

AGENDA PACKET

MAY 16, 2023 MEETING

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TOWN OF LEWISBORO
Westchester County, New York



Planning Board
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-5592
Fax: (914) 875-9148
Email: planning@lewisborogov.com

AGENDA

Tuesday, May 16, 2023

Courtroom at 79 Bouton Road

Meeting will start at 7:30 p.m. and end at or before 11:00 p.m.

I. EXTENSION OF TIME REQUESTS

Cal #07-21PB

Cross River Pharmacy, 890 Route 35, Cross River, NY 10518; Sheet 20, Block 10801, Lot 30 (Central Ave., White Plains, LLC., owner of record) - Extension of time request for a Change of Use Permit Approval and Waiver of Site Development Plan Procedures granted in the above-referenced application on October 19, 2021; current expiration date was April 19, 2023.

Cal #03-22PB

Arbor Hills Water System, 0 Brundige Drive, Goldens Bridge, NY 10526; Sheet 12, Block 11152, Lot 200 (Arbor Hill Waterworks, Inc, owner of record) - Extension of time request for the Site Development Plan Approval granted in the above-referenced application on May 17, 2022; current expiration was May 17, 2023.

Cal #09-22PB

Indian Hills Water System, 0 Apache Circle, Katonah, NY 10536; Sheet 10, Block 11152, Lot 189 (Waccabuc Water Works, Inc, owner of record) - Extension of time request for the Site Development Plan Approval granted in the above-referenced application on June 21, 2022; current expiration is June 21, 2023.

II. PUBLIC HEARINGS

Cal #06-22PB, Cal #05-22WP, Cal #03-22SW

Waccabuc Country Club Snack Bar, 18 Perch Bay Road, Waccabuc, NY 10597; Sheet 25A, Block 10813, Lot 1 & 0 Tarry-A-Bit Lane, Waccabuc, NY 10597; Sheet 25, Block 11155, Lot 148 (Waccabuc Country Club Co., owner of record for both lots) - Application for beachfront improvements including renovation of the boathouse, construction of a pavilion, replacement of the snack bar, and installation of accessible parking and walkways.

Cal #16-22PB

ATC Tower, 0 Route 35 (Leon Levy Preserve), South Salem, NY 10590; Sheet 40, Block 10263, Lot 62 (American Towers Corp., owner of record) - Application for a special use permit renewal.

III. DECISION

Cal #08-21PB

Oakridge Common, 920 Oakridge Common, South Salem, NY 10590; Sheet 49D, Block 9829, Lot 10 (Smith Ridge Housing, LLC, owner of record) – Application for a change of use from restaurant to residential.

IV. SITE DEVELOPMENT PLAN REVIEW

Cal #02-23PB

20 Boutonville LLC Horse Farm, 20 Boutonville Road South, Cross River, NY 10518; Sheet 18, Block 10526, Lot 10 (20 Boutonville LLC, owner of record) - Application for a Waiver of Site Development Plan Procedures for an existing horse farm.

Cal #04-23PB

Green deck, 114 Willow Court, Cross River, NY 10518; Sheet 17B, Block 10533, Lot 314 (Wendy & Josh Green, owners of record) – Application for enlarging an existing deck in a multi-family zone.

Cal #06-17PB

Wolf Conservation Center, Buck Run, South Salem, NY 10590; Sheet 21, Block 10803, Lots 3, 65, 67, 81, 82, 83, 86 & 88 (Wolf Conservation Center, owner of record) - Application for a Subdivision and Special Use Permit associated with a private nature preserve.

V. WETLAND PERMIT REVIEW

Cal #41-22WP, Cal #20-22SW

Nelson Residence, 30 Gideon Reynolds Road, Cross River, NY 10518; Sheet 16, Block 10533, Lot 515 (John & Christina Nelson, owners of record) – Application for a pool, patio and plantings.

Cal #34-22WP, Cal #01-21WV

Maple Tree Farm, 400 Smith Ridge Road, South Salem, NY 10590; Sheet 24, Block 9831, Lot 49B (Maple Tree Farm, LLC, owner of record) - Application for remediation of wetlands.

Cal#15-23PB

Rose patio, 15 Truesdale Lake Drive, South Salem, NY 10590; Sheet 36L, Block 10815, Lot 30 (Ellen & Robert Rose, owners of record) – Application for a patio.

Cal#18-23WP, Cal#07-23SW

Altholz driveway, 327 Waccabuc Road, Goldens Bridge, NY 10526; Sheet 7, Block 11137, Lot 30 (Michelle & Michael Altholz, owners of record) – Application for a driveway.

Cal#16-23WP

Catalano dock, 30 Twin Lakes Road, South Salem, NY 10590; Sheet 34A, Block 11831, Lot 15 (Agnes Catalano and Teresa Martens, owners of record) – Application for a dock.

Cal #19-23WP, Cal#08-23SW

Berk and Silvan Residence, 80 Ridgefield Ave, South Salem, NY 10590; Sheet 29, Block 10553, Lot 118 (Marnie Berk & Jon Silvan, owners of record) – Application for a patio and walkway.

VI. WETLAND VIOLATION

Cal #01-23WV

Ference and Malan Residence, 72 Chapel Road, Waccabuc, NY 10597; Sheet 30, Block 10802, Lot 23 & Ashley Ference & Michael Malan, owners of record)

VII. SITE VISIT REPORT

Cal #09-19WP, Cal #05-19SW

Kranz vacant land, 0 Elmwood Road, South Salem, NY 10590, Sheet 43, Block 10302, Lot 23 (Alexander Kranz, owner of record) – Application for a single-family residence, driveway, septic system and well.

VIII. CORRESPONDENCE

Ridgefield, CT Planning and Zoning Commission to amend its Town Code §2.2 and §7.3.D.4 related to electric vehicles charging stations.

IX. MINUTES OF April 18, 2023.

X. NEXT MEETING DATE: June 20, 2023.

XI. ADJOURN MEETING.

Ciorsdan Conran

From: Elaine <misselaineous56@aol.com>
Sent: Tuesday, April 25, 2023 4:31 PM
To: Ciorsdan Conran
Subject: extension for Lewisboro Pharmacy

Dear Ciorsdan and the Planning Board:

Stuart and I are requesting one more 6-month extension for the building of our new lab at 890 Cross River Road, Cross River, New York.

We have almost everything lined up for the new pharmacy. Because we are building a new state-of-the-art lab, we ran into some complications with the design. We also had to comply with new OSHA regulations. Thank you for your patience and understanding. We sincerely appreciate your kindness and cooperation.

Sincerely,

Stuart and Elaine Feldman

April 14, 2023

Janet Andersen, Chairperson
Town of Lewisboro Planning Board
79 Bouton Road
South Salem, NY 10590

Re: Liberty Utilities
Arbor Hills Water System Improvements
Sheet 0013, Block 11152, Lot 011
Site Plan Extension Request

Dear Chairperson Andersen,

As you may recall, your Board granted conditional approval for the Arbor Hills Water System Improvements at your May 17, 2022 meeting. The subject project proposes a new water treatment building (public utility) on the existing site of a water treatment and supply facility on a 4.635-acre parcel (32.1-2-1) in the R-2A (One Family Residence, 2-acre min. lot area) having frontage on Brundige Road and Waccabuc Road (County Route 138).

As noted on Page 3 of the Resolution, Conditions #1-8 must be completed within six (6) months from the date of the resolution. While our office has progressed design, certain items cannot be finalized the project receives approval from the Westchester County Health Department (WCHD). Our office made submissions to the WCHD on November 30, 2021, and August 25, 2022. On January 31, 2023, we received comments from the WCHD and scheduled a meeting to review these with the WCHD on February 14, 2023 which then required rework of treatment equipment with the manufacturer. Our office is currently working on revising plans to address these comments and anticipates a resubmission shortly.

At your November 15, 2022 meeting, your Board granted a six (6) month extension with a new expiration date of May 17, 2023; we would request placement on your upcoming May 16, 2023 Agenda for consideration of an additional six (6) month extension until November 22, 2023.

Very truly yours,

H2M architects + engineers



Sean F. Peters
Project Engineer

Enclosures

cc: Jason Tse, Liberty Utilities (w/ enclosures)
John Kilpatrick, Liberty Utilities (w/ enclosures)
Christopher Wright, Project Manager (w/ enclosures)

TOWN OF LEWISBORO
Westchester County, New York



Planning Board
79 Bouton Road
South Salem, New York 10590

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Email: planning@lewisborogov.com

November 15, 2022

Mr. Sean F. Peters
H2M architects + engineers
2 Executive Boulevard, Suite 401
Suffern, NY 10901

Re: Cal #03-22PB, #09-22SW
Arbor Hills Water System
0 Brundige Drive, Goldens Bridge
Sheet 12, Block 11152, Lot 200

Dear Mr. Peters,

At its November 15, 2022 meeting, the Planning Board approved your request for extension dated October 24, 2022 and granted one six (6) month extension of time for the Site Development Plan Approval granted in the above-referenced application on May 17, 2022.

The new expiration date is Wednesday, May 17, 2023.

Very truly yours,

Ciorsdan Conran
Planning Board Administrator

cc via email: Planning Board
Judson K. Siebert, Esq., Keane & Beane, P.C.
Jan Johannessen, AICP, Kellard Sessions Consulting, P.C.



architects + engineers

2 Executive Boulevard, Ste 401
Suffern, NY 10901

April 14, 2023

Janet Andersen, Chairperson
Town of Lewisboro Planning Board
79 Bouton Road
South Salem, NY 10590

Re: Liberty Utilities
Indian Hills Water System Improvements
Sheet 0010, Block 11152, Lot 189
Site Plan Extension Request

Dear Chairperson Andersen,

As you may recall, your Board granted conditional approval for the Indian Hills Water System Improvements at your June 21, 2022 meeting. The subject project proposes a new water treatment building (public utility) on the existing site of a water treatment and supply facility on an 8.2134-acre parcel (31.4-3-3) in the R-2A (One Family Residence, 2-acre min. lot area) having frontage on Apache Circle Road and Waccabuc Road (County Route 138).

As noted on Page 4 of the Resolution, Conditions #1-6 must be completed within six (6) months from the date of the resolution. While our office has progressed design, certain items cannot be finalized the project receives approval from the Westchester County Health Department (WCHD). Our office made submissions to the WCHD on September 1, 2021, and July 28, 2022. On April 12, 2023, we received comments from the WCHD. Our office is currently working on revising plans to address these comments and anticipates a resubmission shortly.

At your November 15, 2022 meeting, your Board granted a six (6) month extension with a new expiration date of June 21, 2023; we would request placement on your upcoming May 16, 2023 Agenda for consideration of an additional six (6) month extension until December 20, 2023.

Very truly yours,

H2M architects + engineers

Sean F. Peters
Project Engineer

Enclosures

cc: Jason Tse, Liberty Utilities (w/ enclosures)
John Kilpatrick, Liberty Utilities (w/ enclosures)
Christopher Wright, Project Manager (w/ enclosures)

TOWN OF LEWISBORO
Westchester County, New York



Planning Board
79 Bouton Road
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November 15, 2022

Mr. Sean F. Peters
H2M architects + engineers
2 Executive Boulevard, Suite 401
Suffern, NY 10901

Re: Cal #09-22PB, #17-22WP, #10-22SW
Indian Hills Water System
(Waccabuc Water Works, Inc, owner of record)
0 Apache Circle, Katonah
Sheet 10, Block 11152, Lot 189

Dear Mr. Peters,

At its November 15, 2022 meeting, the Planning Board approved your request for extension dated October 24, 2022 and granted one six (6) month extension of time for the Site Development Plan Approval granted in the above-referenced application on June 21, 2022.

The new expiration date is Wednesday, June 21, 2023.

Very truly yours,

Ciorsdan Conran
Planning Board Administrator

cc via email: Planning Board
Judson K. Siebert, Esq., Keane & Beane, P.C.
Jan Johannessen, AICP, Kellard Sessions Consulting, P.C.



April 25, 2023

Town of Lewisboro Planning Board
Janet Andersen, Planning Board Chair
79 Bouton Road
South Salem, NY 10590

RE: Beach Club Improvements Project
Waccabuc Country Club
Perch Bay Road
Waccabuc, NY
TM# Block 11155, Lot 148, Sheet 25 and Block 10813, Lot 01, Sheet 25A

Chair Anderson and Members of the Board:

Please find enclosed the following plans provided in support of an application for site development plan, wetland permit and stormwater permit approvals for the above referenced project:

- Site Plan Set (10 Sheets Total), last revised April 25, 2023.

When we met with the Board on April 18, 2023 we provided an update on project progress. Items discussed include the following:

- The project has received the necessary Variance from NYC Department of Environmental Protection (NYCDEP) for proposed impervious surfaces within the limiting distance of Waccabuc Lake, a NYCDEP watercourse / waterbody.
- The site plans have been updated to include proposed improvements and information relative to fire department access to the site and fire protection. These items had been previously submitted to the Town Building Inspector and/or Planning Board and had been discussed or reviewed with the Fire Chief. Elements incorporated include:
 - Existing grade driveway profile.
 - Fire Access Plan has been added to the plan set. This diagram depicts fire protection access and fire department setup at the site based on discussion with the Fire Department.
 - Underground fire tank location – to provide a source of water for fire department use for fire protection and water supply for sprinklers for new buildings.
 - The location of a generator and main shutoff / transfer switch have been added to the plan. The generator will provide backup power to the proposed fire pump for the sprinklers and fire tank and for the Snackbar.
 - Driveway widening for select portions of the existing driveway to 20 feet wide for fire access. Widening to be accomplished using "Turfgrass Pavers" – detail for turfgrass pavers has been added to the detail sheet.

- As noted at the meeting, these changes will require the removal of 3 additional trees for the driveway widening for fire department access. Additional plantings have been provided in the area and the tables have been updated on the site plan.
- Additional updates to the site plans as follows:
 - The pedestrian connection to the beach area has been revised and will be provided with a chair lift on the railing to provide handicap access to the beach.
 - The septic system design has been refined and the OWTS fields have been further reduced in size based on review with the WCDH.
 - Existing drainage culverts near the OWTS fields have been removed due to proximity to new OWTS area and the drainage has been relocated to the west side of the driveway. Additional benefit of this change to site drainage eliminates an existing discharge to steep slopes.

Based on comments from the Jan Johannessen, AICP from Kellard Sessions memorandum dated February 24, 2023, we offer the following:

SEQRA

The Planning Board adopted a negative declaration determination of significance at their October 18, 2022 meeting.

Required Approvals/Referrals

1. It is understood that Site Development Plan Approval, a Town Stormwater Permit, and a Wetland Activity Permit is required from the Planning Board and a public hearing is required to be held.
2. The applicant has received approval and variances from the Zoning Board of Appeals.
3. The project received approval from the Architecture and Community Appearance Review Council (ACARC).
4. The applicant will defer to the Building Inspector for whether a Floodplain Development Permit will be required.
5. The applicant is proposing new impervious surfaces within the 100-foot limiting distance and a Variance has been approved by NYCDEP.
6. As discussed at the Planning Board meeting our office has been working with the WCDOH on the onsite wastewater treatment system. The most recent submission to address comments was resubmitted to WCDOH on April 18, 2023.
7. It is noted that the project is located within the NYC East of Hudson Watershed and will consist of land disturbance greater than 1 acre. NYSDEC SPDES General Permit GP-0-20-001 coverage will be required for the subject project.
8. Westchester County Planning Board Section 239-m referral has been made on behalf of the project. A letter was received May 20, 2022. As noted in the letter, the county had no objection

to the Lewisboro Planning Board assuming Lead Agency status and noted that the project may be subject to compliance with the NYCDEP Rules and Regulations.

Comments

1. The applicant has had several meetings with the Fire Department. The "Fire Access Plan," dated March 24, 2023, has been reviewed by the Fire Department and incorporated into the latest site plan set.
2. Approval of the project SWPPP and the Variance has been granted by the NYCDEP dated April 14, 2023.
3. We are awaiting approval from the WCDOH for approval of the septic system.

Based on comments from Kevin J. Kelly, Town of Lewisboro Building Inspector, dated April 17, 2023, we offer the following:

1. Handicap accessibility will be provided to the beach area by a chair lift. The lower stairs leading to the beach from the pavilion deck will be reconstructed to allow for the chair lift to be installed. Drawing SP-1 has been updated to show the new layout of the stairs.
2. Knox boxes will be provided at the entrance gate, in the lower gravel parking area at the top of the wooden stairs and near the buildings in the waterfront area in locations to be determined during construction to the satisfaction of the fire department and the Building Inspector.
3. The boathouse and snack bar will be provided with sprinklers.
 - The sprinklers will utilize an on-site water supply consisting of underground water storage tanks(s) sized in accordance with the NYS Building and Fire Codes.
 - The on-site water storage will be sized and available for use by the Fire Department for fire protection at the site and will include a connection for the Fire Department use.
 - The tank will be located under the gravel parking area. The site plan set has been updated to show the location of the tank.
 - A dedicated fire pump will be provided for the sprinkler system with a backup generator, to the satisfaction of the Building Inspector.
4. Fire apparatus access to the site was reviewed by the Building Inspector and Fire Chief during a recent field inspection. We have included the Fire Access Plan into the current sheet plan set.
 - The main north-south driveway will be utilized for fire department access to the waterfront area.
 - Based on discussions with the Fire Chief:
 - Select portions of the existing driveway will be widened to 20 feet. Turfstone pavers have been specified in the site plan set and a detail has been provided.
 - The fire access lane will be plowed in the winter.

- A NYS Fire Code-conforming turnaround has been provided at the lower parking lot and is indicated on Sheet SP-1.


It is acknowledged that final construction drawings will be submitted to the Building Department prior to issuance of Building Permits.

We look forward to meeting with the Board at the May 16, 2023 meeting. At that time, we will respectfully request that the Board consider closing the public hearing and voting on conditional site plan approval for the project.

Should you have any questions or comments regarding this information, please feel free to contact our office.

Very truly yours,

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

By: 

Zachary M. Pearson, PE
Principal Engineer

ZMP/dlm

Enclosures

cc: Mr. Peter Hall, via email
Mr. John Assumma, via email
Mr. Michael Sirignano, Esq., via email
Mr. John M. Doyle, AIA, Doyle Coffin Architecture LLC, via email
Mr. Jan Johannessen, via email

Insite File No. 20228.100



April 14, 2023

Mr. Zac Pearson, P.E.
Sr. Associate/ Project Engineer
Insite Engineering, P.C.
3 Garrett Place
Carmel, New York 10512

Via email: zpearson@insite-eng.com

Rohit T. Aggarwala
Commissioner

Re: Waccabuc Country Club; Beach Club Improvements - **Variance**
Perch Bay Road
Town of Lewisboro
Tax Map IDs: 32.4-3-13 & 14
Cross River Reservoir Drainage Basin
DEP Log #2022-CR-0297-VA.1

Paul V. Rush, P.E.
Deputy Commissioner

P.O. Box 358
Grahamsville, NY 12740

Tel. (845) 340-7800
Fax (845) 334-7175
prush@dep.nyc.gov

Dear Mr. Pearson:

This letter is to inform you that your application for a variance from the requirements of the "Rules and Regulations for the Protection from Contamination, Degradation, and Pollution of the New York City Water Supply and its Sources" (Watershed Regulations) was *approved* on April-- , 2023. The application was filed for a variance from Section 18-39(a)(1) of the Watershed Rules and Regulations (15 RCNY Chapter 18) ("Watershed Regulations"). Specifically, the variance is sought to redevelop the Beach Club and includes the addition of impervious surfaces including the proposed access driveway, handicap accessible parking area, concession stand, boathouse modifications, and a covered deck. These improvements are proposed within the limiting distance of 100 feet of a New York City Department of Environmental Protection (DEP) defined watercourse, Lake Waccabuc. As set forth in the accompanying Variance Determination, your application meets the requirements for a variance from Section 18-39(a)(1) of the Watershed Regulations.

DEP reserves the right to modify, suspend or revoke this approval based on the grounds set forth in Section 18-26 of the Watershed Regulations. This approval applies only to the activity proposed in your application and is subject to the terms of this approval. Failure to comply with the conditions of the approval may be the cause for suspension of this approval and initiation of an enforcement action. Should modification, suspension or revocation of an approval be necessary, DEP will notify the applicant, via certified mail or personal service prior to modifying, suspending or revoking the approval. The notice will state the alleged facts or conduct which appear to warrant the intended action and explain the procedures to be followed.

The Watershed Regulations provide that an applicant may appeal the imposition of a substantial condition in a variance approval by filing a petition, in writing, with DEP and with the New York City Office of Administrative Trials and Hearings (OATH) within thirty days of the date of this determination.

DEP may inspect and monitor the project site during construction for purposes of compliance with the Watershed Regulations. The Applicant must schedule a pre-construction conference prior to the start of construction with the engineer, the contractor, and DEP staff. The Applicant must provide at least 48 hours advanced notice to Mariyam Zachariah at (914) 749-5357 or mzachariah@dep.nyc.gov prior to the commencement of any construction.

Sincerely,



Paul V. Rush, P.E.
Deputy Commissioner
Bureau of Water Supply
New York City DEP

cc: Peter Hall, Club Member, peterjhall@gmail.com
John Assumma, General Manager, jdassumma@optonline.net
Town of Lewisboro Planning Board - planning@lewisborogov.com
Jan Johannessen, Town Planner, jjohannessen@kelses.com
Casey McCormack, Senior Counsel, DEP BLA - cmccormack@dep.nyc.gov
Erin Hall, Assistant Counsel, DEP BLA - ehall@dep.nyc.gov
Devon Goodrich, Senior Counsel, NYC Law Dept dgoodric@law.nyc.gov
Katherine Smith, Assistant Corporation Counsel, NYC Law Dept kathsmitt@law.nyc.gov
Matthew Giannetta, CPSWQ, DEP BWS - mgiannetta@dep.nyc.gov
Danny Shedlo, P.E. DEP BWS - dshedlo@dep.nyc.gov



New York City Department of Environmental Protection

VARIANCE DETERMINATION

Pursuant to the authority granted under:

Article 11 of the New York State Public Health Law; and
Rules and Regulations for the Protection from Contamination, Degradation and Pollution of the New York City Water Supply and Its Sources (the "Watershed Regulations"), 15 Rules of the City of New York ("RCNY") Chapter 18, 10 New York Codes, Rules and Regulations ("NYCRR") Part 128.

The New York City Department of Environmental Protection ("DEP") makes the following determination with respect to the application for a variance described below:

Name of Project: Waccabuc Country Club - Beach Club Improvements

DEP Log Number: DEP Log #2022-CR-0297-VA.1

Project Location: Perch Bay Road
Town of Lewisboro; Westchester County
Tax Map #s 32.4-3-13 & 14

Owner/Applicant: Waccabuc Country Club

Owner Address: 90 Mead Street
Waccabuc, New York 10597

Drainage Basin: Cross River Reservoir Drainage Basin

General Description:

Waccabuc Country Club ("Applicant") is seeking a variance from the Watershed Regulations to construct new impervious surfaces within 100 feet of a watercourse, Lake Waccabuc. Section 18-39(a)(1) of the Watershed Regulations prohibits the construction of impervious surfaces within the limiting distance of 100 feet of a watercourse or wetland. The Applicant proposes to construct 4,520 square feet of impervious surfaces within the limiting distance for a concession stand, boathouse modifications, storage building with new access drive, handicap parking spaces adjacent to the main deck, and a covered deck at the beach club.

VARIANCE DETERMINATION

In accordance with Section 18-61 of the Watershed Regulations:

The Applicant requests a variance from Section 18-39(a)(1) of the Watershed Regulations to allow

VARIANCE DETERMINATION

Waccabuc Country Club
Perch bay Road, Lewisboro, NY

April 14, 2023
Page 2 of 5

for the construction of new impervious surfaces within the limiting distance of 100 feet of a watercourse or wetland.

The Applicant's variance request is:

(XX) Approved

() Denied

Reasons supporting this Determination:

The Applicant meets all criteria set forth in Section 18-61(a)(1) of the Watershed Regulations for granting a variance of this type, as evidenced in the Applicant's variance application with attachments prepared by Insite Engineering, Surveying & Landscape Architecture, P.C., dated December 9, 2022, last revised March 20, 2023 (the "Variance Application").

The specific provision of the rules and regulations from which the variance is sought (Section 18-61(a)(1)(i)): A variance is sought from Section 18-39(a)(1) of the Watershed Regulations, which prohibits the construction of an impervious surface within the limiting distance of 100 feet of a watercourse or wetland. The Applicant proposes an access driveway, handicap accessible parking area, concession stand and boathouse modifications, and covered deck within the 100-foot limiting distance of Lake Waccabuc.

The variance requested is the minimum necessary to afford relief (Section 18-61(a)(1)(ii)): The proposed action will result in approximately 4,520 square feet of new impervious surface within the 100-foot limiting distance of a watercourse, Lake Waccabuc. The proposed impervious surfaces within the limiting distance have been minimized to the maximum extent practicable. Only the minimum amount of pavement width, dimensions and grades to support an accessible parking space design will be constructed to create a safe ingress and egress from the parking area. The elevation of the existing main deck at the facility is the primary factor in the grading associated with the access drive and parking area, as an accessible route had to be designed from the fixed elevation of the existing deck to the parking area in accordance with ADA standards. The Applicant considered a number of pervious surfacing materials acceptable to DEP within limiting distances; however, those materials are not suitable or safe in this instance due to the exact use tolerances for accessible parking spaces and the access driveway relative to the slope needed for adequate access.

Additionally, onsite soil testing in the vicinity of the improvements indicated that soils in the area of the improvements would not support a pervious, infiltrative pavement design due to high groundwater.

The Variance Application demonstrates that the variance requested is the minimum necessary to afford relief because the pavement widths associated with the access driveway and parking have been reduced to the extent possible, and no alternative pervious surfacing materials would be acceptable given the existing slopes, depth to groundwater, and the proximate location of the existing potable, public water supply well for the facility. The relocation of the existing beach club

VARIANCE DETERMINATION

Waccabuc Country Club
Perch bay Road, Lewisboro, NY

April 14, 2023
Page 3 of 5

facilities outside of the 100-foot limiting distance is not feasible given the use of the property as a beach club with direct access to the lake. Further, relocation would result in additional soil disturbance beyond that which is currently shown on the project plans. The location of the existing facilities and the proposed impervious surfaces in relation to the watercourse are generally fixed, and as such, the variance requested is the minimum necessary to afford relief.

The proposed activity includes adequate mitigation measures to avoid contamination to or degradation of the water supply which are at least as protective of the water supply as the standards for regulated activities set forth in the Watershed Regulations (Section 18-61(a)(1)(iii)): The areas for which the variance is sought include the proposed access driveway, handicap accessible parking area, enlarged concession building, and the improvements at the boathouse and covered deck. Based on the onsite Natural Resources Conservation Service ("NRCS") soil types and soil testing witnessed by DEP, the proposed area is unable to support an infiltration system based on shallow depth to groundwater. Therefore, the applicant proposes, as part of a stormwater mitigation plan, a cistern as a green infrastructure practice to capture and reduce roof runoff from the modified buildings and a micropool extended detention pond for treatment of the stormwater runoff generated from the access driveway, handicap accessible parking area, and surrounding areas. The proposed activity requires no other DEP permits or approvals under the Watershed Regulations; however, the stormwater mitigation plan, which is included in the Variance Application and designed in accordance with the New York State Department of Environmental Conservation ("NYSDEC") Stormwater Management Design Manual, is intended as mitigation to avoid contamination to or degradation of the water supply. Although the proposed standard practice for a micropool extended detention pond is only required to provide 20% of the calculated water quality volume within the permanent pool, a storage volume greater than 160% of the calculated water quality volume is proposed within the permanent pool of the proposed pond. The proposed micropool extended detention pond exceeds the NYSDEC stormwater design standard requirements by 140%. The additional storage volume in the proposed stormwater treatment practice has been provided as additional mitigation to avoid contamination to or degradation of the water supply. Collectively the mitigation measures described above are at least as protective of the water supply as the standards for regulated activities set forth in the Watershed Regulations.

Conditions of Determination

For the reasons stated herein, DEP approves the variance sought in connection with this application, DEP 2022-CR-0297-VA.1, subject to the following conditions:

1. The Applicant must schedule a pre-construction conference to be held prior to the start of construction. Present at the meeting should be the Applicant, the engineer, the contractor, and DEP staff.
2. Prior to the commencement of any construction, the Applicant must provide at least 48 hours advanced notice to Mariyam Zachariah at (914) 749-5357 or mzachariah@dep.nyc.gov.

VARIANCE DETERMINATION

Waccabuc Country Club
Perch bay Road, Lewisboro, NY

April 14, 2023
Page 4 of 5

3. The Project shall be implemented in accordance with the Variance Application including all attachments thereto.
4. All erosion and sediment controls must be properly installed and maintained until the site is stabilized and the risk of erosion is eliminated. Final stabilization is defined as: all soil disturbing activities at the site have been completed, and that a uniform perennial vegetative cover with a density of 80% cover for the area has been established or equivalent stabilization measures have been employed.
5. The Applicant is required to submit as-builts upon completion of construction for all approved facilities.
6. This Variance Determination shall expire and thereafter be null and void unless construction is completed within two (2) years of the date of issuance, or within any extended period of time approved by DEP upon good cause shown.
7. Alteration or modification of the Variance Application, including the attachments thereto, shall require DEP review and approval.
8. Failure to comply with any of the conditions of this Variance Determination is a violation of this approval and the Watershed Regulations.
9. This Variance Determination is issued solely to the Applicant and may not be transferred by the Applicant without prior written approval of DEP. Prior to the sale or transfer of title for the Property, the Applicant shall notify DEP in writing of such intended sale or transfer and shall provide the potential successor in interest with a copy of the Variance Approval including the Variance Application including all attachments thereto. In order to construct the Project pursuant to this Variance Determination, the potential successor in interest shall submit to DEP an application to transfer the Variance Determination and must receive written approval for such transfer of the Variance Determination from DEP, a condition of such transfer being agreement with the terms and conditions herein. Absent such express approval from DEP, this Variance Determination shall only be valid for and applicable to the Applicant.

Please confirm your acceptance of the terms for this Variance Determination by countersigning below and returning the countersigned Variance Determination to DEP (Attention: Mariyam Zachariah at DEP, 465 Columbus Avenue, Valhalla, NY 10595) within fifteen (15) calendar days of the date hereof.

VARIANCE DETERMINATION

Waccabuc Country Club
Perch bay Road, Lewisboro, NY

April 14, 2023
Page 5 of 5

Date: April 14, 2023

Determination made by:

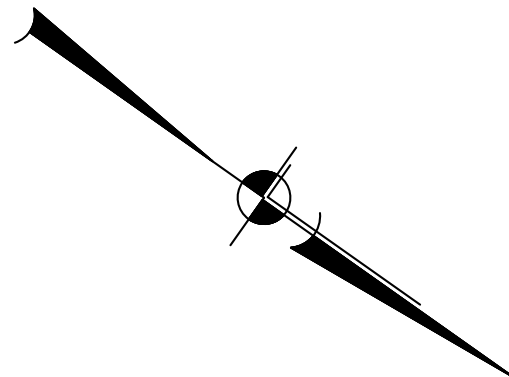


Paul V. Rush, P.E.
Deputy Commissioner
Bureau of Water Supply
New York City Department of Environmental Protection

Applicant/Operator
AGREED AND ACCEPTED THIS

_____ day of _____, 2023

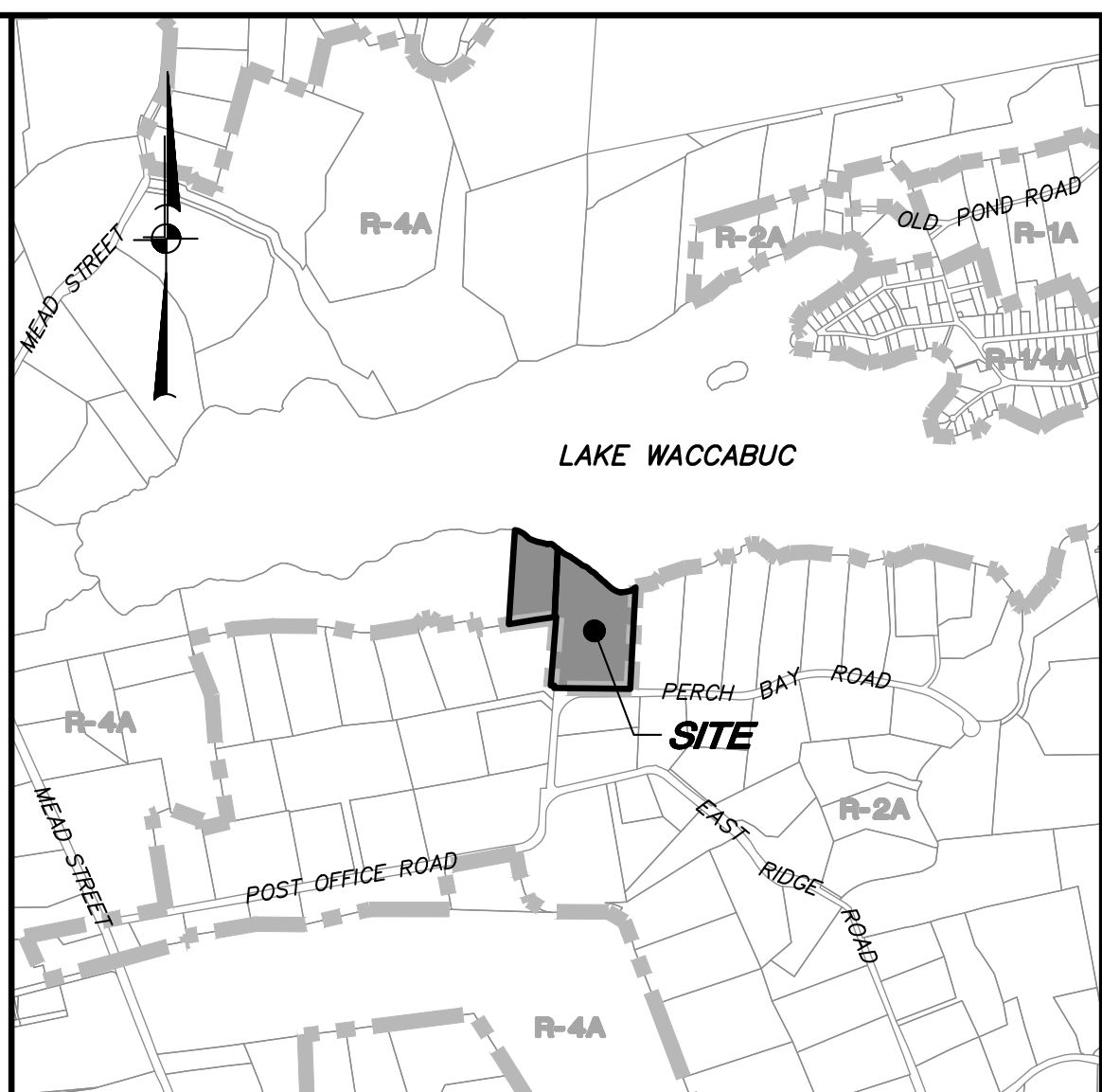
By: _____



	R4-A ZONE REQUIREMENTS		
	REQUIRED/ PERMITTED	EXISTING	PROPOSED
Minimum Lot Size:	4 AC	9.1 AC	9.1 AC
Minimum Front Yard:			
From street center line	75'	600'	573'
From front lot line	50'	576'	550'
Minimum Side Yard:	50'	29'	218'
Minimum Rear Yard:	50'	0' *	0' **
Maximum Building Height:	2.5 stories/ 35'	2.5 stories/ 35'	2.5 stories/ 35'
Maximum Building Coverage:	6%	0.5%	1.1%

* Bathhouse - Pre-existing concrete deck is 0.3' over property line per survey.
** Bathhouse - Pre-existing porch overhang is 1.4' over property line per architectural drawings.
*** Bathhouse Pavilion is proposed to be located 9.1' from the rear property line (40.9' variance required). Proposed Snack Bar is to be located 37.4' from the rear property line (12.6' variance required).

PARKING TABLE		
Parking Requirements:		
For Golf or Country Club per Section 220-56 of Town of Lewisboro Zoning Code		
1 space per 3 members x 390 members (*)	=	130 spaces
1 space per each 3 seats of max. capacity (**)	=	0 spaces
Total spaces required	=	130 spaces
(*) Waccabuc Country Club current membership is 390 members.		
(**) Meeting and dining room seats provided at main club site, not at Beach Club.		
Parking Provided on site *****		
***** Parking variance granted for 77 spaces by Town of Lewisboro ZBA on 1-25-2023.		
***** Existing on site parking has historically proven sufficient for typical uses at the site. When additional event parking is needed, it is provided at the main club and members/guests are shuttled to/from the site via club vans. Parking provided on site is seasonal. The parking areas are gravel and partially grass and pavement markings are not provided. This drawing provides a general representation of parking at site.		

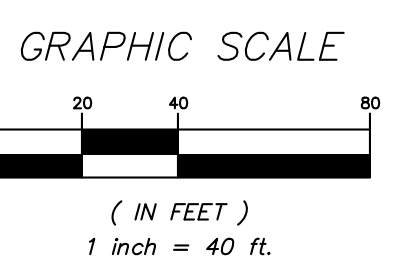
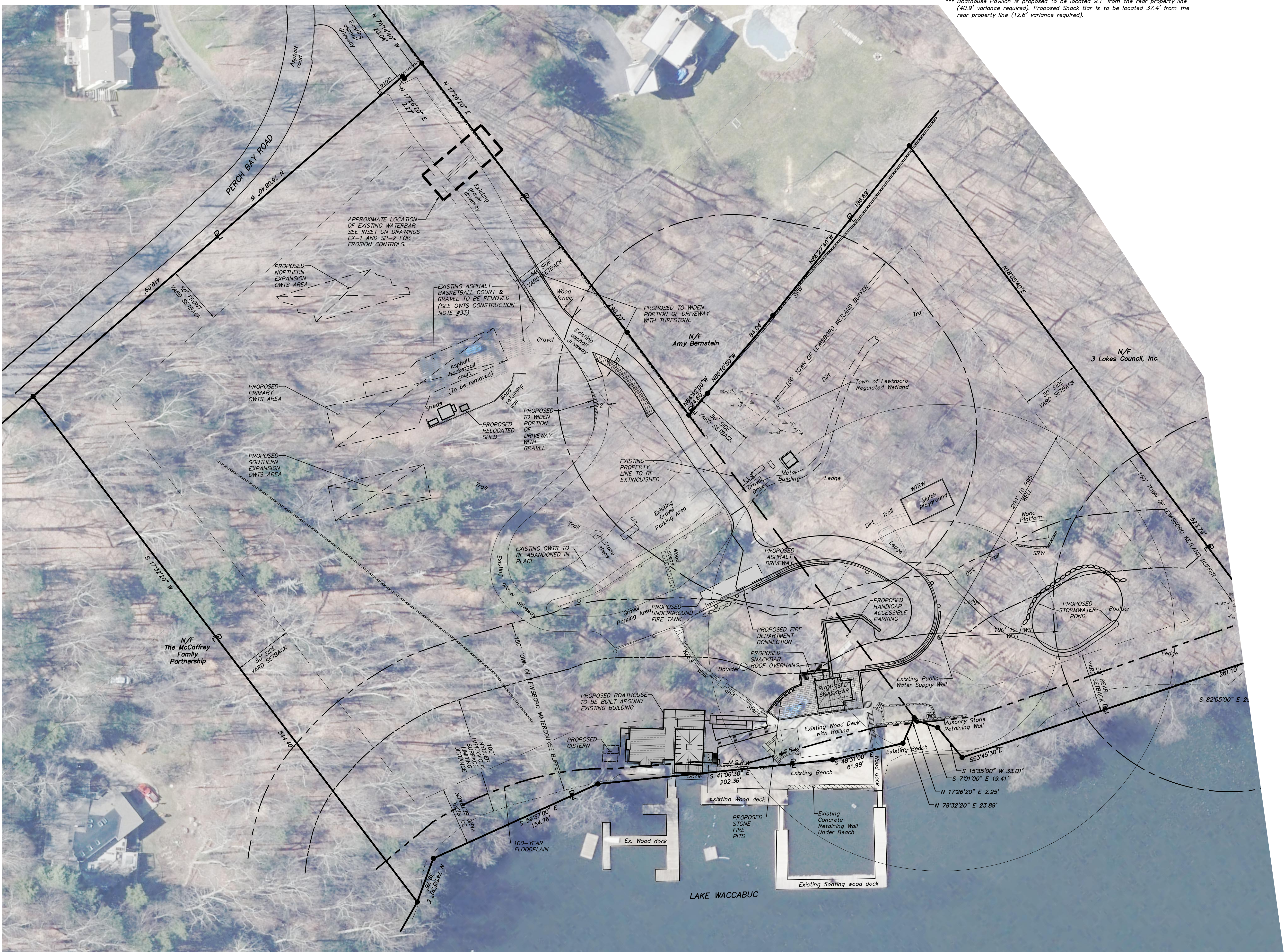


LOCATION MAP SCALE: 1" = 1,000'

OWNER/APPLICANT:	SITE DATA:
WACCABUC COUNTRY CLUB 90 MEAD STREET WACCABUC, NY 10597	Zone: R-4A (4 Acre Residential) Total Acreage 9.1 AC± Tax Map No.: 1. Sheet 25A-Block 10813-Lot 01 2. Sheet 25-Block 148-Lot 25

- GENERAL NOTES:**
- Property lines, existing conditions and topography as shown hereon based off of survey mapping prepared by Bunney Associates Land Surveyors completed 2007 and 4-4-2012, and by Insite Engineering, Surveying & Landscape Architecture P.C., completed 7-28-2018, 6-7-2021 and 5-17-2022.
 - Topography shown hereon (outside property lines) taken from both the Westchester County 2' contour, 1" = 100 scale GIS dataset dated April 2004 (elevations reference the North American Vertical Datum of 1988, NAVD 88).
 - Wetlands A shown hereon delineated by James Bates of Ecological Analysis on April 21, 2021, and survey located by Insite Engineering, Surveying & Landscape Architecture, P.C. on June 7, 2021. Wetlands B shown hereon delineated by James Bates of Ecological Analysis on May 11, 2022, and survey located by Insite Engineering, Surveying & Landscape Architecture, P.C. on May 11, 2022.
 - Proposed features are labeled as such. All other features are existing.
 - Based on a watercourse walk conducted with Miryam Zachariah of NYCDEP on April 26, 2021, there are no NYCDEP watercourses on the project site.
 - It is the applicant's intent to merge the 2 parcels into one lot as part of this project.
 - Disturbance limits shall be staked in the field prior to construction.
 - All walls equal to or greater than four (4) feet in height shall be designed by a NYS Licensed Professional Engineer.
 - Construction of all walls equal to or greater than four (4) feet in height shall be certified by the Design Professional prior to the issuance of a Certificate of Occupancy/Completion.
 - Knox boxes or Knox locks will be provided at the site for emergency access to the satisfaction of the Fire Department and Building Inspector:
 - at the entrance gate
 - at lower gravel parking lot
 - at water front by buildings.

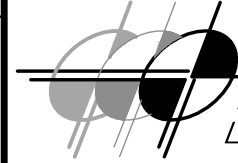
LEGEND	
	EXISTING PROPERTY LINE
	EXISTING BUILDING
	EXISTING BUILDING TO BE REMOVED
	EXISTING STONE WALL
	EXISTING MASONRY STONE WALL
	EXISTING WOODEN RETAINING WALL
	EXISTING DIRT TRAIL
	EXISTING GUIDE RAIL
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING ROCK LEDGE
	PROPOSED 150' WATERCOURSE BUFFER
	PROPOSED 100 IMPERVIOUS LIMITING DISTANCE




ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.

TOWN ENGINEER'S CERTIFICATION	
Reviewed for compliance with the Planning Board Resolution dated _____	
Joseph Cerreto, P.E. Kellard Sessions Consulting Town Consulting Engineer	Date _____
PLANNING BOARD APPROVAL	
Approved by the Resolution of the Lewisboro Planning Board.	
Chair _____	Date _____
Administrator _____	Date _____
OWNER'S / APPLICANT'S CERTIFICATIONS	
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.	
Waccabuc Country Club 90 Mead Street Waccabuc, NY 10597	Date _____

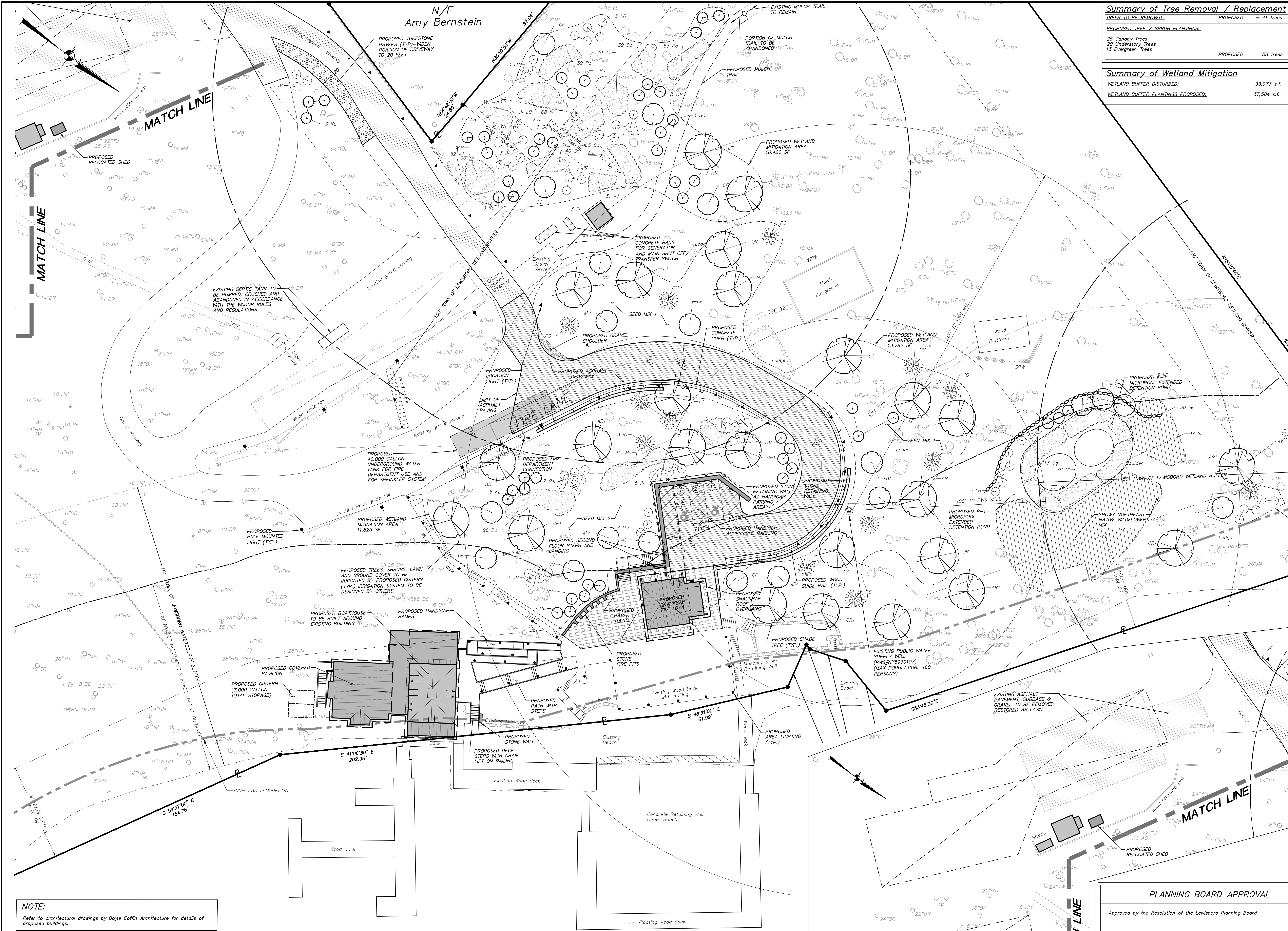
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9	2-7-23	REVISED FOR NYCDEP COMMENTS	JMM
8	12-22-22	ZBA SUBMISSION	MEU
7	12-9-22	REVISED PER NYCDEP COMMENTS	EJP
6	11-7-22	REVISED FOR BUILDING INSPECTOR	MEU
5	10-20-22	REVISED PER TOWN COMMENTS	MEU
4	7-26-22	REVISED PER TOWN COMMENTS	SMR
3	6-28-22	REVISED PER TOWN COMMENTS	SMR
2	5-31-22	REVISED PER TOWN COMMENTS	SMR
1	3-29-22	REVISED PER TOWN COMMENTS	SMR
NO.	DATE	REVISION	BY

	INSITE	3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com
	ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.	

PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS					
80 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CT, NY					
DRAWING: <u>OVERALL PLAN</u>					
PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SHEET
DATE	2-8-22	DRAWN BY	E.R.A.		
SCALE	1" = 40'	CHECKED	D.L.M.		
				OP-1	1







Summary of Tree Removal / Replacement		
Trees to be removed:	PROPOSED	= 41 trees
PROPOSED TREE / SHRUB PLANTINGS:		
25 Canopy Trees	PROPOSED	= 58 trees
20 Understory Trees		
13 Evergreen Trees		
Summary of Wetland Mitigation		
WETLAND BUFFER DISTURBED:	33,973 s.f.	
WETLAND BUFFER PLANTINGS PROPOSED:	37,584 s.f.	

PLANT LIST			
SYM	QTY	BOTANICAL/Common Name	SIZE ROOT/NOTES
SHADE TREES			
AR	3	Acer rubrum / Red Maple	3" CAL. B&B
ARI	5	Acer rubrum / Red Maple	2" CAL. B&B
AS	3	Acer saccharum / Sugar Maple	3" CAL. B&B
LT	5	Liriodendron tulipifera / Tulip Tree	3" CAL. B&B
NS	3	Nyssa sylvatica / Black Gum	3" CAL. B&B
QR	2	Quercus rubra / Red Oak	3" CAL. B&B
QRI	4	Quercus rubra / Red Oak	2" CAL. B&B
FLOWERING TREES			
AC	5	Amelanchier canadensis / Serviceberry	6" HT. B&B/(Multi-stem)
CC	6	Cercis canadensis / Redbud	3" CAL. B&B
CF	5	Cornus florida 'Cherokee' / Flowering Dogwood	3" CAL. B&B
MV	4	Magnolia virginiana / Sweetbay Magnolia	10' HT.* B&B/(Multi-stem)
EVERGREEN TREES			
IO	6	Ilex opaca / American Holly	10' HT.* B&B
PS	7	Pinus strobus / White Pine	10' HT.* B&B
SHRUBS			
AP	6	Aesculus parviflora / Bottlebrush Buckeye	3" HT. #3 CONT./6' O.C.
HV	9	Hamamelis virginiana / Witchhazel	3" HT. #3 CONT./6' O.C.
HD	3	Hydrangea quercifolia / Oakleaf Hydrangea	3" HT. #3 CONT./6' O.C.
IV	27	Itea virginica / Virginia Sweetspire	2" HT. #3 CONT./6' O.C.
KL	11	Kalmia latifolia / Mountain Laurel	3" HT. #3 CONT./6' O.C.
LB	23	Lindera benzoin / Spice Bush	2" HT. #3 CONT./6' O.C.
RA	12	Rhododendron atlanticum / Deciduous Azalea	3" HT. #3 CONT./6' O.C.
RB	3	Rosa 'Blushing' / Blushing Knockout Rose	2" HT. #3 CONT./6' O.C.
SC	3	Sambucus canadensis / Elderberry	2" HT. #3 CONT./6' O.C.
VD	3	Viburnum dentatum / Arrowwood Viburnum	2" HT. #3 CONT./6' O.C.
PERENNIALS/GROUND COVERS			
AI	153	Athyrium filix-femina / Lady Fern	#1 CONT./18" O.C.
CI	118	Carex lurida / Lurid Sedge	2" PLUG/18" O.C.
Cg	235	Chelone glabra/ Turtlehead	2" PLUG/18" O.C.
De	135	Deschampsia cespitosa / Tufted Hair Grass	2" PLUG/18" O.C.
Ep	116	Echinacea purpurea / Coneflower	#1 CONT./18" O.C.
Iv	279	Iris versicolor / Blue Flag Iris	2" PLUG/18" O.C.
Je	127	Juncus effusus / Soft Rush	2" PLUG/18" O.C.
Mv	83	Mertensia virginica / Virginia Bluebells	#1 CONT./18" O.C.
Pa	112	Polystichum acrostichoides / Christmas Fern	#1 CONT./18" O.C.
Sh	40	Sporobolus heterolepis / Prairie Dropseed	#1 CONT./18" O.C.

* NOTE: Evergreen trees and multistem trees are sold by height. 10' height is equivalent to 3" caliper per ANSI Standards.

TREE LEGEND	
○	DECIDUOUS TREE
●	EVERGREEN TREE
AS	ASH
BB	BLACK BIRCH
BE	BEECH
BR	BIRCH
HK	HICKORY
HM	HEMLOCK
MA	MAPLE
OA	OAK
TR	UNKNOWN SPECIES
TU	TULIP

LEGEND	
—	EXISTING PROPERTY LINE
—	EXISTING BUILDING
—	EXISTING STONE WALL
—	EXISTING MASONRY STONE WALL
—	EXISTING WOODEN RETAINING WALL
—	EXISTING DIRT TRAIL
—	EXISTING GUIDE RAIL
—	EXISTING ASPHALT
—	EXISTING CURB
—	EXISTING WATERCOURSE
—	EXISTING EDGE OF WATER
—	EXISTING WETLAND
—	EXISTING WETLAND FLAG
—	EXISTING DECIDUOUS TREE
—	EXISTING EVERGREEN TREE
—	EXISTING ROCK LEDGE
—	EXISTING POST MOUNTED LIGHT
—	EXISTING INDIVIDUAL TREE
—	EXISTING WELL
—	PROPOSED 150' WATERCOURSE BUFFER
—	PROPOSED 100 IMPERVIOUS LIMITING DISTANCE
—	PROPOSED LANDSCAPING
—	PROPOSED WOOD GUIDE RAIL
—	PROPOSED CONCRETE CURB
—	PROPOSED ASPHALT DRIVEWAY
—	PROPOSED FENCE
—	PROPOSED POLE MOUNTED LIGHT
—	PROPOSED AREA LIGHTING
—	PROPOSED LOCATION LIGHT
—	PROPOSED BUILDING MOUNTED LIGHT

NOTE:
Refer to architectural drawings by Doyle Coffin Architecture for details of proposed buildings.

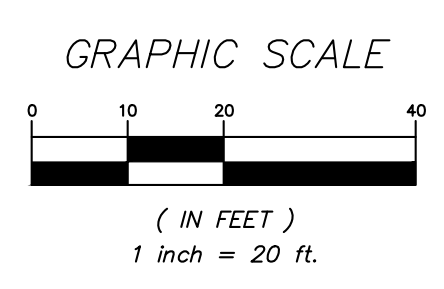
- SEEDING NOTES:**
- All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments shall be determined based on specific testing of topsoil material. Topsoil shall be placed using a method that will not cause compaction.
 - Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
 - select seed mixture per drawings and seeding notes.
 - no fertilizer is to be for seeded areas. Nutrient requirements shall be met by incorporation of acceptable organic matter based on results of soil testing.
 - mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005.
 - if the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
 - Seeding should begin immediately upon completion of finish grading and seed bed preparation while soil is still friable and before weeds can emerge. If seeding area is crusted or compacted, it should be loosened by disking or tilling. If weeds are present, they should be mowed short and removed or killed under before seed is applied.
 - Seed mixtures shall be planted between March 21 and May 20, or between August 15, and October 15 or as directed by project representative. The seed mixes as specified on these drawings are as follows:
 - A. Seed Mix #1 for disturbed woodland areas shall be (ERNMX-132-1) Right of Way Native Woods Mix with annual ryegrass at a rate of 30 lbs./acre.
 - B. Seed Mix #2 for the area between the parking lot and deck shall be (ERNMX-181) Native Steep Slopes Mix with annual ryegrass at a rate of 60 lbs./acre.
 - C. Temporary Seed Mix for temporary seeding shall be annual or perennial ryegrass in spring, summer or early fall, at a rate of 30 lbs./acre or winter rye (cereal rye) in late fall or early winter at a rate of 100 lbs./acre.

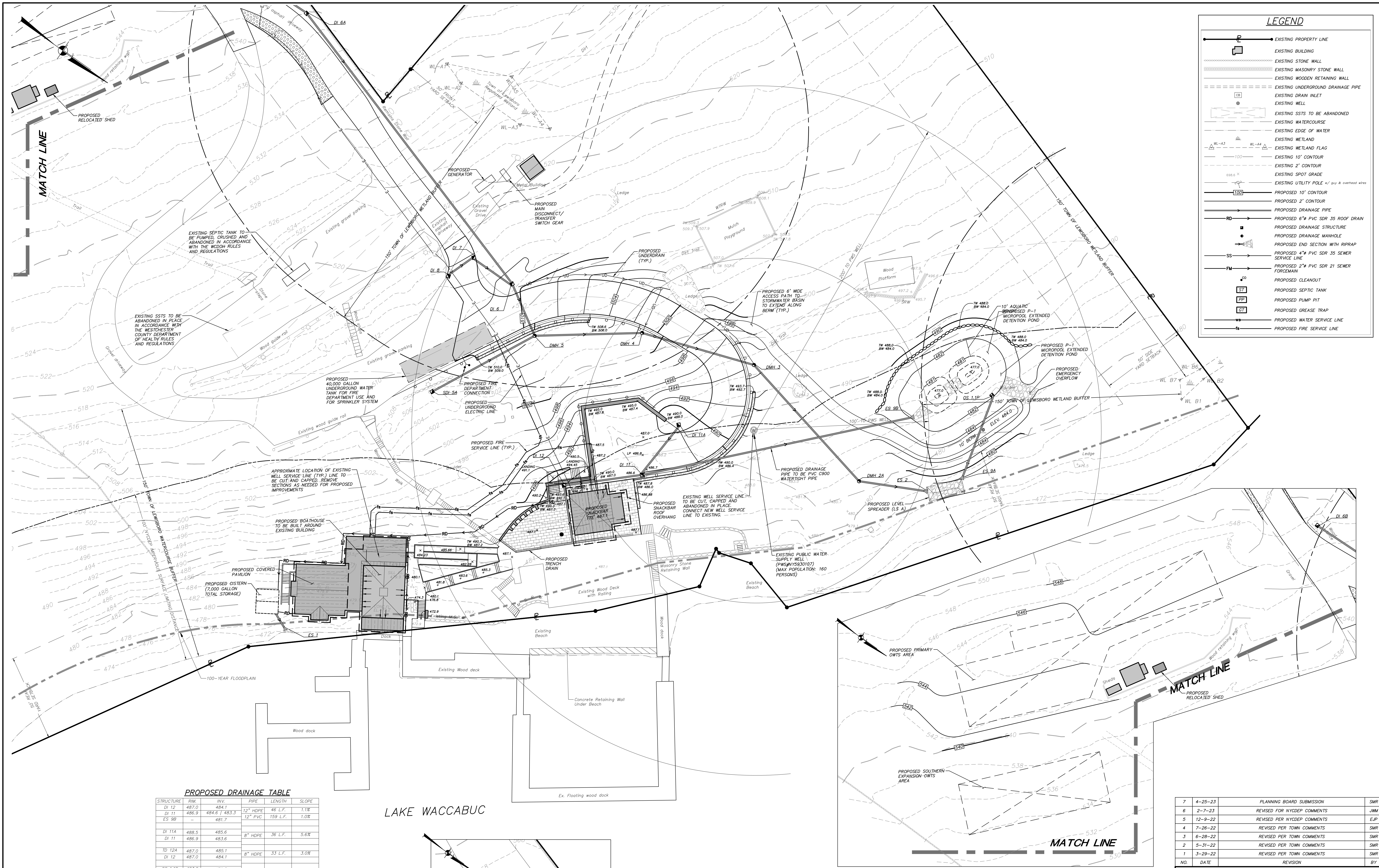
- PLANTING NOTES:**
- All proposed planting beds to receive a 12" min. depth of topsoil. No fertilizer is to be used. Nutrient requirements shall be met by incorporation of suitable organic material. Soil amendments based on specific testing of topsoil material.
 - Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
 - All plant material to be nursery grown.
 - Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
 - Plant material shall be taken from healthy nursery stock.
 - All plants shall be grown under climate conditions similar to those in the locality of the project.
 - Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
 - The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
 - Provide a 3" layer of shredded bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
 - All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.

LAKE WACCABUC

PLANNING BOARD APPROVAL	
Approved by the Resolution of the Lewisboro Planning Board.	
Chair	Date
Administrator	Date
TOWN ENGINEER'S CERTIFICATION	
Reviewed for compliance with the Planning Board Resolution dated	
Joseph Cerniele, P.E. Kellard Sessions Consulting Town Consulting Engineer	Date
OWNER'S / APPLICANT'S CERTIFICATIONS	
The undersigned is the owner(s) of the property shown herein, is familiar with this drawing and its contents, and hereby approves the same for filing.	
Waccabuc Country Club 90 Mead Street Waccabuc, NY 10597	Date

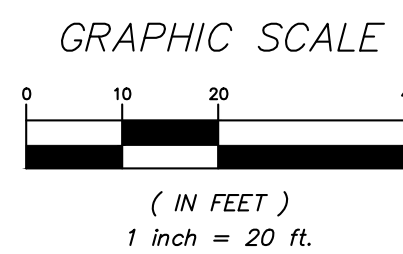
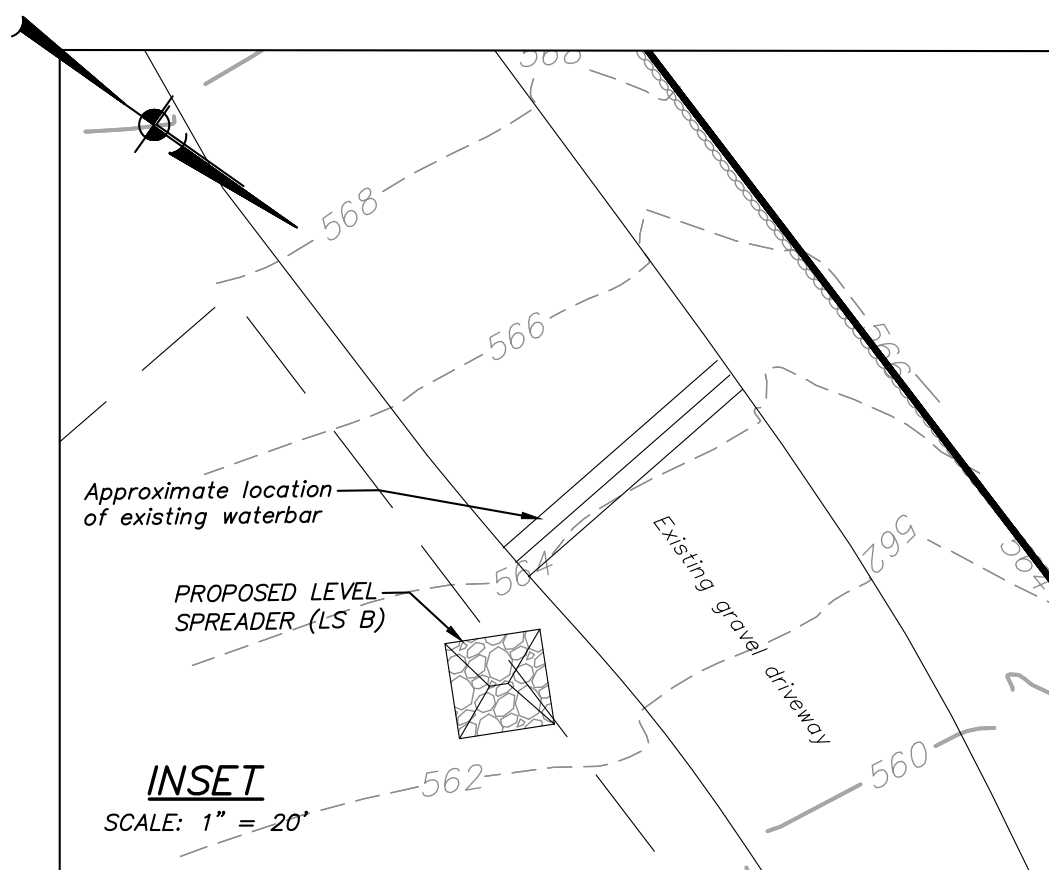
7	4-25-23	PLANNING BOARD SUBMISSION	SMR
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5	12-9-22	REVISED PER NYCDP COMMENTS	EJP
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1	3-29-22	REVISED PER TOWN COMMENTS	SMR
NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.			
PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS			
3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com			
PROJECT NUMBER: 20228.100			
PROJECT MANAGER: Z.M.P.			
DATE: 2-8-22			
DRAWN BY: E.R.A.			
SCALE: 1" = 20'			
CHECKED BY: D.L.M.			
DRAWING NO. SP-1			
SHEET 3			





PROPOSED DRAINAGE TABLE				
STRUCTURE	R.M.	INVERT	PIPE	LENGTH
DI 12	487.0	484.1	12" HDPE	46 L.F.
DI 11	486.9	484.6	12" HDPE	46 L.F.
ES 9B	-	481.7	12" PVC	159 L.F.
DI 11A	488.5	485.6	12" HDPE	36 L.F.
DI 11	486.9	483.6	8" HDPE	36 L.F.
TD 12A	487.0	485.1	8" HDPE	33 L.F.
DI 12	487.0	484.1	12" HDPE	33 L.F.
OS 1.1P	483.0	476.5	12" HDPE	50 L.F.
ES 9A	-	476.0	12" HDPE	50 L.F.
DI 8	515.0	511.8	12" HDPE	17 L.F.
DI 7	515.7	511.3	12" HDPE	26 L.F.
DI 6	510.5	507.3	12" HDPE	32 L.F.
DMH 5	506.2	501.7	15" HDPE	63 L.F.
DMH 4	501.6	498.2	15" HDPE	68 L.F.
DMH 3	494.5	491.1	15" HDPE	91 L.F.
DMH 2A	481.2	472.8	15" HDPE	46 L.F.
ES 2	-	476.0	15" HDPE	46 L.F.
SDI 5A	505.8	502.4	15" HDPE	67 L.F.
DMH 5	506.2	501.7	15" HDPE	67 L.F.
CISTERN	-	475.3	8" HDPE	11 L.F.
ES 1	-	471.5	8" HDPE	11 L.F.
DI 6B	548.0	542.3	15" HDPE	66 L.F.
DI 6A	540.0	536.6	15" HDPE	196 L.F.
DI 6	510.5	507.3	15" HDPE	196 L.F.

LAKE WACCABUC



PLANNING BOARD APPROVAL

Approved by the Resolution of the Lewisboro Planning Board.

Chair _____ Date _____

Administrator _____ Date _____

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated _____

Joseph Cerreto, P.E.
Kellard Sessions Consulting
Town Consulting Engineer

Date _____

OWNER'S / APPLICANT'S CERTIFICATIONS

The undersigned is the owner(s) of the property shown herein, is familiar with this drawing and its contents, and hereby approves the same for filing.

Waccabuc Country Club
92 Mead Street
Waccabuc, NY 10597

Date _____

7	4-25-23	PLANNING BOARD SUBMISSION	SMR
6	2-7-23	REVISED FOR NYDEP COMMENTS	JMM
5	12-9-22	REVISED PER NYDEP COMMENTS	EJP
4	7-26-22	REVISED PER TOWN COMMENTS	SMR
3	6-28-22	REVISED PER TOWN COMMENTS	SMR
2	5-31-22	REVISED PER TOWN COMMENTS	SMR
1	3-29-22	REVISED PER TOWN COMMENTS	SMR
NO.	DATE	REVISION	BY

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS

90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY

DRAWING: GRADING & UTILITIES PLAN

PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SP-2
DATE	2-8-22	DRAWN BY	E.R.A.	SHEET	4
SCALE	1" = 20'	CHECKED BY	D.L.M.		11

ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 1209 OF ARTICLE 145 OF THE EDUCATION LAW.

EROSION & SEDIMENT CONTROL NOTES:

- The owner's field representative (O.F.R.) will be responsible for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction.
- All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
- Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
- When land is exposed during development, the exposure shall be kept to the shortest practical period of time. In the areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. Disturbance shall be minimized to the areas required to perform construction.
- Silt fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
- All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. "Aristocrat" Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
- Any disturbed areas not subject to further disturbance or construction traffic, permanent or temporary, shall have soil stabilization measures initiated for permanent vegetation cover in combination with a suitable mulch within 1 business day of final grading. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched as follows:
 - Seed mixture to be planted between March 21 and May 20, or between August 15 and October 15 or as directed by project representative at a rate of 100 pounds per acre in the following proportions:
 - Kentucky Bluegrass 20%
 - Crested Red Fescue 40%
 - Perennial Ryegrass 20%
 - Annual Ryegrass 20%
 - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
- Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.
- Cut or fill slopes steeper than 3:1 shall be stabilized immediately after grading with Curbex 1 Single Net Erosion Control Blanket, or approved equal.
- Paved roadways shall be kept clean at all times.
- The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
- All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
- Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
- Erosion and sediment control measures shall be inspected and maintained on a daily basis by the O.F.R. to ensure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the O.F.R. and/or site engineer.
- Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the O.F.R.
- Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
- All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
- The O.F.R. shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
- As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer and/or the Town Engineer shall be installed by the contractor.
- Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

MONITORING REQUIREMENTS			MAINTENANCE REQUIREMENTS	
PRACTICE	DAILY	WEEKLY	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	—	Inspect	Clean/Replace	Remove
STABILIZED CONSTRUCTION ENTRANCE	Inspect	—	Clean/Replace Stone and Fabric	Remove
DUST CONTROL	Inspect	—	Mulching/Spraying Water	N/A
*VEGETATIVE ESTABLISHMENT	—	Inspect	Water/Reseed/Remove	Reseed to 80% Coverage
INLET PROTECTION	—	Inspect	Clean/Repair/Replace	Remove
SOIL STOCKPILES	—	Inspect	Mulching/Silt Fence Repair	Remove
CONCRETE DRAINAGE STRUCTURES	—	Inspect	Clean Sumps/Remove Debris/Repair/Replace	Clean Sumps/Remove Debris/Repair/Replace
DRAINAGE PIPES	—	Inspect	Clean/Repair	Clean/Repair
ROAD & PAVEMENT	—	Inspect	Clean	Clean
*STORMWATER MANAGEMENT PRACTICE	—	Inspect	Clean/Mulch/Repair/Reseed	See Permanent Stormwater Facilities Maintenance Schedule

* Permanent vegetation is considered stabilized when 80% of the plant density is established. Erosion control measures shall remain in place until all disturbed areas are permanently stabilized. Note: The party responsible for implementation of the maintenance schedule during and after construction is: WACCABUC COUNTRY CLUB 92 MEAD STREET WACCABUC, NY 10597 and/or the current owner(s) of the subject property.

CONSTRUCTION SEQUENCE:

- Install stabilized construction entrance and silt fence in general locations as shown hereon. Install construction fence around the proposed SSTS area.
- Contractor shall provide additional erosion and sediment control measures as needed during demolition and construction to keep sediment laden runoff from discharging into Lake Waccabuc. Additionally, the contractor shall refer to the project SWPPP for additional implementation and maintenance of the proposed stormwater facilities and erosion and sediment control measures during construction.
- Place existing storage building and snack bar.
- Demolish existing features to be removed and clear existing trees to be removed.
- Strip and stockpile topsoil on site for later use in lawn and landscape areas.
- Remove existing asphalt basketball court area.
- Begin earthwork operations associated with the proposed stormwater management pond and excavation for the proposed culvert.
- Begin earthwork operations for proposed driveway, path, and parking area.
- Begin construction of proposed snack bar, boat house, and associated decking and appurtenances.
- Install proposed drainage and conveyance system, and roof drains.
- Remove existing 15" drainage pipe adjacent to proposed OWTs area.
- Start installation of proposed OWTs. Install sewer service lines, septic tank, grease trap, pump pit, forcemains, and primary absorption field.
- Upon completion of all grading operations, install finished asphalt surfaces.
- Topsoil, seed and mulch all disturbed areas as soon as practical in accordance with the erosion and sediment control notes on the project plans.
- Once final stabilization has been achieved, remove all temporary erosion and sediment control measures.

LEGEND

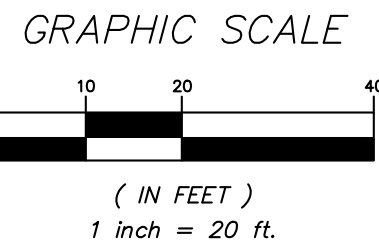
	EXISTING PROPERTY LINE
	EXISTING BUILDING
	EXISTING STONE WALL
	EXISTING MASONRY STONE WALL
	EXISTING WOODEN RETAINING WALL
	EXISTING UNDERGROUND DRAINAGE PIPE
	EXISTING DRAIN INLET
	EXISTING WELL
	EXISTING SSTS
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	PROPOSED 10' CONTOUR
	PROPOSED 2' CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
	PROPOSED TOP OF WALL & BOTTOM OF WALL ELEVATIONS
	PROPOSED SILT FENCE
	PROPOSED CONSTRUCTION FENCE
	PROPOSED TURBIDITY CURTAIN
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED TOPSOIL STOCKPILE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE

EARTHWORK TABLE		
CUT (CY)	FILL (CY)	TOTAL (CY)
-1,800	200	-1,600 (CY)

EARTHWORK TABLE (WITHIN 100-YEAR FLOODPLAIN)		
CUT (CY)	FILL (CY)	TOTAL (CY)
-0.5	0.5	0.0

EARTHWORK NOTES:

- All earthwork calculations are based on the difference between the existing grades and proposed finished grades. Any excavation within the proposed building footprint has not been considered in these calculations.
- Estimated earthwork volumes are approximate and do not account for swell or compaction.
- The use/quantity of select fill materials for road sub-base, pipe embedments, subsurface stormwater management practices, any structural fill, etc. are not accounted for in these calculations.
- The calculations contained herein do not consider the soil characteristics of the cut/fill soils and their suitability for use as a general and/or select fill. Compaction testing shall be performed during construction in accordance with the project specifications. Should the in-situ soils not be able to meet compaction prior to rendering the in-situ material unsuitable, the project geotechnical engineer shall recommend corrective measures such as amending or mixing the soil.
- The depth to ledge rock and/or impacts associated with rock excavation have not been considered in these calculations.
- All Cuts and Fill Volumes have been rounded to the nearest 100 Cubic Yards.
- All excess and unsuitable material shall be disposed of off site at the expense of the contractor in accordance with the project specifications.
- Volumes provided in the Earthwork Table are for permitting purposes only. Contractor shall be responsible for calculating material quantities for construction.
- The proposed grading and installation of proposed level spreader (LS A) within the FEMA 100-year Floodplain results in no net loss of flood storage within the FEMA 100-year Floodplain.



TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated _____

Joseph Cerniele, P.E.
Kellard Sessions Consulting
Town Consulting Engineer

OWNER'S / APPLICANT'S CERTIFICATIONS

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.

Waccabuc Country Club
92 Mead Street
Waccabuc, NY 10597

PLANNING BOARD APPROVAL

Approved by the Resolution of the Lewisboro Planning Board.

Chair _____ Date _____
Administrator _____ Date _____

7	4-25-23	PLANNING BOARD SUBMISSION	SMR
6	2-7-23	REVISED FOR NYDEP COMMENTS	JMM
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NO.	DATE	REVISION	BY

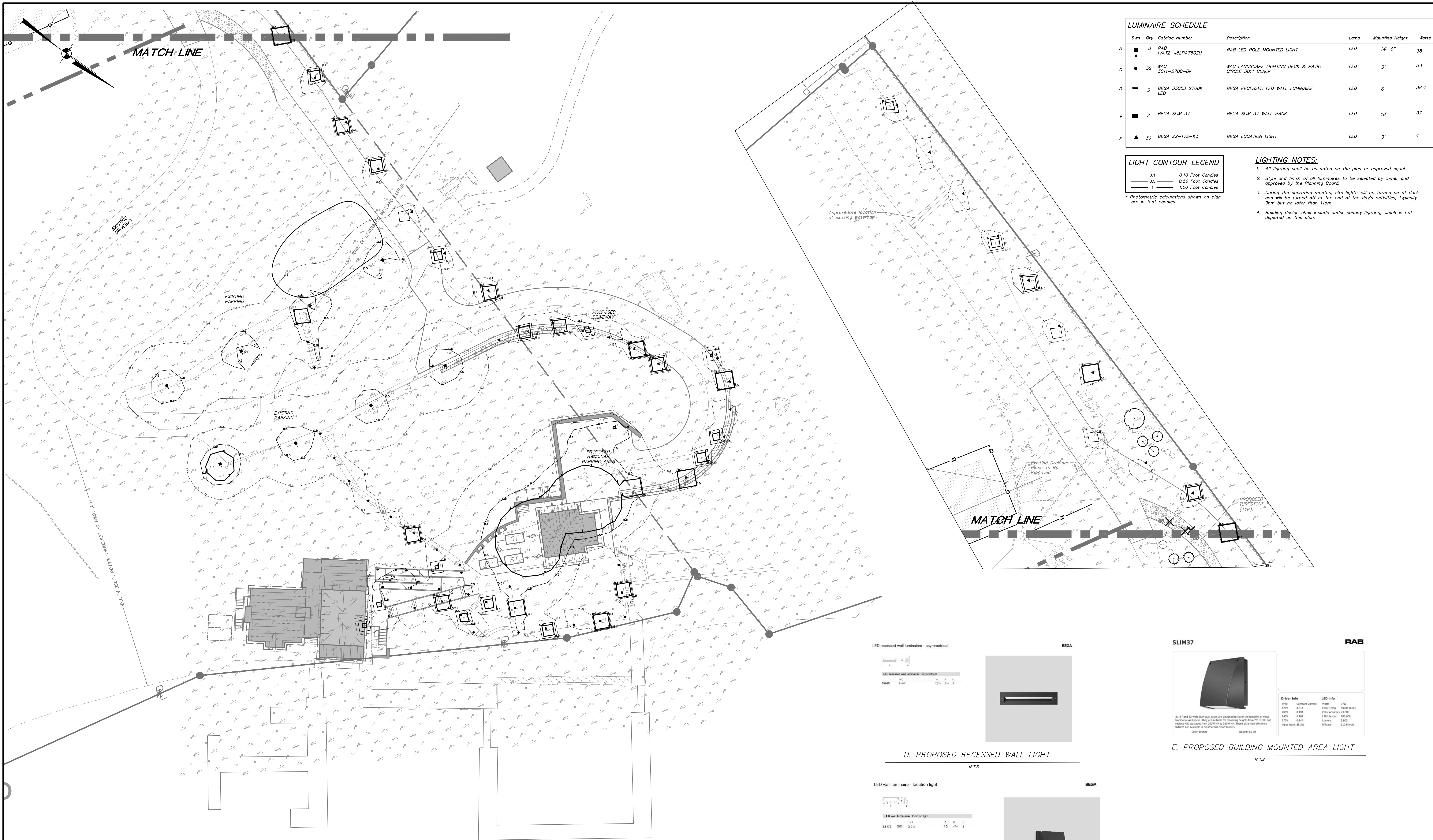
INSITE
ENGINEERING, SURVEYING &
LANDSCAPE ARCHITECTURE, P.C.

PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS
90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY

DRAWING: EROSION & SEDIMENT CONTROL PLAN

PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	SHEET
DATE	2-8-22	DRAWN BY	E.R.A.	SP-3	5
SCALE	1" = 20'	CHECKED BY	D.L.M.		11



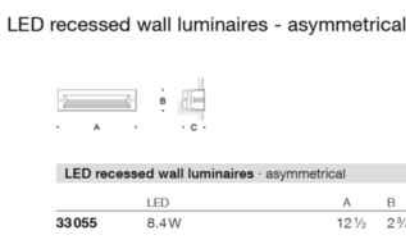


LUMINAIRE SCHEDULE					
Sym	Qty	Catalog Number	Description	Lamp	Mounting Height Watts
A	8	RAB IVAT2-45LPA7502U	RAB LED POLE MOUNTED LIGHT	LED	14'-0" 38
C	32	WAC 3011-2700-BK	WAC LANDSCAPE LIGHTING DECK & PATIO CIRCLE 3011 BLACK	LED	3' 5.1
D	3	BEGA 33053 2700K LED	BEGA RECESSED LED WALL LUMINAIRE	LED	6' 38.4
E	2	BEGA SLIM 37	BEGA SLIM 37 WALL PACK	LED	18' 37
F	30	BEGA 22-172-K3	BEGA LOCATION LIGHT	LED	3' 4

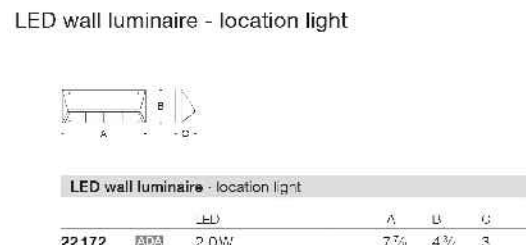
LIGHT CONTOUR LEGEND	
	0.10 Foot Candles
	0.50 Foot Candles
	1.00 Foot Candles

* Photometric calculations shown on plan are in foot candles.

- LIGHTING NOTES:**
- All lighting shall be as noted on the plan or approved equal.
 - Style and finish of all luminaires to be selected by owner and approved by the Planning Board.
 - During the operating months, site lights will be turned on at dusk and will be turned off at the end of the day's activities, typically 9pm but no later than 11pm.
 - Building design shall include under canopy lighting, which is not depicted on this plan.



D. PROPOSED RECESSED WALL LIGHT
N.T.S.



F. PROPOSED GUIDE RAIL AND POST-MOUNTED LIGHTS
N.T.S.



E. PROPOSED BUILDING MOUNTED AREA LIGHT
N.T.S.

RAB

Driver Info		LED Info	
Type	Constant Current	Watts	37W
Input	120V	Color Temp	3000K (Cw)
Output	0.15A	Color Accuracy	95 CRI
240V	0.075A	L70 Life Span	100,000
277V	0.064A	Lumens	3,800
Input Watts	35.2W	Efficiency	102.6 lm/W



A. PROPOSED POLE-MOUNTED AREA LIGHT
N.T.S.

RAB

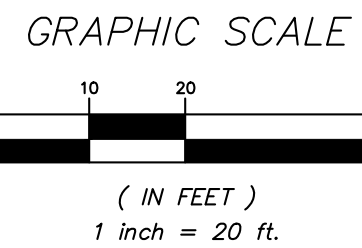
DECK & PATIO - CIRCLE
3011



C. PROPOSED DECK POST LIGHT
N.T.S.

WAC
LANDSCAPE LIGHTING

PRODUCT DESCRIPTION
Deck and patio light with uplight/downlight beam distribution



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TOWN ENGINEER'S CERTIFICATION

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Kellard Sessions Consulting
Town Consulting Engineer

Date

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92 Mead Street
Waccabuc, NY 10597

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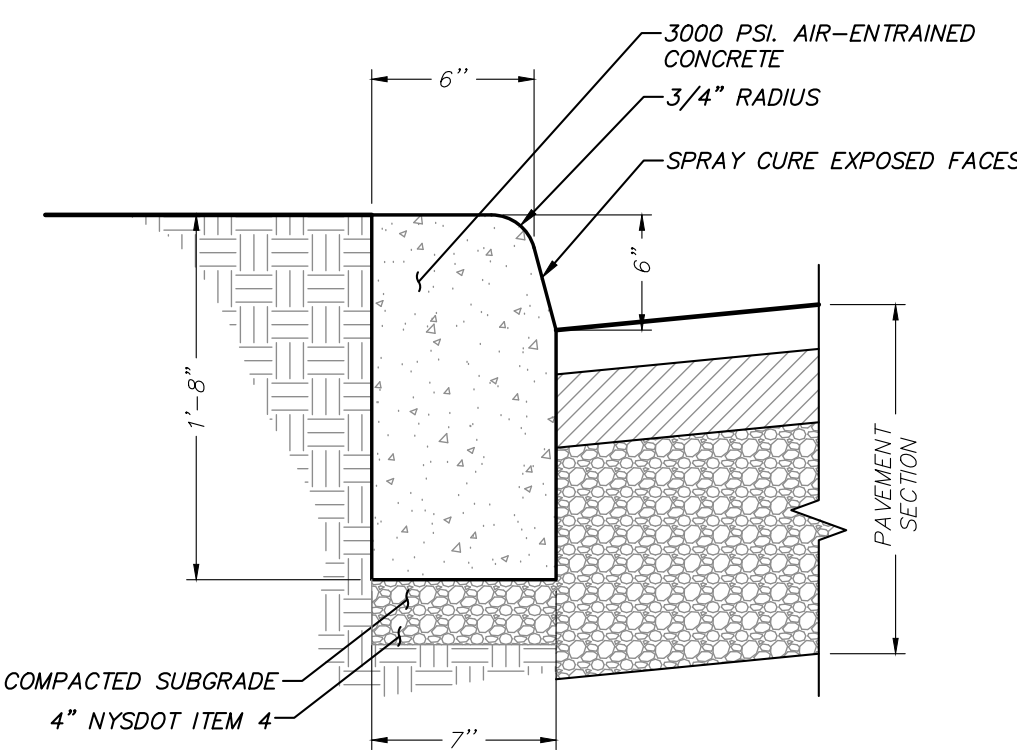
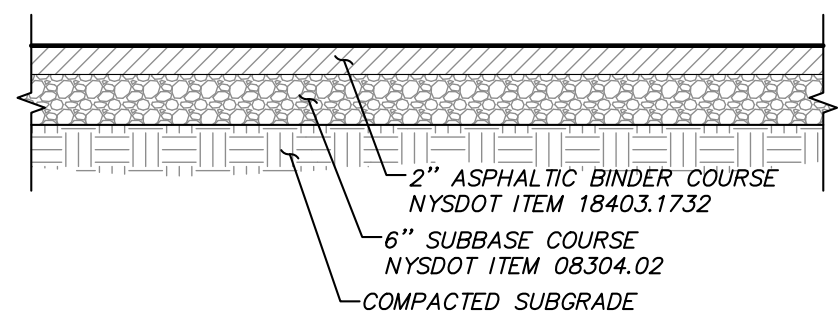
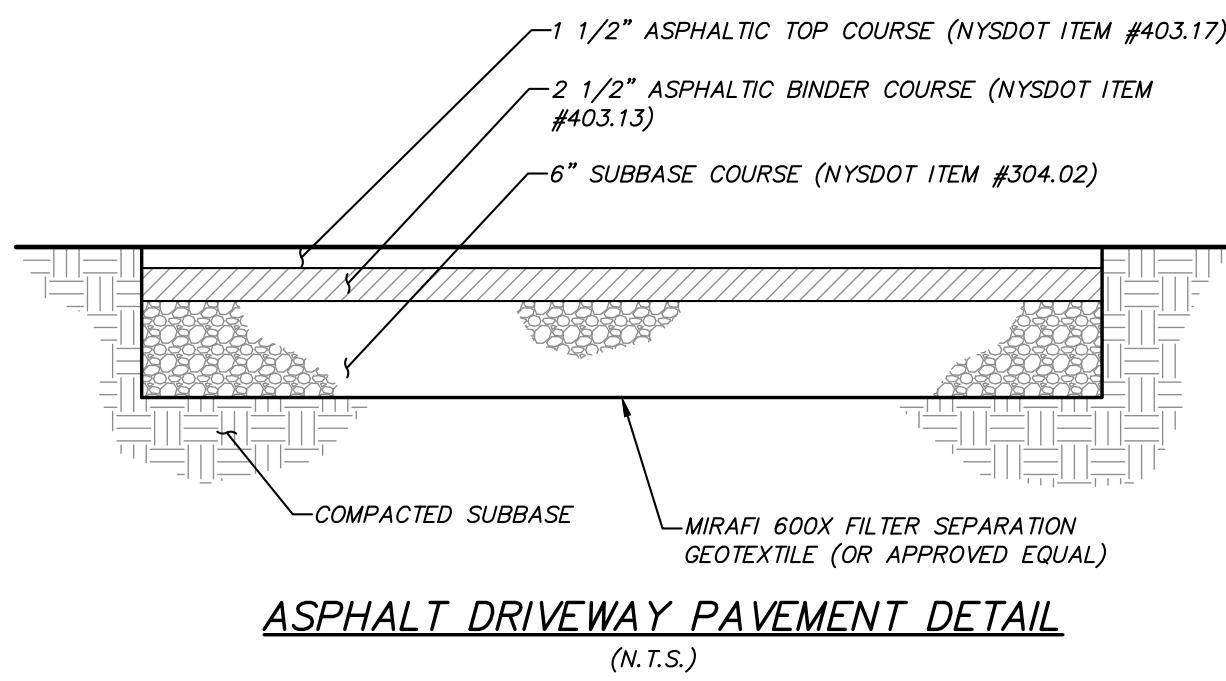
INSITE
ENGINEERING, SURVEYING &
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PROJECT:
**WACCABUC COUNTRY CLUB
BEACH CLUB IMPROVEMENTS**
90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY

DRAWING:
LIGHTING PLAN

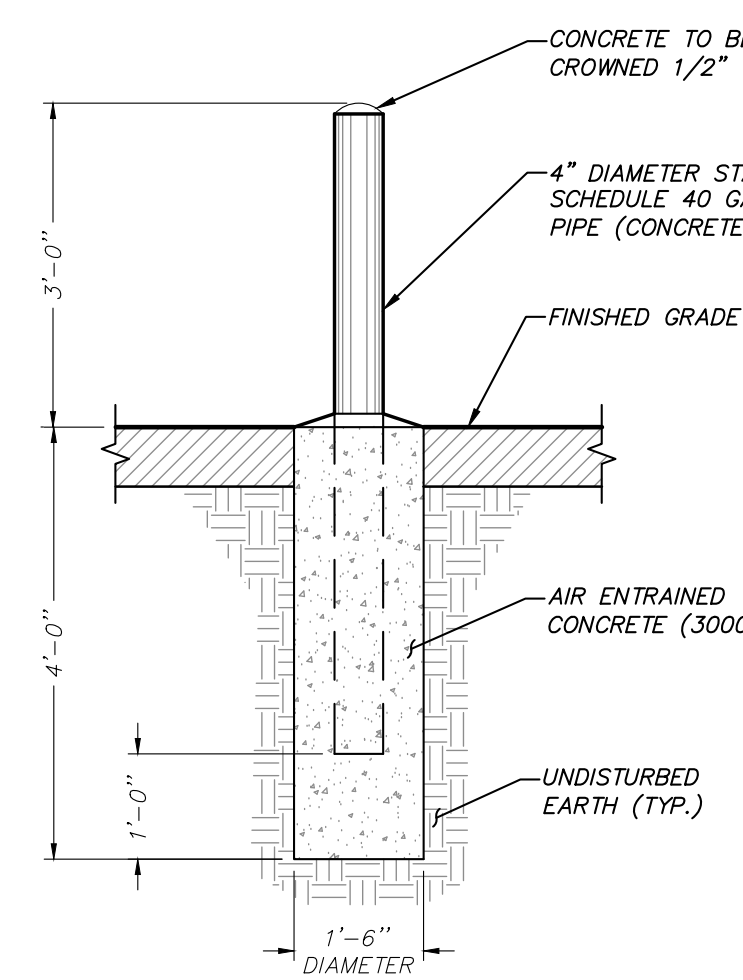
PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	LP-1
DATE	5-31-22	DRAWN BY	S.M.R.	SHEET	6
SCALE	1" = 20'	CHECKED BY	D.L.M.		11





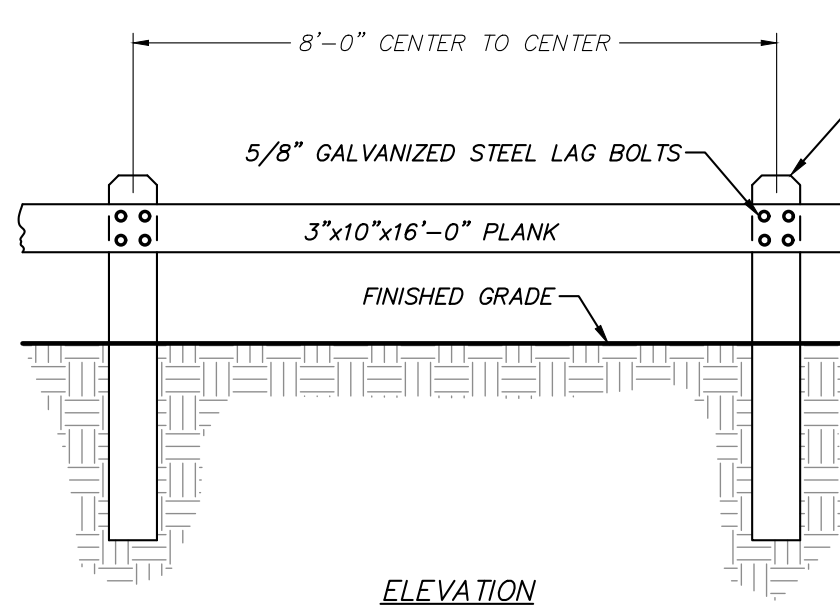
NOTE: ISOLATION JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH CELLULAR COMPRESSION MATERIALS RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.

CONCRETE CURB DETAIL (N.T.S.)



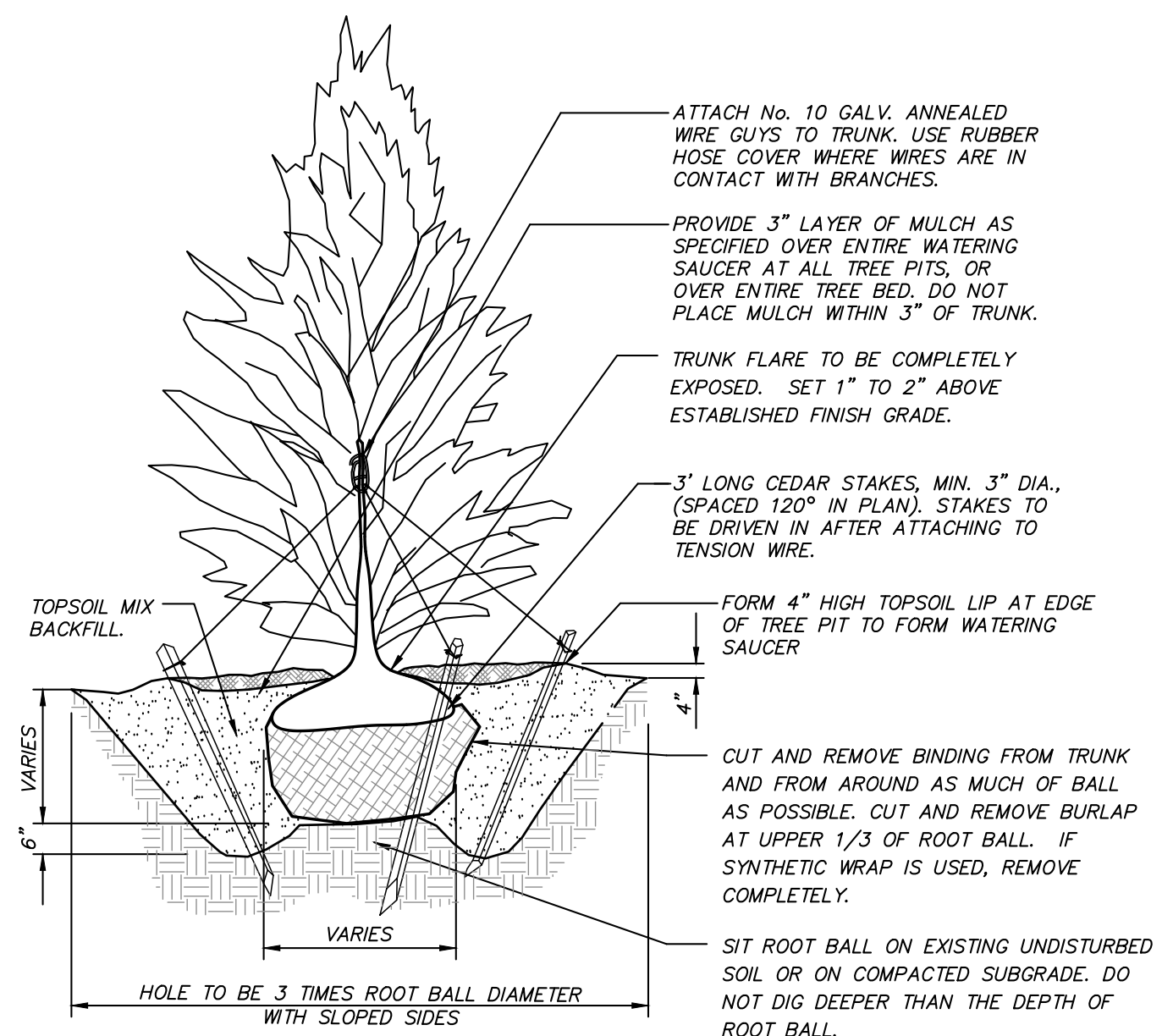
NOTE: WHEN PROTECTION POSTS ARE TO BE USED FOR PROTECTION OF HANDICAP PARKING SIGNS OR OTHER TRAFFIC SIGNS, SIGN SUPPORTING POST SHALL BE EMBEDDED A MINIMUM OF THREE (3) FEET INTO THE CONCRETE.

STEEL BOLLARD DETAIL (N.T.S.)



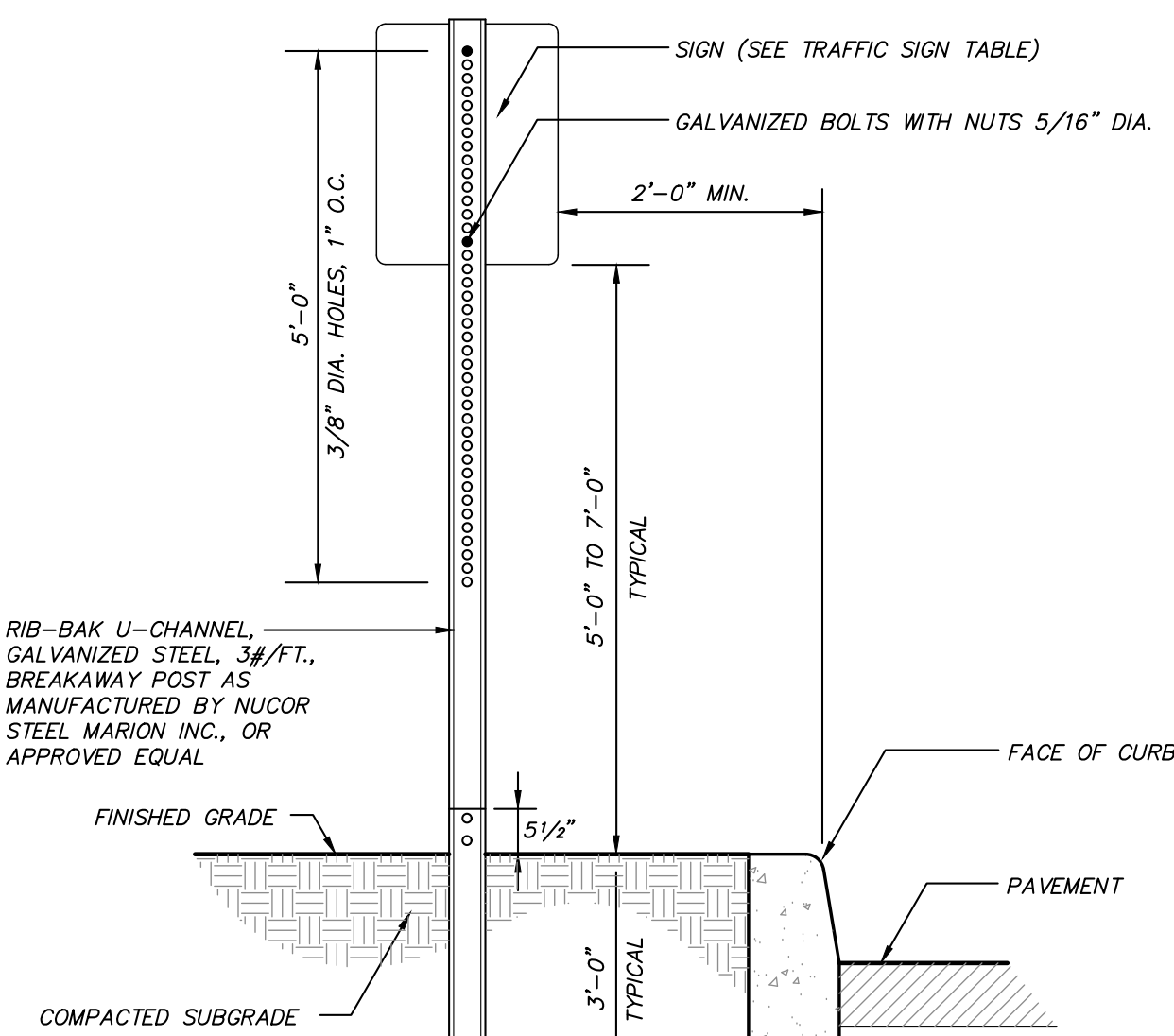
NOTE: 1. ALL WOOD TO BE SEASONED NO.1 DOUGLAS FIR, SOUTHERN YELLOW PINE OR OTHER APPROVED STRUCTURAL LUMBER. 2. ALL WOOD TO BE TREATED WITH AN APPROVED WOOD PRESERVATIVE SUITABLE FOR INSTALLATION IN AND ADJACENT TO GROUND SURFACES.

WOOD GUIDERAIL DETAIL (N.T.S.)



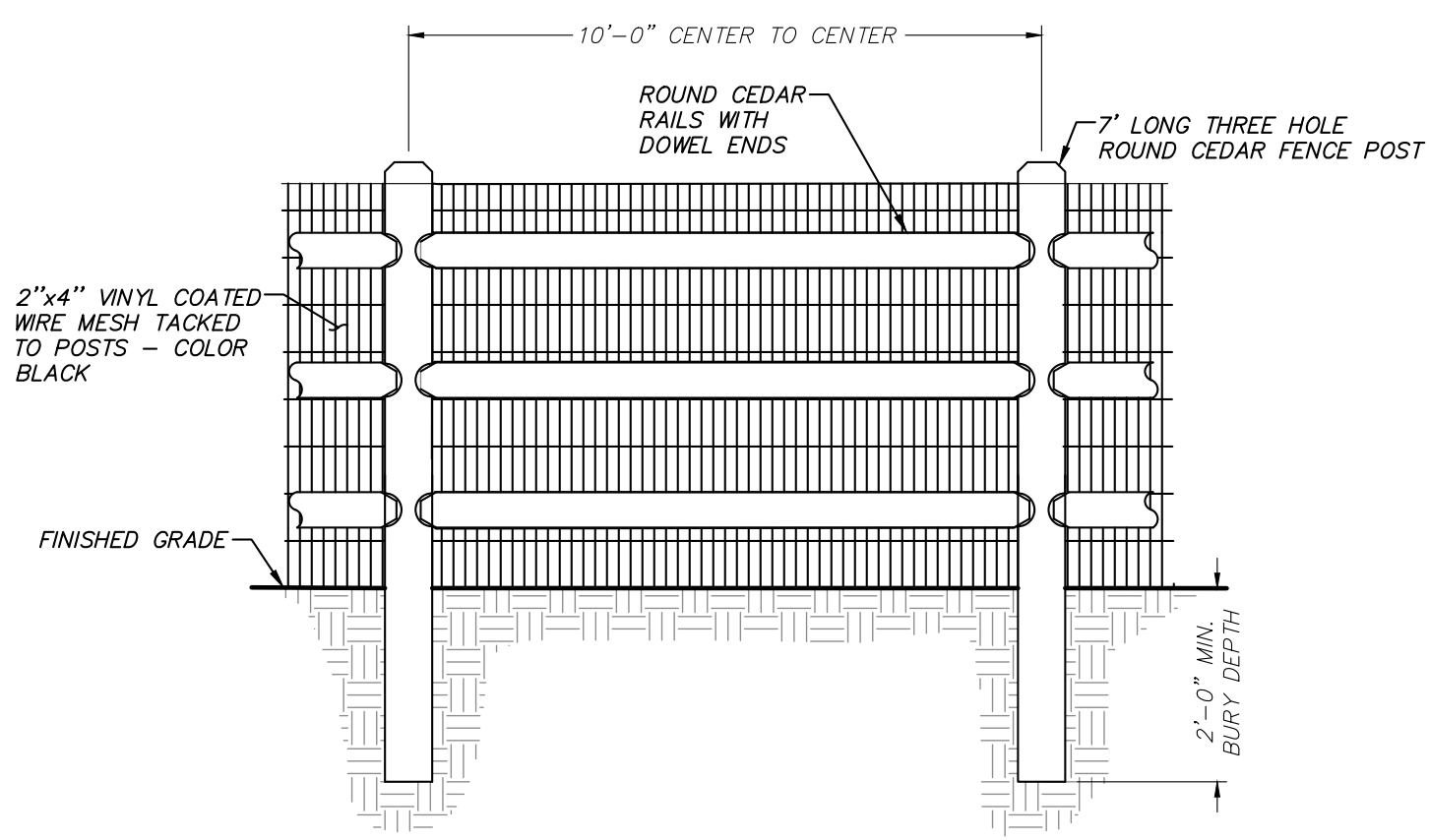
NOTE: PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V, IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE MONTHS OF PLANTING.

EVERGREEN TREE PLANTING DETAIL (N.T.S.)

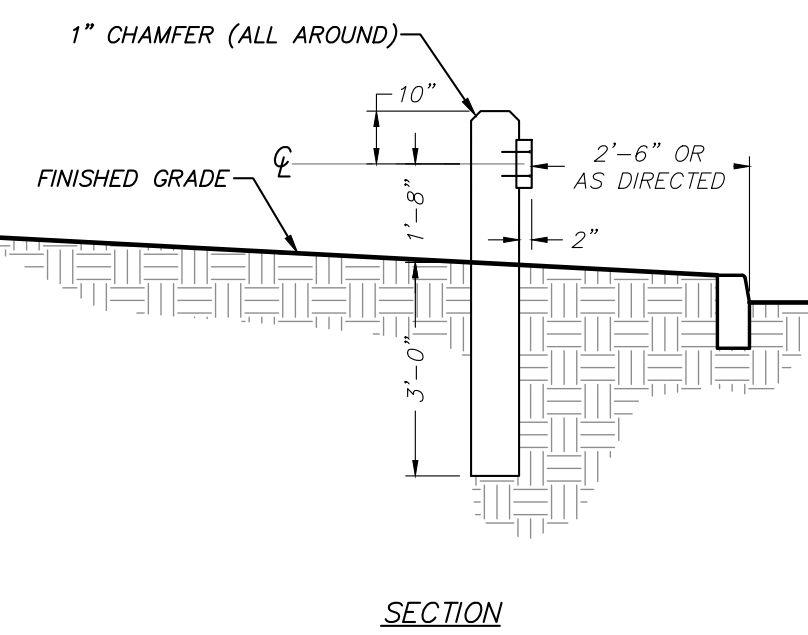


NOTE: FOR HANDICAP PARKING SIGNAGE, SIGNS SHALL BE INSTALLED AT A CLEAR HEIGHT OF BETWEEN 5'-0" AND 7'-0" ABOVE GRADE OF PARKING SPACE AND SUCH THAT SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.

TRAFFIC SIGN DETAIL (N.T.S.)

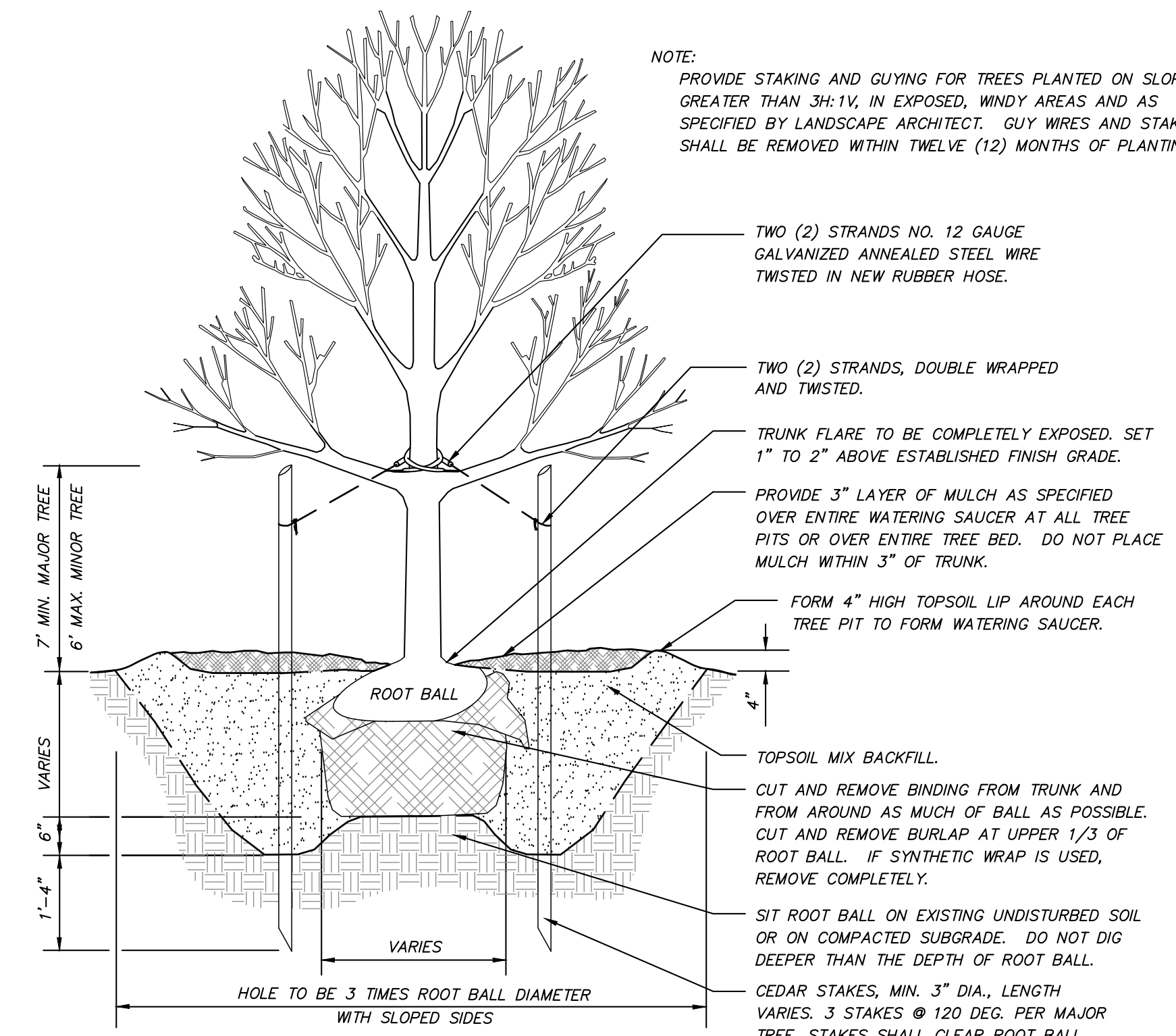


POST AND RAIL FENCE DETAIL (N.T.S.)

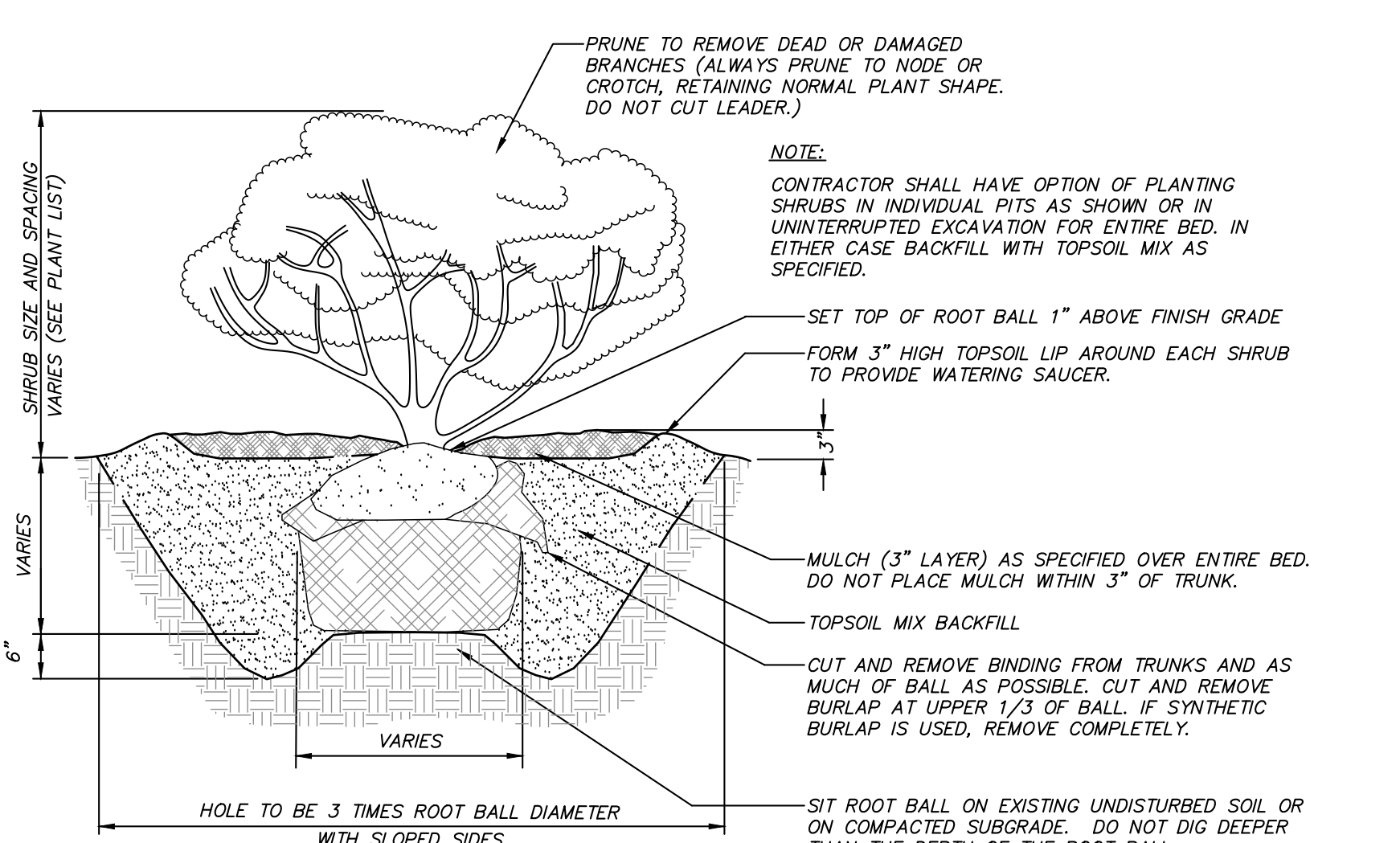


NOTE: ALL HANDICAP STRIPING SHALL BE 4" WIDE BLUE PAINT.

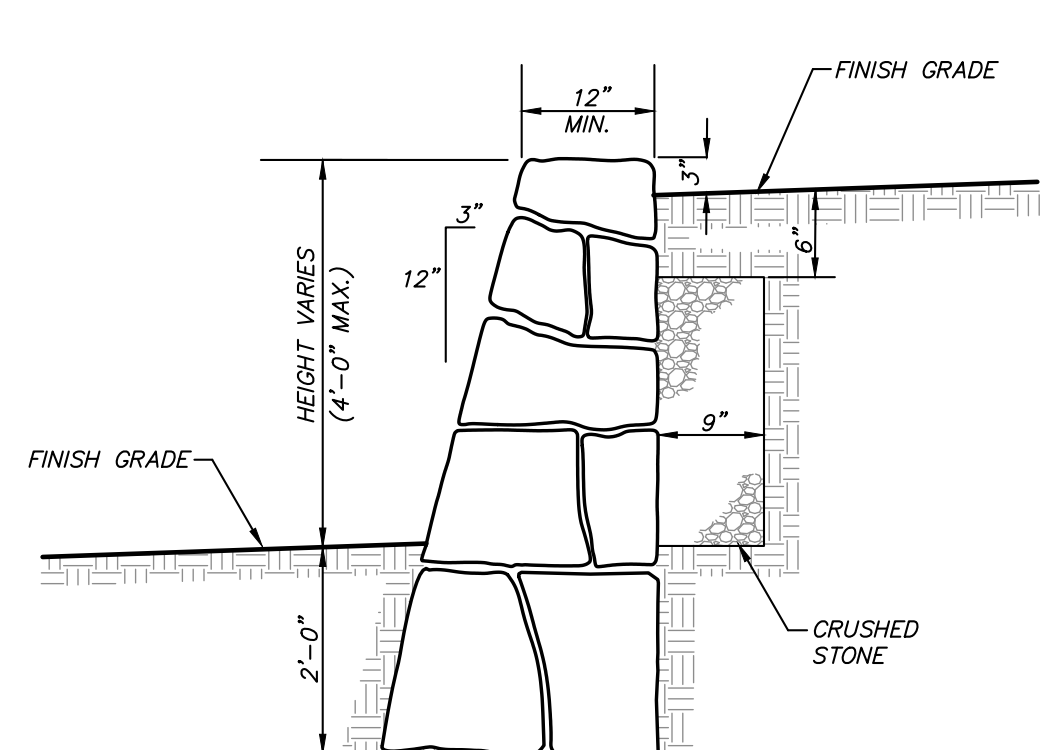
PAINTED NYS ACCESSIBLE PARKING DETAIL (N.T.S.)



TREE PLANTING DETAIL (N.T.S.)



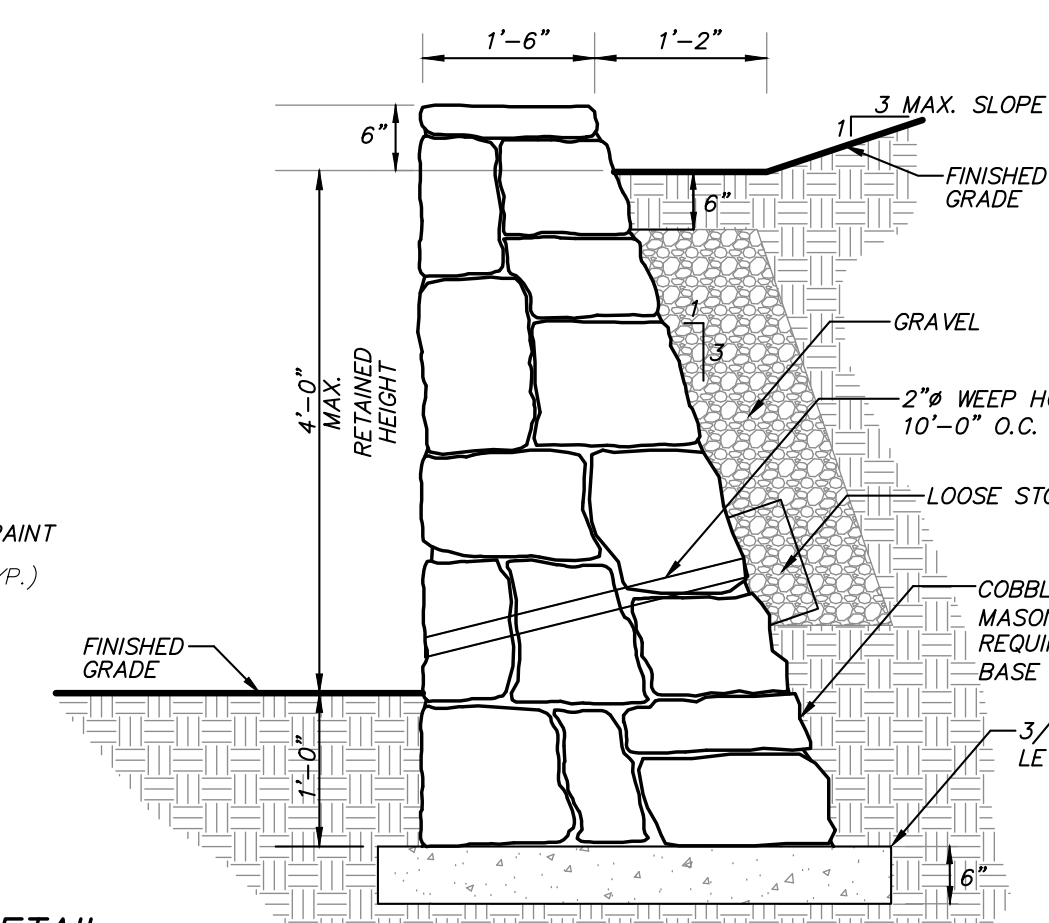
SHRUB PLANTING DETAIL (N.T.S.)



WOODCHIP PATH DETAIL (N.T.S.)

STONE RETAINING WALL (N.T.S.)

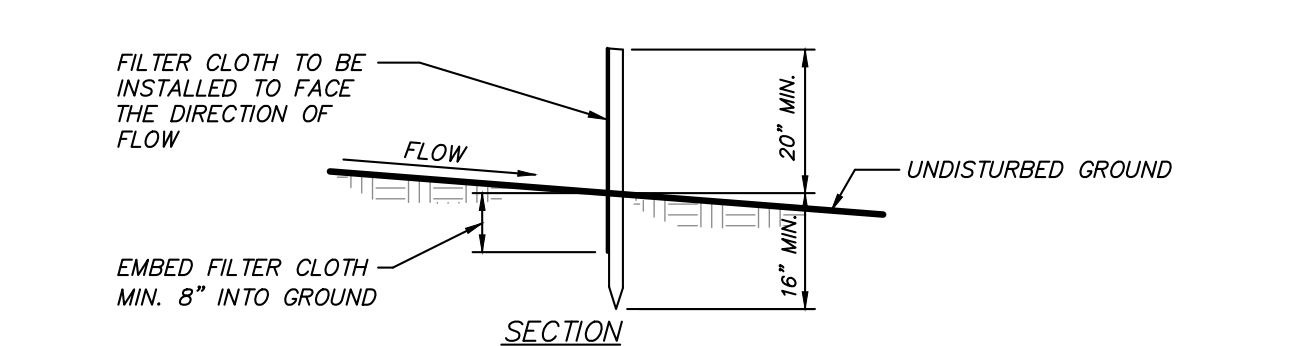
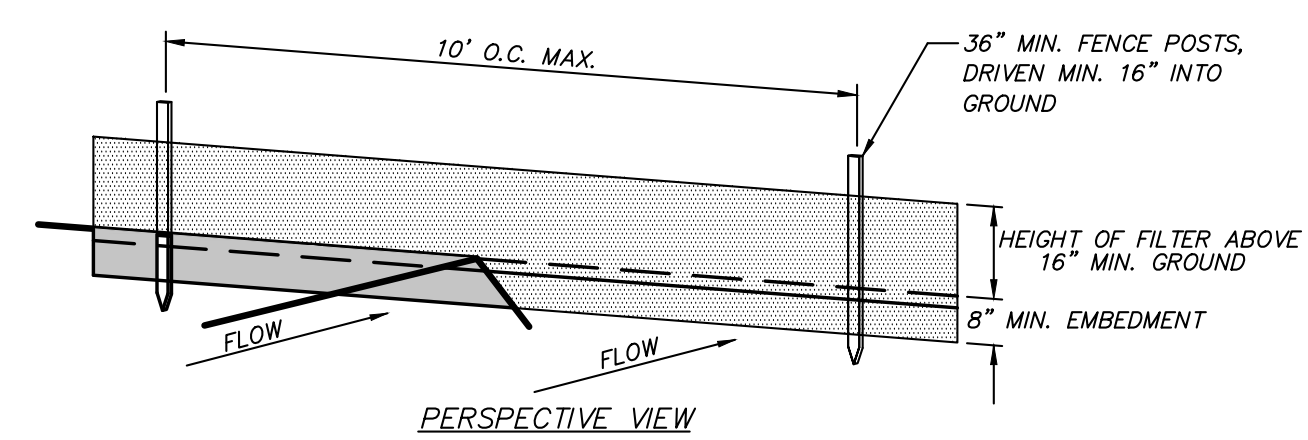
NOTE: EACH STONE IS TO BE SET FIRM & FLUSH ON PREVIOUS STONE TO PREVENT ANY "PLAY" OR MOVEMENT.



NOTE: SHOULD WALL HEIGHT EXCEED 4 FT. MAXIMUM RETAINED HEIGHT, WALL DESIGN SHALL BE PREPARED BY A NYS LICENSED PROFESSIONAL ENGINEER AND SUBMITTED TO THE TOWN.

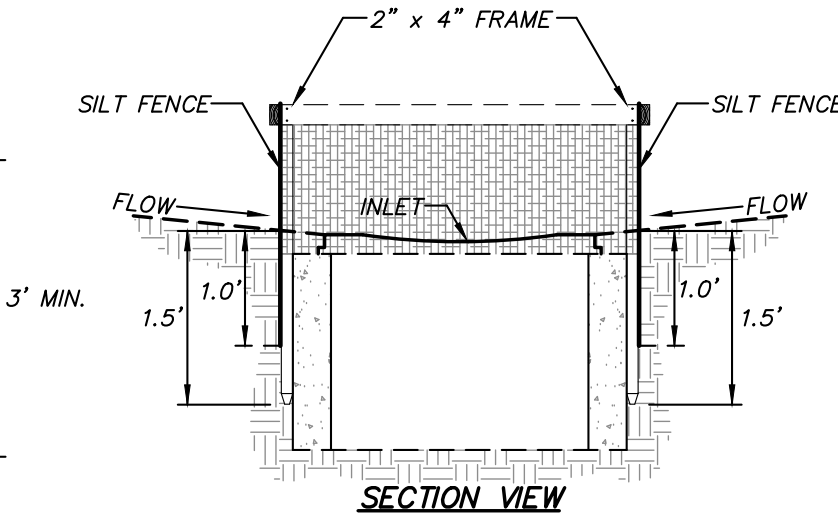
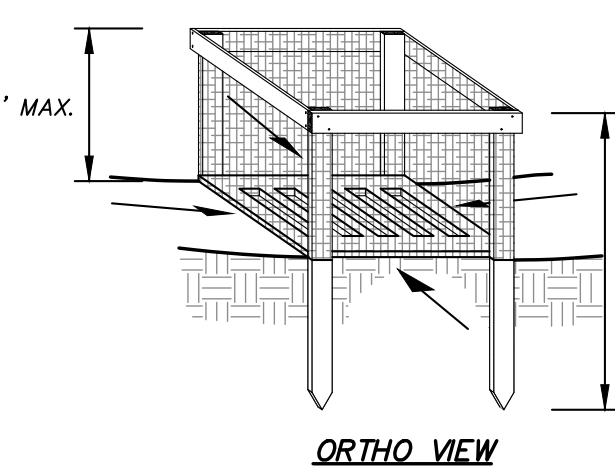
BOULDER WALL DETAIL (N.T.S.)

NOTE: PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V, IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE (12) MONTHS OF PLANTING.



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE: 1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION. 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL (N.T.S.)

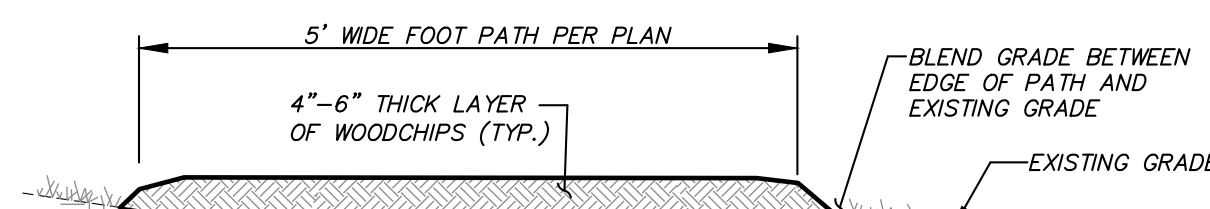


INSTALLATION NOTES

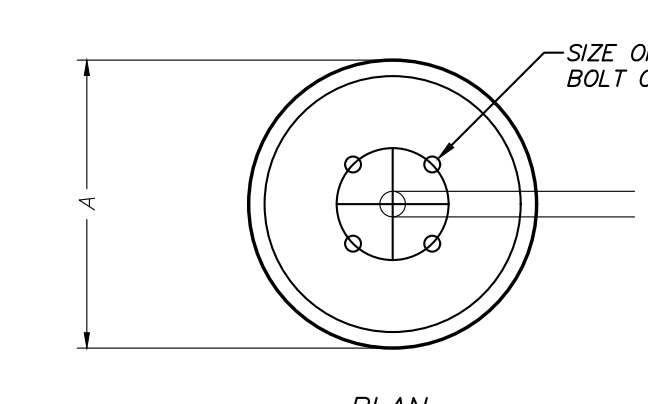
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAYBE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPACES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA 1 ACRE

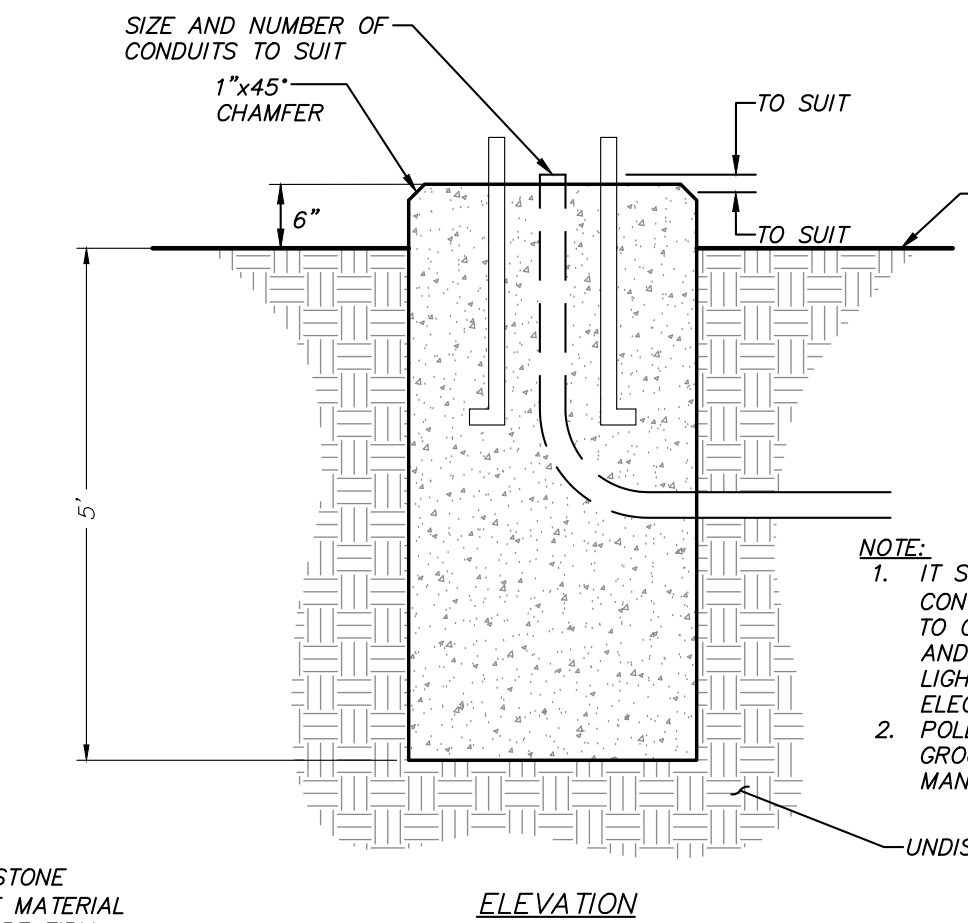
FILTER FABRIC INLET PROTECTION DETAIL (N.T.S.)



WOODCHIP PATH DETAIL (N.T.S.)



STONE RETAINING WALL (N.T.S.)



LIGHT POLE BASE DETAIL (N.T.S.)

PLANNING BOARD APPROVAL

Approved by the Resolution of the Lewisboro Planning Board.

Chair	Date
Administrator	Date

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated _____

Joseph Cernale, P.E.
Kellard Sessions Consulting
Town Consulting Engineer

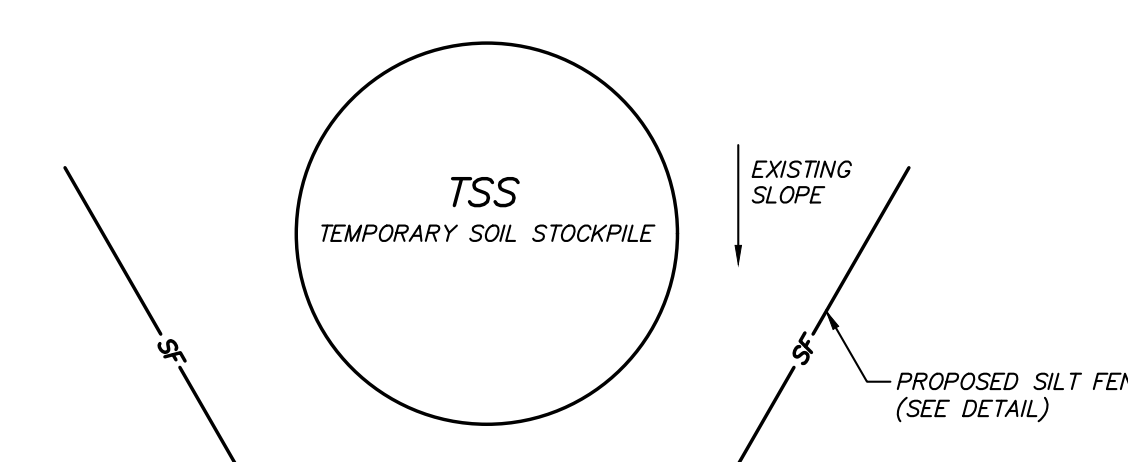
DATE _____

OWNER'S / APPLICANT'S CERTIFICATIONS

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.

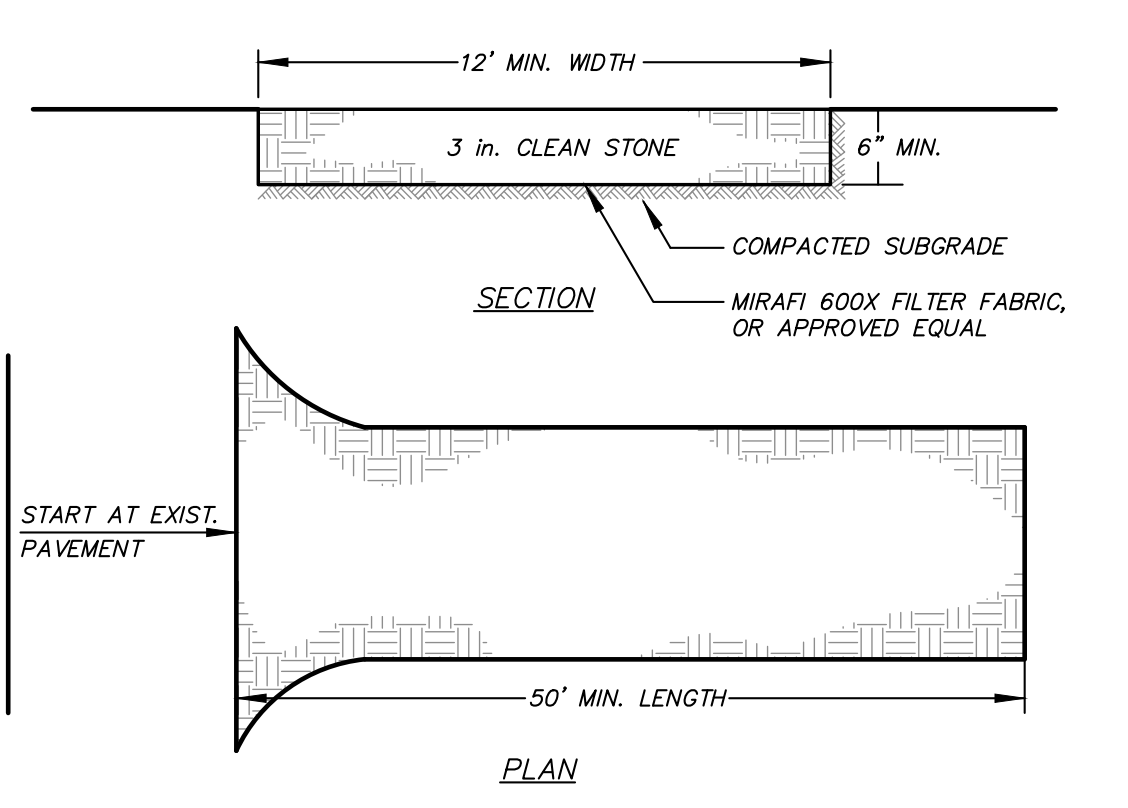
Waccabuc Country Club
90 Mead Street
Waccabuc, NY 10597

DATE _____



NOTES: 1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE. 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1. 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDING WITH K31 PERENNIAL TALL FESCUE. 4. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

TEMPORARY SOIL STOCKPILE DETAIL (N.T.S.)

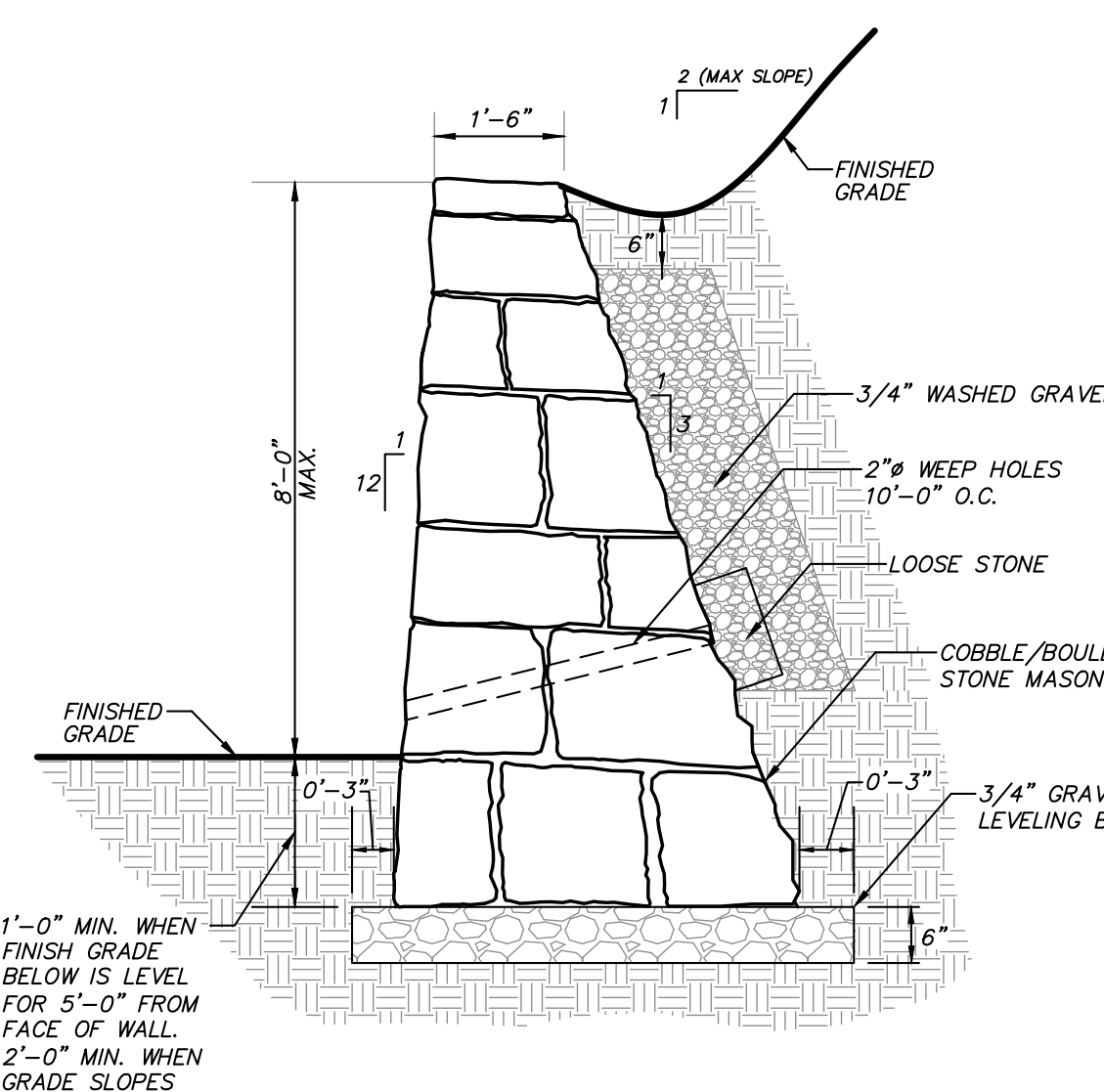


INSTALLATION NOTES

1. STONE SIZE - USE 3" STONE
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
3. THICKNESS - NOT LESS THAN SIX (6) INCHES
4. WIDTH - 12 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTAINABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO TRAVELING ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL (N.T.S.)

NOTE: 1. ALL WALLS EQUAL TO OR GREATER THAN FOUR (4) FEET IN HEIGHT SHALL BE DESIGNED BY A NYS LICENSED PROFESSIONAL ENGINEER. 2. ALL WALLS EQUAL TO OR GREATER THAN FOUR (4) FEET IN HEIGHT SHALL BE CERTIFIED BY THE DESIGN PROFESSIONAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLETION. 3. CONTRACTOR SHALL RETAIN QUALIFIED MATERIAL TESTING COMPANY TO VERIFY CONFORMANCE OF SOIL CONDITIONS, MATERIAL SPECIFICATIONS, SOIL COMPACTION, AND OTHER REQUIREMENTS OF THE WALL DESIGN. 4. STRIP VEGETATION AND ORGANIC SOIL FROM WALL AREA. 2a. DESIGN PARAMETERS: FRICTION ANGLE COHESION UNIT WEIGHT 15° 110 pcf FOUNDATION SOIL - BEARING STRESS - 3,000 PSI GROUND WATER - BELOW BASE OF FOOTING 2b. TESTING FREQUENCY: FOUNDATION BEARING - 3 LOCATIONS ALONG WALL RETAINED SOIL - 3 RANDOM SAMPLES PER MATERIAL SOURCE 5. BENCH CUT ALL EXCAVATED SLOPES. 6. DO NOT OVER EXCAVATE UNLESS DIRECTED BY DESIGN ENGINEER TO REMOVE UNSUITABLE SOIL. 7. DESIGN ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN STANDARDS AND PARAMETERS, BY USING THE TEST RESULTS SUPPLIED BY CONTRACTOR'S TESTING COMPANY. 8. LEVELING PAD SHALL CONSIST OF 3/4" CRUSHED GRAVEL, 6" THICK MIN. 9. MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE 1'-0" OR AS SHOWN. 10. DRAINAGE AGGREGATE SHALL BE INSTALLED DIRECTLY BEHIND THE WALL WITHIN 6" OF THE TOP OF THE WALL. DRAINAGE AGGREGATE SHALL NOT EXTEND BELOW FINAL GRADE IN FRONT OF WALL. 11. CONTRACTOR SHALL DIRECT SURFACE RUNOFF TO AVOID DAMAGING WALL WHILE UNDER CONSTRUCTION. 12. ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT, OR TURF SHALL BE INSTALLED IMMEDIATELY AFTER WALL IS COMPLETED.



STONE RETAINING WALL AT HANDICAP PARKING AREA DETAIL (N.T.S.)

7	4-25-23	REVISED FOR PLANNING BOARD SUBMISSION	DSW
6	2-7-23	REVISED FOR NYCDP COMMENTS	JMM
5	12-9-22	REVISED PER NYCDP COMMENTS	EJP
4	7-26-22	REVISED PER TOWN COMMENTS	SMR
3	6-28-22	REVISED PER TOWN COMMENTS	SMR
2	5-31-22	REVISED PER TOWN COMMENTS	SMR
1	3-29-22	REVISED PER TOWN COMMENTS	SMR
NO.	DATE	REVISION	BY

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

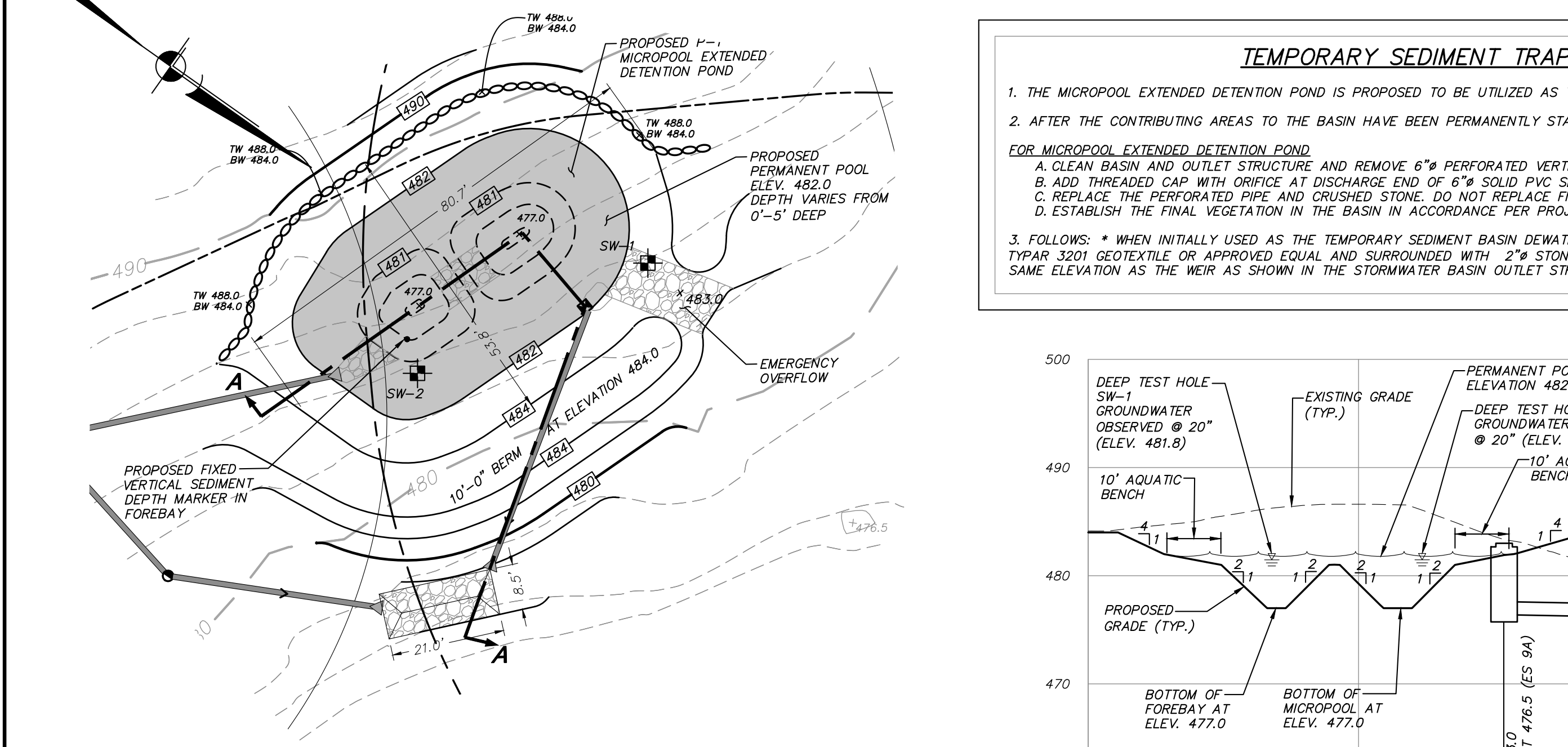
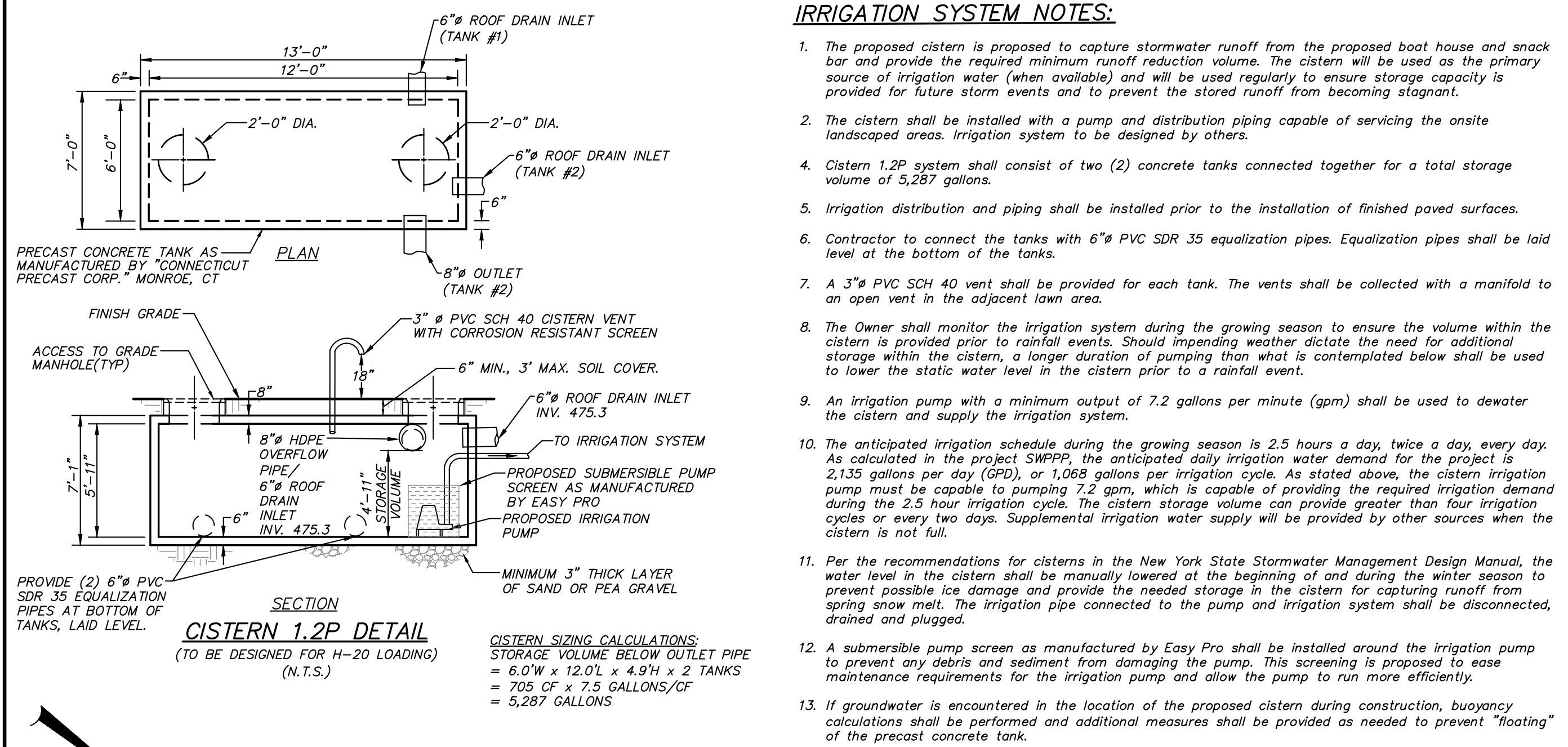
PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS

90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY

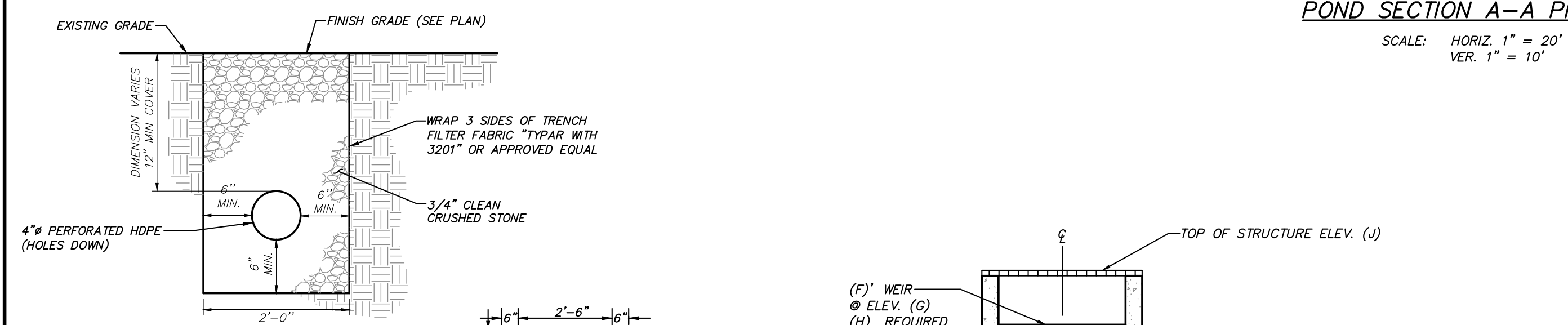
DRAWING: SITE DETAILS

PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.	DRAWING NO.	7
DATE	2-8-22	DRAWN BY	E.R.A.	SHEET	11
SCALE	AS SHOWN	CHECKED BY	D.L.M.		

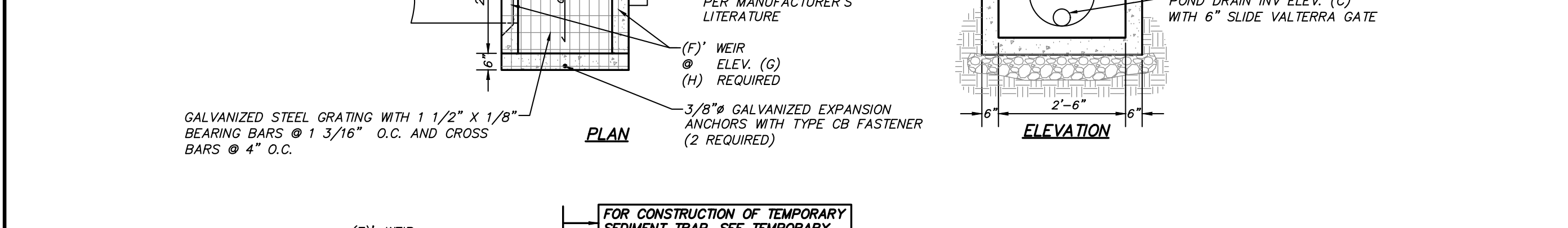
D-1



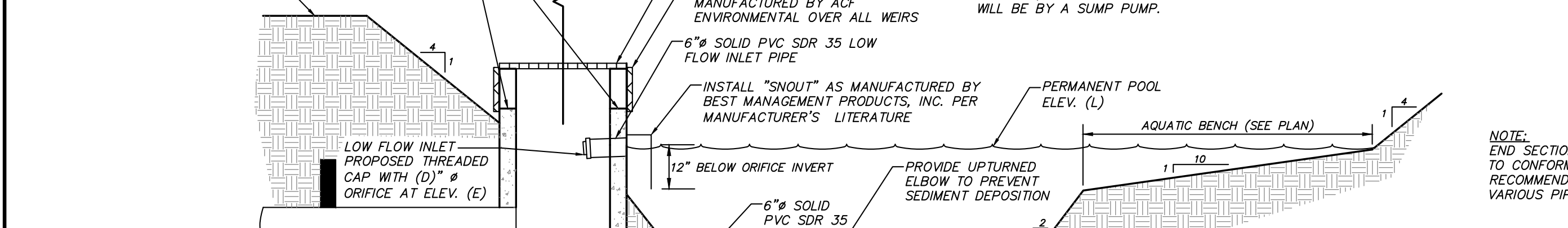
ENLARGED MICROPOOL EXTENDED DETENTION POND PLAN
SCALE: 1" = 20'



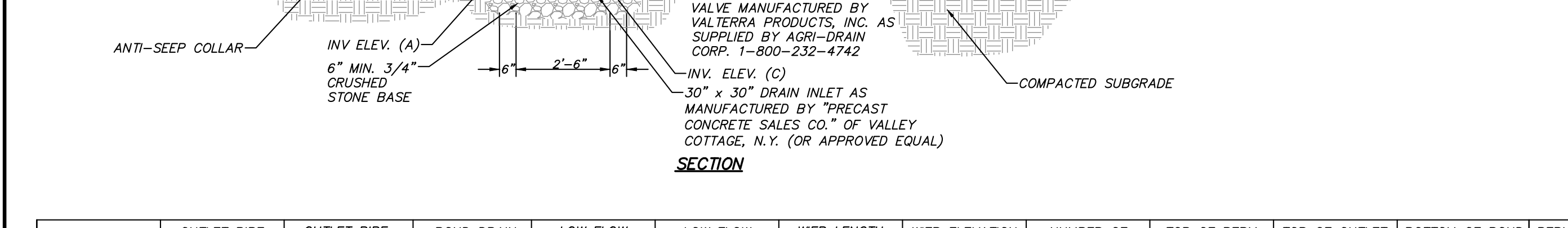
UNDERDRAIN DETAIL
(N.T.S.)



FOR CONSTRUCTION OF TEMPORARY SEDIMENT TRAP, SEE TEMPORARY SEDIMENT TRAP OUTLET DETAIL



SECTION



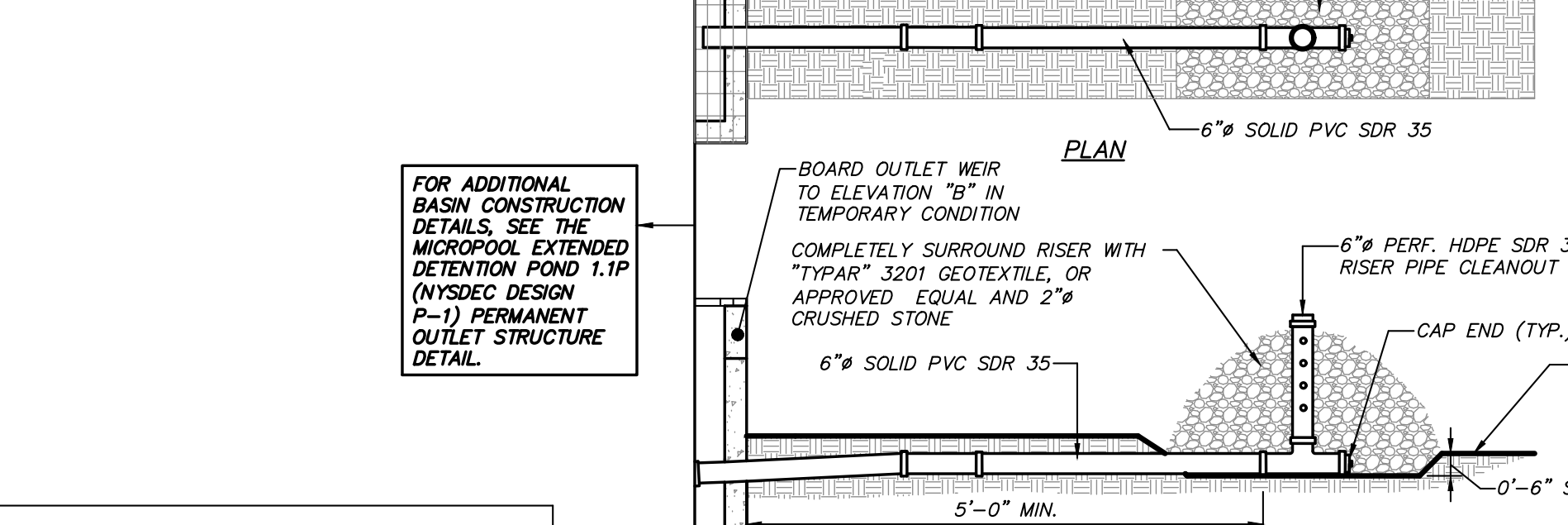
1.1P POND (NYSDEC DESIGN P-1) PERMANENT OUTLET STRUCTURE DETAIL
(N.T.S.)

STORMWATER MANAGEMENT PRACTICE	OUTLET PIPE DIAMETER (A)	OUTLET PIPE DIAMETER (B)	POND DRAIN INVERT ELEV. (C)	LOW FLOW ORIFICE DIAMETER (D)	LOW FLOW INVERT ELEV. (E)	WEIR ELEV. (F)	WEIR ELEVATION (G)	NUMBER OF WEIRS REQUIRED (H)	TOP OF BERM ELEVATION (I)	TOP OF OUTLET STRUCTURE ELEVATION (J)	BOTTOM OF POND ELEVATION (K)	PERMANENT POOL ELEVATION (L)
1.1P	476.5	12	477.0	0.6	482.0	1.5	482.7	4	484.0	483.0	477.0	482.0

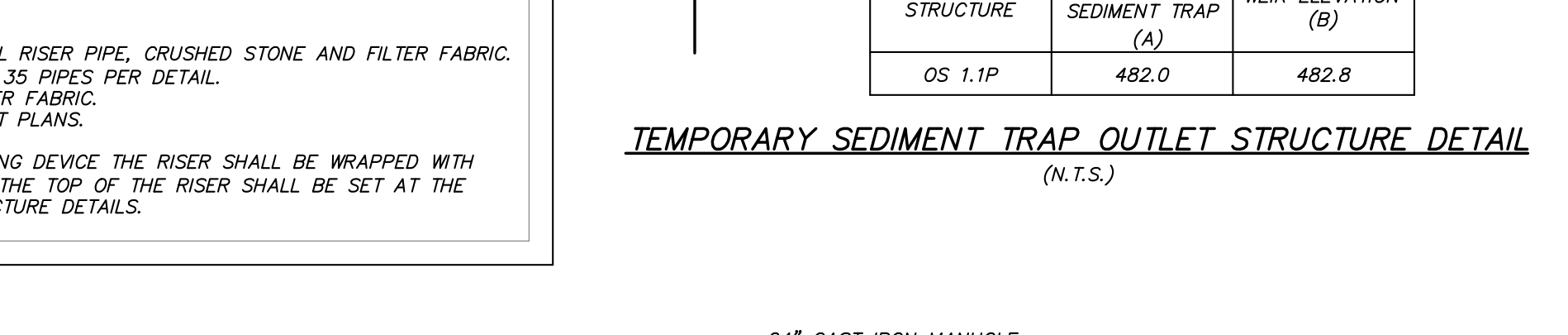
<u>PERMANENT STORMWATER FACILITIES MAINTENANCE SCHEDULE</u>					
PRACTICE/FACILITY	MONTHLY	AFTER MAJOR STORM EVENTS	BI-ANNUALLY	YEARLY	EVERY 5 to 10 YEARS
STORMWATER POND	Inspect first few months after construction for erosion, sediment & slumpage & repair immediately	Inspect offices, inlets & outlets for clogging, eroding soils on the basin berm & embankments, & sources of erosion, & stabilize and/or repair immediately.	Mow berm and exterior embankments Remove debris & litter from basin & outlet structures	Inspect and maintain all safety elements including maintenance access, safety/aquatic bench,	Inspect for & remove accumulated sediment or when 50% full
CISTERN	Inspect tanks and irrigation pump and provide maintenance as required	-	-	Inspect for & remove accumulated sediment	-

Note: The party responsible for implementation of the maintenance schedule during and after construction is:

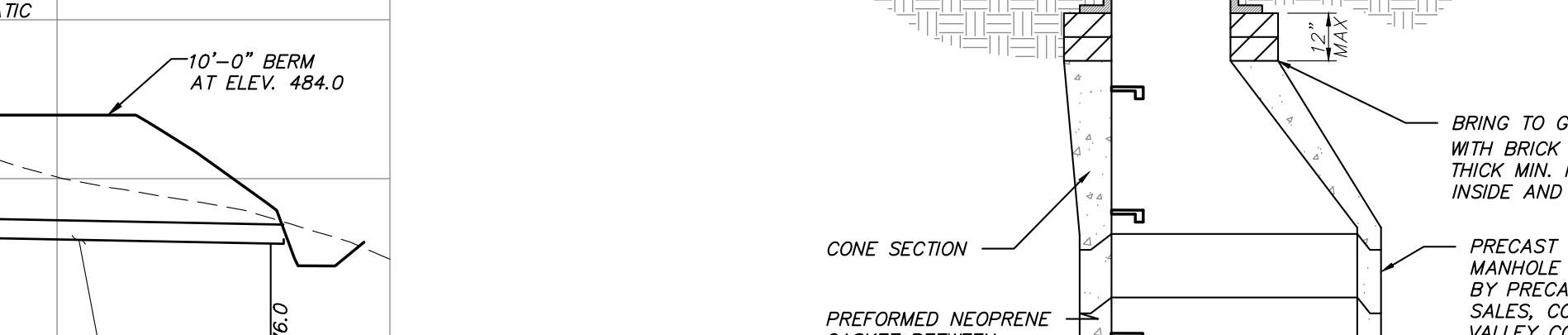
WACCABUC COUNTRY CLUB
90 MEAD STREET
WACCABUC, NY 10597



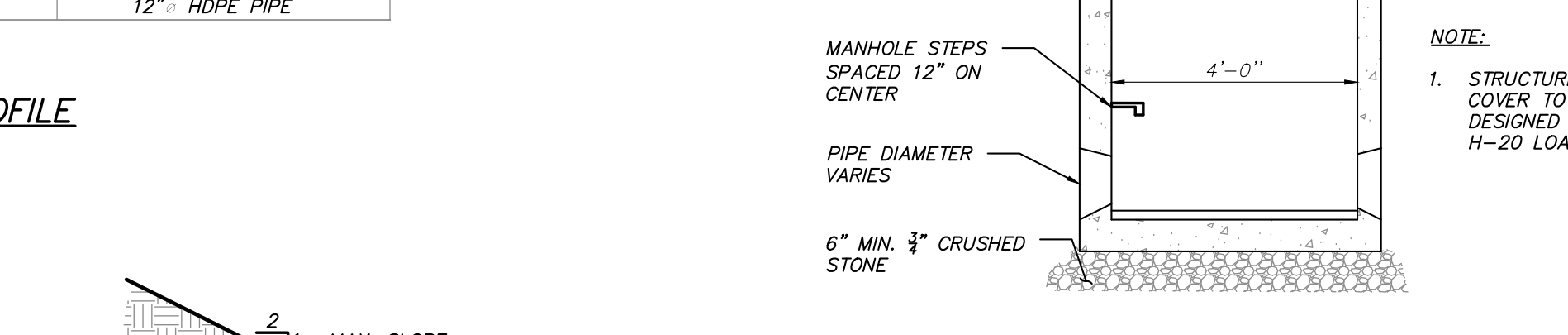
TEMPORARY SEDIMENT TRAP OUTLET STRUCTURE DETAIL
(N.T.S.)



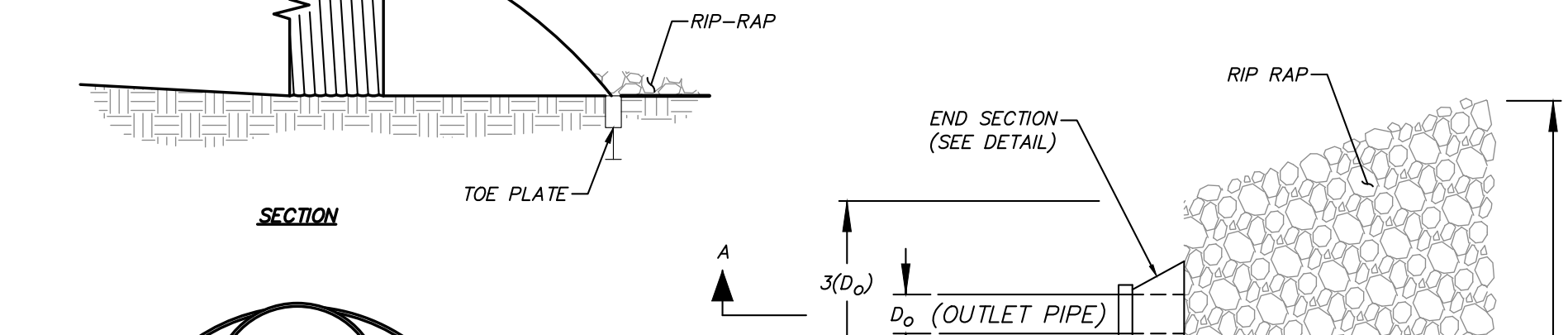
POND SECTION A-A PROFILE
SCALE: HORIZ. 1" = 20'
VER. 1" = 10'



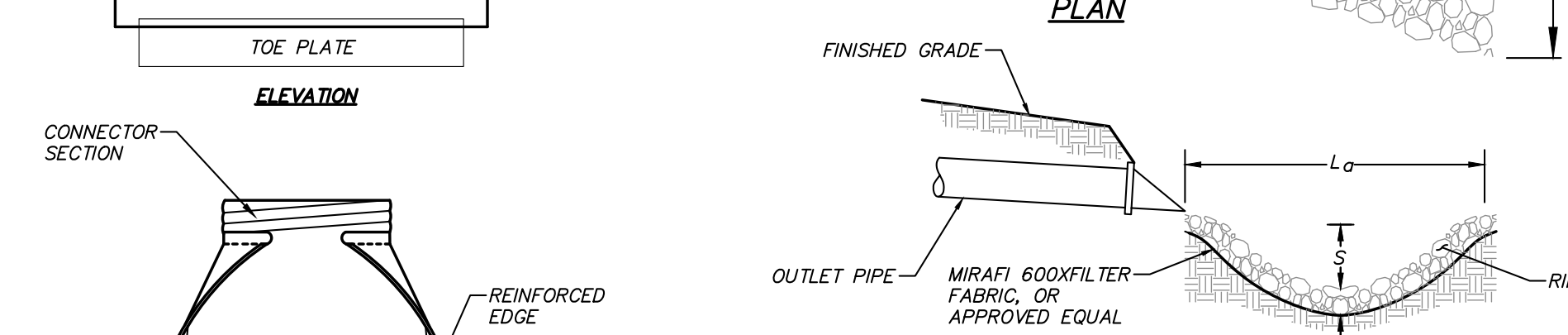
UNDERDRAIN DETAIL
(N.T.S.)



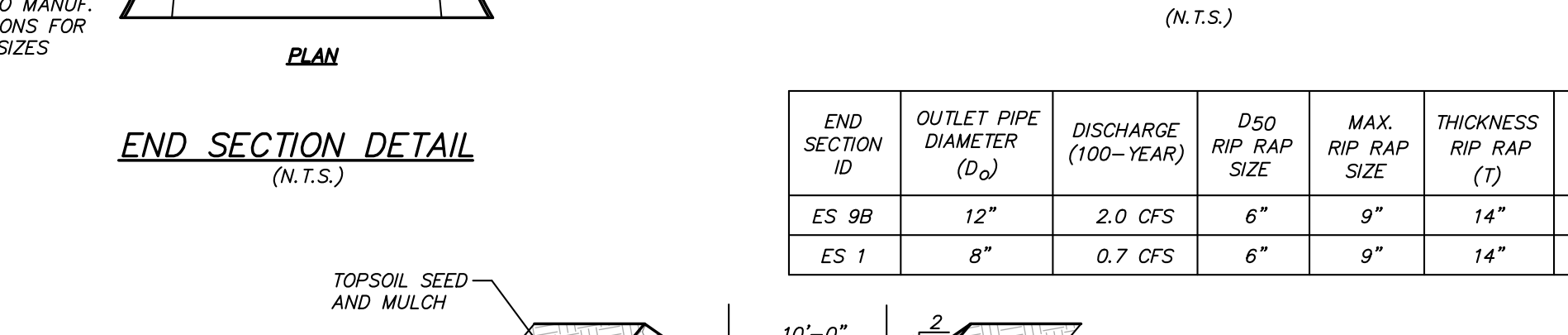
FOR CONSTRUCTION OF TEMPORARY SEDIMENT TRAP, SEE TEMPORARY SEDIMENT TRAP OUTLET DETAIL



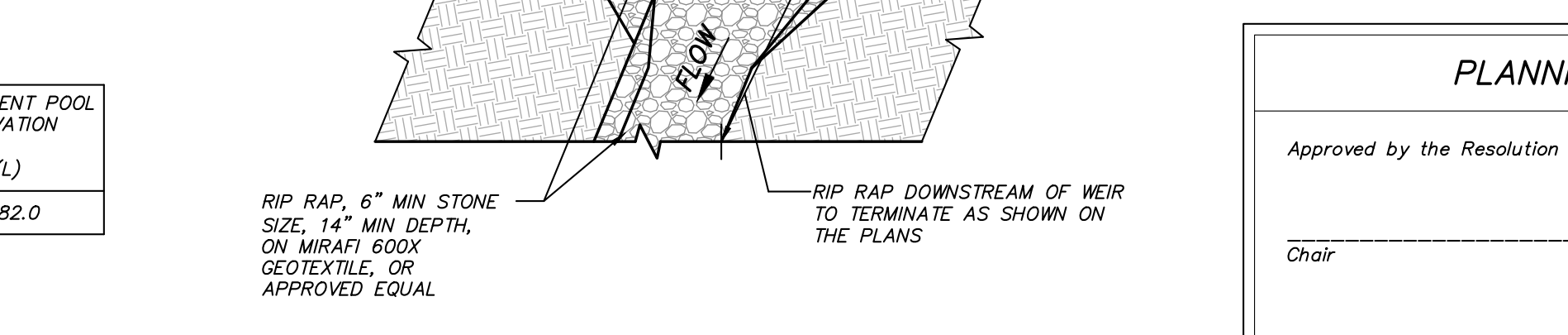
SECTION



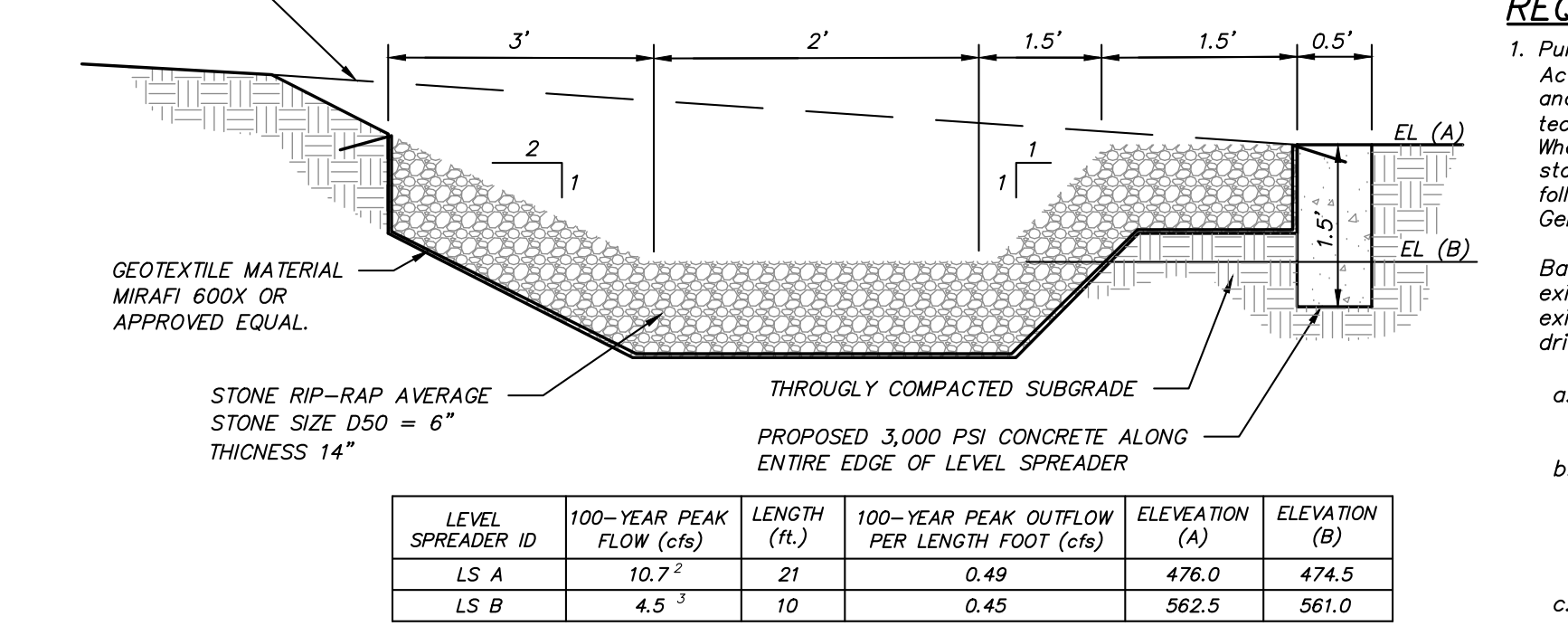
END SECTION DETAIL
(N.T.S.)



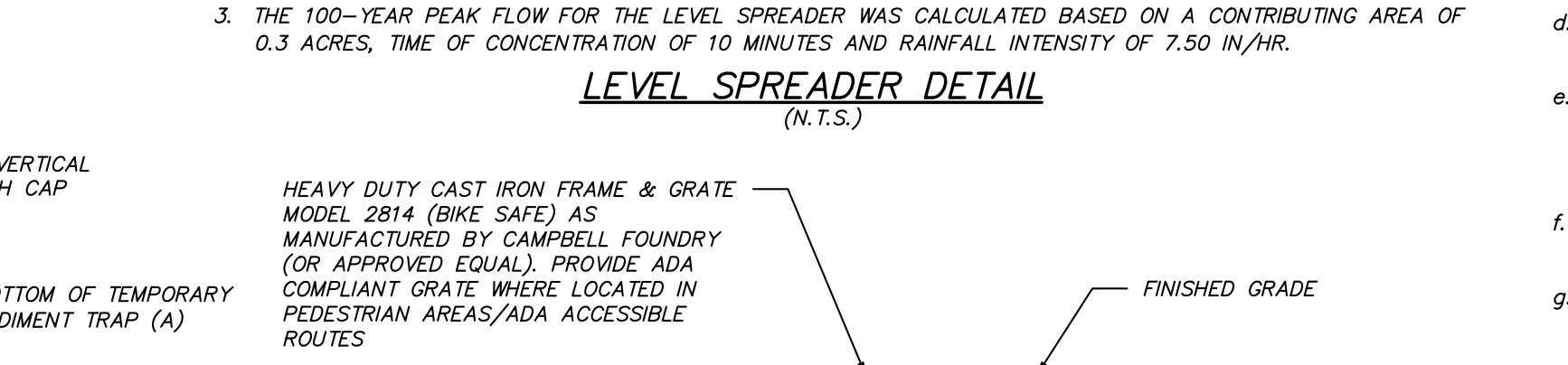
ROCK OUTLET PROTECTION DETAIL
(N.T.S.)



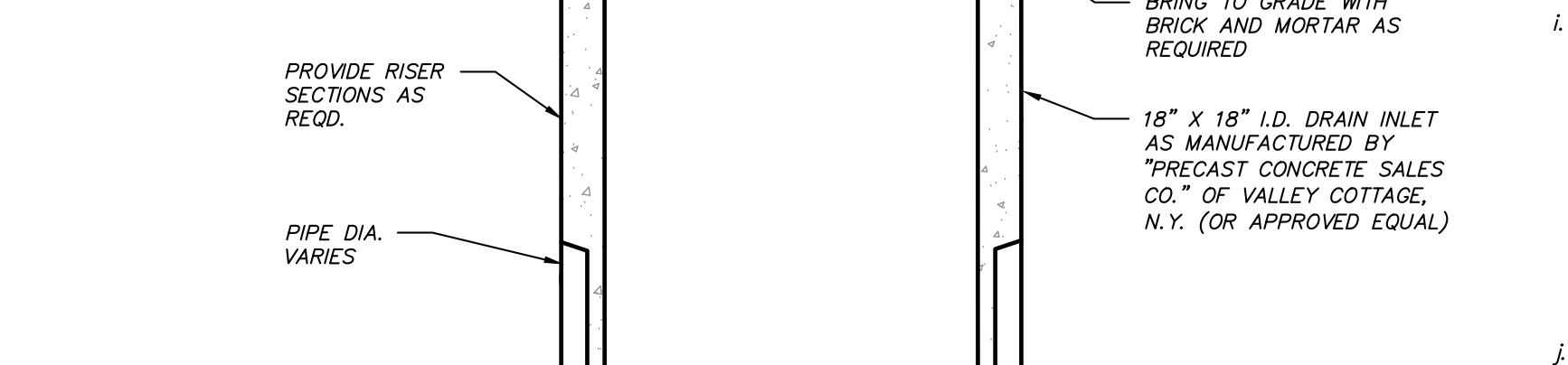
EMERGENCY OVERFLOW SPILLWAY DETAIL
(N.T.S.)



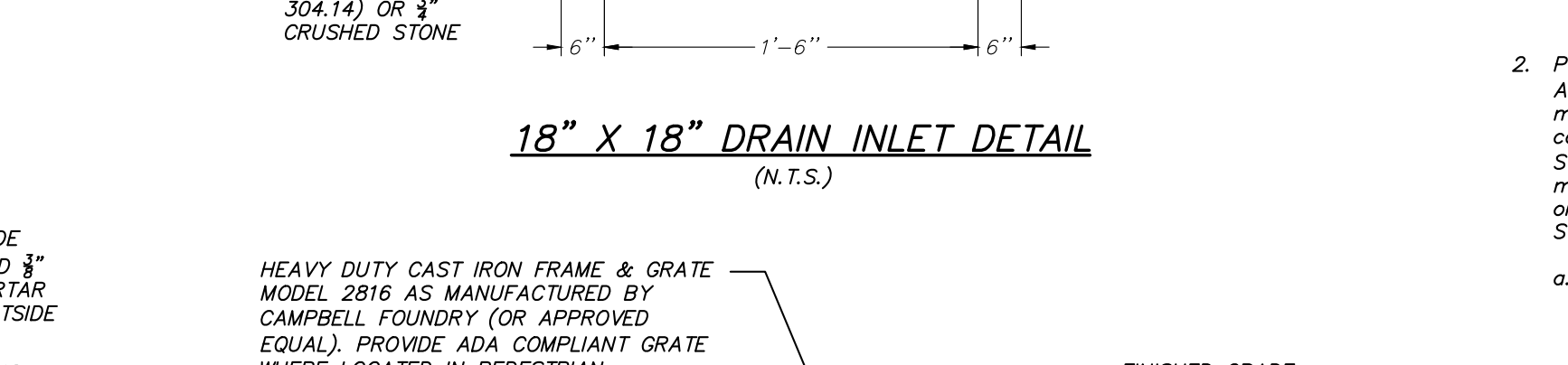
LEVEL SPREADER DETAIL
(N.T.S.)



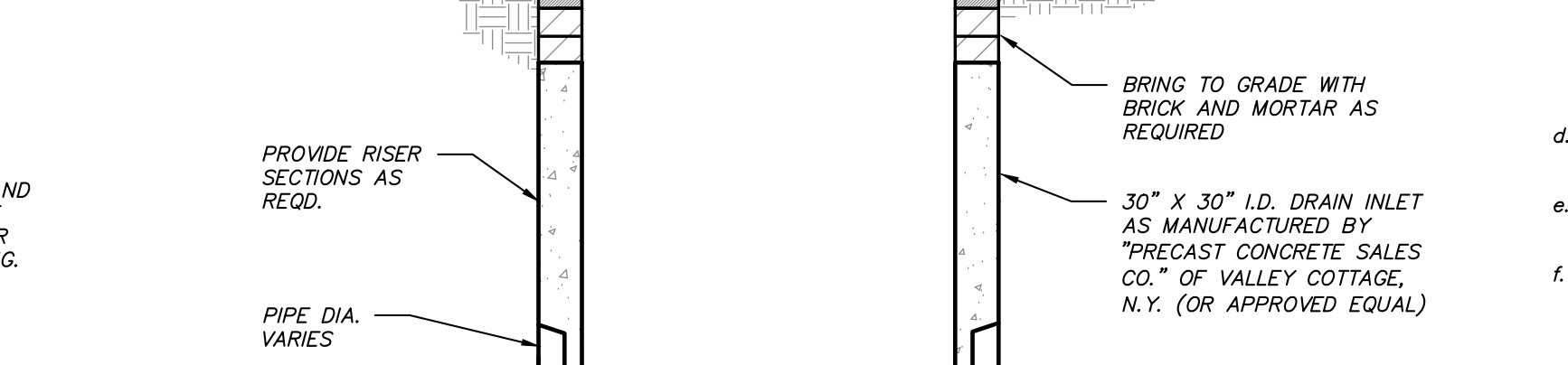
18" X 18" DRAIN INLET DETAIL
(N.T.S.)



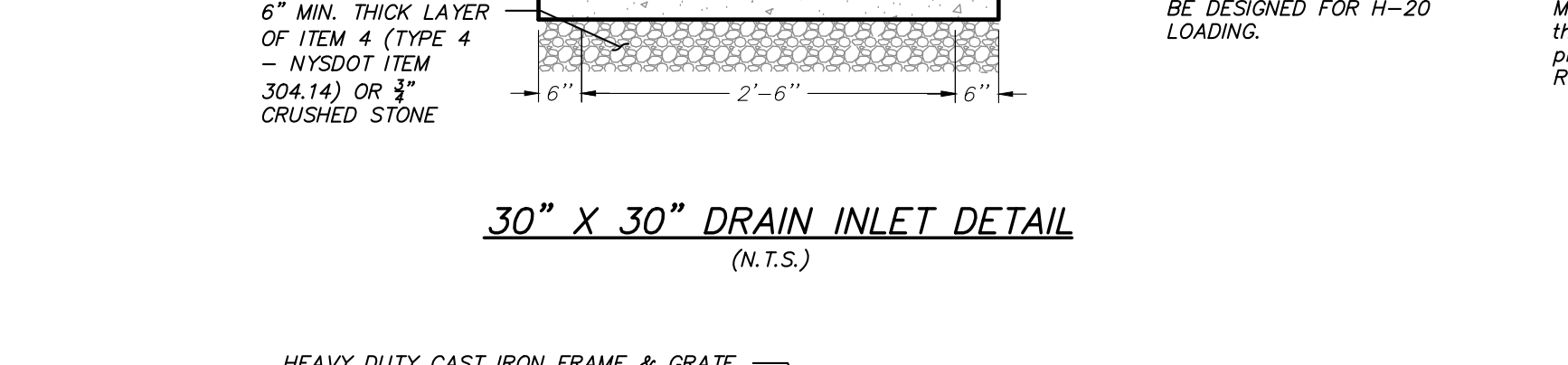
30" X 30" DRAIN INLET DETAIL
(N.T.S.)



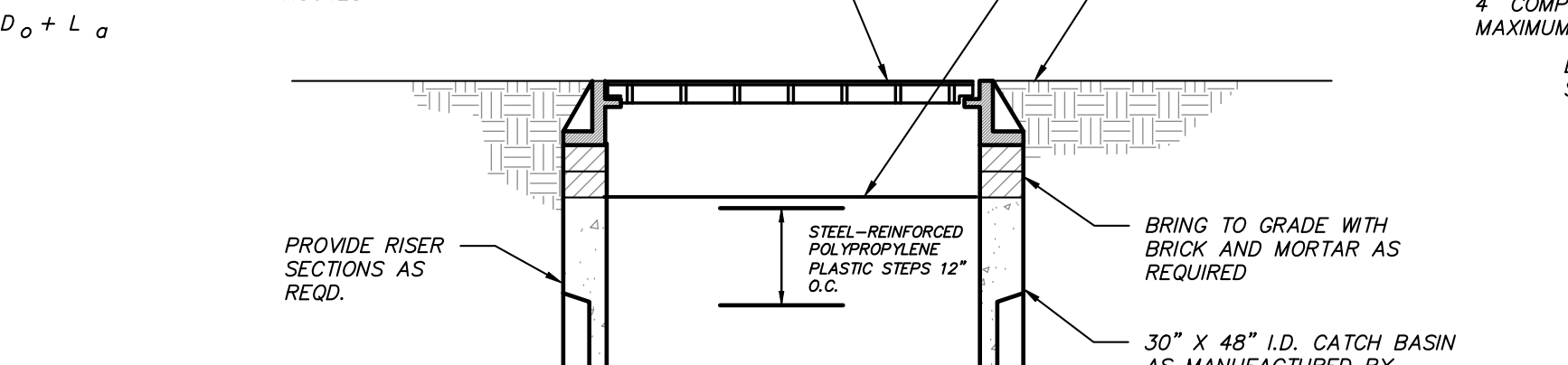
30" X 30" DRAIN INLET DETAIL
(N.T.S.)



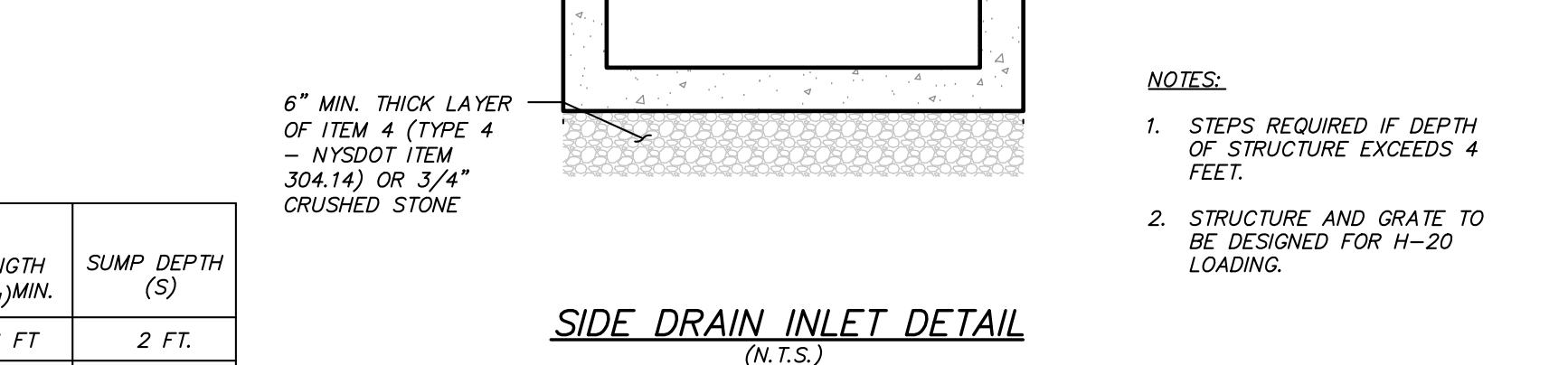
DRAINAGE LINE TRENCH DETAIL
(N.T.S.)



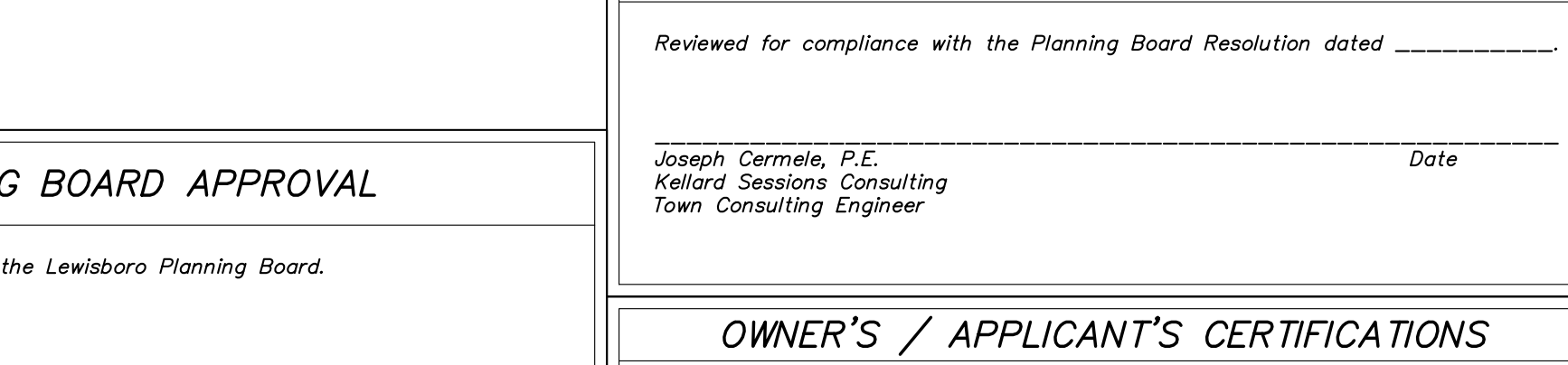
SIDE DRAIN INLET DETAIL
(N.T.S.)



ROCK OUTLET PROTECTION DETAIL
(N.T.S.)



END SECTION DETAIL
(N.T.S.)



EMERGENCY OVERFLOW SPILLWAY DETAIL
(N.T.S.)

REQUIRED SWPPP CONTENTS PER GP-0-20-001:

1. Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all Stormwater Pollution Prevention Plan's (SWPPP) shall include erosion and sediment control practices designed in accordance with the most current version of the technical standards, "New York Standards and Specifications for Erosion and Sediment Control". Where erosion and sediment control practices are not designed in accordance with the technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of required SWPPP components is provided in accordance with Part III.B.1.a-i of General Permit.

Background Information: The subject project consists of the redevelopment of the existing Beach Club portion of Waccabuc Country Club including modifications to the existing concession stand and boat house and construction of a covered deck, access driveway, handicap accessible parking area and associated improvements.

a. Site map / construction drawing: These plans serve to satisfy this SWPPP

b. Description of the soils present at the site. Onsite soils located within the proposed limits of disturbance consist of Chautauk-Chert Complex (C4d) and Eastern Fine Sandy Loam (P4c), as identified on the Soil Conservation Service Web Soil Survey. These soil types belong to the Hydrologic Soil Groups "A" and "B".

c. Construction phasing plan / sequence of operations: The Construction Sequence and phasing found on these plans provide the required phasing. A Construction Sequence and Phasing plan shall be submitted to the Town Engineer for review and approval. The Sedimentation and Erosion Control Notes contained herein outline a general sequence of operations for the proposed project. In general all erosion and sediment control practices shall be installed prior to commencement with land disturbing activities, and areas of disturbance shall be limited to the shortest period of time as practicable.

d. Description of erosion and sediment control practices: This plan, and details / notes shown herein serve to satisfy this SWPPP requirement.

e. Temporary and permanent soil stabilization plan: The Sedimentation and Erosion Control Notes and Details provided herein identify temporary and permanent stabilization measures to be employed with respect to specific elements of the project, and at the various stages of development.

f. Site map / construction drawing: This plan serves to satisfy this SWPPP requirement.

g. The dimensions, material specifications, installation details, and operation and maintenance requirements for all erosion and sediment control practices. The details, Erosion and Sediment Control Notes, and Erosion and Sediment Control Maintenance Schedule serve to satisfy this SWPPP requirement.

h. An inspection schedule: Inspections are to be performed twice weekly and by a qualified professional as required by the General Permit GP-0-15-002. In addition the NYSDEC Trained Contractor shall perform additional inspections as cited in the Sedimentation and Erosion Control Notes.

i. A description of pollution prevention measures that will be used to control litter, construction chemicals and construction debris: In general, all construction litter/debris shall be collected and removed from the site. The general contractor shall supply either waste barrels or dumpsters for proper waste disposal. Any construction chemicals utilized during construction shall either be removed from site daily by the contractor or stored in a structurally sound and weatherproof building. No hazardous waste shall be stored on site, and shall ultimately be disposed of in accordance with all federal, state and local regulations. Material Safety Data Sheets (MSDS), general contractor for all construction chemicals utilized onsite. Finally, temporary sanitary facilities (portable toilets) shall be provided onsite during the entire length of construction, and inspected weekly for evidence of leaking holding tanks.

j. A description and location of any stormwater discharges associated with industrial activity other than construction at the site. There are no known industrial stormwater discharges present or proposed at the site.

k. Identification of any elements of the design that are not in accordance with the technical standard, "New York Standards and Specifications for Erosion and Sediment Control". All proposed elements of this SWPPP have been designed in accordance with the "New York Standards and Specifications for Erosion and Sediment Control".

2. Pursuant to the NYSDEC "SPDES General Permit for Stormwater Discharges from Construction Activity" (GP-0-20-001), all construction projects needing post-construction stormwater management practices shall prepare a SWPPP that also includes practices designed in accordance with the most current version of the technical standard, "New York State Stormwater Management Design Manual ("Design Manual")". Where post-construction stormwater management practices are not designed in accordance with this technical standard, the owner or operator must demonstrate equivalence to the technical standard. The following list of SWPPP components is provided in accordance with Part III.B.2.a-i of General Permit.

a. Identification of all post-construction stormwater management practices to be constructed as part of the project: This plan, and details/notes shown herein serve to satisfy this SWPPP requirement.

b. A site map/construction drawing(s) showing the specific location and size of each post-construction stormwater management practice: This plan, and details/notes shown herein serve to satisfy this SWPPP requirement.

c. A Stormwater Modeling and Analysis Report including pre-development conditions, post-development conditions, the results of the stormwater modeling, a summary table demonstrating that each practice has been designed in accordance with the sizing criteria, identification of any design criteria that are not required, and the required analysis is provided in the report titled Stormwater Pollution Prevention Plan for Waccabuc Country Club - Beach Club Improvements.

d. Soil testing results and locations: This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for Waccabuc Country Club - Beach Club Improvements.

e. Infiltration testing results: This SWPPP requirement is provided in the report titled Stormwater Pollution Prevention Plan for Waccabuc Country Club - Beach Club Improvements.

f. An operations and maintenance plan that includes inspection and maintenance schedules and actions to ensure continuous and effective operation of each post-construction stormwater management practice. The plan shall identify the entity that will be responsible for the long term operation and maintenance of each practice. The Permanent Stormwater Facilities Maintenance Schedule provided on these plans serves to satisfy this requirement.

3. Enhanced Phosphorus Removal Standards - Beginning on September 30, 2008, all construction projects identified in Table 2 of Appendix B that are located in the watershed identified in Appendix C shall prepare a SWPPP that includes post-construction stormwater management practices designed in accordance with the Enhanced Phosphorus Removal Standards included in the most current version of the technical standard, "New York Stormwater Management Design Manual". As a minimum, the post-construction stormwater management practice component of the SWPPP shall include items 2.a - 2.f above. The permanent stormwater practices for this project have been sized according to chapter 10 of the Design Manual Enhanced Phosphorus Removal Standards. Please see 2.a - 2.f above.

7 4-25-23 REVISED FOR PLANNING BOARD SUBMISSION DSW

6 2-7-23 REVISED FOR NYDEC COMMENTS JMM

5 12-9-22 REVISED PER NYDEC COMMENTS EJP

4 7-26-22 REVISED PER TOWN COMMENTS SMR

3 6-28-22 REVISED PER TOWN COMMENTS SMR

2 5-31-22 REVISED PER TOWN COMMENTS SMR

1 3-29-22 REVISED PER TOWN COMMENTS SMR

NO. DATE REVISION BY

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated _____ Date _____

Joseph Cerreto, P.E.
Kellard Sessions Consulting
Town Consulting Engineer

PLANNING BOARD APPROVAL

Approved by the Resolution of the Lewisboro Planning Board.

Chair _____ Date _____

Administrator _____ Date _____

OWNER'S / APPLICANT'S CERTIFICATIONS

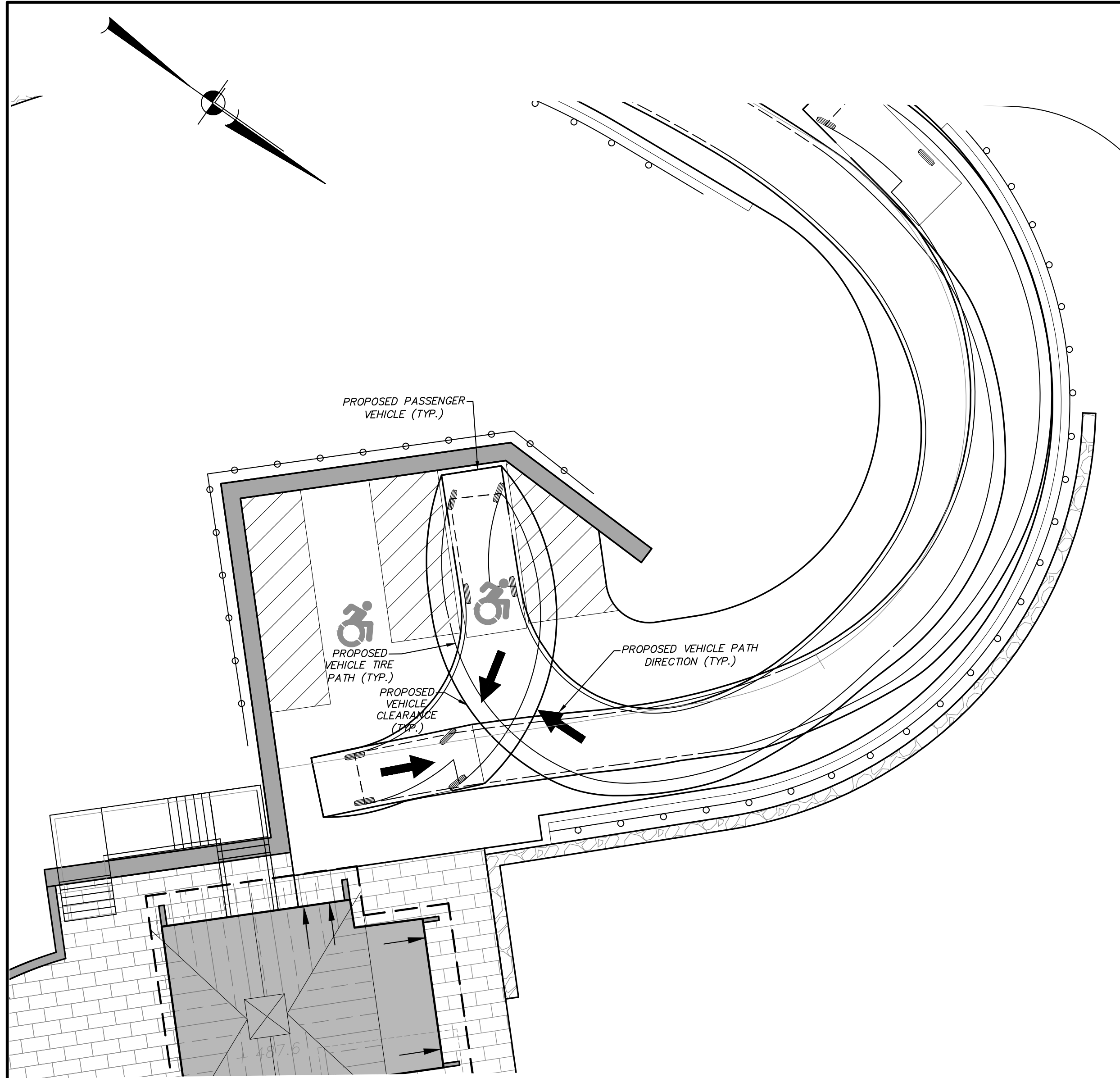
The undersigned is the owner(s) of the property shown herein, is familiar with this drawing and its contents, and hereby approves the same for filing.

Waccabuc Country Club
90 Mead Street
Waccabuc, NY 10597

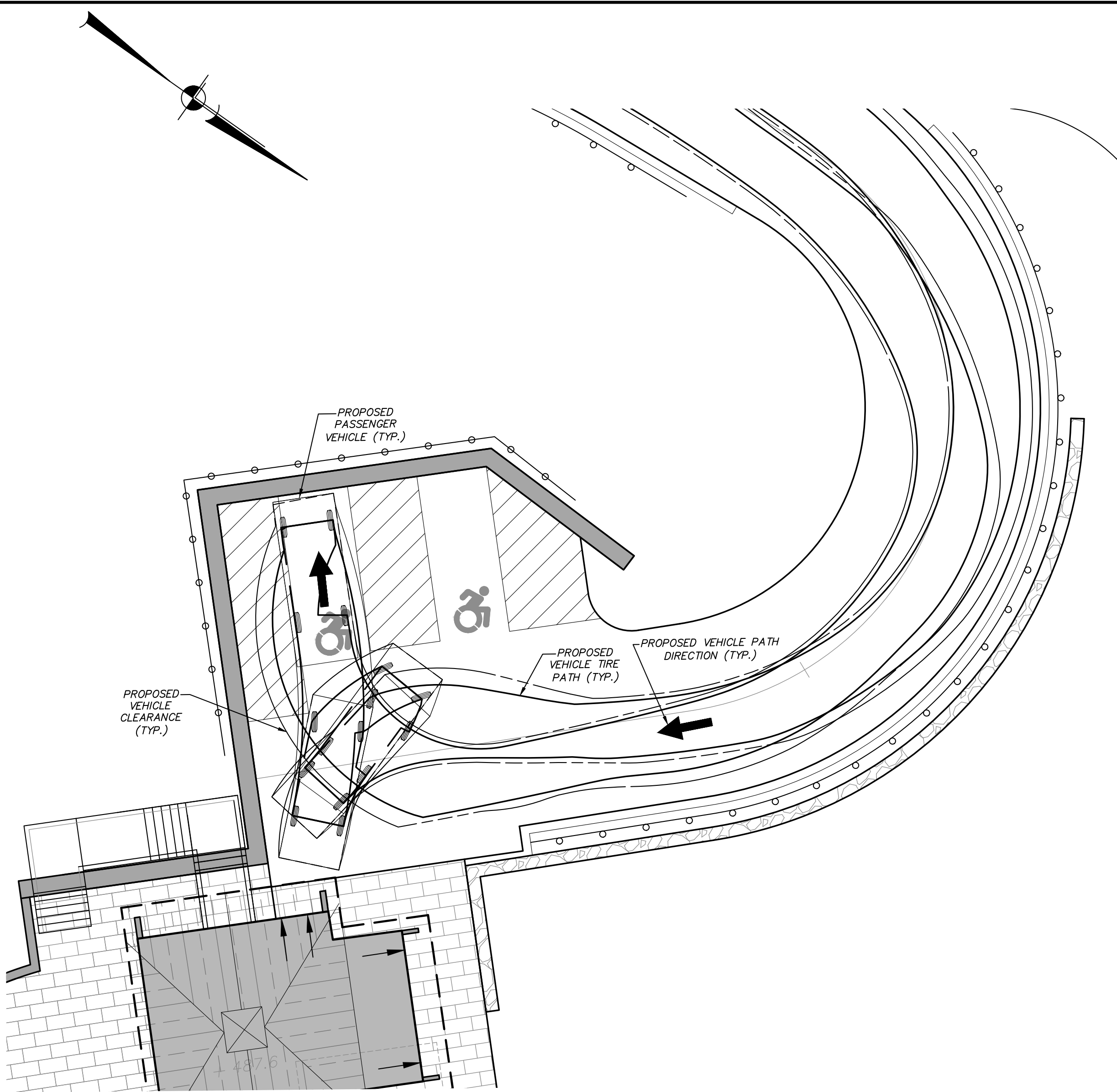
PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS

PROJECT NUMBER: 20228.100 PROJECT MANAGER: Z.M.P. DRAWING NO.: D-2 SHEET: 8

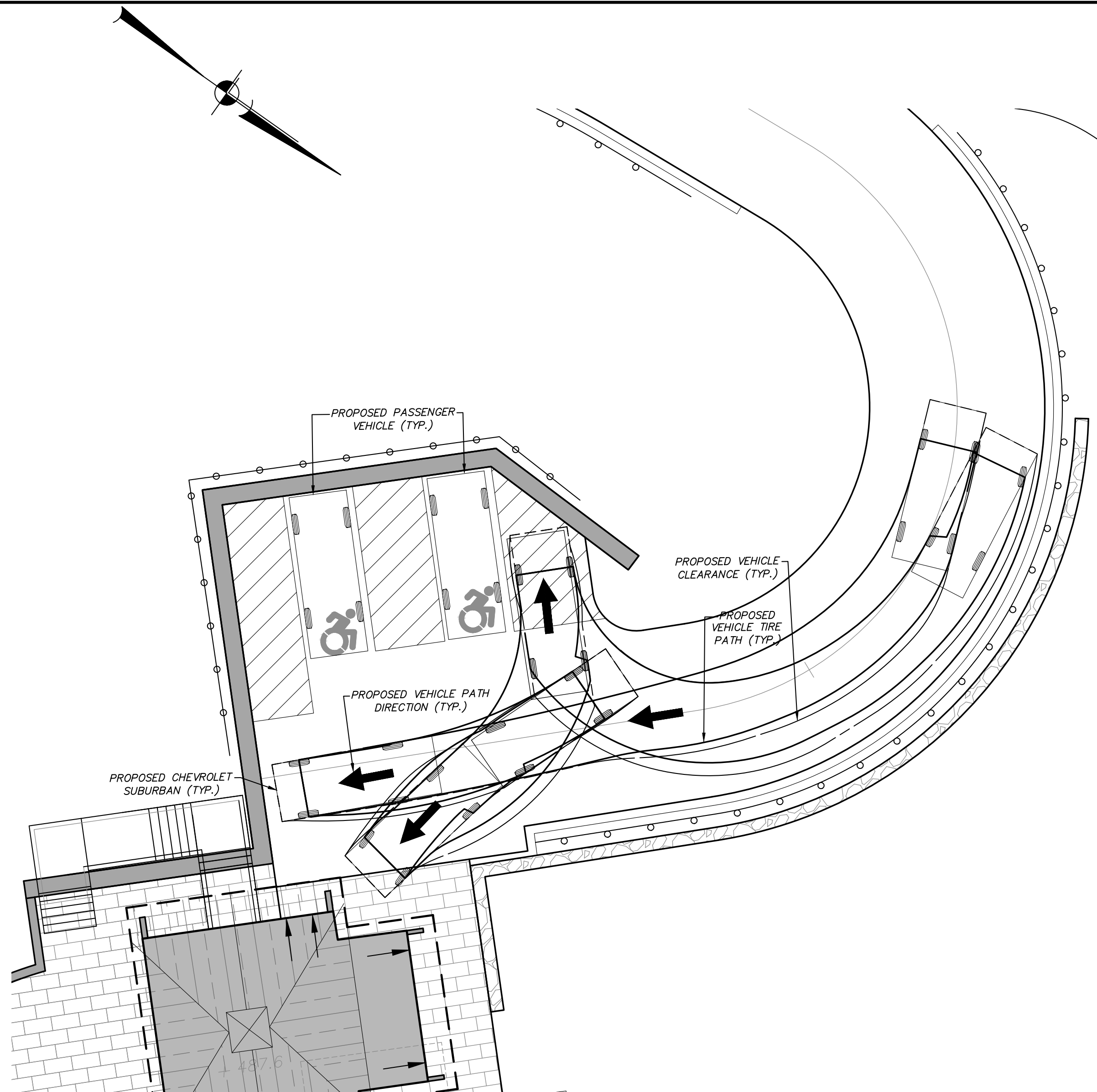
DATE: 2-8-22 DRAWN BY: E.R.A. CHECKED BY: D.L.M. SCALE: AS SHOWN



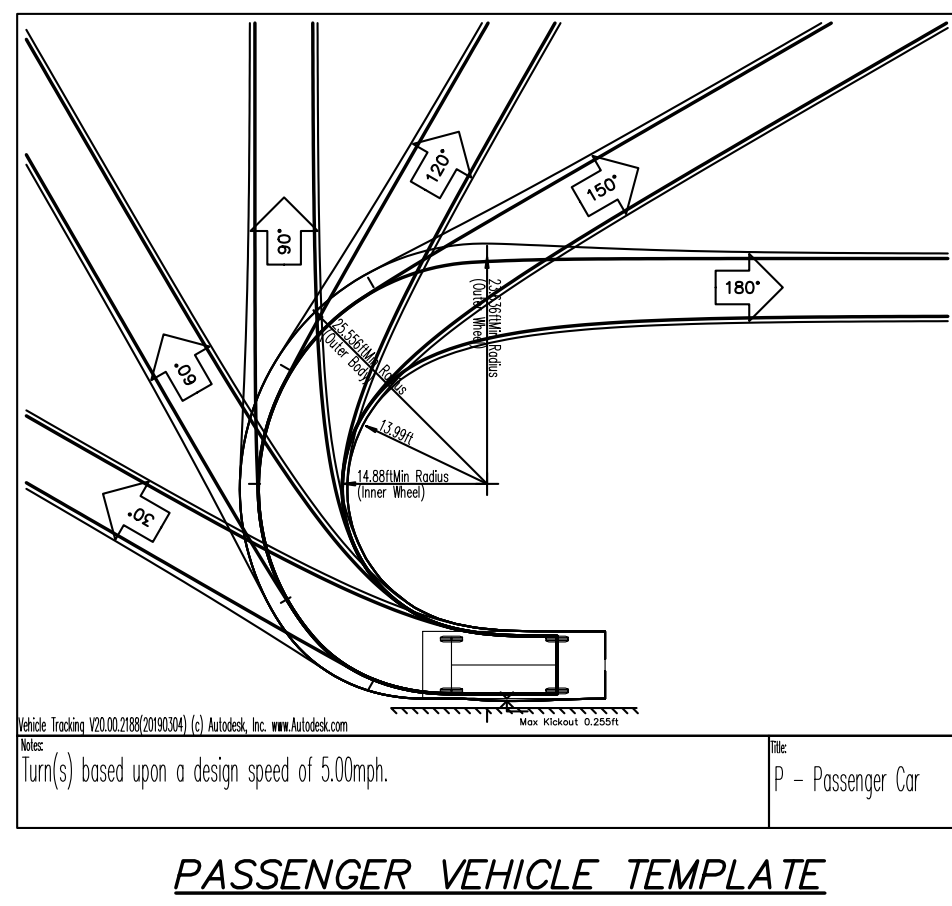
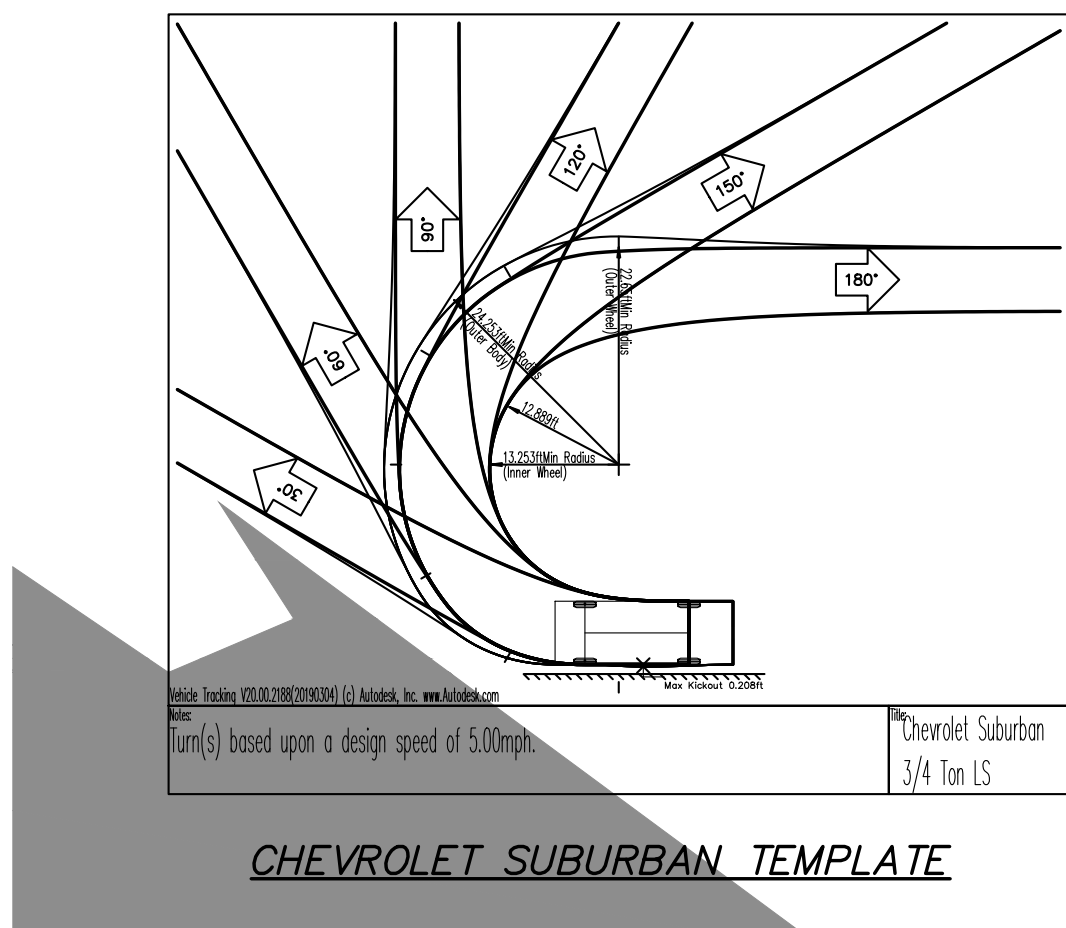
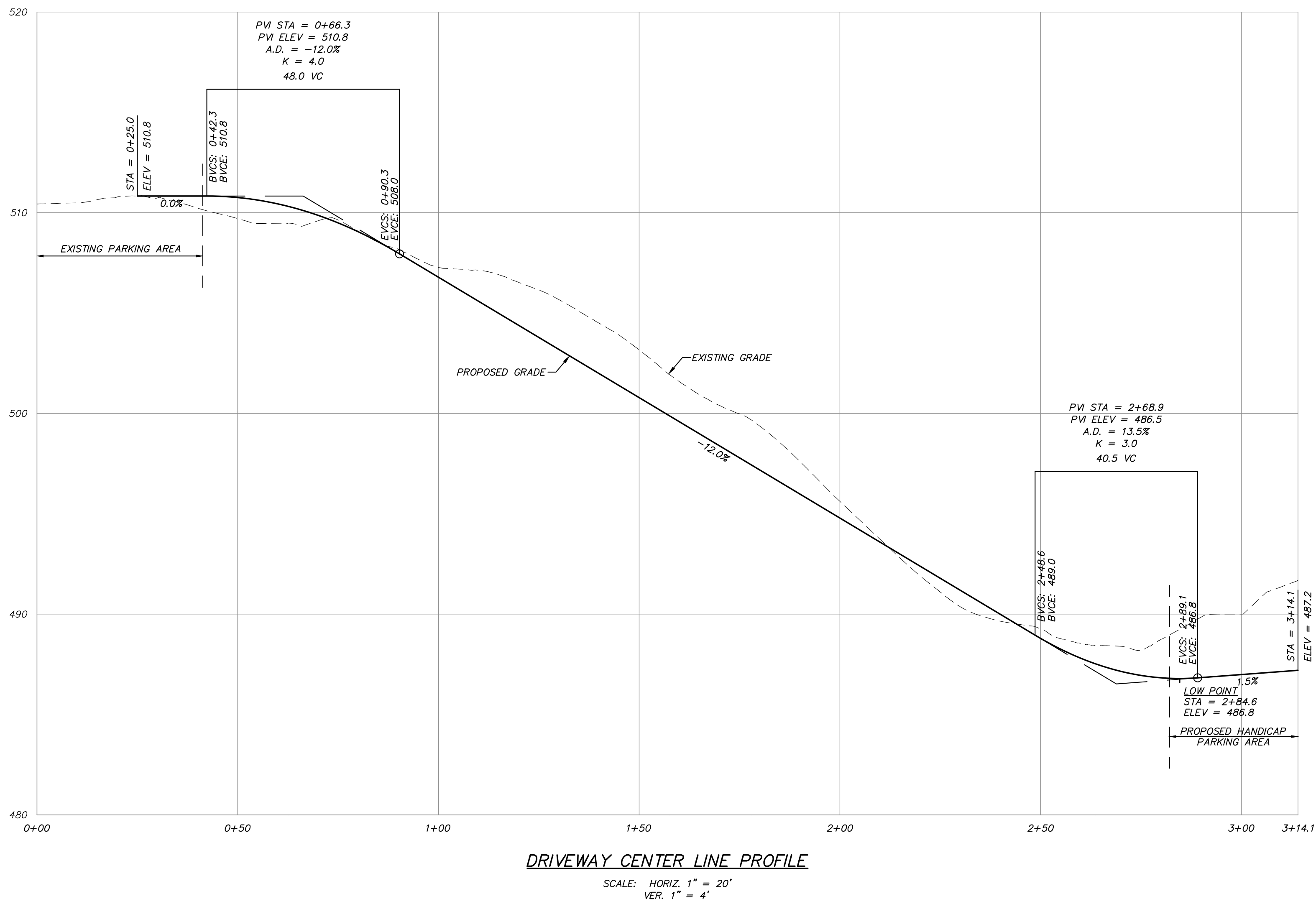
1. PASSENGER VEHICLE TURNING STUDY WITH PASSENGER CAR
SCALE: 1" = 10'



2. PASSENGER VEHICLE TURNING STUDY WITH PASSENGER CAR
SCALE: 1" = 10'



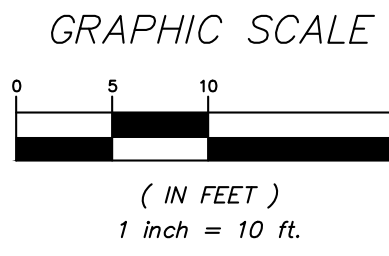
3. PASSENGER VEHICLE TURNING STUDY WITH CHEVROLET SUBURBAN
SCALE: 1" = 10'

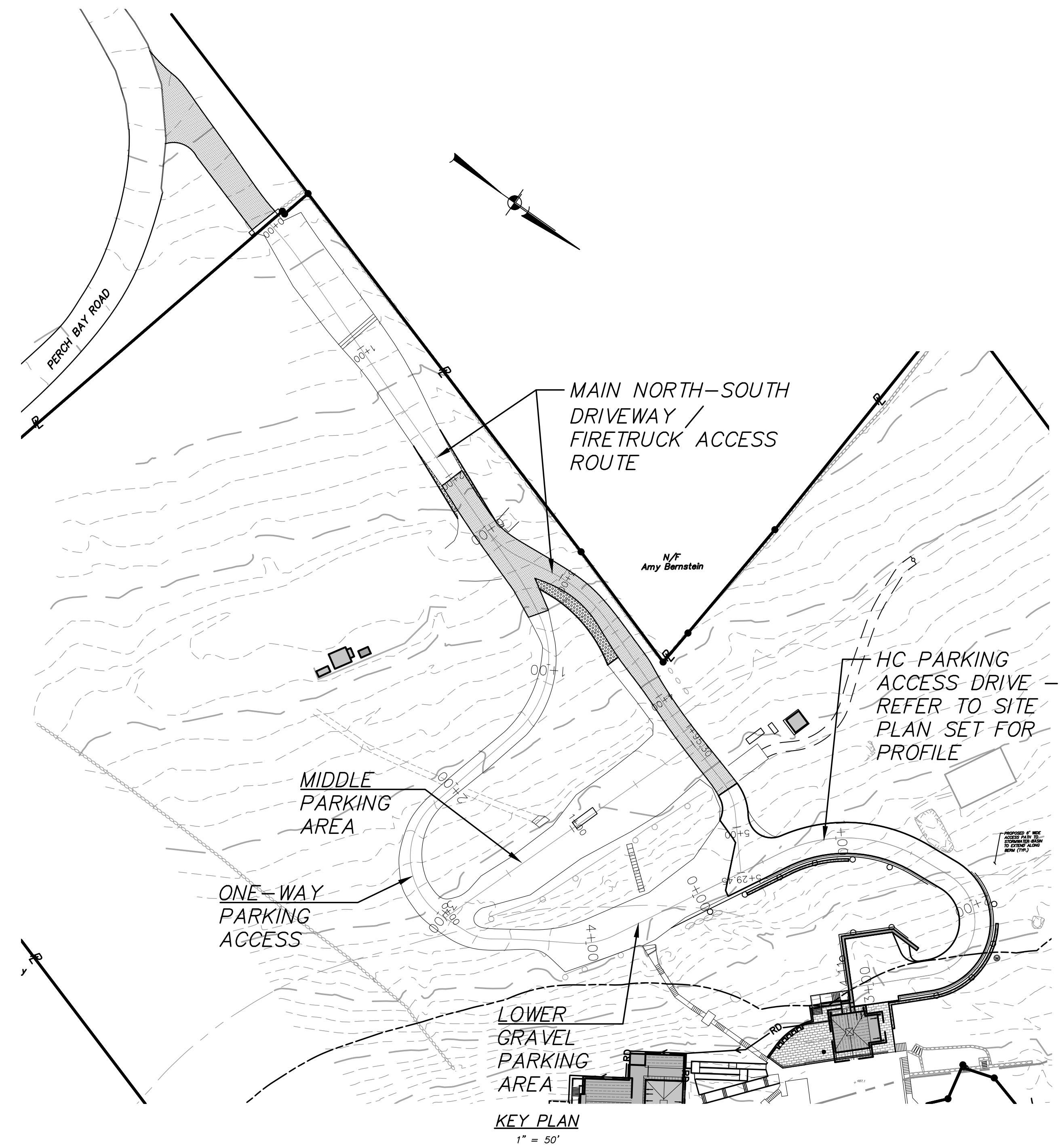
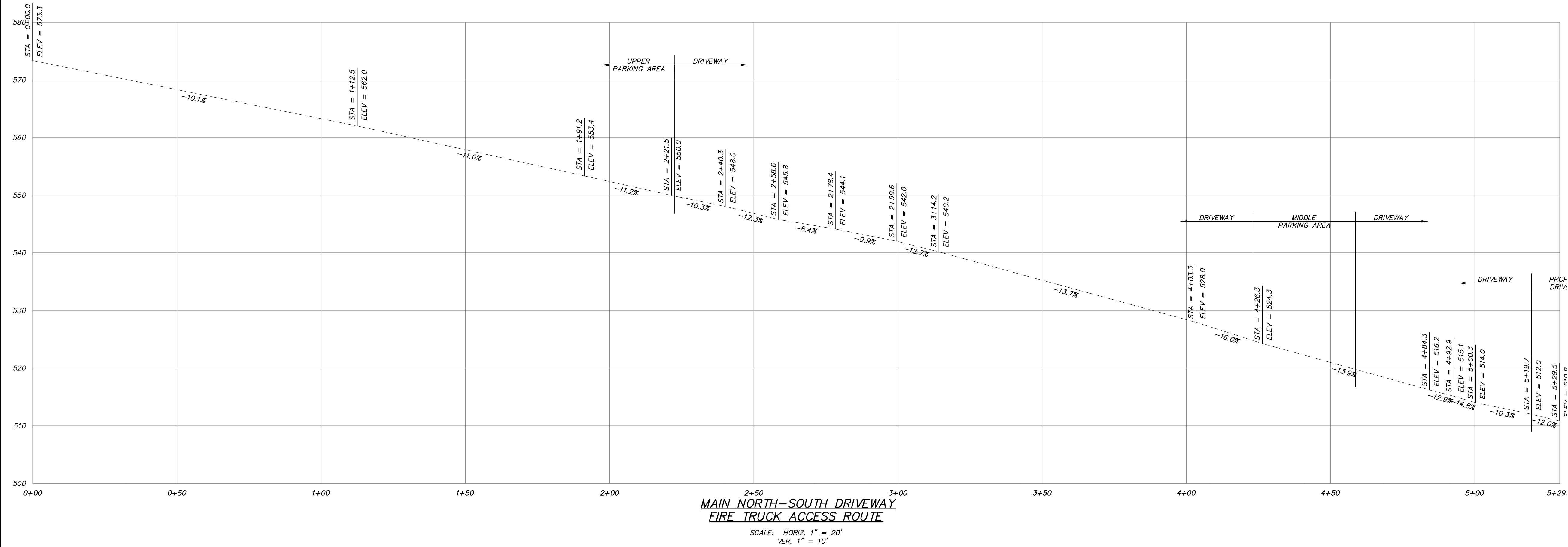
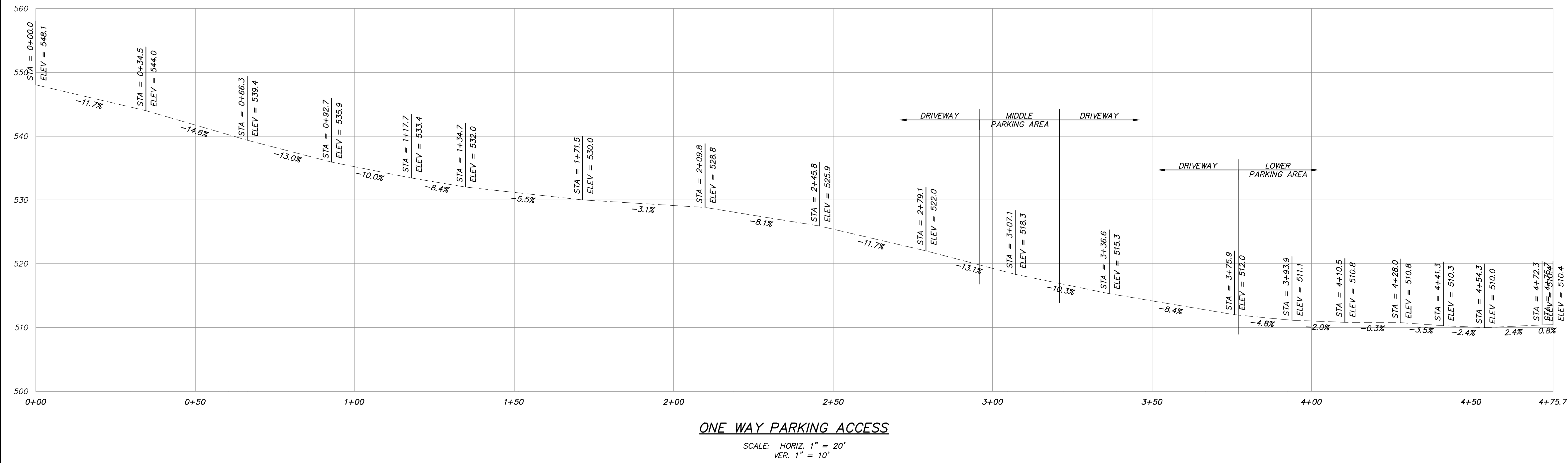
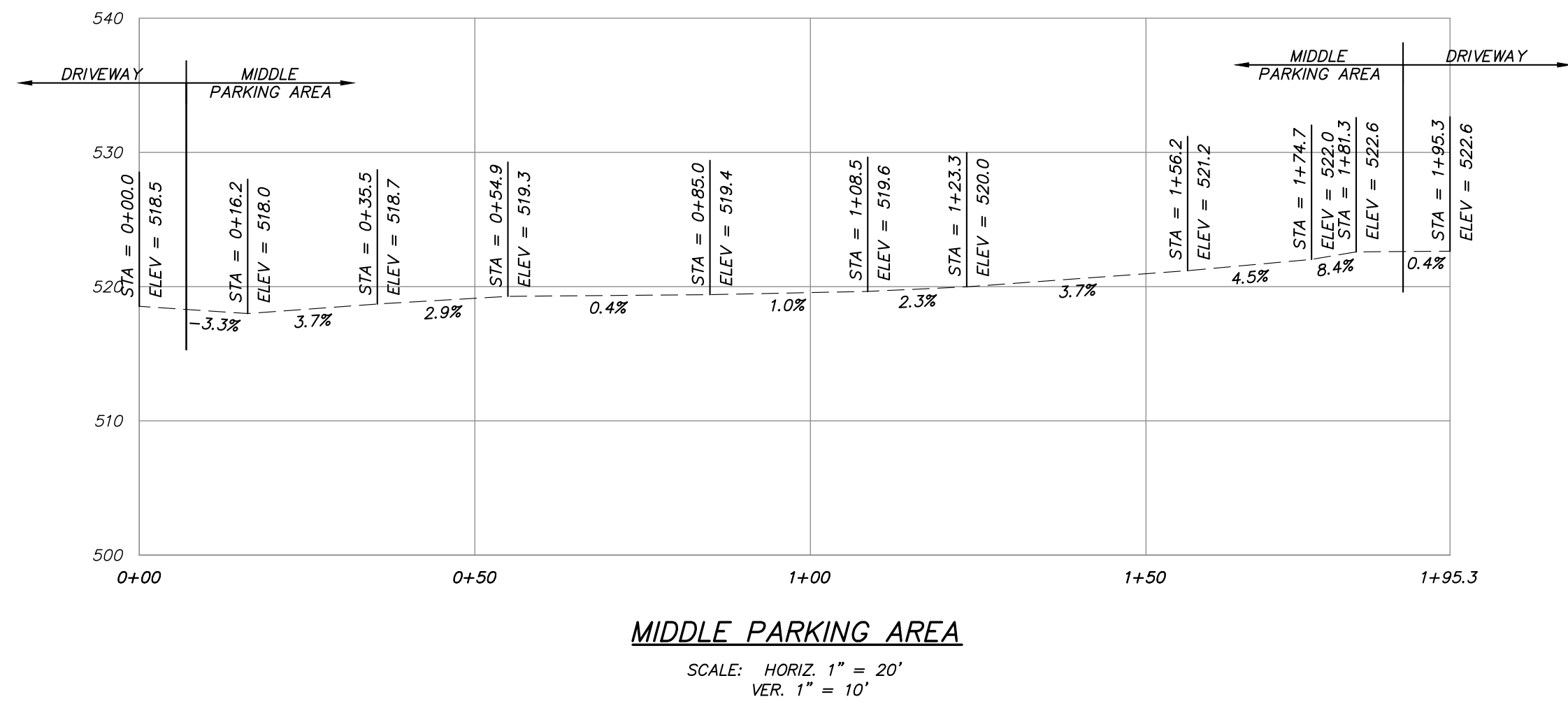


PLANNING BOARD APPROVAL	
Approved by the Resolution of the Lewisboro Planning Board.	
Chair	Date
Administrator	Date
TOWN ENGINEER'S CERTIFICATION	
Reviewed for compliance with the Planning Board Resolution dated	
Joseph Cernello, P.E. Kellard Sessions Consulting Town Consulting Engineer	Date
OWNER'S / APPLICANT'S CERTIFICATIONS	
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves the same for filing.	
Waccabuc Country Club 90 Mead Street Waccabuc, NY 10997	Date

NO.	DATE	REVISION	BY
6	4-25-23	REVISED FOR PLANNING BOARD SUBMISSION	DSW
5	2-7-23	REVISED FOR NYCDEP COMMENTS	JMM
4	12-9-22	REVISED PER NYCDEP COMMENTS	EJP
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2	6-28-22	REVISED PER TOWN COMMENTS	SMR
1	5-31-22	REVISED PER TOWN COMMENTS	SMR

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.		3 Garrett Place Carmel, NY 10512 (845) 225-9690 (845) 225-9717 fax www.insite-eng.com	
PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS 90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY			
DRAWING: DETAILS			
PROJECT NUMBER 20228.100	PROJECT MANAGER Z.M.P.	DRAWING NO. D-3	SHEET 9
DATE 3-29-22	DRAWN BY S.M.R.	CHECKED BY D.L.M.	11
SCALE AS SHOWN			





2	4-25-23	REVISED FOR PLANNING BOARD SUBMISSION	DSW
1	3-21-23	REVISED FOR BUILDING DEPARTMENT SUBMISSION	SMR
NO.	DATE	REVISION	BY
INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C. PROJECT: WACCABUC COUNTRY CLUB BEACH CLUB IMPROVEMENTS 90 MEAD ST., WACCABUC, TOWN OF LEWISBORO, WESTCHESTER CTY, NY DRAWING: EXISTING DRIVEWAY PROFILES			
PROJECT NUMBER	20228.100	PROJECT MANAGER	Z.M.P.
DATE	11-4-22	DRAWN BY	S.M.R.
SCALE	AS SHOWN	CHECKED BY	D.L.M.
DRAWING NO.	PR-1	SHEET	11

(914) 763-3060
FAX (914) 875-9148
TTY 800-662-1220
Email: kkelly@lewisborogov.com



TOWN OF LEWISBORO
Building Department
79 Bouton Road
South Salem, NY 10590
www.lewisborogov.com

April 17, 2023

Ms. Janet Andersen, Chair
Town of Lewisboro Planning Board

Re: Waccabuc Country Club Beachfront Improvements
Perch Bay Road
Sheet 25A, Block 10813, Lot 001

Dear Ms. Andersen and Members of the Board,

On April 14, 2023, I met with Dawn McKenzie of InSite Engineering, Michelle Meyers of Doyle Coffin Architects, Bill Urban of Southport Engineering, John Assumma, Club Manager and Michael Sirignano, Esq., legal counsel for the Applicant to review and discuss the Club's responses to my several questions regarding fire apparatus access to the beachfront facilities, NYS Fire Code and ADA compliance issues. More specifically, the Club's Project Team have proposed the following solutions:

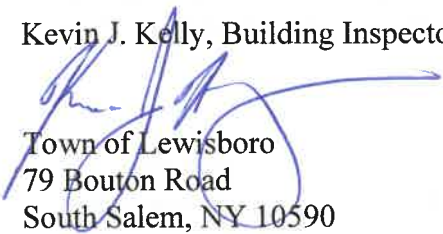
1. Handicap accessibility will be provided to the beach area by either a lift or a chair lift centrally located in the waterfront area or other means to the satisfaction of the Building Inspector.
2. Knox boxes will be provided at the entrance gate, in the lower gravel parking area at the top of the wooden stairs and near the buildings in the waterfront area in locations to be determined during construction to the satisfaction of the fire department and the Building Inspector.
3. The boathouse and the snack bar will be provided with sprinklers.
 - The sprinklers will utilize an on-site water supply consisting of underground water storage tank(s) sized in accordance with the NYS Building and Fire Codes.
 - The on-site water storage will be sized and available for use by the Fire Department for fire protection at the site and will include a connection for the Fire Department use.
 - The tank(s) will be located under the gravel parking area to the satisfaction of the Fire Department and the Building Inspector.

- A dedicated fire pump will be provided for the sprinkler system with a backup generator, to the satisfaction of the Building Inspector.
4. Fire apparatus access to the site was reviewed by me with the Fire Chief during a recent field inspection and InSite's attached "Fire Access Plan" dated 3-24-23 is consistent with the recommendations of the Fire Chief.
- The main north – south entrance driveway will be utilized for fire department access to the waterfront area.
 - Based on discussions with the Fire Chief, the existing driveway surface materials, turning radii and slopes are acceptable with the following conditions:
 - Select portions of the existing driveway will be widened to 20 feet. Turfstone pavers or equivalent, as acceptable to the Building Inspector, will be used.
 - The fire access lane shall be plowed in the winter.
 - A NYS Fire Code conforming turnaround will be provided at the lower parking lot. This has already been incorporated in the site plans.

Based on the Fire Access Plan and other above responses, I am satisfied that the Applicant's Project Team has adequately addressed my several questions and that final construction drawings and specifications will be submitted to the Building Department which shall incorporate the above solutions prior to the issuance of Building Permits for these Beachfront Improvements.

Please do not hesitate to contact me with questions.

Kevin J. Kelly, Building Inspector



Town of Lewisboro
79 Bouton Road
South Salem, NY 10590
P: (914) 763-3060
F: (914) 875-9148



002268040

Standard N.Y.B.T.U. Form 8001 - 5-66-JM-Warranty Deed with Full Covenants-Individual or Corporation.

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT-THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 5th day of February, nineteen hundred and sixty-eight
BETWEEN ROBERT C. BELL, JR., residing at 528 South Main Street, New
Canaan, Connecticut, and JOHN M. LYDEN, residing at 280 Rosebrook Road,
New Canaan, Connecticut, d/b/a Lewisboro Associates Company,

RECORDED
FEB 14 1968

party of the first part, and AMERICAN TELEPHONE AND TELEGRAPH COMPANY, a corpora-
tion of the State of New York, having an office at 400 Hamilton Avenue,
White Plains, New York,

party of the second part,

WITNESSETH, that the party of the first part, in consideration of ONE & 00/100 - - - (\$1.00) - -

----- dollar,

lawful money of the United States, and other good and valuable consideration paid

by the party of the second part, does hereby grant and release unto the party of the second part, their heirs or

successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon, situate,

lying and being in the Town of Lewisboro, County of Westchester and State of New
York, bounded and described as follows:

BEGINNING at a point ^{south} of the southerly side of Old Post Road
(Route 35) measured and located as follows:

BEGINNING at a point on the southerly side of Old Post Road
(Route 35) where the same is intersected by the center line of a 33
foot right of way which point of beginning is distant westerly as
measured along said southerly side of said Old Post Road (Route 35)
distant 279.31 feet from the intersection of the southwesterly side
of Smith Ridge Road (Route 123) and the southerly side of Old Post
Road (Route 35); thence along said center line of the 33 foot right
of way the following courses and distances: South 14° 32' West 105.71
feet; South 4° 57' East 19.15 feet; South 12° 13' East 49.86 feet;
South 19° 43' East 23.73 feet; South 27° 48' East 19.78 feet; South
32° 31' East 22.95 feet; South 36° 23' East 71.21 feet; South 27° 10'
East 28.54 feet; South 19° 42' East 26.88 feet; South 12° 58' East
20.80 feet; South 7° 16' East 39.37 feet; South 6° 11' West 119.97
feet; South 10° 09' West 28.82 feet; South 20° 36' West 57.93 feet;
South 11° 51' West 29.56 feet; South 9° 06' West 275.83 feet; South
16° 58' West 24.63 feet; South 25° 10' West 23.95 feet; South 47° 29'
West 18.17 feet; South 51° 46' West 122.25 feet; South 57° 20' West
19.91 feet; South 66° 27' West 82.48 feet; South 22° 14' West 49.76
feet; South 12° 06' West 208.30 feet; South 18° 17' West 184.73 feet;
South 20° 22' West 174.86 feet; South 27° 22' West 69.54 feet; South
33° 55' West 61.86 feet; South 25° 09' West 53.97 feet; South 31° 00'
West 54.24 feet; South 37° 35' West 78.87 feet; South 31° 04' West
32.86 feet; South 31° 25' West 69.48 feet; South 73° 31' West 159.44
feet; South 44° 02' West 46.93 feet; South 52° 48' West 24.56 feet;
South 67° 33' West 18.88 feet, and South 84° 14' West 14.53 feet to
the point of beginning of the premises herein described; thence from
said point of beginning South 30° 19' 10" West 199.91 feet to the
northerly boundary line of lands now or formerly of Edward Lasus and
Helen Lasus; thence along the last mentioned boundary line, North 74°

02091 FEB -9 1968

57° 50' West 251.04 feet and North 66° 24' 35" West 166.16 feet; thence through lands now or formerly of Lewisboro Associates, North 30° 45' 20" East 427.00 feet to the northwesterly corner of the premises herein described; thence continuing through lands now or formerly of Lewisboro Associates, South 70° 33' 50" East 411.32 feet to the northeasterly corner of the premises herein described; thence continuing through lands now or formerly of Lewisboro Associates, South 30° 19' 10" West 219.09 feet to the point of beginning.

TOGETHER with a 33 foot right of way and easement for ingress and egress, the center line of which is bounded and described as follows:

BEGINNING at a point on the southeasterly side of the premises hereinabove described distant North 30° 19' 10" East 199.91 feet from the southeasterly corner of the premises hereinabove described; thence from said point of beginning the following courses and distances: North 84° 14' East 14.53 feet; North 67° 33' East 18.88 feet; North 52° 48' East 24.56 feet; North 44° 02' East 46.93 feet; North 73° 31' East 159.44 feet; North 31° 25' East 69.48 feet; North 31° 04' East 32.86 feet; North 37° 35' East 78.87 feet; North 31° 00' East 54.24 feet; North 25° 09' East 53.97 feet; North 33° 55' East 61.86 feet; North 27° 22' East 69.54 feet; North 20° 22' East 174.86 feet; North 18° 17' East 184.73 feet; North 12° 06' East 208.30 feet; North 22° 14' East 49.76 feet; North 66° 27' East 82.48 feet; North 57° 20' East 19.91 feet; North 51° 46' East 122.25 feet; North 47° 29' East 18.17 feet; North 25° 10' East 23.95 feet; North 16° 58' East 24.63 feet; North 9° 06' East 275.83 feet; North 11° 51' East 29.56 feet; North 20° 36' East 57.93 feet; North 10° 09' East 28.82 feet; North 6° 11' East 119.97 feet; North 7° 16' West 39.37 feet; North 12° 58' West 20.80 feet; North 19° 42' West 26.88 feet; North 27° 10' West 28.54 feet; North 36° 23' West 71.21 feet; North 32° 31' West 22.95 feet; North 27° 48' West 19.78 feet; North 19° 43' West 23.73 feet; North 12° 13' West 49.86 feet; North 4° 57' West 19.15 feet; and North 14° 32' East 105.71 feet to the southerly side of Old Post Road (Route 35).

TOGETHER with the right to improve, widen, install culverts and realign existing roads and trails along the above described right of way.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof,

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

LIB 6782 REC 143

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the costs of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

AND the party of the first part covenants as follows:

FIRST.—That said party of the first part is seized of the said premises in fee simple, and has good right to convey the same;

SECOND.—That the party of the second part shall quietly enjoy the said premises;

THIRD.—That the said premises are free from incumbrances, except as aforesaid;

FOURTH.—That the party of the first part will execute or procure any further necessary assurance of the title to said premises;

FIFTH.—That said party of the first part will forever warrant the title to said premises.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

Minnie C. Bell

Mary Katherine Bell

Robert C. Bell, Jr.
(Robert C. Bell, Jr.)

John M. Lyden
(John M. Lyden)

L.S.

L.S.

144
6762
FEB 6 1968

STATE OF NEW YORK, COUNTY OF ~~WESTCHESTER~~ ^{New York}

On the 5 day of Feb 1968, before me personally came ROBERT C. BELL, JR.

JOHN M. LYDEN

to me known to be the individuals described in and who executed the foregoing instrument, and acknowledged that they executed the same.

Anthony Carriello
Notary Public
ANTHONY CARRIELLO
Notary Public, State of New York
No. 03-0565200
Qualified in Bronx County
Certificate Filed in New York County
Commission Expires March 30, 1968

STATE OF NEW YORK, COUNTY OF WESTCHESTER

On the 7th day of February 1968, before me personally came ROBERT C. BELL, JR.

to me known to be the individual described in and who executed the foregoing instrument, and acknowledged that he executed the same.

Theodore Dachenhausen
Notary Public
THEODORE DACHENHAUSEN, JR.
Notary Public, State of New York
No. 60-5897250
Qualified in Westchester County
Term Expires March 30, 1968

Warrant Deed
WITH FULL COVENANTS
TITLE No. 6122227

ROBERT C. BELL, JR. and JOHN M. LYDEN, d/b/a Lewisboro Associates Company

TO

AMERICAN TELEPHONE AND TELEGRAPH COMPANY

SECTION
BLOCK
LOT

4
XORNDORF TOWN of Lewisboro, Westchester County

Recorded At Request of The Title Guarantee Company
RETURN BY MAIL TO:



Covey Dachenhausen & Covey
254 B Katonah Ave
Katonah, NY Zip No. 10536

RESERVE THIS SPACE FOR USE OF RECORDING OFFICE 31

1968 FEB -9 PM 2:10
WESTCHESTER COUNTY CLERK
RECORDED
INDEXED
FILED
1968 FEB -9 PM 2:10
WESTCHESTER COUNTY CLERK

The foregoing instrument was endorsed for record as follows: The property effected by this instrument is situated in the TOWN OF LEWISBORO County of Westchester, N. Y. A true copy of the original DEED

recorded FEB. 9, 1968 at 2:10 PM

EDWARD N. VETRANO, County Clerk.

Please Return to:
Intercounty Clearance Corporation
440 North Avenue
New York, NY 10001-1686



862905

11209C
A99413

PIN # Sheet 40, Block 10263, Lot 62
Town of Lewisboro (County of Westchester), NY

After Recordation, Return To:

Sullivan & Worcester LLP
One Post Office Square
Boston, Massachusetts 02109
Attn: Sander Ash, Esq.

Transfer Tax Due:

STATE OF GEORGIA

COUNTY OF FULTON

NEW YORK
QUITCLAIM DEED

Site: South Salem Code: NY3280

THIS INDENTURE is made this 14th day of January, 2008, between AT&T CORP., a New York corporation, formerly known as American Telephone and Telegraph Company, a New York corporation, having as its address 295 North Maple Avenue, Basking Ridge, NJ 07920-1002 ("Grantor"), and AMERICAN TOWERS, INC., a Delaware corporation, having as its address c/o American Tower Corporation, 116 Huntington Avenue, Boston, MA 02116 (hereinafter referred to as "Grantee") (the words "Grantor" and "Grantee" to include their respective heirs, successors, legal representatives and assigns where the context permits or requires).

WITNESSETH:

GRANTOR, for and in consideration of the sum of
and other valuable consideration in hand paid at and before the sealing and delivery of these presents, the receipt, adequacy and sufficiency whereof are hereby acknowledged, does by these presents remise, release and quit-claim unto Grantee forever all of Grantor's right, title and interest in and to:

ALL THE TRACT(S) OR PARCEL(S) OF LAND being more particularly described on Exhibit "A" attached hereto and by this reference made a part hereof (hereinafter referred to as the "Property").

TO HAVE AND TO HOLD said Property unto Grantee forever, so that neither Grantor nor any entity or entities claiming under Grantor shall at any time, by any means or ways, have, claim, or demand any right, title, or interest in or to the Property or its appurtenances, or any rights thereof;

GRANTOR RESERVES UNTO ITSELF, and excepts from the above conveyance, the easements, rights and privileges hereinafter set forth:

(a) By its acceptance of this Deed, Grantee acknowledges and agrees Grantor has and hereby does reserve an exclusive, perpetual easement and right-of-way (the "Reserved Easement") for the benefit of Grantor, its Affiliates¹ and its and their respective transferees, successors and assigns, for the purpose of installing, operating, maintaining, repairing, removing and replacing underground telecommunication cables and conduits of Grantor, its Affiliates and its and their respective transferees, successors and assigns, together with manholes, markers and surface testing terminals and any regeneration huts or other above-surface improvements existing upon, over and under the Property as of the date first above written (collectively, the "Easement Area Equipment"), in such locations (the "Easement Area") where (i) the Easement Area Equipment is currently located and with respect to subsurface installations, as is marked by utility installation markers, and (ii) should there be no existing Easement Area Equipment installed on the date hereof, Easement Area Equipment may be installed within an Easement Area, the location of which Grantee may hereafter approve, which approval shall not be unreasonably withheld, conditioned or delayed (taking into account Grantee's then current use of the burdened Property and the reasonable future use thereof). By its acceptance of this Deed, the Grantee acknowledges its intent to find at least one location for the Reserved Easement. Such Easement Area shall be a minimum of sixteen and one-half (16½) feet in width and a maximum of thirty (30) feet in width. Should the Easement Area Equipment now installed (or that initially installed in the future) not encumber the maximum Easement Area, additional Easement Area Equipment may be constructed or installed within such Easement Area and, with respect to any underground cabling, conduits, wires, lines or similar improvements, such additional Easement Area Equipment shall be installed in a line parallel to and equidistant from the first cable laid; provided sufficient area is available for the installation of the additional Easement Area Equipment in the reasonable discretion of Grantee, taking into account Grantee's then current use

¹ Affiliates. Shall mean, with respect to any person or entity, any other person or entity that directly, or indirectly through one or more intermediaries, controls, or is controlled by, or is under common control with, such first person or entity. As used in this definition, "control" (including, with correlative meanings, "controlled by" and "under common control with") shall mean possession, directly or indirectly, of the power to direct or cause the direction of management or policies (whether through ownership of securities or partnership or other ownership interests, by contract or otherwise).

of the burdened Property and the reasonable future use thereof. Grantor shall install, maintain and replace, as appropriate, surface markers indicating the location of the Easement Area Equipment.

(b) Grantor further reserves the following rights and powers incidental to the Easement Area and the "Temporary Easement Area" (as hereinafter defined):

- (i) A non-exclusive temporary right-of-way and easement (the "Temporary Easement") to be used solely for the purpose of installing, repairing, removing or replacing Easement Area Equipment upon a strip of land ten (10) feet wide on either side of the Easement Area (the "Temporary Easement Area"), provided sufficient area is then available for the installation of the additional Easement Area Equipment, taking into account Grantee's then current use of the burdened Property. Subject to the foregoing limitation, Grantor shall be entitled to park its vehicles and store its materials in the Temporary Easement Area in connection with the Grantor's exercising its rights under the Temporary Easement.
- (ii) If the Easement Area or the Temporary Easement Area is not accessible other than by crossing over other portions of the Property, the right of vehicular and pedestrian ingress and egress over such portion of the Property as Grantee shall from time to time designate for such purposes to and from the Easement Area or the Temporary Easement Area, as the case may be, in connection with the exercise of the Temporary Easement rights or the Reserved Easement rights;
- (iii) The right to clear all trees, roots, brush, vines, overhanging limbs and other obstructions from the surface and subsurface of the Easement Area and, in connection with the exercise of the Temporary Easement rights, the surface or subsurface of the Temporary Easement Area.

(c) Except as provided in paragraph (a) above, no excavation, building, structure or obstruction will be constructed, erected, built or permitted in or on the surface of the Easement Area and no change will be made by grading or otherwise to the surface or subsurface of the Easement Area. Provided there is no interference with above ground installations located upon or across the Easement Area, Grantee shall have the right to use the surface of the Easement Area for vehicular and pedestrian ingress and egress, except that such use shall exclude heavy trucks, equipment and construction vehicles which could impair the use of or damage the Easement Area Equipment. Should Grantee or Grantee's designees desire to use a portion of the Easement Area, Grantor shall not unreasonably withhold, delay or condition its consent to a proposed use, taking into account Grantor's existing use and the planned reasonable future use thereof; and provided, further, Grantor may condition its consent to Grantee's use of the Easement Area being subject to the same conditions respecting the use thereof by Grantor as are set forth in subparagraph (e) hereinbelow.

(d) Any party seeking to construct, install or maintain any subsurface installations shall call the appropriate utility line location service (e.g., Miss Dig) to determine the location of any Grantor- or Grantee-installed communications systems and utilities prior to the commencement of any work on the Property.

(e) The foregoing reservations are intended to benefit Grantor, its Affiliates, and its and their respective transferees, successors and assigns, and are subject to the following terms and conditions, each of which shall be binding upon Grantor, its Affiliates, and its transferees, successors and assigns, as the case may be (each of which of the foregoing parties is for the purpose of this subparagraph (e) referred to as a "Beneficiary" or collectively, if applicable, the "Beneficiaries;" and each Beneficiary by its exercising of any right reserved to it hereunder shall have agreed to be bound by the following), and each of which shall be effective only from and after the date hereof:

- (i) Except to the extent caused by or resulting from the negligence or willful misconduct of Grantee, from and after the date hereof, the Beneficiaries shall defend, indemnify and hold harmless Grantee, its officers, directors, employees, partners, tenants, invitees, licensees and contractors from all costs, damages, expenses (including, without limitation, reasonable attorneys' fees and disbursements), foreseen or unforeseen, arising (directly or indirectly) after the date hereof from or in connection with the exercise by any Beneficiary of any right reserved unto the Beneficiaries in this reservation, including, but not limited to, the installation, maintenance, operation, removal, replacement or presence, in each case after the date hereof, of the Easement Area Equipment and other property at the Property, any work or thing done or condition created by Beneficiary after the date hereof at the Property, and any and all costs (including attorneys' fees) of enforcing the terms of subparagraphs (a) through (e) hereof.
- (ii) Except in the case of emergency when notice reasonable under the circumstances shall be given and except in the case of normal patrols of the Easement Area for the purpose of observing the presence of surface markers or erosion for which no notice is required, Beneficiary shall give reasonable prior written notice before entering upon the Property. Such notice(s) shall set forth in reasonable detail any and all work and actions to be undertaken in connection with such entry.
- (iii) Beneficiary shall not suffer or permit any lien to be filed, or shall promptly bond over such lien, against the Property relating to, or arising out of, work performed or materials supplied by or for Beneficiary after the date hereof.
- (iv) All work performed by Beneficiary relating to the Easement shall be reasonably coordinated with Grantee and with other work being performed at the Property

(taking into account any emergency conditions which may exist). Beneficiary shall promptly repair any damage to the Property occasioned by its exercise of any of its rights related to the Reserved Easement or the Temporary Easement.

- (v) Beneficiary shall secure all necessary licenses, permits and other governmental approvals before performing any work at the Property and shall, from and after the date hereof, comply with all applicable laws governing its use of the Easement Area, and shall carry, if required by applicable law, and cause each of its contractors and subcontractors to carry, workers' compensation insurance in statutory amounts.
- (vi) The agreements, easements, covenants, conditions, undertakings, restrictions, rights, privileges made, granted or assumed, or reserved, as the case may be, by Grantee, the Beneficiaries or Grantor, as the case may be, are made not only personally for the benefit of the other parties hereto but also shall run with the land and constitute an equitable servitude on the portion of the land owned by such party appurtenant to the Property, the Easement Area, or the Temporary Easement Area, as the case may be. Any transferee of all or any portion of the Property or all or any portion of the Easement Area or Temporary Easement Area shall be deemed automatically by acceptance of the same, to have assumed all obligations herein set forth and to have agreed with the party then burdened by the rights herein created and reserved to execute any and all instruments and to do any and all things reasonably required to carry out the intention of the agreements herein set forth, and the transferor shall, upon completion of such transfer involving all of its interest in the Easement Area or the Temporary Easement Area and upon the giving of written notice of such transfer to the other, be relieved of all further liability with respect to the Property, Easement Area and/or the Temporary Easement Area transferred, except liability with respect to matters that may have arisen from and after the date hereof and prior to the date of said transfer. The written notice of transfer shall include the name and address of the transferee.
- (vii) If the consolidated net worth of the Beneficiaries who are obligated under the indemnity contained in this subparagraph (e) is at any time less than as determined by generally accepted accounting principles consistently applied, the within reservations shall terminate unless at all times thereafter the Beneficiaries maintain for the benefit of Grantee evidence of insurance reasonably satisfactory to Grantee. In such case, the Beneficiaries shall maintain and deliver from time to time as reasonably requested by Grantee evidence of such insurance reasonably satisfactory to Grantee so long as such party is a Beneficiary of the Easement. By acceptance of this Deed, the Grantee acknowledges that evidence of commercial general liability insurance in the

minimum amount of (as such amount shall be reasonably adjusted from time to time to account for inflation) shall be a reasonable amount of commercial general liability insurance acceptable to Grantee. Unless the stock of Beneficiary or, if Beneficiary is a subsidiary of the Grantor, the stock of its parent company shall then be publicly traded, Beneficiary shall provide evidence of its net worth to Grantee from time to time upon Grantee's request.

IN WITNESS WHEREOF, Grantor has signed and sealed this deed, the day and year first above written.

In the presence of:
Virginia N. Gross
Virginia N. Gross

GRANTOR:

AT & T Corp., a New York corporation,
Formerly known as American Telephone
And Telegraph Company

BY: Richard S. Adler

Richard S. Adler

Manager, Network Services Infrastructure
Program Management (ANS Real Estate)

State of Georgia

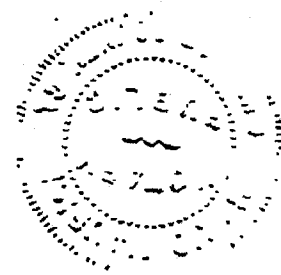
County of Fulton

On the 14th day of January in the year, 2000, before me, the undersigned, personally appeared Richard S. Adler, Manager, Network Services Infrastructure Program Management (ANS Real Estate), personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he/she executed the same in his/her capacity, that by his/her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument, and that such individual made such appearance before the undersigned in the City of Atlanta, State of Georgia.

Maurice Mario
Notary Public
Print Name: MAURICE MARIO
My Commission Expires:

Notary Public, Gwinnett County, Georgia
My Commission Expires October 3, 2003

(NOTARIAL SEAL)



SITE NAME: SOUTH SALEM, NY

GLC: NY3280

LINE NO: A1046

Page 1 of 3

EXHIBIT "A"

ALL that certain plot, piece or parcel of land, ~~with the buildings and improvements thereon~~, situate, lying and being in the Town of Lewisboro, County of Westchester and State of New York, bounded and described as follows:

BEGINNING at a point ^{south} of the southerly side of Old Post Road (Route 35) measured and located as follows:

BEGINNING at a point on the southerly side of Old Post Road (Route 35) where the same is intersected by the center line of a 33 foot right of way which point of beginning is distant westerly as measured along said southerly side of said Old Post Road (Route 35) distant 279.31 feet from the intersection of the southwesterly side of Smith Ridge Road (Route 123) and the southerly side of Old Post Road (Route 35); thence along said center line of the 33 foot right of way the following courses and distances: South 14° 32' West 105.71 feet; South 4° 57' East 19.15 feet; South 12° 13' East 49.86 feet; South 19° 43' East 23.73 feet; South 27° 48' East 19.78 feet; South 32° 31' East 22.95 feet; South 36° 23' East 71.21 feet; South 27° 10' East 28.54 feet; South 19° 42' East 26.88 feet; South 12° 58' East 20.80 feet; South 7° 16' East 39.37 feet; South 6° 11' West 119.97 feet; South 10° 09' West 28.82 feet; South 20° 36' West 57.93 feet; South 11° 51' West 29.56 feet; South 9° 06' West 275.83 feet; South 16° 58' West 24.63 feet; South 25° 10' West 23.95 feet; South 47° 29' West 18.17 feet; South 51° 46' West 122.25 feet; South 57° 20' West 19.91 feet; South 66° 27' West 82.48 feet; South 22° 14' West 49.76 feet; South 12° 06' West 208.30 feet; South 18° 17' West 184.73 feet; South 20° 22' West 174.86 feet; South 27° 22' West 69.54 feet; South 33° 55' West 61.86 feet; South 25° 09' West 53.97 feet; South 31° 00' West 54.24 feet; South 37° 35' West 78.87 feet; South 31° 04' West 32.86 feet; South 31° 25' West 69.48 feet; South 73° 31' West 159.44 feet; South 44° 02' West 46.93 feet; South 52° 48' West 24.56 feet; South 67° 33' West 18.88 feet, and South 84° 14' West 14.53 feet to the point of beginning of the premises herein described; thence from said point of beginning South 30° 19' 10" West 199.91 feet to the northerly boundary line of lands now or formerly of Edward Lasus and Helen Lasus; thence along the last mentioned boundary line, North 74°

SITE NAME: SOUTH SALEM, NY

GLC: NY3280

LINE NO: A1046

Page 2 of 3

57' 50" West 251.04 feet and North 66° 24' 35" West 166.16 feet; thence through lands now or formerly of Lewisboro Associates, North 30° 45' 20" East 427.00 foot to the northwesterly corner of the premises herein described; thence continuing through lands now or formerly of Lewisboro Associates, South 70° 33' 50" East 411.32 feet to the northeasterly corner of the premises herein described; thence continuing through lands now or formerly of Lewisboro Associates, South 30° 19' 10" West 219.09 feet to the point of beginning.

TOGETHER with a 33 foot right of way and easement for ingress and egress, the center line of which is bounded and described as follows:

BEGINNING at a point on the southeasterly side of the premises hereinabove described distant North 30° 19' 10" East 199.91 feet from the southeasterly corner of the premises hereinabove described; thence from said point of beginning the following courses and distances: North 84° 14' East 14.53 feet; North 67° 33' East 18.88 feet; North 52° 48' East 24.56 feet; North 44° 02' East 46.93 feet; North 73° 31' East 159.44 feet; North 31° 25' East 69.48 feet; North 31° 04' East 32.86 feet; North 37° 35' East 78.87 feet; North 31° 00' East 54.24 feet; North 25° 09' East 53.97 feet; North 33° 55' East 61.86 feet; North 27° 22' East 69.54 feet; North 20° 22' East 174.86 feet; North 18° 17' East 184.73 feet; North 12° 06' East 208.30 feet; North 22° 14' East 49.76 feet; North 66° 27' East 82.48 feet; North 57° 20' East 19.91 feet; North 51° 46' East 122.25 feet; North 47° 29' East 18.17 feet; North 25° 10' East 23.95 feet; North 16° 58' East 24.63

SITE NAME: SOUTH SALEM, NY

GLC: NY3280

LINE NO: A1046

Page 3 of 3

feet; North 9° 06' East 275.83 feet; North 11° 51' East 29.56 feet; North 20° 36' East 57.93 feet; North 10° 09' East 28.82 feet; North 6° 11' East 119.97 feet; North 7° 16' West 39.37 feet; North 12° 58' West 20.80 feet; North 19° 42' West 26.88 feet; North 27° 10' West 28.54 feet; North 36° 23' West 71.21 feet; North 32° 31' West 22.95 feet; North 27° 48' West 19.78 feet; North 19° 43' West 23.73 feet; North 12° 13' West 49.86 feet; North 4° 57' West 19.15 feet; and North 14° 32' East 105.71 feet to the southerly side of Old Post Road (Route 35).

TOGETHER with the right to improve, widen, install culverts and realign existing roads and trails along the above described right of way.

Being the same parcel as conveyed to American Telephone and Telegraph Company by Robert C. Bell, Jr. and John M. Lyden d/b/a Lewisboro Associates Company by Warranty Deed dated February 5, 1968 and recorded in the Westchester County Clerk's Office, Division of Land Records, Westchester County, New York, on February 9, 1968 in Liber 6762 of Deeds, Page 141.



401290869DEDS

Control Number
401290869

WIID Number
2000129-000376

Instrument Type
DED



WESTCHESTER COUNTY RECORDING AND ENDORSEMENT PAGE
(THIS PAGE FORMS PART OF THE INSTRUMENT)
*** DO NOT REMOVE ***

THE FOLLOWING INSTRUMENT WAS ENDORSED FOR THE RECORD AS FOLLOWS:

TYPE OF INSTRUMENT DED - DEED

FEE PAGES 11

TOTAL PAGES 11

RECORDING FEES

STATUTORY CHARGE
RECORDING CHARGE
RECORD MGT. FUND
RP 5217
TP-584
CROSS REFERENCE
MISCELLANEOUS

TOTAL FEES PAID

TRANSFER TAXES

CONSIDERATION

TAX PAID
TRANSFER TAX #

MORTGAGE TAXES

MORTGAGE DATE
MORTGAGE AMOUNT
EXEMPT

YONKERS
BASIC
ADDITIONAL
SUBTOTAL
MTA
SPECIAL

TOTAL PAID

SERIAL NUMBER
DWELLING

RECORDING DATE 05/18/2000
TIME 05:05:00

THE PROPERTY IS SITUATED IN
WESTCHESTER COUNTY, NEW YORK IN THE:
TOWN OF LEWISBORO

WITNESS MY HAND AND OFFICIAL SEAL

LEONARD N. SPANO
WESTCHESTER COUNTY CLERK

Record & Return to:
SULLIVAN & WORCHESTER LLP
ONE POST OFFICE SQUARE

BOSTON, MA 02109

DATE OF NEW YORK COUNTY OF WESTCHESTER



LEONARD N. SPANO, CLERK OF THE COUNTY OF WESTCHESTER, NEW YORK, DO HEREBY CERTIFY THAT THE ABOVE INSTRUMENT WAS RECORDED IN MY OFFICE ON MAY 18, 2000, AT 5:05:00 AM, AND THAT THE SAME IS A CORRECT COPY OF THE INSTRUMENT AS RECORDED IN MY OFFICE.

41

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP 
Joseph M. Cermele, P.E., CFM 
Town Consulting Professionals

DATE: May 12, 2023

RE: Wendy & Joshua Green
114 Willow Court
Sheet 17B, Block 10533, Lot 314

PROJECT DESCRIPTION

The application involves the demolition of an existing 125 s.f. deck and constructing a new 231 s.f. deck in the same location within the R-MF Zoning District.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. Site Development Plan Approval is required from the Planning Board; it appears that the application qualifies for Waiver of Site Development Plan Procedures, as provided under Section 220-47 of the Zoning Code.
2. The application must be referred to the Westchester County Planning Board in accordance with Section 239-m of the General Municipal Law; the application qualifies for a “notification only” referral. The Planning Board Administrator will coordinate this referral.

Chairperson Janet Andersen

May 12, 2023

Page 2 of 2

COMMENTS

1. On the submitted Site Development Plan/Subdivision Plat Application, the applicant answered “No” in relation to the site being within the New York City Watershed. This should be checked “Yes”, as the site is located within the Croton River Basin.
2. The Building Inspector should review the application for zoning compliance. Provide a Bulk Zoning Table on the Site Plan and illustrate applicable zoning setbacks; dimension the closest part of the deck to the closest property line.
3. The Site Plan illustrates a drainage swale in close proximity to the proposed deck; please demonstrate that the deck will have no impact on existing drainage features.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY RICHARD VAIL ARCHITECT, DATED DECEMBER 8, 2022:

- Title Sheet & Plans (A1)
- Elevations (A2)
- Sections (A3)

PLAN REVIEWED, PREPARED BY BRUCE P. HELMES AIA:

- Grading, Drainage & Utilities Phase II

DOCUMENTS REVIEWED:

- Site Development Application
- The Meadows at Cross River Condominiums Deck Approval, dated December 21, 2022
- Site Plan Sketch

JKJ/dc

TO: The Town of Lewisboro Planning Board
FROM: Lewisboro Conservation Advisory Council
SUBJECT: Green deck, 114 Willow Court, Cross River, NY 10518
DATE: May 10, 2023

The Conservation Advisory Council (CAC) has reviewed the materials submitted by the applicant for the enlargement of an existing deck.

The submitted drawing was insufficient to determine the layout of the new deck and its relation to any wetland. The CAC would like to see plans submitted with sufficient detail including the wetland and wetland boundary lines.

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590 Tel: (914) 763-5592 Email: planning@lewisborogov.com

Site Development Plan/Subdivision Plat Application - Check all that apply:

Waiver of Site Development Plan Procedures ☐

Site Development Plan Approval ☐

Special Use Permit Approval ☐

Subdivision Plat Approval ☐

Step I ☐

Step I ☐

Step I ☐

Step II ☐

Step II ☐

Step II ☐

Step III ☐

Project Information DECK ADDITION TO THE

Project Name: GREEN RESIDENCE

Project Address: 114 WILLOW COURT, CROSS RIVER, N.Y., 10518

Gross Parcel Area: _____ Zoning District: R-MF Sheet(s): 10533 Block(s): 314 Lot(s): 17b

Project Description: PROPOSE TO DEMOLISH AN EXISTING 125' CH DECK AND REPLACE WITH A NEW 231' CH DECK IN SAME GENERAL LOCATION.

Is the site located within 500 feet of any Town boundary?

YES ☐

NO ☒

Is the site located within the New York City Watershed?

YES ☐

NO ☒

Is the site located on a State or County Highway?

YES ☐

NO ☒

Does the proposed action require any other permits/approvals from other agencies/departments?

Town Board ☐

ZBA ☐

Building Dept. ☒

Town Highway ☐

ACARC ☐

NYSDEC ☐

NYCDEP ☐

WCDH ☐

NYSDOT ☐

Town Wetland ☐

Town Stormwater ☐

Other _____

Owner's Information

Name: WENDY AND JOSHUA GREEN Email: NYWENDYGREEN@GMAIL.COM

Address: 114 WILLOW COURT, CROSS RIVER, N.Y. Phone: (914) 374-0080

Applicant's Information (if different)

Name: RICHARD VAIL Email: RICHARDEVAIL@GMAIL.COM

Address: 4 MOONEY HILL ROAD, HOLMES, N.Y. 12531 Phone: 845.531-9339

Authorized Agent's Information

Name: _____ Email: _____

Address: _____ Phone: _____

THE APPLICANT understands that any application is considered complete only when all information and documents required have been submitted and received by the Planning Board. The applicant further understands that the applicant is responsible for the payment of all application and review fees incurred by the Planning Board.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief, and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

APPLICANT'S SIGNATURE 

DATE 4.10.23

OWNER'S SIGNATURE 

DATE 4/10/23

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant (Please type or print)

WENDY GREEN
Name of Applicant

GREEN - DECK
Project Name

Property Description

Tax Block(s): 10533

Tax Lot(s): 314

Tax Sheet(s): 17B

Property Assessed to:

JOSH & WENDY GREEN

Name 114 WILLOW COURT

Address CROSS RIVER NY 10518
City State Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes: [Signature]

Date 4/10/23

Sworn to before me this

10th day of April

2023

DEIRDRE CASPER
RECEIVER OF TAXES/LEWISBORO

[Signature]
Signature - Notary Public (affix stamp)

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2024

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590

Email: planning@lewisborogov.com

Tel: (914) 763-5592

Fax: (914) 875-9148

Affidavit of Ownership

State of: New York

County of: Westchester

Wendy Green being duly sworn, deposes and says that he/she

resides at 114 Willow Court

In the County of Westchester State of New York

and that he/she is (check one) ☒ the owner, or ☐ the

of _____

Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain lot, piece or parcel of land situated in and to the in the

Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map as in Town of

Lewisboro as:

Block 10533 Lot 314 Subd 17 B

Wendy Green
Owner's Signature

Sworn to before me this

5 day of April, 2023

Stuart Feldman

Notary Public affix stamp

STUART FELDMAN
NOTARY PUBLIC, STATE OF NEW YORK
NO. 0165023019
QUALIFIED IN WESTCHESTER COUNTY
COMMISSION EXPIRES JANUARY 24, 2026

THE MEADOWS AT CROSS RIVER CONDOMINIUM II

December 21, 2022

Joshua and Wendy Green
114 Willow Court
Cross River, NY 10518

Re: Modification Approval– Deck

Dear Mr. and Mrs. Green:

Your modification request to expand and rebuild your deck has been reviewed and approved provided the below stipulations are followed:

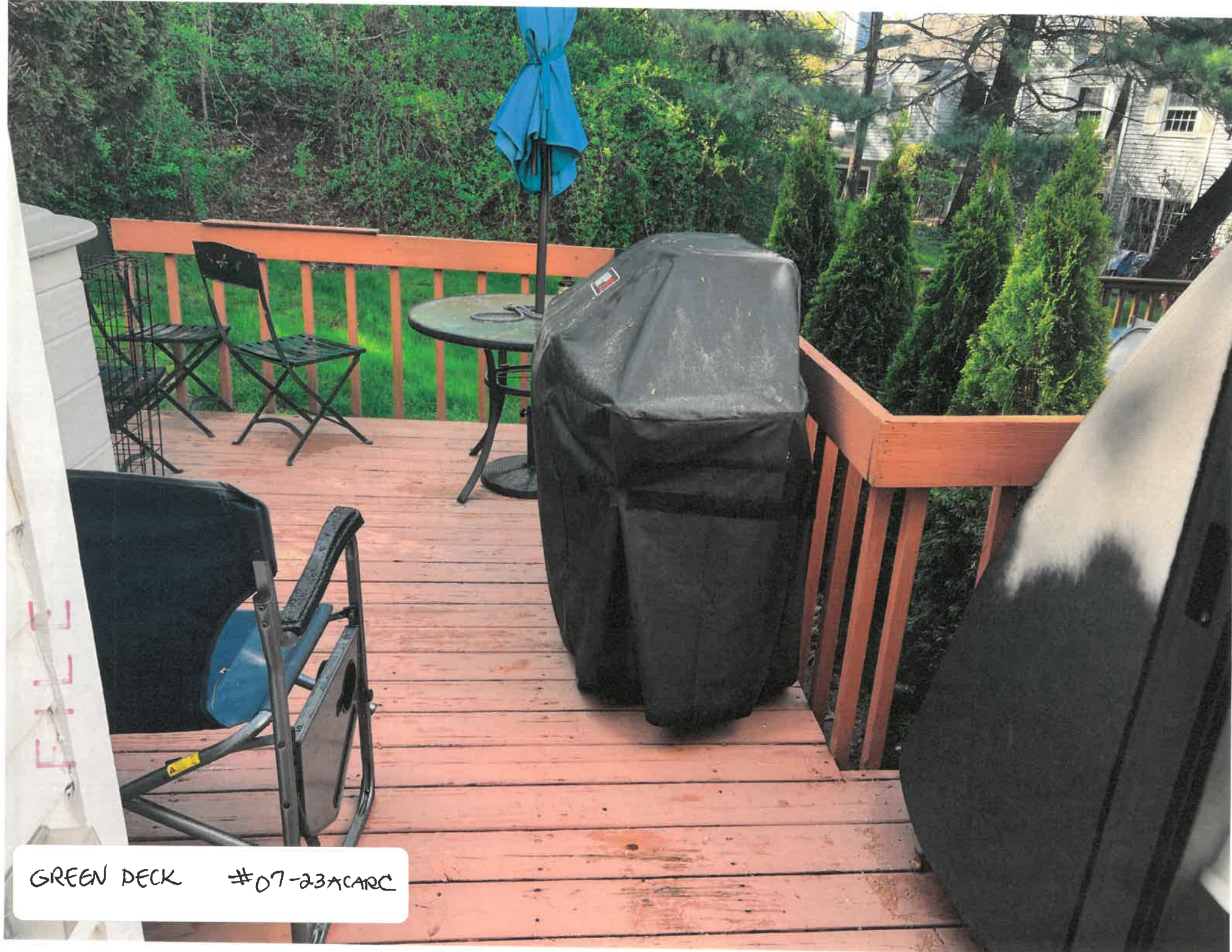
1. Your deck must match the scope of work and options presented in your most recent modification request submitted on December 10, 2022.
2. Homeowners are responsible for ensuring the installed deck is consistent in appearance to other approved decks in the community.
3. Should this installation potentially impact the common areas or neighboring homeowners, we must be notified in advance of installation.
4. This installation must be installed by a properly licensed and insured contractor.
5. No construction debris is permitted to be disposed of in the Community dumpsters.
6. Any and all damage to the common elements as a result of this installation will be the homeowner's responsibility to repair.
7. Homeowner is responsible for obtaining any necessary Building Permits and adhering to any and all local Building codes.
8. All construction must take place during normal business hours.

This approval is based on the stipulations listed above and the modification request you submitted. Failure to adhere to the above specifications voids this approval. If you are concerned about or have questions regarding any of the conditions listed above, please contact us prior to any construction taking place. We may be contacted through our Managing Agent, Scalzo Property Management via email at jkeller@scalzoproperty.com or by phone at 203-790-6888.

Sincerely,

Board of Directors

Board of Directors
Meadows at Cross River Condo II



GREEN DECK #07-23ACARC



- Notes:
- 1) For Sanitary Sewer Pipe Types & Inverts See Sheet # 11
 - 2) For Drainage Pipes, Profiles, Etc. See Sheet # 10
 - 3) For Water, San Sewer, Drainage & Misc. Details See Sheet # 13
 - 4) Sanitary Sewer Lines may be C.I.P. or P.V.C. See bedding Detail for both types. Between Manholes the type of pipe must never change.

REVISION
July 17-85 Units layout & grading changed
Nov 21-85 Sewer line revised
Feb 24-86 Building No. changed
Oct 2-1986 Elimination of garages

PROPOSED DECK ADDITION
TO THE
GREEN RESIDENCE
114 WILLIAM COURT, CROSS RIVER, N.Y.

THE MEADOWS at CROSS RIVER
CROSS RIVER, N.Y. TOWN OF LEWISBORO

WILLOW COURT
GRADING, DRAINAGE & UTILITIES
PHASE II

BRUCE P. HELMES A.I.A. ... ARCHITECT
117 VALLEY ROAD KATONAH NEW YORK 10536
CHAS. H. SELLS, INC. ... CONSULTING ENGINEERS
550 BEDFORD ROAD BEDFORD HILLS NEW YORK 10507

SHEET
8
13

RICHARD D. KILPATRICK
+ WOODBY R. L. PARR
ARCHITECTS, INC. 12921
RICHARD@KILPATRICK.COM
845-531-9339
4-16-23
Lewisboro Planning Board
Chairman Paul A. Lewis
2/5/86
City of Lewisboro

GREEN RESIDENCE

List of Drawings:

A1 : Title Sheet & Plans

A2 : Elevations

A3 : Sections

NOTE:
PROPOSED RENOVATION/ADDITION HAS BEEN DESIGNED TO COMPLY WITH
INTERNATIONAL RESIDENTIAL CODE 2020N ALONG WITH NY STATE BUILDING STANDARDS 2020
UNIFORM CODE SUPPLEMENT.

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND- BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30 PSF	115	NO	NO	NO	B	SEVERE	42"	MODERATE TO HEAVY	15 DAY	YES	4/24/84 REV 11/1/07	1500	48.5°

P.T. 2X8 LEDGER FASTENED TO RM JOIST OF EXISTING RESIDENCE WITH 3 5/8" LONG LEDGERLOK LAG SCREWS @ 8" O.C. STAGGERED

'SIMPSON' DTT12 LATERAL TIE

'SIMPSON' METAL SURFACE MOUNTED BEAM HANGER (TYPICAL) P.T. (2) 2X8

EXISTING BASEMENT

'SIMPSON' DTT12 LATERAL TIE

EXISTING CONCRETE FOUNDATION WALL

EXISTING CANTILEVERED FIREPLACE

2x8 P.T. JOISTS @ 16" O.C.

2x8 P.T. JOISTS @ 16" O.C.

P.T. (2) 2X8 HEADER

'SIMPSON' METAL SURFACE MOUNTED BEAM HANGER (TYPICAL)

10'-0"

8'-7"

P.T. (3) 2X10 GIRDER (DROPPED)

10" DIAMETER POURED CONCRETE FOOTING (MIN. 3,000 PSI)

CANT.

10" DIAMETER POURED CONCRETE FOOTING (MIN. 3,000 PSI)

6" THICK POURED CONCRETE LANDING REINFORCED WITH 12"x12" GRID OF #4 REBAR

10'-7"

5'-0"

10" DIAMETER POURED CONCRETE FOOTING (MIN. 3,000 PSI)

ALIGN NEW DECK WITH EXISTING NEIGHBOR'S DECK

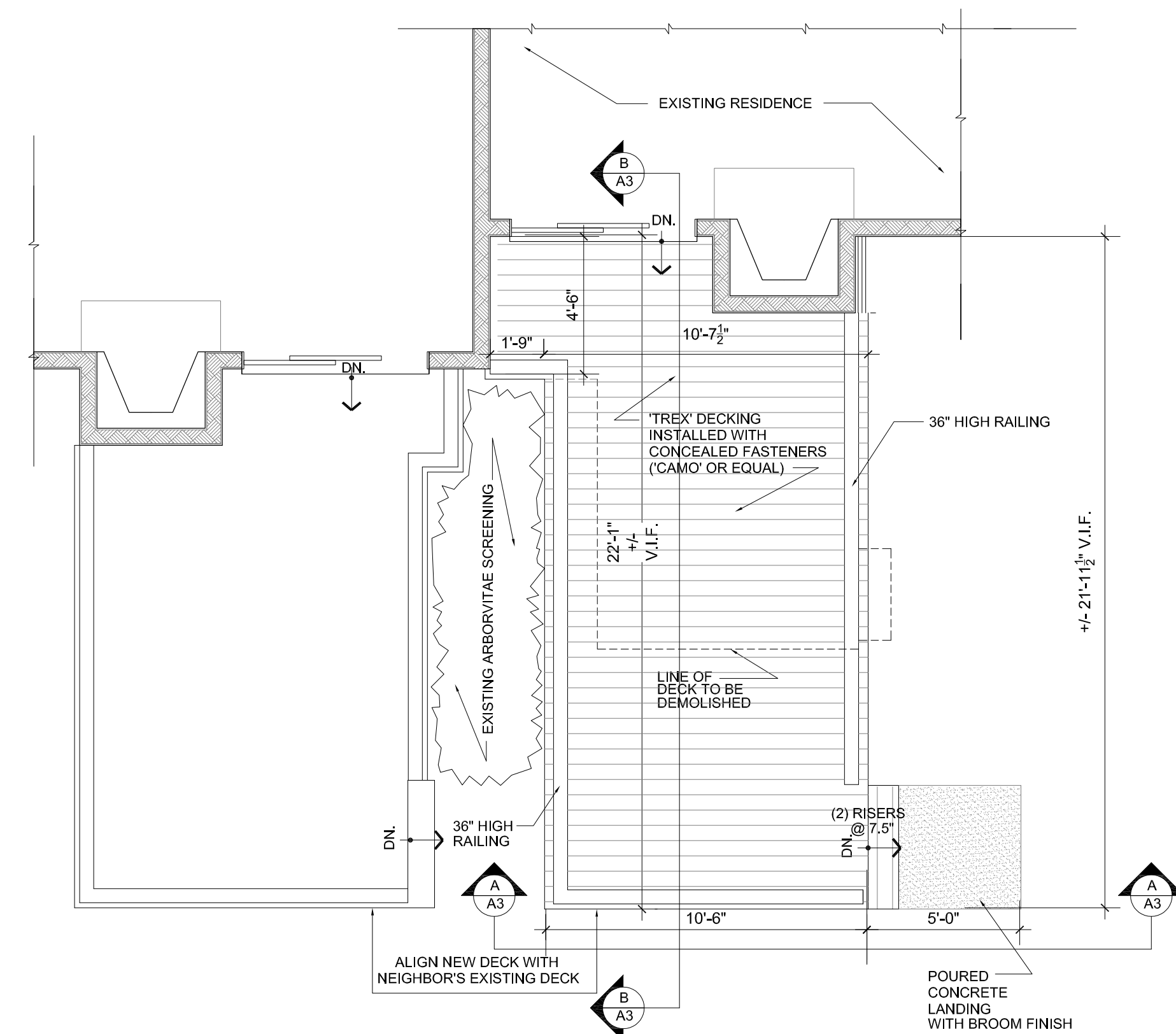
A A3

B B3

+/- 22'-1" V.I.F.

Deck Foundation / Framing Plan

1/4" = 1'-0"



Deck Plan

1/4" = 1'-0"

Richard Vail,
Architect
4 Mooney Hill Road
Holmes, N.Y.
12531
(845) 531-9339

Proposed Deck Addition to the Green Residence

114 Willow Court, Cross River, N.Y.



Title Sheet
& Plans

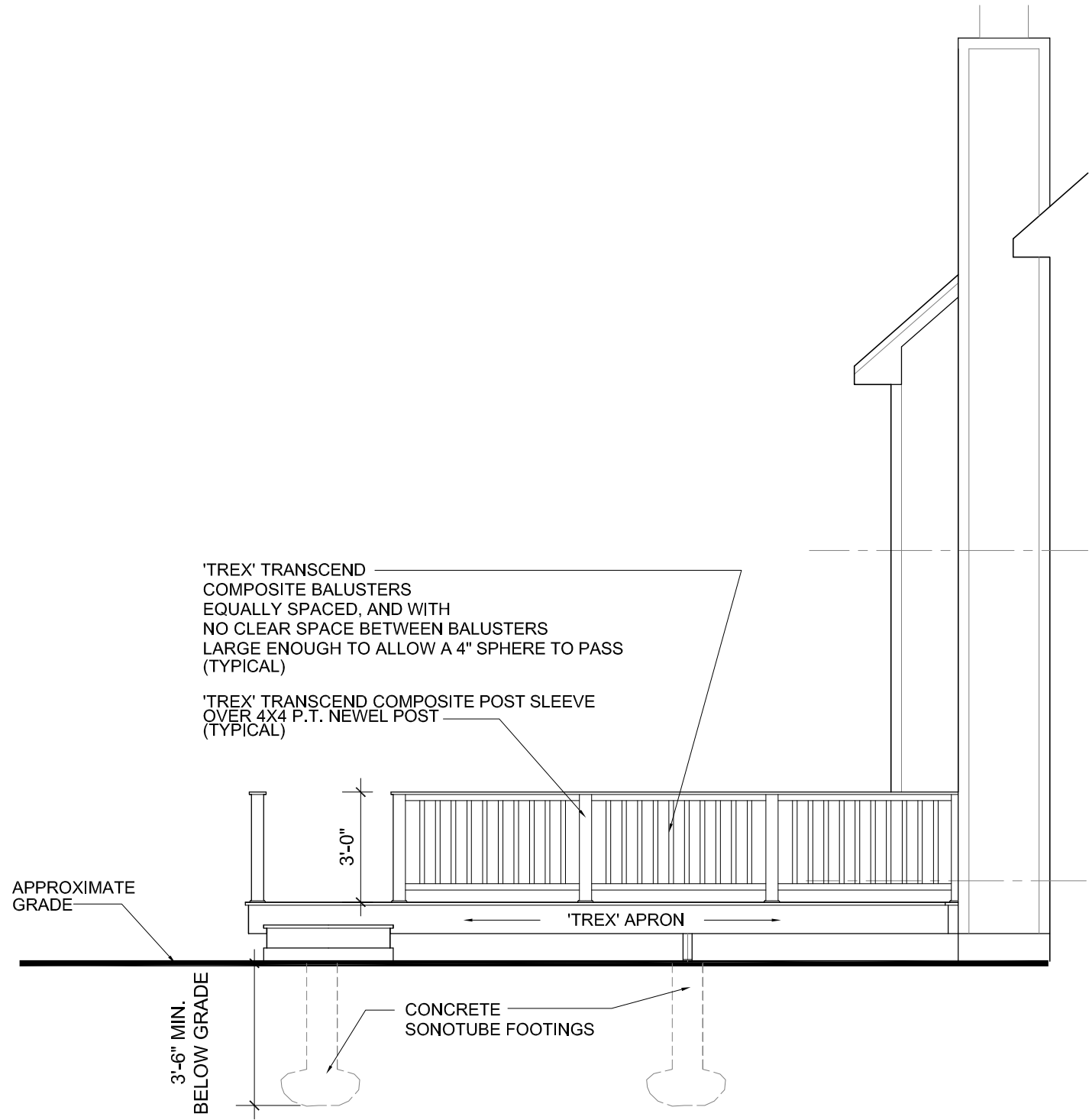
12-8-22

Sheet
A 1



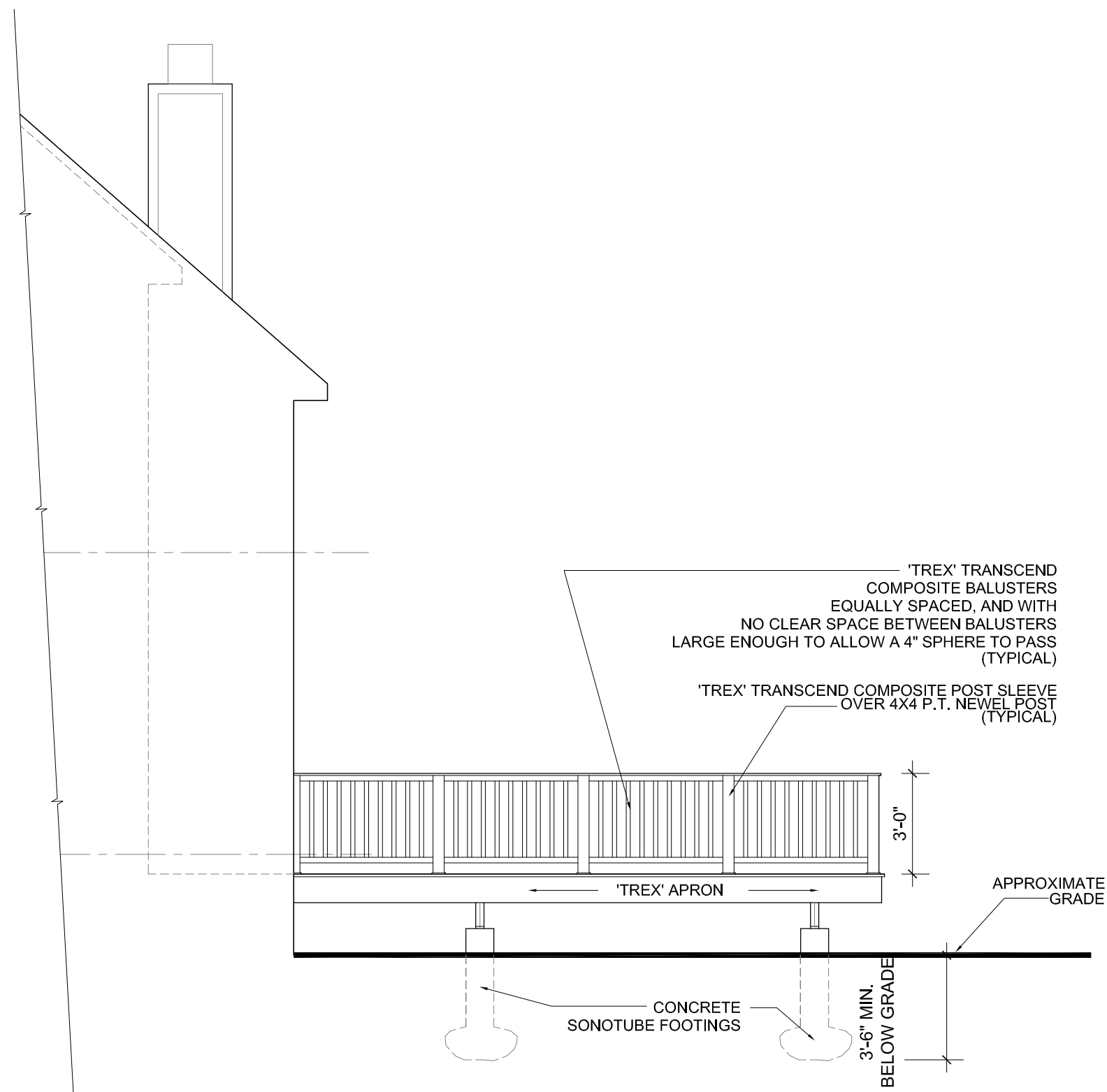
South Elevation

1/4" = 1'-0"



East Elevation

1/4" = 1'-0"



West Elevation

1/4" = 1'-0"



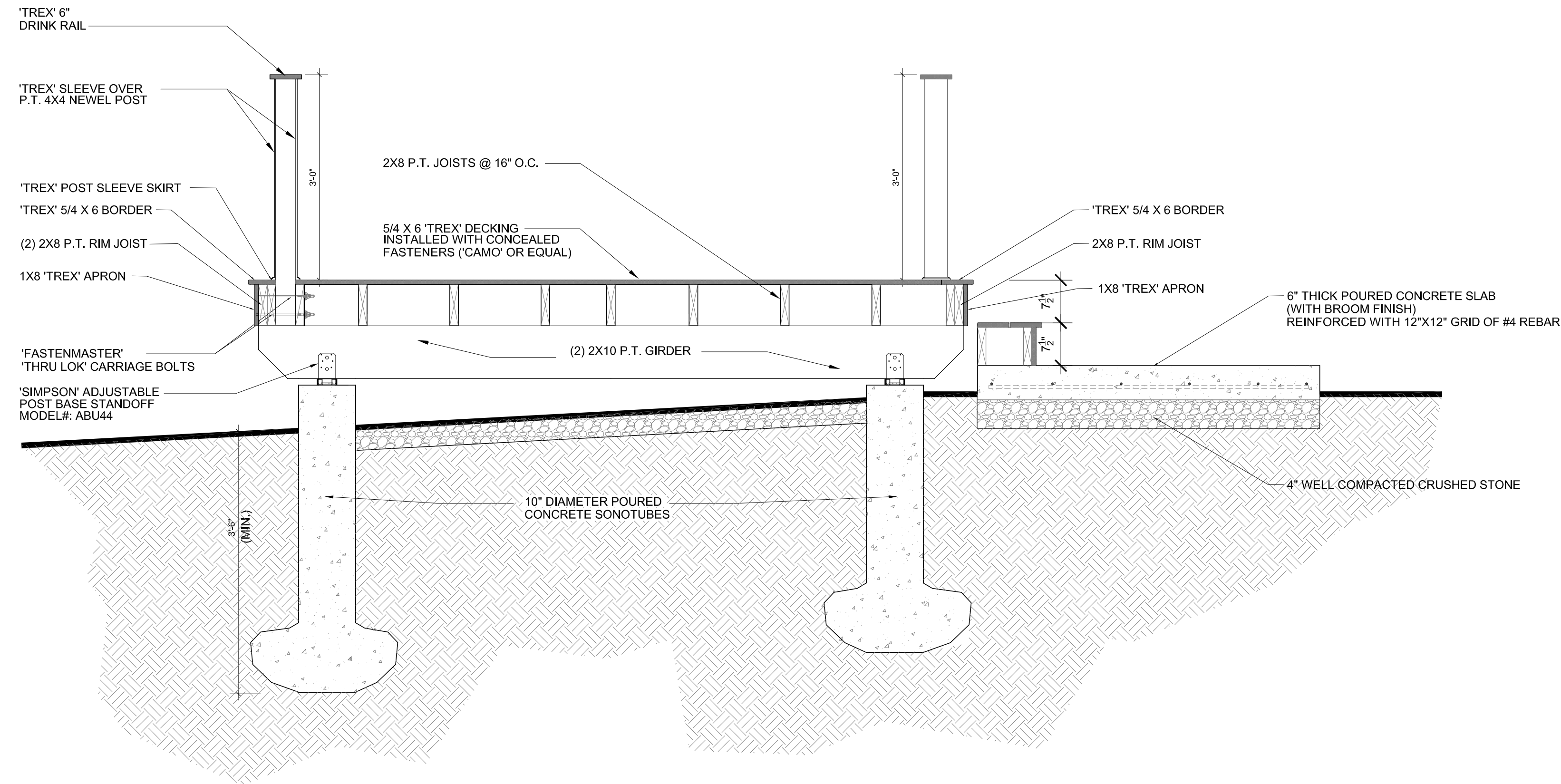
Elevations

12-8-22

Sheet
A 2

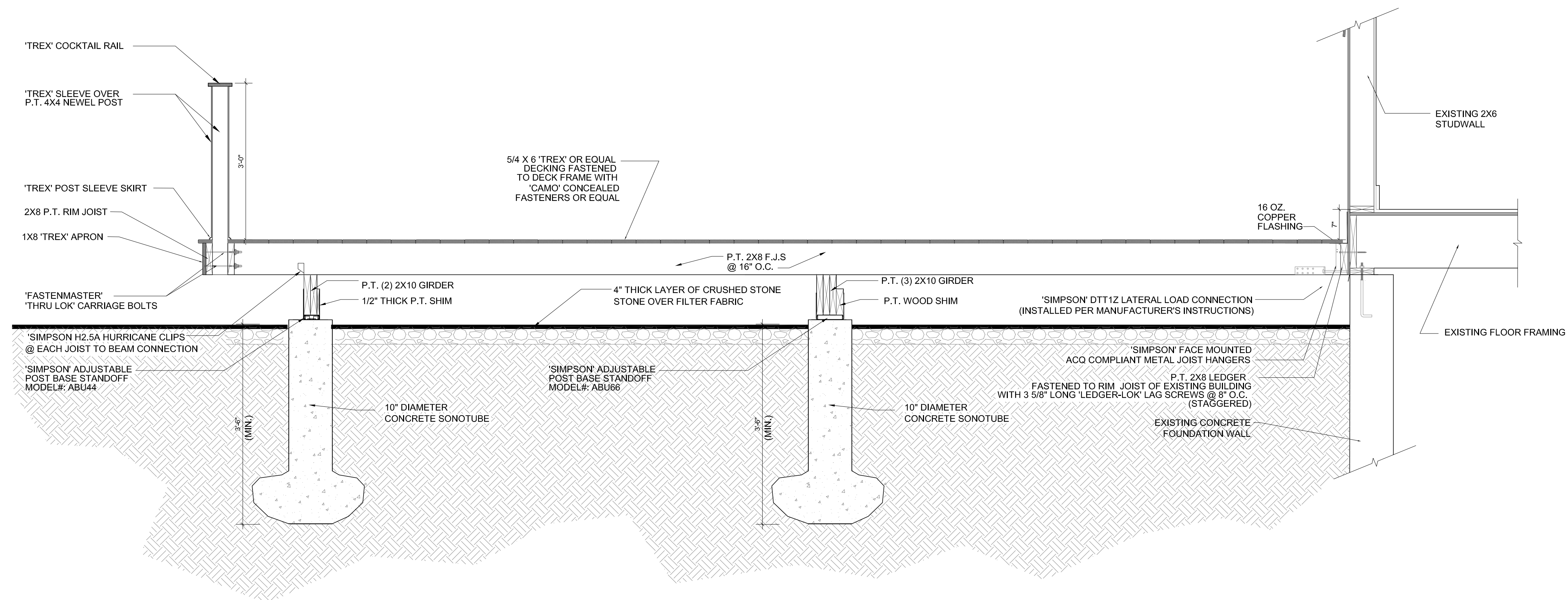
Richard Vail,
Architect
4 Mooney Hill Road
Holmes, N.Y.
12531
(845) 531-9339

Proposed Deck Addition
to the
Green Residence
114 Willow Court, Cross River, N.Y.



A Cross Section through Deck

3/4" = 1'-0"



B Cross Section through Deck

3/4" = 1'-0"

Richard Vail,
Architect
4 Mooney Hill Road
Holmes, N.Y.
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(845) 531-9339

Proposed Deck Addition
to the
Green Residence
114 Willow Court, Cross River, N.Y.



Sections

12-8-22

Sheet
A 3