23-BZ	4 to 10
Lora	05-23-BZ	11 to 13
Schneider/MacPhail	06-23-BZ	14 to 31
Lehrman	07-23-BZ	32 to 34
Autorino	08-23-BZ	35 to 37

TOWN OF LEWISBORO
Westchester County, New York



Building Department
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3060
Fax: (914) 875-9148
Email: ksullivan@lewisborogov.com

Zoning Denial 3/3/2023

70 Cove Rd, South Salem
33A-11156-22

The applicant is proposing an alteration to the existing, non-conforming primary dwelling that is located 7.5' from the rear lot line. The proposed deck cantilever will have a 5.5' setback from the rear yard whereas 25' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring an additional 2' variance or the deck cantilever.


Building Inspector

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, March 22, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 09-23-BZ

Application of Leonard Brandes, AIA, [70 Cove Road, LLC, owner of record], 70 Cove Road, South Salem, NY for the following variance for an alteration to the existing, non-conforming primary dwelling that is located 7.5' from the rear lot line. The proposed deck cantilever will have a 5.5' setback from the rear yard whereas 25' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring an additional 2' variance on the deck cantilever.

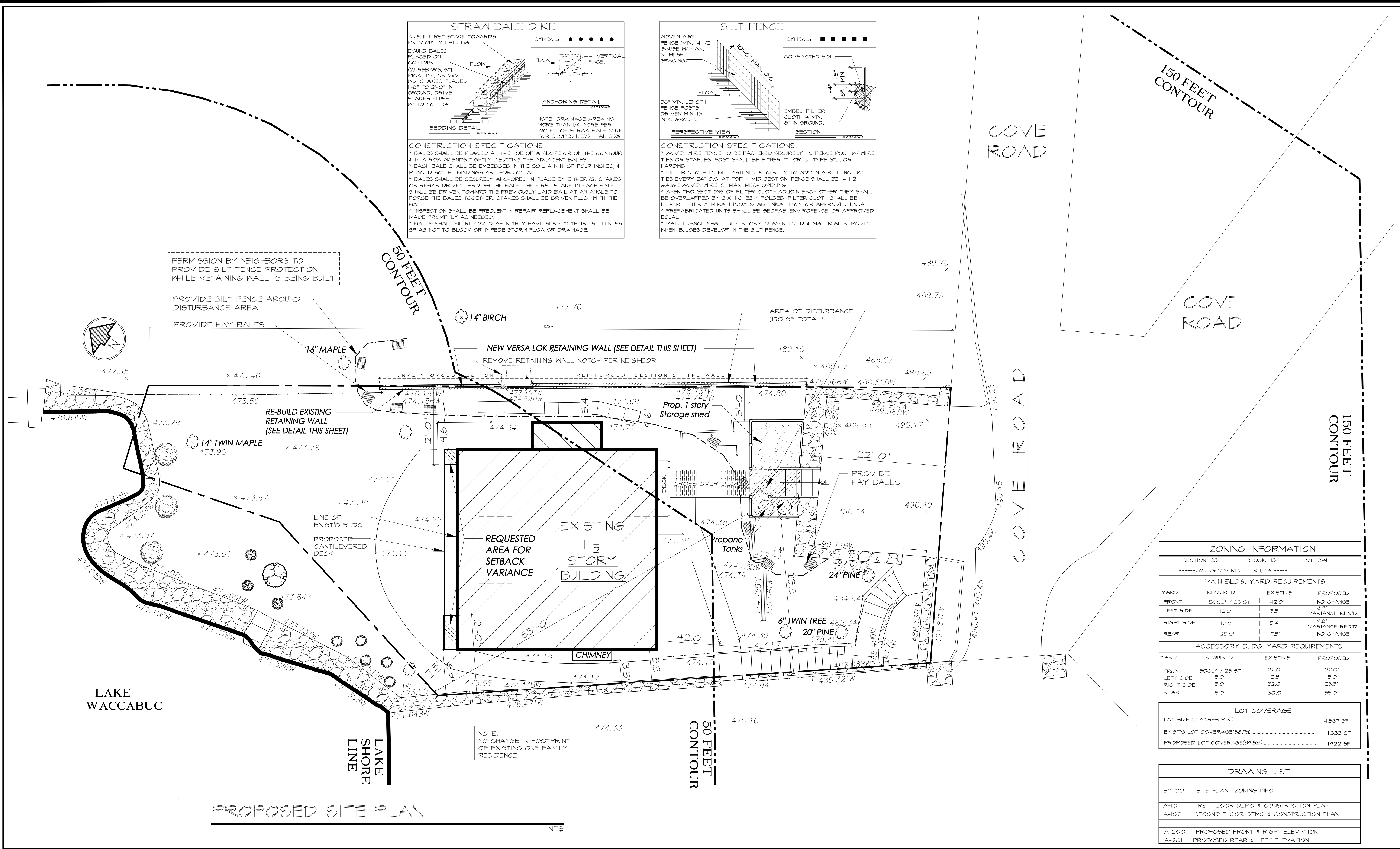
The property is located on the west side of (#70) Cove Road, South Salem, NY designated on the Tax Map as Sheet 033A, Block 11156, Lot 022, in an R-1/4AC, One-quarter Acre Residential District consisting of approximately 0.11 acres.

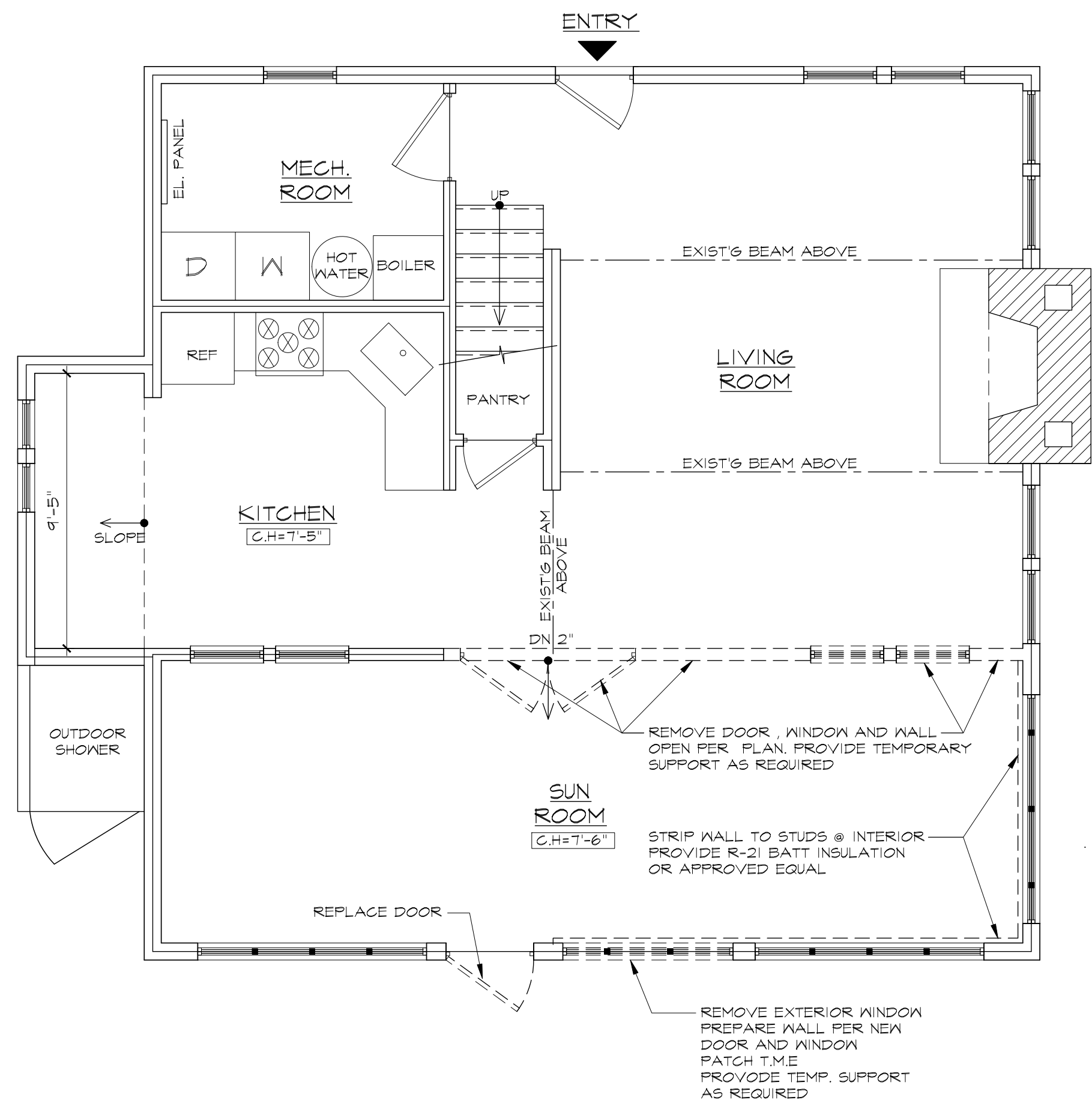
Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 7th day of March 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.





FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4"=1'-0"

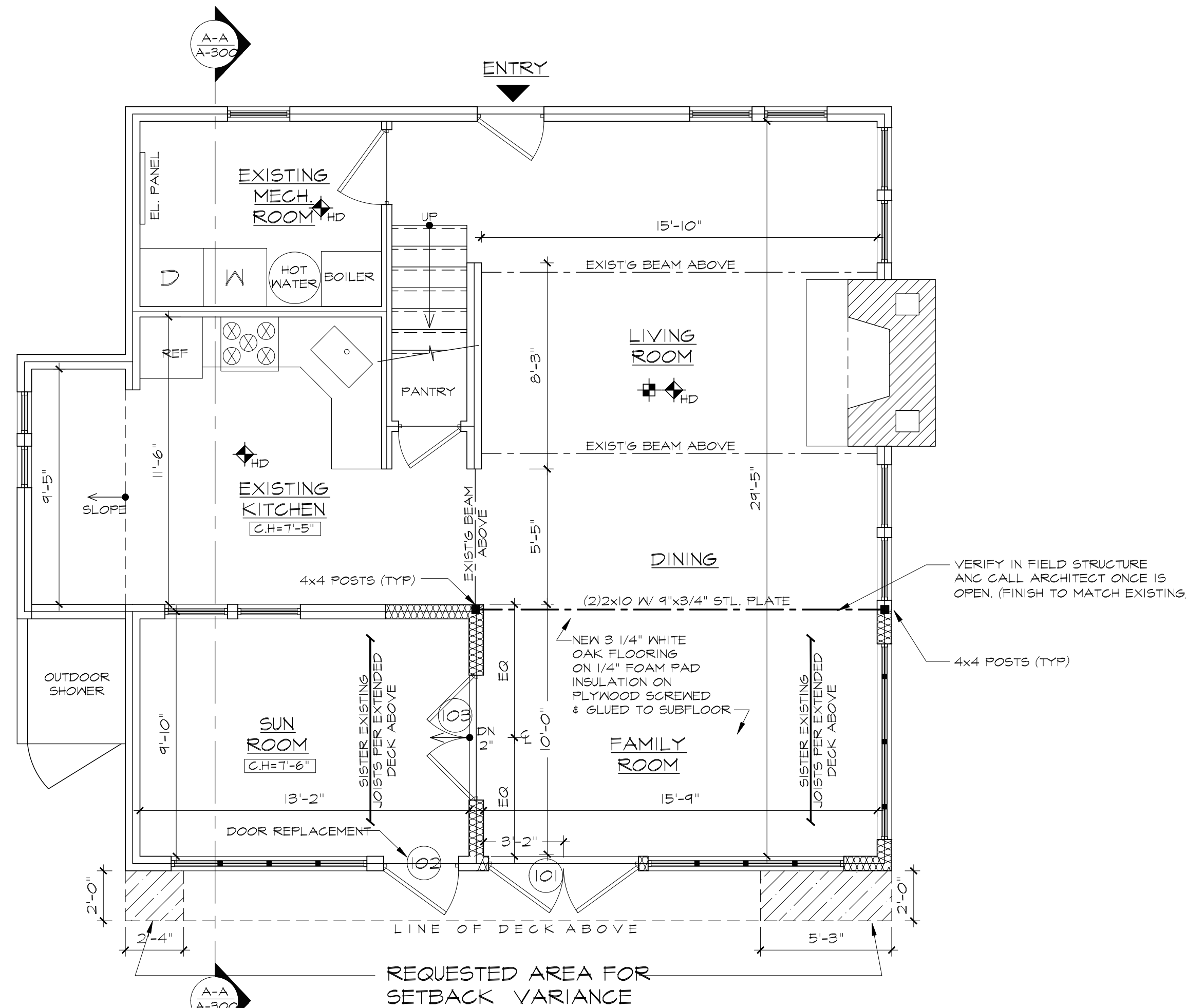
FIRE PROTECTION	
SYMBOL	DESCRIPTION
	SMOKE DETECTOR WITH INDICATOR LIGHT, CEILING MOUNTED, CONTINUOUS POWER FEED TO BE CONNECTED TO ALARM SYSTEM.
	HEAT DETECTOR WITH INDICATOR LIGHT, CEILING MOUNTED, CONTINUOUS POWER FEED TO BE CONNECTED TO ALARM SYSTEM.
	CARBON MONOXIDE DETECTOR WITH INDICATOR LIGHT, CEILING MOUNTED, CONTINUOUS POWER FEED TO BE CONNECTED TO ALARM SYSTEM.

WALL SCHEDULE	
SYMBOL	DESCRIPTION
	EXISTING PARTITION TO REMAIN.
	EXISTING ITEM TO BE REMOVED.
	EXISTING PARTITION TO BE REMOVED.
	NEW 2x4 WOOD STUD PARTITION, STUDS SPACED AT 16" O.C. WITH 5/8" GYPSUM BOARD EACH SIDE (U.O.N.).
	NEW 2x6 WOOD STUD PARTITION, STUDS SPACED AT 16" O.C. INTERIOR FACE: 5/8" GYPSUM BOARD (U.O.N.) OVER 6 MIL. POLY. VAPOR BARRIER W/ R-2 UNFACED BATT INSULATION BETWEEN STUDS. EXTERIOR: 3" BRICK TIE WITH 1" AIR SPACE BETWEEN STUDS.
	NEW 2x4 WOOD STUD PARTITION, STUDS SPACED AT 16" O.C. WITH 5/8" GYPSUM BOARD ONE SIDE & 5/8" WATER & MILDEW RESISTANT GYPSUM BOARD AT BATH/LAUNDRY AREAS W/ 3 1/2" THICK SOUND ATTENUATION BLANKETS BETWEEN STUDS. (USE 2x6 WOOD STUDS AT PLUMBING WALLS).
* ALL BATHROOM AREAS TO RECEIVE 5/8" WATER RESISTANT GYP. BD. INSTEAD OF 5/8" GYP. BD. (U.O.N.). * ALL SHOWER/ TUB AREAS TO RECEIVE 1/2" CEMENTITIOUS BACKER BD. * ALL GYP. BD. TO BE 5/8" (U.O.N.) INSTALLED W/ SCREENS (TYP.).	

ABBREVIATIONS:	
T.M.E. - TO MATCH EXISTING.	T.B.S. - TO BE SELECTED.
TYP. - TYPICAL.	U.O.N. - UNLESS OTHERWISE NOTED.
T.O.A. - TOP OF WALL.	V.I.F. - VERIFY IN FIELD.
VERT. - VERTICAL.	VERT. - VERTICAL.
HOR. - HORIZONTAL.	BET. - BETWEEN.
O.H. - OVER HANG.	

STRUCTURAL NOTES:	
* PROVIDE TEMPORARY SUPPORT AS REQ'D.	
* PROVIDE WD. HDR. AT NEW DR.'S & WIN.'S. SEE PLAN FOR DIMENSIONS.	

CONTRACTOR NOTES:	
* ALL FLASHING TO BE 20oz COPPER. * REINSULATE, PLUMB, & LEVEL WALLS, CLG.'S, & FLR.'S AS REQ'D. * WIN.'S TO BE LOW "E" ARGON FILLED DOUBLE PANE GLAZING. * PROVIDE 20oz COPPER FLASHING & CAULKING AROUND ALL NEW DR. & WIN. OPENINGS. * PROVIDE 20oz COPPER DRIP EDGE ABOVE ALL DR.'S & WIN.'S. * PATCH & PAINT WALLS/ CLG.'S THROUGHOUT AS REQ'D. * PATCH/ PROVIDE NEW FLKING, AS REQ'D. (SEE PLAN THIS PAGE). * CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING FOR FRAMING AT BATHS, ACCESSORIES/ CABINETS, ETC. AS REQ'D. * ALL CLOSETS TO RECEIVE NEW CLOSET POLE & WD. SHELF (U.O.N.). * PROVIDE WATER FILTER FOR KITCHEN COLD WATER SUPPLY. * ALL DUCT WORK TO BE SHEET METAL ONLY W/ CAULKING AROUND JOINTS. PROVIDE CONTROL DAMPERS. * ALL PIPING TO BE INSULATED. * DUCT WORK TO HAVE FIRE DAMPERS AS REQ'D BY CODE. * FLEX DUCT TO BE NO MORE THAN 6'-0" (U.O.N.).	

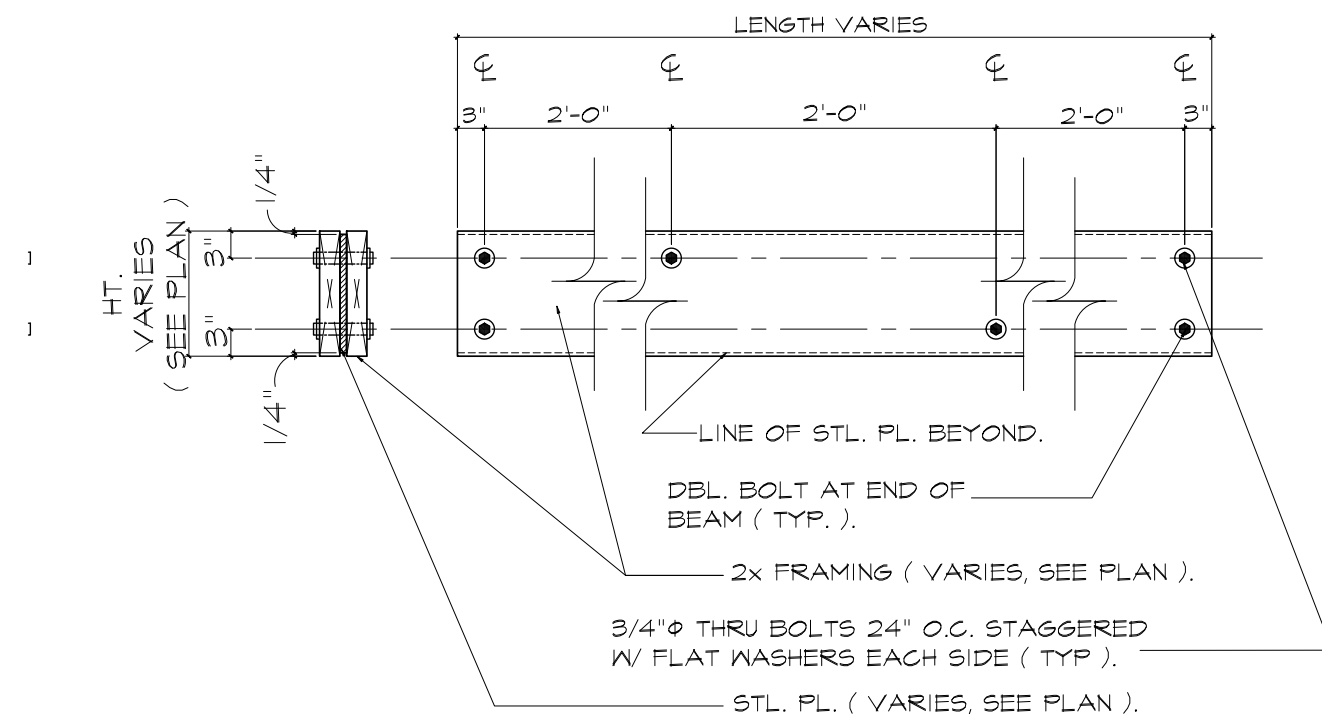


PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

FIRST FLOOR DOOR SCHEDULE						
No.	SIZE/ WIDTH x HEIGHT x THICK	TYPE	MF&R	MODEL	REMARKS	
01	6'-0" x 6'-8"	OUTSWING FRENCH DOOR	MARVIN ELEVATE	ELOFD6065 XXL	INSULATED	PRIVACY TRIPLE LOCK, FULL WEATHER STRIP
02	3'-1 5/16" x 6'-8"	OUTSWING FRENCH DOOR	MARVIN ELEVATE	ELOFD3065 XL	INSULATED	PRIVACY TRIPLE LOCK, FULL WEATHER STRIP
03	5'-0" x 6'-8" x 1 3/4"	INTERIOR FRENCH DOOR	T.B.S.	T.B.S.	INSULATED	

LIGHT AND VENT CALCULATIONS						
ROOM NAME	AREA	REQ'D LIGHT 8%	PROVIDED LIGHT	REQ'D VENT 4%	PROVIDED VENT	COMPLY
LIVING ROOM DINING ROOM & FAMILY ROOM	465 SF	37 SF	145 SF	19 SF	10 SF	YES



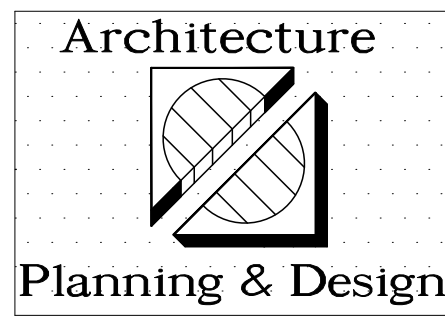
STEEL FLITCH PLATE DETAIL (TYP)

NTS

Leonard H. Brandes • ARCHITECT

TWO SPENCER PLACE
SCARSDALE
914-472-8421

SUITE 12
NEW YORK 10583
NCARB Certified



REVISIONS

No.	Date	Revisions
Drawn By: E.B.		

Project. TO COVE ROAD LLC

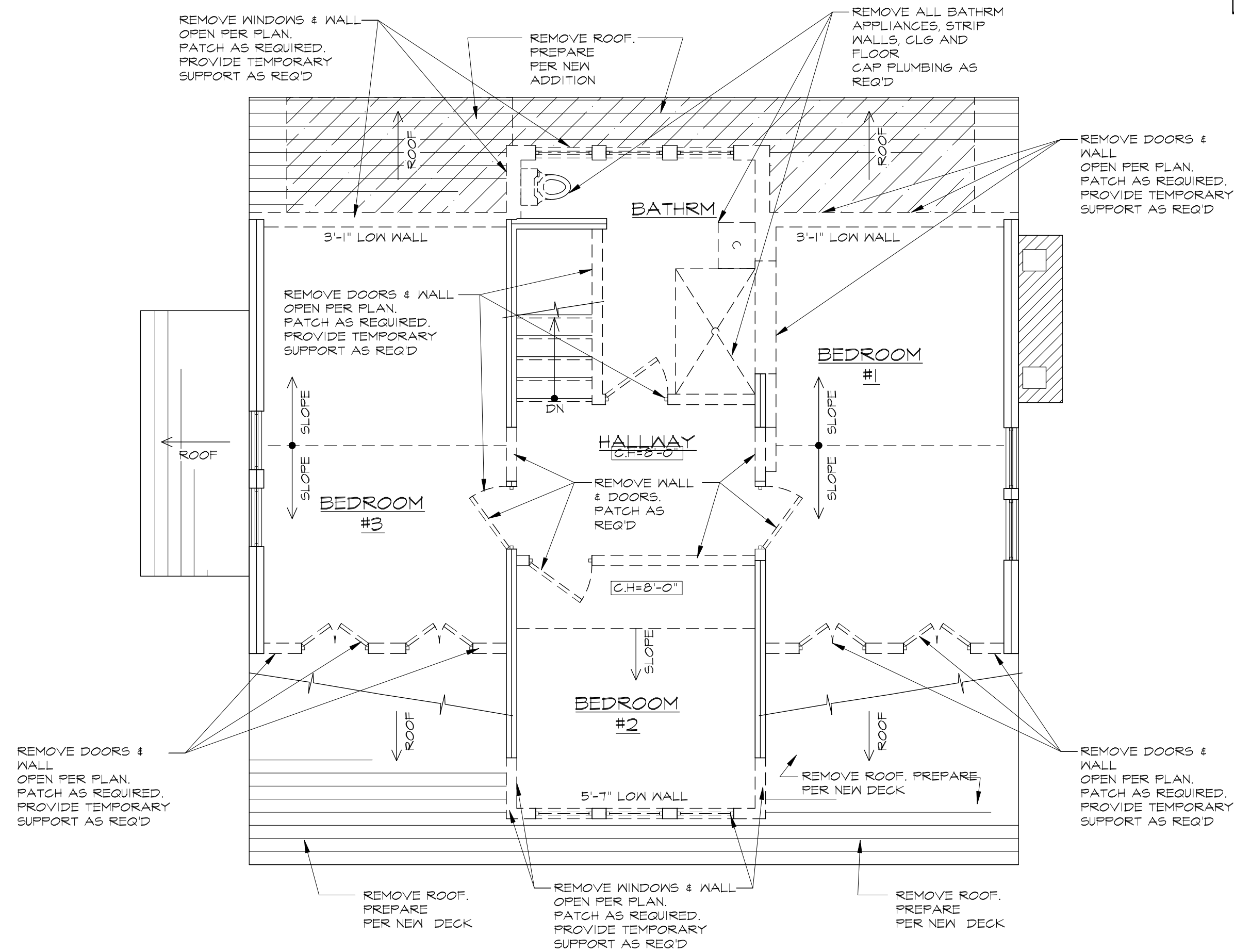
PROPOSED ALTERATIONS @
TO COVE ROAD
SOUTH SALEM, NY 10590

Dwg. Title.
FIRST FLOOR DEMO & PROPOSED PLAN

Drawing No.

A-101

FEBRUARY 27, 2023



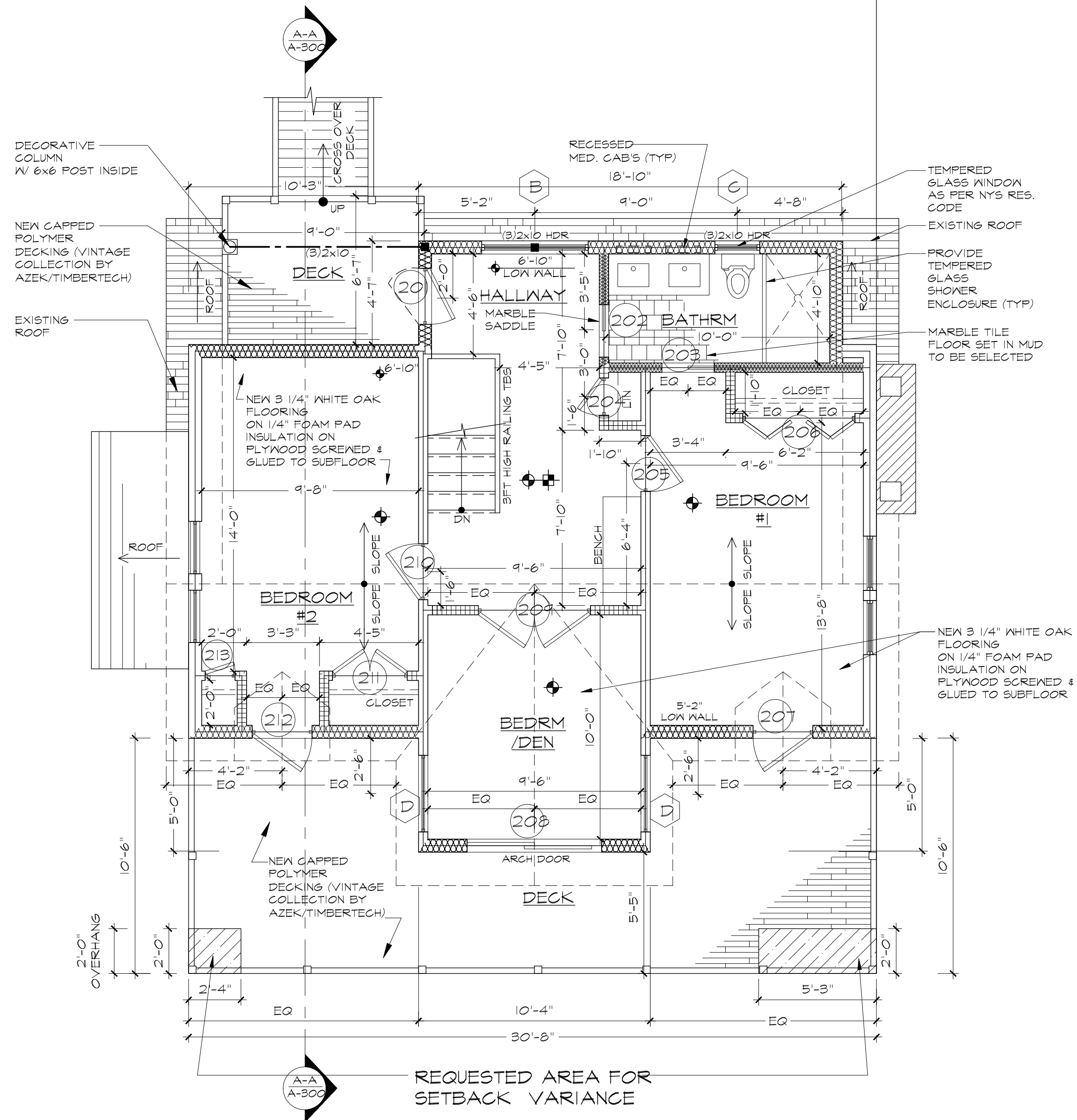
SECOND FLOOR DEMOLITION PLAN

SCALE: 1/4"=1'-0"

FIRE PROTECTION	
SYMBOL	DESCRIPTION
	SMOKE DETECTOR WITH INDICATOR LIGHT, CEILING MOUNTED, CONTINUOUS POWER FEED TO BE CONNECTED TO ALARM SYSTEM
	HEAT DETECTOR WITH INDICATOR LIGHT, CEILING MOUNTED, CONTINUOUS POWER FEED TO BE CONNECTED TO ALARM SYSTEM
	CARBON MONOXIDE DETECTOR WITH INDICATOR LIGHT, CEILING MOUNTED, CONTINUOUS POWER FEED TO BE CONNECTED TO ALARM SYSTEM

WALL SCHEDULE	
SYMBOL	DESCRIPTION
	EXISTING PARTITION TO REMAIN.
	EXISTING ITEM TO BE REMOVED
	EXISTING PARTITION TO BE REMOVED
	NEW 2x4 WOOD STUD PARTITION, STUDS SPACED AT 16" O.C. WITH 5/8" GYPSUM BOARD EACH SIDE (U.O.N.).
	NEW 2x6 WOOD STUD PARTITION, STUDS SPACED AT 16" O.C. INTERIOR FACE, 5/8" GYPSUM BOARD (U.O.N.) OVER 6 MIL. POLY. VAPOR BARRIER w/ R-2 UNFACED BATT. INSULATION BETWEEN STUDS. EXTERIOR, 3" BRICK TIE WITH 1" AIR SPACE BETWEEN STUDS.
	NEW 2x4 WOOD STUD PARTITION, STUDS SPACED AT 16" O.C. WITH 5/8" GYPSUM BOARD ONE SIDE & 5/8" WATER & MILDEW RESISTANT GYPSUM BOARD AT BATH/ LAUNDRY AREAS w/ 3 1/2" THICK SOUND ATTENUATION BLANKETS BETWEEN STUDS. (USE 2x6 WOOD STUDS AT PLUMBING WALLS.)
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STRUCTURAL NOTES:	
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CONTRACTOR NOTES:	
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* REINSULATE, PLUMB. & LEVEL WALLS, CLG'S & FLR'S AS REQ'D.	
* WIN.'S TO BE LOW "E" ARGON FILLED DOUBLE PANE GLAZING.	
* PROVIDE 20oz COPPER FLASHING & CAULKING AROUND ALL NEW DR. & WIN. OPENINGS.	
* PROVIDE 20oz COPPER DRIP EDGE ABOVE ALL DR.'S & WIN.'S.	
* PATCH & PAINT WALLS/ CLG'S THROUGHOUT AS REQ'D.	
* PATCH/ PROVIDE NEW FLR'ING AS REQ'D. (SEE PLAN THIS PAGE).	
* CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING FOR FRAMING AT BATHS, ACCESSORIES/ CABINETS, ETC. AS REQ'D.	
* ALL CLOSETS TO RECEIVE NEW CLOSET POLE & WD. SHELF (U.O.N.).	
* PROVIDE WATER FILTER FOR KITCHEN COLD WATER SUPPLY.	
* ALL DUCT WORK TO BE SHEET METAL ONLY w/ CAULKING AROUND JOINTS. PROVIDE CONTROL DAMPERS.	
* ALL PIPING TO BE INSULATED.	
* DUCT WORK TO HAVE FIRE DAMPERS AS REQ'D BY CODE.	
* FLEX DUCT TO BE NO MORE THAN 6'-0" (U.O.N.).	



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

FIRST FLOOR DOOR SCHEDULE					
No.	SIZE(WIDTH x HEIGHT x THICK)	TYPE	MF&R	MODEL	REMARKS
201	2'-7 5/16" x 6'-8"	INSWING FRENCH DOOR	MARVIN ELEVATE	ELIFD2665 X L	INSULATED , PRIVACY LOCK , FULL WEATHER STRIP, TRIPLE LOCK
202	2'-2" x 6'-8" x 1 3/4"	SOLID CORE POCKET DOOR	T.B.S.	T.B.S.	PRIVACY LOCK , MARBLE SADDLE
203	2'-2" x 6'-8" x 1 3/4"	SOLID CORE POCKET DOOR	T.B.S.	T.B.S.	PRIVACY LOCK , MARBLE SADDLE
204	1'-8" x 6'-8" x 1 3/4"	SOLID CORE DOOR	T.B.S.	T.B.S.	
205	2'-6" x 6'-8" x 1 3/4"	SOLID CORE DOOR	T.B.S.	T.B.S.	PRIVACY LOCK , WOOD SADDLE
206	5'-0" x 6'-8" x 1 3/4"	BI-FOLD DOOR	T.B.S.	T.B.S.	
207	2'-7 5/16" x 6'-8"	OUTSWING FRENCH DOOR	MARVIN ELEVATE	ELOFD2665 XL	INSULATED , PRIVACY LOCK , FULL WEATHER STRIP, TRIPLE LOCK
208	6'-0" x 8'-4"	SLIDING PATIO DOOR	MARVIN ELEVATE	ELD6 RTT218 / ELSPD6068 OX	INSULATED , PRIVACY LOCK , FULL WEATHER STRIP, TRIPLE LOCK
209	5'-0" x 6'-8" x 1 3/4"	INTERIOR FRENCH DOOR	T.B.S.	T.B.S.	
210	2'-6" x 6'-8" x 1 3/4"	SOLID CORE DOOR	T.B.S.	T.B.S.	PRIVACY LOCK , WOOD SADDLE
211	3'-4" x 6'-8" x 1 3/4"	DOUBLE SOLID CORE DOOR	T.B.S.	T.B.S.	
212	2'-7 5/16" x 6'-8" x 1 3/4"	OUTSWING FRENCH DOOR	MARVIN ELEVATE	ELOFD2665 XR	INSULATED , PRIVACY LOCK , FULL WEATHER STRIP, TRIPLE LOCK
213	1'-4" x 6'-8" x 1 3/4"	SOLID CORE DOOR	T.B.S.	T.B.S.	

NOTE: -PROVIDE WINDOW FALL PROTECTION AS PER R312.2.1 PER THE 2020 RESIDENTIAL CODE OF NEW YORK STATE
-WINDOWS TO COMPLY WITH R308.4 "HAZARDOUS LOCATIONS" PER THE 2020 RESIDENTIAL CODE OF NEW YORK STATE

SECOND FLOOR WINDOW SCHEDULE								
No.	MIN. R.O. (Width x Height)	TYPE	MF&R	MDL. No.	GLASS	FINISH	REMARKS	SHGC
B	4'-9" x 4'-11 5/8"	CASEMENT	MARVIN ELEVATE	ELCA2454 2W E	INSUL. DBL. PANE GLASS	T.B.S.		0.28
C	2'-1" x 2'-11 1/8"	CASEMENT	MARVIN ELEVATE	ELCA 2535	INSUL. DBL. PANE GLASS	T.B.S.	TEMPERED GLASS	0.28
D	3'-5" x 4'-1 5/8"	CASEMENT	MARVIN ELEVATE	ELCA 2155 2W	INSUL. DBL. PANE GLASS	T.B.S.		0.28

LIGHT AND VENT CALCULATIONS						
ROOM NAME	AREA	REQ'D LIGHT 8%	PROVIDED LIGHT	REQ'D VENT 4%	PROVIDED VENT	COMPLY
BEDROOM #1	132 SF	11 SF	38 SF	6 SF	28 SF	YES
BEDROOM #2	137 SF	11 SF	38 SF	6 SF	28 SF	YES
DEN/BEDROOM	95 SF	8 SF	52 SF	4 SF	34 SF	YES

Leonard H. Brandes • ARCHITECT

TWO SPENCER PLACE
SCARSDALE
914-472-8421

SUITE 12
NEW YORK 10583
NCARB Certified

Architecture
Planning & Design

REVISIONS

No.	Date	Revisions

Drawn By: E.B.

Project. TO COVE ROAD LLC

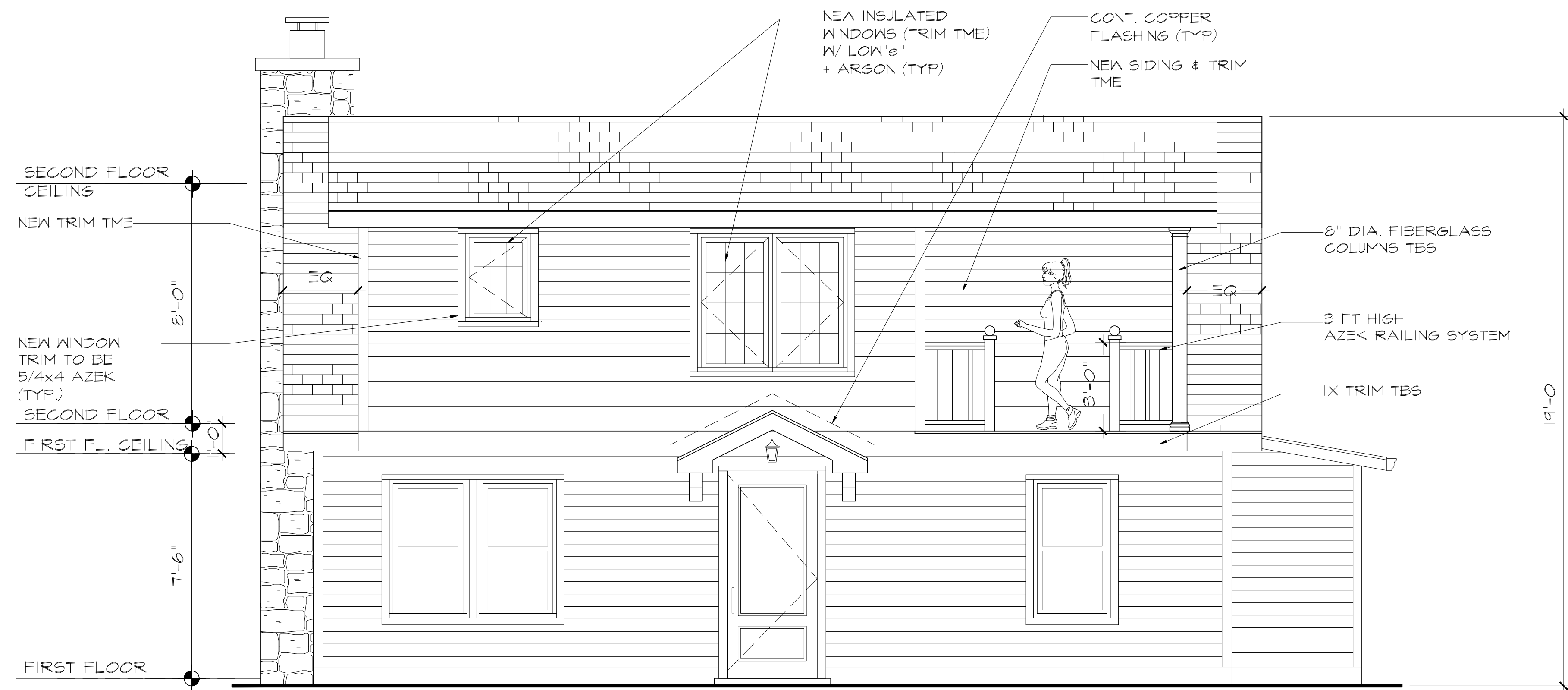
PROPOSED ALTERATIONS @
TO COVE ROAD
SOUTH SALEM , NY 10590

Dwg. Title.
PROPOSED FLOOR PLANS

Drawing No.

A-102

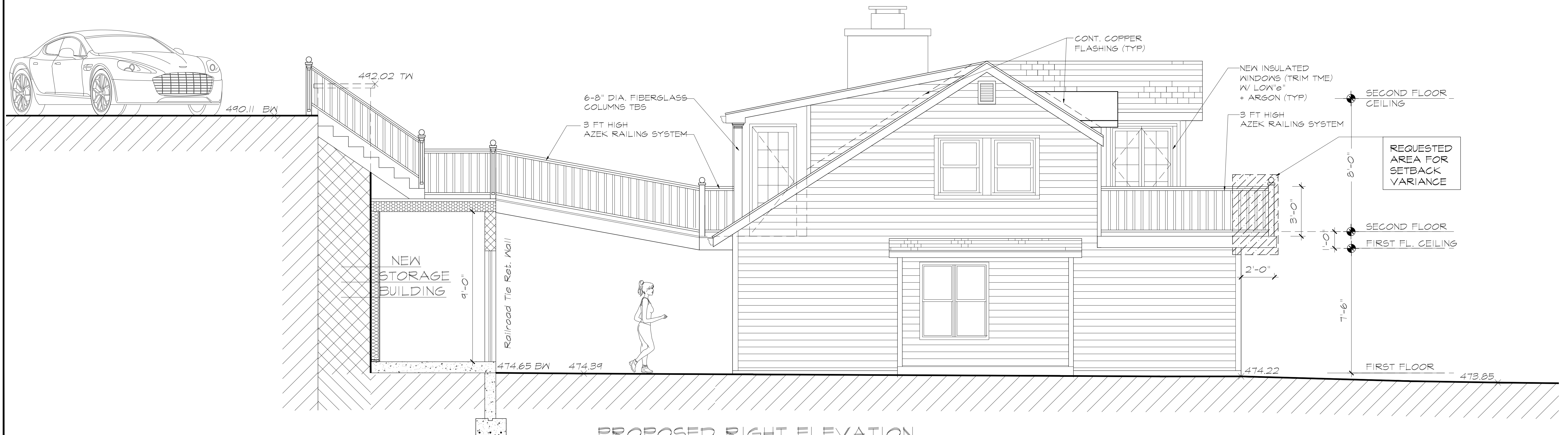
FEBRUARY 27, 2023



PROPOSED FRONT ELEVATION

SCALE: 1/4"=1'-0"

NOTE: NEW ASPHALT SHINGLE ROOF ARCHITECTURAL GRADE T.M.E.OVER 30# ROOFING FELT. PROVIDE ICE AND WATER SHIELD AT ALL EAVES, VALLEYS AND GABLES AS PER CODE. PROVIDE CONT. AL. DRIP EDGE, GUTTERS & LEADER T.B.S.



PROPOSED RIGHT ELEVATION

SCALE: 1/4"=1'-0"

Leonard H. Brandes • ARCHITECT

TWO SPENCER PLACE
SCARSDALE
914-472-8421

SUITE 12
NEW YORK 10583
NCARB Certified

Architecture
Planning & Design

REVISIONS

No.	Date	Revisions

Drawn By: E.B.

Project: TO COVE ROAD LLC

PROPOSED ALTERATIONS @
TO COVE ROAD
SOUTH SALEM, NY 10590

Dwg. Title:
PROPOSED ELEVATIONS

Drawing No.

A-200

FEBRUARY 27, 2023

TO COVE ROAD LLC



PROPOSED LEFT ELEVATION

SCALE: 1/4"=1'-0"

NOTE: NEW ASPHALT SHINGLE ROOF ARCHITECTURAL GRADE T.M.E. OVER 30# ROOFING FELT. PROVIDE ICE AND WATER SHIELD AT ALL EAVES, VALLEYS AND GABLES AS PER CODE. PROVIDE CONT. AL. DRIP EDGE, GUTTERS & LEADER T.B.S.



PROPOSED REAR ELEVATION

SCALE: 1/4"=1'-0"

Leonard H. Brandes • ARCHITECT

TWO SPENCER PLACE
SCARSDALE
914-472-8421

SUITE 12
NEW YORK 10583
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Architecture
Planning & Design

REVISIONS		
No.	Date	Revisions
Drawn By: E.B.		

Project. **TO COVE ROAD LLC**
PROPOSED ALTERATIONS @
TO COVE ROAD
SOUTH SALEM, NY 10590
Dwg. Title.
PROPOSED ELEVATIONS

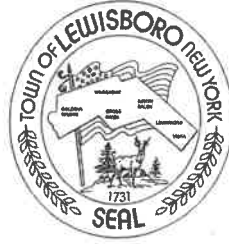
Drawing No.

A-201

FEBRUARY 27, 2023

TO COVE ROAD LLC

TOWN OF LEWISBORO
Westchester County, New York



Building Department
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3060
Fax: (914) 875-9148
Email: ksullivan@lewisborogov.com

Zoning Denial 1/11/2023

6 Cornel Drive, Goldens Bridge New York

11152-259-0013

The applicant is proposing to add a 14 ft x 10 ft shed on the east side property with a dimension of 18.92 ft to the closest point to property line therefor requiring a side yard setback variance of 21.08 ft.

Per Article IV Section 220-12 and attachment 1, Schedule of Dimensional and Bulk Regulations for Residential Districts of the Town of Lewisboro Zoning Code.


Building Inspector

ZONING BOARD OF APPEALS
NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, March 22, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 05-23-BZ

Application of Angelo Lora, [Lora, Stacey & Angelo, owner of record], 6 Cornel Drive, Goldens Bridge, NY for the following variance for the proposed shed, which will be on the east side of the property with a dimension of 18.92 ft to the closest point to property line therefor requiring a side yard setback variance of 21.08 ft., *Per Article IV Section 220-12 and attachment 1, Schedule of Dimensional and Bulk Regulations for Residential Districts* of the Town of Lewisboro Zoning Code.

The property is located on the south side of (#6) Cornel Drive, Goldens Bridge, NY designated on the Tax Map as Sheet 0013, Block 11152 Lot 259, in an R-2AC, Two-Acre Residential District consisting of approximately 1.60 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 22nd day of February 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

Unauthorized alteration or addition to a survey map showing a licensed Land Surveyor's Seal is a violation of Section 109, Sub-Division 2, of the New York State Education Law.

Only copies from the original of this survey marked with an original of the Land Surveyor's address and shall be considered to be true, valid copies.

Certification indicated herein signifies that this survey was prepared in accordance with Existing Code of Practice for Land Surveys acquired by the New York State Association of Professional Land Surveyors. Said certification shall run only to the person for whom the survey is prepared and to the person for whom the title company, governmental agency and lending institutions listed herein. Certifications are not transferable to additional institutions or subsequent owners.

Guaranteed: John Vesuvio and Joanna Vesuvio
Commonwealth Land Title Insurance Company
Sound Federal Savings

Surveyed: April 23, 1991
and map prepared: April 24, 1991

Joanna C. Vesuvio

New York State Licensed Surveyor No. 009810

Map revised to show proposed residence and
driveway lines May 30, 1991

SURVEY OF PROPERTY

Prepared for

JOHN VESUVIO & JOANNA VESUVIO

Amended Map being Lot 59 as shown on a
certain map entitled "Subdivision of Property
Known as Apple Hill Phase II, LIE" and
map filed in the Westchester County Clerk's
Office, Division of Land Records November 1, 1989
as map No. 14222.

Situate in the
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

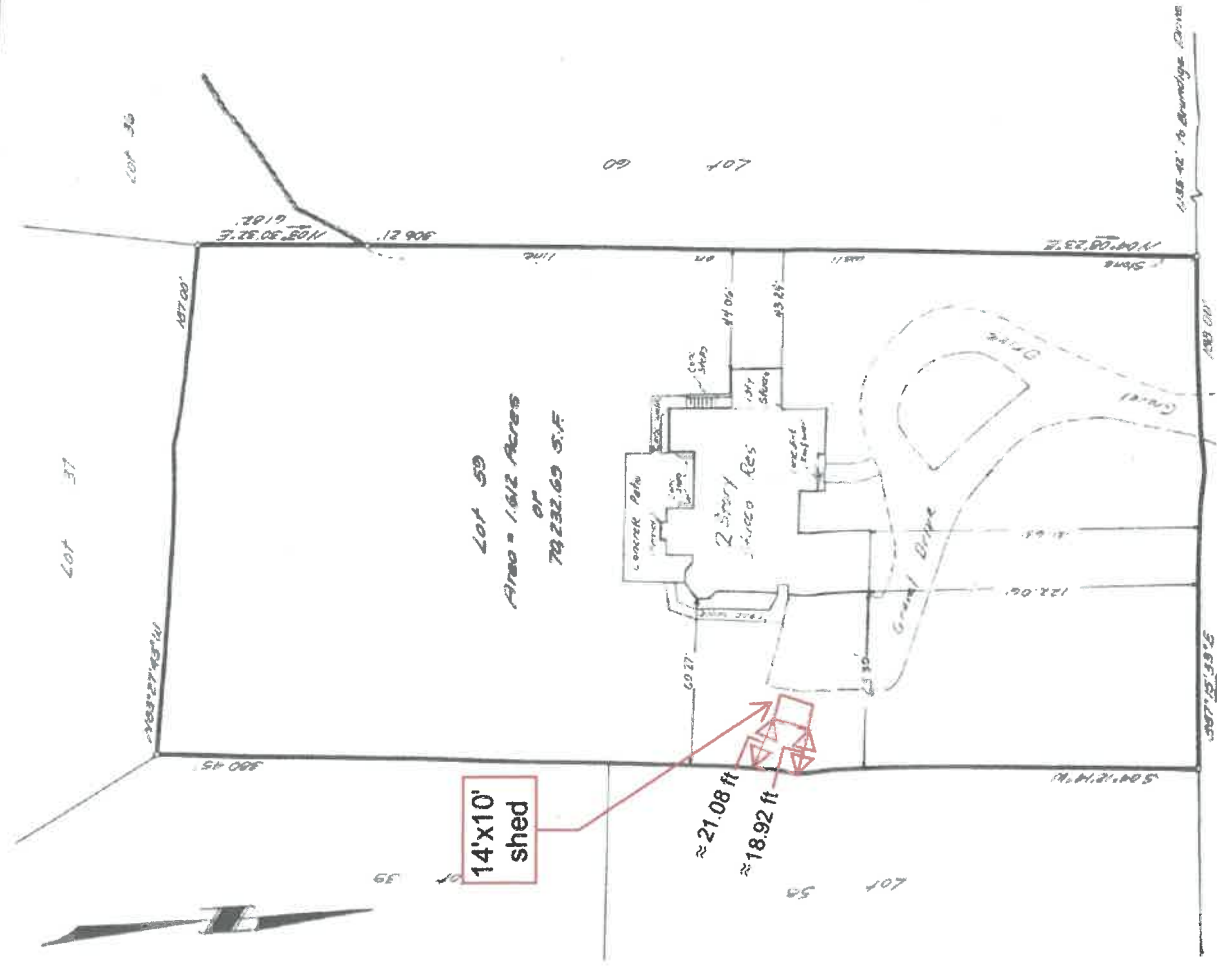
Scale: 1" = 80'

Revised: July 2, 1991
Revised: July 31, 1991

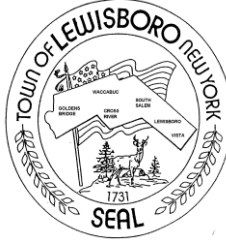
Final Survey: October 31, 1991

CORNEL
DRIVE
Modern Residence

Thomas C. Morris
Land Surveyor
191 Brady Avenue
Newburgh, New York
12551
Telephone: 845-789-4003



TOWN OF LEWISBORO
Westchester County, New York



Building Department
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3060
Fax: (914) 875-9148
Email: ksullivan@lewisborogov.com

Zoning Denial 1/26/2023

93 Todd Rad, Lewisboro New York
0009-11150-003

The applicant is proposing a two story addition to the existing single family structure on the property, as well as increasing the size of the deck. The property is a pre-existing non-conforming lot that is significantly smaller than the current zoning. Multiple variances are required, as detailed below.

1. Minimum Lot Area – Per the R-2A zoning, the minimum lot size is 2.0 acres. The existing lot is 0.279 acres (12,173 sf). While there is no proposed change to the lot, a 1.721 acre variance is required.
2. Minimum Lot Width – The code requires a 200-foot minimum lot width in R-2A zoning. The existing lot is 60.71-feet wide. The requires a variance of 139.29-feet.
3. Side Yard Setback – The required side yard setback in R-2A zoning is 40-feet. The proposed addition reduces the side yard setback from 16.9-feet to 15.5-feet. This requires a variance of 24.5-feet.
4. Lot Coverage – Per R-2A zoning, the maximum lot coverage is 9%. Based on the proposed addition, the lot coverage will increase from 9% to 11.3%. This will require a variance of 2.3%.

All of the varainces noted above are per the requirements of Article IV Section 220, attachment 1, *Schedule of Dimensional and Bulk Regulations for Residential Districts* of the Town of Lewisboro Zoning Code.

Building Inspector

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, March 22, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 06-23-BZ

Application of Heike A. Schneider, [MacPhail, Lucy Hamilton, owner of record], 93 Todd Road, Katonah, NY, is proposing a two-story addition to the existing single family structure on the property, as well as increasing the size of the deck, the property is a pre-existing non-conforming lot that is significantly smaller than the current zoning, the following variances of the proposed addition to the structure are for Minimum Lot Area – Per the R-2A zoning, the minimum lot size is 2.0 acres. The existing lot is 0.279 acres (12,173 sf). While there is no proposed change to the lot, a 1.721-acre variance is required, Minimum Lot Width – The code requires a 200-foot minimum lot width in R-2A zoning. The existing lot is 60.71-feet wide. This requires a variance of 139.29-feet, Side Yard Setback – The required side yard setback in R-2A zoning is 40-feet. The proposed addition reduces the side yard setback from 16.9-feet to 15.5-feet. This requires a variance of 24.5-feet, Lot Coverage – Per R-2A zoning, the maximum lot coverage is 9%. Based on the proposed addition, the lot coverage will increase from 9% to 11.3%. This will require a variance of 2.3%, per the requirements of Article IV Section 220, attachment 1, Schedule of Dimensional and Bulk Regulations for Residential Districts of the Town of Lewisboro Zoning Code.

The property is located on the north side of (#93) Todd Road, Katonah, NY designated on the Tax Map as Sheet 0009, Block 11150 Lot 003, in an R-2AC, Two-Acre Residential District consisting of approximately 0.28 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 22nd day of February 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

General Notes

1.

Contractors shall visit the site and be responsible for having recorded all conditions within the scope of the project. No claims for extra compensation, based on ignorance of the visible or implied existing condition, will be considered.
2.

All work is to conform to all applicable requirements of local governing Codes, State construction and Energy Conservation Codes, Health Codes, Fire Department Regulations, NBFU, FHA Framing Standards, OSHA Codes and best Trade practices.
3.

All dimensions and conditions shown and assumed on the drawings must be verified at the site by the contractor before ordering any material or doing any work. Any discrepancies or errors in the plans, specifications, and/or details must be reported to the architect at once. No change in plans, details, or dimensions is permissible without the consent of the architect. Should the contractor fail to notify the architect within a reasonable time, he shall be responsible for the cost of rectifying such errors. 4.The drawings have indicated and estimated certain conditions, either not shown or not considered reliable on older drawings, or not measurable due to total absence of any drawings, or too inaccessible to verify in the field prior to preparing the drawings. The architect therefore takes no responsibility for the accuracy to the estimated conditions, has shown work requirements on the drawings for bidding scope only, and will furnish more detailed information later when areas are actually accessible and measurable by the contractors. Any work that must be done additionally in areas where information or indications on the drawings are found to differ from actual field conditions where work is laid out, shall be billed to the owner as an Extra Charge, subject to the owner approval of an itemized cost breakdown.
5.

Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation, or operation of any part of the work, as determined by the owner, shall be included in the work the same as if herein specified or indicated.
6.

Contractors are to file Insurance Certificates and obtain and pay for all permits, schedule all required inspections with notifications to inspectors and obtain Certificate of Occupancy. No work to start prior to obtaining the permits.
7.

Contractors shall coordinate all work procedures and working hours with local authorities, Neighborhood Associations and any other governing authority.
8.

Due to the inaccessibility of certain framing and construction conditions, the architect has indicated assumed structural relationships. The contractor will be expected to perform the necessary work to complete the indicated details where, in the sole opinion of the architect, uncovered conditions are normal or reasonably standard. Where conditions when uncovered are not anticipated or not considered normal by architect, the contractor will be entitled to an extra sum of money commensurate with the work entailed, after submission of a detailed breakdown of costs and approval by the architect.
9.

All indicated survey material is for general reference only. The architect assumes no responsibility for the accuracy or correctness of any of the indicated material.
10.

Contractor shall be responsible for protection of all existing and new conditions and materials within and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the owner's satisfaction as the Contractor's sole expense.
11.

Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.
12.

Drawing may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Consult with the owner for the final sizes, dimensions, and locations.
13.

Contractors shall lay out his work and be responsible for its correctness and safety, shall give necessary dimensions to all parties.
14.

By starting any work, contractor signifies acceptance of the previously installed back-up materials and framing, and waives any right to blame prior work for any defects in his own work.
15.

All patching shall be done in new matching, or approved salvaged materials. Finish to match nearest break in plane or direction. Store unused material where requested by the owner/client. All salvaged materials are the property of the owner/client.
16.

Contractor to order specific materials indicated herein immediately alter being authorized to proceed. No substitutions permitted without the prior approval of architect. Contractor will be held liable for delays caused by the contractor's failure to order materials promptly.
17.

Contractor to design and install adequate and Code approved shoring and bracing where need to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring, and for any injuries, damage, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.
18.

All work shall be guaranteed for one year after Final Payment. General contractor to furnish written guarantee on his work and all subcontractor's work, against defects resulting from the use of inferior material, equipment, or workmanship, as determined solely by the owner.
19.

Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon the approval of the architect or owner as noted on the drawings or in the specifications. The contractor shall submit his substitution for approval before releasing any order for fabrication and/or shipment. The owner reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal to the item specified. Where a contractor proposes to use an item other than that specified or detailed on the drawings, which requires any redesign of the structure, partitions, piping, wiring, or any other part of the mechanical, electrical or architectural layout, all such redesign, and all new drawings and detailing required shall, with the approval of the owner, be prepared by the contractor at his own expense.
20.

All work shall be installed so that all the parts required are readily accessible for inspection, operation, and maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without the prior written approval from the owner.
21.

Upon the completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including, but not limited to the following:

- * Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by owner or others doing N.I.C. work. All wet mopping not in this contract.
- * Removal of all temporary enclosures and barricades, all temporary offices, telephone, sanitary facilities, etc.
- * Removal of all labels from glass, fixtures and equipment, etc., and spray cleaning of all glass/mirrors. *Final cleaning of all chrome and aluminum metal work. *Replacement for furniture and furnishings to original locations.
- * Removal of stains and paint from glass, hardware, finished flooring, cabinets,etc.



PROPERTY DATA

PROPERTY OWNER	MAC PHAIL-ROCKET, LUCY HAMILTON
APPLICANT	HEIKE A. SCHNEIDER, R.A.
LOCATION	93 TODD ROAD LEWISBORO, NY 10536
TAX MAP DATA	SECTION 41.6 BLOCK 1 LOT 4
ZONING DISTRICT	R-2A

ZONING DISTRICT: R-2A - LEWISBORO, NY

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (S.F.)	2 ACRES	12,173 SQ.FT. = 0.279 ACRES	NO CHANGE
MINIMUM LOT WIDTH: (FEET)	200 FT.	60.71 FT.	NO CHANGE
MINIMUM SETBACKS:			
FRONT YARD	50 FEET	51.6 FEET	NO CHANGE
SIDE YARD SETBACK MAIN HOUSE:	40 FEET	16.9'/16.3'	15.5'/16.3'
SIDE YARD SETBACK DECK		4.2 FEET	NO CHANGE
REAR YARD SETBACK (MAIN BUILD.):	50 FEET	105 FEET	91.9 FEET
MAXIMUM HEIGHT MAIN BUILDING	35 FT	30'-8"	NO CHANGE
MAX. BUILDING COVERAGE OF ACTUAL LOT (ALL BUILDINGS)	9%	9%	11.3%
MAIN HOUSE SQUARE FOOTAGE	-	1,834 SQ.FT.	2,350 SQ.FT.

REQUIRES A ZONING AREA VARIANCE

CLIMATIC & GEORGRAPHIC DESIGN CRITERIA PER TABLE R301.2(1).

CLIMATE ZONE: 4	
GROUND SNOW LOAD: 30	TOPO EFFECTS: NO
SPECIAL WIND REGION:	SPEED (MPH): 115 MPH
WINDBORNE DEBRIS ZONE: NO	WINTER DESIGN TEMPERATURE: 7°F
SEISMIC DESIGN CATEGORY: (RCNY ONLY) C	ICE BARRIER UNDERLAYMENT REQ'D: YES - 3' UP EAVES
FROST LINE DEPTH: 42"	FLOOD HAZARD: NO - AS PER GIS FOR TOWN OF LEWISBORO
TERMITE: PROBABILITY- MODERATE TO HEAVY	AIR FREEZING INDEX: 1500 OR LESS
WEATHERING: SEVERE	MEAN ANNUAL TEMP: 51.6°F

2020 ENERGY CONSERVATION CODE OF NYS

I, HEIKE A. SCHNEIDER, ARCHITECT CERTIFY THAT THESE PLANS AND SPECIFICATIONS, TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT COMPLY WITH THE APPLICABLE SECTIONS OF THE 2020 ENERGY CONSERVATION CODE OF NYS, ZONE 4, WESTCHESTER COUNTY.

THE ARCHITECT

REFERENCED BUILDING CODE:

THE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED UNDER THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

RENOVATION
OF THE
MAC PHAIL-
ROCKET
RESIDENCE

93 TODD ROAD
LEWISBORO, NY 10536



DATE: 01-06-23

- TITLE SHEET & GENERAL NOTES
- S1

PROPOSED SITE PLAN
- A0

DEMO BASEMENT
- A1

DEMO FIRST FLOOR
- A2

DEMO SECOND FLOOR
- A3

PROPOSED BASEMENT
- A4

PROPOSED FIRST FLOOR
- A5

PROPOSED SECOND FLOOR
- A6

EXTERIOR SOUTH ELEVATION
- A7

EXTERIOR EAST ELEVATION
- A8

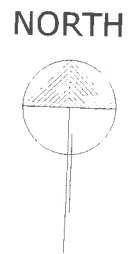
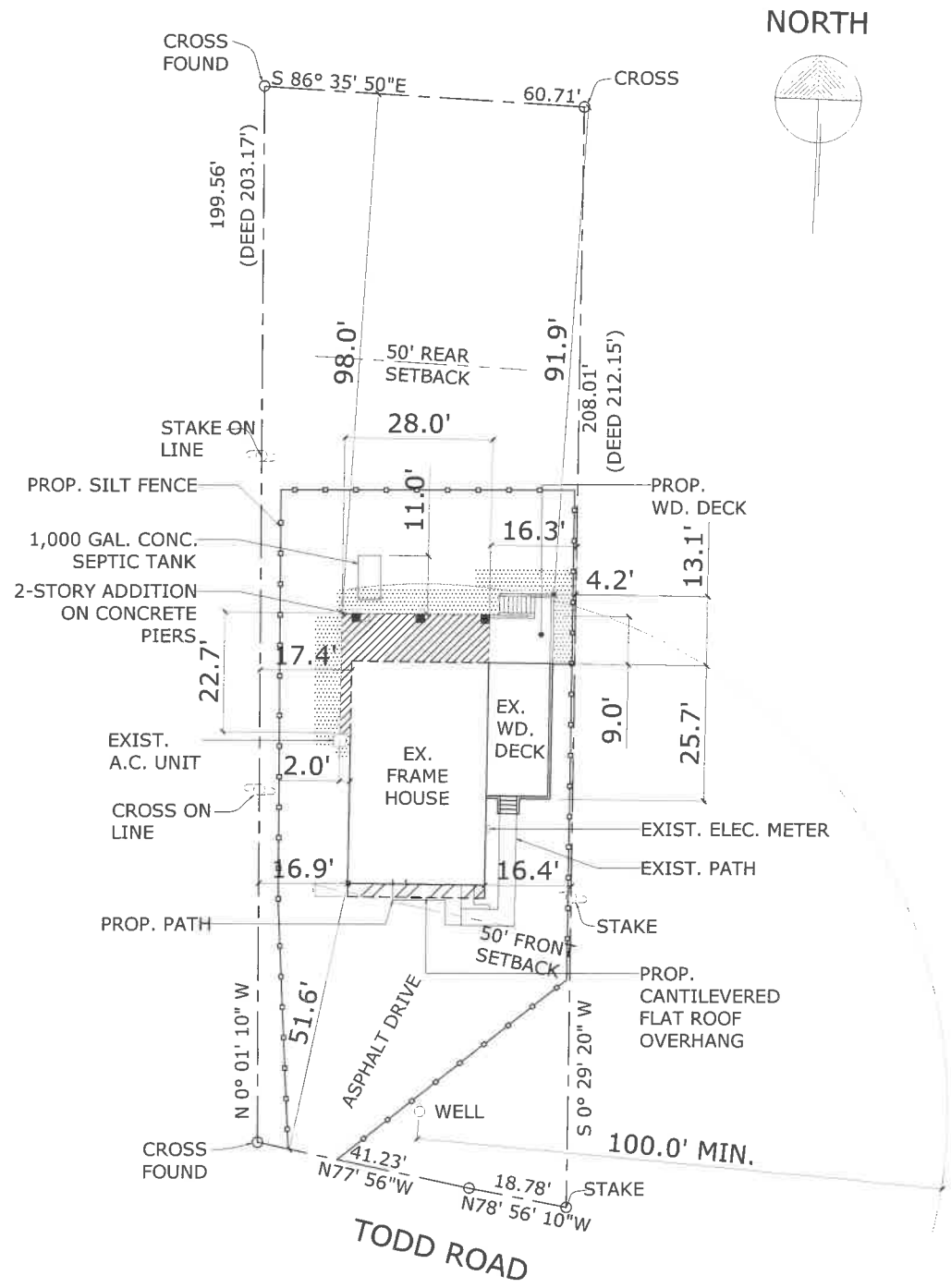
EXTERIOR NORTH ELEVATION
- A9

EXTERIOR WEST ELEVATION
- A10

BUILDING SECTION 'A'

HEIKE A. SCHNEIDER, LLC
HS-ARCHITECTURE
Architect, AIA, LEED AP

515 CROTON HEIGHTS ROAD
YORKTOWN HEIGHTS, NY 10598
914-962-2119
HEIKE@HS-ARCHITECTURE.COM



PROPOSED SITE PLAN

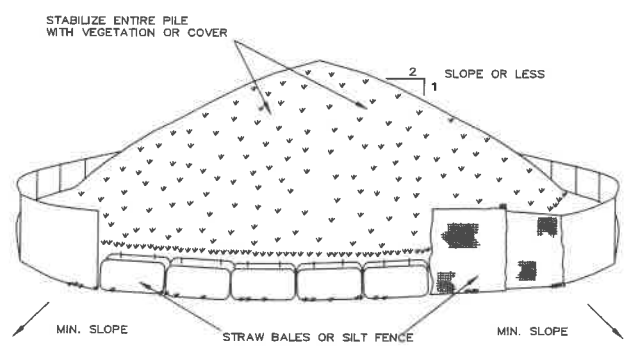
SCALE: 1"=20'

NOTE:

ALL INFORMATION TAKEN FROM
SURVEY PREPARED BY ANTHONY DEROSA LIC NO. 49332
BUNNEY ASSOCIATES LAND SURVEYORS
KATONAH, NY - DATED JUNE 11, 1985
ARCHITECT NOT RESPONSIBLE FOR SAME

LEGEND:

- SILT FENCE
- AREA OF
DISTURBANCE
- 945 SQ.FT.



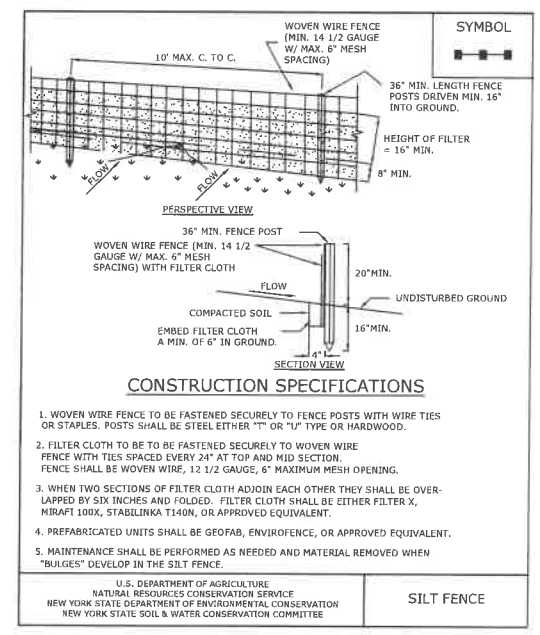
TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND
VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE DROUGHTY
(HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW
PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB
AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL
TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH,
NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE
STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR,
SITE CONDITIONS, AND REQUIRED DURATION OF USE.

INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW BALES, THEN STABILIZED WITH VEGETATION OR COVERED.

SOIL STOCKPILING N.T.S.

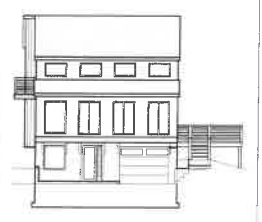


CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, NURAP100K, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOPAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE



HEIKE A. SCHNEIDER, LLC.
ARCHITECT, AIA, LEED AP
515 CROTON HEIGHTS ROAD
YORKTOWN HTS, NY 10598
914 962-2119

MACPHAIL-ROCKET RESIDENCE
93 TODD ROAD
LEWISBORO, NY 10536

PROPOSED SITE PLAN

Plan Title

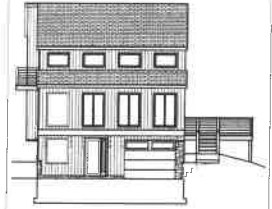
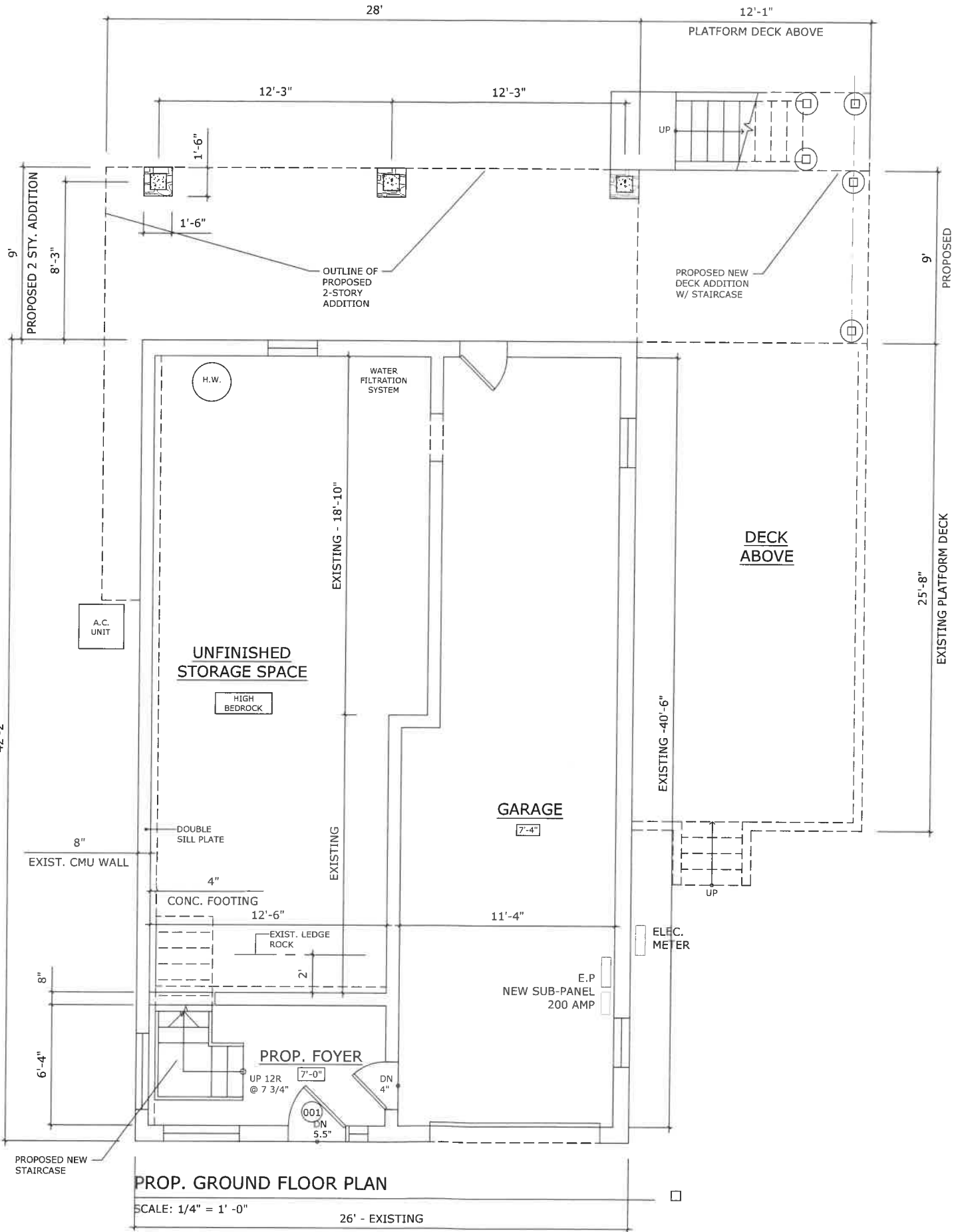
Title/Owner

Date: 01-05-23
Revision:
Bidding:



HIGH
BEDROCK

EXISTING
- 42'-2"



Plan Title

PROPOSED BASEMENT FLOOR PLAN

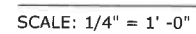
Title/Owner

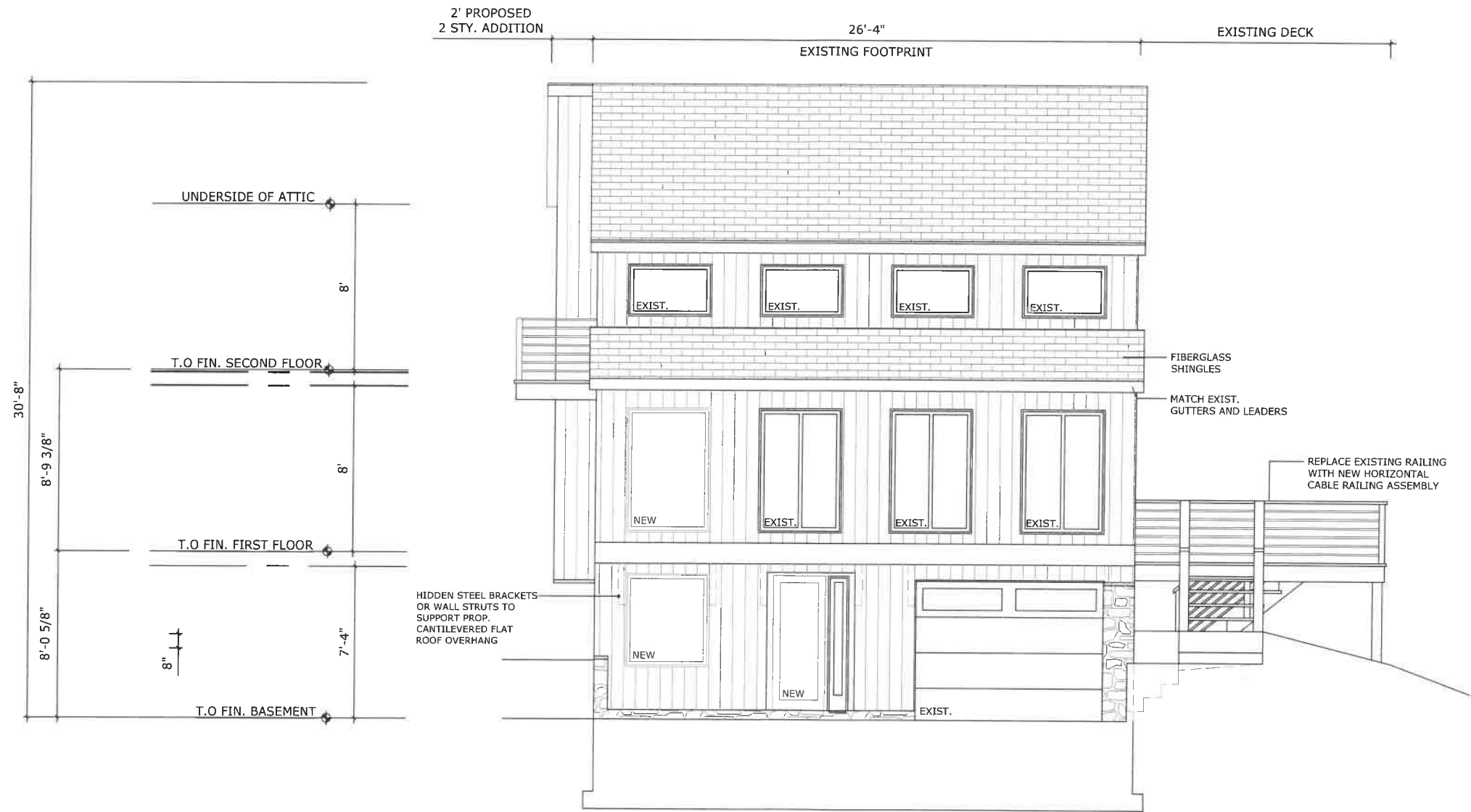
ROCKET RESIDENCE
93 TODD RD
KATONAH, NY 10536

HEIKE A. SCHNEIDER
ARCHITECT, AIA, LEED AP
515 CROTON HEIGHTS ROAD
YORKTOWN HTS, NY 10598
914 962-2119

Date: 11-04-22
Revision:
Bidding:

A₃





PROPOSED FRONT (SOUTH) ELEVATION

SCALE: 1/4" = 1' -0"



PROPOSED SOUTH EXTERIOR ELEVATION

Plan Title

HEIKE A. SCHNEIDER
ARCHITECT, AIA , LEED AP
515 CROTON HEIGHTS ROAD
YORKTOWN HTS, NY 10598
914 962-2119

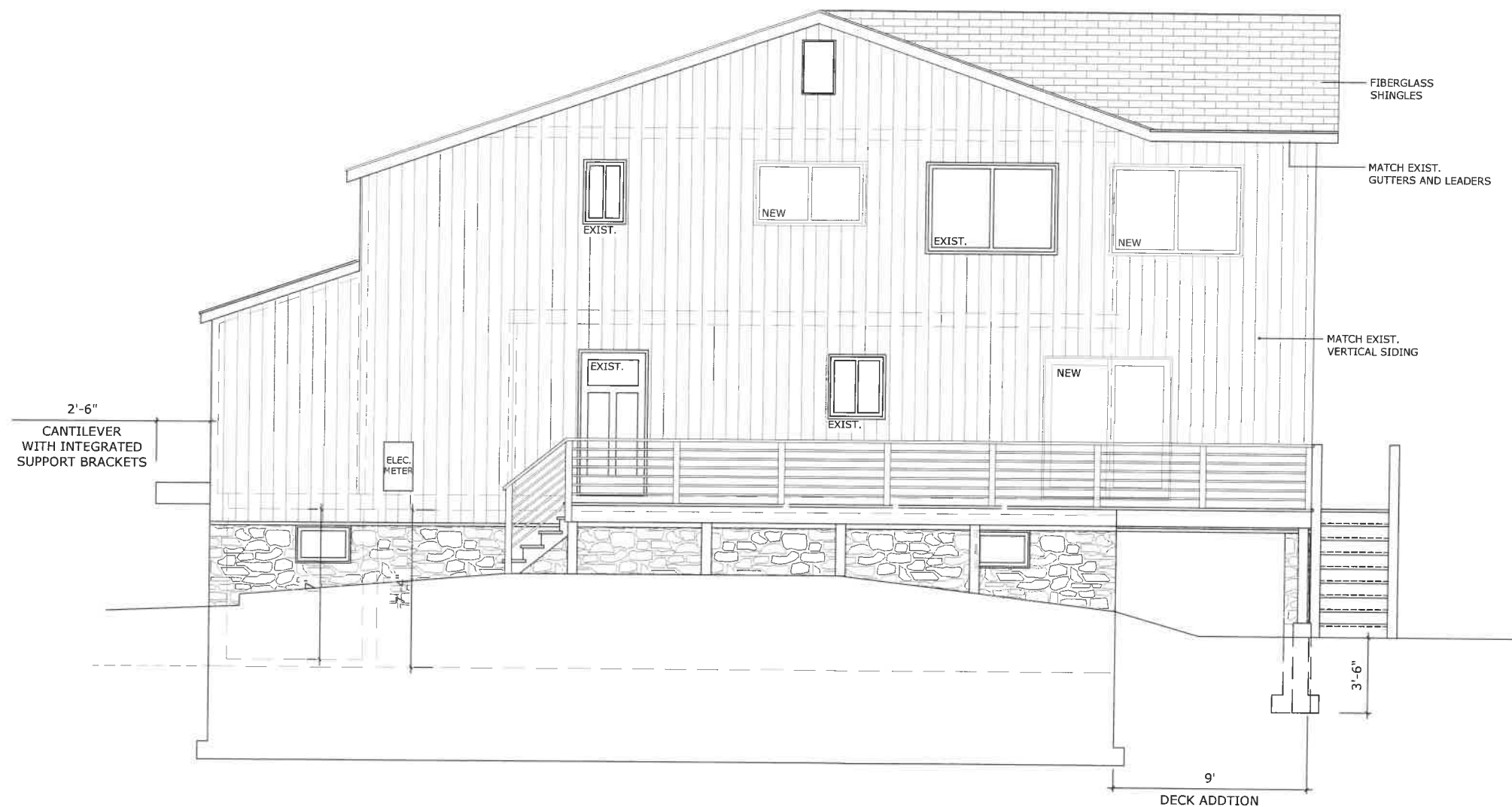
ROCKET RESIDENCE
93 TODD RD
KATONAH, NY 10536

Title/Owner

Date: 11-04-22
Revision:

Bidding:

A₆



PROPOSED SIDE (EAST) ELEVATION

SCALE: 1/4" = 1' -0"



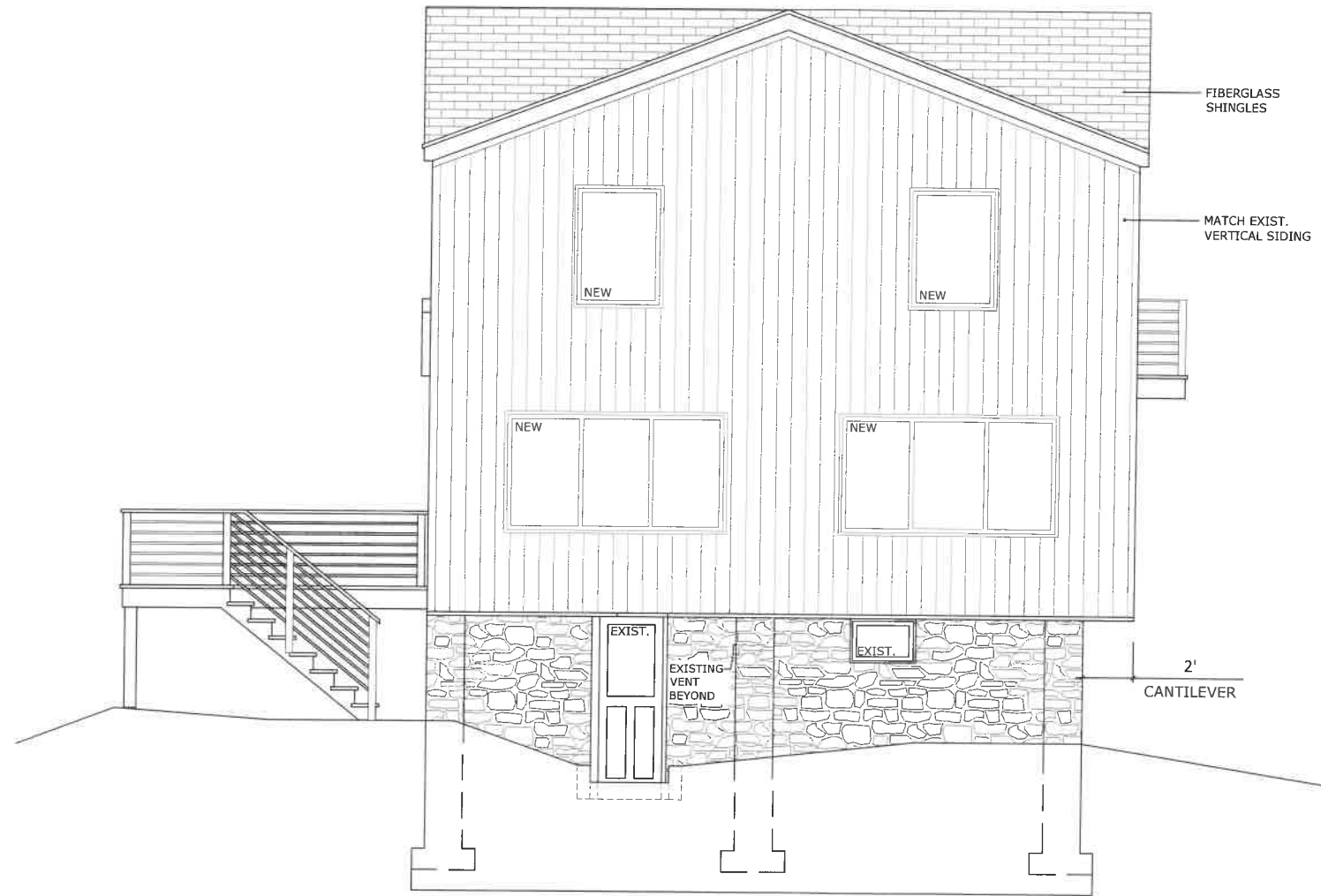
PROPOSED EAST EXTERIOR ELEVATION

HEIKE A. SCHNEIDER
ARCHITECT, AIA, LEED AP
515 CROTON HEIGHTS ROAD
YORKTOWN HTS, NY 10598
914 962-2119

ROCKET RESIDENCE
93 TODD RD
KATONAH, NY 10536

Date: 11-04-22
Revision:
Bidding:

A7



PROPOSED REAR (NORTH) ELEVATION

SCALE: 1/4" = 1' -0"



PROPOSED NORTH EXTERIOR ELEVATION

HEIKE A. SCHNEIDER
ARCHITECT, AIA, LEED AP
515 CROTON HEIGHTS ROAD
YORKTOWN HTS, NY 10598
914 962-2119

ROCKET RESIDENCE
93 TODD RD
KATONAH, NY 10536

Date: 11-04-22
Revision:
Bidding:

A₈



PROPOSED SIDE (WEST) ELEVATION

SCALE: 1/4" = 1' -0"

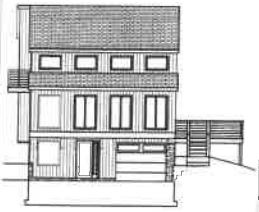


PROPOSED WEST EXTERIOR ELEVATION

HEIKE A. SCHNEIDER
ARCHITECT, AIA , LEED AP
515 CROTON HEIGHTS ROAD
YORKTOWN HTS, NY 10598
914 962-2119

ROCKET RESIDENCE
93 TODD RD
KATONAH, NY 10536

Date: 11-04-22
Revision:
Bidding:



HEIKE A. SCHNEIDER
ARCHITECT, AIA, LEED AP
515 CROTON HEIGHTS ROAD
YORKTOWN HTS, NY 10598
914 962-2119

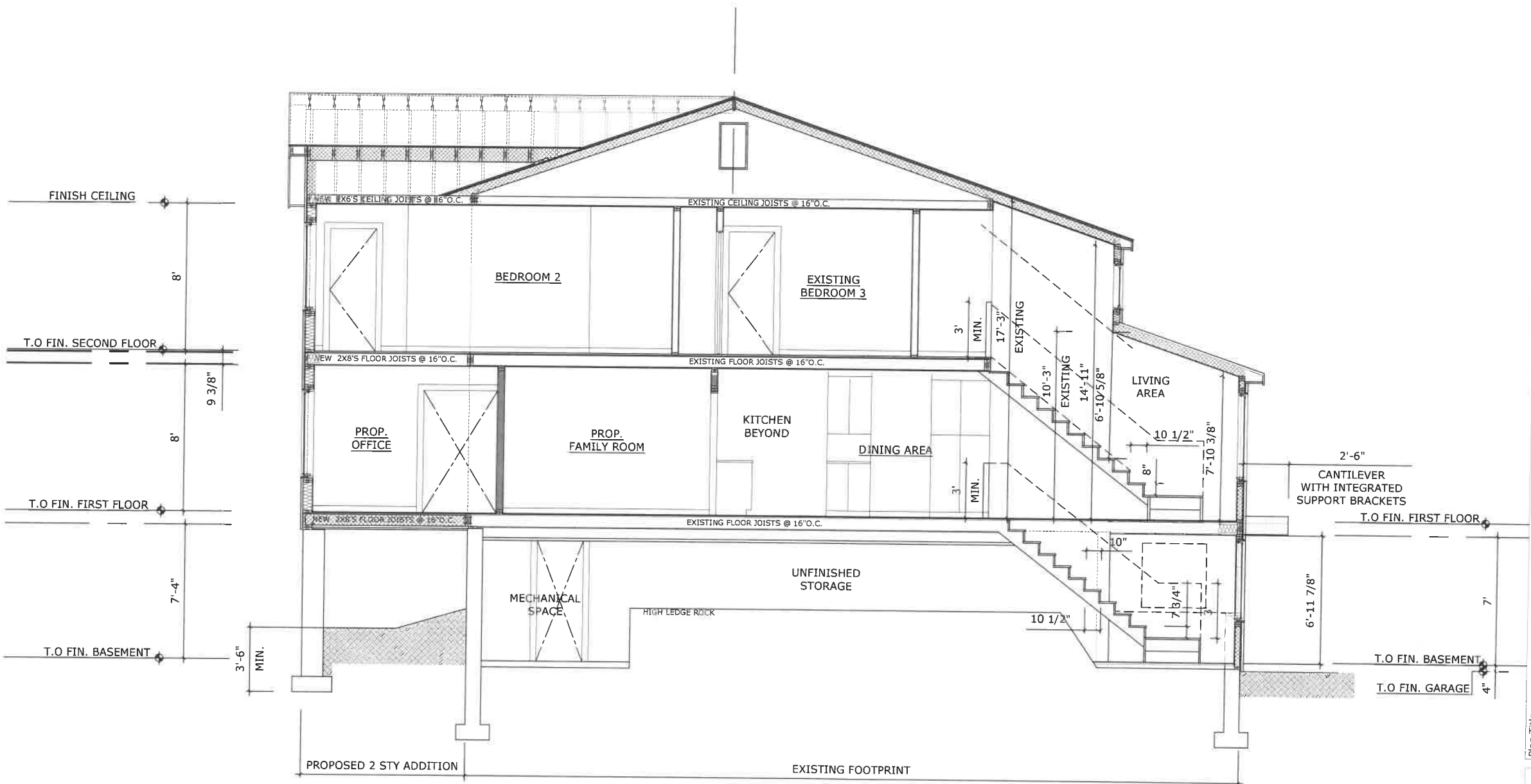
ROCKET RESIDENCE
93 TODD RD
KATONAH, NY 10536

Plan Title
BUILDING SECTION 'A'

Title/Owner

Date: 11-04-22
Revision:
Bidding:

A10



PRELIMINARY BUILDING SECTION 'A'

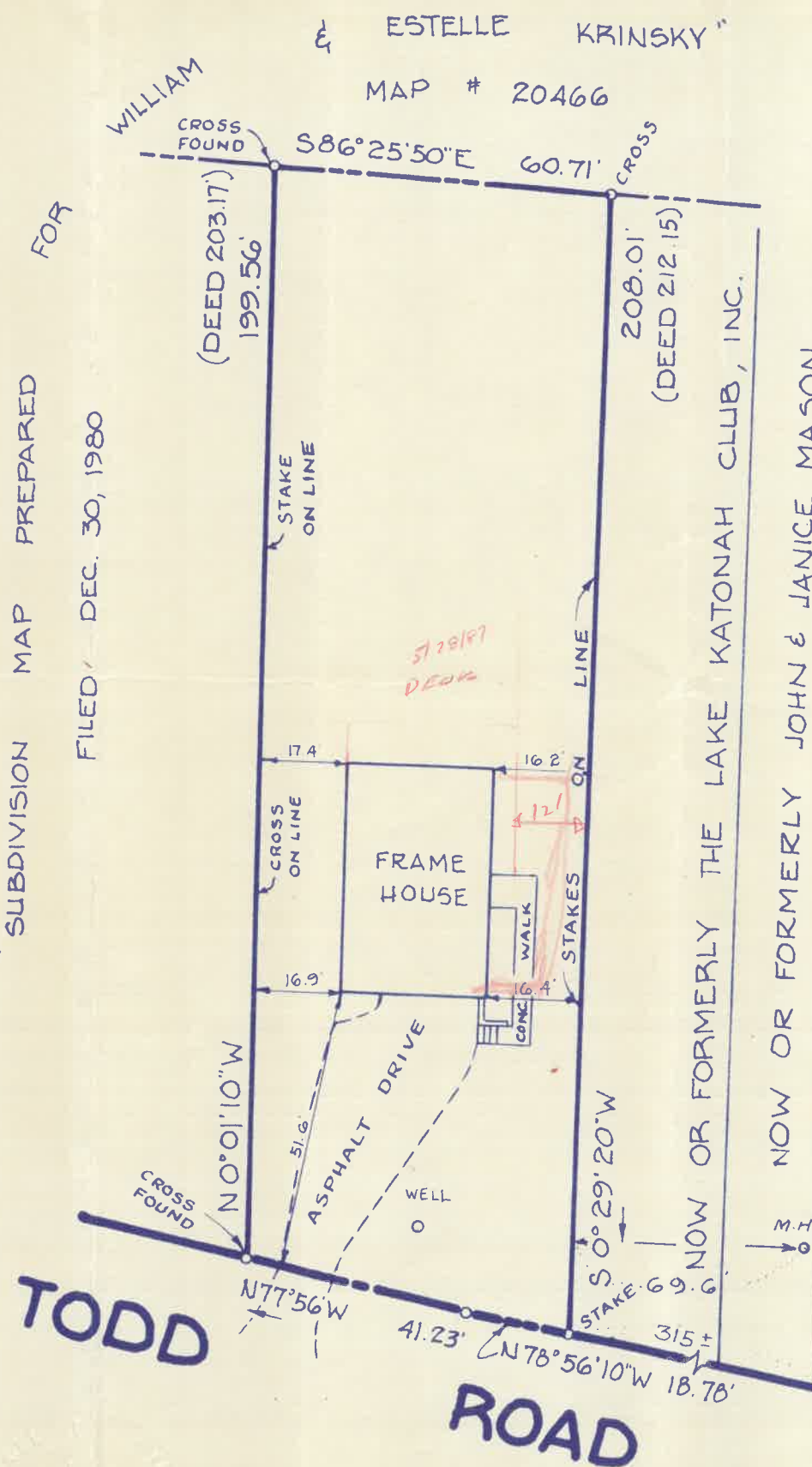
SCALE: 1/4" = 1' -0"

"All certifications hereon are valid for the
thereof only if said map or copies bear
seal of the surveyor whose signature ap

IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOC. OF PROFESSIONAL LAND SURVEYORS.

SUBDIVISION MAP PREPARED FOR
FILED DEC. 30, 1980

FILED DEC. 30, 1980


$$\begin{matrix} 3 \\ \cdot \\ 0 \\ \cdot \\ 4 \end{matrix}$$
$$\begin{aligned} \text{AREA} &= 12173 \text{ SQ. FT.} \\ &= 0.279 \text{ AC.} \end{aligned}$$

SURVEY OF PROPERTY
SITUATE IN
TOWN OF LEWISBORO
WESTCHESTER COUNTY
NEW YORK

SCALE: 1" = 30'

DATE: NOV. 10, 198:

CERTIFICATION ADDED JAN. 2,
REVISED FEB. 9, 1984
MANHOLE LOC. APRIL 2, 1984
BROUGHT TO DATE: NOV. 14, 1984
" " " : JAN. 23, 1985
TO DATE JUNE 11, 1985 FILE NO. TG

BROUGHT TO DATE JUNE 11, 1985

AN. 25,1504
FILE NO. TG

PREPARED FOR PREMIER BUILDERS

SURVEYED AS IN POSSESSION

20 WOODSBRIDGE ROAD ROUTE 117
KATONAH, NEW YORK 10536

Anthony DeRosa

N. Y. S. LIC. No. 49332

B. Marino

TOWN OF LEWISBORO

Zoning Board of Appeals

2-84BZ, PREMIER BUILDERS, INC. (Riina)

RESOLUTION

This Resolution is made under Zoning Board of Appeals Calendar #2-84BZ and is pursuant to the decision and short form order of Hon. Angelo J. Ingrassia, dated September 24, 1984 and thereafter entered.

FINDINGS

1. The decision and order of Judge Ingrassia directs the Zoning Board of Appeals "... to issue the requested variance."
2. The variance requested is for sideline setback variances (2), wherein each side of the proposed improvement would be no closer to each side lot line than fifteen (15') feet.
3. The variance requested is therefore limited by its initial presentation to the Zoning Board of Appeals and by the applicant's subsequent presentation to the Zoning Board of Appeals.
4. The variance requested shall therefore be deemed to consist of the following:
 - A. Application for sideline setback variances (2), for permission to erect a single family dwelling no closer than fifteen (15') feet from each sideline;

as the same may be further limited by:
 - B. "Separate Sewage System", drawing dated 11/29/83 and thereafter amended and as approved by the Westchester County Health Department on April 3, 1984, and submitted to the Town of Lewisboro Building Department on May 8, 1984;

and
 - C. "Elevations", (5 pages), submitted to Westchester County Health Department on December 5, 1983;

and
 - D. Letter of Vincent R. Leone, Area Supervisor, Westchester County Board of Health, dated April 24, 1984, addressed to Robert Cudney, Building Inspector, Town of Lewisboro, and received by ~~the Building Department on April 25, 1984;~~

(continued)

TOWN OF LEWISBORO

Zoning Board of Appeals

2-84BZ, PREMIER BUILDERS, INC. (Riina)

FINDINGS (continued)

and

- E. Attachment to letter set forth in Item "D" above (which appears to be a portion of Item "B" above).

RESOLUTION

NOW THEREFORE, UPON the decision and short form order of Hon. Angelo J. Ingrassia, dated September 24, 1984 and thereafter entered; and

UPON the findings of the Zoning Board of Appeals above set forth, which shall be deemed a part of this Resolution as if fully repeated herein;

The requested variance is hereby granted. To the extent that any submission of the applicant may be found to conflict with any other submission of the applicant, the more restrictive shall be deemed approved.

DATED: October 20, 1984.

TOWN OF LEWISBORO
Zoning Board of Appeals

By William R. Lonergan, Jr.
William R. Lonergan, Jr.
Chairman, Zoning Board

TOWN OF LEWISBORO

RECEIVED
OCT 22 1984

OFFICE OF TOWN CLERK

ZONING BOARD OF APPEALS

TOWN OF LEWISBORO

Cal. No. 29-87 BZ

In the matter of:

Application of Susan & James Friedman, RD #3, Todd Road, Katonah, New York, Owners, for a variance in the matter of the proposed construction of a deck addition to a one-family residence which would be closer to the side lines and would also exceed the maximum percentage of building coverage permitted in an R2A, two-acre residential district.

Public Hearings were held on July 22 and September 30, 1987 at the Town House, Main Street, South Salem, New York.

Board Members: Present:

William R. Lonergan, Jr.
Chairman
James P. Jones
David O. Bailey

Absent:

Emmett M. Dockery
Douglas Harvey

Appearances: For Applicant:

Mr. & Mrs. Friedman
Mr. Mason

In Opposition:

Mr. Krinsky

References:

Minutes of Public Hearings -
July 22 and September 30, 1987

Site plans

Sketches of proposal

Action of Board:

Variance granted on modified proposal

The Vote: To Approve:

September 30, 1987

Affirmative:

Lonergan, Jones and Bailey (3)

Negative:

None (0)

The Property:

Located on the north side of Todd Road, designated on the Tax Map as Sheet 9, Block 11150, Lot 3, in an R2A, two-acre residential district.

NATURE OF APPLICATION
AND
SUMMARY OF EVIDENCE PRESENTED

This is an application with two considerations for variances of Section 321 of the Zoning Ordinance. The applicants wish to build a deck addition to their one-family residence. The existing house is on a sub-standard lot, that is, a lot which predates our Zoning requirements. The proposed deck on the north side of the house, if built, would then exceed maximum coverage. The plans submitted by the applicant were reviewed by the Board. The applicants were asked to consider another location for the deck, possibly the easterly side of the house.

With revised plans for the easterly side of the house, the one dissenting neighbor, Mr. Krinsky, stated he had no objections if the deck would be entirely on the easterly side.

Mr. Cudney, Building Inspector, reviewed the history of this application by telling the Board that the application originally came here for two side line variances on each side. It was denied by the Zoning Board, reversed by White Plains and the Building Department issued a Permit. At that particular time, the original plan did conform to the percentage of coverage. Due to the fact of the topography and the limitation of the variance that was granted, the builder basically redesigned the house and included a deck. When I reviewed it, I found that it exceeded the 9% of coverage and informed the builder that if he wanted to add the deck it would require another variance because of the percentage of coverage. He replied that he "wasn't going through that again" and would build it without the deck. Therefore, I left a note for my files saying, "do not issue any permits for any accessory building or additions as main residence right on nose as far as percentage of coverage." So, now the applicant is here for the deck for those reasons.

FINDINGS AND CONCLUSIONS

The Board conducted an on site inspection.

At that time, the Board spent a good deal of time looking at the initial proposal for a deck on the north side of the house, in light of the configuration of the property, the proximity to the Friedman's home and the impact on the neighbors. The Board was opposed to that plan because they felt it to be too intrusive to the area and opposed to what the Ordinance has set up. When the alternative proposal was presented, (the deck to be built entirely on the easterly side of the house) the Board found

it to be an acceptable compromise by making it smaller, at a lower elevation and not in direct view from Mr. Krinsky's property. This was also agreed to by the dissenting neighbor, Mr. Krinsky.

Accordingly, the Board grants the variance and approves the modified proposal on the condition that no portion of the deck whatever extend beyond the north line of the house.

The Building Inspector is hereby authorized to issue the necessary Building Permit.



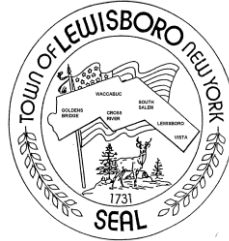
William R. Loneragan, Jr.
Chairman

Dated in South Salem, New York
this 9th day of October, 1987.
Twentieth

TOWN OF LEWISBORO
RECEIVED
NOV 10 1987
OFFICE OF TOWN CLERK

TOWN OF LEWISBORO
Westchester County, New York

Building Department
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3060
Fax: (914) 875-9148
Email: ksullivan@lewisborogov.com

Zoning Denial 1/3/2023

100 Upper Lake Shore, Katonah
9D-11140-63

The applicant is proposing a propane tank that is located within the required side yard setback. The property is located within the R1/2A zoning district which requires a 15' setback from the property line, while 7' is proposed.

Requirements per Article IV Section 220-12 and attachment 1, *Schedule of Dimensional and Bulk Regulations for Residential Districts* of the Town of Lewisboro Zoning Code.



Building Inspector

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, March 22, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 07-23-BZ

Application of Ellen Lehrman [Lehrman, Ellen, owner of record], 100 Upper Lake Shore, Katonah, NY for the following variance to install a propane tank, 7-feet from the side yard setback. Based on the R-1/2AC zoning district, the required side yard setback is 15-feet, therefore an 8-foot variance is required, per Article IV Section 220-12 and attachment 1, Schedule of Dimensional and Bulk Regulations for Residential Districts of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#100) Upper Lake Shore, Katonah, NY designated on the Tax Map as Sheet 009D, Block 11140, Lot 063, in an R-1/2AC, One Half-Acre Residential District consisting of approximately 0.60 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 22nd day of February 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

LAKE
FRONT

3528

LINE

20° 07' 20" E

07'20"W

UPPER

7°47'50"W
20.45'
100 LAKE

SHORE

LEHRMAN

[illegible]

WESTCHESTER BOOK CO.

re individuals and institutions
No. shown above, Said certi-

PREMISES SHOWN HEREON BEING
ALL OF LOTS 63, 64, 65, 66, 67, 68

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED SURVEYOR'S SEAL OR SIGNATURE IS A VIOLATION OF SE

[illegible]

TOWN OF LEWISBORO
Building Department
Bouton Road
South Salem, NY 10590
Email: kkelly@lewisborogov.com



(914) 763-3060
FAX (914) 875-914879
TTY 800-662-1220

www.lewisborogov.com

2/17/22
Zoning Denial App. #2023-0037

Autorino
63 Pine Hill Dr
029B-10540-082

The proposed LP tanks will have a side yard setback of 15' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a variance of 25'.

Kevin Kelly

Building Inspector

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, March 22, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 08-23-BZ

Application of Glenn & Lynne Autorino [Autorino, Glenn P. & Lynne A., owner of record], 63 Pine Hill Drive, South Salem, NY for the following variance to install LP tanks, which will have a side yard setback of 15' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a variance of 25'.

The property is located on the east side of (#63) Pine Hill Drive, South Salem, NY designated on the Tax Map as Sheet 029B, Block 10540, Lot 082, in a R-2AC, Two-Acre Residential District consisting of approximately 2.00 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 1st day of March 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

63 Pine Hill

