

AGENDA PACKET

MAY 16, 2023 MEETING

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TOWN OF LEWISBORO
Westchester County, New York



Planning Board
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-5592
Fax: (914) 875-9148
Email: planning@lewisborogov.com

AGENDA

Tuesday, May 16, 2023

Courtroom at 79 Bouton Road

Meeting will start at 7:30 p.m. and end at or before 11:00 p.m.

I. EXTENSION OF TIME REQUESTS

Cal #07-21PB

Cross River Pharmacy, 890 Route 35, Cross River, NY 10518; Sheet 20, Block 10801, Lot 30 (Central Ave., White Plains, LLC., owner of record) - Extension of time request for a Change of Use Permit Approval and Waiver of Site Development Plan Procedures granted in the above-referenced application on October 19, 2021; current expiration date was April 19, 2023.

Cal #03-22PB

Arbor Hills Water System, 0 Brundige Drive, Goldens Bridge, NY 10526; Sheet 12, Block 11152, Lot 200 (Arbor Hill Waterworks, Inc, owner of record) - Extension of time request for the Site Development Plan Approval granted in the above-referenced application on May 17, 2022; current expiration was May 17, 2023.

Cal #09-22PB

Indian Hills Water System, 0 Apache Circle, Katonah, NY 10536; Sheet 10, Block 11152, Lot 189 (Waccabuc Water Works, Inc, owner of record) - Extension of time request for the Site Development Plan Approval granted in the above-referenced application on June 21, 2022; current expiration is June 21, 2023.

II. PUBLIC HEARINGS

Cal #06-22PB, Cal #05-22WP, Cal #03-22SW

Waccabuc Country Club Snack Bar, 18 Perch Bay Road, Waccabuc, NY 10597; Sheet 25A, Block 10813, Lot 1 & 0 Tarry-A-Bit Lane, Waccabuc, NY 10597; Sheet 25, Block 11155, Lot 148 (Waccabuc Country Club Co., owner of record for both lots) - Application for beachfront improvements including renovation of the boathouse, construction of a pavilion, replacement of the snack bar, and installation of accessible parking and walkways.

Cal #16-22PB

ATC Tower, 0 Route 35 (Leon Levy Preserve), South Salem, NY 10590; Sheet 40, Block 10263, Lot 62 (American Towers Corp., owner of record) - Application for a special use permit renewal.

III. DECISION

Cal #08-21PB

Oakridge Common, 920 Oakridge Common, South Salem, NY 10590; Sheet 49D, Block 9829, Lot 10 (Smith Ridge Housing, LLC, owner of record) – Application for a change of use from restaurant to residential.

IV. SITE DEVELOPMENT PLAN REVIEW

Cal #02-23PB

20 Boutonville LLC Horse Farm, 20 Boutonville Road South, Cross River, NY 10518; Sheet 18, Block 10526, Lot 10 (20 Boutonville LLC, owner of record) - Application for a Waiver of Site Development Plan Procedures for an existing horse farm.

Cal #04-23PB

Green deck, 114 Willow Court, Cross River, NY 10518; Sheet 17B, Block 10533, Lot 314 (Wendy & Josh Green, owners of record) – Application for enlarging an existing deck in a multi-family zone.

Cal #06-17PB

Wolf Conservation Center, Buck Run, South Salem, NY 10590; Sheet 21, Block 10803, Lots 3, 65, 67, 81, 82, 83, 86 & 88 (Wolf Conservation Center, owner of record) - Application for a Subdivision and Special Use Permit associated with a private nature preserve.

V. WETLAND PERMIT REVIEW

Cal #41-22WP, Cal #20-22SW

Nelson Residence, 30 Gideon Reynolds Road, Cross River, NY 10518; Sheet 16, Block 10533, Lot 515 (John & Christina Nelson, owners of record) – Application for a pool, patio and plantings.

Cal #34-22WP, Cal #01-21WV

Maple Tree Farm, 400 Smith Ridge Road, South Salem, NY 10590; Sheet 24, Block 9831, Lot 49B (Maple Tree Farm, LLC, owner of record) - Application for remediation of wetlands.

Cal#15-23PB

Rose patio, 15 Truesdale Lake Drive, South Salem, NY 10590; Sheet 36L, Block 10815, Lot 30 (Ellen & Robert Rose, owners of record) – Application for a patio.

Cal#18-23WP, Cal#07-23SW

Altholz driveway, 327 Waccabuc Road, Goldens Bridge, NY 10526; Sheet 7, Block 11137, Lot 30 (Michelle & Michael Altholz, owners of record) – Application for a driveway.

Cal#16-23WP

Catalano dock, 30 Twin Lakes Road, South Salem, NY 10590; Sheet 34A, Block 11831, Lot 15 (Agnes Catalano and Teresa Martens, owners of record) – Application for a dock.

Cal #19-23WP, Cal#08-23SW

Berk and Silvan Residence, 80 Ridgefield Ave, South Salem, NY 10590; Sheet 29, Block 10553, Lot 118 (Marnie Berk & Jon Silvan, owners of record) – Application for a patio and walkway.

VI. WETLAND VIOLATION

Cal #01-23WV

Ference and Malan Residence, 72 Chapel Road, Waccabuc, NY 10597; Sheet 30, Block 10802, Lot 23 & Ashley Ference & Michael Malan, owners of record)

VII. SITE VISIT REPORT

Cal #09-19WP, Cal #05-19SW

Kranz vacant land, 0 Elmwood Road, South Salem, NY 10590, Sheet 43, Block 10302, Lot 23 (Alexander Kranz, owner of record) – Application for a single-family residence, driveway, septic system and well.

VIII. CORRESPONDENCE

Ridgefield, CT Planning and Zoning Commission to amend its Town Code §2.2 and §7.3.D.4 related to electric vehicles charging stations.

IX. MINUTES OF April 18, 2023.


X. NEXT MEETING DATE: June 20, 2023.

XI. ADJOURN MEETING.

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Building Department

FROM: Jan K. Johannessen, AICP 
Joseph M. Cermele, P.E., CFM
Town Consulting Professionals

DATE: May 12, 2023

RE: John & Kristina Nelson
30 Gideon Reynolds Road
Sheet 16, Block 10533, Lot 515

PROJECT DESCRIPTION

The subject property consists of ±1.091 acres of land and is located at 30 Gideon Reynolds Road within the R-1A Zoning District. The subject property is developed with a single-family residence and is connected to a central water and sewage system developed as part of the original subdivision (Michelle Estates). The applicant is proposing to remove an existing deck and flagstone walkways at the rear (south) of the house and is proposing the installation of an inground pool, patio, shed, walls, fencing, utility connections, drainage and mitigation. A wetland jurisdictional to the Town of Lewisboro and the New York State Department of Environmental Conservation (NYSDEC) is located at the rear of the property and the majority of the site improvements are located within the Town's 150-foot regulated buffer.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. A Wetland Activity Permit and a Town Stormwater Permit are required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

Chairperson Janet Andersen

May 12, 2023

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2. An Article 24 Freshwater Wetland Permit is required from the New York State Department of Environmental Conservation (NYSDEC).
3. The applicant acknowledges that the subject property is located within the NYC East of Hudson Watershed and proposed land disturbance exceeds 5,000 s.f. Coverage under New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001) will be required.

COMMENTS

1. The applicant acknowledges that land disturbance is proposed to exceed $\geq 5,000$ s.f. and will therefore require conformance with NYSDEC SPDES General Permit (GP-0-20-001) and filing of a Notice of Intent (NOI) and MS4 Acceptance Form with the NYSDEC. The applicant has submitted a SWPPP, but it is incomplete. The SWPPP shall be prepared in accordance with Chapter 189 of the Town Code and the NYSDEC SPDES General Permit (GP-0-20-001). Our office will review the final document once it is completed.
2. The stormwater calculations located on Sheet C-001.00 specify a rainfall total for the 25-year, 24-hour rain event as 5.76". The rainfall amount is 6.38", per the Extreme Precipitation Tables Northeast Regional Climate Center. Please correct your calculations and update the stormwater systems if necessary.
3. As previously noted, proposed grading throughout the entire development area should be illustrated on the plan, as well as spot grading on the terrace to demonstrate adequate collection of stormwater runoff. Top and bottom elevations of all proposed walls shall be identified on the plan. There does not appear to be any top and bottom wall elevations aside from a couple top wall elevations.
4. As previously noted, the applicant shall perform deep and percolation soil testing in the vicinity of both proposed mitigation systems to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact this office to schedule the testing.
5. The applicant shall update the stormwater calculations, as may be needed, based on the results of the soil testing, which will be witnessed by the Town Engineer.
6. The overflow pipe associated with the eastern stormwater system needs to be connected to the units. Please correct.
7. The plan shall illustrate a stabilized construction entrance and include it in the limits of disturbance. The existing driveway will not remove silt from construction vehicles. We recommend installing

Chairperson Janet Andersen

May 12, 2023

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the construction entrance off the existing driveway turnaround. Provide details of the Stabilized Construction Entrance.

8. Provide details of the proposed Level Spreader.
9. The plan shall detail how the proposed shed roof stormwater will be treated. Are you proposing that the leaders connect to the proposed stormwater mitigation system?

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY MARCHETTI CONSULTING ENGINEERS, DATED MARCH 29, 2023:

- Stormwater Management Plan and Details (C-001.00)
- Storm System Chambers Details (C-002.00)

PLANS REVIEWED, PREPARED BY A2 LAND CONSULTING, LLC, DATED APRIL 13, 2023:

- Site Plan (L1)
- Notes & Details (L2, L3)
- Adjacent Property Owner Plan (L4)

DOCUMENTS REVIEWED:

- Letter, prepared by Abigail Adams, dated April 14, 2023
- Wetlands Survey Report, prepared by Paul J. Jaehni, dated August 3, 2020
- NYSDEC Freshwater Wetlands Permit, dated December 23, 2022
- Stormwater Pollution Prevention Plan Report, prepared by Marchetti Consulting Engineers, dated April 12, 2023

JKJ/dc



30 Rocky Hill Rd.
New Fairfield, CT 06812

PHONE 845.531.1504
EMAIL abigail@a2land.com
WEB SITE www.a2land.com

April 14, 2023

Jan K. Johannessen, AICP
Kellard Sessions
500 Main Street
Armonk, NY 10504

Re: 30 Gideon Reynolds Road

Dear Jan,

We are in receipt of your memorandum dated January 12, 2023. Please see our responses below in black bold italics.

REQUIRED APPROVALS/REFERRALS

1. A Wetland Activity Permit and a Town Stormwater Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit. ***Applications submitted.***
2. An Article 24 Freshwater Wetland Permit is required from the New York State Department of Environmental Conservation (NYSDEC). ***Permit received. See attached.***
3. The subject property is located within the NYC East of Hudson Watershed and proposed land disturbance exceeds 5,000 s.f. Coverage under New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001) will be required. ***Marchetti Consulting Engineers is submitting for this permit.***

COMMENTS

1. This office defers review of the plan for zoning compliance to the Building Inspector. It is recommended that the application be referred to the Building Inspector for review. ***No Comment***
2. The plan shall include a Bulk Zoning Table comparing the requirements of the underlying Zoning District to the existing and proposed conditions; required variances and existing nonconformities shall be noted in the table. ***A Bulk Zoning Table has been added to the Site Improvement plan set.***
3. On-site wetlands are jurisdictional to the New York State Department of Conservation (NYSDEC) and the wetland boundary must be verified and validated by same. Please submit a Wetland Boundary Map, including a fully executed copy of the NYSDEC Wetland Validation Block. ***Enclosed for your record.***



4. Wetland mitigation proposed appears to be appropriate for the project. It appears that there are two (2) site plans/landscaping plans, prepared by two (2) different firms, with conflicting information. Please identify if the plan prepared by Middleleer Land Design, LLC is applicable. *The only plans submit as part of this current application were those prepared by A2 Land Consulting. They override any plans prepared by Middleleer Land Design.*
5. The applicant shall submit a Wetland Report, which shall contain the information required under Sections 217-5 and 6 of the Town's Wetland Ordinance. *Attached is a copy of the Wetland Survey prepare by Paul J. Jaehnig, dated August 3, 2020.*
6. Land disturbance is proposed to exceed $\geq 5,000$ s.f. and will therefore require conformance with NYSDEC SPDES General Permit (GP-0-20-001) and filing of a Notice of Intent (NOI) and MS4 Acceptance Form with the NYSDEC. Submit draft copies to this office for review. *Marchetti Engineering is preparing documentation and will provide copies for your review.*
7. Proposed grading throughout the entire development area should be illustrated on the plan, as well as spot grading on the terrace to demonstrate adequate collection of stormwater runoff. Top and bottom elevations of all proposed walls shall be identified on the plan. *See revised plans prepared by Marchetti Consulting Engineers for updated and detailed grading.*
8. The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact this office to schedule the testing. *Percolation data and deep hole data has been added to the plan prepared by Marchetti Consulting Engineers.*
9. The stormwater mitigation calculations on Sheet C-001.00 indicate that the total acreage of the property is 0.091 acres. This should be adjusted to reflect the actual acreage of the property at 1.091 acres. *This has been corrected on the plans.*
10. The applicant has provided stormwater mitigation and design calculations for the runoff generated by the net increase in impervious surface for the 25-year, 24-hour storm event. The applicant shall update the calculations, as may be needed, based on the results of the soil testing. The applicant shall also provide calculations for the volume required to store a 6-inch pool drawdown without the benefit of percolation. The system shall be sized to accommodate the larger of the two volumes. *This has been revised and shown on the plans.*
11. The plan shall include all pipe sizing, material, rim and invert elevations, etc., associated with all stormwater management practices. *This has been added to the plans.*



12. The plan shall illustrate a stabilized construction entrance and include it in the limits of disturbance. *Construction access will be the driveway and not increase land disturbance.*
13. The plan shall illustrate the connection of the pool equipment and the infiltration practice (or note the means and discharge point if by sump pump) for seasonal drawdown purposes. *This has been shown on the plans.*
14. The proposed stormwater practice shall include an emergency overflow and stabilized outfall. Provide details. *This has been provided on the updated plans.*
15. All proposed walkways, decks, patios, utility pads, generators, propane tanks, etc., shall be illustrated. It seems that some of these features are called out but not shown. *Clarified.*
16. The plan shall note that disturbance limits shall be staked in the field prior to construction. *This note has been added to the plan set prepared by A2 land Consulting, LLC.*
17. The names of the adjacent property owners and the location of any neighboring driveways, structures, and buildings shall be illustrated on a plan. *This information has been added to Sheet L4 of the plan set prepared by A2 Land Consulting, LLC*

We trust that these responses are satisfactory and that the permit for this project is forthcoming.

Sincerely,



A2 Land Consulting, LLC
Principal

Encl.

CC: Bob Sullivan, Belmont Land Design
Josh Marchetti P.E., Marchetti Engineering
Town of Lewisboro Building Inspector



Wetlands Survey

The Nelson Site
30 Gideon Reynolds Road
Tax ID 42.3 - 1 - 49

Lewisboro, NY

An Approx. 1.091 Acre Area Site

Prepared for
John Nelson

Aug. 3, 2020



20nelson.30gideonreynoldsrd.lewisboronywlrep

Introduction

A wetland investigation was completed Aug. 3, 2020 on property identified as 30 Gideon Reynolds Road in the Town of Lewisboro, by Paul J. Jaehnig, Certified Professional Geologist, Soil Scientist, and Wetland Scientist. The work consisted of the taking of soil borings to identify the presence of wetland or hydric soils, and the marking or flagging of the wetlands boundary. The work was conducted in accordance with the Town of Lewisboro Wetland Law. The work was done at the request of the property owner and client John Nelson.

Site Description

The property is an approx. 1.091 acre site situated on the south side of Gideon Reynolds Road. The site is situated in an established residential neighborhood, where residences are commonly hidden from neighboring residences by narrow tracts of woodlands or landscape plantings. The property consists of: a residence; surrounding lawn; and woodlands. A large wetland area abuts the southern property line (see enclosed *Wetland and Soils Map* and *photos 1-8* in Appendix I).

Slopes across the site vary from gently sloping and nearly level to steep sloping. Nearly level to gently sloping areas cover the northern and central portions of the site. Steep sloped areas are on the southern portion of the site. The site slopes down to the south. Slopes along the driveway and around the residence have topography modified slightly by past man-made work carried-out in the development of the site.

A paved driveway with Belgian block curbing comes in off of the south side of Gideon Reynolds Road and into the northwest corner of the site (see *photo 1* in Appendix I). The driveway continues straight in southerly direction for approx. 80 ft. before widening to form a vehicle parking area. The residence is located to the east of the parking area, and is on the central-northern portion of the site (see *photo 2* in Appendix I).

Lawn covers the northern and central portions of the site (see *photos 2 & 3* in Appendix I). There is an abrupt slope change along the southern edge of the lawn where the nearly level lawn transitions to steep sloped woodlands to the south (see *photo 4* in Appendix I).

Non-wetland woodlands are on the southern portion of the site (see *photo 5* in Appendix I). Woodlands have a tree canopy of beech, white oak, and a few ironwood near the southernmost end of woodlands; open understory; and sparse garlic mustard herbaceous growth. Twig and leaf litter covers the woodland floor.

Wetlands / Watercourse

Introduction

The wetlands boundary was delineated in the field by consecutively numbered flagging (WL-A-1, WL-A-2, etc. and plotted onto the enclosed *Wetland and Soils Map*.

Wetlands Description

A level and large swampland is on the southern property; it extends to the south and beyond the site (see *photo 6* in Appendix I). The wetland is poorly drained on the outer

portions, and very poorly drained in the core wetland area. The micro-topography is weakly to moderately developed, in the core portion. There is little to no micro-topography in the outermost portions of the wetland. Wetlands drain in an easterly direction. There is a recognizable topographic break where the steep sloped non-wetland woodlands meet the nearly level swampland (see *photo 7* in Appendix I).

The swampland has a tall and shady canopy of widely-spaced red maples with very shallow and exposed roots, and more buttressed roots as one continues south into the core portion of the wetland. A few river birches grow in the outer portion of the wetland. The understory is thin to absent, with clusters of barberry and a few spicebush shrubs and high-bush blueberry. Herbaceous cover consists of common skunk cabbage, few cinnamon fern, and few royal fern. Sphagnum moss covers many slight hummocks in the core portion of the wetland.

Approx. 200 ft. south into the wetland is an associated watercourse with channel approx. 5 to 6 ft. wide, 2 ft. deep, and carrying approx. 6 to 8 inches deep water at this time (see *photo 8* in Appendix I).

Wetland Buffers

Steep sloped woodlands on the Nelson site border the north side of the wetland.

Wetland Functions

The large wetland area to the south of the site provide a number of wetland functions. The wetland is in part a large groundwater recharge area because of its level topography and micro-topography development designed to retain run-off and precipitation. Excess surface drainage and shallow ground-water may support the associated watercourse. The outer edges of the wetland trap any sediment influx that may be carried down steep woodlands to the north, and in this capacity provide some water quality function. The portion of the swampland in close proximity to the watercourse may provide some flood control function should the watercourse overtop its banks during prolonged rainfall periods. Wetlands on the site also provide a large wildlife habitat area. These wetlands are mainly traversed by deer, raccoon, squirrel, and coyote in search of food. Small song birds may utilize the surrounding woodlands for nesting opportunities. Those small pockets of nearly level wetland area may provide habitat area for wood frogs.

The watercourse serves as a conduit to convey excess surface drainage build-up in the swampland to other wetland systems at lower elevation points within the watershed, and ultimately to Cross River Reservoir.

NYS Dept. of Environmental Conservation (NYSDEC) Wetlands Jurisdiction

The wetlands on the site are a portion of NYSDEC regulated wetland "*L-17*" according to a review of their published maps (see *NYSDEC Wetland Map* in Appendix II).

Regional Drainage

Drainage is directed south and east away from the site, flowing through the large swampland located to the south of the site. Drainage from this swampland continues northeast and then south along a defined watercourse ultimately flowing into the Cross River Reservoir, located approx. 0.5 mile to the south of the site (see *Regional Drainage Map* in Appendix III).

Soils

Shallow soil borings were taken using a spade and Dutch auger at selected locations throughout the site in order to identify wetland soils. Soil boring locations (SS-1, SS-2, etc.) were plotted approx. on the enclosed *Wetland and Soils Map*. Soil borings were logged noting soil profile color, texture, redoximorphic (wetland soil) indicators, and water table. Detailed descriptions of soil borings are provided in Appendix IV.

Soils encountered in the study area include: non-wetland, excessively drained Hinckley gravelly loamy sand (HnB), slopes 3 to 8 %, in the undisturbed, gently sloped lawn area of the site; non-wetland, excessively drained Hinckley gravelly loamy sand (HnD), slopes 8 to 25 %, in the undisturbed, steep sloping woodlands toward the southern portion of the site; non-wetland, well drained Udorthents soils (Ud), slopes varied, to describe areas around the residence, yard, and along the driveway, where there has been past soil, cut, fill, and grading carried-out by man; wetland, very poorly drained Fluvaquents (Ff), slopes 0 to 1 %, in the undisturbed wetlands adjacent to the watercourse located well to the south of the site; wetland, poorly drained Fredon silt loam (Fr), slopes 0 to 3%, in the undisturbed, gently sloping outer portion of the wetlands; and wetland, very poorly drained Palms muck and silt loam (Pa), slopes 0 to 1 %, in the undisturbed, level, core portions of the large swampland. The distribution of these soil-types is depicted on the enclosed *Wetland and Soils Map*.

Appendix I

Selected Site Photos



Photo 1 Looking southeast from edge of road, across driveway, and towards the front of the residence.



Photo 2 Looking southwest across front yard lawn and toward the residence.

Aug. 2020- The Nelson Site, 30 Gideon Reynolds Road, Lewisboro, NY



Photo 3 Looking northeast across level backyard lawn and toward residence.



Photo 4 Looking west and across break in slope where level backyard lawn meets steep sloped woodlands.
2020- The Nelson Site, 30 Gideon Reynolds Road, Lewisboro, NY



Photo 5 Looking west across slope toward steep sloped woodlands on the southern portion of site.



Photo 6 Looking north across level swampland to the south of the site.

Aug. 2020- The Nelson Site, 30 Gideon Reynolds Road, Lewisboro, NY



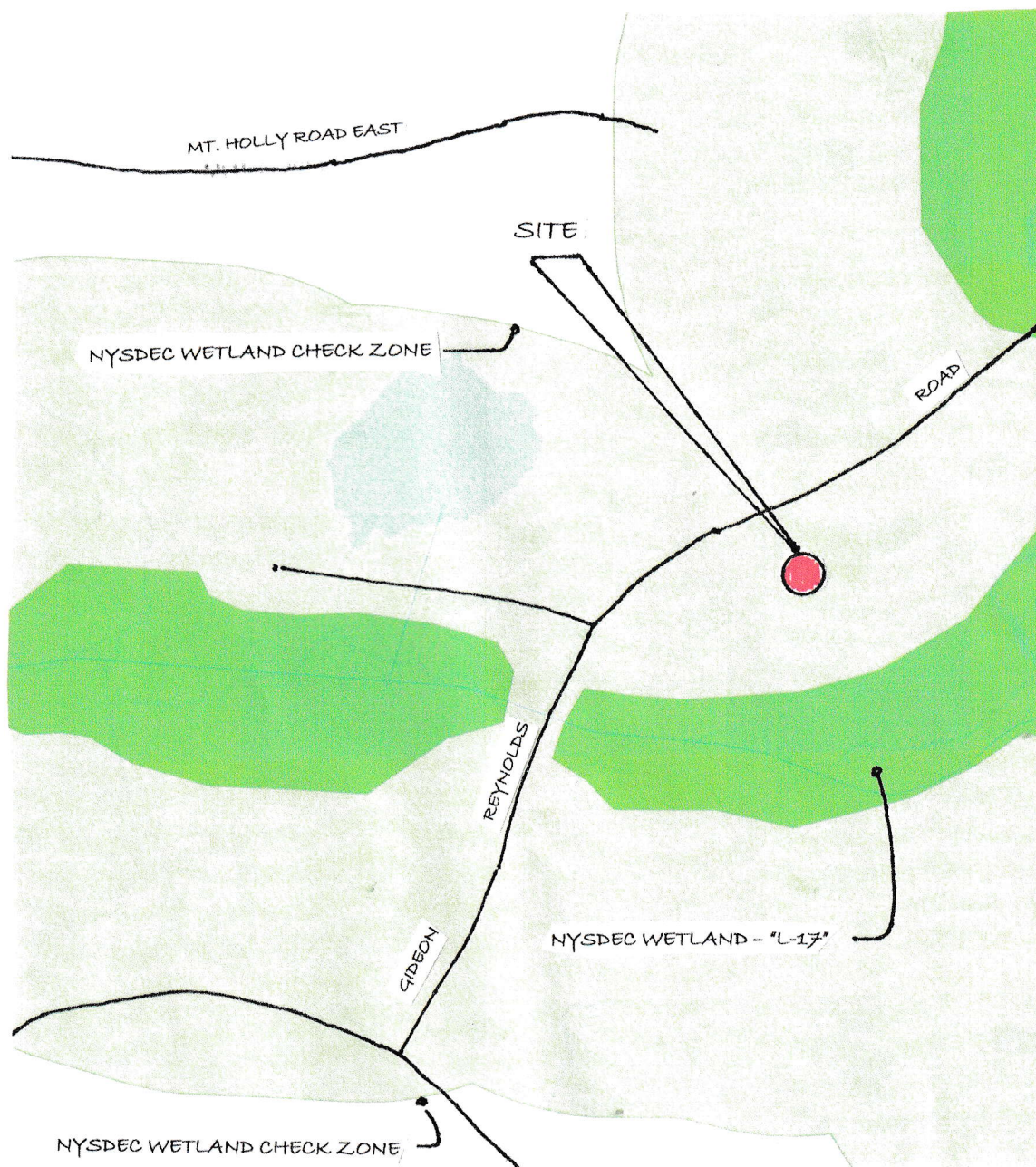
Photo 7 Looking west and across slope where steep sloped woodlands meets level swampland.



Photo 8 Looking easterly and downstream along watercourse in swampland located to the south of the site.
Aug. 2020 – The Nelson Site, 30 Gideon Reynolds Road, Lewisboro, NY

Appendix II

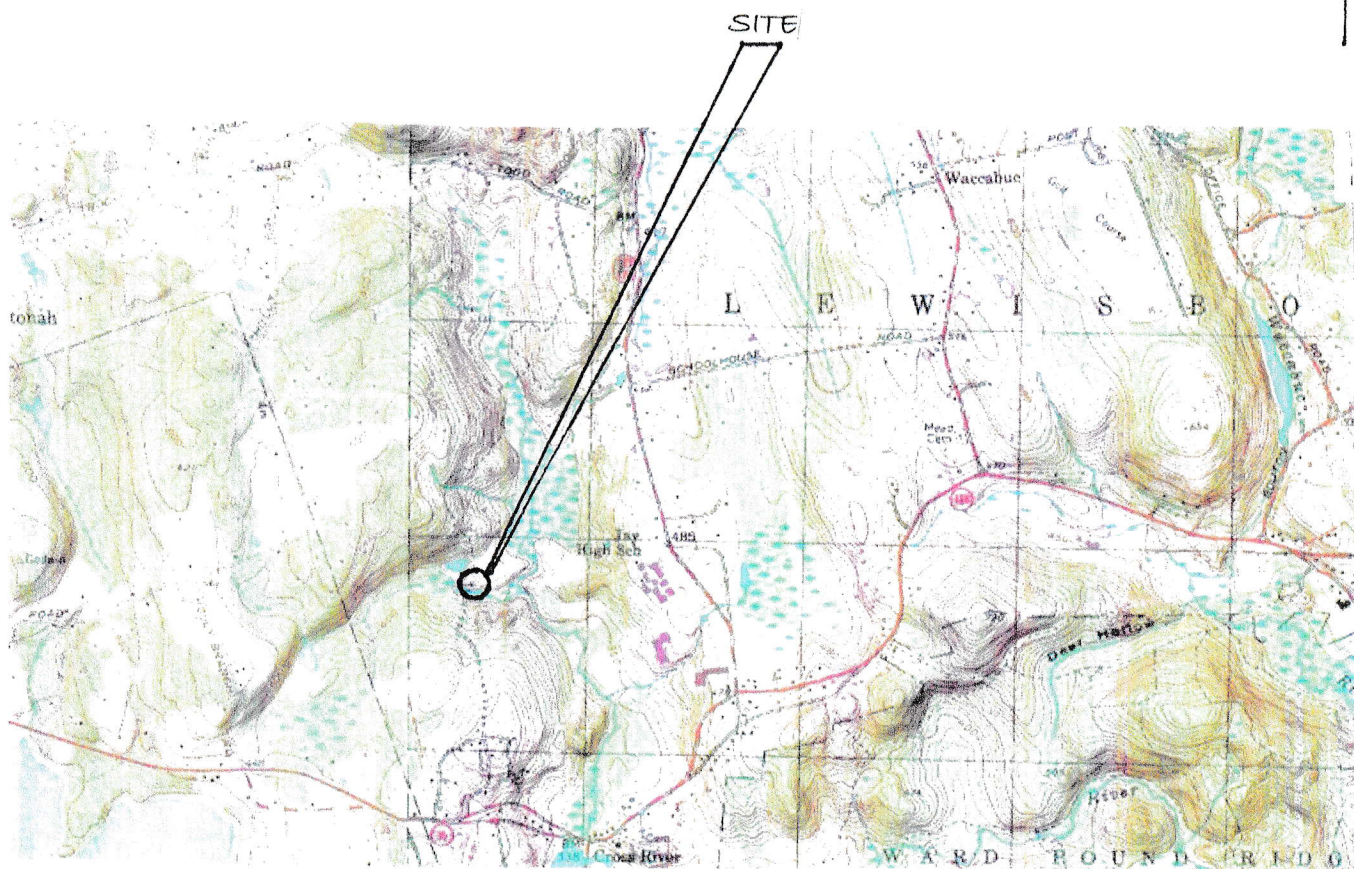
NYS DEC Wetland Map



NYSDEC WETLAND MAP
N.T.S.

Appendix III

Regional Drainage Map



REGIONAL DRAINAGE MAP
N.T.S.

Appendix IV

Soil Boring Logs

KEY TO BORING LOGS

SS-1

SOIL BORING

0-4''

DEPTH IN INCHES FROM
THE GROUND SURFACE

COLOR

MUNSELL COLOR NOTATION

VERY DARK GRAY

HUE VALUE/ CHROMA
10YR 3 / 1

SS-1

SITE: STEEP SLOPED WOODLANDS; TREE CANOPY OF BEECH, WHITE OAK, AND FEW SMALL IRONWOOD; OPEN UNDERSTORY; FEW GARLIC MUSTARD PLANTS; TWIG AND LEAF LITTER COVERS WOODLAND FLOOR.

0-2" REDDISH BROWN 5Y 4/3 LOAM.

2-6" BROWN 10YR 5/3 FINE SANDY LOAM.

6-28" LIGHT YELLOW BROWN 10YR 6/4 FINE SANDY LOAM WITH 10% ROUNDED GRAVEL; LOOSE.

WATER TABLE NOT ENCOUNTERED.

SS-2

SITE: OUTER EDGE OF SWAMPLAND; LEVEL; VERY GENTLY SLOPED; POORLY DRAINED; NO MICRO-TOPOGRAPHY; FEW RIVER BIRCH; SKUNK CABBAGE AND CINNAMON FERNS; LEAF AND TWIG LITTER COVERS GROUND.

0-2" REDDISH BROWN 5YR 4/3 LOAM.

2-6" BROWN 10YR 5/3 FINE SANDY LOAM.

6-28" DARK GRAY 10YR 4/1 LOAM WITH 10% BROWN 7.5YR 4/4 MOTTLES (REDOX CONCENTRATIONS).

WATER TABLE AT 15".

SS-3

SITE: NEARLY LEVEL WETLAND AREA; VERY POORLY DRAINED; WEAK MICRO-TOPOGRAPHY; WIDELY-SPACED RED MAPLES WITH SHALLOW AND EXPOSED ROOTS; FEW BARBERRY SHRUBS; SKUNK CABBAGE; MATTED LEAF LITTER COVERS GROUND.

0-12" DARK GRAY 10YR 4/1 LOAM WITH 10% BROWN 7.5YR 4/4 MOTTLES (REDOX CONCENTRATIONS).

12-13" GRAY 10YR 5/1 LOAM.

13-28" GRAY 10YR 5/1 FINE SANDY LOAM.

WATER TABLE AT 6".

SS-4

SITE: LEVEL AND VERY POORLY DRAINED SWAMPLAND; WEAK MICRO-TOPOGRAPHY; THIN TREE CANOPY OF WIDE-SPACED RED MAPLES WITH SHALLOW AND EXPOSED ROOTS; OPEN UNDERSTORY EXCEPT FOR FEWW BARBERRY SHRUBS; SKUNK CABBAGE; SPHAGNUM MOSS BLANKETS SLIGHT HUMMOCKS; MATTED LEAF LITTER.

0-13" BLACK 2.5Y 2.5/1 MUCK.

13-48" BLACK 2.5Y 2.5 / 1 SILT LOAM.

WATER TABLE AT 4".

SS-5

SITE: VERY GENTLY SLOPED OUTER PORTION OF SWAMPLAND; POORLY DRAINED; NO MICRO-TOPOGRAPHY; AREA SHADED BY NON-WETLAND TREE CANOPY; OPEN UNDERSTORY; CINNAMON FERN. ROYAL FERN, AND SKUNK CABBAGE; TWIG AND LEAF LITTER COVERS GROUND.

0-2" REDDISH BROWN 7.5YR 4/4 LOAM.

2-8" BROWN 10YR 4/3 LOAM.

8-16" GRAY BROWN 10YR 5/2 SANDY LOAM WITH 20% DARK YELLOW BROWN 10YR 4/6 MOTTLES (REDOX CONCENTRATIONS).

16-28" DARK GRAY 10YR 4/1 SILT LOAM WITH 10% BROWN 7.5YR 4/4 MOTTLES (REDOX CONCENTRATIONS).

WATER TABLE AT 16".

SS-6

SITE: VERY GENTLY SLOPED WOODLANDS AT BASE OF STEEP SLOPED WOODLANDS; TREE CANOPY OF BEECH AND WHITE OAK; OPEN UNDERSTORY; TWIG AND LEAF LITTER COVERS GROUND.

0-2" VERY DARK GRAY BROWN 10YR 3/2 LOAM.

2-3" BROWN 10YR 4/3 LOAM.

3-28" YELLOW BROWN 10YR 5/6 SANDY LOAM WITH 20% ROUNDED GRAVEL.

WATER TABLE NOT ENCOUNTERED.

KEY TO MAP

- SS-1
WL-A-1
WL-A-2
WL-A-3

ELEVATION CONTOUR IN FEET

SOILS INFORMATION

NON-WETT AND SOIL S

tinE
Hinckley gravelly loamy sand
excessively drained, slopes 3 to 8 %

tinctorious
excessively drained, slopes 8 to 25 %

ud
udorthents soils
well drained, slopes 0 to 3 %

WETLAND SOILS

f
Fluvaquents soils
very poorly drained, slopes 0 to 1 %

Fredon silt loam
poorly drained, slopes 0 to 3 %

Palms muck and silt loam
very poorly drained slopes 0 to 1 %

ud ! Soils Boundary



Wetland & Soils Map
The Nelson Site

30 Gideon Reynolds Road
Tax ID 42-3-1-49
Lewisboro, NY

Approx. 1.091 Acre Area Property

prepared for
John Nelson

Aug. 3, 2020

Prepared By
Paul J. Jaehrig- Wetlands and Soils Consulting
P.O. Box 1074 Kidgefield, CT 06877

Map Scale: 1 inch = 40 ft.

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3

21 South Putt Corners Road, New Paltz, NY 12561-1620

P: (845) 256-3054 | F: (845) 255-4659

www.dec.ny.gov



**Department of
Environmental
Conservation**

IMPORTANT NOTICE TO ALL PERMITTEES

The permit you requested is enclosed. Please read it carefully and note the conditions that are included in it. The permit is valid for only that activity expressly authorized therein; work beyond the scope of the permit may be considered a violation of law and be subject to appropriate enforcement action. Granting of this permit does not relieve the permittee of the responsibility of obtaining any other permission, consent or approval from any other federal, state, or local government which may be required.

Please note the expiration date of the permit. Applications for permit renewal should be made well in advance of the expiration date (minimum of 30 days) and submitted to the Regional Permit Administrator at the above address. For SPDES, Solid Waste and Hazardous Waste Permits, renewals must be made at least 180 days prior to the expiration date.

The DEC permit number & program ID number noted on page 1 under "Permit Authorization" of the permit are important and should be retained for your records. These numbers should be referenced on all correspondence related to the permit, and on any future applications for permits associated with this facility/project area.

If a permit notice sign is enclosed, you must post it at the work site with appropriate weather protection, as well as a copy of the permit per General Condition 1.

If the permit is associated with a project that will entail construction of new water pollution control facilities or modifications to existing facilities, plan approval for the system design will be required from the appropriate Department's regional Division of Water or delegated local Health Department, as specified in the State Pollutant Discharge Elimination System (SPDES) permit.

If you have any questions on the extent of work authorized or your obligations under the permit, please contact the staff person indicated below or the Division of Environmental Permits at the above address.

Alyse Devine

Division of Environmental Permits, Region 3
Telephone (845) 240-7806

- ☐ Applicable only if checked. Please note all work authorized under this permit is prohibited during trout spawning season commencing October 1 and ending April 30.
- ☐ Applicable only if checked for STORMWATER SPDES INFORMATION: We have determined that your project requires coverage under the General Stormwater SPDES Permit. You must file a Notice of Intent to obtain coverage under the General Permit. This form can be downloaded at: <http://www.dec.ny.gov/chemical/43133.html>
- ☐ Applicable only if checked - MS4 Areas: This site is within an MS4 area (Municipal Separate Storm Sewer System), therefore the SWPPP must be reviewed and accepted by the municipality. The MS-4 Acceptance Form must be submitted in addition to the Notice of Intent.

Send the completed form(s) to: NYS DEC, Stormwater Permitting, Division of Water, 625 Broadway, Albany, New York 12233-3505.



**Department of
Environmental
Conservation**



PERMIT
Under the Environmental Conservation Law (ECL)

Permittee and Facility Information

Permit Issued To:

John Nelson
30 Gideon Reynolds Rd
Cross River, NY 10518
(914) 419-3157

Christina Nelson
30 Gideon Reynolds Rd
Cross River, NY 10518

Facility:

Nelson Property
30 Gideon Reynolds Rd
Cross River, NY 10518

Facility Location: in LEWISBORO in WESTCHESTER COUNTY

Facility Principal Reference Point: NYTM-E: 615.585 NYTM-N: 4570.029
Latitude: 41°16'24.3" Longitude: 73°37'11.8"

Project Location: 30 Gideon Reynolds Road, Cross River NY

Authorized Activity: This permit authorizes disturbances to the 100 foot adjacent area of NYS Freshwater Wetland L-17, Class 1, associated with the installation of a chain link fence and native plantings. This action is associated with the installation of a pool, patio, and shed outside the regulated area. No disturbance to the wetland is authorized. All work must be conducted in strict accordance with plans referenced in Natural Resource Condition #2.

Permit Authorizations

Freshwater Wetlands - Under Article 24

Permit ID 3-5530-00255/00001

New Permit

Effective Date: 12/23/2022

Expiration Date: 12/31/2027

NYSDEC Approval

By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.

Permit Administrator: TRACEY L O'MALLEY, Deputy Regional Permit Administrator
Address: NYSDEC Region 3 Headquarters
 21 S Putt Corners Rd
 New Paltz, NY 12561

Authorized Signature: _____

Date 12/ 23 / 2022



Distribution List

Abigail Adams, A2 Land Consulting
NYSDEC Bureau of Wildlife
Sarah Pawliczak-Vacek, NYSDEC Bureau of Ecosystem Health
Town of Lewisboro

Permit Components

NATURAL RESOURCE PERMIT CONDITIONS

GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Permit Attachments

Permit Sign

NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following Permits: FRESHWATER WETLANDS

1. **No Wetland Disturbance** No disturbance to the wetland is authorized.
2. **Conformance With Plans** All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by Marchetti Consulting Engineers and A2 Land Consulting, LLC, and consist of plans listed in Natural Resource Condition #3.
3. **Approved Plans** The approved plans, prepared by A2 Land Consulting, LLC, titled "Prepared for John and Kristina Nelson 30 Gideon Reynolds Road Cross River, NY", consist of the following items:
 1. Sheet 1 of 2, Site Plan, dated 11/28/22;
 2. Sheet 2 of 2, Notes & Details, dated 11/28/22.

The approved plans, prepared by Marchetti Consulting Engineers, titled "30, Gideon Reynolds Road Cross River, NY 10518", consist of the following items:

1. Sheet 1 of 2, Storm Water Management Plan and Details, dated 11/22/22;
2. Sheet 2 of 2, Storm System Chamber Details, dated 11/22/22.



4. Post Permit Sign The permit sign enclosed with this permit shall be posted in a conspicuous location on the worksite and adequately protected from the weather.

5. Notify DEC 48 Hrs Prior to Work The permittee or a representative must contact by telephone Sarah Pawliczak-Vacek, NYSDEC Bureau of Ecosystem Health, at 845-256-3050, or by email at Sarah.Pawliczak@dec.ny.gov at least 48 hours prior to the commencement of the project authorized herein.

6. Minor Modifications Minor modifications to technical details can be submitted to Sarah Pawliczak-Vacek, NYSDEC Bureau of Ecosystem Health, by email at Sarah.Pawliczak@dec.ny.gov for review and approval.

7. Bog Turtle Take-Avoidance Measures For site work that occurs between April 1st and September 30th, barrier fencing, and education and encounter plan, shall be employed as shown on the approved plans.

8. Install Controls as Shown on Plans Prior to commencement of the activities authorized herein, the permittee shall install securely anchored silt fencing and/or continuous staked straw bales as shown on the plans or drawings referenced in this permit.

9. Maintain Erosion Controls These erosion control devices shall be maintained until all disturbed land is fully vegetated to prevent any silt or sediment from entering the freshwater wetland or its adjacent area. Silt fencing, hay bales and any accumulated silt or sediment shall be completely removed for disposal at an appropriate upland site.

10. No Equipment in Wetland Heavy equipment, including bulldozers, backhoes, payloaders, etc., shall not be operated in the wetland.

11. Long Term Survival of Wetland/Adjacent Area Plantings The permittee is responsible for replacement of lost wetland and/or wetland adjacent area plantings if the survival rate of the initial plantings is less than 85% within one year after planting. During the subsequent years of monitoring the success of these plantings as required by this permit, if the survival rate of these plantings remains less than 85% or invasive species are noted at levels greater than 10-15%, the permittee must evaluate the reasons for these results and develop and implement a remediation plan approved by the Department to ensure a successful plantings mitigation.

12. Seed, Mulch Disturbed Areas All areas of soil disturbance resulting from this project shall be seeded with an appropriate perennial grass, and mulched with straw immediately upon completion of the project, within two days of final grading, or by the expiration of the permit, whichever is first.

13. Temporary Mulch, Final Seeding If seeding is impracticable due to the time of year, a temporary mulch shall be applied and final seeding shall be performed at the earliest opportunity when weather conditions favor germination and growth but not more than six months after project completion.

14. Invasive Species (Non-native Vegetation) To prevent the unintentional introduction or spread of invasive species, the permittee must ensure that all construction equipment be cleaned of mud, seeds, vegetation and other debris before entering any approved construction areas within the state regulated freshwater wetland or its 100 foot adjacent area.



15. Stockpile Areas Excavated materials and/or fill materials shall be stockpiled more than 100 feet landward of the wetland or water body and shall be contained by straw bales or silt fencing to prevent erosion.

16. Disposal of Material Any demolition debris, excess construction materials, and/or excess excavated materials shall be immediately and completely disposed of on an approved upland site more than 100 feet from any regulated waterbody or wetland. These materials shall be suitably stabilized so as not to re-enter any water body, wetland, or wetland adjacent area; and must be disposed of in accordance with all local, state, and federal statutes, regulations, or ordinances.

17. Clean Fill Only All fill shall consist of clean soil, sand and/or gravel that is free of the following substances: asphalt, slag, flyash, broken concrete, demolition debris, garbage, household refuse, tires, woody materials including tree or landscape debris, and metal objects. The introduction of materials toxic to aquatic life is expressly prohibited.

18. Precautions Against Contamination of Waters All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.

19. State Not Liable for Damage The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

20. State May Order Removal or Alteration of Work If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.

21. State May Require Site Restoration If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.



GENERAL CONDITIONS - Apply to ALL Authorized Permits:

1. Facility Inspection by The Department The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

2. Relationship of this Permit to Other Department Orders and Determinations Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

3. Applications For Permit Renewals, Modifications or Transfers The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator
NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY12561

4. Submission of Renewal Application The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Freshwater Wetlands.

5. Permit Modifications, Suspensions and Revocations by the Department The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

- a. materially false or inaccurate statements in the permit application or supporting papers;
- b. failure by the permittee to comply with any terms or conditions of the permit;
- c. exceeding the scope of the project as described in the permit application;
- d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;



- e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

6. Permit Transfer Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification

The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

Item B: Permittee's Contractors to Comply with Permit

The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.

Item C: Permittee Responsible for Obtaining Other Required Permits

The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

Item D: No Right to Trespass or Interfere with Riparian Rights

This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.

Item E: SEQR Type II Action Under the State Environmental Quality Review Act (SEQR), this project has been determined to be a Type II Action and therefore is not subject to further procedures under this law.

January 2022-basic

Bog Turtle Education and Encounter plan – NYS DEC issued

This project site is located in an area of known Bog turtle habitat. Bog turtles use primarily wetland habitats but can make periodic movements over land to new habitats during dispersal events. They are particularly active on the landscape between April 1st to September 30th. This document is intended to minimize impacts to Bog and other turtles that may be encountered during otherwise lawful activities and be used in accordance with the Department's Permits and jurisdictional response letters for the above referenced project, including all other species take avoidance measures proposed. This information should be provided to construction contractors and occupants at the proposed location.

The bog turtle is listed as "Endangered" on the New York State Endangered Species List.

- As a listed species, the bog turtle is protected under the New York State Environmental Conservation Law.
- As provided by the law, it is illegal for any person to approach, touch, move, threaten, harass, disturb, injure, or kill a bog turtle. It is also illegal to take import, transport, possess, or sell any bog turtle, its skin, or other parts, except under a permit or license from the New York State Department of Environmental Conservation (DEC).
- A violation of the Environmental Conservation Law is punishable by both criminal and civil penalties.
- The bog turtle, or other turtle species, may be encountered along roads, near homes and yards, in construction sites, and in undeveloped areas. If encountered, move away and do not attempt injure or collect the turtle.
- If any turtle species is seen in the work area, stop all work immediately.
- Contact the contractor in charge and delay work in the area until the turtle has moved safely from the area. Allow the turtle to continue on its way if it is safe to do so.
- If the turtle does not move out of harm's way on its own, and unless a qualified monitor licensed in New York State to handle and relocate the species has been retained who will promptly arrange for the turtle to be moved, please contact the NYS Department of Environmental Conservation Region 3 Bureau of Wildlife at 845-256-3098 for information regarding next steps and moving the species in accordance with New York State Law.
- If the turtle is found in the roadway (or in immediate danger), it can be moved out of harm's way to the side of the road in the direction it is heading. Do not move the turtle large distances or take possession of the turtle.
- Please report any encounters within 24 hours at 845-256-3098 or Wildlife.R3@dec.ny.gov. Please provide the location, the project name, and explanation of the encounter.



Photo Credit L. Masi

Accompanying handouts:

- Turtles of New York PDF.
https://www.dec.ny.gov/docs/administration_pdf/turtles2.pdf
- NYS DEC Bog Turtle Fact Sheet. 2021
<https://www.dec.ny.gov/animals/7164.html>

Species description

The bog turtle is New York's smallest turtle, reaching a maximum length of 4.5 inches. It is one of seventeen species of turtles found in New York State, including marine turtles. A bright yellow or orange blotch on each side of its head and neck are a distinctive feature of this species. The body color is dark with an orange-red wash on the inside of the legs of some individuals. The carapace (upper shell) is domed and somewhat rectangular, often with prominent rings on the shell plates (scutes). In some older individuals, or those that burrow frequently in coarse substrates, the shell may become quite smooth and polished. Although generally black, the carapace is sometimes highlighted by a chestnut sunburst pattern in each scute. The plastron (lower shell) is hingeless, with a pattern of cream and black blotches.

Other more common species that may be encountered. – All turtles are protected from collection.

turtles in the wild unless injured (see below).

Box Turtle (Special Concern)

Shell length: 4.5 - 6 inches



New York's most terrestrial turtle, the box turtle spends most of its time wandering open fields and forests, only retreating to shallow pools or

wetlands to soak during very hot and dry periods. It can completely close its shell, distinguishing it from other turtle species. The box turtle's high-domed carapace is brightly highlighted; the plastron is hinged. Males and females can be told apart by eye color—usually brown for females, red for males. Box turtles eat a variety of fleshy fruits such as strawberries and raspberries, mushrooms and other soft vegetation, worms, slugs and snails. They will also scavenge dead birds and mammals.

Wood Turtle (Special Concern)

Shell length: 6 - 8 inches



The wood turtle gets its name from its preferred wooded habitat, as well as from the color of its carapace—the prominent annuli

give it the sculpted appearance of weathered tree rings. Wood turtles are usually found in or along clean, fast-flowing trout streams, foraging during the summer in the woodlands bordering the streams. Like other turtles, females move into open areas for nesting. Wood turtles eat berries, mushrooms, small fish, slugs, worms and tadpoles. They have also been known to feed on carrion.



Snapping Turtle

Shell length: 10 - 16 inches

Easily recognized by its large head, long saw-toothed tail, stocky legs with large claws, and the jagged, saw-toothed rear edge on its dark shell, the snapping turtle is our largest freshwater turtle. Known for its defensive nature, this turtle will attack on land, but prefers to flee in water. Highly aquatic, this species is found in freshwater and brackish marshes, ponds, lakes, rivers and streams. Snappers often scavenge, but they also take live food ranging in size from small invertebrates to young waterfowl or small fish.

Painted Turtle

Shell length: 5 - 7 inches



Our most common species, the painted turtle is often seen basking in large numbers on logs and stumps in marshes, ponds and lakes, disappearing into the water quickly when disturbed. Bright stripes

on the neck and spots on the head can be seen when the turtle is basking. The dark carapace is bordered with red. The plastron is plain yellow in the Eastern painted turtle, and has a dark central blotch in the Midland painted turtle. Males have long claws on their front feet; females have longer shells. Painted turtles eat a variety of invertebrates, tadpoles and vegetation, but will also scavenge carrion.

If you encounter an injured turtle, please contact a local NYS DEC licensed Wildlife Rehabilitator by scanning the QR code, or calling the Regional Wildlife office at 845-256-3098



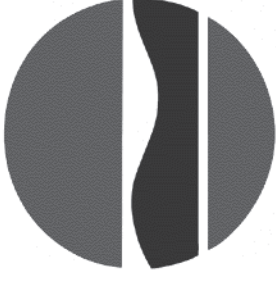
SCAN ME

https://www.dec.ny.gov/cfm/xtapps/sls_searches/index.cfm?p=live_rehab

New York State
Department of Environmental Conservation



NOTICE



The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Department condition on it, contact the DEC at 845-256-3054. Please refer to the permit number shown when contacting the DEC.

Permittee: John and Christina Nelson

Permit No. 3-5530-00255/00001

Effective Date: 12/23/2022

Expiration Date: 12/31/2022

☐ Applicable if checked. No instream work allowed between October 1 & April 30

NOTE: This notice is **NOT** a permit.

STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

For

POOL AND PATIO

at

NELSON RESIDENCE

30 GIDEON REYNOLDS RD.

Cross River, NY 10518

Prepared by

**Marchetti Consulting Engineers
25 High Ridge Road
Pound Ridge, NY 10576
(914-764-9011 Fax 764-9012)**

info@marchetticonsultingengineers.com

April 12, 2023

30 Gideon Reynolds Rd.

The proposed project is for construction of a pool at 30 Gideon Reynolds Rd.

The Property is identified as Tax Lot 49 with an area equal to +/- 47,504.55 Ft² located at 30 Gideon Reynolds Rd., Cross River, NY 10518.

The pool and patio construction has a footprint of 4,222 Ft².

See Civil drawings C-001.00 thru C-002.00 for additional details included herein as Appendix I

The soils present on the site consist of approximately 86.2% HnD (Hinckley loamy sand 15 to 25 percent slopes) and 13.8% HnB (Hinckley loamy Sand, 3 to 8 percent slopes). The hydrological soil group (HSG) HnD is C. The HSG for the HnB is C. See Appendix II for Web Soil Survey of Lot 49.

The phasing plan and sequence of construction activities is to proceed in the following manner:

- Verify, locate and memorialize all existing electrical, water, waste line and storm water piping in the proposed disturbed areas
- Mark out limits of disturbance
- Install anti-tracking aprons
- Install all silt and erosion control measures
- Clear, grub and grade at area for construction and surrounding grade modifications
- Stockpile excess soils
- Provide stockpile area with erosion control measures
- Form and Pour pool
- Construct all patio structures
- Excavate and install storm retention facilities including manholes and overflows and all associated piping
- Install retaining walls and fence as shown on plans.
- Backfill, grade and seed areas at retaining wall
- Re-grade, seed and plant all disturbed areas
- Remove all erosion and control measures

The erosion and sediment control measures that will be implemented are the following:

- Installation of gravel based anti-tracking aprons at all vehicle entrance/exit points
- Hay bales at perimeter of all catch basin inlets on the project
- Silt fencing at perimeter of all construction activity including siltation fencing at soil stockpile areas as shown in referenced drawings.

Implementation Timing and Sequence

1st – Anti-tracking apron install – install and maintain for entire construction sequence

2nd – Erosion control fencing at perimeter of construction activity

3rd – Erosion control fencing at stockpile location

4th – Maintain sediment and erosion control measures until all site disturbance is completed including plantings, finish grading and surfacing, storm retention facilities, etc.

The soil stabilization plan is shown on the erosion and sedimentation controls attached to this Report.

The details for the operation and maintenance for sediment and erosion control measures are shown on the plans Civil drawings C-001.00 and C-002.00 attached to this Report in Appendix I

The Site Plan is attached to this Report showing location, size, length of each soil erosion and sediment control practice.

Maintenance Plan and Schedule:

1. All erosion and sediment control practices will be checked for stability and operation following every runoff-producing rainfall but in no case less than once every week. Any needed repairs will be made immediately to maintain all practices as designed and installed for their appropriate phase of the project.
2. Sediment will be removed from behind the sediment fence when it becomes about 0.5 ft deep at the fence. The sediment fence will be repaired as necessary to maintain a barrier.
3. All seeded areas will be fertilized, reseeded as necessary and mulched according to specifications in the vegetative plan to maintain a vigorous, dense vegetative cover.

The job site will have dumpsters and garbage disposal cans which will be used to control litter and construction debris.

Construction materials consisting of building supplies will be covered tarpaulins during construction process.

Dumpsters and waste will be covered while on site and removed on a periodic basis.

Post Construction Storm Water Management Practice Components:

- All new impervious surfaces including slabs, pads, etc. will have their storm water captured and directed to an underground infiltration system consisting of catch basins with sumps for periodic cleaning and retention/infiltration facility.
The retention/infiltration facility will have observation ports to enable the designated maintenance personnel to monitor periodically to determine depth and degree of sedimentation and water depth.

Post Construction Storm Water Management Practices

a) A retention/infiltration basin will be constructed consisting of Storm Tech storage containers, a series of catch basins and interconnected piping .

b) A site plan is included in this report as C-001.00 , showing location of post construction storm water management practices.

c)The detailed summary of sizing calculations is included as an Appendix I in this report. The sizing criteria is based on a 25 year, 24 hour event as detailed in Storm Water Management for Westchester County, Best Management Practices Manual Series.

The existing conditions and associated Curve Number (Cn) was calculated by the existing areas of the different surfaces ,that is , impervious and pervious on the site prior to construction. The post development Cn was calculated for the proposed additional impervious surfaces with the reduction in pervious areas accounted for.

Determining the Q , rainfall in inches ,for the two conditions allowed sizing the storage volume . A storage volume before percolation calculated, $V_s = 1,583.48$ cu. ft of storage is required. But based on percolation rate, and calculation the required storage volume is decreased to 1 unit per side. To accommodate pool drawdown we have added an additional unit per side for a total of 4 units. .

The V_s is contained in Storm Tech (SC-740) and the associated gravel and piping within the storm water collection and routing structures.

Dimensions and material specifications as well as installation details for each post construction storm water are shown in the C-001.00 thru C-002.00 plans Appendix I

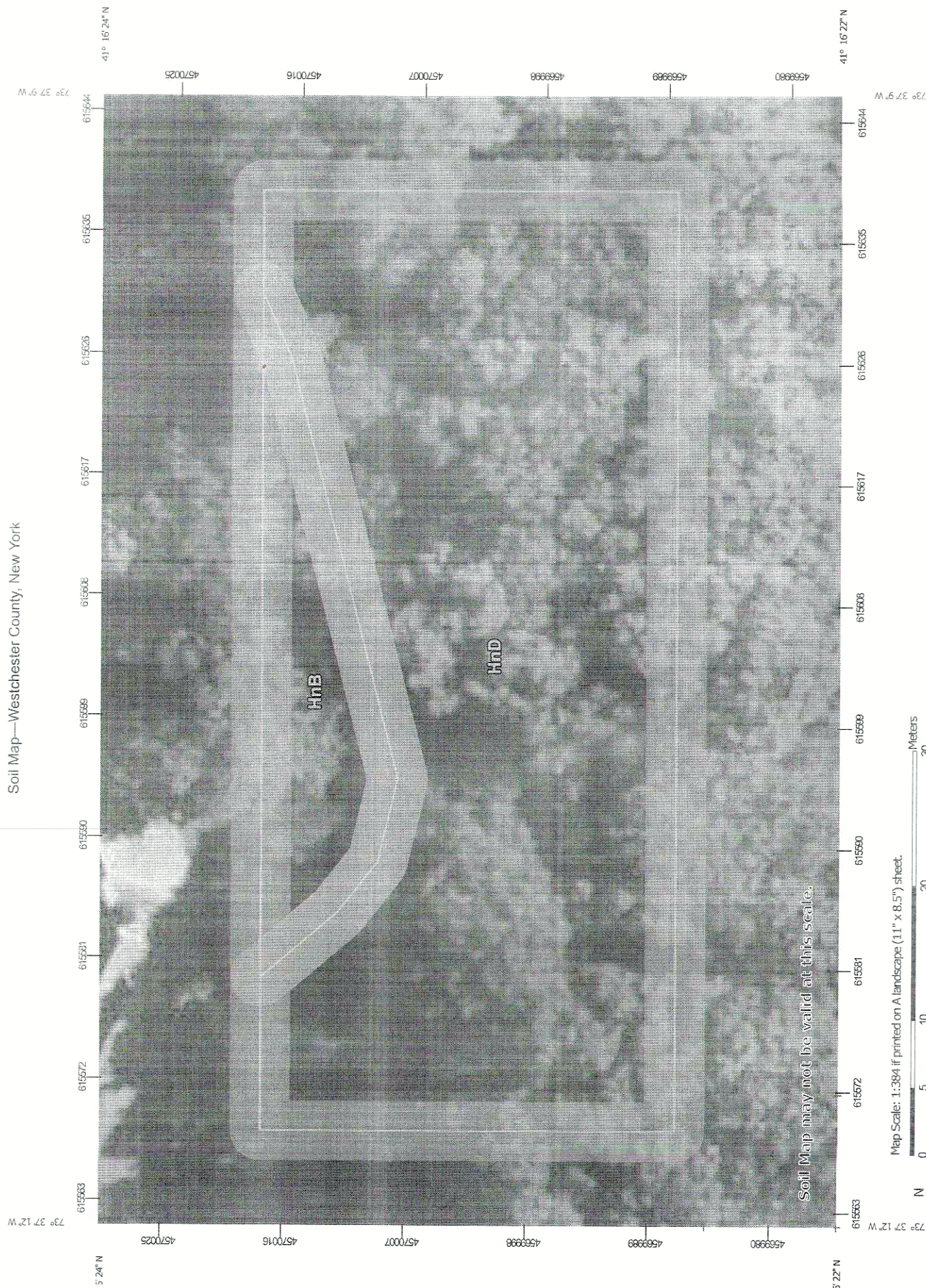
The Operation and Maintenance plan of the new pool and patio will include the following.

- Periodic inspection, on a monthly basis, of the catch basins and retention facility.
- Cleaning of all catch basins to remove sediment and litter on a 6 month basis, or sooner if required , as reported in the monthly inspection report.
- Inspection of retention facility thru observation ports of sedimentation on a yearly basis.

APPENDIX I

APPENDIX II

Soil Map—Westchester County, New York






































Soil Map may not be valid at this scale.

Map Scale: 1:384 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge files: UTM Zone 18N WGS84

MAP LEGEND

	Area of Interest (AOI)		Spoil Area
	Area of Interest (AOI)		Stony Spot
	Soils		Very Stony Spot
	Soil Map Unit Polygons		Wet Spot
	Soil Map Unit Lines		Other
	Soil Map Unit Points		Special Line Features
	Special Point Features		
	Blowout		Water Features
	Borrow Pit		Streams and Canals
	Clay Spot		Transportation
	Closed Depression		Rails
	Gravel Pit		Interstate Highways
	Gravelly Spot		US Routes
	Landfill		Major Roads
	Lava Flow		Local Roads
	Marsh or swamp		Background
	Mine or Quarry		Aerial Photography
	Miscellaneous Water		
	Perennial Water		
	Rock Outcrop		
	Saline Spot		
	Sandy Spot		
	Severely Eroded Spot		
	Sinkhole		
	Slide or Slip		
	Sodic Spot		

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Westchester County, New York

Survey Area Data: Version 18, Sep 10, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

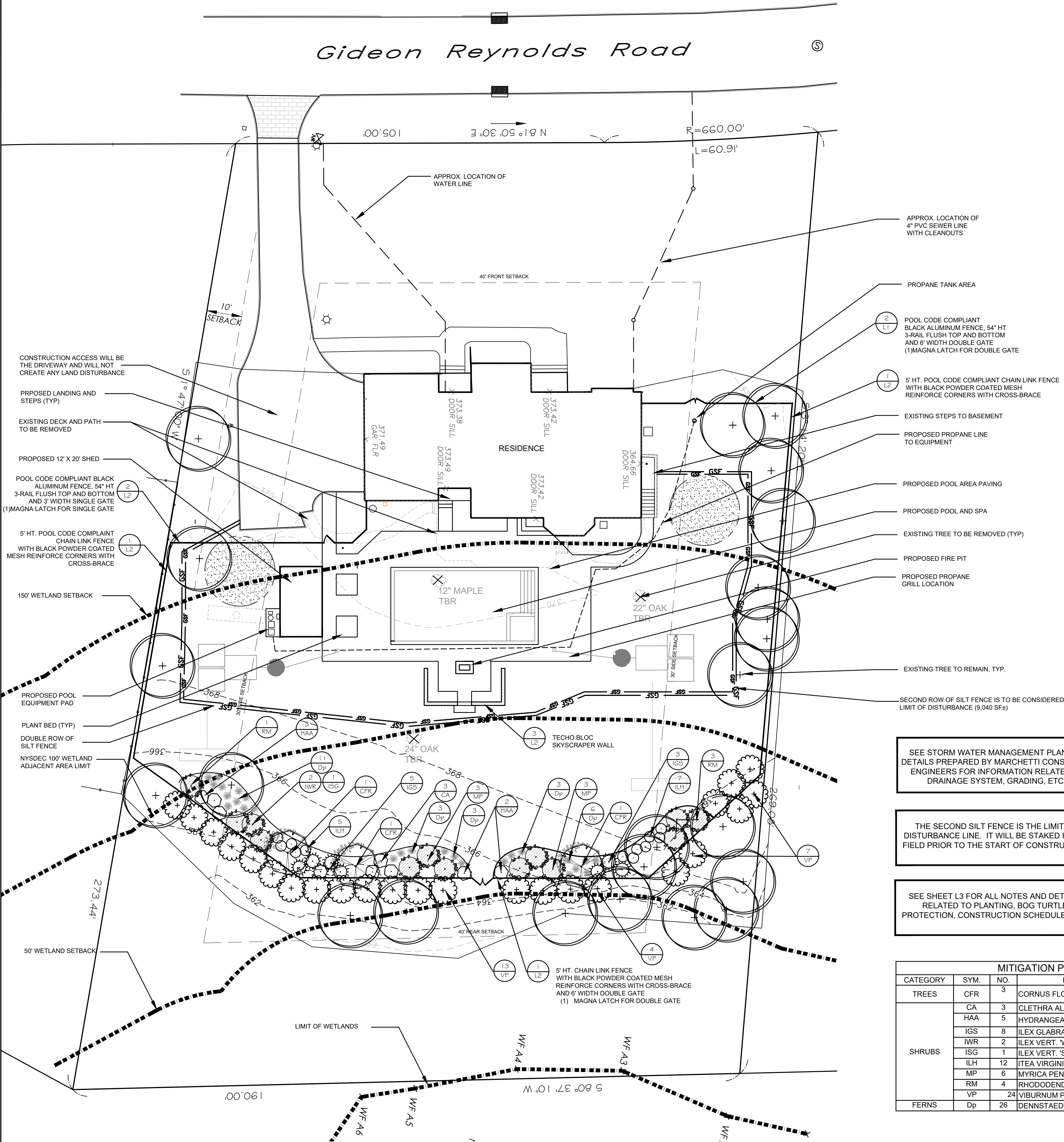
Date(s) aerial images were photographed: Oct 21, 2022—Oct 27, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
HnB	Hinckley loamy sand, 3 to 8 percent slopes	0.1	13.8%
HnD	Hinckley loamy sand, 15 to 25 percent slopes	0.5	86.2%
Totals for Area of Interest		0.5	100.0%

ZONING CHART				
TOWN OF LEWISBORO, NY				
PROJECT: 2222 NELSON RESIDENCE			30 GIDEON REYNOLDS RD.	
ZONE: R-1A			COUNTY OF WESTCHESTER	
BUILDING REQUIREMENTS		ALLOWED	EXISTING	PROPOSED
MINIMUM	LOT AREA (ACRES)	1.00	1.09	NC
	LOT WIDTH (FT)	150	165 +/-	NC
	FRONT SETBACK FROM STREET CENTER LINE (FT)	65		NC
	FRONT SETBACK FROM FRONT LOT LINE (FT)	40	62.75	NC
	SIDE SETBACK (FT)	30	41.09	32.82
MAXIMUM	REAR SETBACK (FT)	40	145.38	119.45
	TOTAL BUILDING HEIGHT (STORIES)	2 1/2	2	NC
	TOTAL BUILDING HEIGHT (FT)	35		NC
BUILDING COVERAGE (%)		12	6.22%	6.72%



SEE STORM WATER MANAGEMENT PLAN AND DETAILS PREPARED BY MARCHETTI CONSULTING ENGINEERS FOR INFORMATION RELATED TO DRAINAGE SYSTEM, GRADING, ETC..

THE SECOND SILT FENCE IS THE LIMIT OF DISTURBANCE LINE. IT WILL BE STAKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION

SEE SHEET L3 FOR ALL NOTES AND DETAILS RELATED TO PLANTING, BOG TURTLE PROTECTION, CONSTRUCTION SCHEDULE, ETC.

THE LIMIT OF DISTURBANCE WILL BE STAKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.

MITIGATION PLANTING SCHEDULE-NELSON RESIDENCE					
CATEGORY	SYM.	NO.	BOTANICAL NAME	COMMON NAME	COND.
TREES	CFR	3	CORNUS FLORIDA 'RUBRA'	FLOWERING DOGWOOD	1.5-2" B&B
	CA	3	CLETHRA ALNIFOLIA	SUMMERSWEET	3 GAL. CONT.
	HAA	5	HYDRANGEA ARB. 'ANNABELLE'	SMOOTHLEAF HYDRANGEA	3 GAL. CONT.
	IGS	8	ILEX GLABRA 'Densa'	Densa INKBERRY HOLLY	3 GAL. CONT.
	IWR	2	ILEX VERT. 'WINTER RED'	WINTERBERRY	3 GAL. CONT.
SHRUBS	ISG	1	ILEX VERT. 'SOUTHERN GENTLEMAN'	WINTERBERRY	3 GAL. CONT.
	ILH	12	ITEA VIRGINIANA 'LITTLE HENRY'	SWEETSPIRE	3 GAL. CONT.
	MP	6	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	3 GAL. CONT.
	RM	4	RHODODENDRON MAXIMUM	ROSEBAY RHODODENDRON	5 GAL. CONT.
	VP	24	VIBURNUM PRUNIFOLIUM	BLACKHAW VIBURNUM	7 GAL. CONT.
	Dp	26	DENNSTAEDTIA PUNCTIOBULA	HAY SCENTED FERN	1 GAL. CONT.

NOTES:
1. BASE INFORMATION ARE BASED UPON PROPERTY SURVEY PREPARED BY TO MERRITTS LAND SURVEYERS PLEASANTVILLE NY. ENTITLED TOPOGRAPHY OF PROPERTY PREPARED FOR JOHN AND KRISTINA NELSON, AS REVISED 09/29/2020.
2. WETLANDS FLAGGED BY PAUL J. JOEHNING, WETLANDS AND SOILS CONSULTING, 08/03/2020 AND FIELD INSPECTED BY JOSHUA FISHER, NYDEC, BUREAU OF HABITAT 08/13/2020

4.13.23	REVISIONS PER KILLAR SESSIONS MEMO
11.28.22	ISSUE FOR PERMITTING
DATE:	REVISION:



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30 Rocky Hill Rd.
New Fairfield, CT 06812

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E: abigail@a2land.com
W: www.a2land.com

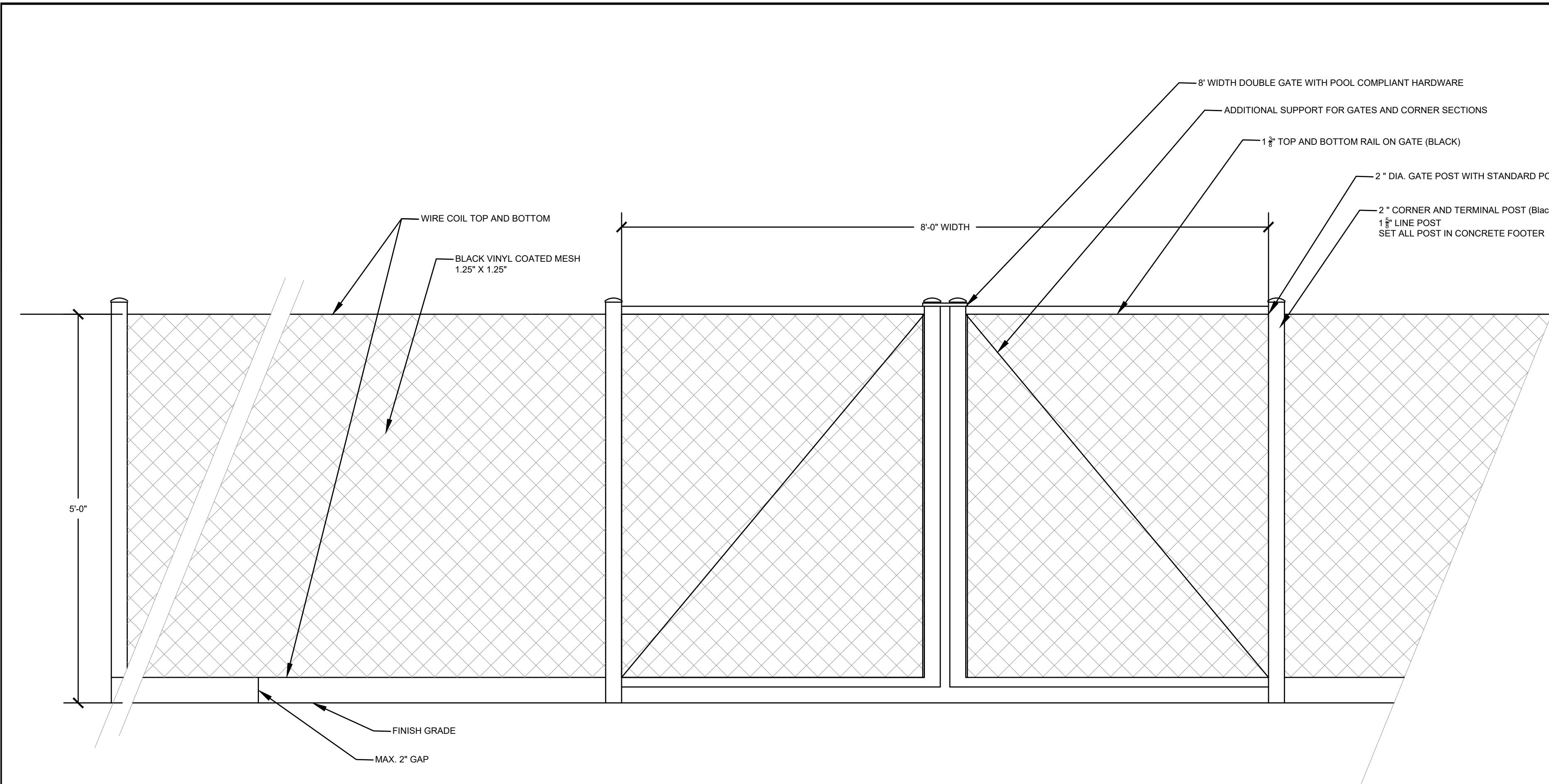
SITE PLAN

PREPARED FOR
JOHN AND KRISTINA
NELSON

30 GIDEON REYNOLDS RD.
CROSS RIVER, NY

DATE:	11.13.22
SCALE:	1" = 16'
PROJ #:	2222
DWG FILE:	2222LA
SHEET:	L1

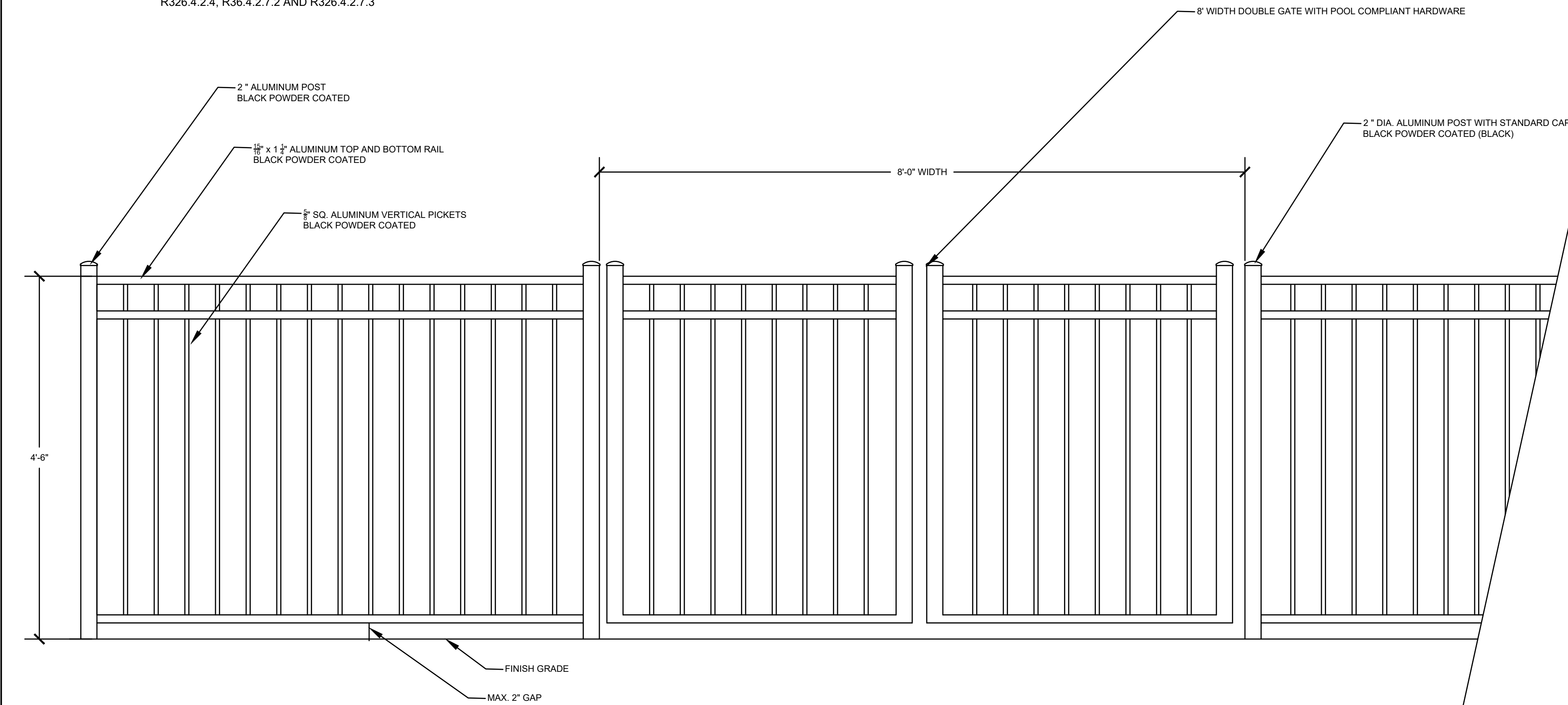




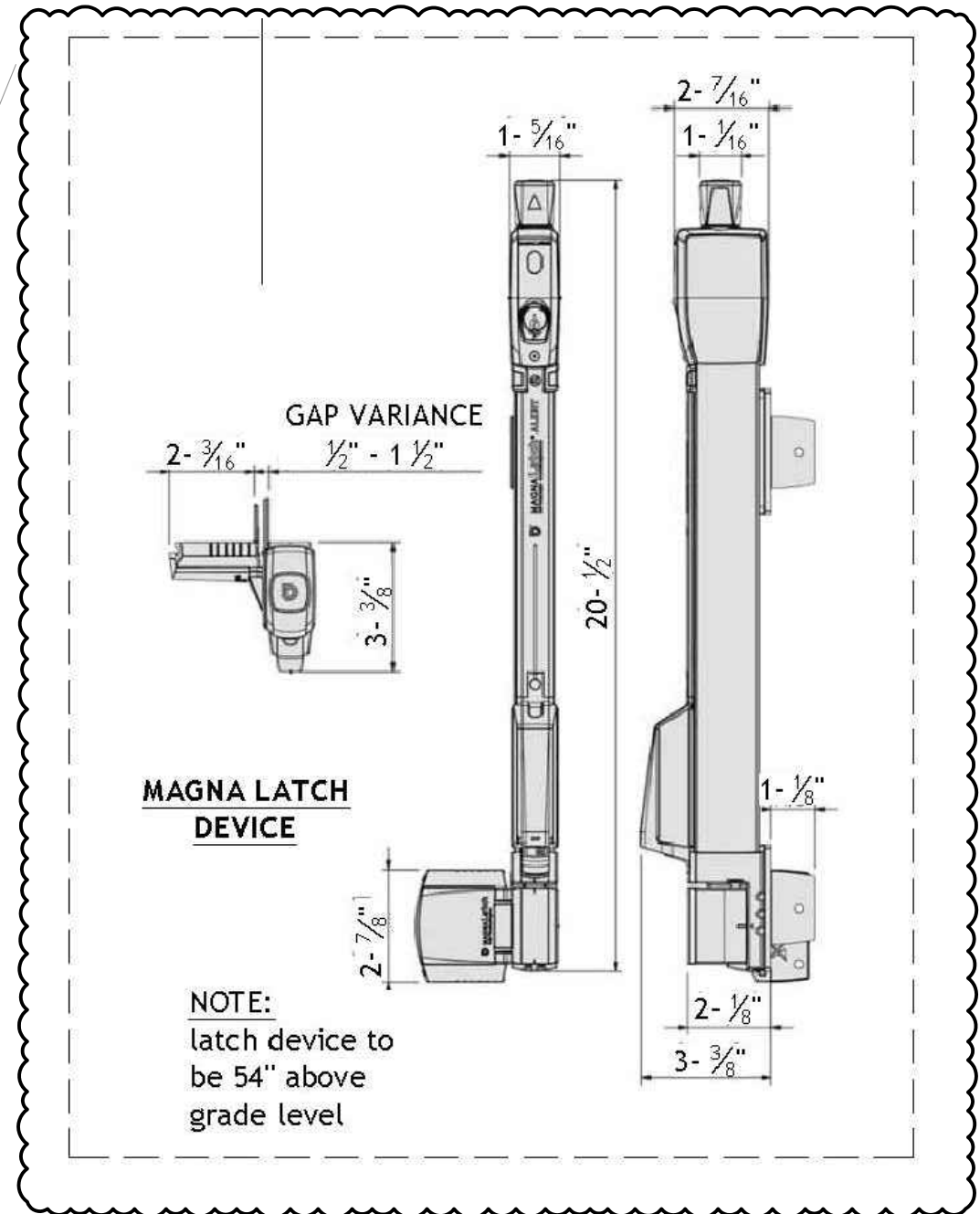
1
L2
CHAIN LINK FENCE / GATE
N.T.S.

ALL POOL FENCING, GATES AND HARDWARE TO BE IN COMPLIANCE WITH ALL APPLICABLE NEW YORK STATE RESIDENTIAL BUILDING CODE REQUIREMENTS.

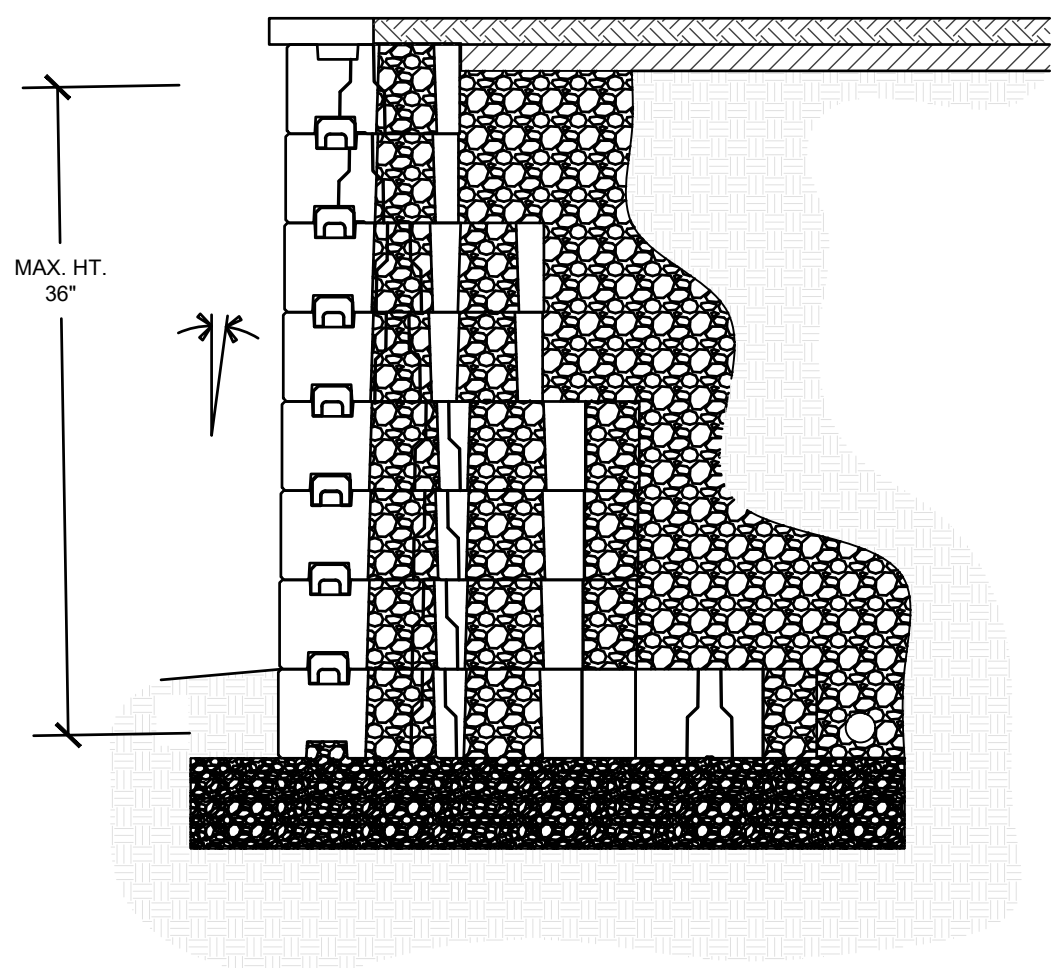
NOTE: THIS IS A PERMANENT BARRIER DESIGN AS PER R326.4.2.1, R326.4.2.4, R36.4.2.7.2 AND R326.4.2.7.3



2
L2
ALUMINUM FENCE/GATE
N.T.S.



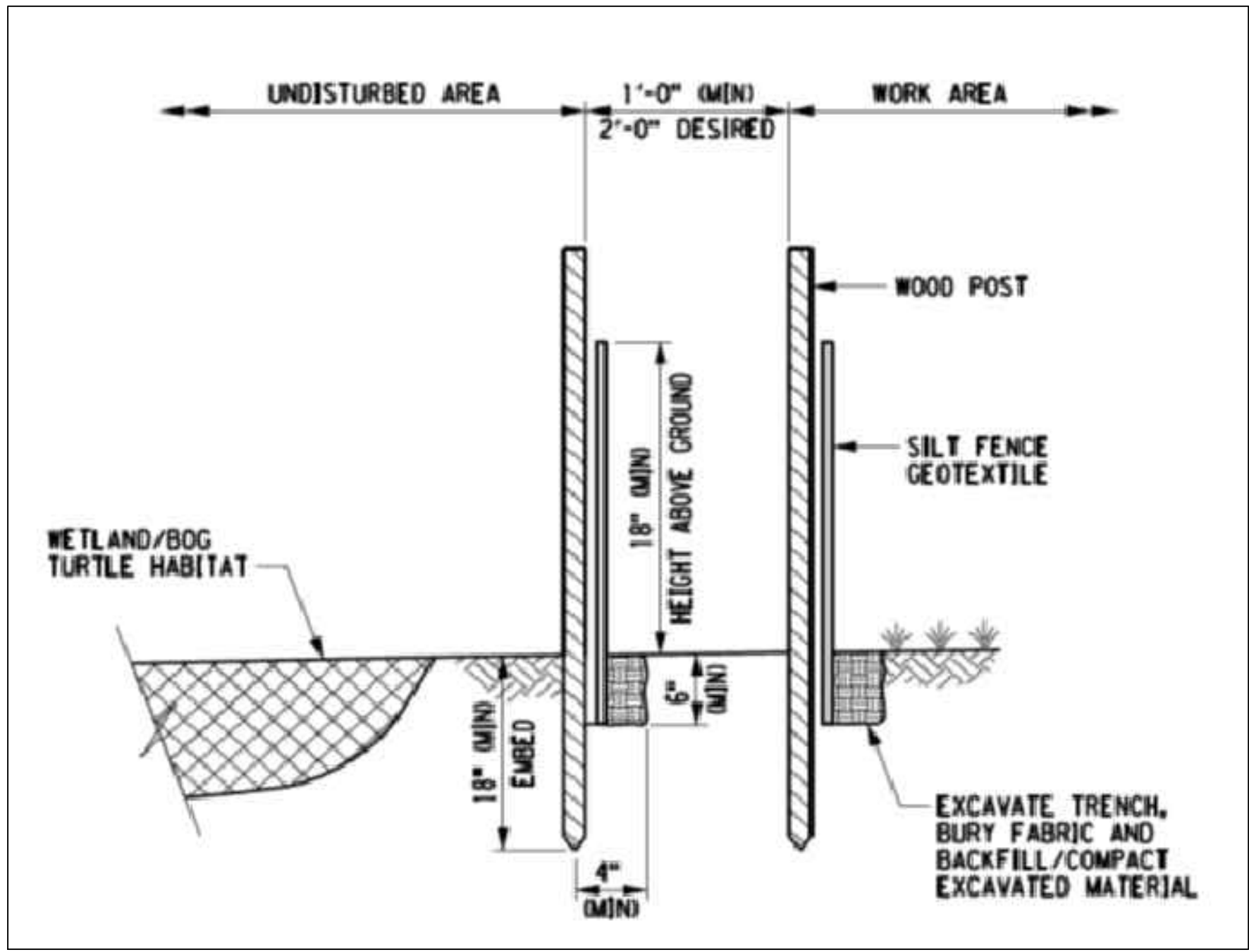
MAGNALATCH GATE CLOSING SYSTEM
N.T.S.



GRAVITY NEAR VERTICAL WALL DETAIL

- | | |
|--|---|
| A. CAP FROM TECO-BLOC | K. TOP SOIL |
| B. SKYSCRAPER TOP UNIT FROM TECO-BLOC | L. LOW PERMEABILITY SOIL |
| C. SKYSCRAPER MIDDLE UNIT FROM TECO-BLOC | M. 3/4" (20 mm) CLEAN STONE, 12" (300 mm) THICK MIN |
| D. SKYSCRAPER BASE UNIT FROM TECO-BLOC | N. RETAINED SOIL |
| E. SKYSCRAPER EXTENDER UNIT FROM TECO-BLOC | O. GEOTEXTILE |
| F. WALL INCLINATION: 0.8° | P. PERFORATED DRAIN |
| G. EXPOSED HEIGHT | Q. LEVELING PAD |
| H. PRECAST CONCRETE "U" CONNECTOR | R. FOUNDATION SOIL |
| J. EMBEDMENT DEPTH | |

3
L2
TECHO-BLOCK SKYSCRAPER WALL
N.T.S.



4
L2
DOUBLE ROW SILT FENCE
N.T.S.

ANTICIPATED CONSTRUCTION SEQUENCE

1. ESTABLISH SOIL STOCKPILE & STAGING AREAS AND INSTALL EROSION CONTROLS AS SPECIFIED.
2. STOCKPILE TOPSOIL AND / OR REMOVE DIRECTLY FROM SITE.
3. EXCAVATE AND FORM POOL.
4. ROUGH GRADE SITE AND CONSTRUCT NEW PATIO, WALKWAYS AND SMALL LANDSCAPE WALLS.
5. INSTALL STORMWATER MANAGEMENT SYSTEM.
6. INSTALL FENCE AND OTHER LANDSCAPE ELEMENTS.
7. FINAL GRADE, TOPSOIL, SEED AND STABILIZE LOT.
8. INSTALL PLANTING.
9. COMPLETE CONSTRUCTION.
10. REMOVE SEDIMENT AND EROSION CONTROLS WHEN APPROVED BY TOWN OFFICIALS.

4.13.23	REVISIONS PER KILLARD SESSIONS
11.28.22	ISSUE FOR DRAFTING
DATE:	REVISION:



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NOTES & DETAILS

PREPARED FOR
JOHN AND KRISTINA
NELSON

30 GIDEON REYNOLDS RD.
CROSS RIVER, NY

DATE: 11.13.22
SCALE: N.T.S.
PROJ #: 2222
DWG FILE: 2222LA
SHEET: L2



BOG TURTLE PROTECTION:

The following measures will be utilized around the perimeter of each lot/dwelling to assure that potential direct impacts during construction are avoided and minimized:

1. Site work (earth moving for fields and structure foundation installation) must be conducted between October 1st and March 31st when practical.
2. A turtle monitor shall be on site during ground disturbance activities that occurs between April 1st and September 30th. The turtle monitor must be licensed by the NYSDEC to handle bog turtles. The monitor would be responsible for:
 - a. Conducting reconnaissance surveys for bog turtles within the work area prior to the initiation of any disturbance activities, and relocating turtles as required.
 - b. Training personnel working at the site on the details of the Education and Encounter plan, including how to identify bog turtles and who to contact in the event of an encounter.
 - c. Monitoring the proper placement and maintenance of temporary restrictive barriers.
 - d. Providing oversight during the disturbance phase of the project.
 - e. Providing any necessary reports or notifications to NYSDEC on turtle encounters.
3. For work between April 1st and September 30th, a temporary restrictive barrier shall be used for land disturbance activities with the barrier enclosing each area of disturbance on each lot as shown on the plan. Regular daily inspection will occur to ensure continued effectiveness. Details depicting the design and installation of the fence and installation locations are on the plan. The barrier shall be installed on each lot prior to any disturbance activities. If needed, a functional gate would be installed that would also keep turtles from accessing the site. The default status of such a gate would be closed unless staff or materials are moving into or out of the work site.
 - a. During site construction a temporary restrictive barrier in the form of silt fence material will be installed around the perimeter of the disturbance footprint. The barrier will be made of double row of fencing, with a minimum 1-foot gap between the rows. The barrier is to be installed during the winter hibernation period (October 1st – March 31st) and maintained until the end of the construction phase of the project or until the beginning of the next winter hibernation period, whichever occurs first.
 - b. Inspected daily and, if necessary, repaired immediately to a fully functional condition; and
 - c. Constructed in accordance with the following design specifications (see detail):
 1. Made of fine-mesh (¼ inch square) filter-fabric or non-woven geotextiles.
 2. A minimum of 18" high above the ground, buried 6 inches (total of 24-inch fence material).
 3. Anchored into the ground with reinforcement bars placed on the "disturbance side" of the barrier and spaced between 6 - 8 feet apart; and
 4. Secured at the base (barrier/ground interface) with at least 6" of fence material covered with soil backfill.
4. If the barrier is installed between October 1st and March 31st, it should be inspected by the turtle monitor before work begins April 1st. If installed from April 1st to September 30th, the monitor must sweep the area within the barrier for turtles before work can start.
5. Site contractors and workers, maintenance personnel and residents will be trained by the turtle monitor with the prepared educational and encounter plan (Attachment 1). The turtle monitor will initially instruct the site contractors on identification of the species and procedure if a turtle is found prior to sitework.
6. Bog Turtle Encounter Plan: The following guidelines will be used in the event that a turtle is encountered on the site during the construction on each lot:
 1. Personnel working at the site will be trained to be able to identify and locate turtles by a knowledgeable biologist. Turtles can only be moved by a qualified biologist with knowledge of the species and relocation procedures, who is also licensed by the NYSDEC to handle bog turtles.
 2. It is illegal to take, import, transport, possess, or sell an animal listed as threatened without a license.
 3. If a turtle is seen, stop all ground disturbing work immediately.
 4. Contact the contractor in charge and delay work in the area until the turtle has moved safely from the area. Allow the turtle to continue on its way.
 5. If the turtle does not move along on its own, contact the response number below to have a trained, NYS licensed professional safely relocate the turtle at
 6. Contact the NYSDEC Wildlife Office to report the incident within 24 hours at 845-256-3098 Wildlife R3@dec.ny.gov. Please provide the location, the project name, and explanation of incident.
 7. If the turtle was found within a Turtle exclusion barrier, or restrictive barrier fence, work cannot commence till the barrier is inspected by and signed off on by a knowledgeable bog turtle consultant.
 8. The Project sponsor will provide educational materials for all contractors to inform of the potential for Bog Turtle encounters and what to do if a turtle is encountered to ensure the animals are not collected or persecuted.
 9. If a turtle is observed in the work area all work will cease until written authorization to continue work is received from the NYSDEC.
7. Trap Hazard Protection:
 - a. Water control structures, such as drainpipes, may create a trap hazard to turtles. To prevent possible entrapment of turtles, the storm drain grates will be designed with the smallest possible grate opening without compromising safety or necessary flow rate.
 - b. Below-ground swimming pools should be surrounded by fencing to exclude turtles of all age classes. Fine grade wire cloth (14-inch square mesh size) at the base of a picket fence or a 10"-12" high barrier can be used to prevent turtles from traveling into the hazard area.
 - c. Window wells should have grates (1-inch square mesh size or less) or 10" -12" high vertical barriers surrounding the well.
 - d. Any excavation work, outside of barrier restricted areas, done between April 1st and September 30th should be backfilled on the same day as excavated or ramps (30-degree angle maximum) should be placed inside the excavation to enable turtles to climb out.

GENERAL PLANTING NOTES

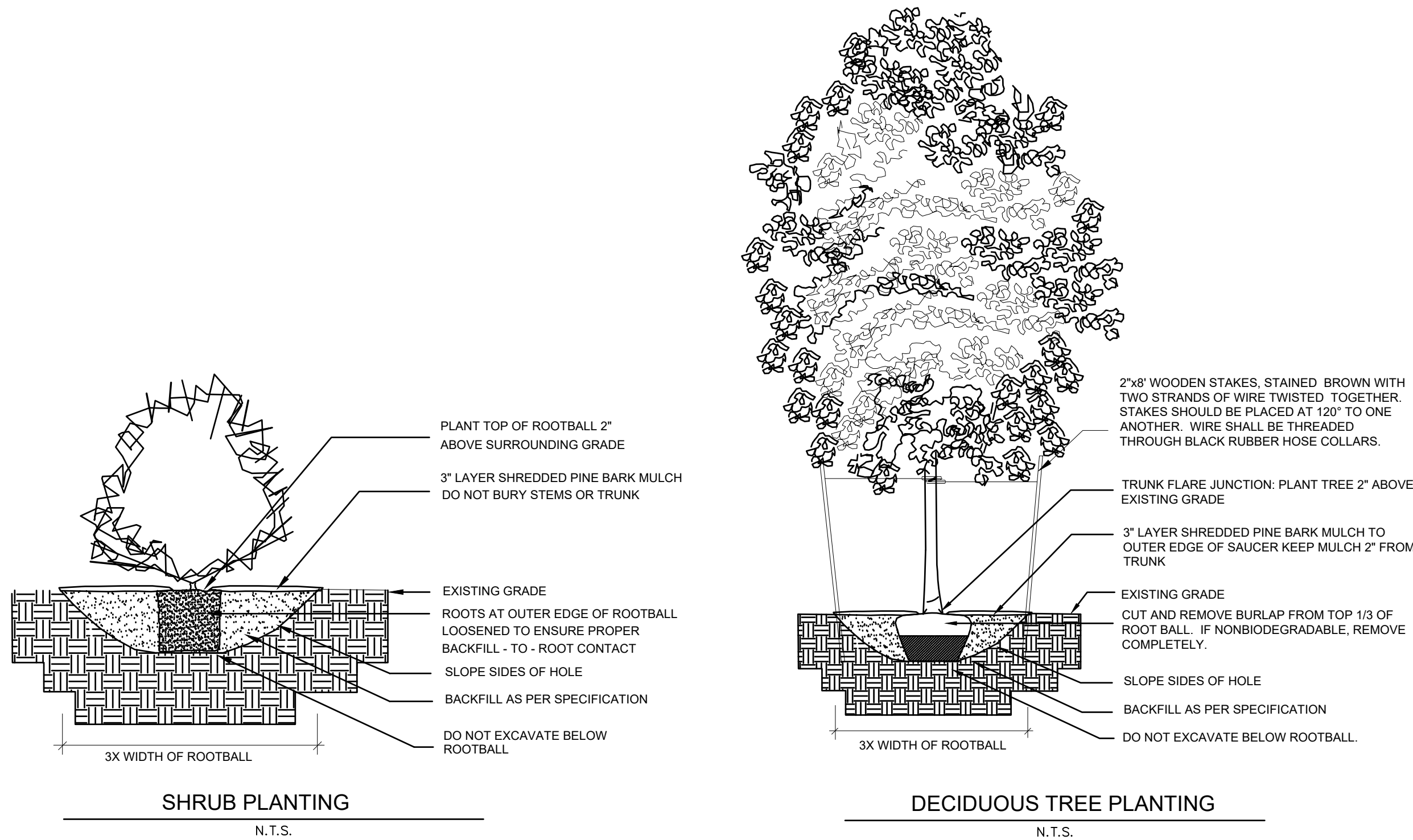
1. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.N.L.A STANDARDS.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
3. ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR, FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT OR CLIENT. ANY INSTALLATIONS WHICH WERE NOT PRE-APPROVED AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE MOVED, WILL BE DONE AT THE CONTRACTORS EXPENSE.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE AT HIS OWN EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
7. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND /OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
8. SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNERS REPRESENTATIVE.
9. PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE. CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
10. WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
11. CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
12. CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE.

GENERAL SEED MIX FOR LAWNS:

SUPREME #14 (FOR SUN & SHADE)
AS SUPPLIED BY PLANTERS' CHOICE, OR APPROVED EQ.:
30% Boreal Creeping Fescue
20% Applaud II Perennial Rye
15% Shining Star II Perennial Rye
15% 1G Squared Perennial Rye
10% Kentucky Blue
10% Seven Seas Chewing Fescue
4-6# per 1,000 sq. ft.


ANTICIPATED CONSTRUCTION SEQUENCE

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2. STOCKPILE TOPSOIL AND / OR REMOVE DIRECTLY FROM SITE.
3. EXCAVATE AND FORM POOL.
4. ROUGH GRADE SITE AND CONSTRUCT NEW PATIO, WALKWAYS AND SMALL LANDSCAPE WALLS.
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10. REMOVE SEDIMENT AND EROSION CONTROLS WHEN APPROVED BY TOWN OFFICIALS.



DATE:

REVISION:



LANDSCAPE ARCHITECTURE
LAND USE CONSULTING


A2 Land Consulting, LLC
30 Rocky Hill Rd.
New Fairfield, CT 06812

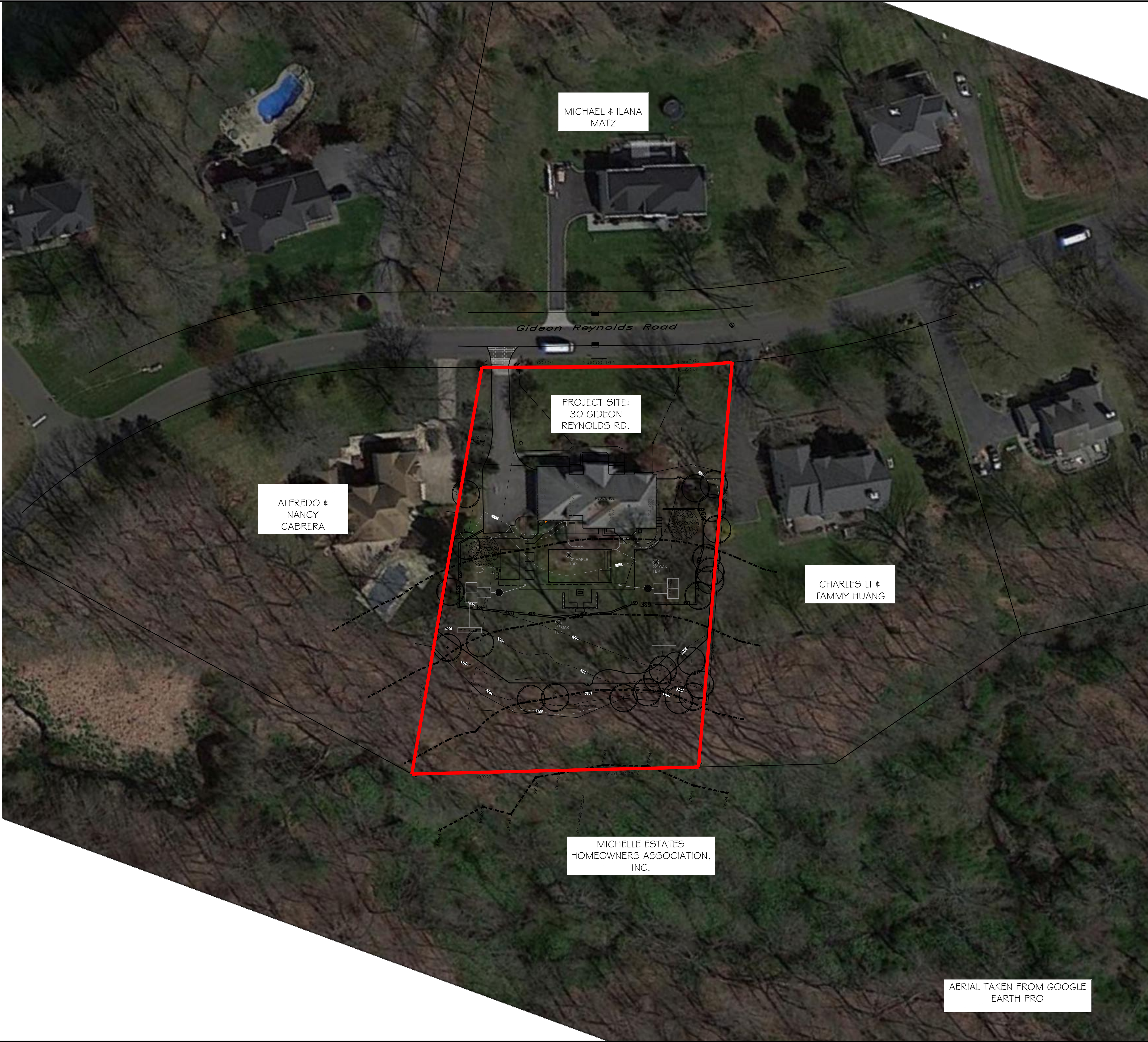
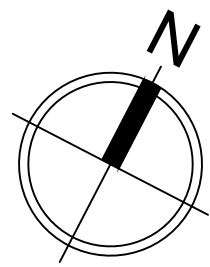
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W: www.a2land.com

NOTES & DETAILS

PREPARED FOR
JOHN AND KRISTINA NELSON
30 GIDEON REYNOLDS RD.
CROSS RIVER, NY


DATE: 4.13.23
SCALE: N.T.S.
PROJ #: 2222
DWG FILE: 2222LA
SHEET: L3






- NOTES:
1. BASE INFORMATION ARE BASED UPON PROPERTY SURVEY PREPARED BY TC MERRITT'S LAND SURVEYERS PLEASANTVILLE NY. ENTITLED TOPOGRAPHY OF PROPERTY PREPARED FOR JOHN AND KRISTINA NELSON, AS REVISED 09/29/2020.
 2. WETLANDS FLAGGED BY PAUL J. JOEHNING, WETLANDS AND SOILS CONSULTING, 08/03/2020 AND FIELD INSPECTED BY JOSHUA FISHER, NYSDEC, BUREAU OF HABITAT 08/13/2020

DATE:	
REVISION:	

 <small>LANDSCAPE ARCHITECTURE LAND USE CONSULTING</small>	A2 Land Consulting, LLC 30 Rocky Hill Rd. New Fairfield, CT 06812
	P: 845.531.1504 E: abigail@a2land.com W: www.a2land.com

ADJACENT PROPERTY OWNER PLAN	
PREPARED FOR JOHN AND KRISTINA NELSON 30 GIDEON REYNOLDS RD. CROSS RIVER, NY	DATE: 4.01.23
	SCALE: 1" = 30'
	PROJ #: 2222
	DWG FILE: 2222LA
	SHEET: L4
	

SCALE: AS NOTE

MATERIAL LOCATION		DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M 145 ¹ A-1, A-2-4, A-3 OR AASHTO M 43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 88, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 85% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M 43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M 43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

ADS GEOSYNTHETICS 6017 NON-WOVEN GEOTEXTILE ALL AROUND CLEAN, CRUSHED, ANGULAR STONE IN A & B LAYERS

PERIMETER STONE (SEE NOTE 4)

EXCAVATION WALL (CAN BE SLOPED OR VERTICAL)

6" (150 mm) MIN

MC-3500 END CAP

SUBGRADE SOILS

6" (150 mm) MIN

77" (1956 mm)

12" (300 mm) MIN

45" (1143 mm)

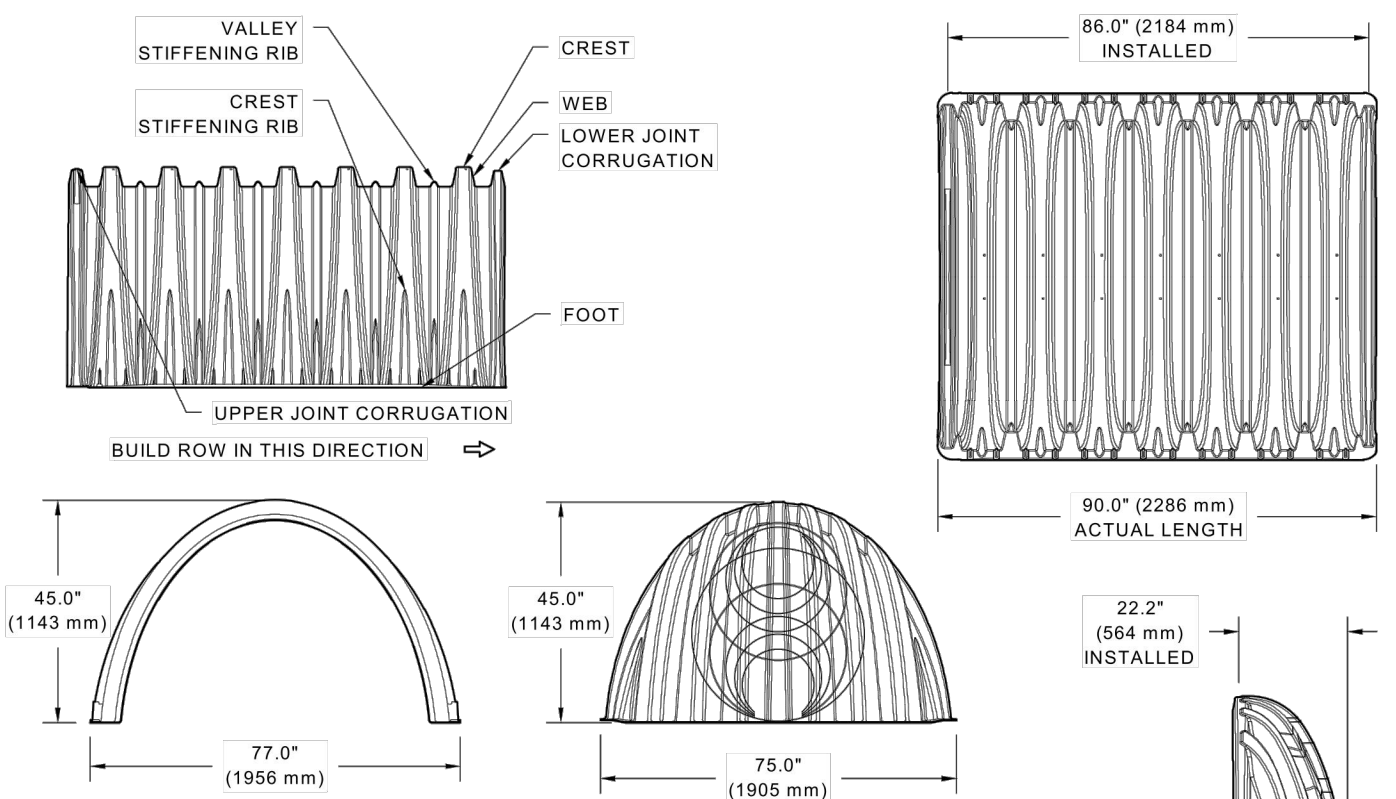
18" (450 mm) MIN

8" (200 mm) MAX

TO BOTTOM OF FLEXIBLE PAVEMENT. FOR UNPAVED INSTALLATIONS WHERE RUTTING FROM VEHICLES MAY OCCUR, INCREASE COVER TO 24" (600 mm)

DEPTH OF STONE TO BE DETERMINED BY SITE DESIGN ENGINEER 9" (230 mm) MIN

1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45X76 DESIGNATION SS.
2. MC-300 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, (A) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/FT²/IN³ AND (B) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



<u>NOMINAL CHAMBER SPECIFICATIONS</u>		
SIZE (W X H X INSTALLED LENGTH)	77.0" X 45.0" X 86.0"	(1956 mm X 1143 mm X 2184 mm)
CHAMBER STORAGE	109.9 CUBIC FEET	(3.11 m³)
MINIMUM INSTALLED STORAGE*	175.0 CUBIC FEET	(4.96 m³)
WEIGHT	134 lbs.	(60.8 kg)

<u>NOMINAL END CAP SPECIFICATIONS</u>		
SIZE (W X H X INSTALLED LENGTH)	75.0" X 45.0" X 22.2"	(1905 mm X 1143 mm X 564 mm)
END CAP STORAGE	14.9 CUBIC FEET	(0.42 m³)
MINIMUM INSTALLED STORAGE*	45.1 CUBIC FEET	(1.28 m³)
WEIGHT	49 lbs.	(22.2 kg)

*ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION, 6" (152 mm) STONE BETWEEN CHAMBERS, 6" (152 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.

PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"
END CAPS WITH A WELDED CROWN PLATE END WITH "C"

PART #	STUB	B	C
MC3500IEPP06T	6" (150 mm)	33.21" (844 mm)	...
MC3500IEPP06B		...	0.68" (17 mm)
MC3500IEPP08T		31.16" (791 mm)	...
MC3500IEPP08B		...	0.81" (21 mm)
MC3500IEPP10T	8" (200 mm)	29.04" (738 mm)	...
MC3500IEPP10B		...	0.93" (24 mm)
MC3500IEPP12T		26.38" (670 mm)	...
MC3500IEPP12B		...	1.35" (34 mm)
MC3500IEPP15T	15" (375 mm)	23.39" (594 mm)	...
MC3500IEPP15B		...	1.50" (38 mm)
MC3500IEPP18T		20.03" (509 mm)	...
MC3500IEPP18T		...	1.77" (45 mm)
MC3500IEPP18B	18" (450 mm)	...	...
MC3500IEPP18W		...	...
MC3500IEPP24T		14.48" (368 mm)	...
MC3500IEPP24T		...	...
MC3500IEPP24B	24" (600 mm)	...	2.06" (52 mm)
MC3500IEPP24B		...	...
MC3500IEPP30B		30" (750 mm)	2.75" (70 mm)
MC3500IEPP30B		...	...

NOTE: ALL DIMENSIONS ARE NOMINAL

CUSTOM PARTIAL CUT INVERTS ARE AVAILABLE UPON REQUEST. INVERTED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC-3500 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

PER PIPE CONNECTION TO END CAP WITH ADS GEOTECHNICE EST NON-WOVEN GEOTEXTILE

INSTALL FLANG ON 24" (600 mm) ACCESS PIPE PART # MC350024RAMP

OPTIONAL INSPECTION PORT

MC-3500 END CAP

STORMTECH HIGHLY RECOMMENDS FLEXFORMING INSERTS IN ANY UPSTREAM STRUCTURES WITH OPEN GRATES

ELEVATED BYPASS MANIFOLD

CATCH BASIN OR MANHOLE

24" (600 mm) HDPE ACCESS PIPE REQUIRED USE FACTORY PARTIAL CUT END CAP PART # MC3500PSPAC OR MC3500PSP48H

ONE LAYER OF ADSULFUS™ WOVEN GEOTEXTILE BETWEEN FOUNDATION STONE AND CHAMBERS 8' (2.13 m) MIN WIDE CONTINUOUS FABRIC WITHOUT SEAMS

SUMP DEPTH TBD BY SITE DESIGN ENGINEER (600 mm) MIN RECOMMENDED

STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT

- A.1. INSPECTION POINT (IF PRESENT)
- A.2. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
- A.3. REMOVE AND CLEAN FLEXFORM FILTER IF INSTALLED
- A.4. USING A FLASHLIGHT AND STADIUM ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- A.5. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- A.6. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. ALL ISOLATOR ROW PLUS ROWS

- B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
- B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - 1) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - 1) FOLLOW OSHA REQUIREMENTS FOR CONFINED SPACE PENETRATION
- B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

The drawing consists of two parts: a side view and a top view labeled 'SECTION A-A'.

Side View: Shows a cross-section of the chamber and the tee connection. A 'CONVEYANCE PIPE' is shown entering the chamber from the left. The 'INSERTA TEE CONNECTION' is shown as a horizontal pipe connecting to the side of the chamber. The chamber is filled with 'ADSPPLUS WOVEN GEOTEXTILE' and 'BEDDING STONE FOR SCOUR PROTECTION'. The 'INSERTA TEE' is shown as a horizontal pipe connecting to the side of the chamber. The 'CHAMBER FOOT' is shown at the bottom. A note indicates that the 'CONVEYANCE PIPE MATERIAL MAY VARY (PVC, HDPE, ETC.)'. A note also states 'DO NOT INSTALL INSERTA TEE AT CHAMBER JOINTS'.

SECTION A-A: A top-down view of the chamber and tee connection. It shows the 'CHAMBER' as a rectangular area. The 'INSERTA TEE' is shown as a horizontal pipe connecting to the side of the chamber. The 'CHAMBER FOOT' is shown at the bottom. The 'MAX DIAMETER OF INSERTA TEE' is indicated by a dimension line. The 'HEIGHT FROM BASE OF CHAMBER (X)' is indicated by a dimension line. A note states 'DO NOT INSTALL INSERTA TEE AT CHAMBER JOINTS'.

NOTES:

- PART NUMBERS WILL VARY BASED ON INLET PIPE MATERIALS. CONTACT STORMTECH FOR MORE INFORMATION.
- CONTACT ADS ENGINEERING SERVICES IF INSERTA TEE INLET MUST BE RAISED AS NOT ALL INVERTS ARE POSSIBLE.

CHAMBER	MAX DIAMETER OF INSERT TEE	HEIGHT FROM BASE OF CHAMBER (X)
SC-310	6" (150 mm)	4" (100 mm)
SC-740	10" (250 mm)	4" (100 mm)
DC-780	10" (250 mm)	4" (100 mm)
MC-3500	12" (300 mm)	6" (150 mm)
MC-4500	12" (300 mm)	8" (200 mm)
MC-7200	12" (300 mm)	8" (200 mm)

INSERT TEE FITTINGS AVAILABLE FOR SDP 26, SDP 35, SDH 40 IPS GASKETED & SOLVENT WELD, N-12, HP STORM, C-900 OR BUTTLE IRON

STORMTECH CHAMBERS

STORMTECH END CAP

OUTLET MANIFOLD

STORMTECH CHAMBER

FOUNDATION STONE BENEATH CHAMBERS

ADS GEOSYNTHETICS 601T NON-WOVEN GEOTEXTILE

SECTION A-A

DUAL WALL PERFORATED HDPE UNDERDRAIN

STORMTECH END CAP

FOUNDATION STONE BENEATH CHAMBERS

ADS GEOSYNTHETICS 601T NON-WOVEN GEOTEXTILE

SECTION B-B

NUMBER AND SIZE OF UNDERDRAINS PER SITE DESIGN ENGINEER

4" (100 mm) TYP FOR SC-740 & SC-160LP SYSTEMS

6" (150 mm) TYP FOR SC-740, DC-780, MC-3500, MC-4500 & MC-7200 SYSTEMS

5 UNDERDRAIN DETAIL

Drawings and Specifications, as instruments of professional service, are and shall remain the property of the Engineer. Documents are not to be used, in whole or in part, for other projects or purposes, or by any other parties than the authority by contract to use the specific written authorization of the Engineer. The use of this document is contingent upon payment to the engineer for services rendered. Non-payment shall give the Engineer the authority to bar document use by any and all parties. If owner or contractor fails to pay the Engineer within ten (10) days of the date of invoice, the Engineer reserves the right that the owner advise the engineer in writing with ten (10) days. Remaining, undisputed portions are due and payable upon receipt. The owner shall indemnify the Engineer against any claims alleging damages or delays incurred in the event the Engineer exercises the right to bar document use. The Engineer shall not be responsible for work done on site. Only figured dimensions are to be worked from. Discrepancies must be reported immediately to the Engineer before proceeding.

Legend:

- SILT FENCE
- FLOW DIRECTION

[illegible]

STAMP & SIGN:



PROJECT NUMBER:	#68
DATE:	7-22-22
DRAWN BY:	MD
CHECKED BY:	PGM

SCALE: AS NOTED

TO: The Town of Lewisboro Planning Board
FROM: Lewisboro Conservation Advisory Council
SUBJECT: Maple Tree Farm, 400 Smith Ridge Road, wetland violation mitigation
DATE: May 10, 2023

The Conservation Advisory Council (CAC) has reviewed the materials submitted by the applicant for the mitigation of a wetland violation at 400 Smith Ridge Road, South Salem, NY 10590. The CAC has the following:



- The plans discuss a 25 foot buffer while the DEC is 100 ft and the town is 150 ft. The plans need to show these buffer lines and the plan needs to address issue within the state and town wetland buffer areas.
- The fence that borders the mitigation are should be along the 150 foot buffer and not the arbitrary 25 foot buffer.
- The plan does not indicate that the offending chips are to be removed.
- The grass driveway appears to be within the wetland buffer.
- In general, the wetland mitigation plan needs to be updated to address the proper wetland buffer area and the offending chips.

This violation has been on the agenda for several months but no mitigation plan has been shown. In those several months, the dumped wood chips could be causing harm to the wetland. Once violations are found, expedited mitigation would cause the least damage. The CAC would like to understand what needs to be done to have this site addressed.

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP 
Joseph M. Cermele, P.E., CFM 
Town Consulting Professionals

DATE: May 12, 2023

RE: Bob & Ellen Rose
15 Truesdale Lake Drive
Sheet 36L, Block 10815, Lot 30

PROJECT DESCRIPTION

The application involves the demolition of an existing wood deck and constructing a new stone patio in the same general area. Portions of the proposed patio are located within the regulated 150-foot wetland buffer; the total area of proposed land disturbance is estimated to be $\pm 1,666$ s.f., $\pm 1,550$ s.f. of which is proposed within the wetland buffer. The disturbance will take place within the wetland setback.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS

1. A Wetland Activity Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

Chairperson Janet Andersen

May 12, 2023

Page 2 of 3

COMMENTS

1. The applicant shall submit an updated Existing Conditions Survey, signed and sealed by a NYS Licensed Land Surveyor.
2. Provide source information relating to the topography illustrated on the site plan.
3. The plan shall illustrate the location of all existing utilities (septic system, septic expansion areas, well/water service).
4. The plans should show locations of the existing roof downspouts in the vicinity of the new patio and any adjustments needed, if required.
5. Provide a grading plan illustrating existing and proposed contours, as well as additional proposed spot grades for the new stone patio.
6. Expand the terrace wall detail to show the typical patio stone depth.
7. Top and bottom elevations of all proposed walls shall be identified on the plan.
8. All walls greater than or equal to four (4) feet in height shall be designed by a NYS Licensed Professional Engineer.
9. The plan shall note that the construction of all walls greater than or equal to four (4) feet in height shall be certified by the Design Professional prior to issuance of a Certificate of Occupancy/Completion.
10. The plan shall note that disturbance limits shall be staked in the field prior to construction.
11. Provide a planting plan for plants proposed within the stormwater planter. Identify specie type, size, quantity and plant spacing.
12. Please confirm in your stormwater calculations the impervious surface for the entire patio. It appears the impervious surface should be closer to 500 s.f. No credit to impervious surface is given for the existing wood deck.
13. Include erosion control measures on the plan, including, but not limited to, temporary construction access, tree protection, construction sequence, etc. Details shall be provided and shall be in conformance with the most recent version of the New York State Standards and Specifications for Erosion and Sediment Control.

Chairperson Janet Andersen

May 12, 2023

Page 3 of 3

14. Proposed erosion controls must be shown to be located within the proposed limits of disturbance line.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY ARKETEKCHER ARCHITECT, DATED APRIL 7, 2023:

- Title Sheet, Site Plan, Zoning Calculations (T-001.00)
- Partial Foundation and Basement Floor Plans, Details (A-100.00)

DOCUMENTS REVIEWED:

- Letter, prepared by Michael Bevivino, AIA, dated April 7, 2023
- Wetland Permit Application
- Short EAF, dated April 7, 2023

JKJ/dc

https://kellardsessionsconsulti.sharepoint.com/sites/Kellard/Shared/Jan/PENDING/01 Lewisboro/2023-05-12_LWPB_Rose - 15 Truesdale Lake Drive_Review Memo.docx

TO: The Town of Lewisboro Planning Board
FROM: Lewisboro Conservation Advisory Council
SUBJECT: Rose patio, 15 Truesdale Lake Drive, South Salem, NY 10590
DATE: May 10, 2023

The Conservation Advisory Council (CAC) has reviewed the materials submitted by the applicant for a patio.

The submission does not show an old and new drawing. The CAC would like to see drawings that can be used to see if the new patio is larger and therefore requires a mitigation plan. If so, a mitigation plan should be included including a list of plantings. Given the closeness to the lake, the CAC would like to see more information on the stormwater planters to determine if they are adequate. Finally, as the lot appears to have many trees, the CAC would like to know if any trees are being removed and if their removal would violate the tree ordinance.

Application No.: _____

Fee: _____ Date: _____

**TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION**

79 Bouton Road, South Salem, NY 10590

Phone: (914) 763-5592

Fax: (914) 875-9148

Project Address: 15 Truesdale Lake Drive

Sheet: 36L Block: 10815 Lot(s): 30

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): Patio addition. Approximately 1,550 sf of wetland disturbance

Owner's Name: Bob and Ellen Rose Phone: 914-649-3036

Owner's Address: 15 Truesdale Lake Drive, South Salem NY 10590 Email: ellen@sandrcpa.com

Applicant's Name (if different): _____ Phone: _____

Applicant's Address: _____ Email: _____

Agent's Name (if applicable): Michael Bevivino Phone: 914-762-3936

Agent's Address: 6 Americo Circle, Ossining NY 10562 Email: michael@arketekcher.com

TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

☐ Administrative ☒ Planning Board

Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No

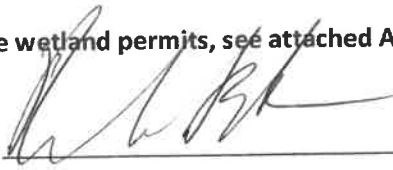
Total area of proposed disturbance: ☒ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☐ ≥ 1 acre

Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: _____

Planning board and building department

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: 

Date: 4/7/23

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590

Email: planning@lewisborogov.com

Tel: (914) 763-5592

Fax: (914) 875-9148

Affidavit of Ownership

State of: Connecticut

County of: Fairfield

Robert B. Rose Jr., being duly sworn, deposes and says that he/she
resides at 15 Truesdale Lake Dr., S. Salem N.Y. 10590
in the County of Westchester, State of N.Y.,
and that he/she is (check one) ☒ the owner, or ☐ the
of 15 Truesdale Lake Dr, South Salem, NY 10590
Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the
Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of
Lewisboro as:

Block 10815, Lot 30, on Sheet 36L.

[Signature]
Owner's Signature

Sworn to before me this

15 day of April, 2023

[Signature]
Notary Public - affix stamp

JAMES O. WHITMORE
NOTARY PUBLIC - CONNECTICUT
MY COMM. EXPIRES 05/31/2025
169212

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant (Please type or print)

Bob and Ellen Rose

Name of Applicant

15 Truesdale Lake

Project Name

Property Description

Tax Block(s): 10815

Tax Lot(s): 30

Tax Sheet(s): 36L

Property Assessed to:

Bob and Ellen Rose

Name 15 Truesdale Lake Drive

Address South Salem, NY 10590

City

State

Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes:

Date

Sworn to before me this

17th

day of

April

2

023

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2024

Signature - Notary Public (affix stamp)



Short Environmental Assessment Form

Part 1 - Project Information

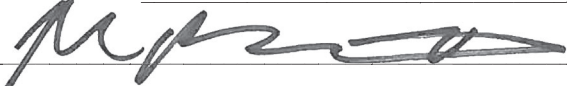
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 15 Truesdale Lake			
Project Location (describe, and attach a location map): 15 Truesdale Lake Drive, South Salem, NY 10590			
Brief Description of Proposed Action: The proposed project consists of the removal of an existing wooden deck and installing a new stone terrace in approximately the same location at the rear of the existing house.			
Name of Applicant or Sponsor: Michael Bevivino (Architect)		Telephone: 914-762-3936 E-Mail: michael@arketekcher.com	
Address: 6 Americo Circle			
City/PO: Ossining		State: NY	Zip Code: 10562
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Lewisboro for building permit and planning board approval		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		.579 acres	
b. Total acreage to be physically disturbed?		.006 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.579 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action: <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ N/A - Proposed exterior terrace _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ N/A - Proposed exterior terrace _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <div style="margin-left: 20px;"> a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? </div> If Yes, briefly describe: <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div>	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: <u>Michael Bevivino</u> Date: <u>04.07.23</u></p> <p>Signature: <u></u> Title: <u>Architect</u></p>		

ärkətekchər

Arketekcher Architecture DPC
6 Americo Circle, Ossining, NY 10562
914.762.3936
www.arketekcher.com

April 7, 2023

Regarding:
15 Truesdale Lake Drive
Ellen and Bob Rose
15 Truesdale Lake Drive, South Salem, NY 10590

To Whom it May Concern:

The proposed scope of work at 15 Truesdale Lake Drive residence includes the removal of an existing wood deck and a new stone patio is proposed to be built in approximately the same location at the rear of the house.

The property's rear yard is located on the water edge of Truesdale Lake. The patio is located within the 150' wetland setback. The total land disturbance is approximately 1,666 square feet and approximately 1,550 square feet of the total is within the wetland setback.

The storm water run-off will be controlled by a landscape planter and gravel bed at the edge of the patio. Drawings, details and stormwater calculations are enclosed for your review.

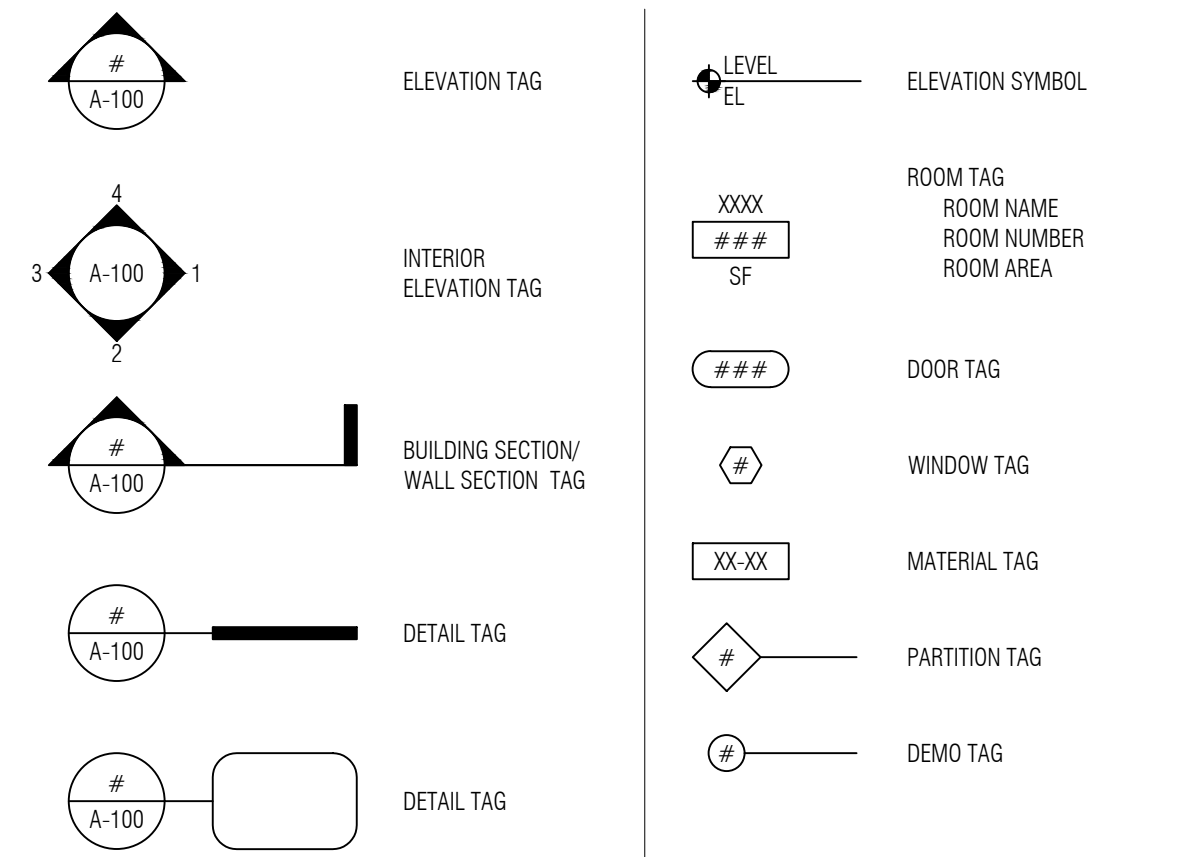
Sincerely,



Michael Bevivino, AIA
Arketekcher Architecture DPC
Principal

STORMWATER ANALYSIS			
GENERAL INFORMATION			
ADDRESS		REFERENCE DOCUMENTATION	
15 TRUESDALE LAKE DRIVE, SOUTH SALEM, NY		NOAA ATLAS 14 POINT PRECIPITATION FREQUENCY ESTIMATE	
PROPOSED COVERAGE & RUN-OFF VOLUME			
IMPERVIOUS COVERAGE	24-HR TYPE II RAIN EVENT	RUN-OFF CURVE NUMBER	RUN-OFF VOLUME
275 S.F.	6.59-IN	40%	60.4 CF (452-GAL) PRE-CONSTRUCTION RUN-OFF VOLUME
275 S.F.	6.59-IN	98%	148.0 CF (1107-GAL) POST-CONSTRUCTION RUN-OFF VOLUME
		Δ RUNOFF:	87.6 CF (655-GAL)
STORM WATER & EROSION CONTROLS IN PLACE		USE OF GRAVEL WITHIN PROPOSED PLANTER AT PERIMETER OF TERRACE	
REMARK			
<ul style="list-style-type: none"> ARTIFICIAL FEATURES FOR CONTROL OF DRAINAGE, EROSION & WATER PROVIDED BY: <ul style="list-style-type: none"> 1) 20.5" DEPTH OF ¾" STONE WITHIN PLANTERS - 130-SF x 20.5" STONE x 40% STORAGE CAPACITY = 88.83-CF (664.5 GAL) THE PLANTER FEATURES PROVIDED WILL REDUCE STORM WATER RUN-OFF & RUN-OFF VELOCITY TO PROMOTE NATURAL ABSORPTION INTO THE TOP SOIL. NATURAL FEATURES FOR CONTROL OF RUN-OFF REMAIN UNCHANGED & INCLUDE MAINTENANCE OF GRASS & OTHER VEGETATION AT REAR OF PROPERTY. THE PROPOSED MITIGATION MEASURES REDUCE DISTURBANCE AND CONTAIN STORM WATER RUN-OFF AND REDUCE DISTURBANCE TO THE ENVIRONMENT AND NEIGHBORING PROPERTIES TO THE MAXIMUM EXTENT AS PRACTICALLY POSSIBLE. PRE-CONSTRUCTION RUN-OFF CURVE NUMBER: OPEN GRASS (GOOD CONDITION) - HYDRAULIC SOIL GROUP A ; LOW RUNOFF POTENTIAL) 			

DRAWING SYMBOLS



ABBREVIATIONS

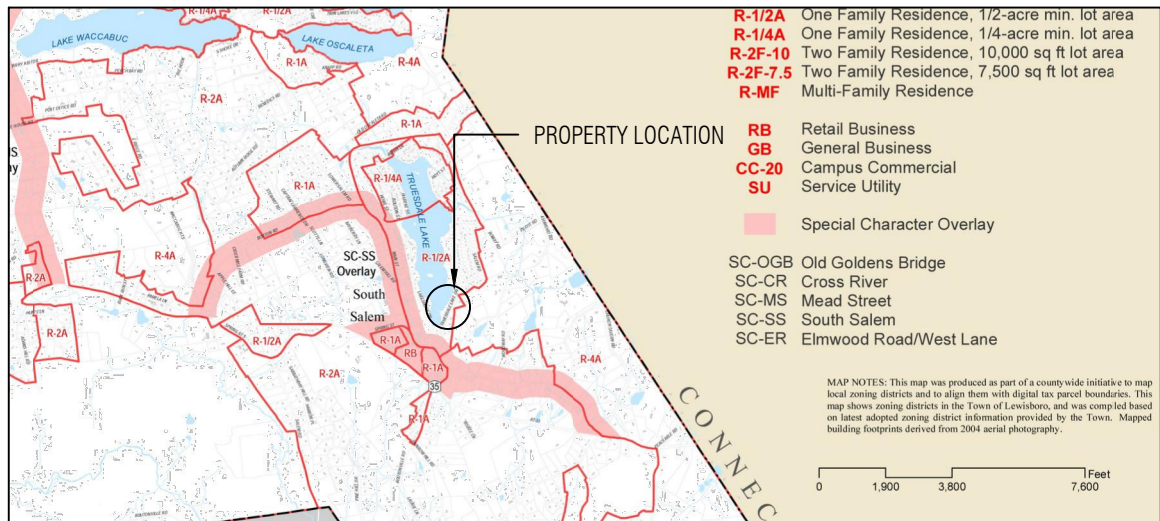
ADJ	ADJUSTABLE	MIN	MINIMUM
AFF	ABOVE FINISHED FLOOR	MISC	MISCELLANEOUS
ARCH	ARCHITECT	MO	MASONRY OPENING
		MTL	METAL
BD	BOARD		
BLDG	BUILDING	NEO	NEOPRENE
BLKG	BLOCKING	NIC	NOT IN CONTRACT
BO	BOTTOM OF	NO	NUMBER
		NOM	NOMINAL
CAB	CABINET	NTS	NOT TO SCALE
CARP	CARPET		
CEIL	CEILING	OA	OVER ALL
CL	CLOSET	OC	ON CENTER
CO	CLEAR OPENING	OC	OCCUPANCY
COORD	COORDINATE	OD	OUTSIDE DIAMETER
COL	COLUMN	OPER	OPERATE
CL	CENTER LINE	OPGS	OPENINGS
CONC	CONCRETE	OPP	OPPOSITE
CONST	CONSTRUCTION		
CONT	CONTINUOUS	PART	PARTITION
CT	CERAMIC TILE	PERP	PERPENDICULAR
CMU	CONCRETE MASONRY UNIT	PLAM	PLASTIC LAMINATE
		PLUMB	PLUMBING
DEMO	DEMOLISH	PLYWD	PLYWOOD
DET	DETAIL	PNL	PANEL
DIA	DIAMETER	POL	POLISHED
DIM	DIMENSION		
DN	DOWN	QT	QUARRY TILE
DWG	DRAWING	QTY	QUANTITY
EA	EACH	R	RISER, RADIUS
ELEV	ELEVATION	REIN	REINFORCED
EO	EQUAL	REC	RECESSED
EQUIP	EQUIPMENT	REQD	REQUIRED
EXTG	EXISTING	REV	REVISION
EXP	EXPOSED		
EXT	EXTERIOR	RM	ROOM
			ROUGH OPENING
FIN	FINISH/ FINISHED		
FL	FLOOR	SCHED	SCHEDULE
FLASH	FLASHING	SECT	SECTION
FT	FEET	SIM	SIMILAR
FF	FINISHED FLOOR	SPEC	SPECIFICATIONS
		SPR	SPRINKLED
GA	GAUGE	SQ	SQUARE
GALV	GALVANIZED	SS	STAINLESS STEEL
GC	GENERAL CONTRACTOR	STD	STANDARD
GR	GRADE	STL	STEEL
GYP	GYPSON	STOR	STORAGE
GWB	GYPSON WALL BOARD	STRUCT	STRUTURAL
		SUSP	SUSPENDED
HD WD	HARDWOOD	SVC	SERVICE
HDWR	HARDWARE		
HORIZ	HORIZONTAL	T	TREADS
HT	HEIGHT	TEL	TELEPHONE
HVAC	HEATING, VENTILATING, & AIR	TBD	TO BE DETERMINED
CONDITIONING		THK	THICKNESS
		TOP	TOP OF
		TO	TYPICAL
ID	INTERIOR DIMENSION		
IN	INCHES		
INSUL	INSULATION	UL	UNDERWRITERS LABORATORY
INT	INTERIOR	UNO	UNLESS OTHERWISE NOTED
LAM	LAMINATE	VERT	VERTICAL
LEV	LEVEL	VEST	VESTIBULE
LGTH	LENGTH	VIF	VERIFY IN FIELD
LP	LOW POWER		
LT WT	LIGHT WEIGHT	WC	WATER CLOSET
		WD	WOOD
MAS	MASONRY	WIND	WINDOW
MAT	MATERIAL	W	WITH
MAX	MAXIMUM	WT	WEIGHT
MFR	MANUFACTURER		

LOCATION INFORMATION

ADDRESS 15 TRUESDALE LAKE DRIVE, SOUTH SALEM, NY 10590

MAP 43.15-3-18
BLOCK 10815
LOT 030
USE R-1/2A ONE FAMILY RESIDENCE

LOCATION DIAGRAM



BUILDING, FIRE AND ENERGY CODES REFERENCED

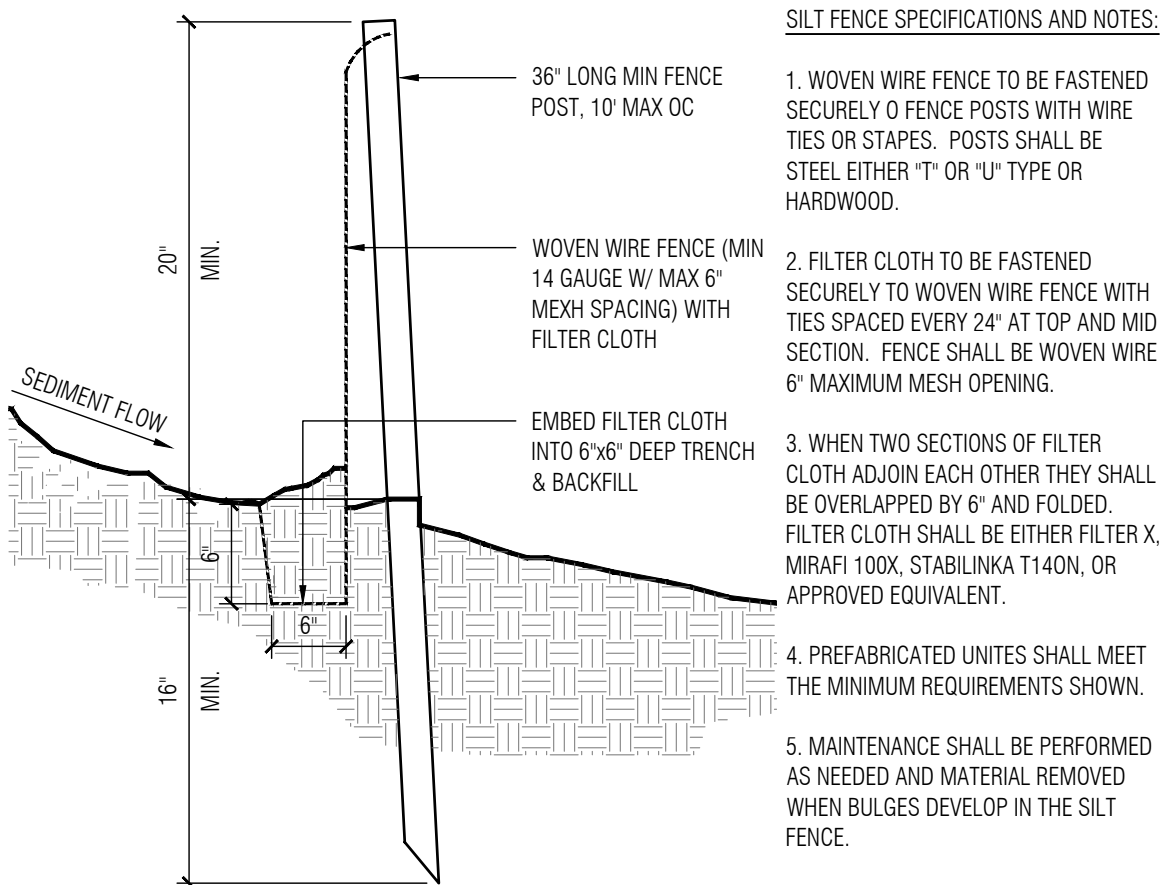
2020 EXISTING BUILDING CODE OF NEW YORK STATE
2020 RESIDENTIAL CODE OF NEW YORK STATE
2020 FIRE CODE OF NEW YORK STATE
2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

DRAWING LIST

SHEET No.	DESCRIPTION	SCALE	FILING ISSUE 08.31.22	PLANNING BD SKETCH PLAN REVIEW 03.16.23	
-----------	-------------	-------	--------------------------	--	--

ARCHITECTURAL					
T-001.00	TITLE SHEET, SITE PLAN, ZONING CALCULATIONS	1/16" = 1'-0"	•	•	
A-100.00	PARTIAL FOUNDATION BASEMENT AND FOUNDATION PLAN DETAILS	AS NOTED	•		
	TOTAL DRAWINGS		2	1	

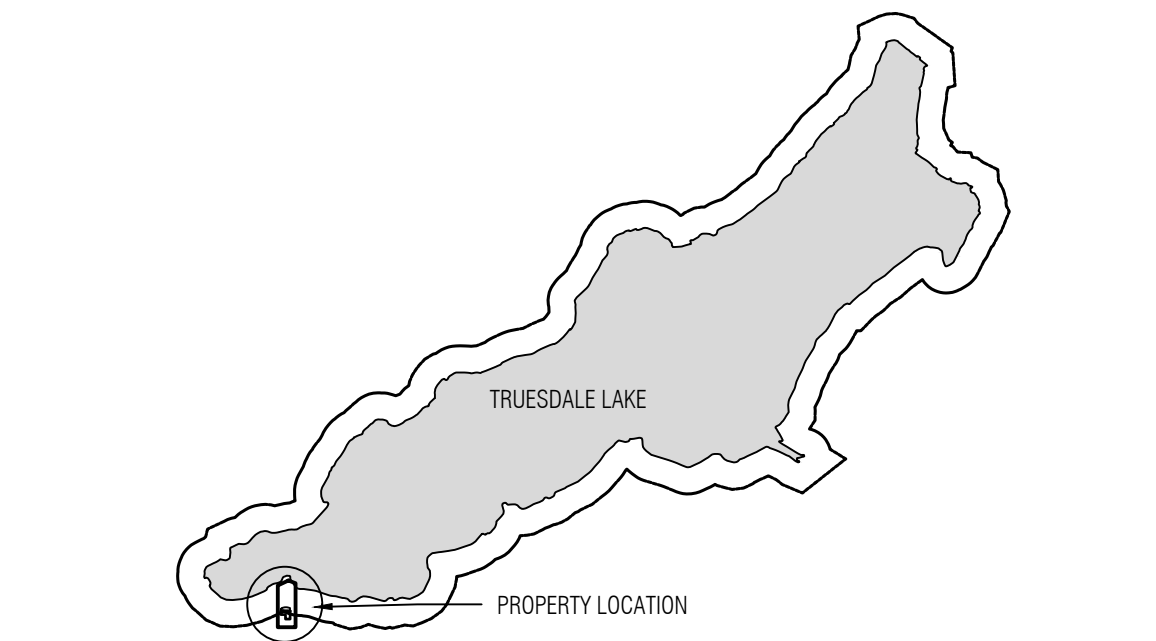
SILT FENCE DETAIL



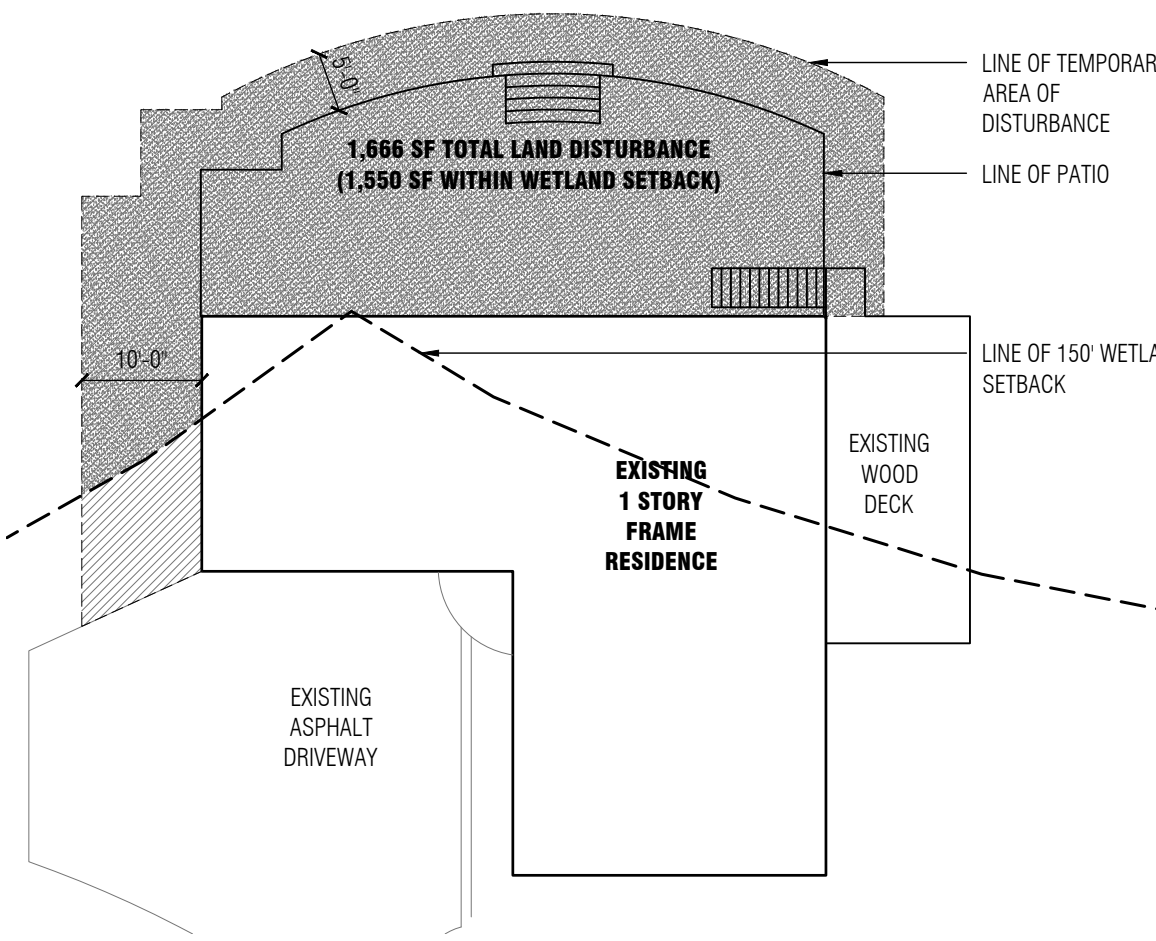
SCHEDULE OF DIMENSIONAL REGULATIONS

DIMENSIONAL	R-1/2A	EXISTING	PROPOSED	COMPLIANCE
LOT AREA (acre) MINIMUM	.5	.57	NO CHANGE	complies
LOT WIDTH (feet)	100	100	NO CHANGE	complies
YARDS (minimum in feet)				
FRONT				
FROM FRONT LOT LINE	30	46.3	NO CHANGE	complies
SIDE	15	16.9	NO CHANGE	complies
REAR	30	132.1	130.1	complies
HEIGHT	-	-	-	complies
STORIES	2 1/2	1	NO CHANGE	complies
FEET	35	15.3	NO CHANGE	complies
MAXIMUM BUILDING COVERAGE (% of lot area)	15	.06	.08	complies

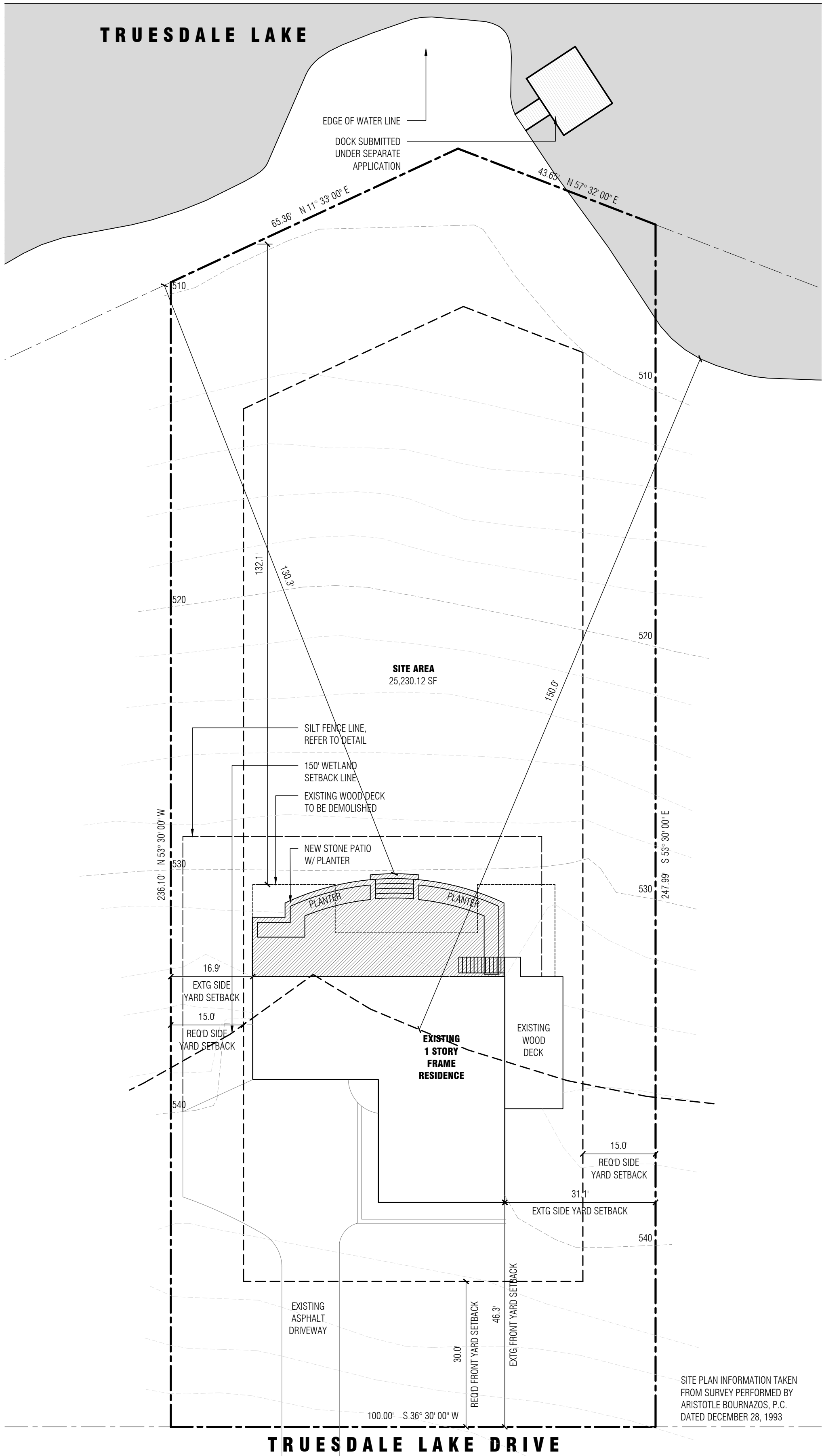
KEY PLAN



AREA OF DISTURBANCE DIAGRAM



SITE PLAN



PROJECT

15 TRUESDALE LAKE TERRACE

ärkätekhär

TEAM

OWNER
ELLEN + BOB ROSE
15 TRUESDALE LAKE DRIVE, SOUTH SALEM, NY 10590
T: 914.649.3036

ARCHITECT
ARKETEKCHER
6 AMERICO CIRCLE, OSSINING NY 10562
T: 914.762.3936

PROGRESS

REVISIONS

08.31.22 FILING ISSUE
03.16.23 PLANNING BOARD SKETCH PLAN REVIEW

ADDRESS

**15 TRUESDALE LAKE DRIVE
SOUTH SALEM, NY 10590**

SEAL

© ARKETEKCHER ARCHITECTURE DPO

PROJECT No. **22003**

TITLE

TITLE SHEET, SITE PLAN, ZONING CALCULATIONS

SCAL

1/16" = 1'-0'



No

T-001.00

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP 
Joseph M. Cermele, P.E., CFM 
Town Consulting Professionals

DATE: May 12, 2023

RE: Michael & Michelle Altholz
327 Waccabuc Road
Sheet 30, Block 11137, Lot 7

PROJECT DESCRIPTION

The application involves the demolition of an existing common driveway/entrance and construction of a new common driveway/entrance approximately 100 feet to the west along Waccabuc Road. The stated reason for the change is to improve sight distance. The common driveway services 319, 321 and 327 Waccabuc Road (NYS Route 138) and the driveway apron is located within the Town's 150-foot wetland buffer. Work on the project commenced without permits and approvals and a Stop Work Order/Order to Remedy was issued by the Wetland Inspector.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. A Wetland Activity Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

Chairperson Janet Andersen

May 12, 2023

Page 2 of 4

2. The subject property is located within the NYC East of Hudson Watershed and if proposed land disturbance exceeds 5,000 s.f., a Town Stormwater Permit and coverage under New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001) will be required.
3. Work within the NYS right-of-way requires a Highway Work Permit from New York State Department of Transportation (NYSDOT).

COMMENTS

1. Since the driveway is shared and affects three (3) lots, the other two (2) property owners should be aware of the application and should provide their consent to the change.
2. The applicant will need to coordinate with the NYSDOT to acquire all the necessary permits and approvals for the re-located curb cut.
3. The applicant shall submit an updated Existing Conditions Survey (boundary and 2-foot contours), signed and sealed by a NYS Licensed Land Surveyor.
4. Existing stone walls and trees should be shown on the survey and site plan.
5. The applicant shall submit draft access and maintenance agreements for the proposed new common driveway.
6. The plan shall illustrate any proposed grading, including spot grades, as appropriate.
7. The width of the driveway shall be dimensioned on the plans. Further, in accordance with Section 195-24A of the Subdivision Regulations, the applicant shall demonstrate that the driveway grade does not exceed 3% within 30 feet of the edge of street pavement or 14% at any other point; a driveway profile shall be provided.
8. The drivers eye location shown on your sight lines must be setback 14.5 feet off the edge of the existing roadway, per AASHTO Geometric Design of Highway and Streets; demonstrate compliance through dimensioning.
9. Sight line calculations shall be added to the plans.
10. The new driveway location shown on the plan is labeled gravel; however, the detail provided specifies asphalt; please clarify the surface material of the proposed driveway.

Chairperson Janet Andersen

May 12, 2023

Page 3 of 4

11. The applicant shall prepare and submit a Stormwater Pollution Prevention Plan (SWPPP) prepared in compliance with Chapter 189, Stormwater Management and Erosion and Sediment Control, as well as the NYSDEC SPDES General Permit (GP-0-20-001) and the NYSDEC Stormwater Management Design Manual. The project requires the filing of a Notice of Intent (NOI) and MS4 Acceptance Form with the NYSDEC. Submit draft copies to this office for review.
12. The overall intent of the existing and proposed drainage systems is unclear; further, it is uncertain what features are existing and proposed. The applicant must demonstrate that the peak rate of runoff to Waccabuc Road is no greater in the proposed condition than how it has been historically (before the unauthorized improvements).
13. If mitigation is warranted, the applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact this office to schedule the testing.
14. Include all erosion control measures on the plan, including, but not limited to, temporary construction access, inlet protection, tree protection (if any trees are within 25' of the construction), construction sequence, etc. Details shall be provided and shall be in conformance with the most recent version of the New York State Standards and Specifications for Erosion and Sediment Control.
15. Proposed erosion controls must be shown to be located within the proposed limits of disturbance line.
16. Please detail how the existing drainage at the location of the existing driveway to be removed will be handled.
17. Provide rim and invert elevations, along with the size and materials of all drainage facilities. Provide details.
18. Please detail how the existing entrance will be restored once the curbs, drainage and asphalt are removed within the NYSDOT right-of-way. Additionally, show the removal and relocation of the existing mailboxes.
19. All existing and proposed drainage pipes that cross the proposed driveway shall be illustrated on the driveway profile.

Chairperson Janet Andersen

May 12, 2023

Page 4 of 4

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLAN REVIEWED, PREPARED BY JOHN KARELL, JR., P.E.:

- Sight Distance Plan (S-1)

DOCUMENTS REVIEWED:

- Wetland Permit Application
- Short EAF, dated April 17, 2023
- Extension Letter, prepared by Ciorsdan Conran, dated March 13, 2023

JKJ/dc

https://kellardsessionsconsulti.sharepoint.com/sites/Kellard/Shared/Jan/PENDING/01 Lewisboro/2023-05-12_LWPB_Altholz - 327 Waccabuc Road_Review Memo.docx

TO: The Town of Lewisboro Planning Board
FROM: Lewisboro Conservation Advisory Council
SUBJECT: Altholz driveway, 327 Waccabuc Road, Goldens Bridge, NY 10526
DATE: May 10, 2023

The Conservation Advisory Council (CAC) has reviewed the materials submitted by the applicant for a driveway.

The submitted drawing did not show the wetland buffer lines or a well demarcated wetland.

In addition to an updated plan which includes the wetland information, the CAC would like to see a wetland mitigation plan including a listing of any plantings and a stormwater management plan if needed.

Application No.: _____

Fee: _____ Date: _____

**TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION**

79 Bouton Road, South Salem, NY 10590

Phone: (914) 763-5592

Fax: (914) 875-9148

Project Address: 327 WACCABUC ROAD, Rte 138

Sheet: 30.4 Block: 2 Lot(s): 19

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance):

Abandonment of an existing common driveway and relocation of the common driveway to provide better sight distance.

Owner's Name: MICHAEL & MICHELLE ALTHOLZ Phone: 917-346-2468

Owner's Address: 327 WACCABUC ROAD Email: MICHAELALTHOLZ@HOTMAIL.COM

Applicant's Name (if different): SAME AS OWNER Phone: _____

Applicant's Address: _____ Email: _____

Agent's Name (if applicable): JOHN KARELL, JR. P.E. Phone: 845 721 0455

Agent's Address: 121 CUSHMAN ROAD Email: JACK 4911-084100.COM
PATTERSON NY 12563

TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

☒ Administrative ☐ Planning Board

Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No

Total area of proposed disturbance: ☒ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☐ ≥ 1 acre

Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: _____
NYSDOT common driveway abandonment and relocation.

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: _____

Date: April 17, 2023

Application No.: _____

Fee: _____ Date: _____

**TOWN OF LEWISBORO
STORMWATER PERMIT APPLICATION**

79 Bouton Road, South Salem, NY 10590

Phone: (914) 763-5592

Fax: (914) 875-9148

Project Address: 327 WACCABUC ROAD, Rte 138

Sheet: 30.4 Block: 2 Lot(s): 19

Project Description (describe overall project including all proposed land development activities):
Abandonment of an existing common driveway and relocation of the common driveway to provide better sight distance.

Owner's Name: MICHAEL & Michelle Altholz Phone: 917 346 2468

Owner's Address: 327 WACCABUC ROAD Email: MICHAELALTHOLZ@HOTMAIL.COM

Applicant's Name (if different): SAME AS OWNER Phone: _____

Applicant's Address: _____ Email: _____

Agent's Name (if applicable): John Kavell, Jr. P.E. Phone: 845 721 0955

Agent's Address: 121 Cushman Road Email: JACK4911@YAHOO.COM
Patterson, NY, 12563

TO BE COMPLETED BY OWNER/APPLICANT

The approval authority is? (see §189-5 of the Town Code)

☒ Town Engineer and Stormwater Management Officer ☐ Planning Board

Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No

Total area of proposed disturbance: ☒ 5,000 s.f. - < 1 acre ☐ ≥ 1 acre

Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity? ☐ Yes ☐ No ☐ Requires post-construction stormwater practice

Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: State Department of Transportation for a new common driveway location

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under §189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

Owner Signature: _____

Date: April 17, 2023

TOWN OF LEWISBORO SOUTH
SALEM, NEW YORK 10590

APPLICATION FOR OPENING AN ENTRANCE OR DRIVEWAY

MICHAEL & MICHELLE ALT HOLZ, 327 WACCABUC RD 917 346 2468
Name of Applicant Address of Applicant Tel. No.
SAME AS APPLICANT
Name of Property Owner Address of Property Owner Tel. No.

to property designated on the Tax Map of the Town of Lewisboro as Sheet 30.4, Block 2, Lot(s) 19
situated on the NORTH side of WACCABUC RD approximately 1000 feet distance from its intersection
with ROUTE 22 as shown on enclosed plans, which show type of construction, width, grade and provisions
for drainage.

Applicant agrees to perform work for which permit is granted strictly in accordance with conditions thereof and the pertinent statutes, ordinances, and regulations applicable thereto, and plans approved by the Superintendent of Highways.

NOTE: SUPERINTENDENT OF HIGHWAYS MUST APPROVE BASE PRIOR TO PAVING.

APRIL 16, 2023
Date

Signature of Applicant

Fee Paid: \$ _____

Permit No. _____

Bond/Deposit: \$ _____

Date Received: _____

Date Issued: _____

DRIVEWAY PERMIT

Permit is hereby given for opening entrance of driveway above described, and in accordance with information as set forth above and sketch submitted therewith, subject to all conditions and requirements of the Street Ordinance of the Town of Lewisboro and the following special conditions: _____

NOTE: No Certificate of Compliance shall be issued unless conditions have been met. No Certificate of Occupancy shall be issued by the Building Inspector of the Town of Lewisboro until such Certificate of Compliance has been Issued.

Superintendent of Highways
Town of Lewisboro

DATE	RECORD OF INSPECTIONS	
	REMARKS	

CERTIFICATE OF COMPLIANCE

This is to certify that the driveway or entrance above described has been constructed in accordance with the conditions of the Street Ordinance of the Town of Lewisboro and the above Permit No.

Issued this _____ day of _____ 20 _____

Superintendent of Highways
Town of Lewisboro

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant (Please type or print)

ALTHOLZ
Name of Applicant

ALTHOLZ DRIVEWAY
Project Name

Property Description

Tax Block(s): 11137
Tax Lot(s): 30
Tax Sheet(s): 7

Property Assessed to:

MICHELLE S. & MICHAEL V. ALTHOLZ
Name
327 WACCABUC RD. (138)
Address
GOLDENS BRIDGE NY 10526
City State Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes: [Signature]

1/23/2023
Date

Sworn to before me this

23rd day of January, 2023

[Signature]
Signature - Notary Public (affix stamp)

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2024

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590

Email: planning@lewisborogov.com

Tel: (914) 763-5592

Fax: (914) 763-3637

Affidavit of Ownership

State of: New York

County of: Westchester

Michael Altholz, being duly sworn, deposes and says that he/she
resides at 327 Waccabuc
in the County of Westchester, State of New York
and that he/she is (check one) ☒ the owner, or ☐ the _____
of _____ Title

Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the
Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of
Lewisboro as:

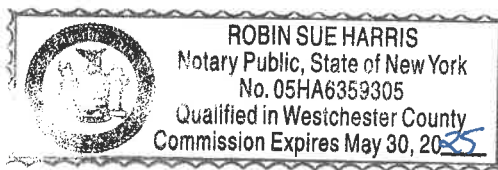
Block 11137, Lot 30, on Sheet 7.

Michael Altholz
Owner's Signature

Sworn to before me this

21ST day of April, 2023

Robin Sue Harris
Notary Public - affix stamp



Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

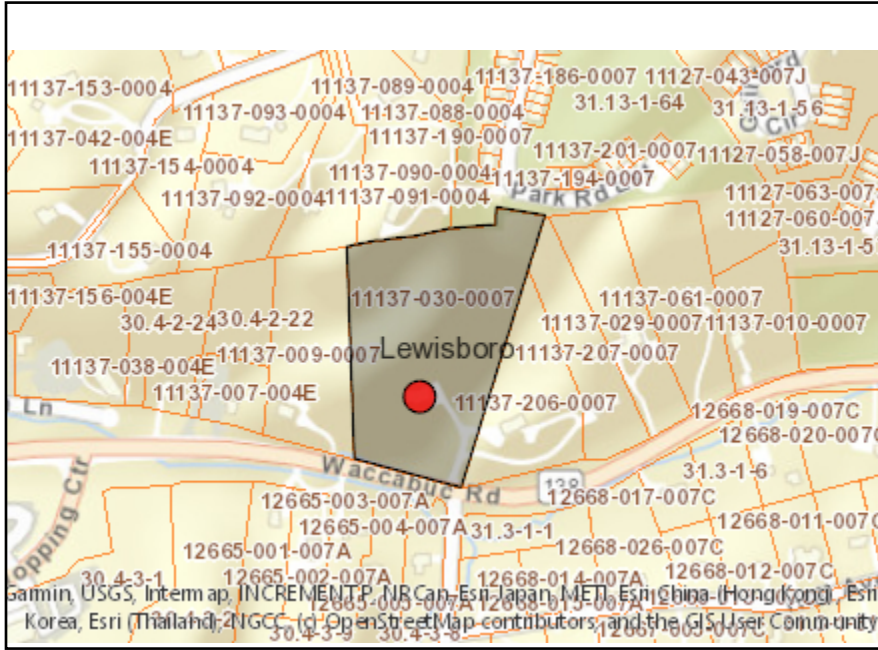
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:			Telephone:	
			E-Mail:	
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO	YES
If Yes, list agency(s) name and permit or approval:			<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned _____ acres or controlled by the applicant or project sponsor?				
4. Check all land uses that occur on, are adjoining or near the proposed action: 5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban) <input type="checkbox"/> Forest Agriculture Aquatic Other(Specify): <input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

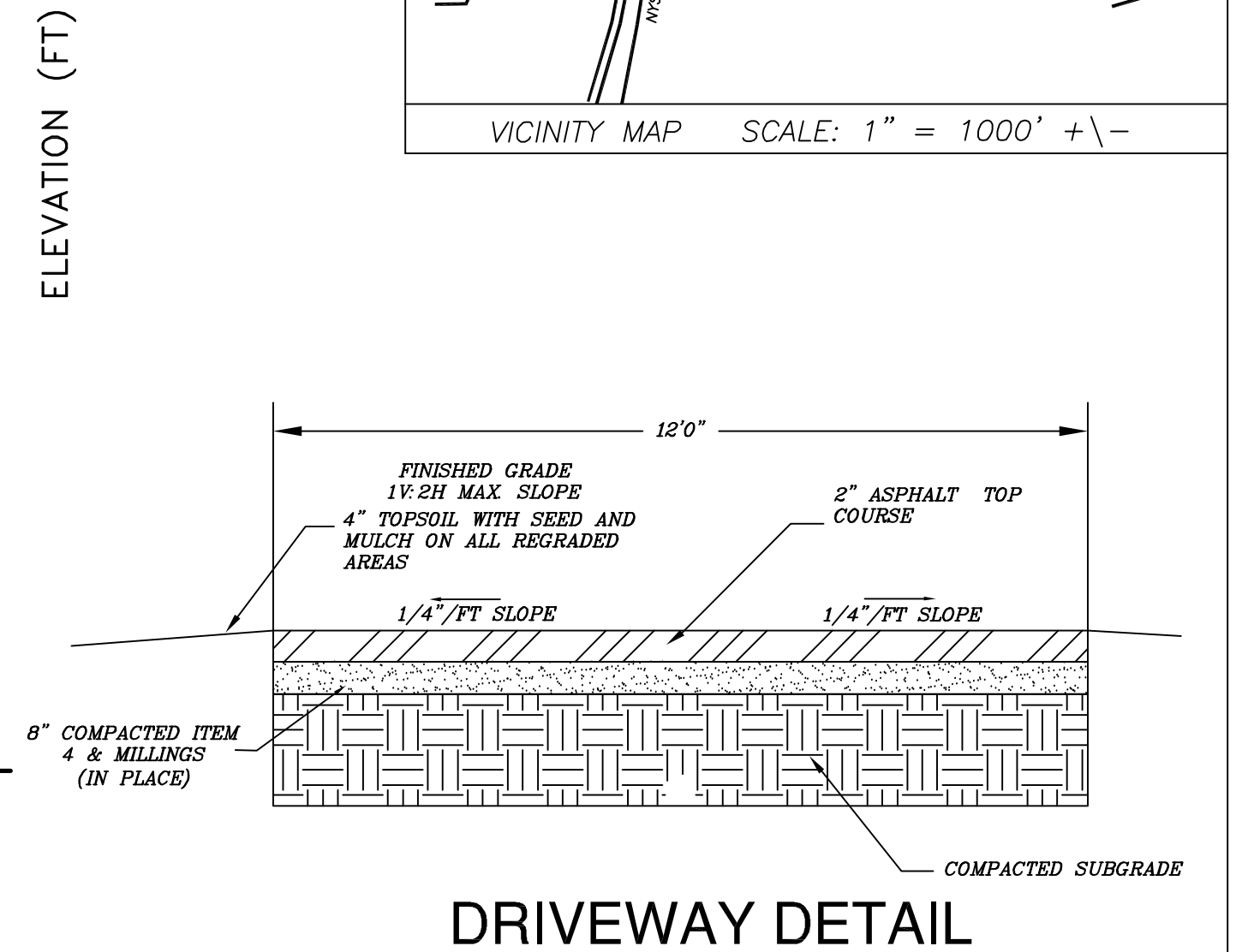
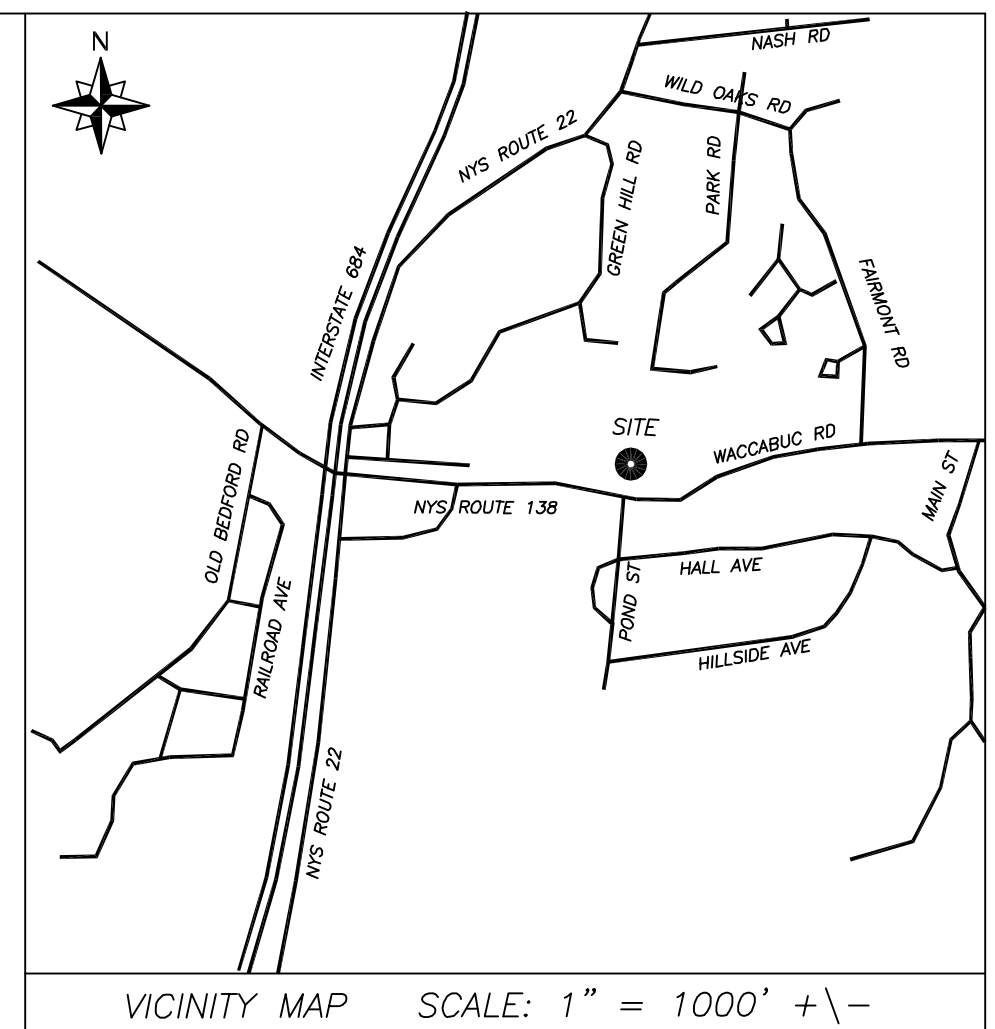
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional Wetland <input type="checkbox"/> Urban Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input type="checkbox"/>	YES <input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: _____ Date: _____ Signature: _____ Title: _____		



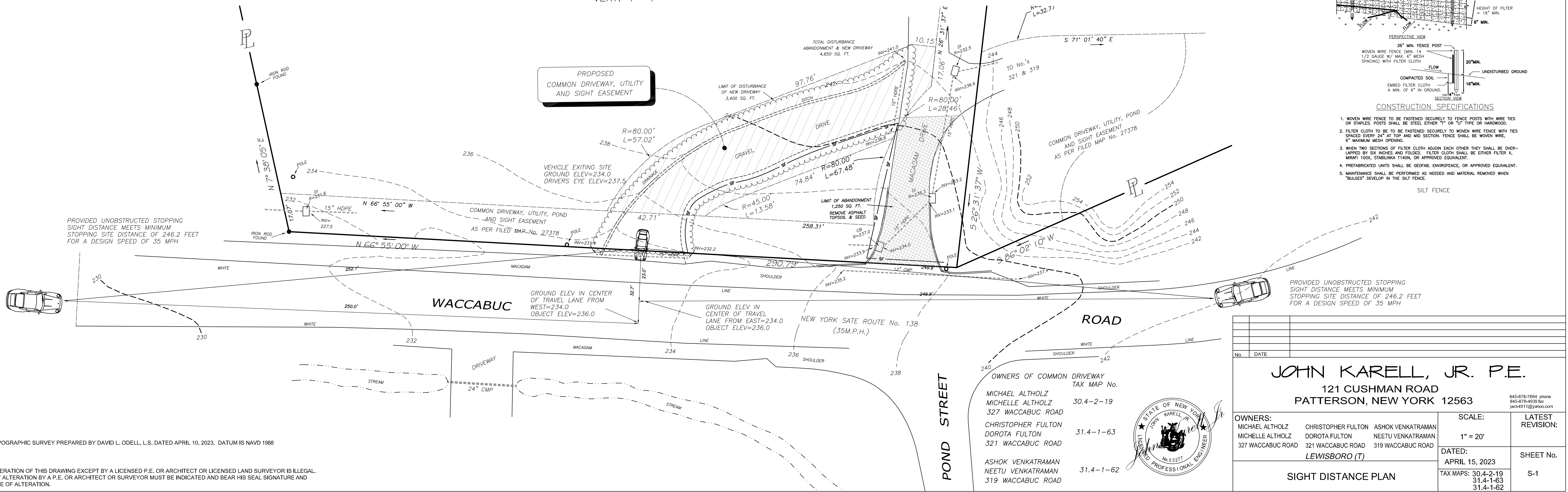
Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



PROFILE SCALE:
HORIZ: 1"=20'
VERT: 1"=4'



TOWN OF LEWISBORO

STOP WORK ORDER – ORDER TO REMEDY

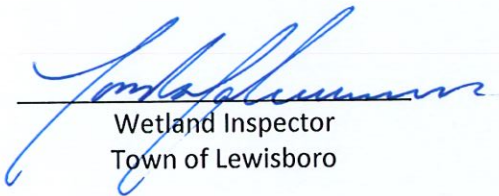
TO: Michelle S. & Michael V. Altholz
327 Waccabuc Road
Goldens Bridge, New York 10526

Parcel ID: Sheet 30, Block 11137, Lot 7
327 Waccabuc Road

DATE: January 19, 2023

You are hereby notified that you are in violation of Section 217-5(D) of the Code of the Town of Lewisboro on account of placement or construction of any structure, driveway, or roadway and excavation and/or removal of material either directly or indirectly within a wetland, watercourse and/or buffer area without the benefit of a Wetland Activity Permit.

Immediately contact the Town Wetland Inspector at 914-763-5592. You must discontinue all land disturbance activities within the wetland and/or wetland buffer area at the above-described premises. In the event that this unauthorized activity is not satisfactorily resolved on or before March 15, 2023, a summons to appear before the Planning Board of the Town of Lewisboro may be issued. Should you wish to request permission to keep the installed driveway, a Wetland Permit Application must be submitted to the Planning Board by March 1, 2023 and must be diligently pursued.



Wetland Inspector
Town of Lewisboro

TOWN OF LEWISBORO
Westchester County, New York



Planning Board
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-5592
Fax: (914) 875-9148
Email: planning@lewisborogov.com
Website: www.lewisborogov.com

March 13, 2023

SENT VIA CERTIFIED MAIL
RETURN RECEIPT REQUESTED

Michelle S. & Michael V. Altholz
327 Waccabuc Road
Goldens Bridge, New York 10526

Re: 327 Waccabuc Road, Goldens Bridge
Sheet 30, Block 11137, Lot 7
Driveway installed without wetland permit review

Dear Mr. and Mrs. Altholz:

This letter acknowledges receipt of your extension request dated February 24, 2023. The Wetland Inspector has granted an extension to file a wetland permit application to April 17, 2023. If an application and plan are not submitted to the Planning Board by April 17th, then a wetland violation will be issued.

If you have any questions about the application process, please do not hesitate to contact me.

Very truly yours,

Ciorsdan Conran
Planning Board Administrator

Cc (via email): Jud Siebert, Esq., Planning Board Counsel
Jan Johannessen, Wetland Inspector

Application No.: _____
Fee: _____ Date: _____

**TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION**

79 Bouton Road, South Salem, NY 10590
Phone: (914) 763-5592
Fax: (914) 875-9148

Project Address: 30 Twin Lakes Road, South Salem, NY 10590
Sheet: 34A Block: 11831 Lot(s): 15

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): _____

Owner's Name: Agnes Catalano Phone: 914-763-5428
Owner's Address: 30 Twin Lake Rd S Salem NY Email: joscatalo@gmail.com

Applicant's Name (if different): _____ Phone: _____

Applicant's Address: _____ Email: _____

Agent's Name (if applicable): _____ Phone: _____

Agent's Address: _____ Email: _____

TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

☐ Administrative ☒ Planning Board

Is the project located within the NYCDEP Watershed? ☐ Yes ☐ No

Total area of proposed disturbance: ☐ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☐ ≥ 1 acre

Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: _____

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: Agnes Catalano

Date: Apr 14 2023

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590

Email: planning@lewisborogov.com

Tel: (914) 763-5592

Fax: (914) 875-9148

Affidavit of Ownership

State of: New York

County of: Westchester

Agnes Catalano, being duly sworn, deposes and says that he/she
resides at 30 Twin Lake Road, South Salem, NY 10590
in the County of Westchester, State of New York
and that he/she is (check one) ☒ the owner, or ☐ the _____
of _____ Title
Name of corporation, partnership, or other legal entity

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the
Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of
Lewisboro as:

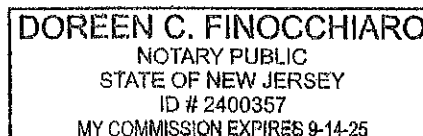
Block 11831, Lot 15, on Sheet 34A.

Agnes Catalano
Owner's Signature

Sworn to before me this

14 day of April, 2023

Doreen C. Finocchiaro
Notary Public - affix stamp



TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant (Please type or print)

CATALANO
Name of Applicant

CATALANO DOCK (30)
Project Name

Property Description

Tax Block(s): 11831

Tax Lot(s): 15

Tax Sheet(s): 3A-A

Property Assessed to:

AGNES CATALANO TERESA MARTENS
Name

30 TWIN LAKES ROAD
Address

SO. SALEM, NY 10590
City State Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes: [Signature]

4/13/23
Date

Sworn to before me this

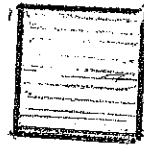
23rd day of April, 2023

[Signature]
Signature - Notary Public (affix stamp)

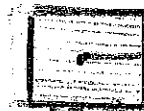
JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2026

LAKE ESCALITA

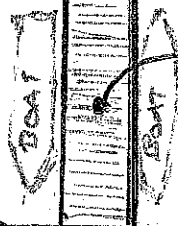
NORTH



NEW 10FT X 10FT
ANCHORED FLOAT



NEW 8FT X 10FT
STATIONARY OR FLOATING
DOCK



NEW 5FT X 20 FT
STATIONARY DOCK

REPAIR EXISTING
BULKHEAD



LAWN AREA

FLAG
POLE

PROPERTY LINE

30 TWIN LAKES RD

BLOCK 11831

LOT 15

PROPERTY
LINE

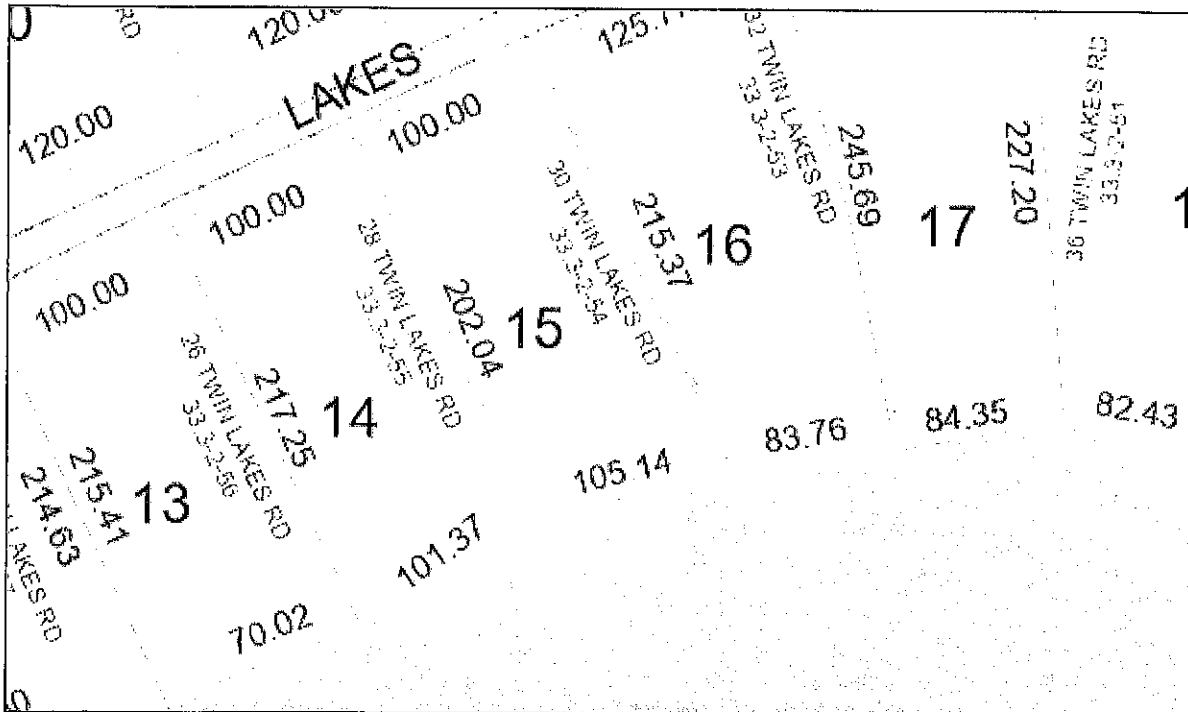
SCALE: $\frac{1}{8}" = 1'$
4/13/23

Tax Parcel Maps

Address: 30 TWIN LAKES RD

Print Key: 33.3-2-54

SBL: 03300300020540000000



Disclaimer:

This tax parcel map is provided as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact the assessor's office of the municipality.

The Two Lake Club, Inc.

Letter of Support for Proposed Dock Installation at 30 Twin Lakes Road, South Salem, NY 10590

May 9th, 2023

To: Lewisboro Planning Board

ATTN: Ciorsdan Conran, Planning Board Administrator

79 Bouton Rd., South Salem, NY, 10590

From: The Two Lake Club, Inc. Officers, and Board of Directors

Greetings,

We, the board of directors and officers of the Two Lake Club, Inc., are writing in support of the submitted application by Club member Agnes Catalano for the proposed renovation and installation of docking infrastructure at 30 Twin Lakes Road, South Salem, NY, 10590.

The proposed work does not impinge upon any other residences or community members in their access to or use of the lake and will provide an increase in property value to the homeowners should they choose to list for sale. Any attendant value increase is a natural boon to any/all neighboring homes and the Two Lake Club community.

If you have any additional questions or further concerns regarding this endorsement, please do not hesitate to be in touch with The Two Lake Club, Inc. by emailing us at twolakeclubinc@gmail.com.

Thank You,



Trevor McGinn



President, The Two Lake Club, Inc.

The Two Lake Club, Inc. Officers and Board of Directors

MEMORANDUM

TO: Chairperson Janet Andersen and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.
Kevin Kelly, Building Inspector

FROM: Jan K. Johannessen, AICP 
Joseph M. Cermele, P.E., CFM 
Town Consulting Professionals

DATE: May 12, 2023

RE: Marnie Berk & Jon Silvan
80 Ridgefield Avenue
Sheet 17B, Block 10533, Lot 314

PROJECT DESCRIPTION

The subject property consists of ± 2.18 acres of land and is located at 80 Ridgefield Avenue within the R-2A Zoning District. The subject property is developed with an existing dwelling, detached garage, pool and basketball court. The applicant is proposing patio restoration, a new stone patio around the pool, a fire pit with seat walls and gravel patio, a pergola, and an outdoor kitchen. The majority of the improvements proposed at the rear of the house are located within the Town's 150-foot regulated wetland buffer.

SEQRA

The proposed action has been preliminarily identified as a Type II Action and is therefore categorically exempt from the State Environmental Quality Review Act (SEQRA).

REQUIRED APPROVALS/REFERRALS

1. A Town Stormwater Permit is required from the Planning Board
2. A Wetland Activity Permit is required from the Planning Board; a public hearing is required to be held on the Wetland Permit.

Chairperson Janet Andersen

May 12, 2023

Page 2 of 4

3. The subject property is located within the NYC East of Hudson Watershed and proposed land disturbance exceeds 5,000 s.f. Coverage under New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-20-001) will be required.

COMMENTS

1. The front yard is dimensioned beyond the front property line. Please correct the site plan and update the Bulk Zoning Table.
2. Provide a legend for various line types and hatching/colors.
3. It appears that plantings are being proposed within the Town right-of-way; planting within the right-of-way would require a license agreement with the Town Board and approval by the town Highway Superintendent.
4. Regarding tree removals, please increase the "X" symbol for clarity and add a tree removal chart.
5. The plans shall illustrate proposed grading for associated with the patios, parking area, rain garden, etc. More spot grades are needed for clarity.
6. The plan shall illustrate the location of the existing well and water service line.
7. Illustrate the locations of the utilities associated with the proposed outdoor kitchen, including, but not limited to, water service, sewer service, gas, electric, etc.
8. Please specify if the fire pit is to be wood burning or gas. If gas is proposed, please show the gas service.
9. It appears that the seat walls associated with the fire pit area are being installed on top of the existing septic fields. The applicant will need to coordinate with the Westchester County Department of Health (WCHD) for review on whether this will be allowed or locate the wall foundation the required five (5) feet away from the septic field. Additionally, it appears a raised vegetable garden is also being proposed on top of the existing septic field. Again, this may require WCDH Approval.
10. Please provide details for the raised garden bed specified on the site plan.
11. Provide details for the drainage pipe trench and landscaping.

Chairperson Janet Andersen

May 12, 2023

Page 3 of 4

12. The width of the proposed gravel parking area shall be dimensioned on the plan.
13. Additional top and bottom elevations of all proposed walls shall be identified on the plan.
14. All walls greater than or equal to four (4) feet in height shall be designed by a NYS Licensed Professional Engineer.
15. The plan shall note that the construction of all walls greater than or equal to four (4) feet in height shall be certified by the Design Professional prior to issuance of a Certificate of Occupancy/Completion.
16. Include erosion control measures on the plan, including, but not limited to, temporary construction access, inlet protection, tree protection, erosion control blankets, concrete washout area, etc.
17. Silt fence should follow the contours down grade of any land disturbance. Please revise as needed.
18. Proposed erosion controls must be shown to be located within the proposed limits of disturbance line; new lawn areas shall be included within the limits of disturbance.
19. The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact this office to schedule the testing.
20. Land disturbance is proposed to exceed $\geq 5,000$ s.f. and will therefore require conformance with NYSDEC SPDES General Permit (GP-0-20-001) and filing of a Notice of Intent (NOI) and MS4 Acceptance Form with the NYSDEC. Submit draft copies to this office for review.
21. The applicant shall prepare and submit a Stormwater Pollution Prevention Plan (SWPPP) prepared in compliance with Chapter 189, Stormwater Management and Erosion and Sediment Control, as well as the NYSDEC SPDES General Permit (GP-0-20-001) and the NYSDEC Stormwater Management Design Manual.
22. The proposed stormwater practices shall include an emergency overflow to a stabilized outfall. Provide details.
23. It appears the drainage within the proposed gravel parking area is draining away from the proposed catch basin. Please clarify how drainage will flow to the proposed rain garden given the parking area is proposed to be curbed and the drainage is flowing away from the catch basin.

Chairperson Janet Andersen

May 12, 2023

Page 4 of 4

24. The rainfall data in the vicinity of the property is 6.41 inches, per the Extreme Precipitation Tables Northeast Regional Climate Center for the 25-year, 24-hour storm event, not 5.46 inches or 5.7 inches used in the calculations provided. Please correct the calculations and adjust the stormwater design, as necessary.
25. The Proposed Pool Patio Detail Section shown is not a permeable pavement system. The cross section of the patio needs to be designed in accordance with the NYSDEC Stormwater Design Manual.
26. Please show how you intend to handle the stormwater for the existing patio extension beyond the pergola; the proposed surface material is not identified; a legend would be helpful to understand proposed surfaces.
27. Quantify the amount of land disturbance proposed within the 150-foot regulated buffer and provide 1:1 mitigation; note that stormwater facilities required as part of the Town Stormwater Permit are not counted toward wetland mitigation.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

PLANS REVIEWED, PREPARED BY LOUIS FUSCO LANDSCAPE ARCHITECT, DATED APRIL 10, 2023:

- Erosion and Sediment Control Plan (SP-1)
- Drainage Plan (DP-1)
- Layout Plan (LP-1)
- Construction Details (D-1)
- Fence Plan (FP-1)
- Pergola Plan (FP-2)

DOCUMENTS REVIEWED:

- Wetland Permit Application
- Stormwater Permit Application
- Topographic Survey

JKJ/dc

TO: The Town of Lewisboro Planning Board
FROM: Lewisboro Conservation Advisory Council
SUBJECT: Berk and Silvan Residence, 80 Ridgefield Ave, South Salem, NY 10590
DATE: May 10, 2023

The Conservation Advisory Council (CAC) has reviewed the materials submitted by the applicant for a patio and walkway.

The patio is gravel and the walkway is stone, so there is a mix of pervious and impervious surfaces. The plans indicated trees to be removed. The bulk of the project is in the wetland buffer. Two other items to note. There is a dry well within the buffer and there is a note about cutting down a hillside.

The CAC would like to see a wetland mitigation plan with a planting list. If there are trees being removed, the CAC would like to see trees included in the plantings. The CAC would also like to see the purpose of the dry well and whether this plan affects it. Finally the CAC would like to understand more details about "cutting down the hillside."

Application No.: _____

Fee: _____ Date: _____

**TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION**

79 Bouton Road, South Salem, NY 10590

Phone: (914) 763-5592

Fax: (914) 875-9148

Project Address: _____

Sheet: _____ Block: _____ Lot(s): _____

Project Description (Identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): _____

Owner's Name: _____ Phone: _____

Owner's Address: _____ Email: _____

Applicant's Name (if different): _____ Phone: _____

Applicant's Address: _____ Email: _____

Agent's Name (if applicable): _____ Phone: _____

Agent's Address: _____ Email: _____

TO BE COMPLETED BY OWNER/APPLICANT

What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)

☐ Administrative ☐ Planning Board

Is the project located within the NYCDEP Watershed? ☐ Yes ☐ No

Total area of proposed disturbance: ☐ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☐ ≥1 acre

Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: _____

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner Signature: _____

Date: _____

Application No.: _____

Fee: _____ Date: _____

**TOWN OF LEWISBORO
STORMWATER PERMIT APPLICATION**

79 Bouton Road, South Salem, NY 10590

Phone: (914) 763-5592

Fax: (914) 875-9148

Project Address: _____

Sheet: _____ Block: _____ Lot(s): _____

Project Description (describe overall project including all proposed land development activities):

Owner's Name: _____ Phone: _____

Owner's Address: _____ Email: _____

Applicant's Name (if different): _____ Phone: _____

Applicant's Address: _____ Email: _____

Agent's Name (if applicable): _____ Phone: _____

Agent's Address: _____ Email: _____

TO BE COMPLETED BY OWNER/APPLICANT

The approval authority is? (see §189-5 of the Town Code)

☐ Town Engineer and Stormwater Management Officer ☐ Planning Board

Is the project located within the NYCDEP Watershed? ☐ Yes ☐ No

Total area of proposed disturbance: ☐ 5,000 s.f. - < 1 acre ☐ ≥1 acre

Will the project require coverage under the NYSDEC General Permit for Stormwater Discharges from Construction Activity? ☐ Yes ☐ No ☐ Requires post-construction stormwater practice

Does the proposed action require any other permits/approvals from other agencies/departments? (Wetland Inspector, Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: _____

Note: The applicant, owner and/or agent is responsible for reviewing and complying with Chapter 189, "Stormwater Management and Erosion and Sediment Control," of the Town Code. This application must be submitted with all applicable plans, reports and documentation specified under §189-8, "SWPPP requirements," of the Town Code; all SWPPP's shall be prepared in conformance with Chapter 189 and shall be prepared by a qualified professional, as defined therein. The provision for obtaining a Town Stormwater Permit is in addition to the requirement of obtaining coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity, if applicable.

Owner Signature: _____

Date: _____

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590
Email: planning@lewisborogov.com
Tel: (914) 763-5592 Fax: (914) 875-9148

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant (Please type or print)

Marnie Berk/Jon Silvan

Name of Applicant

Berk-Silvan Residence

Project Name

Property Description

Tax Block(s): 10533-

Tax Lot(s): -118-

Tax Sheet(s): ~~544~~ 29

Property Assessed to:

Marnie Berk/Jon Silvan

Name 80 Ridgefield ave.

Address
South Salem, NY 10590

City State Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes: [Signature]

Date

4/14/23

Sworn to before me this

14th day of April, 2023

[Signature]
Signature - Notary Public (affix stamp)

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2026

TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590

Email: planning@lewisborogov.com

Tel: (914) 763-5592

Fax: (914) 875-9148

Affidavit of Ownership

State of: New York

County of: Nassau

Marnie Berk/Jon Silvan, being duly sworn, deposes and says that he/she
resides at 80 Ridgefield ave. South Salem

in the County of Westchester, State of NY

and that he/she is (check one) ☒ the owner, or _____ the _____
of _____ Title

Name of corporation, partnership, or other legal entity

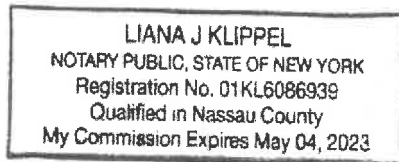
which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the
Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of
Lewisboro as:

Block 1, Lot 18 on Sheet 54.4

[Signature]
Owner's Signature

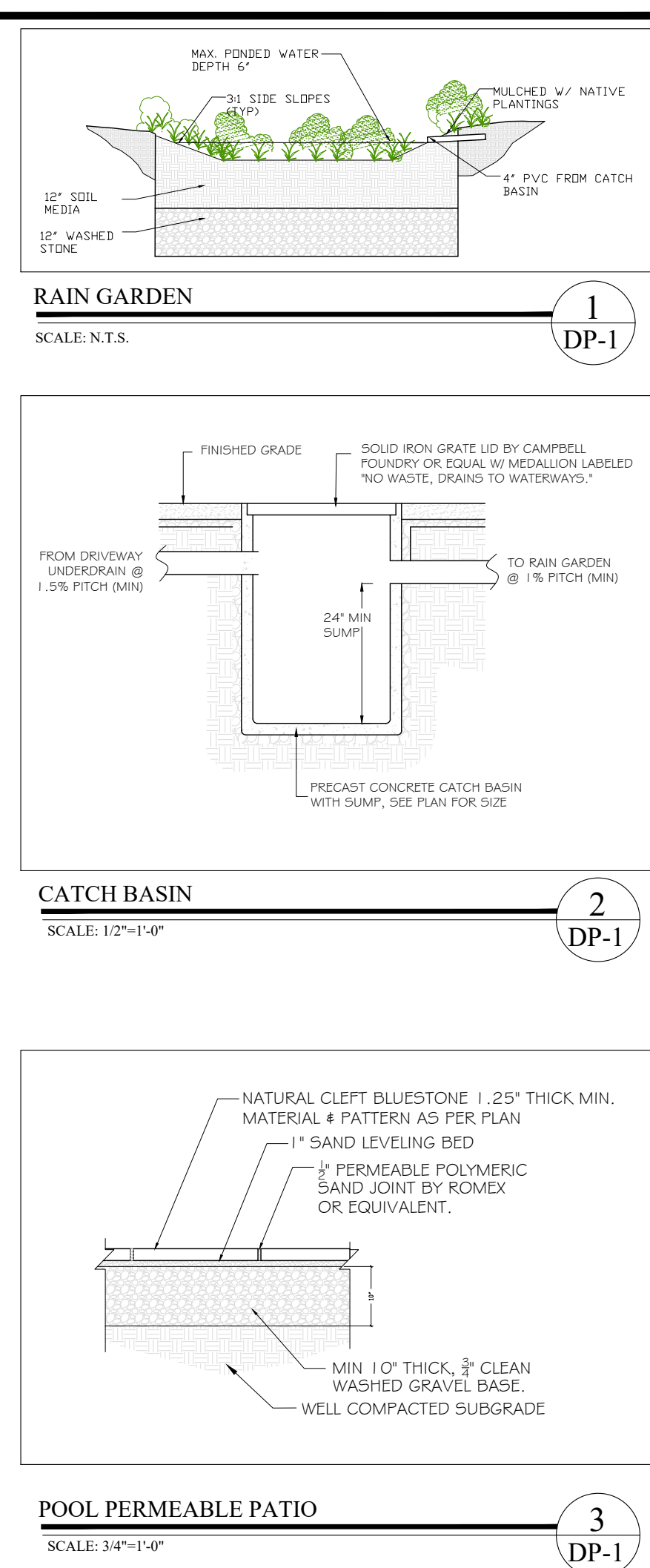
Sworn to before me this

17th day of April, 2023






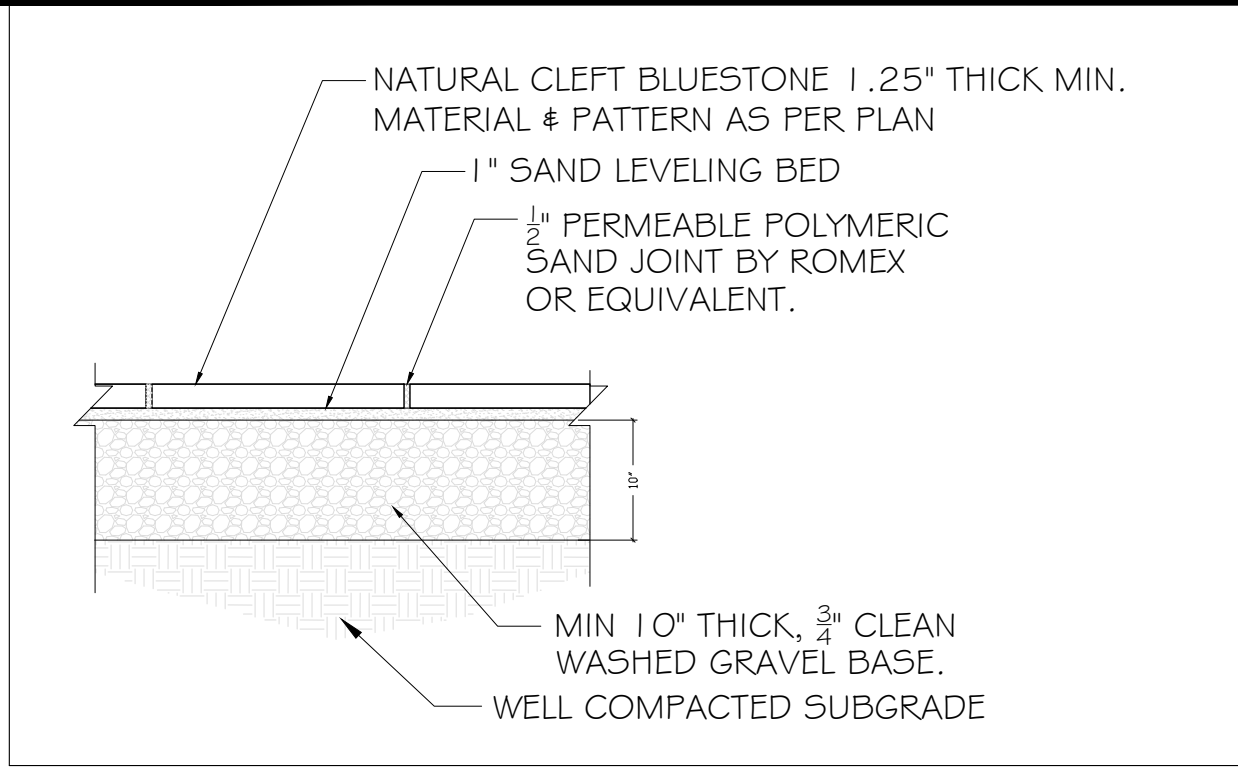
Notary Public - affix stamp

[Signature]



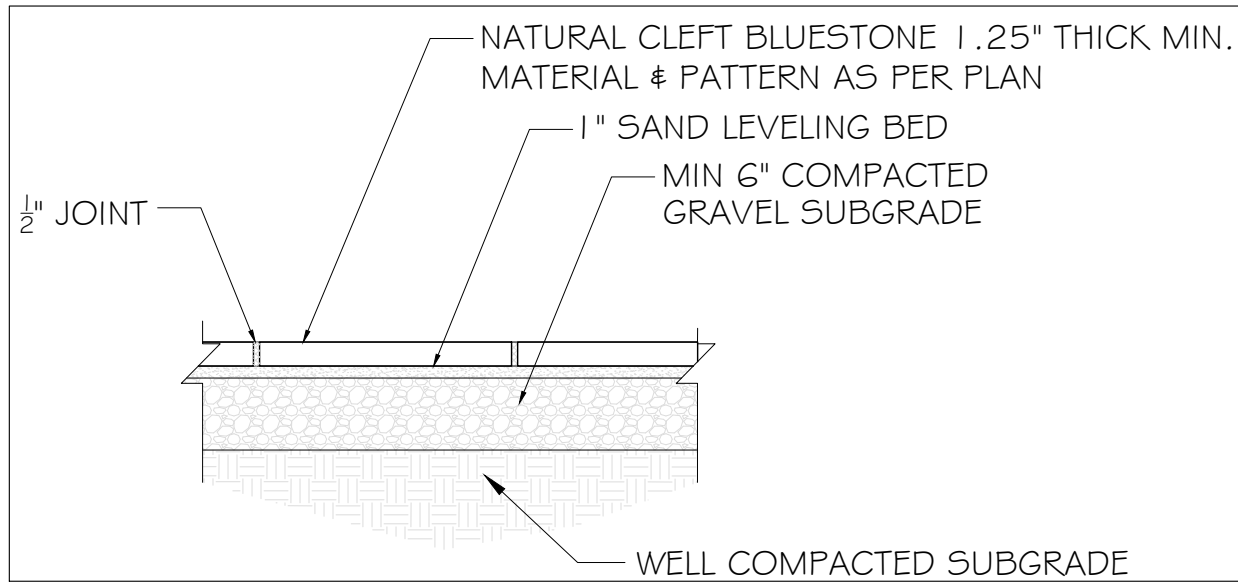
- NOTES:
- 1- EXISTING SURVEY INFORMATION RECEIVED FROM AK AHNEMAN KIRBY LAND SURVEYOR, P.C, DATED SEPTEMBER 7, 2021. REVISED 3-27-2023. PROPERTY LINE HAS BEEN STAKED.
 - 2- WETLANDS LOCATION FLAGGED BY PAUL J. JAENIGS, WETLANDS AND SOILS CONSULTING, MARCH 9, 2023
 - 3- CONSTRUCTION LIMIT AREA WHICH INCLUDES ALL SOIL DISTURBANCE ASSOCIATED WITH THE PROPOSED WORK ON THE SITE, IS APPROXIMATELY 5,915 SF.
 - 4- EXISTING DISTURBANCE TO BE MARKED OUT BY PUBLIC OR PRIVATE SERVICE PRIOR TO START OF CONSTRUCTION.
 - 5- PROPOSED IMPERVIOUS COVERAGE INSIDE OF THE 150' WETLANDS SETBACK IS A TOTAL OF 636 SF
 - 6- EX. GRAVEL DRIVEWAY TO ACT AS CONSTRUCTION ACCESS ROAD AND MEET MIN REQUIREMENTS OF
 - 7- ANTI-TRACKING PAD
 - 8- LIMITS OF DISTURBANCE SHALL BE STAKED/MARKED IN THE FIELD PRIOR TO START OF CONSTRUCTION
 - 9- TOTAL NEW AND EXISTING REPAIRS WITHIN WETLAND SETBACK IS 2,000 S.F.

 <p>LOUIS FUSCO landscape architects focus • form • function</p> <p>26 Woodland Road Pound Ridge, NY 10576 914 764 9123 louisfusco.com</p>	<p>BERK-SILVAN RESIDENCE</p> <p>80 RIDGEFIELD AVE, SOUTH SALEM, NY</p>		<p>REVISED: 01-26-2023 04-10-2023</p>	<p>STAMP</p> 
	<p>SHEET/BLOCK/LOT: 54/4/1/18</p> <p>DATE: 11-01-2022 SCALE: 1"= 10'-0"</p>			
	<p>DRAINAGE PLAN</p>			
		<p>Drawing number: DP-4</p>		



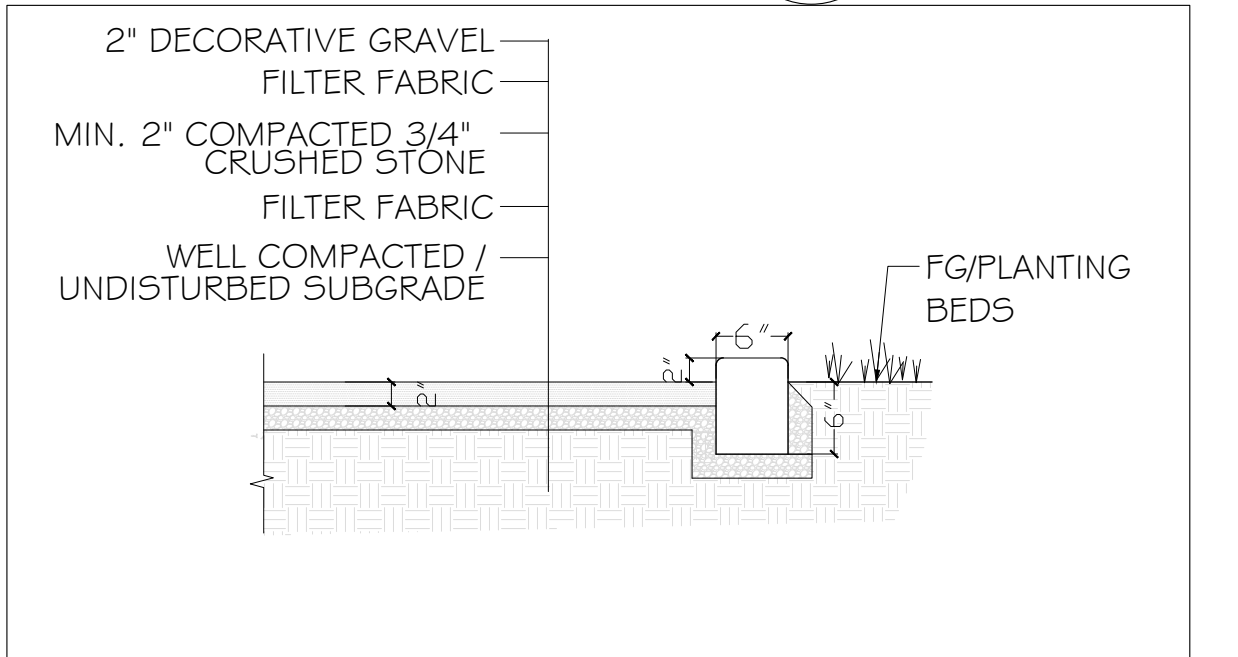
POOL PERMEABLE PATIO
SCALE: 3/4" = 1'-0"

1
D-1



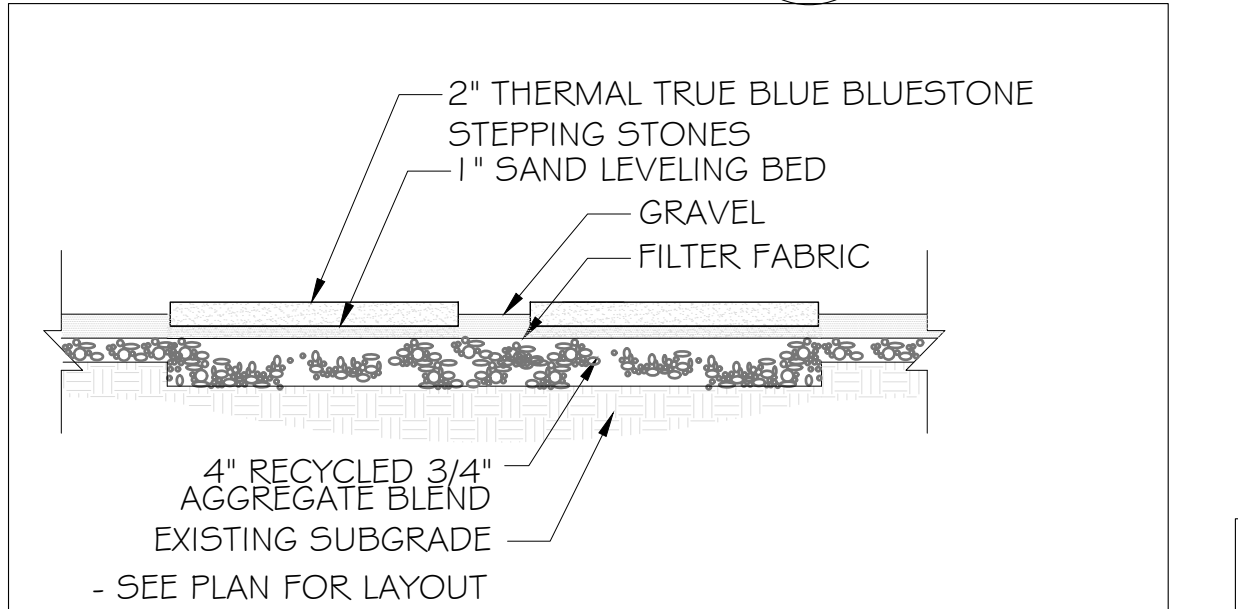
DRY-LAID PATIO
SCALE: 3/4" = 1'-0"

2
D-1



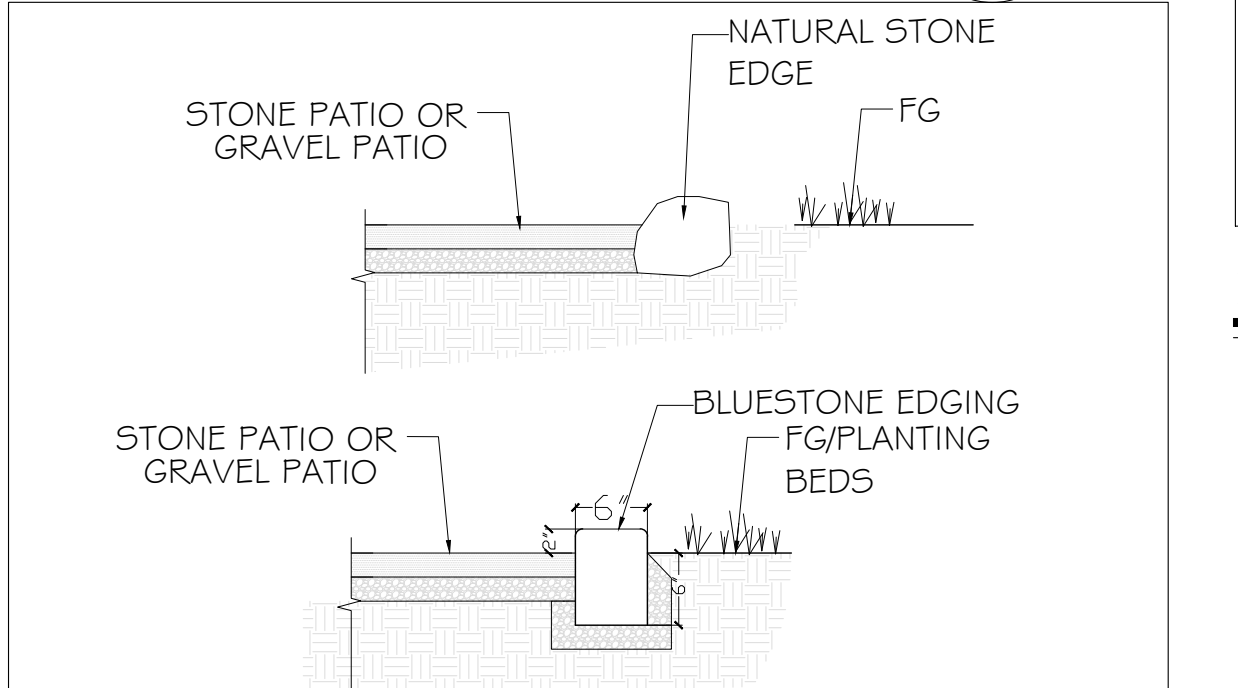
GRAVEL PATIO
SCALE: 3/4" = 1'-0"

3
D-1



STEPPING STONES DETAIL
SCALE: 3/4" = 1'-0"

4
D-1

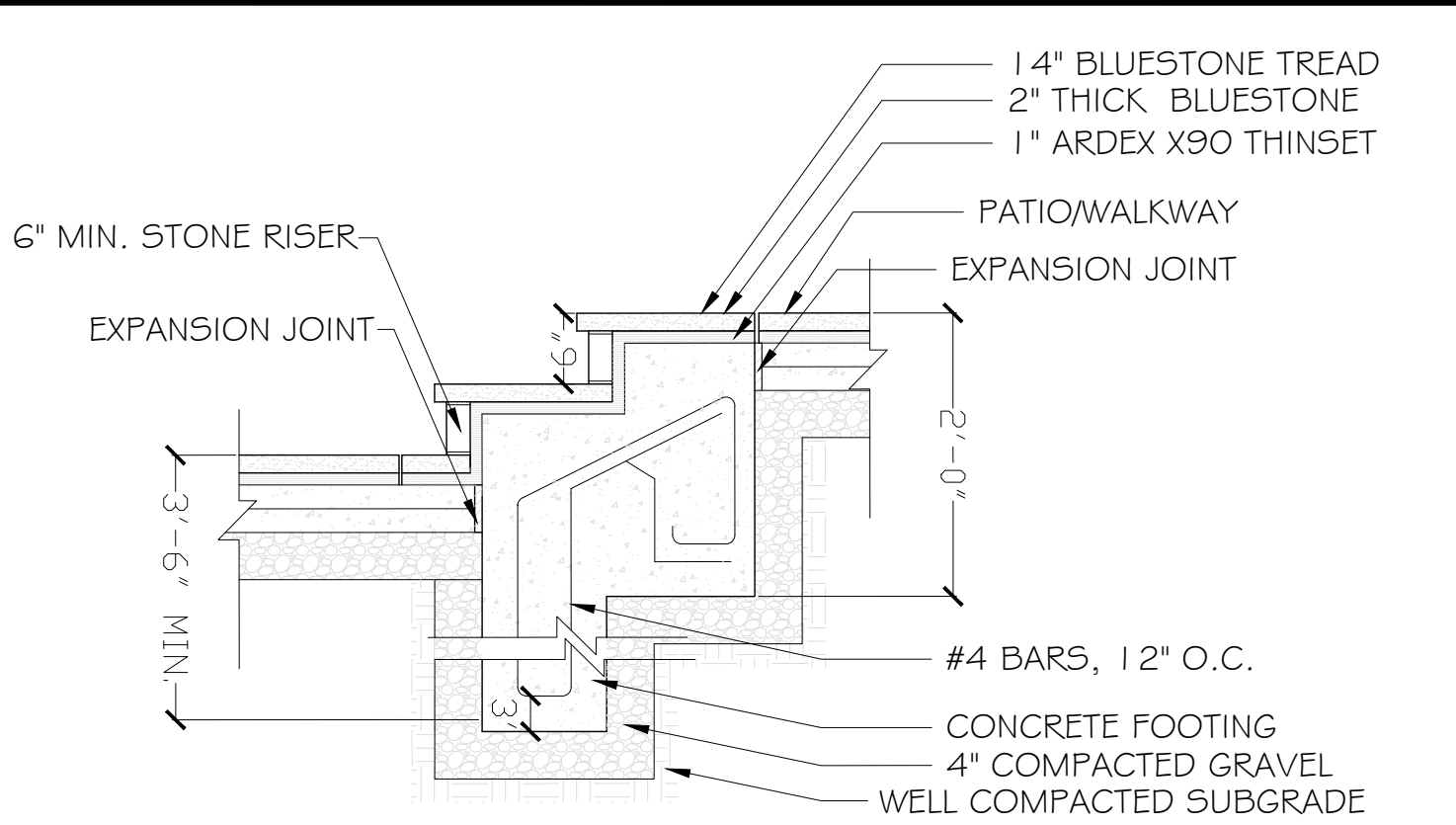


STONE CURB
SCALE: 3/4" = 1'-0"

5
D-1

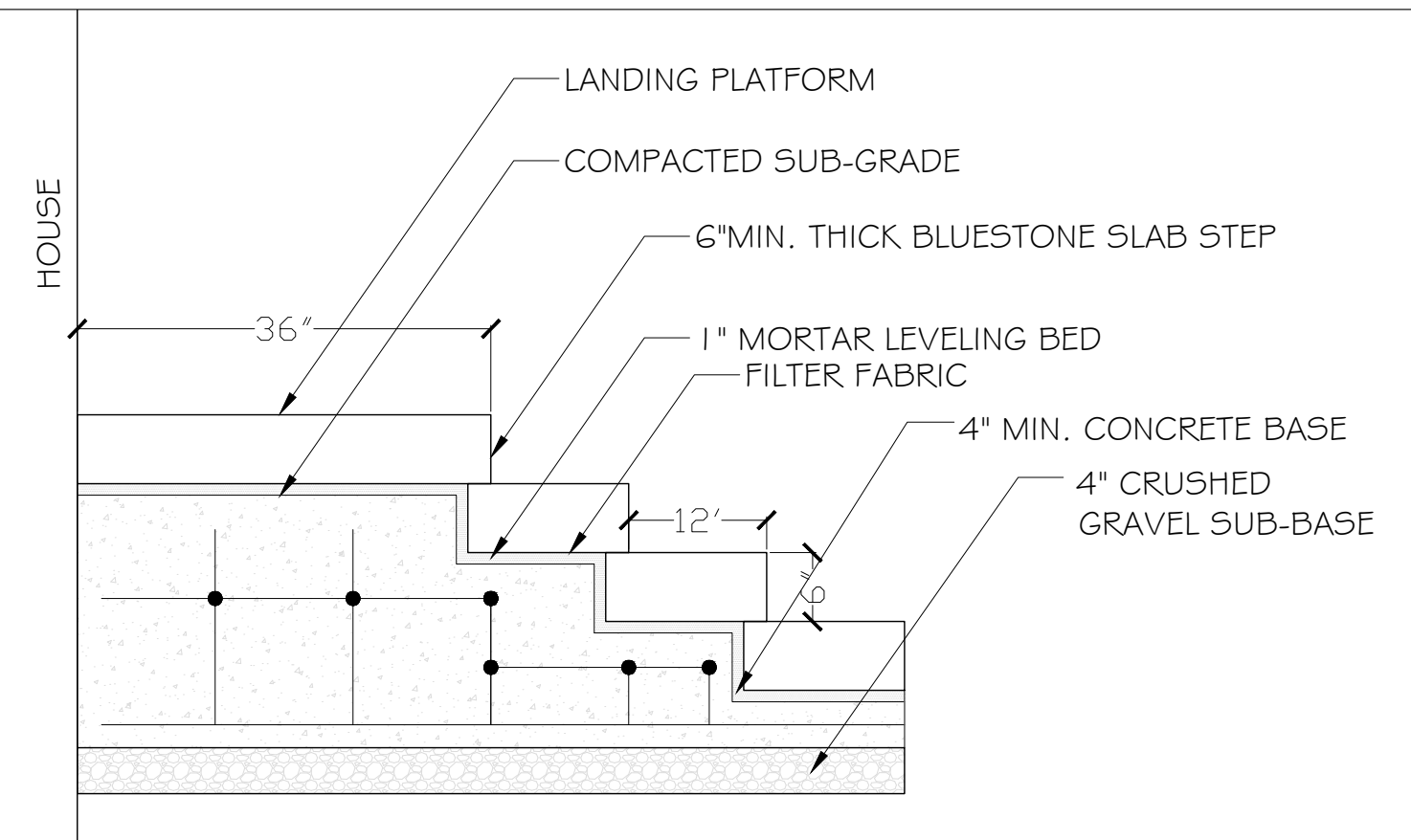
LEGEND:

- REMEDICATION AND CONSTRUCTION SEQUENCE**
1. PROVIDE SILTATION FENCING AROUND ALL PROPOSED DISTURBANCE AREAS AS INDICATED ON PLANS
 2. PROVIDE SILTATION FENCING AROUND STOCKPILE LOCATION
 3. TREE PROTECTION SHALL BE INSTALLED AROUND SELECTED TREES IN DISTURBED AREAS.
 4. INSTALLATION OF CONSTRUCTION ACCESS ROAD.
 5. REMOVAL OF EXISTING TREES, STUMPS AND SHRUBS.
 6. STRIP AND STOCK PILE EXISTING COMPOST/TOPSOIL.
 7. INSTALL ALL UTILITY CONNECTIONS
 8. ROUGH GRADING OF SITE AND REMOVAL OF ROCKS AS NEEDED.
 9. INSTALL PROPOSED PATIO SPACES
 9. INSTALL NEW PROPOSED TREES AND PLANTS AS SPECIFIED AND INDICATED ON PLANS. PLANTING BED TO RECEIVE A 1 TONE APPLICATION OF 2\"/>
 10. FINAL GRADING AND REMOVE EXCESS FILL FROM SITE IF NEEDED.
 11. REMOVE SILTATION FENCING ONCE ALL DISTURBED AREAS HAVE BEEN STABILIZED WITH PLANT MATERIAL AND/OR LAWN.
- EXISTING LABELS**



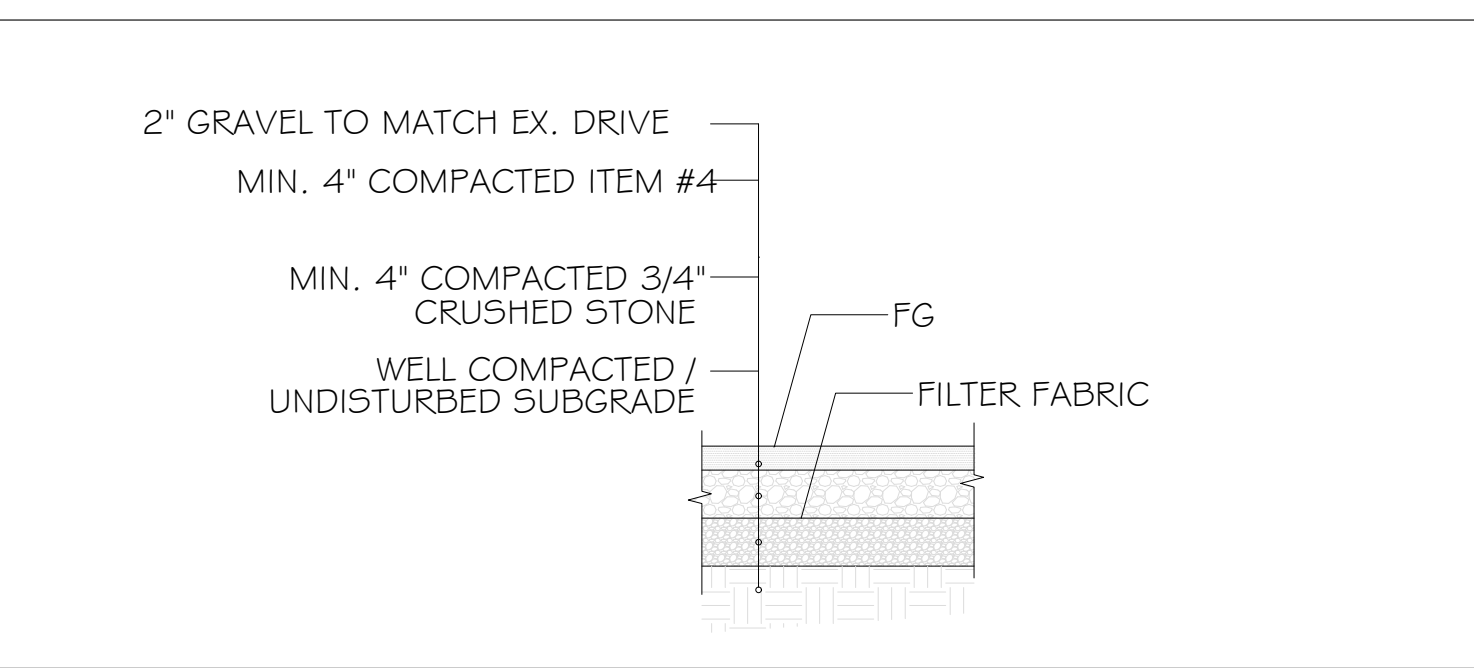
STEPS
SCALE: 3/4" = 1'-0"

6
D-1



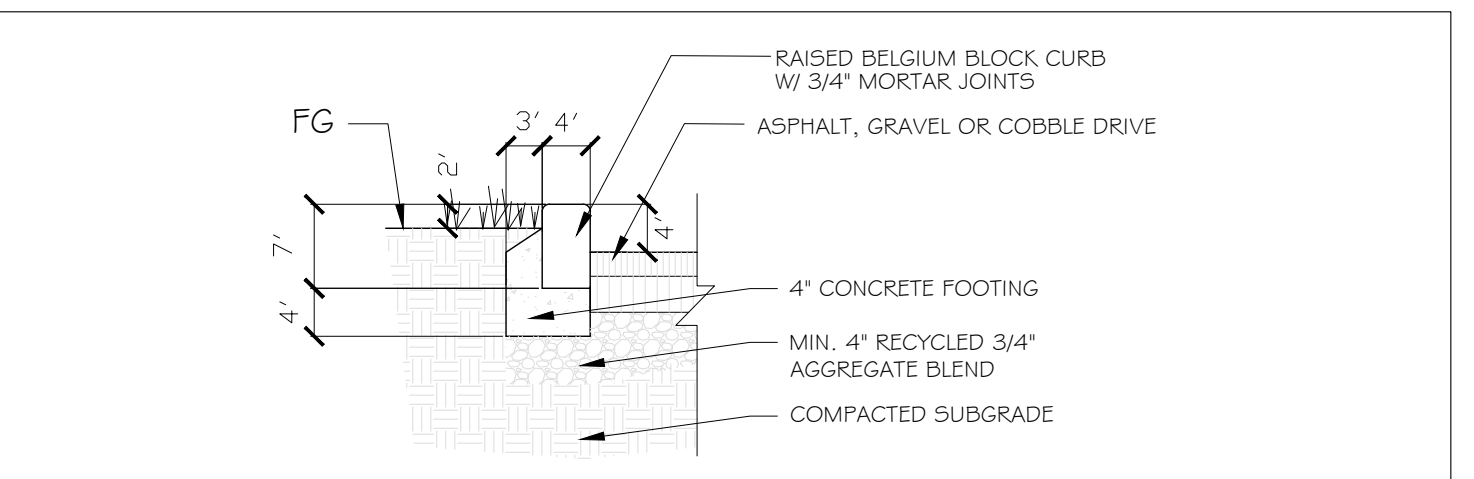
FLOATING STEPS
SCALE: 3/4" = 1'-0"

7
D-1



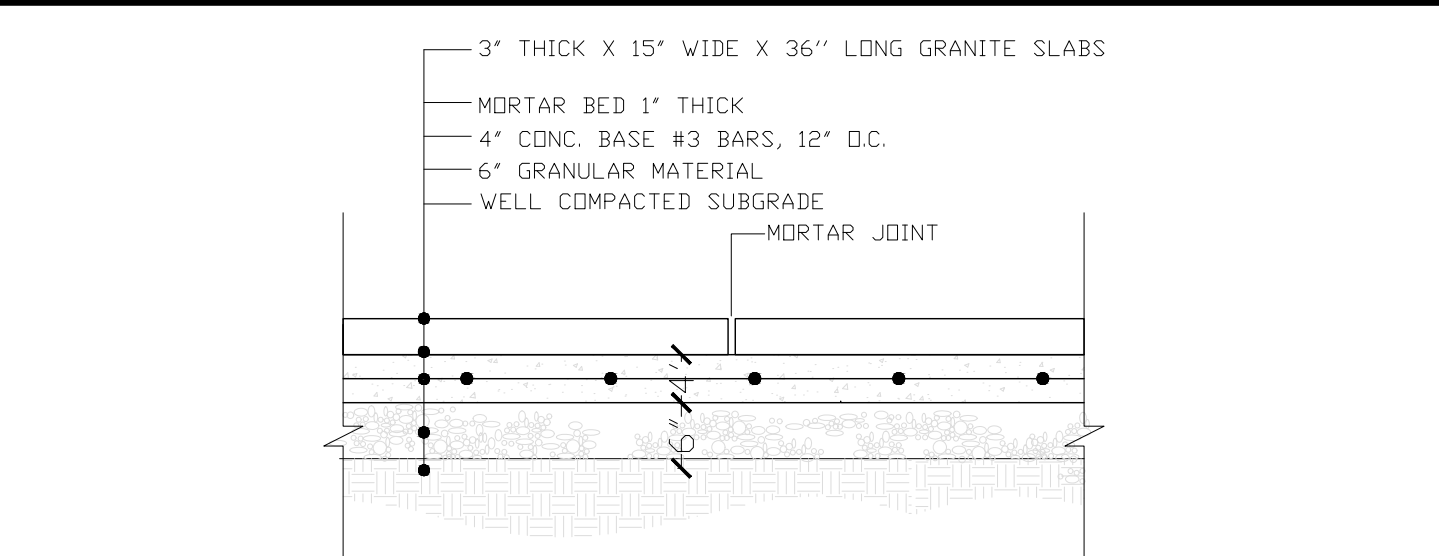
EXTENDED DRIVEWAY
SCALE: 3/4" = 1'-0"

8
D-1



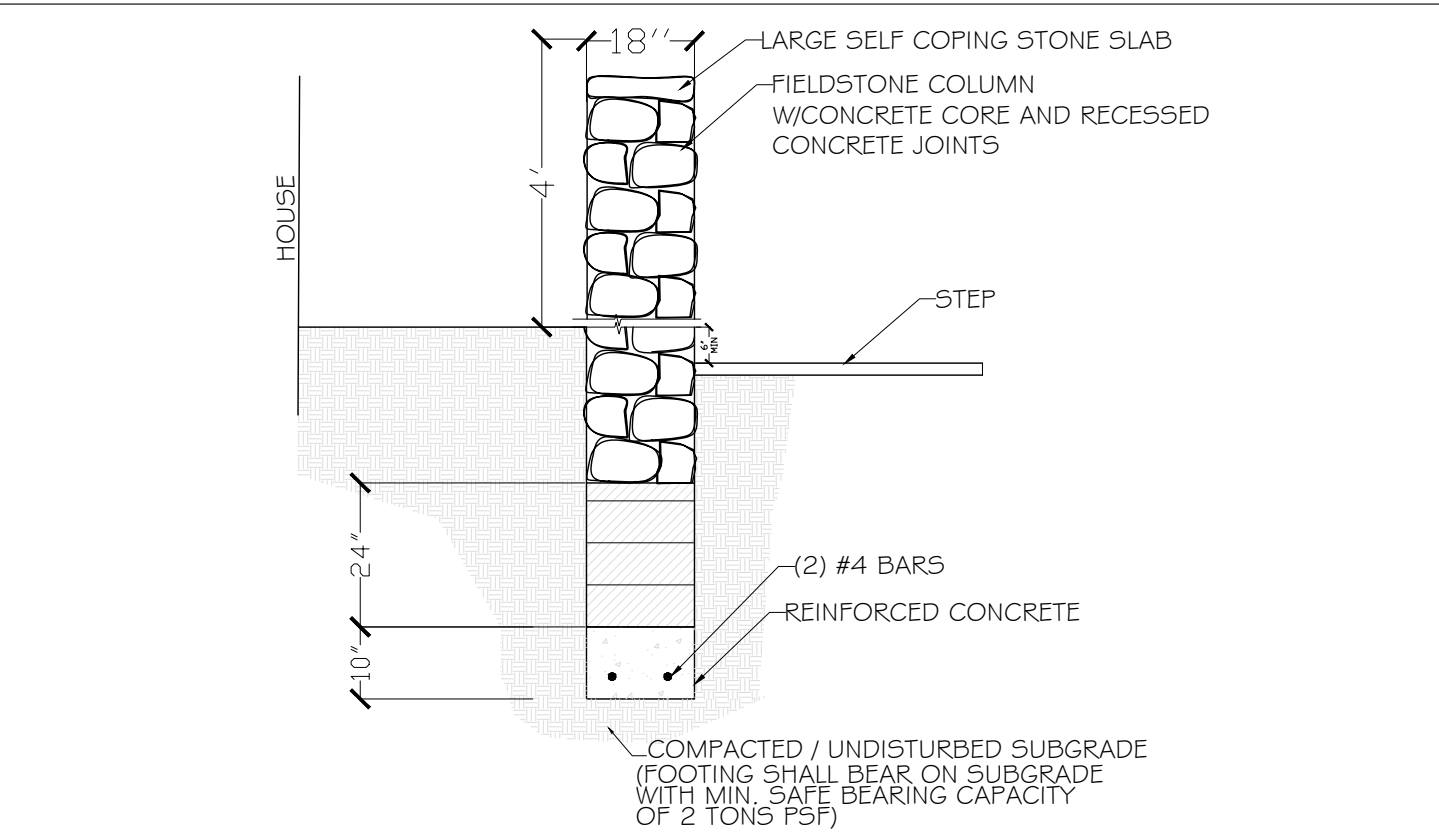
DRIVEWAY CURB
SCALE: 3/4" = 1'-0"

9
D-1



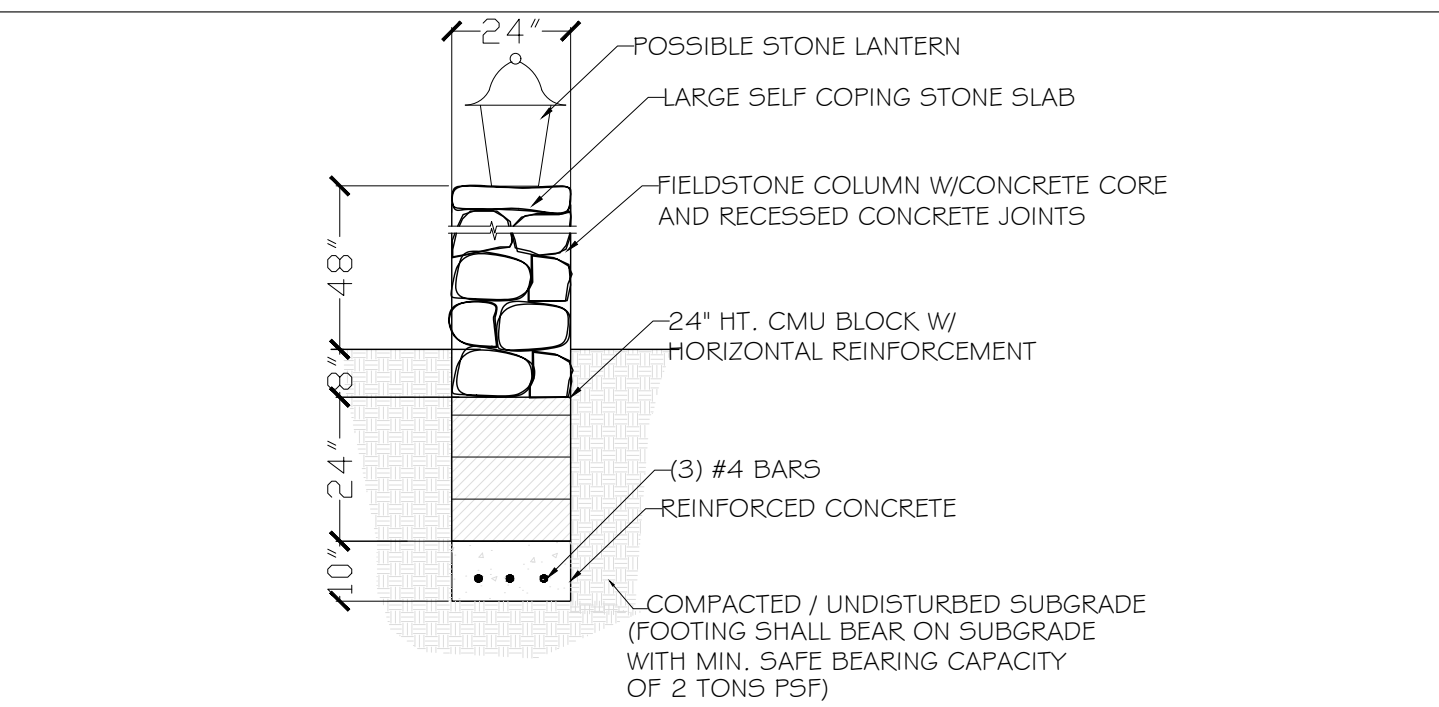
DRIVEWAY BAND
SCALE: 3/4" = 1'-0"

10
D-1



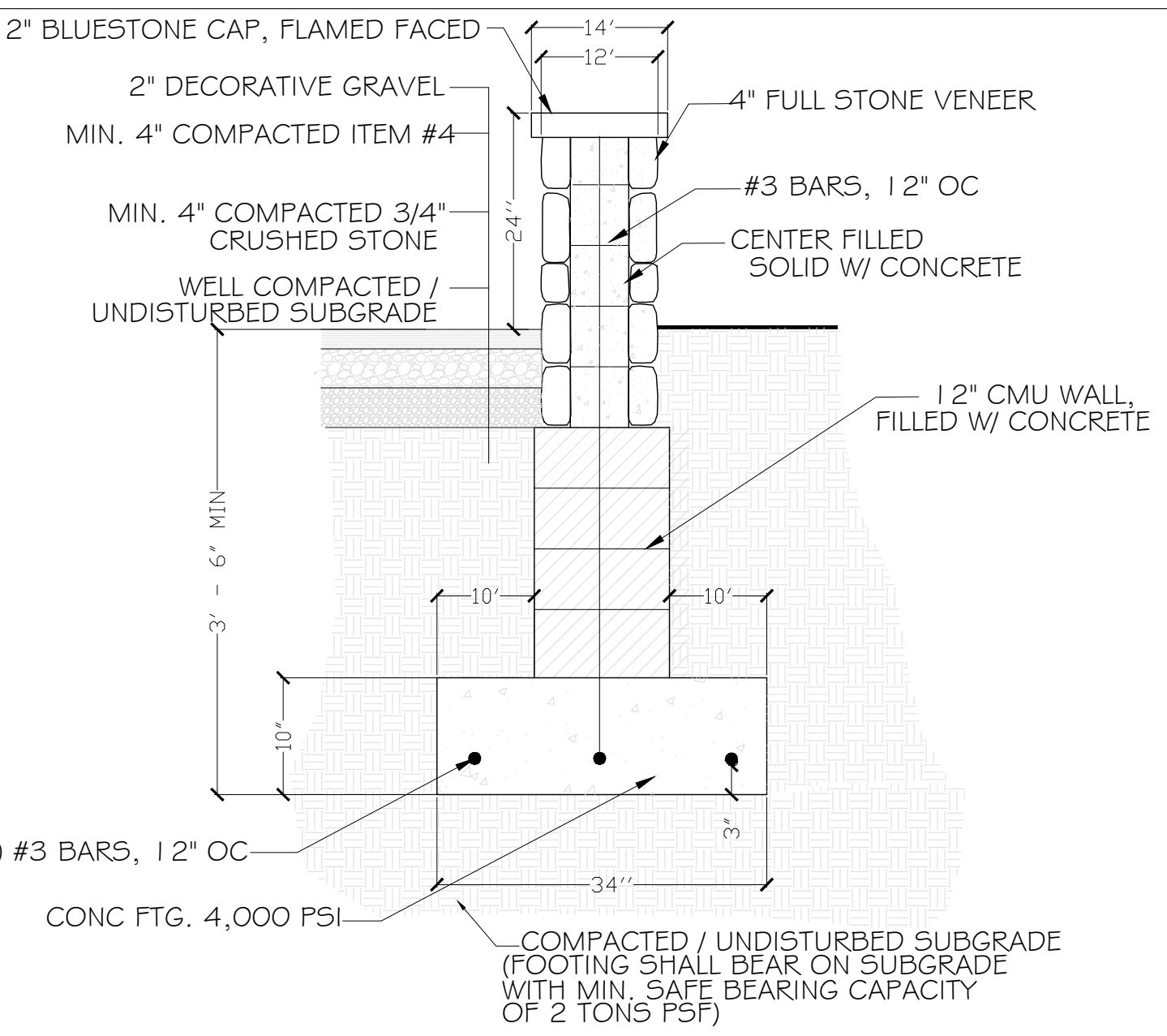
STONE PIER
SCALE: 3/8" = 1'-0"

11
D-1



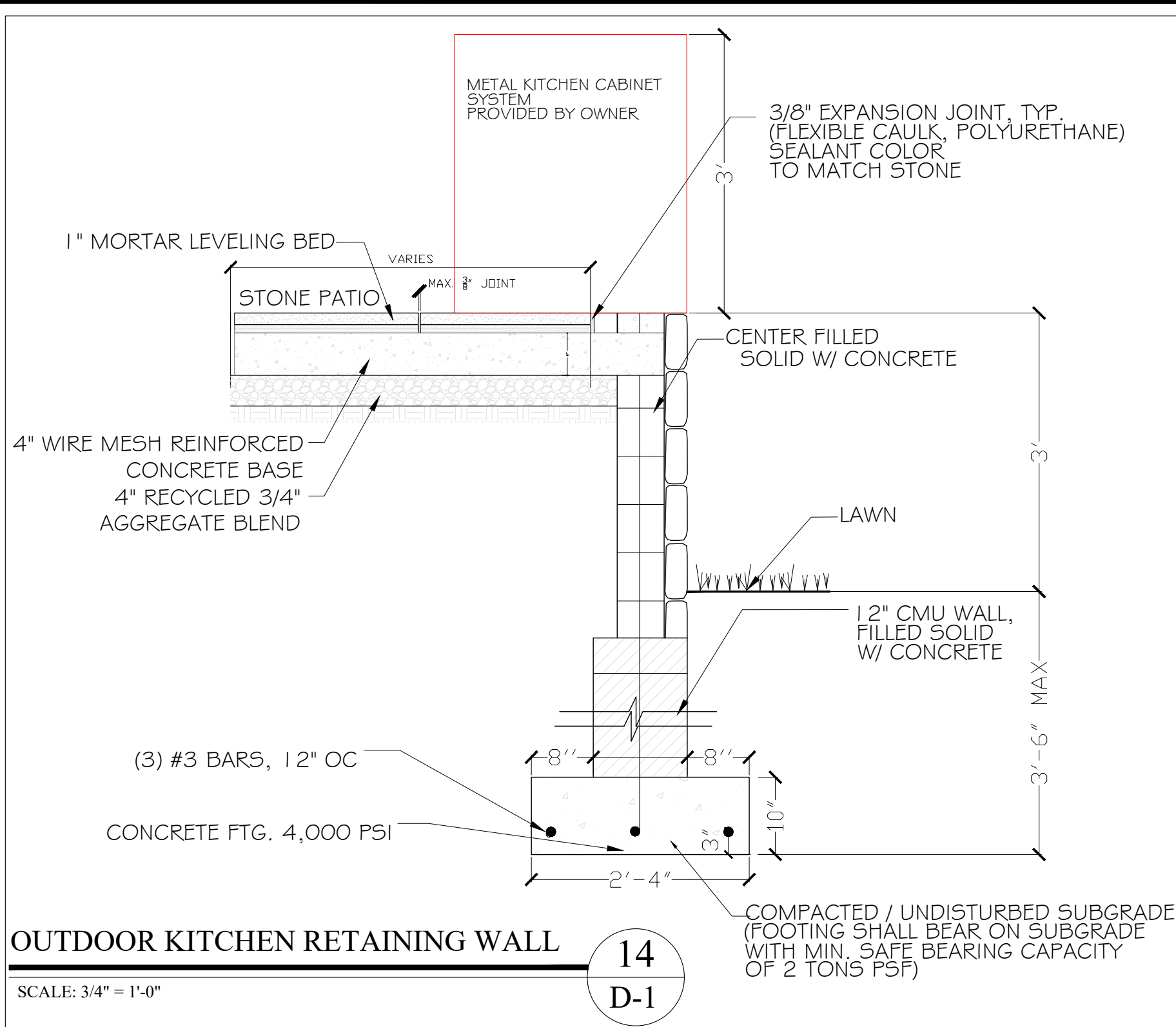
FRONT ENTRY STONE PIER
SCALE: 3/8" = 1'-0"

12
D-1



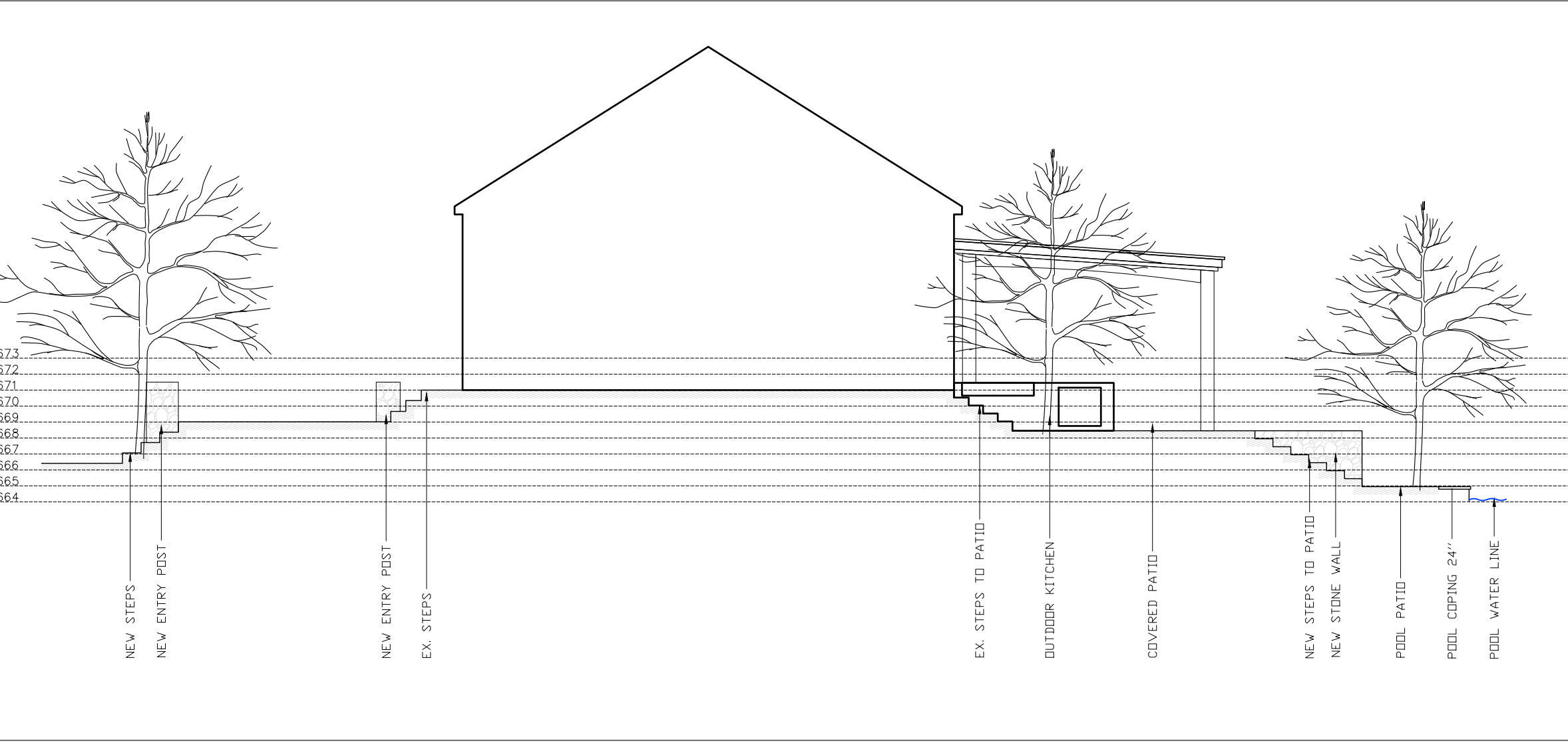
SITTING WALL
SCALE: 3/4" = 1'-0"

13
D-1

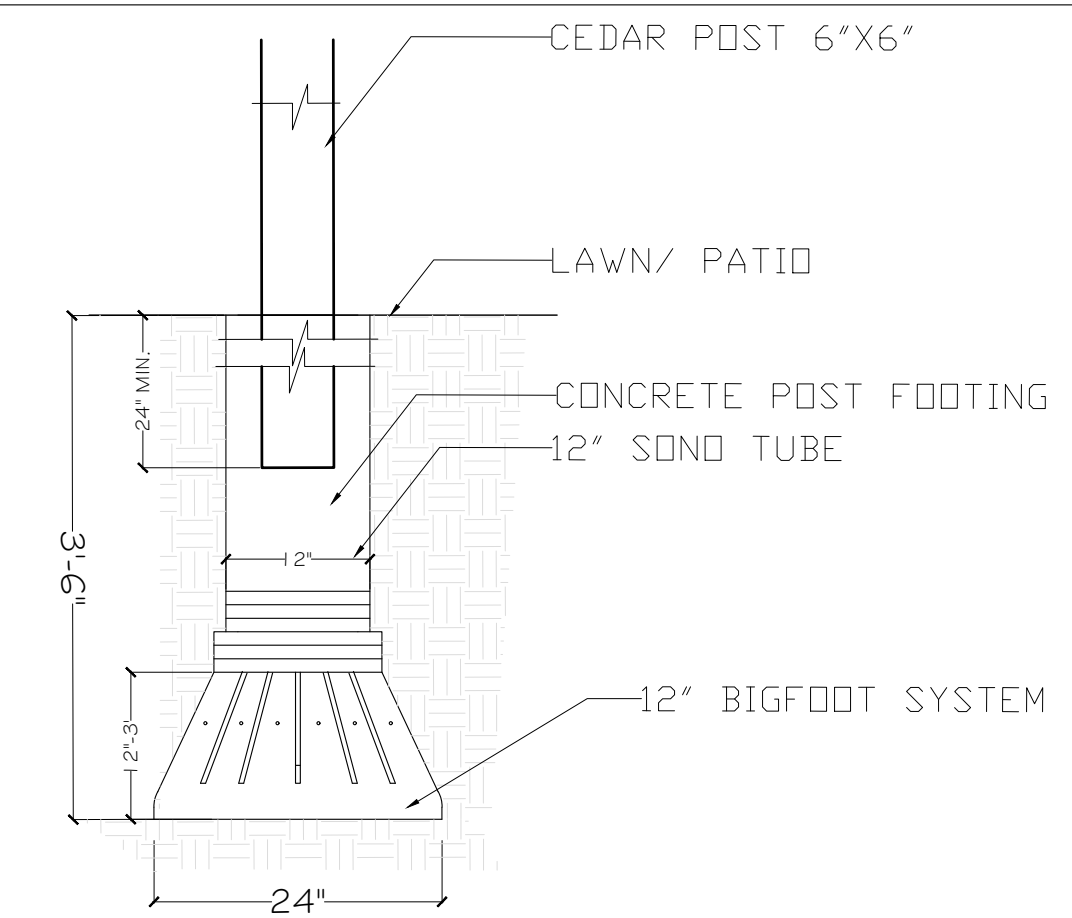


OUTDOOR KITCHEN RETAINING WALL
SCALE: 3/4" = 1'-0"

14
D-1

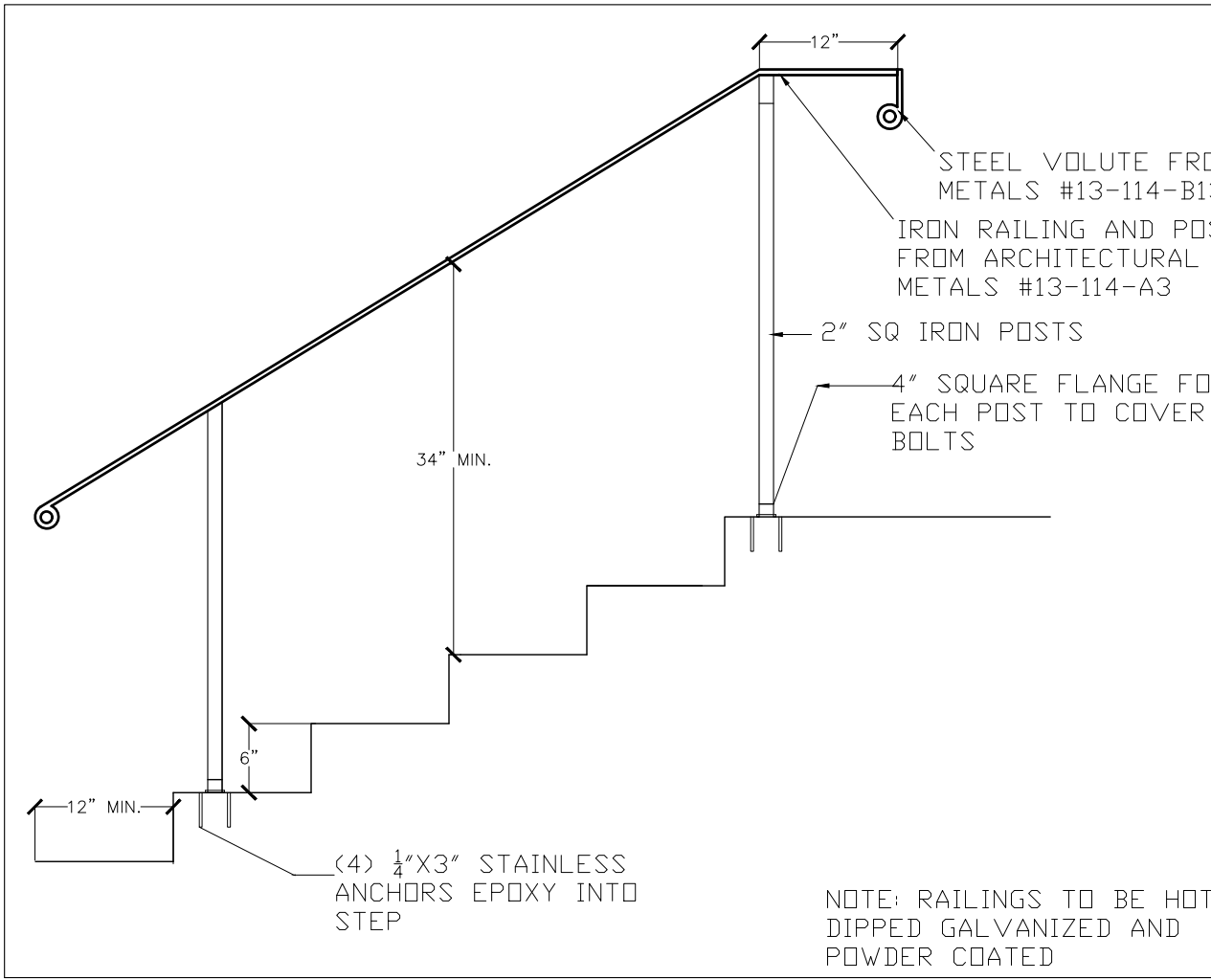


ELEVATION B-B
SCALE: 1" = 8'-0"



SONO TUBE FOOTING DETAIL
SCALE: 3/4" = 1'-0"

15
D-1



RAILING
SCALE: 3/4" = 1'-0"

16
D-1

LOUIS FUSCO
landscape architects
focus • form • function

26 Woodland Road
Pound Ridge, NY 10576
914.764.9123
louisfusco.com

OWNER: JOHN SILVAN, MARNIE BERK
80 RIDGEFIELD AVE
SOUTH SALEM, NY

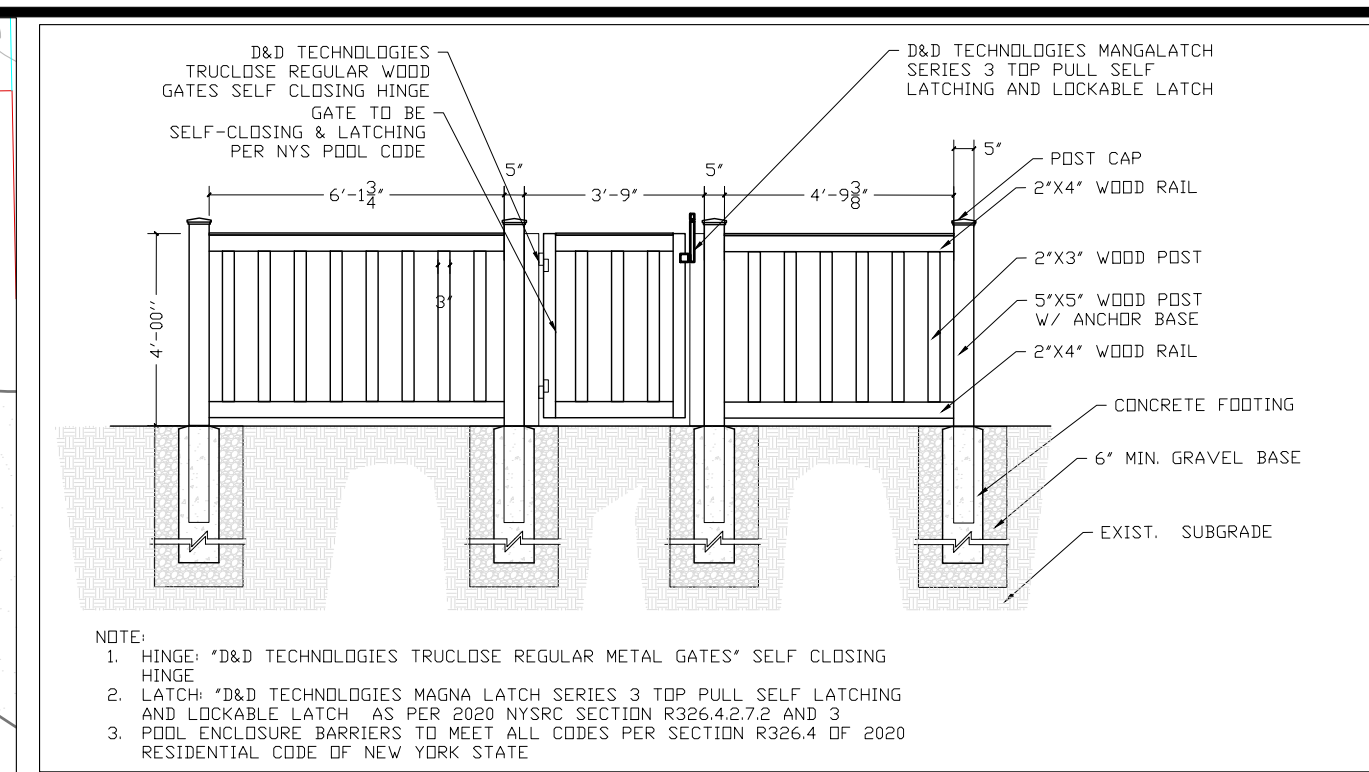
BERK-SILVAN RESIDENCE
80 RIDGEFIELD AVE,
SOUTH SALEM, NY

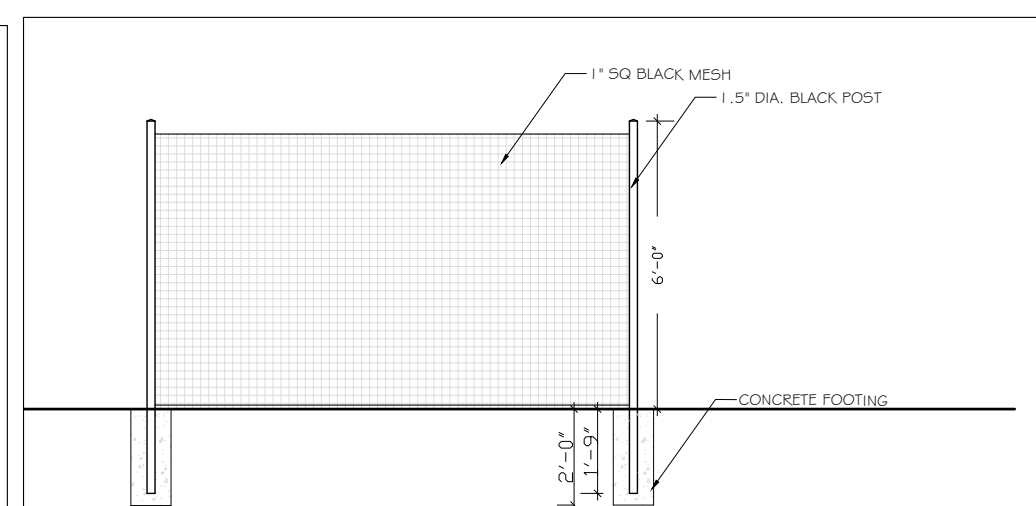
SHEET/BLOCK/LOT: 54.4/1/18
DATE: 11-01-2022 SCALE: AS NOTED

CONSTRUCTION DETAILS
MASONRY

REVISED: 01-26-2023
STAMP: REGISTERED LANDSCAPE ARCHITECT
LOUIS FUSCO
No. 001915
STATE OF NEW YORK

Drawn by number D-1





SCALE : 3" = 1'-0"

WIRE MESH FENCE

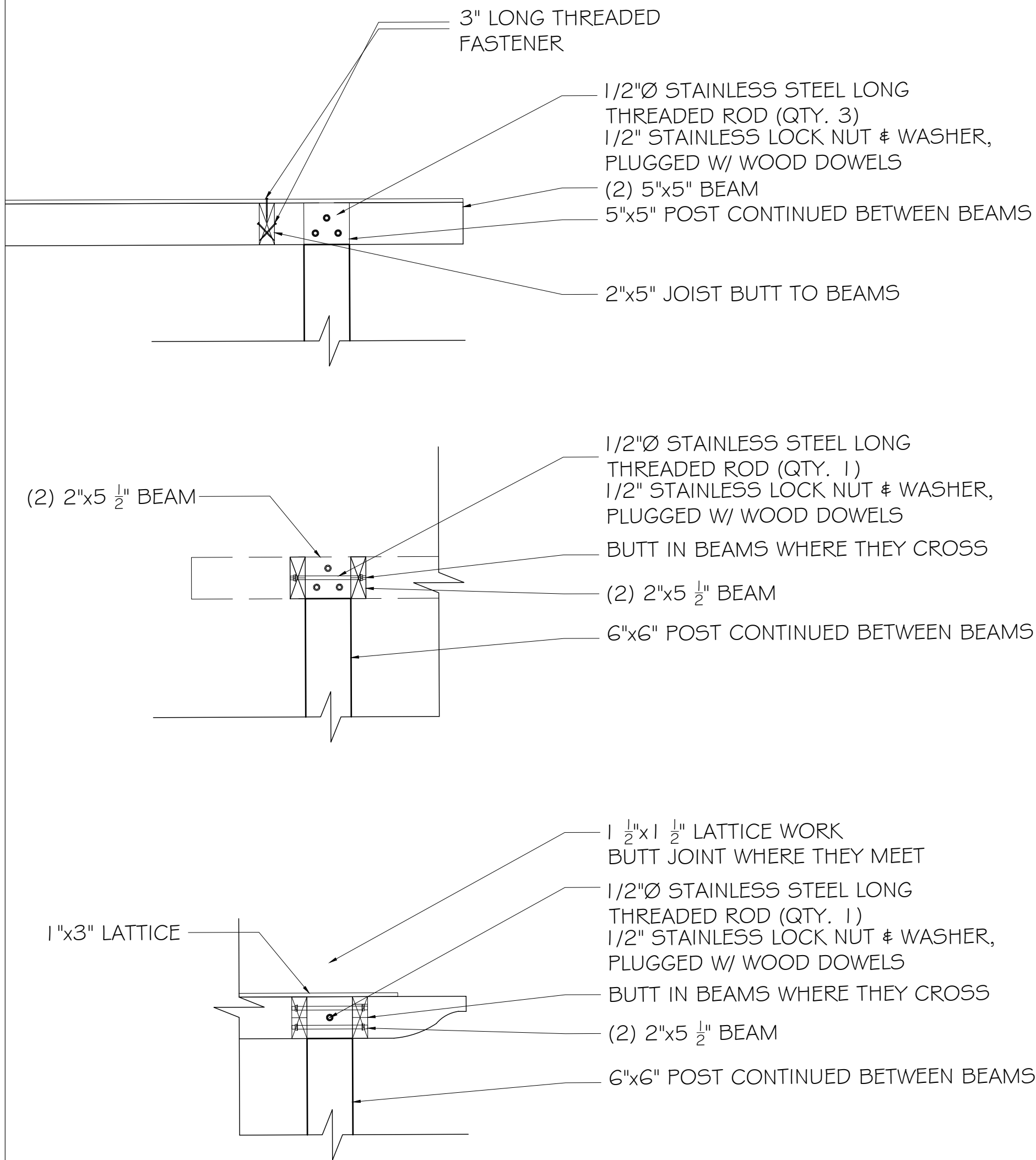
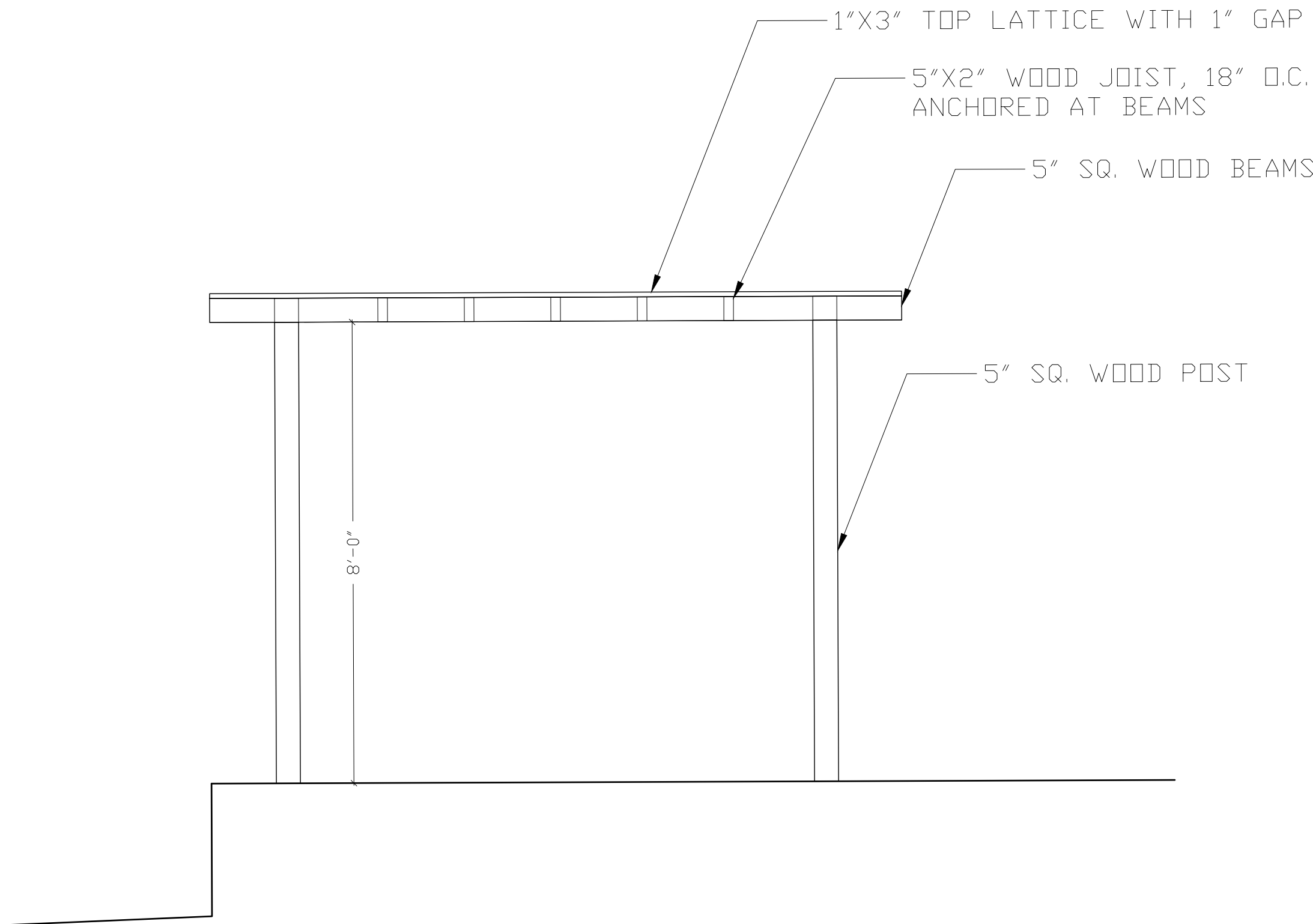
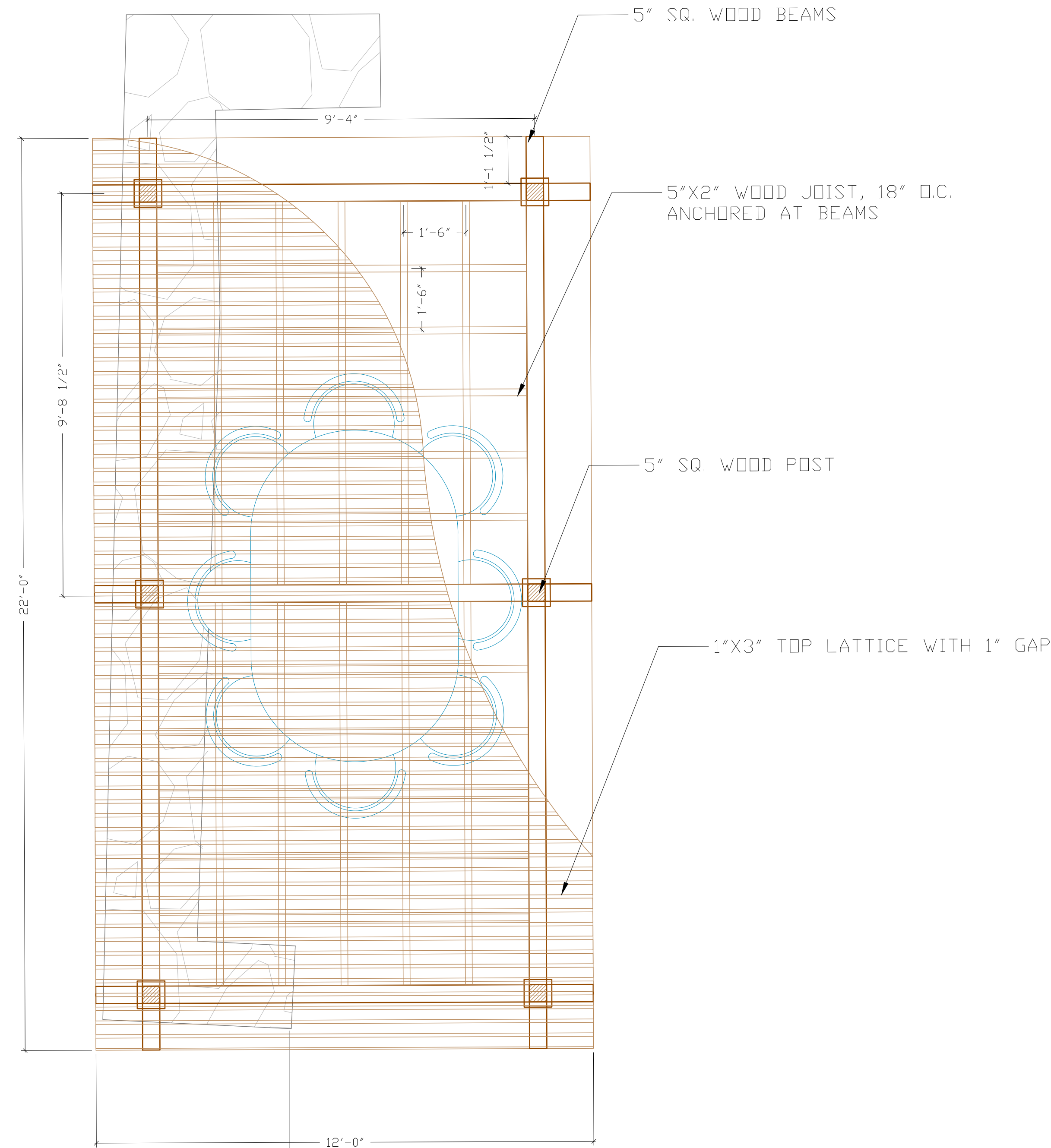
- NOTE:
1. ALL IRON TO BE HOT DIP GALVANIZED AND PAINTED BLACK.
 2. HINGE: "D&D TECHNOLOGIES TRULOSE REGULAR METAL GATES" SELF CLOSING HINGE
 3. LATCH: "D&D TECHNOLOGIES MAGNA LATCH SERIES 3 TOP PULL SELF LATCHING AND LOCKABLE LATCH AS PER 2020 NYSRC SECTION R326.4.2.7.2 AND 3
 4. POOL ENCLOSURE BARRIERS TO MEET ALL CODES PER SECTION R326.4 OF 2020 RESIDENTIAL CODE OF NEW YORK STATE

BERK-SILVAN RESIDENCE 80 RIDGEFIELD AVE. SOUTH SALEM, NY		
SHEET/BLOCK/LOT: 54.4/1/18		
DATE:	11-28-2022	SCALE: 1"= 10'-0"
FENCE PLAN		

STAMP:



- NOTES:
- ALL FENCING TO MEET NYS RESIDENTIAL 2020 CODE SECTION R326.4
 - WALL OF DWELLING TO ACT AS PART OF POOL ENCLOSURE AND MEET NYS RESIDENTIAL 2020 CODE SECTION R326.4.2.8
 - GATES TO OPEN OUT/AWAY FROM POOL SIDE, LATCH TO BE LOCATED ON POOL SIDE
 - POOL TO BE EQUIPPED WITH AUTOMATIC SAFETY COVER AND SHALL COMPLY WITH **ASTM F1346**.
 - TEMPORARY BARRIER FOR POOL ENCLOSURE TO BE INSTALLED DURING CONSTRUCTION TO MEET SECTION R326.4.1
 - EX. POOL WINTER COVER MEETING ASTM F1346 WILL REMAIN INSTALLED AS TEMPORARY BARRIER.



1
FP-2

PERGOLA PLAN AND ELEVATION

SCALE: 1/2" = 1'-0"

2
FP-2

PERGOLA BEAM & JOIST CONNECTIONS

SCALE: N.T.S.

LEGEND:	
	CONSTRUCTION LIMIT
	SILT FENCE
	CONSTRUCTION FENCE
	EROSION CONTROL FENCE
	PROPOSED FRENCH DRAIN
	PROPOSED DRAIN LINE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	TREE PROTECTION
	TREE REMOVAL
	EXISTING LABELS

NOTES:

- ALL WOOD TO BE CLEAR OR KNOTTY CEDAR.
- ALL SCREW/NAIL ANCHORS TO BE STAINLESS STEEL

OWNER: JOHN SILVAN, MARNIE BERK
80 RIDGEFIELD AVE
SOUTH SALEM, NY

 Louis Fusco landscape architects focus • form • function 26 Woodland Road Pound Ridge, NY 10576 914.764.9123 louisfusco.com	BERK-SILVAN RESIDENCE 80 RIDGEFIELD AVE, SOUTH SALEM, NY		REVISED:	STAMP:
	SHEET/BLOCK/LOT: 54.4/1/18 DATE: 02-07-2023 SCALE: AS NOTED	PERGOLA PLAN	Drawing number FP-2	



ZONE: R-2A



LEGEND

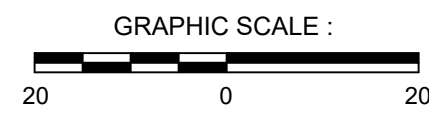
- 95 EXISTING MAJOR CONTOURS
- 96 EXISTING MINOR CONTOURS
- x 94.37 SPOT ELEVATIONS
- OVERHEAD WIRE
- EXISTING BUILDING
- STONE WALL
- UT. POLE UTILITY POLE
- WETLANDS BOUNDARY LOCATED BY OTHERS
- TREE EXISTING TREES

ABBREVIATIONS

- EL. ELEVATION
- N/F NOW OR FORMERLY
- R.O.W. RIGHT OF WAY

Parcel No. 4 (R.M. No. 21213 WCLR)

Lot Area = 2.19 Ac. (95,359.13 Sq. Ft.)



SURVEY NOTES:

This map is based on a field data collected on August 13, 2021 and that this map was completed on September 7, 2021 in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors.

Reference is made to Deed Control No. 461030677 and designated as Parcel No. 4 on a certain map entitled "Rainbow Woods Subdivision Plat prepared for Allen H. Parker and Stephen R. Cipes in the Town of Lewisboro and Pound Ridge, Westchester County, New York," made by Parsons, Bronfield and Redlines, Surveyors, dated February 14, 1983 and last revised and brought to date April 27, 1983 and filed in the office of the register of Westchester County on May 16, 1983 as Map No. 21213.

Underground utilities, facilities and structures are not shown hereon. There may be underground utilities the location of which are presently unknown. Any party utilizing the utility information and data depicted on this survey shall contact the "DIG SAFELY NEW YORK" phone number at 800-962-7862 a minimum of forty eight (48) hours prior to any construction activities to verify the location of any and all underground utilities.

Property subject to any and all public or private restrictive covenants, declarations and/or easements of record, if any.

Dimensions shown from structures to property lines are not intended to be used for the construction of fences, structures or other improvements.

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Anastasia Parsatoon 3-28-2023
ANASTASIA I. PARSATOON, N.Y. L.S. 051088 DATE

PRINT INVALID WITHOUT SEAL AND ORIGINAL SIGNATURE



REV. #	REV. DESCRIPTION	DATE
1	WETLANDS FLAGS	03/27/2023

AK AHNEMANKIRBY
ENGINEERS•SURVEYORS•PLANNERS
SINCE 1871
1171 East Putnam Avenue, Riverside, CT 06878
Tel: 203.869.7707 • Fax: 203.869.4606
www.ahnemankirby.com

PREPARED FOR:
MARNIE BERK & JON SILVAN
80 Ridgefield Avenue, South Salem, NY 10580
(Tax ID: 54-41-19)
TOPOGRAPHIC SURVEY
TP-1

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3

21 South Putt Corners Road, New Paltz, NY 12561-1620

P: (845) 256-3054 | F: (845) 255-4659

www.dec.ny.gov



**Department of
Environmental
Conservation**

March 30, 2023

VIA EMAIL

Alexander Kranz
189 Bent Tree Dr
Palm Beach Gardens, FL 33418

Re: Kranz Property Wetland Project
Elmwood Rd
Town of Lewisboro, Westchester County
DEC Permit ID# 3-5530-00228/00001
Permit Extension

Dear Alexander Kranz:

The New York State Department of Environmental Conservation (NYSDEC) has reviewed a request written on your behalf, received March 3, 2023, to extend the above referenced Article 24 Freshwater Wetlands Permit. This permit was originally issued on May 17, 2019, and expired December 31, 2021. The permit authorizes disturbance to the adjacent area of Freshwater Wetland D-36 (Class II) associated with the construction of a single-family residence with driveway, well, septic system, and bioretention basin for stormwater. In accordance with your request, this letter authorizes extension of the above referenced permit with an expiration date December 31, 2026.

All other terms and conditions of the original permit remain in effect as part of this permit modification except the addition of the following condition:

Notice of Intent to Commence Work The permittee or their representative must notify Sarah Pawliczak of the DEC Bureau of Ecosystem Health via email (sarah.pawliczak@dec.ny.gov) no less than 48 hours prior to the commencement of work.

Please attach this Permit Reissuance to the front of the permit. A new permit notice sign is also enclosed which must be posted conspicuously at the work site with appropriate weather protection.

If you have any questions, please feel free to contact Frank Benedetto at 845-256-0208.



**Department of
Environmental
Conservation**

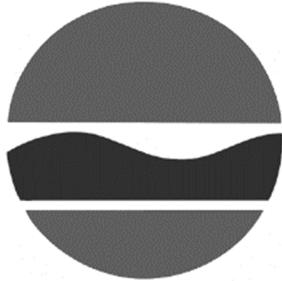
Sincerely,

Tracey O'Malley
Deputy Regional Permit Administrator
NYSDEC Region 3

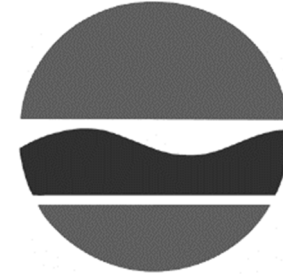
enc: Permit Notice Sign

cc: Town of Lewisboro
US Army Corps of Engineers, NY District
Sarah Pawliczak, NYSDEC Region 3 Bureau of Ecosystem Health
Joseph C. Riina

New York State
Department of Environmental Conservation



NOTICE



The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Department condition on it, contact the DEC at 845-256-3054 or dep.r3@dec.ny.gov. Please refer to the permit number shown when contacting the DEC.

Permittee: _____

Permit No. _____

Effective Date: _____

Expiration Date: _____

☐ Applicable if checked. No instream work allowed between October 1 & April 30

NOTE: This notice is **NOT** a permit.



TOWN OF RIDGEFIELD

Planning and Zoning Commission

May 03, 2023

Janet Donahue, Town Clerk
Town House, 11 Main Street
P.O. Box 500
South Salem, NY 10590

Re: Referral under Section 8-7d of the Connecticut General Statutes: Application for Amendment to Section 2.2-Definitions: Electric Vehicle Charging Stations; Section 7.3.D.4 Parking-Electric Charging Stations

Dear Ms. Donahue:

Per Section 8-7d of the Connecticut General Statutes, "the zoning commission, planning commission, zoning and planning commission...shall notify the clerk of any adjoining municipality of the pendency of any application, petition, appeal, request or plan concerning any project on any site in which... any portion of the property affected by a decision of such commission, board or agency is within five hundred feet of the boundary of the adjoining municipality". Per Section 8-7d, "such notice shall be made by certified mail, return receipt requested, and shall be mailed *within seven days* of the date of receipt of the application, petition, request or plan."

This letter is to inform you, that on May 02, 2023, the Town of Ridgefield Planning and Zoning Commission (Commission) statutorily received the following Commission initiated amendments A-23-1 to amend Section 2.2; 7.3.D.4

Please reference the attached material and access to our online permitting system for Amendment Application A-23-1: Section 2.2; 7.3.D.4

<https://ridgefieldct.viewpointcloud.com/records/91638>

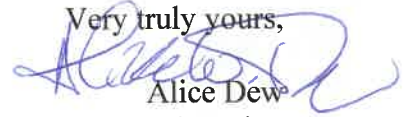
Public hearings on the proposed amendment will be held on Tuesday, May 16, 2023, at 7:00 p.m. via hybrid model at the Ridgefield, Town Hall Annex, 66 Prospect St., Ridgefield CT 06877 or registering in advance for the webinar at below link.

https://us02web.zoom.us/webinar/register/WN_ZmVLs-xTdOsOTwSIiDNPw

If you need additional information, please contact me at 203-431-2767.

66 Prospect Street • Ridgefield, CT 06877
Phone: (203) 431-2766 • Fax: (203) 431-2737
www.ridgefieldct.org

Very truly yours,

A handwritten signature in blue ink, appearing to read "Alice Dew", is written over the typed name.

Alice Dew

Director, Planning and Zoning

CERTIFIED MAIL: 7021 2720 0002 1680 1494

cc: Janet Donahue, Town Clerk
Subject File

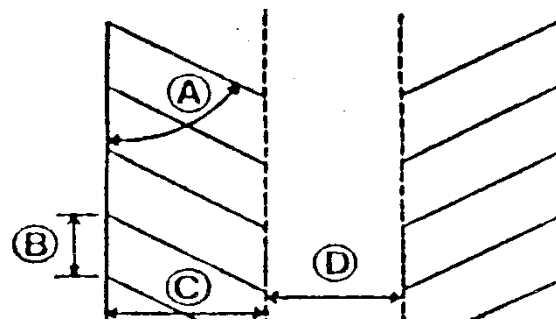
Section 2.2 Defined Terms

Electric Vehicle (EV): A motor vehicle capable of being driven by a battery powered electric motor and has a battery that can be charged from an external source.

SECTION 7.3.D.

D. DESIGN OF PARKING AREAS

1. Except as provided below, parking spaces and aisle shall be installed and maintained so that a rectangular area at least nine (9) feet wide and eighteen (18) feet long, exclusive of access or maneuvering space, is provided for each parking space as follows:



A	Parking angle	30°	45°	60°	90°
B	Curb length	18.00	12.73	10.39'	9.00'
C	Stall depth	16.79	19.09	20.09'	18.00'
D	Vehicular aisle width – two-way circulation	24.00'	24.00'	24.00'	24.00'
D	Vehicular aisle width – one-way circulation	12.00'	13.00'	18.00'	24.00'

2. Unless modified by the Commission, parking spaces and access drives shall have at least six (6) inches of process stone and at least two-and-a-half (2.5) inches of bituminous concrete as surface treatment.
3. When and where required by the Commission, curbing within parking areas shall be made of granite or cast in-place concrete.

4. For all parking lots serving commercial or multi-unit residential buildings with 30 or more spaces (of any type), at least 10% of the spaces shall be equipped and restricted for the purpose of electric vehicle (EV) charging. The Commission may, at its discretion require an additional number of spaces to be equipped, up to a maximum of 20%.