

TOWN OF LEWISBORO
Westchester County, New York

Zoning Board of Appeals
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3822
Fax: (914) 533-0097
Email: zoning@Lewisborogov.com

AGENDA

Wednesday, April 26, 2023, 7:30 P.M.

**79 Bouton Road, South Salem,
Justice Court**

- I. Review and adoption of the Minutes of March 22, 2023.**
- II. PUBLIC HEARING**

CAL. NO. 07-23-BZ Amended

Application of Ellen Lehrman [Lehrman, Ellen, owner of record], 100 Upper Lake Shore Drive, Katonah, NY for the following variance for the proposed four 120-gallon propane tanks which will have a side yard setback of 7' whereas 15' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a variance of 8'.

The property is located on the west side of (#100) Upper Lake Shore, Katonah, NY designated on the Tax Map as Sheet 009D, Block 11140, Lot 063, in an R-1/2AC, One Half-Acre Residential District consisting of approximately 0.60 acres.

CAL. NO. 08-23-BZ Amended

Application of Glenn & Lynne Autorino [Autorino, Glenn P. & Lynne A., owner of record], 63 Pine Hill Drive, South Salem, NY for the following variance of the proposed 1000-gal LP tank will have a side yard setback of 15' whereas 40' are required per Article IV section 220-23E of the town of Lewisboro zoning code therefore requiring a variance of 25' and the proposed generator will have a side yard setback of 30' whereas 40' are required per Article IV section 220-23E of the town of Lewisboro zoning code therefore requiring a variance of 10'.

The property is located on the east side of (#63) Pine Hill Drive, South Salem, NY designated on the Tax Map as Sheet 029B, Block 10540, Lot 082, in an R-2AC, Two-Acre Residential District consisting of approximately 2.00 acres.

CAL. NO. 10-23-BZ

Application of Envirostar [Dimos, Bill P. & Gianni, owner of record], 3 Stonewall Court, South Salem, NY for the following variance to install the proposed 275-gallon vertical above ground oil tank which will have a side yard setback of 35' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a variance of 5'.

The property is located on the east side of (#3) Stonewall Court, South Salem, NY designated on the Tax Map as Sheet 0043, Block 10067, Lot 004, in a SCR-2AC, Special Character Two-Acre Residential District consisting of approximately 2.09 acres.

CAL. NO. 11-23-BZ

Application of Bob Eberts, [Maex, Dimitri & Katherine, owner of record], 97 Todd Road, Katonah, NY, is proposing a spa with a deck that has a side yard setback of 4.86' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a variance of 35.14' and a rear yard setback of 31.0' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a variance of 19'.

The property is located on the north side of (#97) Todd Road, Katonah, NY designated on the Tax Map as Sheet 0009, Block 11150 Lot 009, in an R-2AC, Two-Acre Residential District consisting of approximately 1.02 acres.

CAL. NO. 12-23-BZ

Application of Michael Fuller Sirignano, Esq. [Waccabuc Country Club, owner of record], 74 Mead Street, Waccabuc, NY. The proposed pickleball courts create an increase in the existing non-conforming private recreation club use and therefore require a variance pursuant to Article III, Section 220-9E(5) of the Town of Lewisboro Zoning Code and the proposed pickleball courts create an increase in the applicable setbacks for private club “active recreational facilities, such as tennis courts and swimming pools” and provides that such recreational facilities be “set back from adjacent residential property boundaries at least twice the minimum distance required for residential buildings in said district as per Article V, Section 220-36C” of the Town of Lewisboro Zoning Code, in that the proposed pickleball courts will have a side yard setback of 51’ from the northerly property line and 98’ from the southerly property line, where 100’ (doubled) side yard setback is required under Section 220-36C of the Town of Lewisboro Zoning Code, therefore requiring a side yard setback variances of 49’ and 2’, respectively.

The property is located on the west side of (#74) Mead Street, Waccabuc, NY designated on the Tax Map as Sheet 0022, Block 10802, Lot 023, in a SCR-4AC, Special Character Four-Acre Residential District consisting of approximately 6.11 acres.

CAL. NO. 13-23-BZ

Application of Heike A. Schneider, [MacPhail, Lucy Hamilton, owner of record], 93 Todd Road, Katonah, NY, is proposing a two-story addition to the existing single-family structure on the property. The property is a pre-existing non-conforming lot that is significantly smaller than the current zoning. Multiple variances are required, as detailed below. Minimum Lot Area – Per the R-2A zoning, the minimum lot size is 2.0 acres. The existing lot is 0.279 acres (12,173 sf). While there is no proposed change to the lot, a 1.721-acre variance is required. Minimum Lot Width – The code requires a 200-foot minimum lot width in R-2A zoning. The existing lot is 60.71-feet wide. This requires a variance of 139.29-feet. West Side Yard Setback – The required side yard setback in R-2A zoning is 40-feet. The proposed addition reduces the side yard setback to 17.4-feet. This requires a variance of 22.6-feet. East Side Yard Setback – The required side yard setback in R-2A zoning is 40-feet. The proposed addition reduces the side yard setback to 16.3-feet. This requires a variance of 23.1-feet. Lot Coverage – Per R-2A zoning, the maximum lot coverage is 9%. Based on the proposed addition, the lot coverage will increase from 9% to 10.6%. This will require a variance of 1.6%. All the variances noted above are per the requirements of Article IV Section 220, attachment 1, *Schedule of Dimensional and Bulk Regulations for Residential Districts* of the Town of Lewisboro Zoning Code.

The property is located on the north side of (#93) Todd Road, Katonah, NY designated on the Tax Map as Sheet 0009, Block 11150 Lot 003, in an R-2AC, Two-Acre Residential District consisting of approximately 0.28 acres.

III. CORRESPONDENCE & GENERAL BUSINESS

IV. NEXT MEETING

May 24, 2023

V. ADJOURN MEETING

(914) 763-3822
FAX (914) 875-9148
TTY 800-662-1220
Email: zoning@lewisborogov.com
www.lewisborogov.com



TOWN OF LEWISBORO
Zoning Department
79 Bouton Road
South Salem, NY 10590

TOWN OF LEWISBORO, WESTCHESTER COUNTY

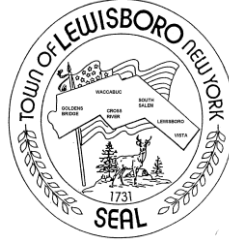
ZONING DEPARTMENT

ZONING BOARD OF APPEALS – April 26, 2023

ZONING BOARD OF APPEALS – April 26, 2023		
<u>APPLICANT</u>	<u>CAL #</u>	<u>PAGE(S)</u>
Lehrman	07-23-BZ	4 to 6
Autorino	08-23-BZ	7 to 11
Envirostar/Dimos	10-23-BZ	12 to 17
Eberts/Maex	11-23-BZ	18 to 22
Waccabuc Country Club/Pickle Ball	12-23-BZ	23 to 25
Schneider/MacPhail	13-23-BZ	26 to 42

TOWN OF LEWISBORO
Westchester County, New York

Building Department
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3060
Fax: (914) 875-9148
Email: ksullivan@lewisborogov.com

Zoning Denial 3/23/2023

100 Upper Lake Shore, Katonah
9D-11140-63

The proposed four 120-gallon propane tanks will have a side yard setback of 7' whereas 15' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a variance of 8'.

Building Inspector



Kevin Kelly

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, April 26, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 07-23-BZ Amended

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Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 24th day of March 2023
in South Salem, New York**

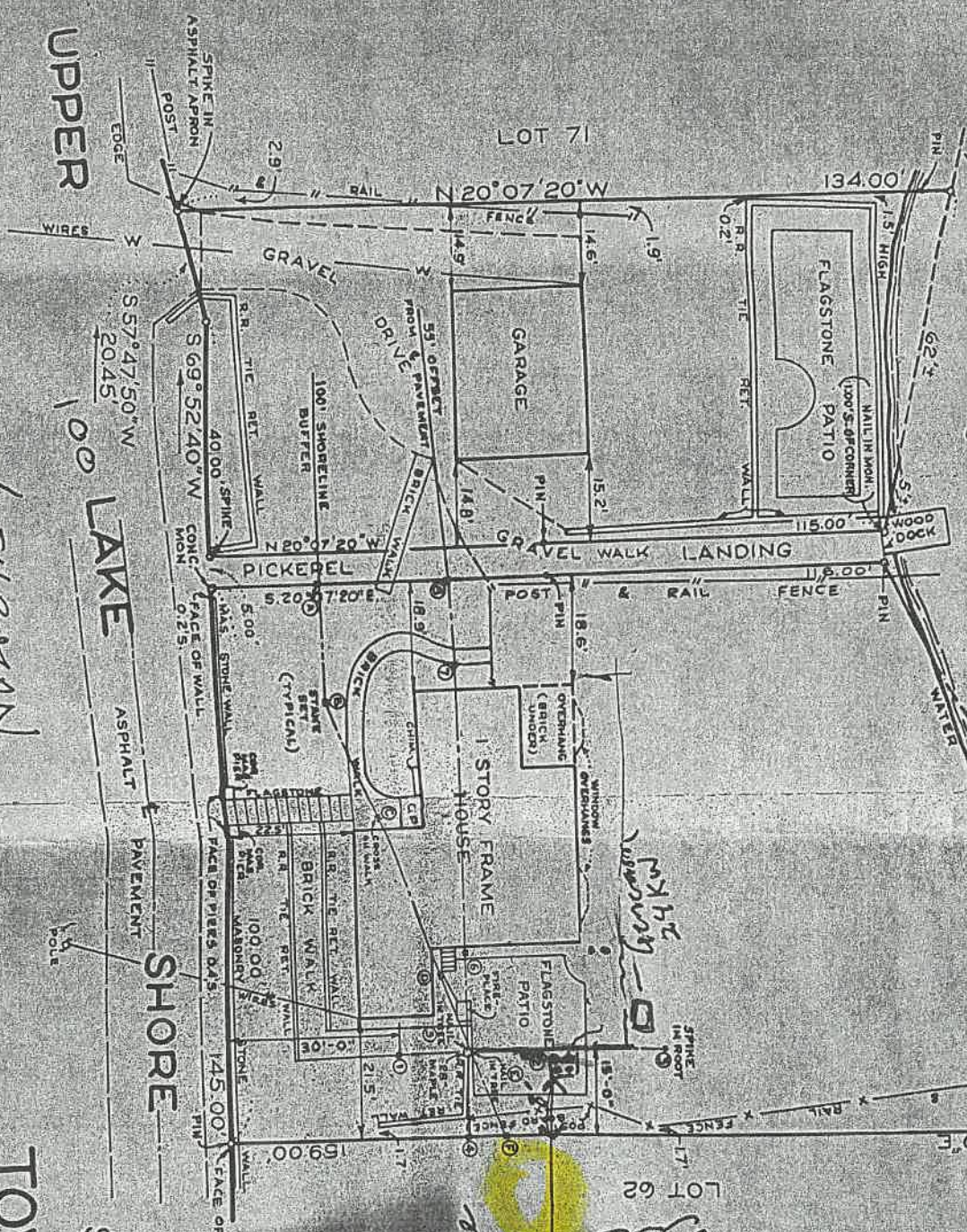
**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

LISTING CODE OF PRACTICE
 ESTABLISHED BY THE NEW YORK
 STATE SURVEYORS

Lake Katonah

SHORE LINE AS PER MAP NO. 3528



Individual and institutions
 No shown above said cert.

PREMISES SHOWN HEREON BEING
 ALL OF LOTS 63, 64, 65, 66, 67, 68,

LAKEMAN

UPPER LAKEMAN

SHORE

LOT 62

UNAUTHORIZED ALTERATION OR ADDITION
 TO A SURVEY MAP BEARING A LICENSE
 NO. OF 56

Property line
 goes from
 generally
 100' of 8 33' 30" E
 TO WESTCHESTER COUNTY
 AIRPORT

TOWN OF LEWISBORO
Building Department
Bouton Road
South Salem, NY 10590
Email: kkelly@lewisborogov.com



(914) 763-3060
FAX (914) 875-914879
TTY 800-662-1220

www.lewisborogov.com

3/28/23
Zoning Denial App. #2023-0037

Autorino
63 Pine Hill Dr
029B-10540-082

The proposed 1000-gal LP tank will have a side yard setback of 15' whereas 40' are required per Article IV section 220-23E of the town of Lewisboro zoning code therefore requiring a variance of 25' and the proposed generator will have a side yard setback of 30' whereas 40' are required per Article IV section 220-23E of the town of Lewisboro zoning code therefore requiring a variance of 10'.

Kevin Kelly

Building Inspector

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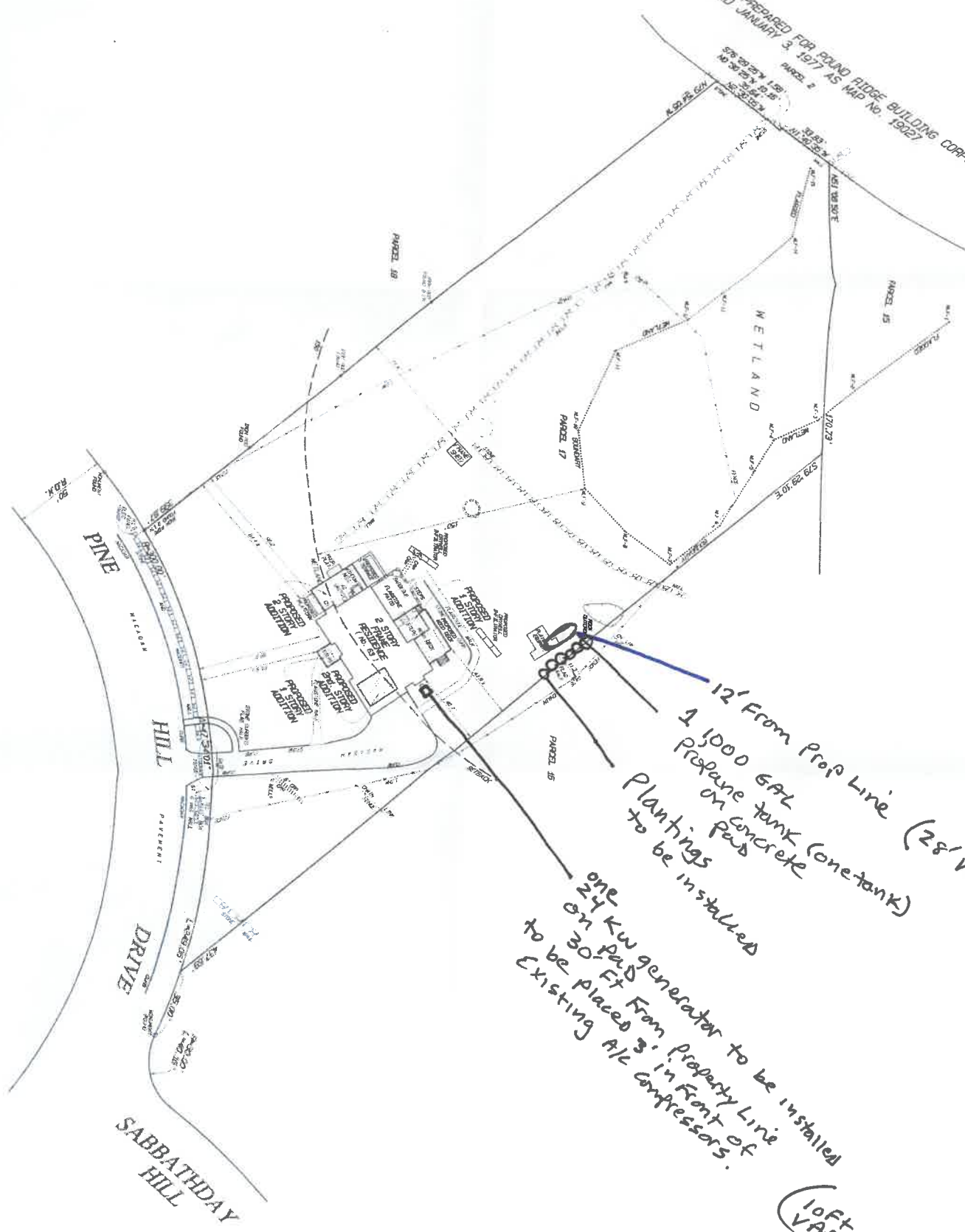
**Dated this 29th day of March 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

H. STANLEY JOHNSON AND COMPANY
 46 SOUTH MAIN ST., P.O. BOX 83
 MT. KISCO, N.Y. 10543
 TEL. 914-241-3838
 FAX 914-241-0438

"SUNNFIELD" SURVEY PREPARED FOR ARUND RIDGE BUILDING CORPORATION
 FILED JANUARY 3, 1977 AS MAP No. 19027

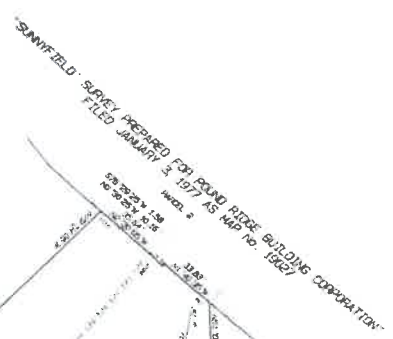


12' From Prop Line (28' variance)
 1,000 GAC
 Propane tank (one tank)
 on concrete
 pad
 Plantings
 to be installed

one
 KW generator to be installed
 on 30' pad 3' from Property Line
 to be placed in front of
 existing Air compressors.

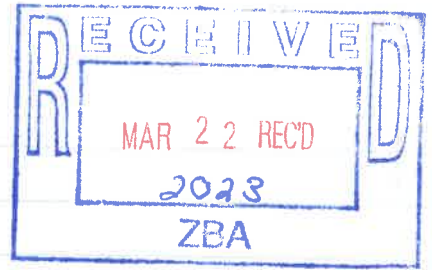
(10ft
 variance)

PREPARED BY: ANN CHECKED BY: ASU



WAS REVISIT TO SHOW PROPOSED ADDITIONS NOVEMBER 22, 2006
 SIGNED BY JANUARY 24, 2006
 MR. MICHAEL T. FLEMMING JR.
 BY *Michael T. Fleming Jr.*
 NEW YORK STATE LAND AND WATER DIVISION
 ROBERT S. JORDAN, P.E.

*SURVEY OF PROPERTY
PREPARED FOR
GLENN P. AUTORINO
AND
LYNNE A. AUTORINO
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK
SCALE: 1" = 30'*



To whom it may concern,

I spoke to Glen - He showed
me where the propane tank
and fence will be placed

Respect,

Ron Carls

59 Pine Hill Drive

TOWN OF LEWISBORO
Building Department
Bouton Road
South Salem, NY 10590
Email: kkelly@lewisborogov.com



(914) 763-3060
FAX (914) 875-914879
TTY 800-662-1220

www.lewisborogov.com

3/20/23
Zoning Denial App. # 2023-0076

DIMOS
3 Stonewall Court
0043-10067-004

The proposed 275-gallon vertical above ground oil tank will have a side yard setback of 35' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 5'.

Building Inspector

Kevin Kelly

ZONING BOARD OF APPEALS

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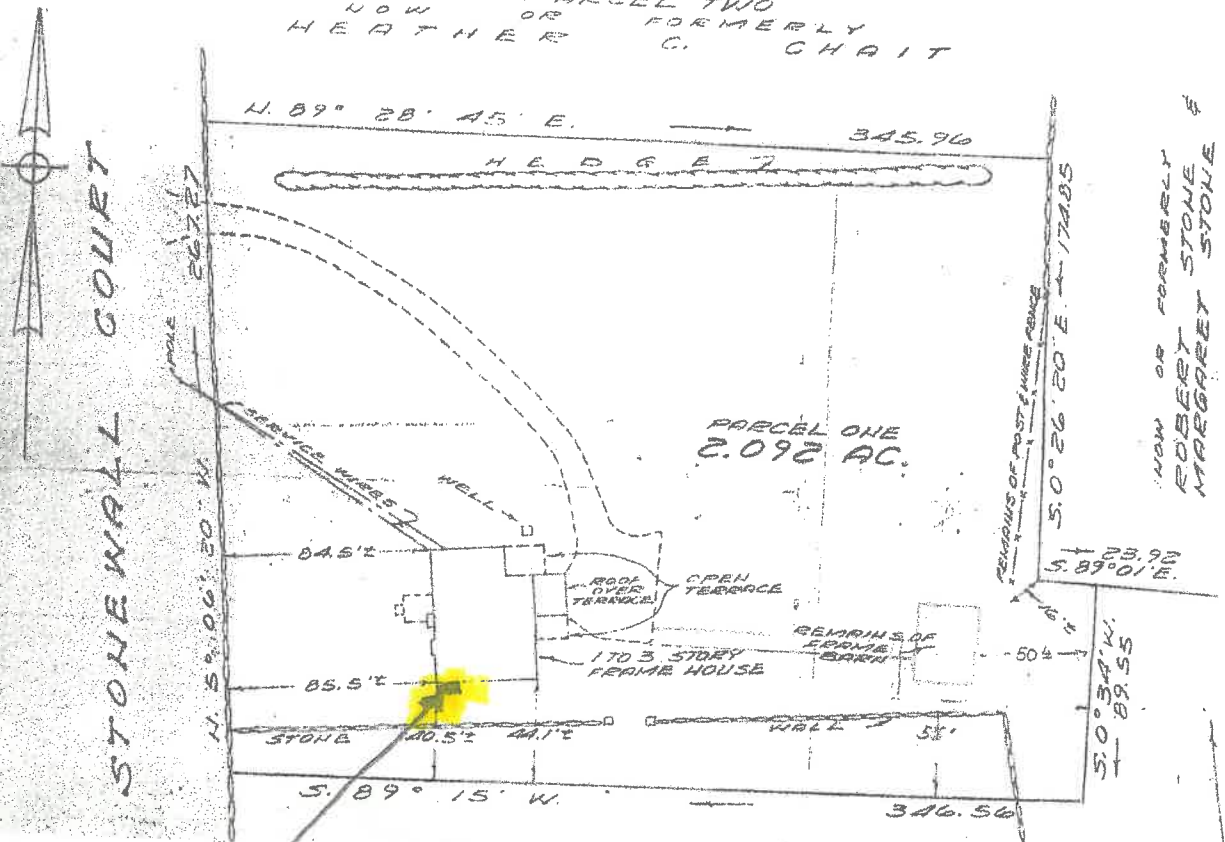
**Dated this 3rd day of April 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

BLOCK 10057
E-2A ZONE

NOW OR FORMERLY
HEATHER C. CHAIT



NOW OR FORMERLY
ROBERT STONE
MARGARET STONE

EXISTING + NEW

LOCATION OF
275G AS OILTANK

SET W/ COURTESY
PAD

TANK IS 27' W X
5' LONG

SURVEY

PREPARED FOR

STEVEN H. MADOFF

AND

A. P. AUCHINCLOSS

WM OF LEWISBORO

WESTCHESTER COUNTY, NEW YORK

CERTIFIED TO STEVEN H. MADOFF AND
PAMELA P. AUCHINCLOSS, COUNSEL
ABSTRACT, INC., MARINE MIDLAND BANK, N.A.
ITS SUCCESSORS AND/OR ASSIGNS AND TO
THEIR TITLE GUARANTEE COMPANY/TITLE
INSURANCE COMPANY.

REFER TO MAP NO. 10290 ON FILE IN THE
WESTCHESTER COUNTY LAND RECORDS.

SCALE: 1" = 50'

100-10-551 P. 62



ACHILLE A. PASCALE, THE SURVEYOR W.
MADE THIS MAP DO HEREBY CERTIFY THAT THE
SURVEY OF THE PROPERTY SHOWN HEREON WAS
COMPLETED APRIL 10, 1996 AND JUNE 13, 1996
AND THIS MAP WAS COMPLETED JUNE 13, 1996

Achille A. Pascale L.S. 154,380
OFFICE OF MOODY B. O'BRIEN, NEW CANAAN, CT

338

ENVIRONMENTAL Insurance Corp - 845-279-9555

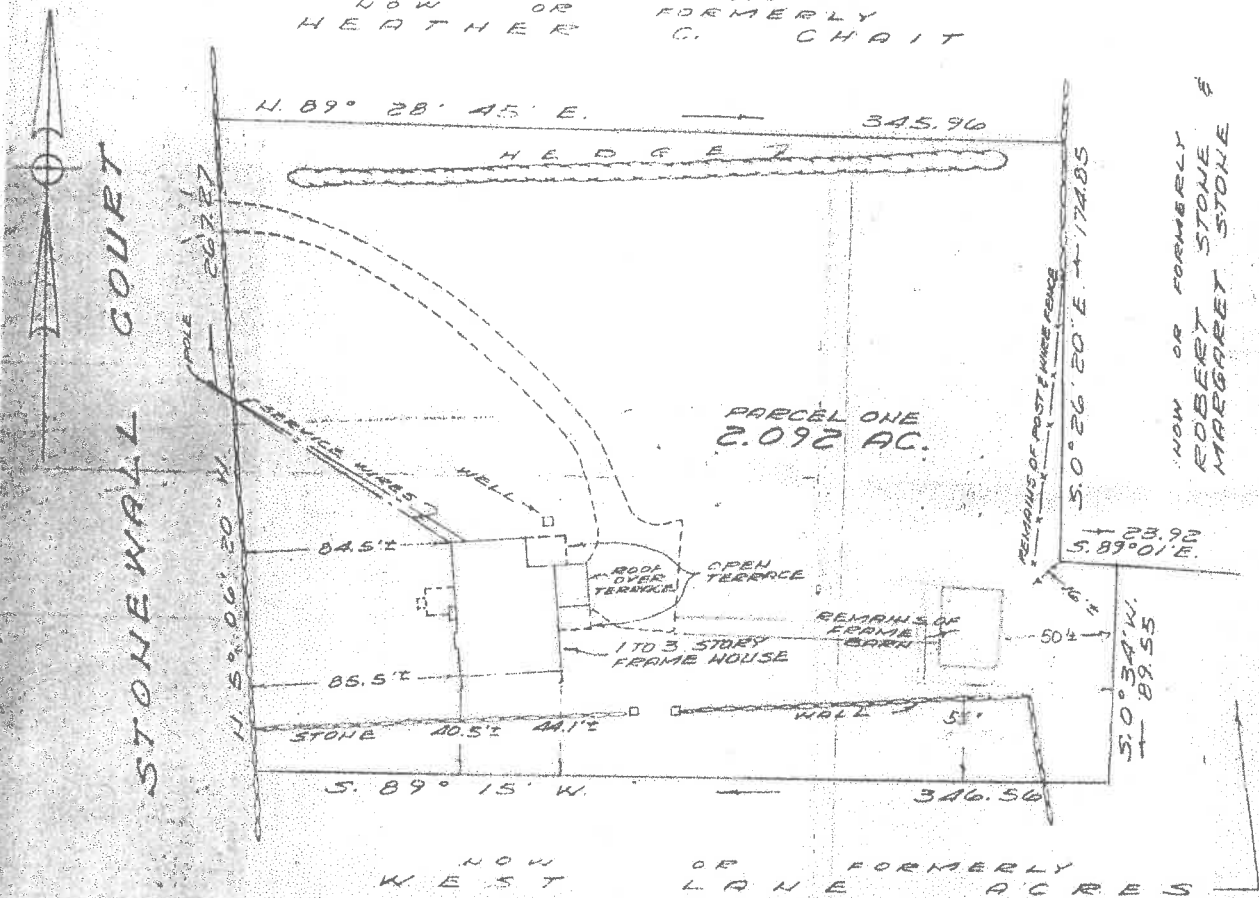
OWNER: DIMOS

OIL TANK LOCATION SKETCH
N.T.S.

March 2, 2022

BLOCK 10057
R-2A ZONE

PARCEL TWO
NOW OR FORMERLY
HEATHER C. CHAIT



SURVEY

PREPARED FOR

STEVEN H. MADOFF

AND

PAMELA P. AUCHINCLOSS

TOWN OF LEWISBORO

WESTCHESTER COUNTY, NEW YORK

CERTIFIED TO STEVEN H. MADOFF AND
PAMELA P. AUCHINCLOSS, COUNSEL
ABSTRACT, INC., MARINE MIDLAND BANK, N.A.
ITS SUCCESSORS AND/OR ASSIGNS AND TO
TICOR TITLE GUARANTEE COMPANY/TITLE
INSURANCE COMPANY.

REFER TO MAP NO. 18290 ON FILE IN THE
WESTCHESTER COUNTY LAND RECORDS.

SCALE: 1" = 50'

KB-NO-551 P.02



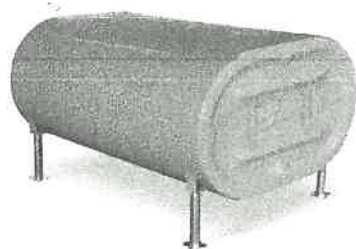
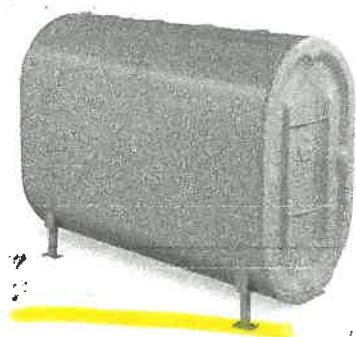
ACHILLE A. PASCALE, THE SURVEYOR WHO
MADE THIS MAP, DO HEREBY CERTIFY THAT THE
SURVEY OF THE PROPERTY SHOWN HEREON WAS
COMPLETED APRIL 10, 1992 AND JUNE 13, 1996
AND THIS MAP WAS COMPLETED JULIE 13, 1996

Achille A. Pascale
OFFICE OF MOODY E. O'BRIEN, NEW CANAAN, N.Y.

Base Survey



Tank is behind fence section



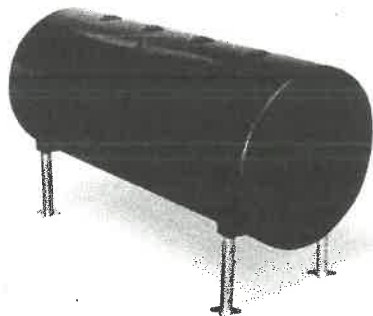
Residential oil tanks / UL 80

Product #	Capacity (US gal.)	Model	Gauge thickness	Dimensions			Weight (lb.)
				H	W	L	
209101	120	vert.	12	47"	23"	30"	170
208101	138	vert.	12	44"	27"	30"	160
208601	138	horiz.	12	27"	44"	30"	160
207101	220	stubbies/vert.	12	44"	27"	48"	220
203201G	230	thin/vert. grey	12	44"	22"	60"	235
203701G	230	thin/horiz. grey	12	22"	44"	60"	235
202201	240	narrow/vert.	12	47"	23"	60"	265
202701	240	narrow/horiz.	12	23"	47"	60"	265
204201	275	vert.	12	44"	27"	60"	255
204701	275	horiz.	12	27"	44"	60"	255
211201	275	vert.	10	44"	27"	60"	330
211701	275	horiz.	10	27"	44"	60"	330
205201	330	vert.	12	44"	27"	72"	290
205701	330	horiz.	12	27"	44"	72"	290

External finish: BLACK or GREY electrostatic powder paint

Touch up paint: PEO030C "BLACK"
PEO032C "GREY"

Warranty*: 10 years



Cylindrical models horizontal

Product #	Capacity (US gal.)	Model	Gauge cover thickness	Dimensions			Weight (lb.)
				Shell	Dia.	Height	
3005224	138	horiz.	12	12	26"	60"	165

External finish: BLACK electrostatic paint

Warranty*: 3 years

**TOWN OF LEWISBORO
Westchester County, New York**



**Building Department
79 Bouton Road
South Salem, New York 10590**

**Tel: (914) 763-3060
Fax: (914) 875-9148
Email: ksullivan@lewisborogov.com**

Zoning Denial 3/28/2023

**97 Todd Road, Katonah
Section 9, Block 11150, Lot 9**

The applicant is proposing a spa with a deck that has a side yard setback of 4.86' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a variance of 35.14' and a rear yard setback of 31.0' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a variance of 19'.

Kevin Kelly

Building Inspector

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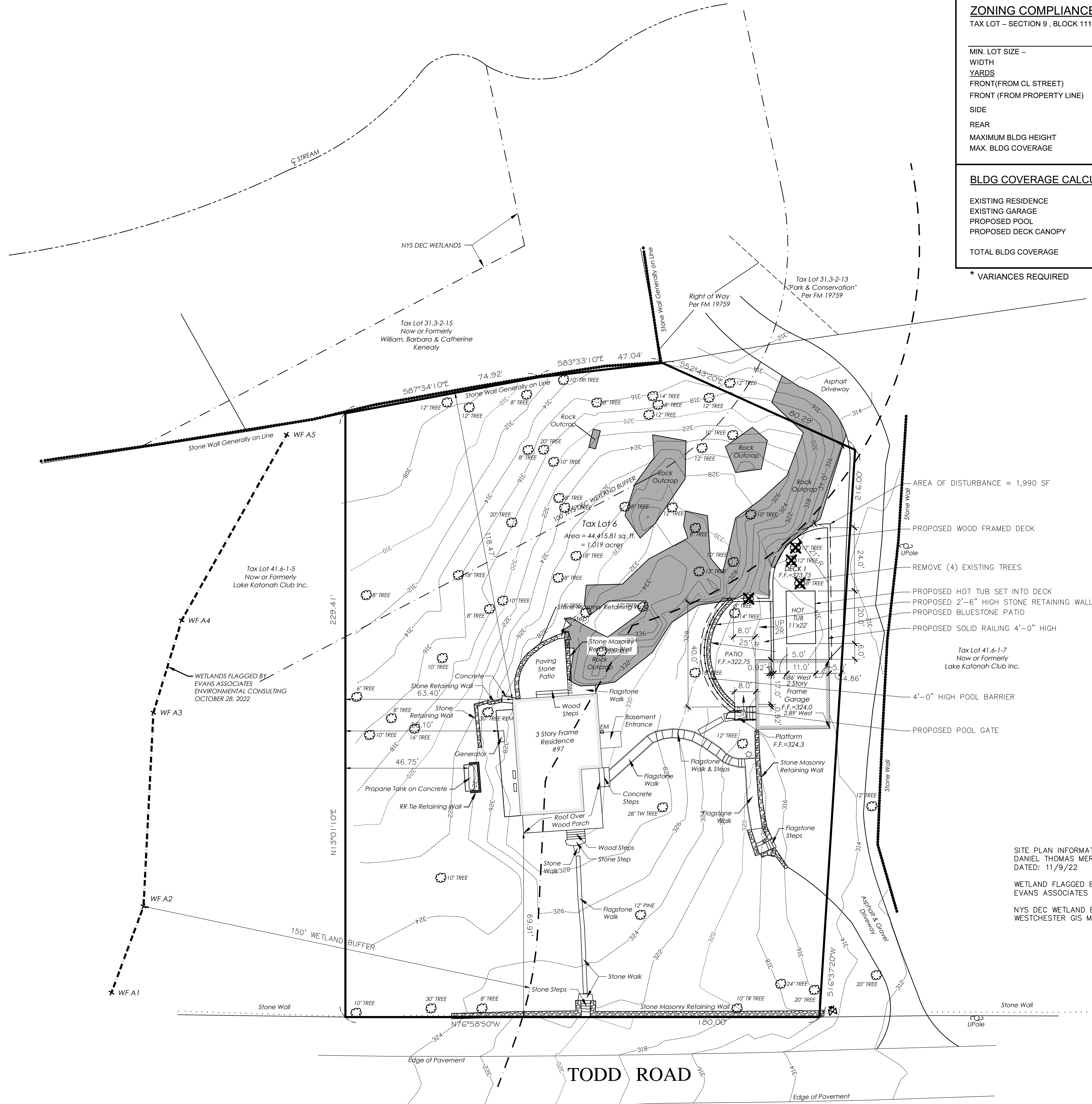
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**Dated this 30th day of March 2023
in South Salem, New York**

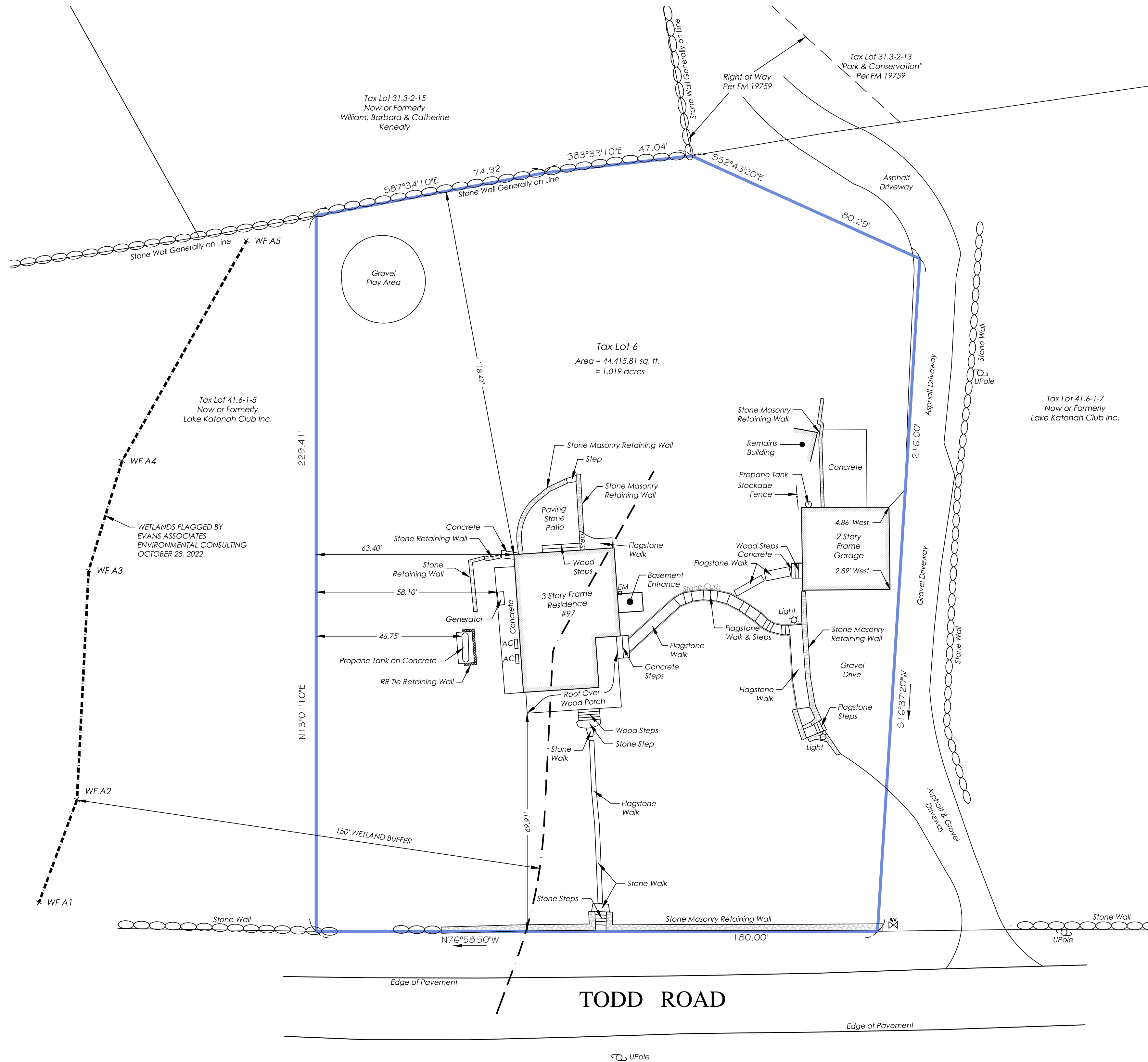
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TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

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* VARIANCES REQUIRED

1 SITE PLAN
SCALE: 1" = 20'



Only copies from the original of this survey marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Said certifications shall run only to the person for whom this survey is prepared and on his/her behalf to the title company, governmental agency and lending institutions listed hereon. Certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

Surveyed in accordance with Deed Control Number 580813222.

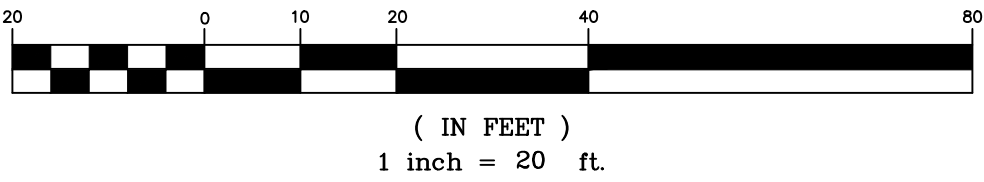
Premises shown hereon designated on the Town of Lewisboro Tax Maps as: Section 41.6, Block 1, Lot 6.

Property Address:
97 Todd Road
Katonah, NY 10536

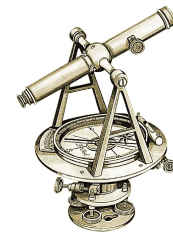
**SURVEY OF PROPERTY
PREPARED FOR
DIMITRI MAEX**
SITUATE IN THE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 20'

GRAPHIC SCALE



COPYRIGHT © 2022
TC MERRITTS LAND SURVEYORS
ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR
ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION
IS A VIOLATION OF APPLICABLE LAWS.



TC MERRITTS LAND SURVEYORS

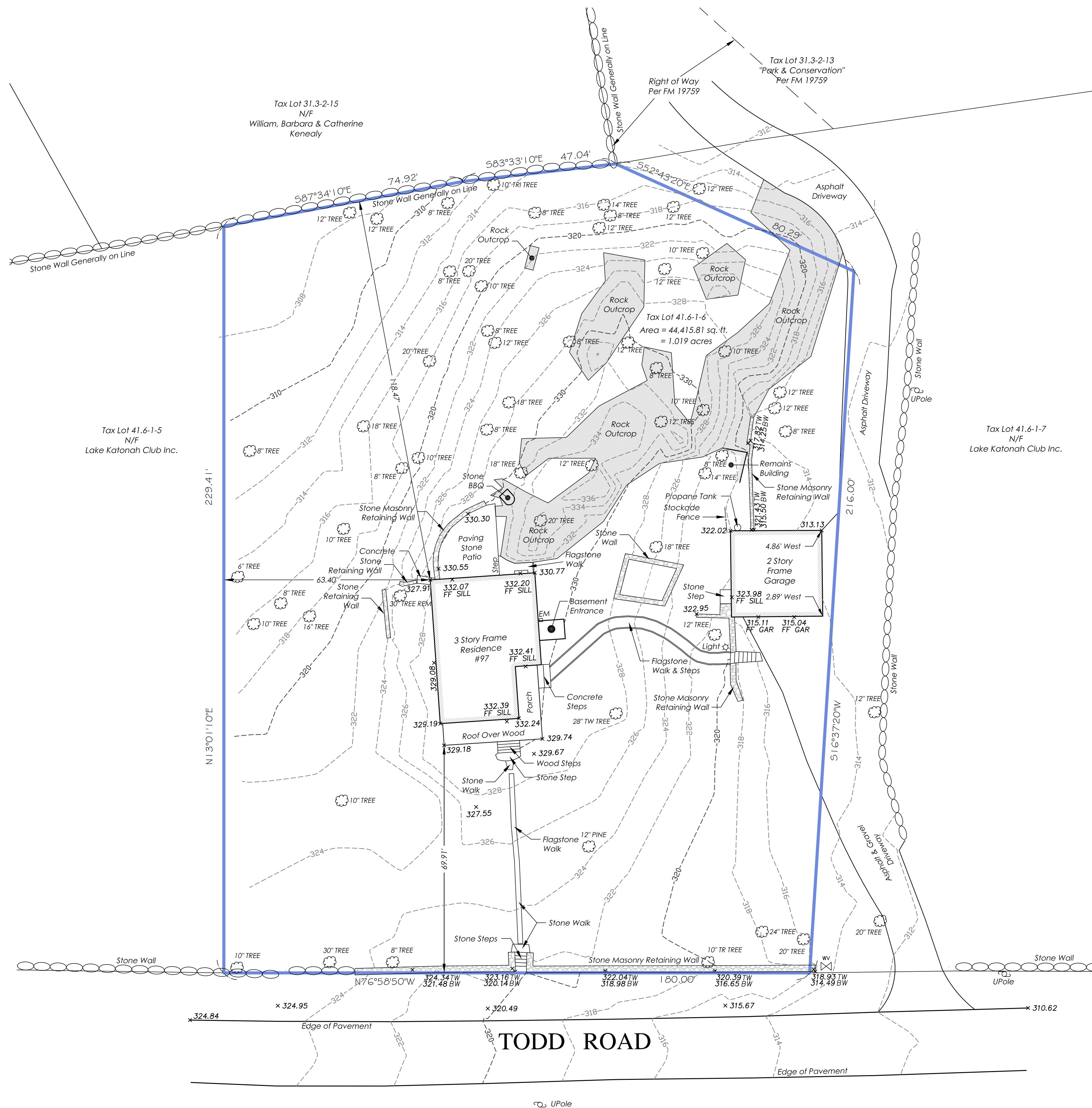
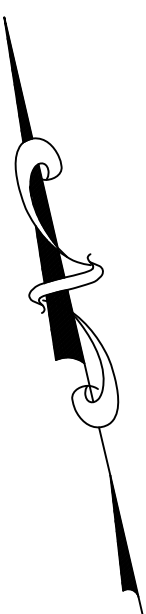
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • survey@tcmeritts.com



Surveyed: January 3, 2019
Map Prepared: January 4, 2019
Map Revised: November 9, 2022 to show survey update & wetland flags

By: *Daniel T. Merritts*
New York State Licensed Land Surveyor No. 050604

Project: 18-412	Field Survey By: AN/PT
Drawn By: CMP	Checked By: SBG / DA



Only copies from the original of this topography map marked with an original of the Land Surveyors embossed seal shall be considered to be true, valid copies.

Unauthorized alteration or addition to a map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks.

Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

Surveyed in accordance with Deed Control Number 580813222.

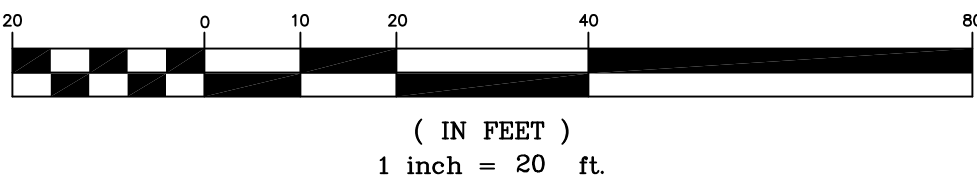
Premises shown hereon designated on the Town of Lewisboro Tax Maps as: Section 41.6, Block 1, Lot 6.

Property Address:
97 Todd Road
Katonah, NY 10536

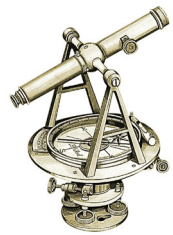
TOPOGRAPHY OF PROPERTY
PREPARED FOR
DIMITRI MAEX
SITUATE IN THE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 20'

GRAPHIC SCALE



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ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR
ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION
IS A VIOLATION OF APPLICABLE LAWS.



TC MERRITTS LAND SURVEYORS

394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899

Surveyed: January 3, 2019
Map Prepared: January 4, 2019

By: 
Scott B. Gray New York State Licensed Land Surveyor No.050672

Project: 18-412	Field Survey By: AN/FT
Drawn By: CMP	Checked By: SBG

TOWN OF LEWISBORO
Westchester County, New York



Building Department
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3060
Fax: (914) 875-9148
Email: ksullivan@lewisborogov.com

Zoning Denial 3/27/2023

74 Mead St, Waccabuc
22-10802-023

The proposed pickleball courts create an increase in the existing non-conforming private recreation club use and therefore require a variance pursuant to Article III, Section 220-9E(5) of the Town of Lewisboro Zoning Code and the proposed pickleball courts create an increase in the applicable setbacks for private club “active recreational facilities, such as tennis courts and swimming pools” and provides that such recreational facilities be “set back from adjacent residential property boundaries at least twice the minimum distance required for residential buildings in said district as per Article V, Section 220-36C” of the Town of Lewisboro Zoning Code, in that the proposed pickleball courts will have a side yard setback of 51’ from the northerly property line and 98’ from the southerly property line, where 100’ (doubled) side yard setback is required under Section 220-36C of the Town of Lewisboro Zoning Code, therefore requiring a side yard setback variances of 49’ and 2’, respectively.

Building Inspector

Kevin Kelly

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, April 26, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 12-23-BZ

Application of Michael Fuller Sirignano, Esq. [Waccabuc Country Club, owner of record], 74 Mead Street, Waccabuc, NY. The proposed pickleball courts create an increase in the existing non-conforming private recreation club use and therefore require a variance pursuant to Article III, Section 220-9E(5) of the Town of Lewisboro Zoning Code and the proposed pickleball courts create an increase in the applicable setbacks for private club “active recreational facilities, such as tennis courts and swimming pools” and provides that such recreational facilities be “set back from adjacent residential property boundaries at least twice the minimum distance required for residential buildings in said district as per Article V, Section 220-36C” of the Town of Lewisboro Zoning Code, in that the proposed pickleball courts will have a side yard setback of 51’ from the northerly property line and 98’ from the southerly property line, where 100’ (doubled) side yard setback is required under Section 220-36C of the Town of Lewisboro Zoning Code, therefore requiring a side yard setback variances of 49’ and 2’, respectively.

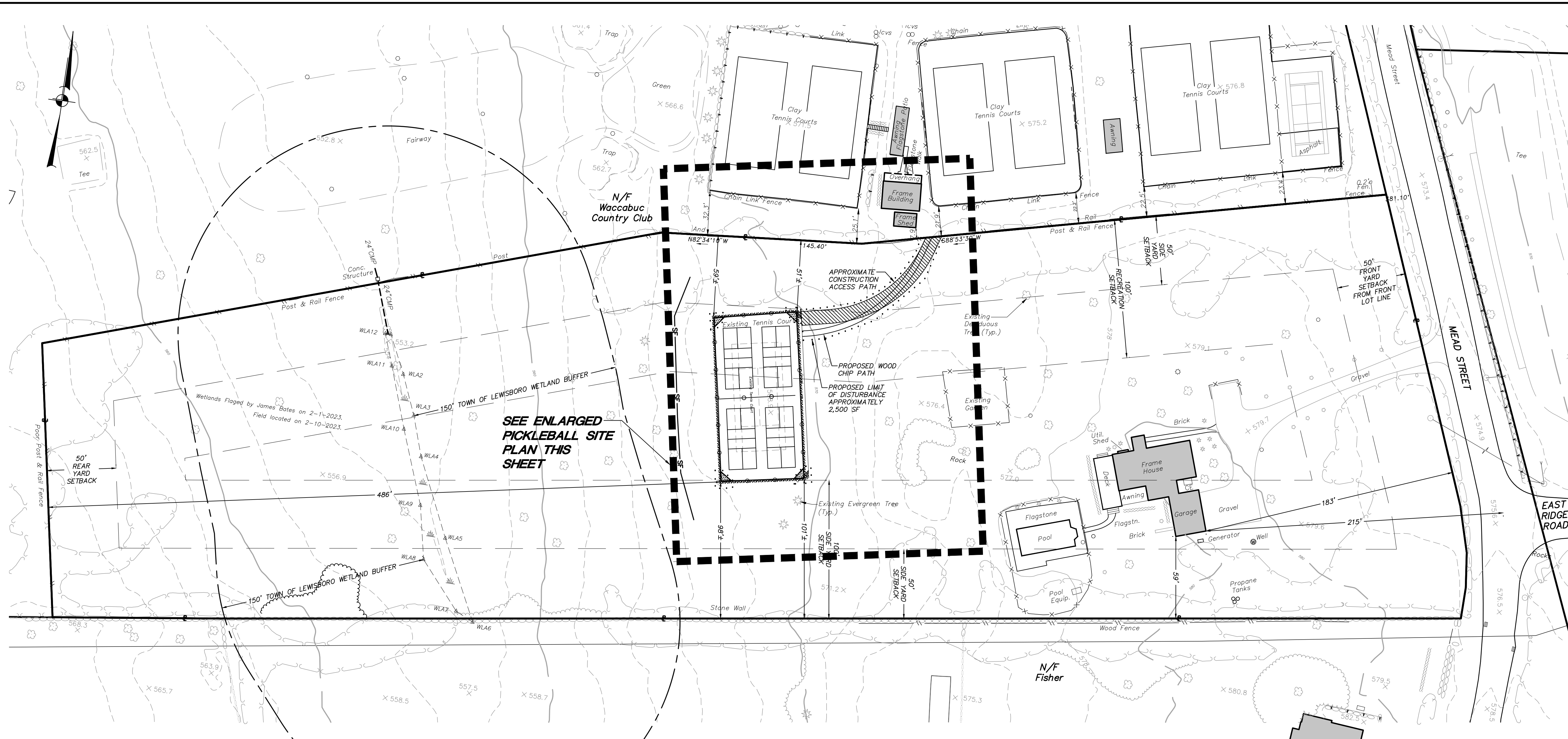
The property is located on the west side of (#74) Mead Street, Waccabuc, NY designated on the Tax Map as Sheet 0022, Block 10802, Lot 023, in a SCR-4AC, Special Character Four-Acre Residential District consisting of approximately 6.11 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

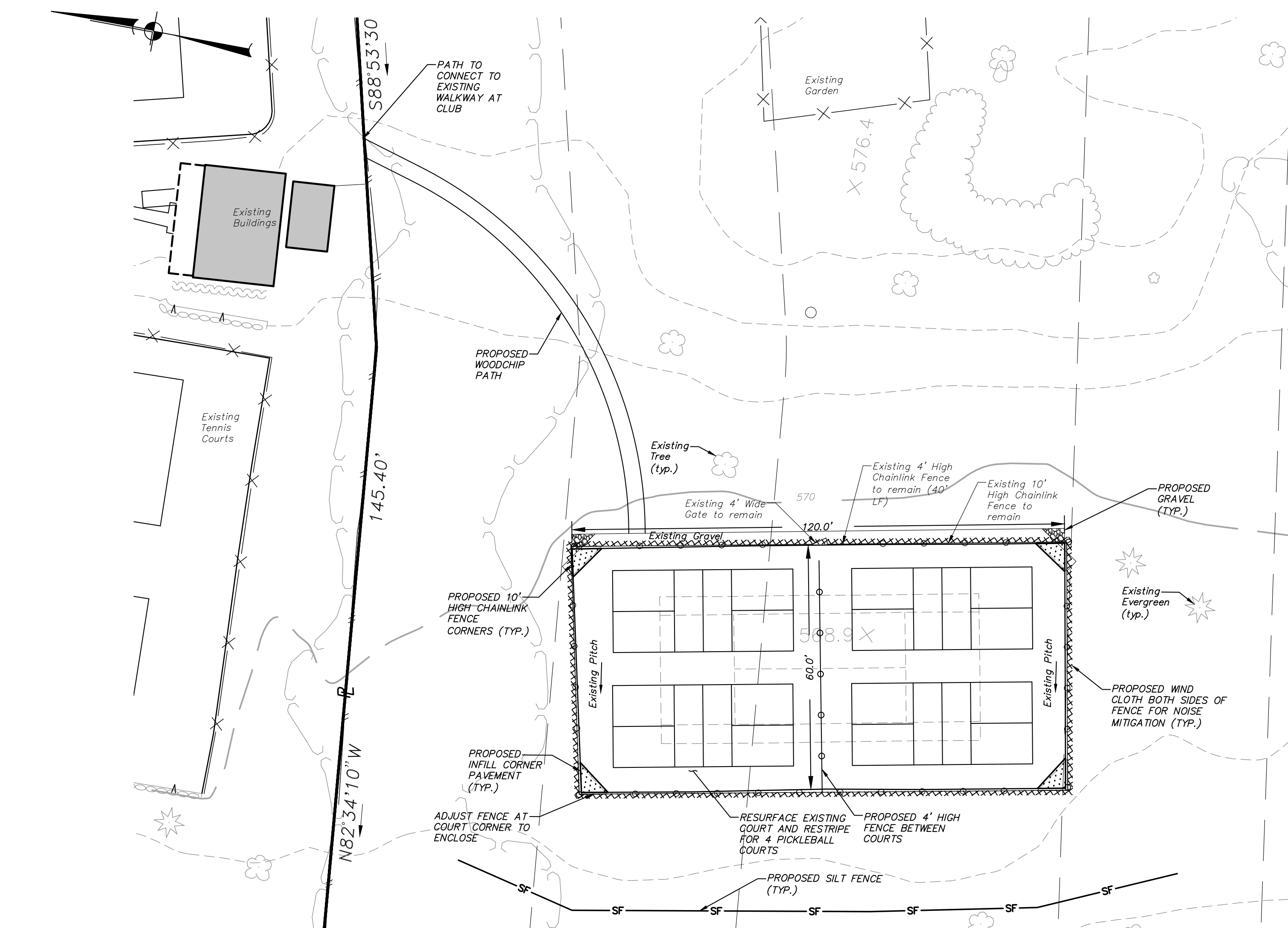
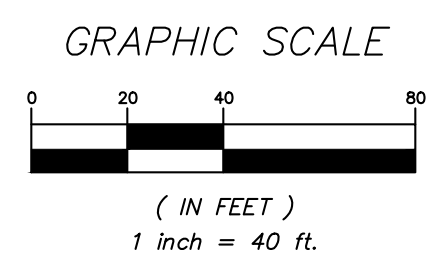
**Dated this 30th day of March 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

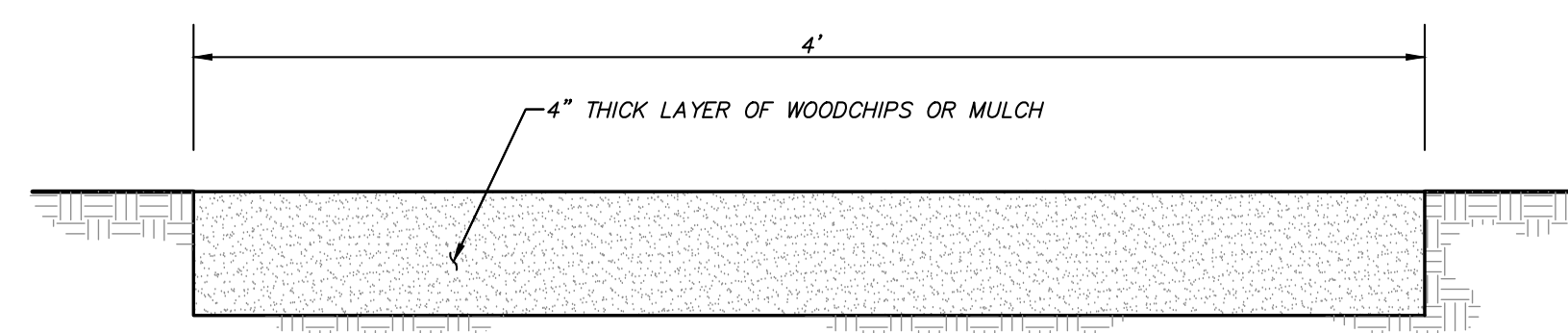
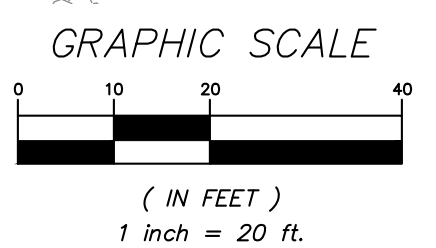
The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.



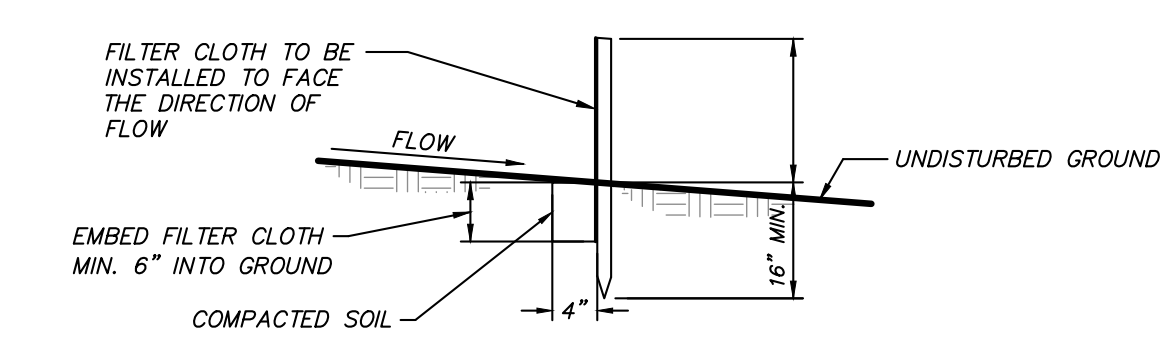
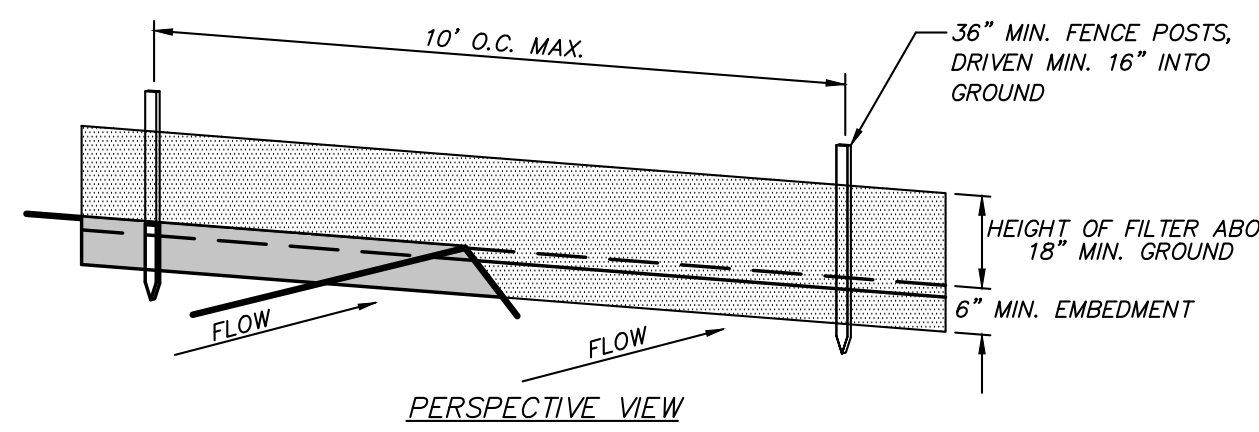
OVERALL SITE PLAN
SCALE: 1"=40'



ENLARGED PICKLEBALL SITE PLAN
SCALE: 1"=20'

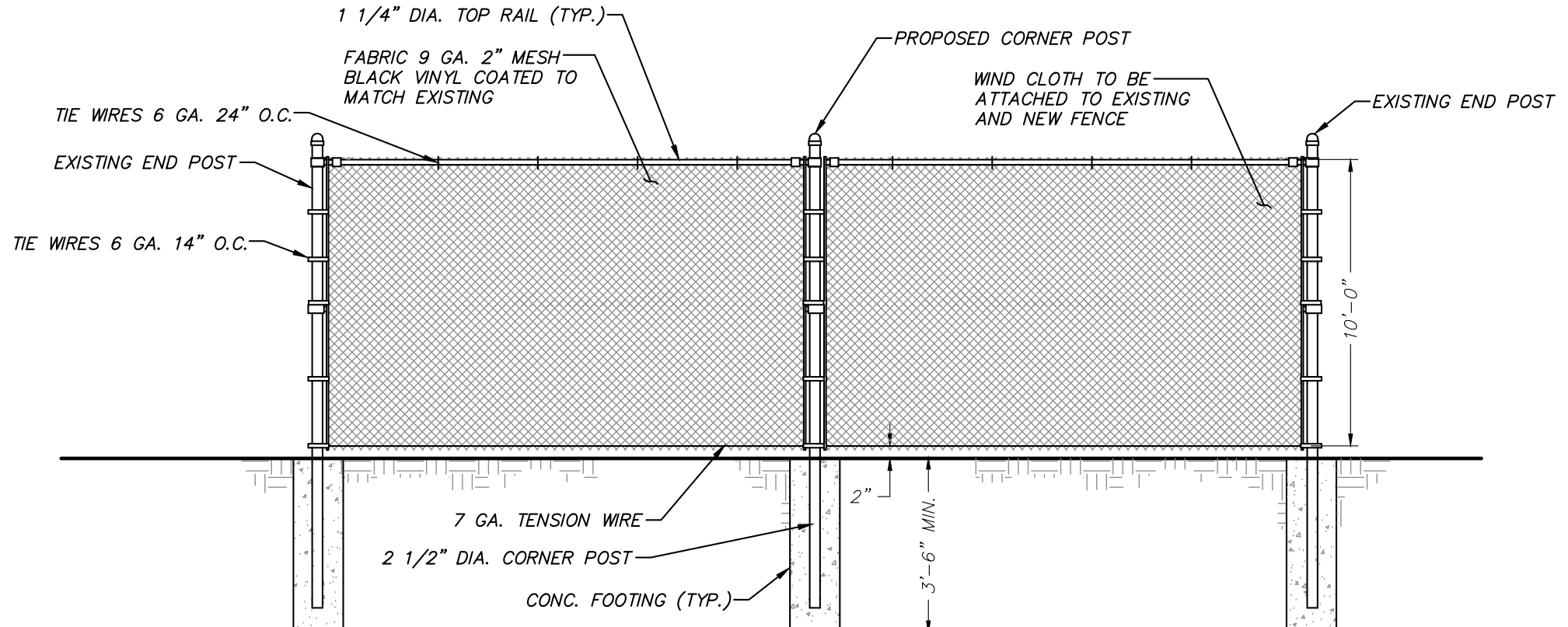


WOOD CHIP PATH DETAIL
(N.T.S.)



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE
1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
FILTER CLOTH: FILTER X, MIRA1 100K, STABILINKA T140N, OR APPROVED EQUAL
PREFABRICATED UNIT: GEOFAB, ENVROFENCE, OR APPROVED EQUAL

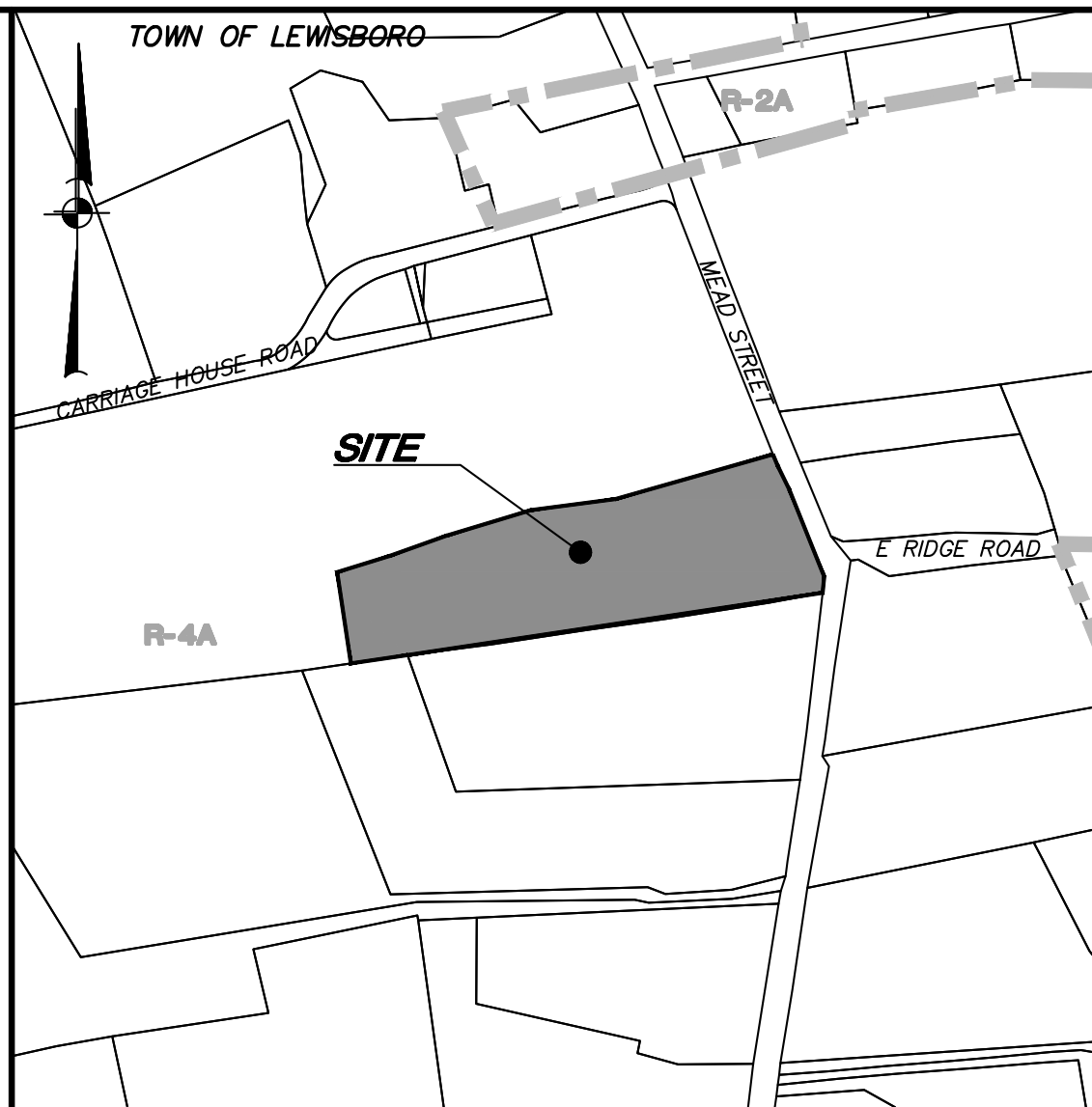
SILT FENCE DETAIL
(N.T.S.)



CHAIN LINK FENCE DETAIL
(N.T.S.)

R4-A ZONE REQUIREMENTS			
	REQUIRED/ PERMITTED	EXISTING	PROPOSED
Minimum Lot Size:	4 AC	6.1 AC	6.1 AC
Minimum Front Yard:			
From street center line	75'	215'	215'
From front lot line	50'	183'	183'
Minimum Side Yard:	50'	52'	51'
Minimum Rear Yard:	50'	436'	436'
Recreation Facility Setback:	2 x 50'=100'	52.8' to north	51'± *
		99.6' to south	98'± *
Maximum Building Height:	2.5 stories/ 35'	2.5 stories/ 35'	2.5 stories/ 35'
Maximum Building Coverage:	6%	2%	2%

* Setback variances required.

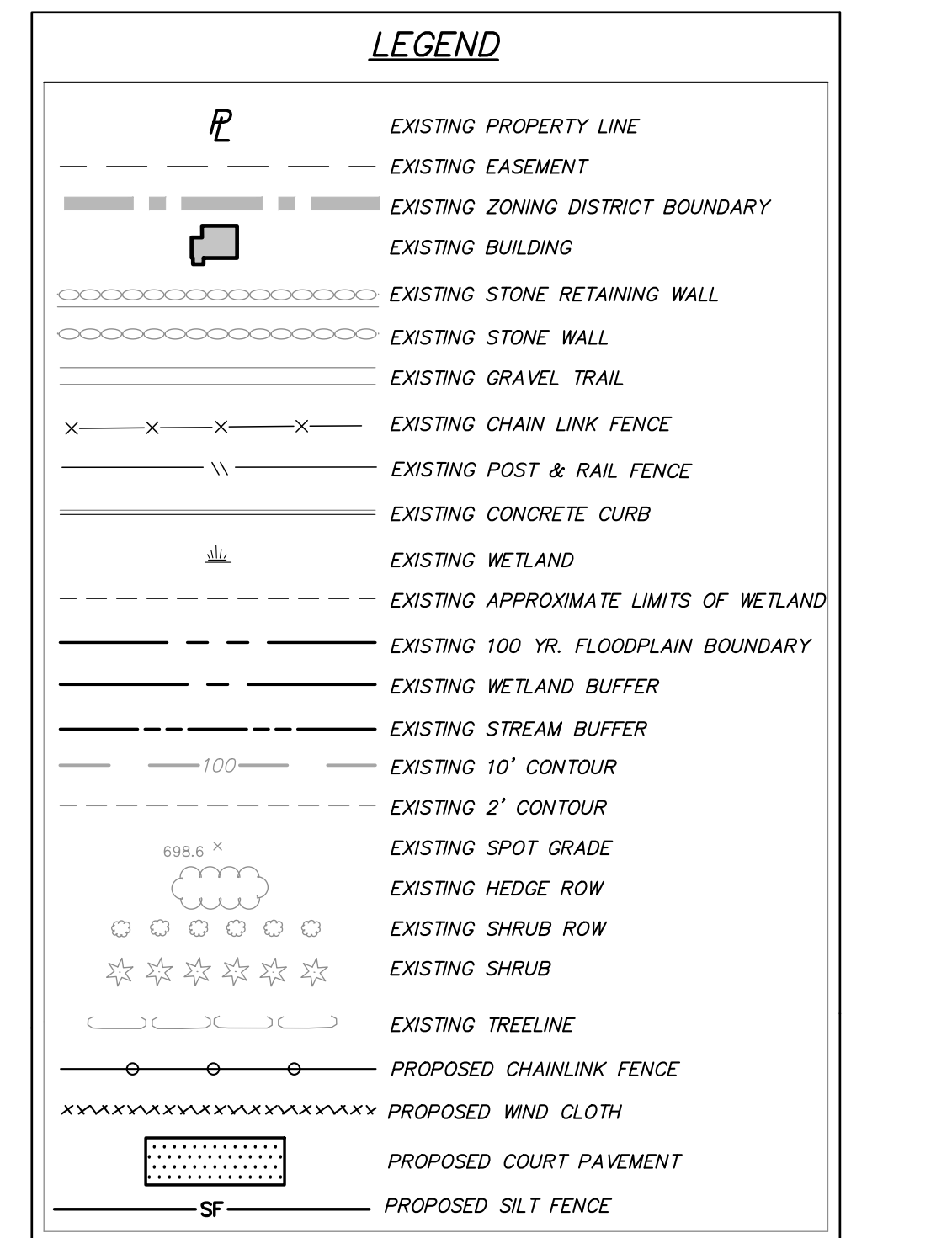


LOCATION MAP
SCALE: 1" = 400'±

OWNER/APPLICANT: WACCABUC COUNTRY CLUB
90 MEAD STREET
WACCABUC, NY 10597

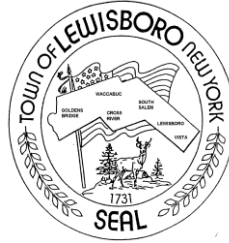
SITE DATA: Zone: R-4A (4 Acre Residential)
Total Acreage: 6.1± AC
Tax Map No.: 42.2-1-10

- GENERAL NOTES:
1. Property lines, existing conditions and topography as shown hereon based off of survey mapping prepared by Insite Engineering, Surveying & Landscape Architecture P.C..
 2. Topography shown hereon taken from both the Westchester County 2' contour, 1" = 100 scale GIS dataset dated April 2004 (elevations reference the North American Vertical Datum of 1988, NAVD 88).
 3. Wetland flagging as shown hereon was delineated by James A. Bates of Ecological Analysis on February 1, 2023 and survey located by Insite Engineering, Surveying & Landscape Architecture PC on February 9, 2023.
 4. Proposed features are labeled as such. All other features are existing.
 5. No tree removal is proposed or authorized.
 6. No exterior lighting is proposed or authorized.
 7. Proposed color of shade cloth to be attached to fence is green.



2	3-28-23	REVISED PER TOWN COMMENTS	MEU
1	3-15-23	UPDATE BULK ZONING	MEU
NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. PROJECT: WACCABUC COUNTRY CLUB PICKLEBALL 74 MEAD STREET, TOWN OF LEWISBORO, WESTCHESTER CTY, NEW YORK DRAWING: OVERALL SITE PLAN PROJECT NUMBER: 23105.100 DATE: 2-14-23 SCALE: AS NOTED PROJECT MANAGER: Z.M.P. DRAWN BY: J.J.S. CHECKED BY: D.L.M. DRAWING NO.: SHEET OP-1 1			

TOWN OF LEWISBORO
Westchester County, New York



Building Department
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3060
Fax: (914) 875-9148
Email: ksullivan@lewisborogov.com

Zoning Denial 3/30/2023

93 Todd Rad, Lewisboro New York
0009-11150-003

The applicant is proposing a two story addition to the existing single family structure on the property. The property is a pre-existing non-conforming lot that is significantly smaller than the current zoning. Multiple variances are required, as detailed below.

1. Minimum Lot Area – Per the R-2A zoning, the minimum lot size is 2.0 acres. The existing lot is 0.279 acres (12,173 sf). While there is no proposed change to the lot, a 1.721 acre variance is required.
2. Minimum Lot Width – The code requires a 200-foot minimum lot width in R-2A zoning. The existing lot is 60.71-feet wide. The requires a variance of 139.29-feet.
3. West Side Yard Setback – The required side yard setback in R-2A zoning is 40-feet. The proposed addition reduces the side yard setback to 17.4-feet. This requires a variance of 22.6-feet.
4. East Side Yard Setback – The required side yard setback in R-2A zoning is 40-feet. The proposed addition reduces the side yard setback to 16.3-feet. This requires a variance of 23.1-feet.
5. Lot Coverage – Per R-2A zoning, the maximum lot coverage is 9%. Based on the proposed addition, the lot coverage will increase from 9% to 10.6%. This will require a variance of 1.6%.

All of the variances noted above are per the requirements of Article IV Section 220, attachment 1, *Schedule of Dimensional and Bulk Regulations for Residential Districts* of the Town of Lewisboro Zoning Code.

Building Inspector

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, April 26, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 13-23-BZ

Application of Heike A. Schneider, [MacPhail, Lucy Hamilton, owner of record], 93 Todd Road, Katonah, NY, is proposing a two-story addition to the existing single-family structure on the property. The property is a pre-existing non-conforming lot that is significantly smaller than the current zoning. Multiple variances are required, as detailed below. Minimum Lot Area – Per the R-2A zoning, the minimum lot size is 2.0 acres. The existing lot is 0.279 acres (12,173 sf). While there is no proposed change to the lot, a 1.721-acre variance is required. Minimum Lot Width – The code requires a 200-foot minimum lot width in R-2A zoning. The existing lot is 60.71-feet wide. This requires a variance of 139.29-feet. West Side Yard Setback – The required side yard setback in R-2A zoning is 40-feet. The proposed addition reduces the side yard setback to 17.4-feet. This requires a variance of 22.6-feet. East Side Yard Setback – The required side yard setback in R-2A zoning is 40-feet. The proposed addition reduces the side yard setback to 16.3-feet. This requires a variance of 23.1-feet. Lot Coverage – Per R-2A zoning, the maximum lot coverage is 9%. Based on the proposed addition, the lot coverage will increase from 9% to 10.6%. This will require a variance of 1.6%. All the variances noted above are per the requirements of Article IV Section 220, attachment 1, *Schedule of Dimensional and Bulk Regulations for Residential Districts* of the Town of Lewisboro Zoning Code.

The property is located on the north side of (#93) Todd Road, Katonah, NY designated on the Tax Map as Sheet 0009, Block 11150 Lot 003, in an R-2AC, Two-Acre Residential District consisting of approximately 0.28 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 31st day of March 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

General Notes

1. Contractors shall visit the site and be responsible for having recorded all conditions within the scope of the project. No claims for extra compensation, based on ignorance of the visible or implied existing condition, will be considered.
2. All work is to conform to all applicable requirements of local governing Codes, State construction and Energy Conservation Codes, Health Codes, Fire Department Regulations, NBFU, FHA Framing Standards, OSHA Codes and best Trade practices.
3. All dimensions and conditions shown and assumed on the drawings must be verified at the site by the contractor before ordering any material or doing any work. Any discrepancies or errors in the plans, specifications, and/or details must be reported to the architect at once. No change in plans, details, or dimensions is permissible without the consent of the architect. Should the contractor fail to notify the architect within a reasonable time, he shall be responsible for the cost of rectifying such errors. 4.The drawings have indicated and estimated certain conditions, either not shown or not considered reliable on older drawings, or not measurable due to total absence of any drawings, or too inaccessible to verify in the field prior to preparing the drawings. The architect therefore takes no responsibility for the accuracy to the estimated conditions, has shown work requirements on the drawings for bidding scope only, and will furnish more detailed information later when areas are actually accessible and measurable by the contractors. Any work that must be done additionally in areas where information or indications on the drawings are found to differ from actual field conditions where work is laid out, shall be billed to the owner as an Extra Charge, subject to the owner approval of an itemized cost breakdown.
5. Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation, or operation of any part of the work, as determined by the owner, shall be included in the work the same as if herein specified or indicated.
6. Contractors are to file Insurance Certificates and obtain and pay for all permits, schedule all required inspections with notifications to inspectors and obtain Certificate of Occupancy. No work to start prior to obtaining the permits.
7. Contractors shall coordinate all work procedures and working hours with local authorities, Neighborhood Associations and any other governing authority.
8. Due to the inaccessibility of certain framing and construction conditions, the architect has indicated assumed structural relationships. The contractor will be expected to perform the necessary work to complete the indicated details where, in the sole opinion of the architect, uncovered conditions are normal or reasonably standard. Where conditions when uncovered are not anticipated or not considered normal by architect, the contractor will be entitled to an extra sum of money commensurate with the work entailed, after submission of a detailed breakdown of costs and approval by the architect.
9. All indicated survey material is for general reference only. The architect assumes no responsibility for the accuracy or correctness of any of the indicated material.
10. Contractor shall be responsible for protection of all existing and new conditions and materials within and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the owner's satisfaction as the Contractor's sole expense.
11. Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.
12. Drawing may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Consult with the owner for the final sizes, dimensions, and locations.
13. Contractors shall lay out his work and be responsible for its correctness and safety, shall give necessary dimensions to all parties.
14. By starting any work, contractor signifies acceptance of the previously installed back-up materials and framing, and waives any right to blame prior work for any defects in his own work.
15. All patching shall be done in new matching, or approved salvaged materials. Finish to match nearest break in plane or direction. Store unused material where requested by the owner/client. All salvaged materials are the property of the owner/client.
16. Contractor to order specific materials indicated herein immediately alter being authorized to proceed. No substitutions permitted without the prior approval of architect. Contractor will be held liable for delays caused by the contractor's failure to order materials promptly.
17. Contractor to design and install adequate and Code approved shoring and bracing where need to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring, and for any injuries, damage, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.
18. All work shall be guaranteed for one year after Final Payment. General contractor to furnish written guarantee on his work and all subcontractor's work, against defects resulting from the use of inferior material, equipment, or workmanship, as determined solely by the owner.
19. Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon the approval of the architect or owner as noted on the drawings or in the specifications. The contractor shall submit his substitution for approval before releasing any order for fabrication and/or shipment. The owner reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal to the item specified. Where a contractor proposes to use an item other than that specified or detailed on the drawings, which requires any redesign of the structure, partitions, piping, wiring, or any other part of the mechanical, electrical or architectural layout, all such redesign, and all new drawings and detailing required shall, with the approval of the owner, be prepared by the contractor at his own expense.
20. All work shall be installed so that all the parts required are readily accessible for inspection, operation, and maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without the prior written approval from the owner.
21. Upon the completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including, but not limited to the following:

- * Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by owner or others doing N.I.C. work. All wet mopping not in this contract.
- * Removal of all temporary enclosures and barricades, all temporary offices, telephone, sanitary facilities, etc.
- * Removal of all labels from glass, fixtures and equipment, etc., and spray cleaning of all glass/mirrors. *Final cleaning of all chrome and aluminum metal work. *Replacement for furniture and furnishings to original locations.
- * Removal of stains and paint from glass, hardware, finished flooring, cabinets,etc.



PROPERTY DATA

PROPERTY OWNER	MAC PHAIL-ROCKET, LUCY HAMILTON
APPLICANT	HEIKE A. SCHNEIDER, R.A.
LOCATION	93 TODD ROAD LEWISBORO, NY 10536
TAX MAP DATA	SECTION 41.6 BLOCK 1 LOT 4
ZONING DISTRICT	R-2A

ZONING DISTRICT: R-2A - LEWISBORO, NY

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (S.F.)	2 ACRES	12,173 SQ.FT. = 0.279 ACRES	NO CHANGE
MINIMUM LOT WIDTH: (FEET)	200 FT.	60.71 FT.	NO CHANGE
MINIMUM SETBACKS:			
FRONT YARD	50 FEET	51.6 FEET	NO CHANGE
SIDE YARD SETBACK (LEFT SIDE):	40 FEET	16.9'	NO CHANGE
SIDE YARD SETBACK DECK (RIGHT):	40 FEET	4.2'/16.3'	NO CHANGE
REAR YARD SETBACK (MAIN BUILD.):	50 FEET	105 FEET	91.9 FEET
MAXIMUM HEIGHT MAIN BUILDING	35 FT	30'-8"	NO CHANGE
MAX. BUILDING COVERAGE OF ACTUAL LOT (ALL BUILDINGS)	9%	9%	10.6%

REQUIRES A ZONING AREA VARIANCE

CLIMATIC & GEORGRAPHIC DESIGN CRITERIA PER TABLE R301.2(1).

CLIMATE ZONE: 4	
GROUND SNOW LOAD: 30	TOPO EFFECTS: NO
SPECIAL WIND REGION:	SPEED (MPH): 115 MPH
WINDBORNE DEBRIS ZONE: NO	WINTER DESIGN TEMPERATURE: 7°F
SEISMIC DESIGN CATEGORY: (RCNY ONLY) C	ICE BARRIER UNDERLAYMENT REQ'D: YES - 3' UP EAVES
FROST LINE DEPTH: 42"	FLOOD HAZARD: NO - AS PER GIS FOR TOWN OF LEWISBORO
TERMITE: PROBABILITY- MODERATE TO HEAVY	AIR FREEZING INDEX: 1500 OR LESS
WEATHERING: SEVERE	MEAN ANNUAL TEMP: 51.6°F

2020 ENERGY CONSERVATION CODE OF NYS

I, HEIKE A. SCHNEIDER, ARCHITECT CERTIFY THAT THESE PLANS AND SPECIFICATIONS, TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT COMPLY WITH THE APPLICABLE SECTIONS OF THE 2020 ENERGY CONSERVATION CODE OF NYS, ZONE 4, WESTCHESTER COUNTY.

THE ARCHITECT

REFERENCED BUILDING CODE:

THE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED UNDER THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

RENOVATION
OF THE
MAC PHAIL-ROCKETT
RESIDENCE

93 TODD ROAD
LEWISBORO, NY 10536

MAIN HOUSE SQUARE FOOTAGE	-	1,834 SQ.FT.	2,269 SQ.FT.
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REVISION: 03-29-23 BOH NOTE

REVISION: 03-27-23

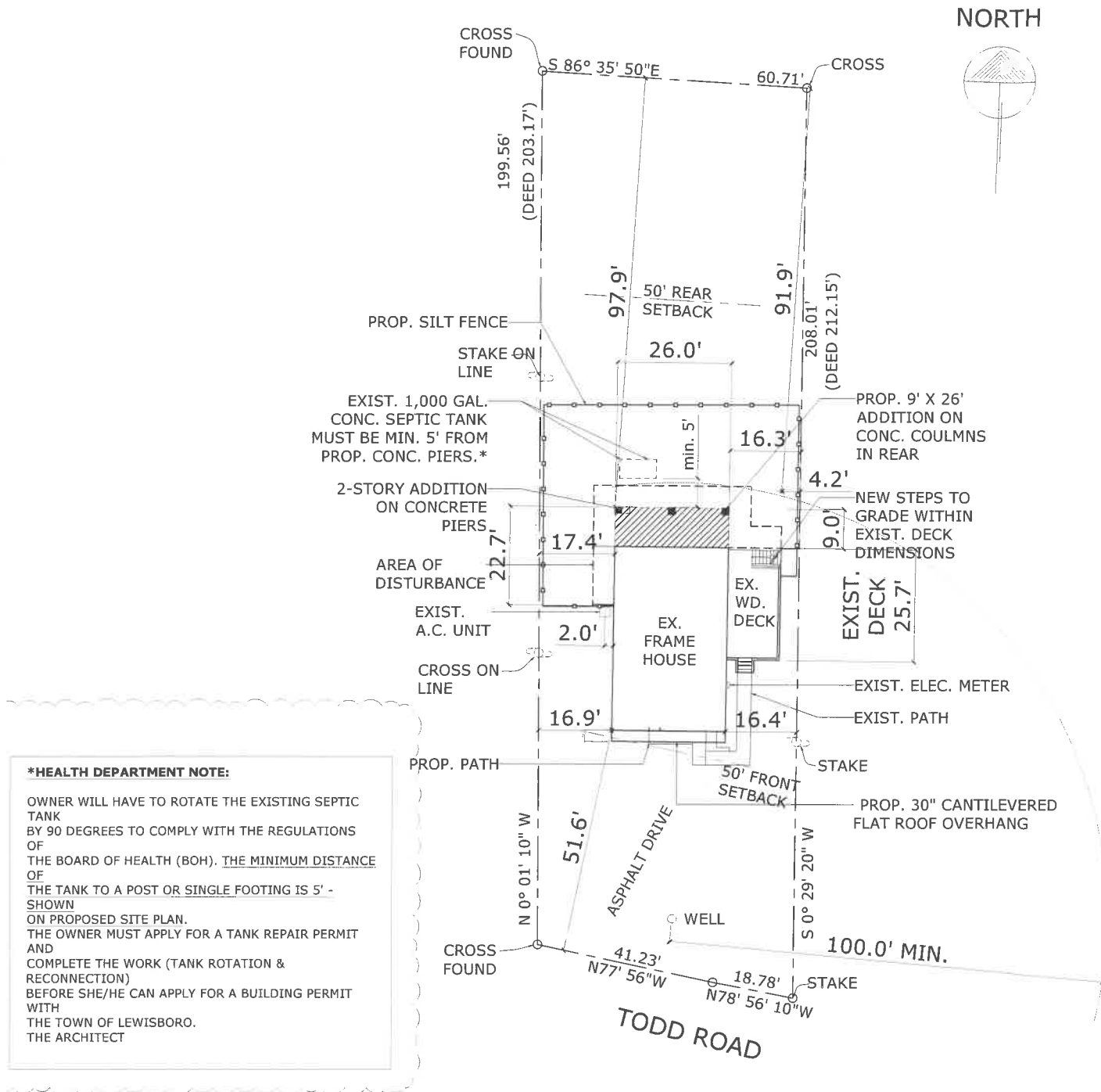
DATE: 01-06-23

TITLE SHEET & GENERAL NOTES

- S1 PROPOSED SITE PLAN
- A0 DEMO BASEMENT
- A1 DEMO FIRST FLOOR
- A2 DEMO SECOND FLOOR
- A3 PROPOSED BASEMENT
- A4 PROPOSED FIRST FLOOR
- A5 PROPOSED SECOND FLOOR
- A6 EXTERIOR SOUTH ELEVATION
- A7 EXTERIOR EAST ELEVATION
- A8 EXTERIOR NORTH ELEVATION
- A9 EXTERIOR WEST ELEVATION
- A10 BUILDING SECTION 'A'

HEIKE A. SCHNEIDER, LLC
HS-ARCHITECTURE
Architect, AIA, LEED AP

515 CROTON HEIGHTS ROAD
YORKTOWN HEIGHTS, NY 10598
914-962-2119
HEIKE@HS-ARCHITECTURE.COM



***HEALTH DEPARTMENT NOTE:**

OWNER WILL HAVE TO ROTATE THE EXISTING SEPTIC TANK BY 90 DEGREES TO COMPLY WITH THE REGULATIONS OF THE BOARD OF HEALTH (BOH). THE MINIMUM DISTANCE OF THE TANK TO A POST OR SINGLE FOOTING IS 5' - SHOWN ON PROPOSED SITE PLAN. THE OWNER MUST APPLY FOR A TANK REPAIR PERMIT AND COMPLETE THE WORK (TANK ROTATION & RECONNECTION) BEFORE SHE/HE CAN APPLY FOR A BUILDING PERMIT WITH THE TOWN OF LEWISBORO. THE ARCHITECT

PROPOSED SITE PLAN

SCALE: 1"=20'

NOTE:

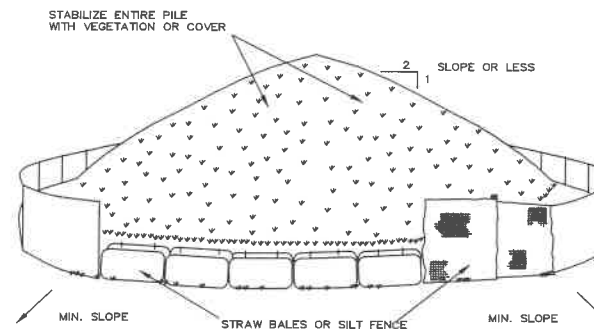
ALL INFORMATION TAKEN FROM SURVEY PREPARED BY ANTHONY DEROSA LIC NO. 49332 BUNNEY ASSOCIATES LAND SURVEYORS KATONAH, NY - DATED JUNE 11, 1985 ARCHITECT NOT RESPONSIBLE FOR SAME

LEGEND:

SILT FENCE

AREA OF DISTURBANCE

605 SQ.FT.



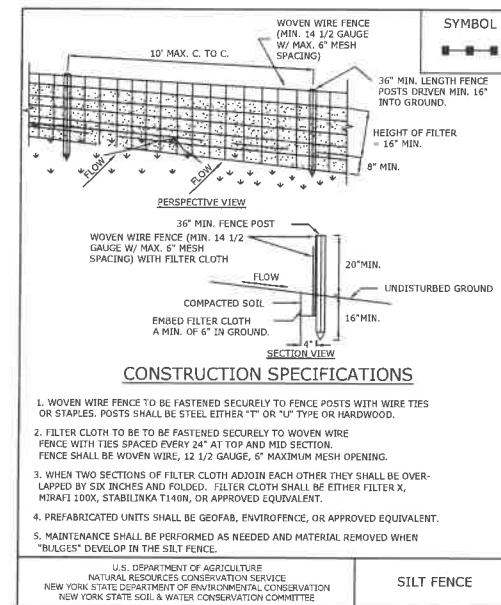
TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE DROUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW BALES, THEN STABILIZED WITH VEGETATION OR COVERED.

**SOIL STOCKPILING
N.T.S.**



Plan Title

PROPOSED SITE PLAN

Title/Owner

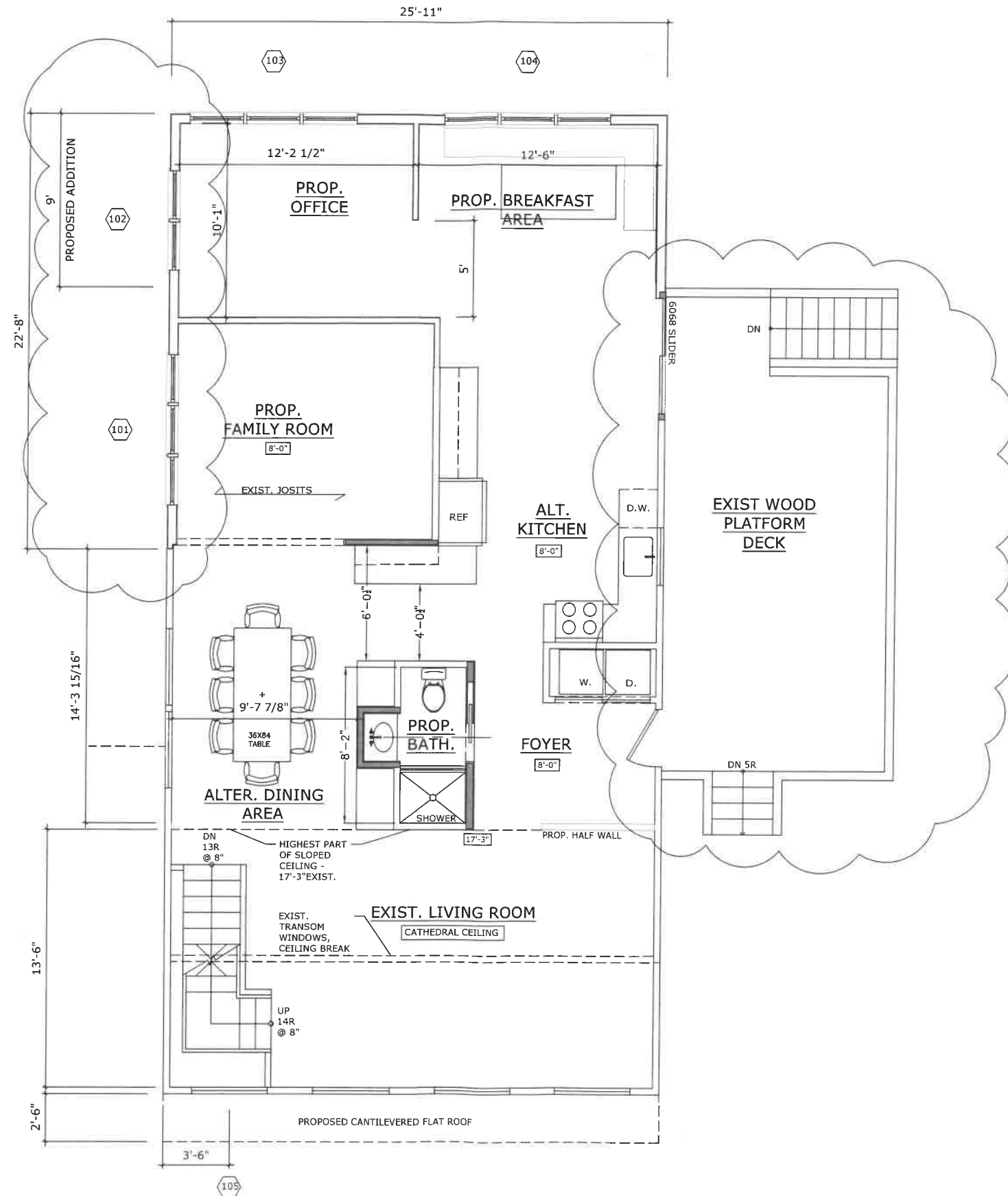
Date: 11-04-22
Revision: 3-27-23
3-29-23
Bidding:

HEIKE A. SCHNEIDER, LLC.
ARCHITECT, AIA, LEED AP
515 CROTON HEIGHTS ROAD
YORKTOWN HTS, NY 10598
914 962-2119

MACPHAIL-ROCKETT RESIDENCE
93 TODD ROAD
LEWISBORO, NY 10536

S₁

2 OF 9



PROPOSED FIRST FLOOR

SCALE: 1/4" = 1' -0"

Plan Title

PROPOSED FIRST FLOOR PLAN

Title/Owner

ROCKET RESIDENCE
93 TODD RD
KATONAH, NY 10536

Date: 11-04-22
Revision: 3-27-23

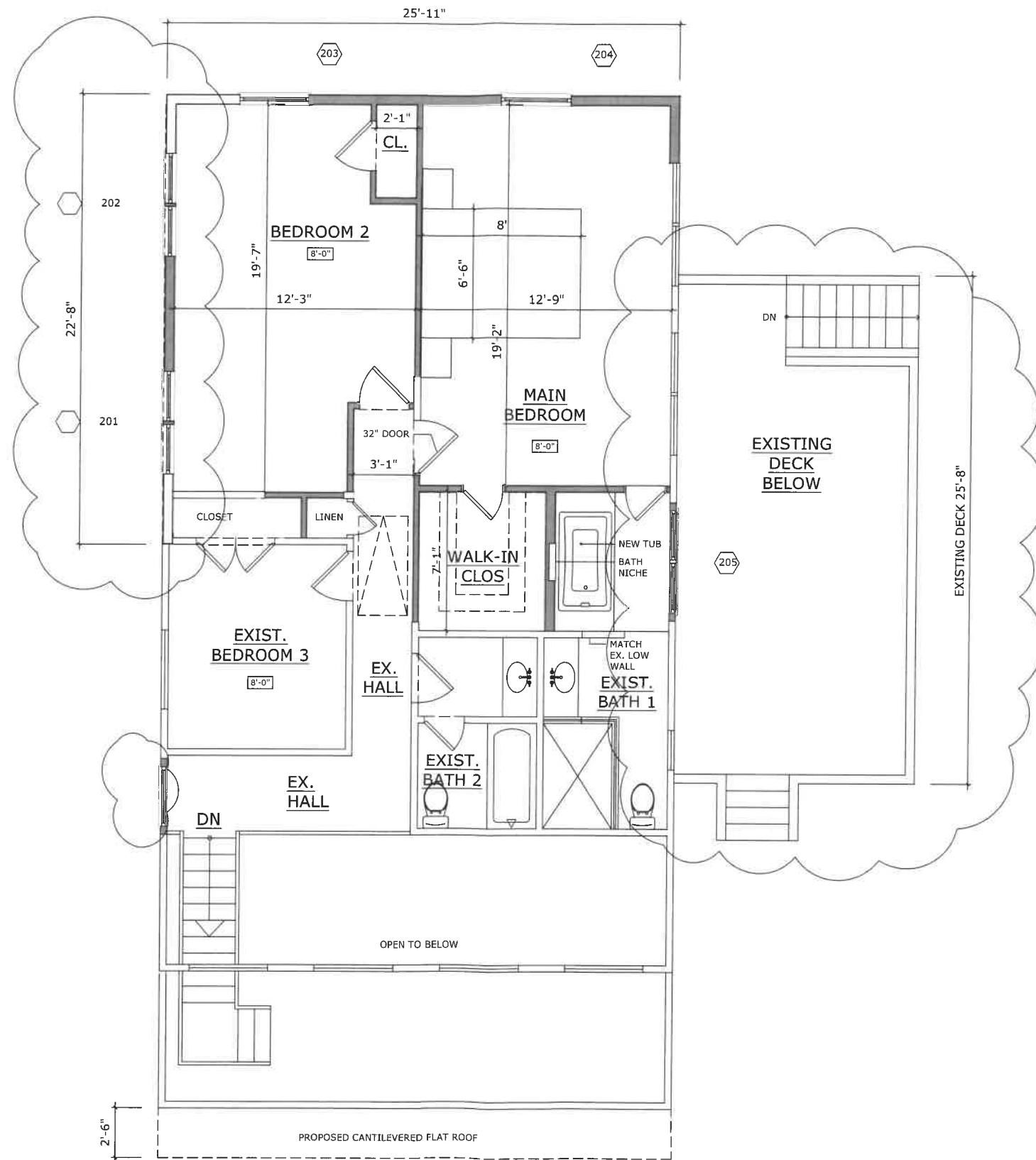
Bidding:

A4

5 OF 17



HEIKE A. SCHNEIDER
ARCHITECT, AIA, LEED AP
515 CROTON HEIGHTS ROAD
YORKTOWN HTS, NY 10598
914 962-2119



PROPOSED SECOND FLOOR

SCALE: 1/4" = 1' -0"



PROPOSED SECOND FLOOR PLAN

HEIKE A. SCHNEIDER
ARCHITECT, AIA, LEED AP
515 CROTON HEIGHTS ROAD
YORKTOWN HTS, NY 10598
914 962-2119

ROCKET RESIDENCE
93 TODD RD
KATONAH, NY 10536

Date: 11-04-22
Revision: 3-27-23
Bidding:

A5



PROPOSED FRONT (SOUTH) ELEVATION

SCALE: 1/4" = 1' -0"

Plan Title

PROPOSED SOUTH EXTERIOR ELEVATION

Title/Owner

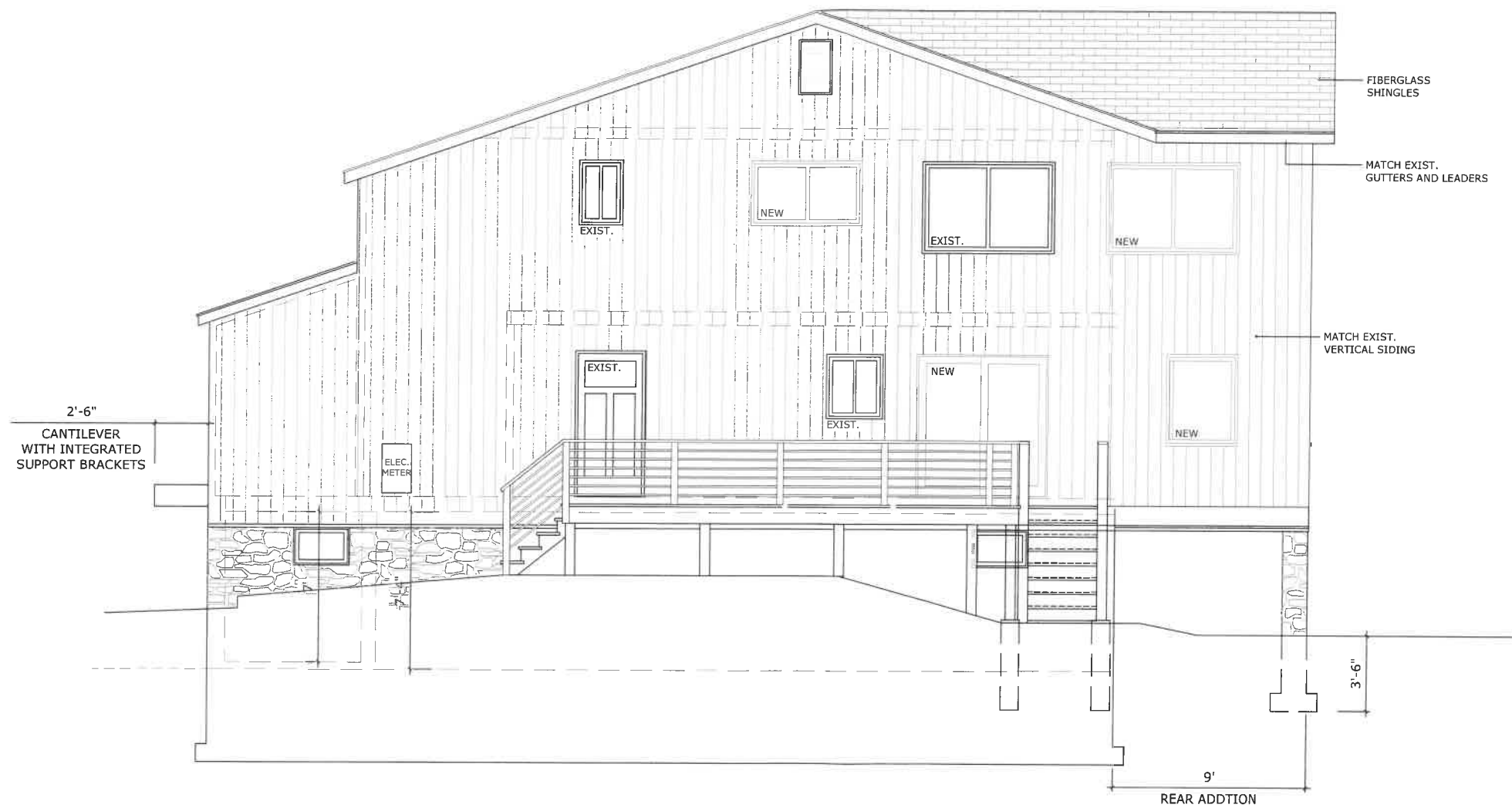
ROCKET RESIDENCE
93 TODD RD
KATONAH, NY 10536

HEIKE A. SCHNEIDER
ARCHITECT, AIA, LEED AP
515 CROTON HEIGHTS ROAD
YORKTOWN HTS, NY 10598
914 962-2119

Date: 11-04-22
Revision: 3-27-23

Bidding:

A6



PROPOSED SIDE (EAST) ELEVATION

SCALE: 1/4" = 1' -0"

Plan Title

PROPOSED EAST EXTERIOR ELEVATION

Title/Owner

ROCKET RESIDENCE
93 TODD RD
KATONAH, NY 10536

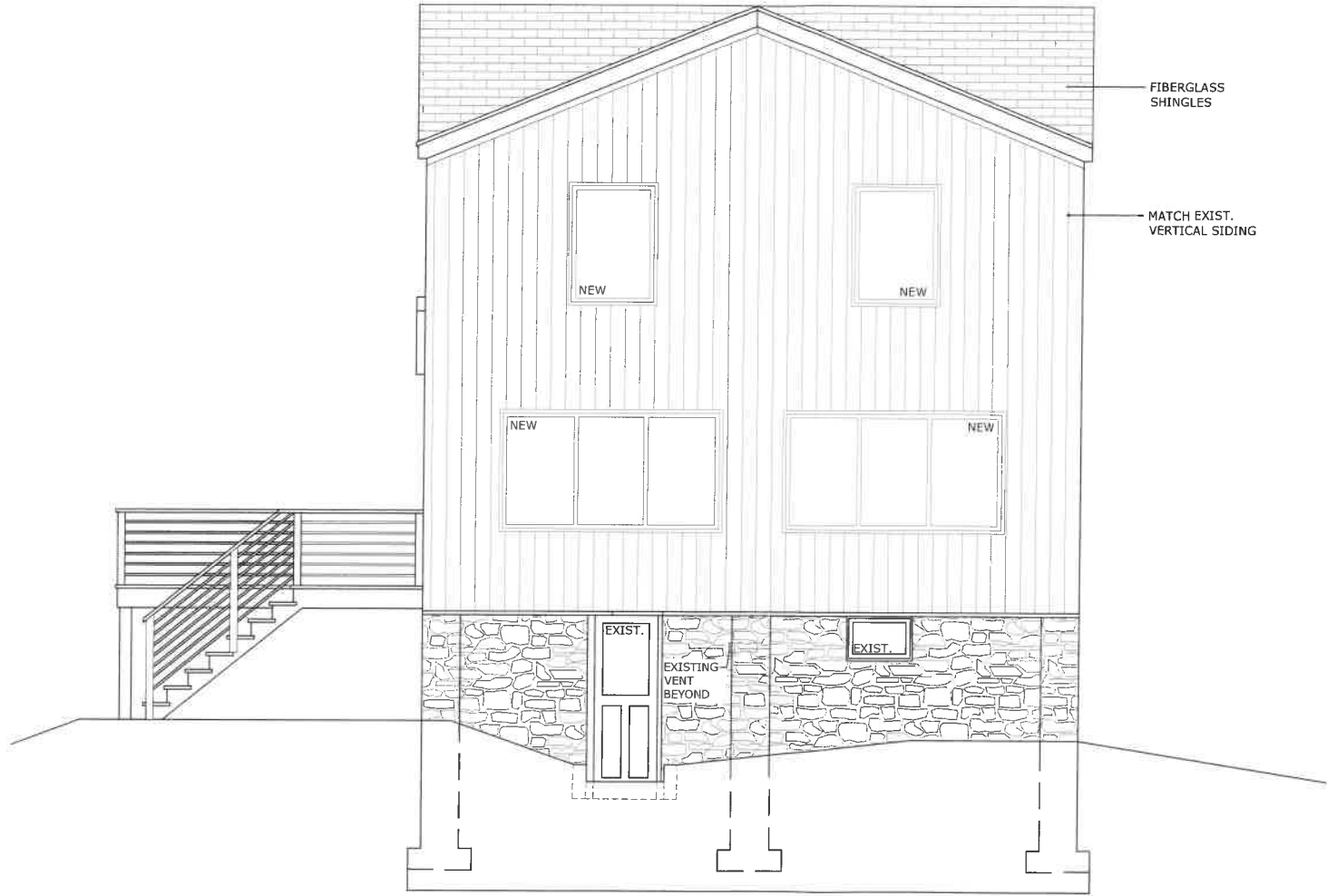
Date: 11-04-22
Revision: 3-27-23

Bidding:

HEIKE A. SCHNEIDER
ARCHITECT, AIA, LEED AP
515 CROTON HEIGHTS ROAD
YORKTOWN HTS, NY 10598
914 962-2119

A₇

8 OF 17



PROPOSED REAR (NORTH) ELEVATION

SCALE: 1/4" = 1' -0"



PROPOSED NORTH EXTERIOR ELEVATION

HEIKE A. SCHNEIDER
ARCHITECT, AIA, LEED AP
515 CROTON HEIGHTS ROAD
YORKTOWN HTS, NY 10598
914 962-2119

ROCKET RESIDENCE
93 TODD RD
KATONAH, NY 10536

Date: 11-04-22
Revision: 3-27-23
Bidding:



PROPOSED SIDE (WEST) ELEVATION

SCALE: 1/4" = 1' -0"



Plan Title
PROPOSED WEST EXTERIOR ELEVATION

Title/Owner
ROCKET RESIDENCE
93 TODD RD
KATONAH, NY 10536

Title/Owner
HEIKE A. SCHNEIDER
ARCHITECT, AIA , LEED AP
515 CROTON HEIGHTS ROAD
YORKTOWN HTS, NY 10598
914.962-2119

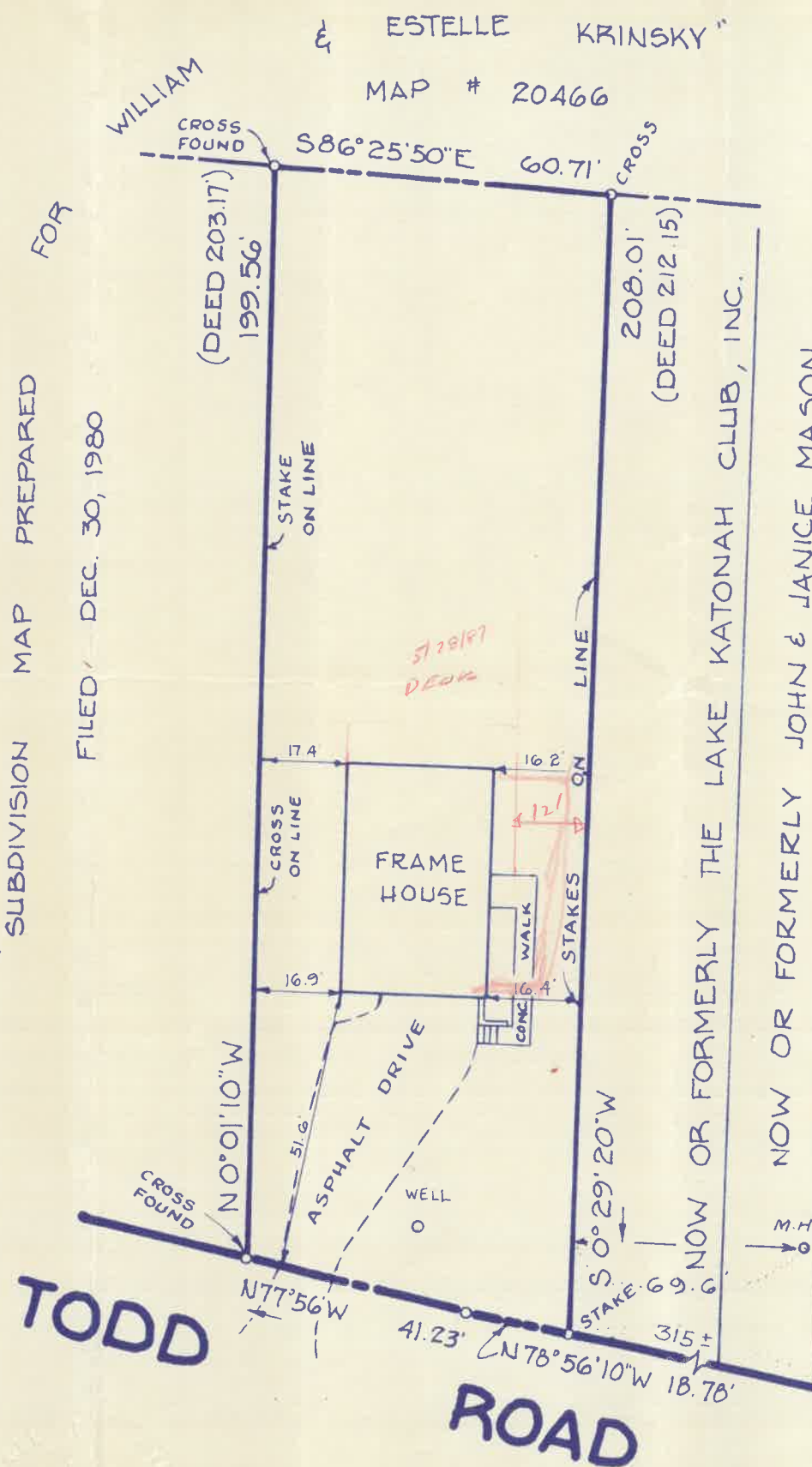
Date: 11-04-22
Revision: 3-27-23
Bidding:

"All certifications hereon are valid for the
thereof only if said map or copies bear
seal of the surveyor whose signature ap

IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOC. OF PROFESSIONAL LAND SURVEYORS.

"SUBDIVISION MAP PREPARED FOR
FILED DEC. 30, 1980

FILED DEC. 30, 1980


$$\begin{matrix} 3 \\ \cdot \\ 0 \\ \cdot \\ 4 \end{matrix}$$
$$\begin{aligned} \text{AREA} &= 12173 \text{ SQ. FT.} \\ &= 0.279 \text{ AC.} \end{aligned}$$

SURVEY OF PROPERTY
SITUATE IN
TOWN OF LEWISBORO
WESTCHESTER COUNTY
NEW YORK

SCALE: 1" = 30'

DATE: NOV. 10, 198:

CERTIFICATION ADDED JAN. 2,
REVISED FEB. 9, 1984
MANHOLE LOC. APRIL 2, 1984
BROUGHT TO DATE: NOV. 14, 1984
" " " : JAN. 23, 1985
TO DATE JUNE 11, 1985 FILE NO. TG

BROUGHT TO DATE JUNE 11, 1985

AN. 25,1504
FILE NO. TG

PREPARED FOR PREMIER BUILDERS

SURVEYED AS IN POSSESSION

Anthony DeRosa

N. Y. S. LIC. No. 49332

B. Marino

TOWN OF LEWISBORO

Zoning Board of Appeals

2-84BZ, PREMIER BUILDERS, INC. (Riina)

RESOLUTION

This Resolution is made under Zoning Board of Appeals Calendar #2-84BZ and is pursuant to the decision and short form order of Hon. Angelo J. Ingrassia, dated September 24, 1984 and thereafter entered.

FINDINGS

1. The decision and order of Judge Ingrassia directs the Zoning Board of Appeals "... to issue the requested variance."
2. The variance requested is for sideline setback variances (2), wherein each side of the proposed improvement would be no closer to each side lot line than fifteen (15') feet.
3. The variance requested is therefore limited by its initial presentation to the Zoning Board of Appeals and by the applicant's subsequent presentation to the Zoning Board of Appeals.
4. The variance requested shall therefore be deemed to consist of the following:
 - A. Application for sideline setback variances (2), for permission to erect a single family dwelling no closer than fifteen (15') feet from each sideline;

as the same may be further limited by:
 - B. "Separate Sewage System", drawing dated 11/29/83 and thereafter amended and as approved by the Westchester County Health Department on April 3, 1984, and submitted to the Town of Lewisboro Building Department on May 8, 1984;

and
 - C. "Elevations", (5 pages), submitted to Westchester County Health Department on December 5, 1983;

and
 - D. Letter of Vincent R. Leone, Area Supervisor, Westchester County Board of Health, dated April 24, 1984, addressed to Robert Cudney, Building Inspector, Town of Lewisboro, and received by ~~the Building Department on April 25, 1984;~~

(continued)

TOWN OF LEWISBORO

Zoning Board of Appeals

2-84BZ, PREMIER BUILDERS, INC. (Riina)

FINDINGS (continued)

and

- E. Attachment to letter set forth in Item "D" above (which appears to be a portion of Item "B" above).

RESOLUTION

NOW THEREFORE, UPON the decision and short form order of Hon. Angelo J. Ingrassia, dated September 24, 1984 and thereafter entered; and

UPON the findings of the Zoning Board of Appeals above set forth, which shall be deemed a part of this Resolution as if fully repeated herein;

The requested variance is hereby granted. To the extent that any submission of the applicant may be found to conflict with any other submission of the applicant, the more restrictive shall be deemed approved.

DATED: October 20, 1984.

TOWN OF LEWISBORO
Zoning Board of Appeals

By William R. Lonergan, Jr.
William R. Lonergan, Jr.
Chairman, Zoning Board

TOWN OF LEWISBORO

RECEIVED
OCT 22 1984

OFFICE OF TOWN CLERK

ZONING BOARD OF APPEALS

TOWN OF LEWISBORO

Cal. No. 29-87 BZ

In the matter of:

Application of Susan & James Friedman, RD #3, Todd Road, Katonah, New York, Owners, for a variance in the matter of the proposed construction of a deck addition to a one-family residence which would be closer to the side lines and would also exceed the maximum percentage of building coverage permitted in an R2A, two-acre residential district.

Public Hearings were held on July 22 and September 30, 1987 at the Town House, Main Street, South Salem, New York.

Board Members: Present:

William R. Lonergan, Jr.
Chairman
James P. Jones
David O. Bailey

Absent:

Emmett M. Dockery
Douglas Harvey

Appearances: For Applicant:

Mr. & Mrs. Friedman
Mr. Mason

In Opposition:

Mr. Krinsky

References:

Minutes of Public Hearings -
July 22 and September 30, 1987

Site plans

Sketches of proposal

Action of Board:

Variance granted on modified proposal

The Vote: To Approve:

September 30, 1987

Affirmative:

Lonergan, Jones and Bailey (3)

Negative:

None (0)

The Property:

Located on the north side of Todd Road, designated on the Tax Map as Sheet 9, Block 11150, Lot 3, in an R2A, two-acre residential district.

NATURE OF APPLICATION
AND
SUMMARY OF EVIDENCE PRESENTED

This is an application with two considerations for variances of Section 321 of the Zoning Ordinance. The applicants wish to build a deck addition to their one-family residence. The existing house is on a sub-standard lot, that is, a lot which predates our Zoning requirements. The proposed deck on the north side of the house, if built, would then exceed maximum coverage. The plans submitted by the applicant were reviewed by the Board. The applicants were asked to consider another location for the deck, possibly the easterly side of the house.

With revised plans for the easterly side of the house, the one dissenting neighbor, Mr. Krinsky, stated he had no objections if the deck would be entirely on the easterly side.

Mr. Cudney, Building Inspector, reviewed the history of this application by telling the Board that the application originally came here for two side line variances on each side. It was denied by the Zoning Board, reversed by White Plains and the Building Department issued a Permit. At that particular time, the original plan did conform to the percentage of coverage. Due to the fact of the topography and the limitation of the variance that was granted, the builder basically redesigned the house and included a deck. When I reviewed it, I found that it exceeded the 9% of coverage and informed the builder that if he wanted to add the deck it would require another variance because of the percentage of coverage. He replied that he "wasn't going through that again" and would build it without the deck. Therefore, I left a note for my files saying, "do not issue any permits for any accessory building or additions as main residence right on nose as far as percentage of coverage." So, now the applicant is here for the deck for those reasons.

FINDINGS AND CONCLUSIONS

The Board conducted an on site inspection.

At that time, the Board spent a good deal of time looking at the initial proposal for a deck on the north side of the house, in light of the configuration of the property, the proximity to the Friedman's home and the impact on the neighbors. The Board was opposed to that plan because they felt it to be too intrusive to the area and opposed to what the Ordinance has set up. When the alternative proposal was presented, (the deck to be built entirely on the easterly side of the house) the Board found

it to be an acceptable compromise by making it smaller, at a lower elevation and not in direct view from Mr. Krinsky's property. This was also agreed to by the dissenting neighbor, Mr. Krinsky.

Accordingly, the Board grants the variance and approves the modified proposal on the condition that no portion of the deck whatever extend beyond the north line of the house.

The Building Inspector is hereby authorized to issue the necessary Building Permit.



William R. Loneragan, Jr.
Chairman

Dated in South Salem, New York
this 9th day of October, 1987.
Twentieth

TOWN OF LEWISBORO
RECEIVED
NOV 10 1987
OFFICE OF TOWN CLERK