

TOWN OF LEWISBORO
Westchester County, New York

Zoning Board of Appeals
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3822
Fax: (914) 533-0097
Email: zoning@Lewisborogov.com

AGENDA

Wednesday, July 26, 2023, 7:30 P.M.

79 Bouton Road, South Salem,
Justice Court

- I. Review and adoption of the Minutes of June 28, 2023.
- II. PUBLIC HEARING

CAL. NO. 18-23-BZ

Application of Vincent Doria, [Doria, Frances, owner of record], 129 Ridgefield Avenue, South Salem, NY for the following variance of the proposed one-story garage will have 744 square feet whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code therefore requiring a 144 square foot variance.

The property is located on the south side of (#129) Ridgefield Avenue, South Salem, NY designated on the Tax Map as Sheet 0041, Block 10265, Lot 008, in an R-2AC, Two Acre Residential District consisting of approximately 4.50 acres.

CAL. NO. 17-23-BZ **Ajourned**

Application of James & Siming Vautin, James E. & Siming., owner of record], 4 Webb Lane, Goldens Bridge, NY for the following variance of the proposed new home office/artist studio with a 25.1' side yard setback in a 2-A zoning district whereas are 40' as per Article IV Section 220-23E of the Town of Lewisboro Zoning Code required therefore requiring a 14.9' side yard variance, and the proposed new home office/artist studio which will be 750 square feet, whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code therefore requiring a 150 square foot variance.

The property is located on the north side of (#4) Webb Lane, Goldens Bridge, NY designated on the Tax Map as Sheet 0011, Block 11137, Lot 111, in an R-2AC, Two-Acre Residential District consisting of approximately 2.26 acres.

CAL. NO. 19-23-BZ

Application of Ellen Adelman, [Adelman, Ellen M., owner of record], 18 Pond Street, Goldens Bridge, NY, is proposing a new deck construction with a 16' south side yard setback and 19' north side yard setback in a 1A zoning district which requires a 30' side yard setback therefore requiring a 14' south side yard variance and 11' north side yard variance respectively as per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#18) Pond Street, Goldens Bridge, NY designated on the Tax Map as Sheet 007A, Block 12665 Lot 012, in an R-1AC, One-Acre Residential District consisting of approximately 0.93 acres.

CAL. NO. 20-23-BZ

Application of Gail L. Asher, [Noriega, Carlos, owner of record], 229 Kitchawan Road, South Salem, NY for the following variance of the proposed two-car garage with a 6' front yard setback in a 2A zoning district whereas 50' are required as per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a 44' front yard variance.

The property is located on the south side of (#229) Kitchawan Road, South Salem, NY designated on the Tax Map as Sheet 045A, Block 09827, Lot 118, in an R-2AC, Two Acre Residential District consisting of approximately 2.00 acres.

III. CORRESPONDENCE & GENERAL BUSINESS

IV. NEXT MEETING

August 23, 2023

V. ADJOURN MEETING

(914) 763-3822
FAX (914) 875-9148
TTY 800-662-1220
Email: zoning@lewisborogov.com
www.lewisborogov.com



TOWN OF LEWISBORO
Zoning Department
79 Bouton Road
South Salem, NY 10590

TOWN OF LEWISBORO, WESTCHESTER COUNTY

ZONING DEPARTMENT

ZONING BOARD OF APPEALS – June 28, 2023

ZONING BOARD OF APPEALS – June 28, 2023		
<u>APPLICANT</u>	<u>CAL #</u>	<u>PAGE(S)</u>
Doria	18-23-BZ	4 to 8
Vautin Adjourned	17-23-BZ	9 to 23
Adelman	19-23-BZ	24 to 31
Asher/Noriega	20-23-BZ	32 to 41

TOWN OF LEWISBORO
Westchester County, New York

Building Department
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3060
Fax: (914) 875-9148
Email: ksullivan@lewisborogov.com

Zoning Denial 7/6/2023

129 Ridgefield Ave, South Salem

10265-008-0041

The proposed one-story garage will have 744sqft whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code therefore requiring a 144sqft variance.

Building Inspector



Kevin Kelly

ZONING BOARD OF APPEALS
NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, July 26, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 18-23-BZ

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Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

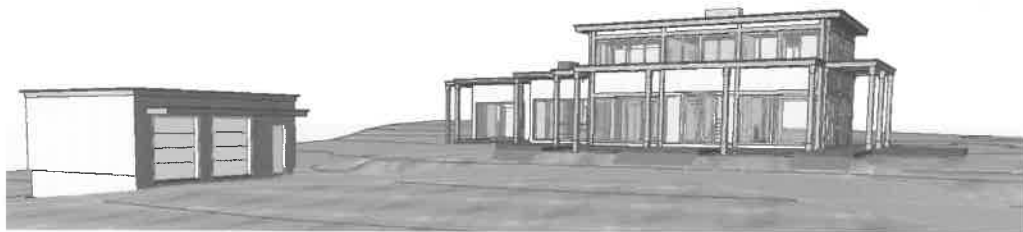
**Dated this 7th day of July 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodation to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

Doria Residence

129 Ridgefield Ave.
South Salem, NY 10590



SHEET INDEX

P&Z submission	
T1	Site Plan
A 1.1	Plans
A2.1	Elevations

ZONING INFORMATION

Parcel ID:
Zone: R-2A

	Allowable	Proposed
Lot Size	4.504 acres (2 acre min.)	No Change
Front Yard Setback	50 ft min.	197'-6"
Side Yard Setback	40 ft min.	225'-10" & 21'-0"
Rear Yard Setback	50 ft min.	191'-0"
Number of Stories	2 1/2 max.	2
Building Height (replace this text with calc. method or omit)	35 ft. max.	+/- 20'-10" main house +/- 13'-8" addition +/- 14'-0" garage avg.
Building Coverage	9% max. of lot area	4.504 acres = 196,194 sq ft 3,378 sq ft bldg coverage / 196,194 sq ft = 1.7%



1 Site Plan
SCALE: 1" = 30'

TRILLIUM ARCHITECTS LLC

16 Bailey Ave, 2nd Floor
Ridgefield, CT 06877
203.438.4540 phone



No.	Item	Date
3	P & Z submission	1/27/2023
2	Window Pricing Set	11/11/2022
1	To Structural Engineer	10/6/2022

Doria
129 Ridgefield Ave.
South Salem, NY 10590

Site Plan
sheet: T1
scale: as shown
PLAN NORTH

Printed 1/27/2023



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Doria
129 Ridgefield Ave.
South Salem, NY 10590

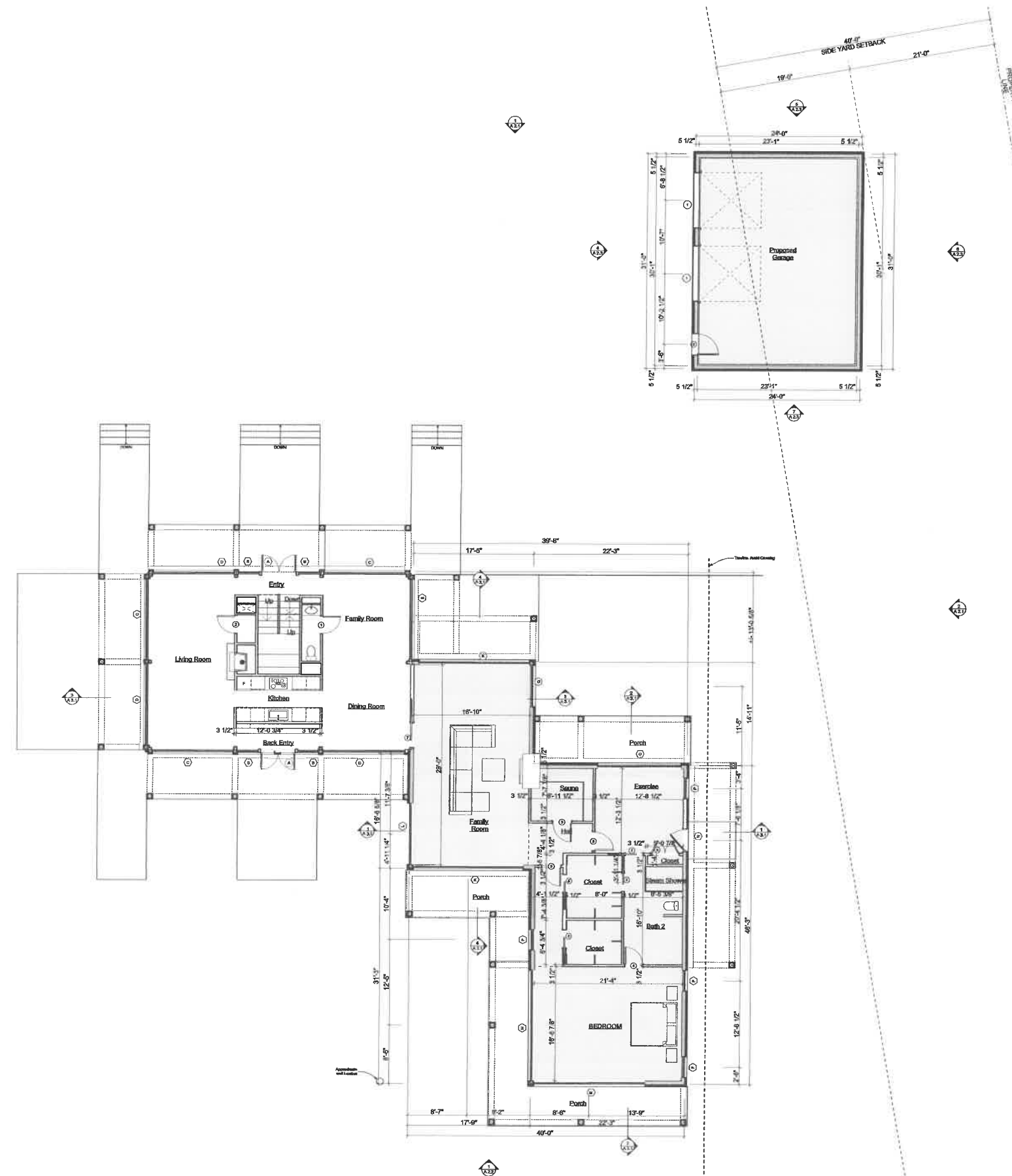
Plans

sheet: A 1.1
scale: as shown

PLAN NORTH



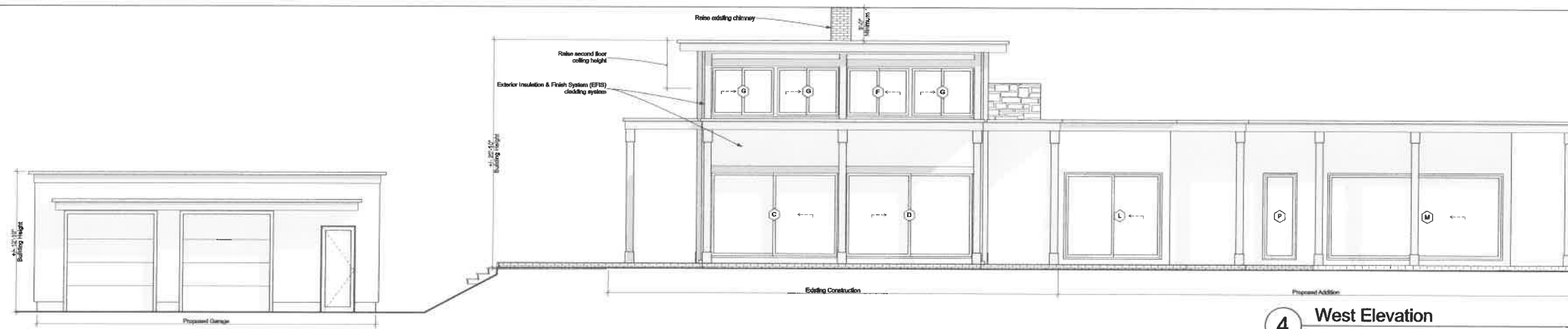
Printed 1/27/2023



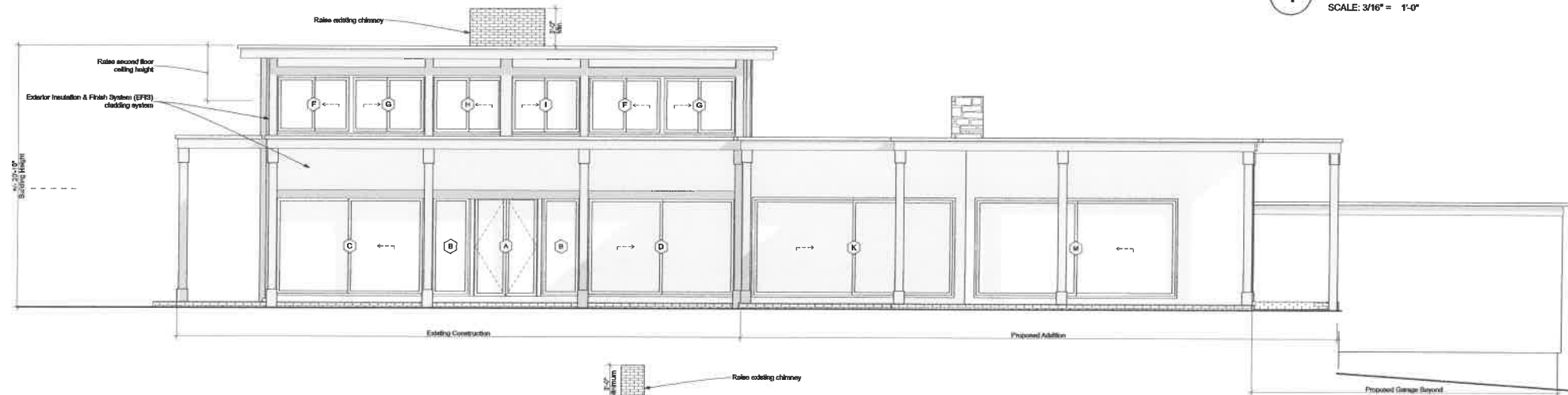
1

First Floor Plan

SCALE: 1/8" = 1'-0"



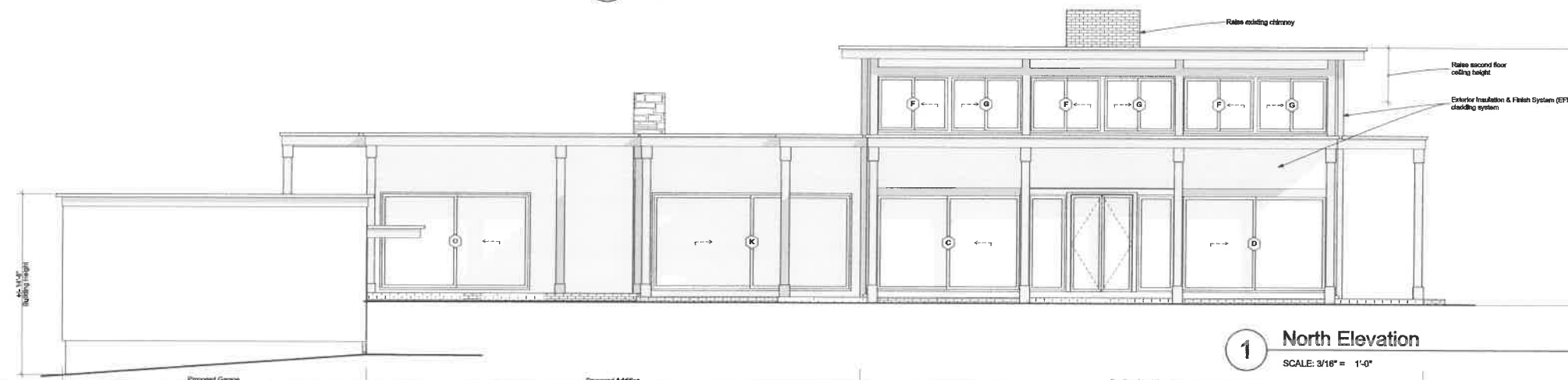
4 West Elevation
SCALE: 3/16" = 1'-0"



3 South Elevation
SCALE: 3/16" = 1'-0"



2 East Elevation
SCALE: 3/16" = 1'-0"



1 North Elevation
SCALE: 3/16" = 1'-0"



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No.	Item	Date

Doria
129 Ridgefield Ave.
South Salem, NY 10590

Elevations

sheet: A2.1
scale: as shown

PLAN NORTH



TOWN OF LEWISBORO
Westchester County, New York



Building Department
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3060
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Zoning Denial 6/29/2023

4 Webb Lane, Goldens Bridge, NY
11-11137-111

The applicant is proposing a new home office/artist studio with a 25.1' side yard setback in a 2A zoning district whereas are 40' as per Article IV Section 220-23E of the Town of Lewisboro Zoning Code required therefore requiring a 14.9' side yard variance.

The applicant is proposing a new home office/artist studio that is 750 square feet whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code therefore requiring a 150sqft variance.

Building Inspector

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ZONING BOARD OF APPEALS

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**Dated this 30th day of June 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

THE OWNER SHALL COMPLY WITH THE REQUIREMENTS OF THE TOWN OF LEWISBORO, NY BUILDING CODE AND ZONING ORDINANCES, THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AS WELL AS ENGINEERING & FIRE DEPT REGULATIONS AND ALL APPLICABLE LAWS, UTILITY CONTRACTOR REGIMENTS, & THE BEST TRADE PRACTICES.

E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS FROM ANY SUB-CONTRACTORS DOING ANY WORK UNDER THIS CONTRACT. EACH CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH BUILDING DEPARTMENT, AND SHALL BE ENTIRELY RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM ALL AUTHORITIES HAVING JURISDICTION ON THIS MATTER, INCLUDING BUT NOT LIMITED TO, ENVIRONMENTAL & ASBESTOS REMOVAL PERMITS, IF SO REQUIRED BY OWNER. THE OWNER HAS NO LIABILITY OR RESPONSIBILITY FOR PAYING PERMIT FEES REQUIRED BY THE LOCAL BUILDING DEPARTMENT AND FEES REQUIRED BY ALL OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION THEREOF.

F. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS ON PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. ALL WRITTEN MEASUREMENTS SHALL TAKE PRECEDENCE OVER SIZE OF MATERIALS.

G. CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS BY ALL AUTHORITIES AND/OR GOVERNMENTAL AGENCIES HAVING JURISDICTION ON THIS MATTER, AS MAY BE NECESSARY.

H. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE PROJECT SHALL BE NEGOTIATED FOR PAYING PERMIT FEES IN THE DRAWINGS, AND THE ARCHITECT SHALL BE NOTIFIED IN WRITING PRIOR TO COMMENCEMENT OF WORK.

I. THE CONTRACTOR SHALL COMPLY WITH AND KEEP HIMSELF INFORMED OF ALL FEDERAL, STATE, MUNICIPAL, AND GOVERNMENTAL LAWS, ORDINANCES, RULES AND REGULATIONS, NOTICES, ORDERS AND REQUIREMENTS.

J. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES, STRUCTURES, SERVICES OR SUPERVISION. ARCHITECT'S RESPONSIBILITY IS STRICTLY LIMITED TO THE CONTENTS OF WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS ONLY. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO PLANS & SPECIFICATIONS UNLESS SPECIFICALLY AUTHORIZED BY HIM IN WRITING. ARCHITECT HAS NOT BEEN KEPT FOR ASBESTOS INVESTIGATION.

K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN & SPECIFICATIONS RELATED TO ASBESTOS PRESERVATION.

L. DAMAGED WORK: EACH CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE CAUSED TO ANY WORK ON THIS PROJECT BY HIS OWN PERSONS OR THOSE OF HIS SUB-CONTRACTORS, OR BY OTHERS CONNECTED WITH HIS OPERATION ON THIS PROJECT IN ANY WAY AND SHALL MAKE ALL NECESSARY REPAIRS AND REPLACEMENT OF SUCH DAMAGED WORK AT HIS EXPENSE OVER \$10,000 TO THE CARE OF THE OWNER.

M. SAFETY REQUIREMENTS: THE CONTRACTOR SHALL PROVIDE NECESSARY BRACINGS AND BARRICADES INCLUDING TEMPORARY WALLS, FENCES AND OTHER PROTECTIVE STRUCTURES TO SAFEGUARD CONSTRUCTION AND PUBLIC SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL BRACE AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SUE responsibility FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.

N. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL DIMENSIONS REQUIRED FOR OTHER TRADES.

O. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CUTTING, PATCHING, REPAIRS AS REQUIRED TO PERFORM ALL ELECTRICAL, PLUMBING ETC. THE CONTRACTOR SHALL DO ALL WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

P. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR A CERTAIN LICENSED AND REGISTERED ELECTRICIAN TO BE PROVIDED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR FLUSHED.

Q. JOBS MAINTENANCE: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL SITE IN A CLEAN AND SAFE CONDITION THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS, RUBBISH, DEBRIS, BROKEN CONCRETE, PACKING CASES, ETC., SHALL BE REMOVED.

R. PRIOR TO TURNING BUILDING OVER TO OWNER, REMAINING RUBBISH SHALL BE REMOVED, THE GRASS AREAS GRADED, CEMENT DRIVEWAYS, SIDEWALKS AND CURBS SET AND FINISHED UNDER 8' MAXIMUM.

S. CLEANING: IMMEDIATELY BEFORE TURNING THE PROJECT OR PARTS OF SAME OVER TO THE OWNER, THE GENERAL CONTRACTOR SHALL WASH AND CLEAN THE FOLLOWING:

A. REMOVE TEMPORARY STRUCTURE.
B. REMOVE WASTES, STOPS AND OTHER DIRT FROM PAINTED DECORATED AND FINISHED WOODWORK.
C. REMOVE SPOTS, MORTAR, PLASTER, SOLID PAINT FROM CERAMIC TILES AND OTHER FINISH MATERIALS AND WASH OR PIPE CLEAN.
D. CLEAN FIXTURES, CABINET WORK AND EQUIPMENT AND LEAVE IN UNDAMAGED NEW UNIFORM CONDITION.
E. CLEAN ALUMINUM AND OTHER FINISH METALS IN ACCORDANCE WITH MFG. RECOMMENDATIONS.
F. CLEAN RESILIENT FLOORS THOROUGHLY TO REMOVE ANY SURFACE DIRT AND POLISH TO APPEAR SHEEN.
G. CLEAN BOTH SIDES OF GLASS.

GENERAL SPECIFICATIONS - SLAB WORK

1. THE WORK UNDER THIS SECTION SHALL INCLUDE FURNISHING ALL LABOR, MATERIALS, TOOLS, APPLIANCES AND EQUIPMENT AND PERFORMING ALL OPERATIONS NECESSARY FOR COMPLETE EXECUTION OF CLEARING, EXCAVATING, BACKFILLING AND GRADING AS INDICATED HERE AND IN WORKING DRAWINGS.

A. REMOVE ALL BRUSH WITHIN CONTRACT AREA.

B. REMOVE UNNECESSARY WALLS, FOUNDATIONS, CURBS, AS INDICATED ON PLANS.

C. EXCAVATION OF EARTH ROCK AND OBSTRUCTIONS BELOW PRESENT GRADES AS NECESSARY FOR NEW FOUNDATIONS, UTILITY TRENCHES AND SITE GRADINGS.

D. MIX POROUS FILL UNDER INTERIOR CONCRETE GROUND SLAB.

E. FURNISHING AND PLACING SHORING AND BEARING REQUIRED AND REMOVAL OF SAME FROM SITE.

F. BACKFILLING AGAINST FOUNDATION WALLS, PIERS AND FOOTINGS AND UTILITY TRENCHES WHERE INDICATED UNDER NO CIRCUMSTANCES SHALL EXCAVATION CONTRACTOR BACKFILL AGAINST FOUNDATION WALLS, DIAGONAL SHORING AT INSIDE OF ROOF TRUSS AND SHALL BE USED TO SUPPORT ROOF TRUSSES.

G. SITE DRAINAGE SHALL BE EXECUTED ACCORDING TO A SEPARATE DRAINAGE PLAN PREPARED BY A CERTIFIED ENGINEER.

H. EXCAVATING: EXCAVATING SHALL INCLUDE REMOVAL OF ALL MATERIALS TO PERMIT PROPER WORKING CLEARANCE AND INSTALLATION OF CONCRETE FOOTINGS, WALLS, PIERS, AREAWAYS, SLABS, POROUS FILL UNDER SLAB AND ANY BRACING.

I. BACKFILL SHALL BE DONE USING CRUSHED GRANULAR MATERIAL. BACKFILLING SHALL BE DONE BY MEANS OF MECHANICAL HAMMER OR HYDRAULIC SPLITTER. ARCHITECT'S COST ESTIMATE FOR REMOVAL OF UNDERGROUND ROCK FORMATIONS & ROCK BED FOR COMPLETION OF PROJECT SHALL BE FINAL & BINDING UNDER NO CIRCUMSTANCES SHALL ROCK-BLASTING BE PERMITTED ON THIS JOB SITE.

J. EXCAVATING & GRADING: CONTRACTOR SHALL BACKFILL AS PROMPTLY AS THE WORK SITE PERMITS, COMPLYING WITH GRADES AND ELEVATIONS INDICATED ON WORKING DRAWINGS.

K. A EARTH FOR BACKFILL SHALL CONSIST OF CLEAN, EASILY COMPACTED BACKFILL, FREE FROM EXCESS CLAY, DEBRIS OR ORGANIC MATTER.

L. BACKFILL SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS OF NOT MORE THAN 12" DEPTH, PUDDLED AND TAMMED OR ROLLED SO AS TO PREVENT FUTURE SETTLEMENT.

M. ENTIRE AREA UNDER INTERIOR CONCRETE SLAB SHALL BE BACKFILLED WITH 4" TO 6" DURABLE CLEAN BRUSHED TRAP ROCK COMPACTED AND LEVELLED TO A REASONABLY EVEN SURFACE OR AS PER SITE PLAN.

N. UTILITY TRENCHES: ALL UTILITY TRENCHES SHALL BE EXCAVATED TO ALLOW UTILITY LINES TO BE PLACED BELOW THE FRONT LINE, MIN 8" - 6".

O. SEEDING: LANDSCAPE IS NOT THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. OWNER SHALL PROVIDE A SEPARATE LANDSCAPING CONTRACTOR AT HIS OWN EXPENSE. COST OF ANY DAMAGES TO BUILT PROPERTY OR DATE SHALL BE DUE TO LANDSCAPING CONTRACTOR'S NEGLIGENCE ARE SOLELY THE RESPONSIBILITY OF THE LANDSCAPING CONTRACTOR.

CONCRETE & MASORY

A. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR EQUIPMENT AND APPLIANCES REQUIRED FOR THE COMPLETION OF EXECUTION OF ALL CONCRETE FOUNDATION WORK, CONCRETE SLABS AND PLATFORMS, CONCRETE FOOTINGS AND MASORY WALLS AS INDICATED IN WORKING DRAWINGS.

B. ALL CONCRETE SHALL HAVE MIN COMPRESSIVE STRENGTH OF 4000 PSI AFTER 28 DAYS, INCLUDING FOOTINGS, PIERS, SLABS AND PLATFORMS. CONCRETE SHOULD BE HEATED OR MUST BE AN AIR ENCLOSED CONCRETE.

C. CONCRETE SLAB, PIER AND FOOTINGS SHALL BE OF THE SIZE AND THICKNESS INDICATED ON PLANS. INTERIOR CONCRETE SLAB SHALL BE PROVIDED WITH COMBINATION EXPANSION JOINTS WATER STOP WHERE INDICATED ON PLANS. PERIMETER OF SLAB ADJOINING WALLS SHALL HAVE 1/2" EXPANSION JOINT WITH BITUMINOUS FILLER.

D. CONCRETE SLAB SHALL BE PROVIDED WITH 6#X10@16" HELPED VEEH VESH REINFORCING THROUGHOUT. PERIMETER OF SLAB AREA ON BACKFILL SHALL RECEIVE 4# RE-BARS 24"x0". TIED INTO FOUNDATION WALL OR AS INDICATED ON PLANS.

E. VAPOR BARRIER UNDER INTERIOR SLAB SHALL BE (2) #5 MILK THICK UNLESS OTHERWISE INDICATED ON DRAWINGS.

F. TOP OF CONCRETE SLAB TO RECEIVE CERAMIC TILE OR CARPETING AND SHALL BE SCREENED TO AN EVEN TRUE LEVEL.

G. ALL MASORY UNITS SHALL BE OF THE SIZE INDICATED ON PLANS. NON-CORROSIVE DURA-WALL TIES TO BE PROVIDED EVERY OTHER COURSE BETWEEN MASORY JOINTS & #4 VERTICAL REBARS @ 32" OC OR AS INDICATED ON PLANS. SEE SPECIFICATIONS ON DRAWINGS FOR POURED CONCRETE WALLS REINFORCING.

H. REBAR MASORY SHALL BE PROVIDED WITH 6#X10@16" HELPED VEEH VESH REINFORCING TO ASTM DESIGNATION C144 PASSING NO. 6. SIEVE, HYDRATED LIFE SHALL CONFORM TO ASTM DESIGNATION C-6.

I. MORTAR FOR THE ENTIRE WORK EXCEPT OTHERWISE SPECIFIED SHALL BE PROPORTIONED BY VOLUME, I PART PORTLAND CEMENT, 1/4 PART HYDRATE LIME AND 3 PARTS SAND. WATER / CEMENT RATIO SHALL BE .035 - 0.40 MAXIMUM.

FINISHES

1. STRUCTURAL STEEL: ALL STRUCTURAL STEEL SHALL CONFORM TO REQUIREMENTS OF ASTM - A - 36 LATEST EDITION. SIZE AND LOCATION OF ALL STRUCTURAL STEEL IS INDICATED ON WORKING DRAWINGS. THIS INCLUDES STEEL BEAMS, STEEL PIPE COLLUMS, STEEL ANGLES, AND STEEL BEAMS USED AS HEADERS OVER DOORS AND WINDOWS.

WOOD & PLASTICS

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO. 1 AND 2 COMMON HAVING A MIN ALLOWABLE BENDING STRESS OF 900PSI.

2. LUMBER SIZE AND SPACING AS INDICATED ON WORKING DRAWINGS.

3. ALL PLYWOOD SHALL BE MIN 1/2" CDX' WHICH REQUIRED FOR SIDING AND MIN 5/8" CDX' FOR ROOF DECKING, OR AS INDICATED ON PLANS.

4. ALL FRAMING LUMBER SHALL BE KILN DRIED.

5. ROOF TRUSS END JOISTS SHALL HAVE 2" X 4" MOOD BLOCKS UNDER ALL PLYWOOD JOINTS (IF APPLICABLE).

6. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL, WITH FLOOR SPANS AND AROUND ALL FLOOR OPENINGS.

7. DOUBLE RAFTERS & CEILING JOISTS AROUND ALL SKYLIGHT OPENINGS (IF APPLICABLE).

THERMAL & MOISTURE PROTECTION

1. INSULATION - ALL EXTERIOR WALLS, CEILING, AND ROOFS, AS INDICATED ON WORKING DRAWINGS AND PER NY STATE ENERGY & BUILDING CODE - LATEST EDITION.

2. EXTERIOR DOOR FRAMES, SADDLES AND WINDOW FRAMES AND WINDOW WALLS SHALL BE CAULKED WITH NON-BITUMINOUS, NON-STANDARD PRODUCT MANUFACTURED BY TREMCO OR EQUAL AND PACKED WITH INSULATION AT EDGES TO PREVENT DIRECT AIR INFILTRATION.

DOORS & WINDOWS

1. ALL DOORS AND WINDOWS SHALL BE SIZE TYPE AND FIRE RATINGS INDICATED ON PLANS AND SCHEDULES. ALL GLAZING SHALL BE REGULAR DOUBLE PANEL INSULATED GLASS BY ANDERSEN WINDOWS & DOORS MFG, OR APPROVED EQUIVALENT. SEE PLANS FOR ADDL INFO.

2. ALL DOORS AND WINDOWS SHALL HAVE INSULATING CORES WITH AN ALUMINUM SADDLE OR EQUIVALENT INDICATED ON PLANS. ALL DOORS TO GARAGES AND MECHANICAL ROOMS SHALL BE EQUIPPED WITH SELF-CLOSING HINGES. ALL DOOR FIRE RATINGS SHALL BE AS INDICATED ON PLANS.

FINISHES

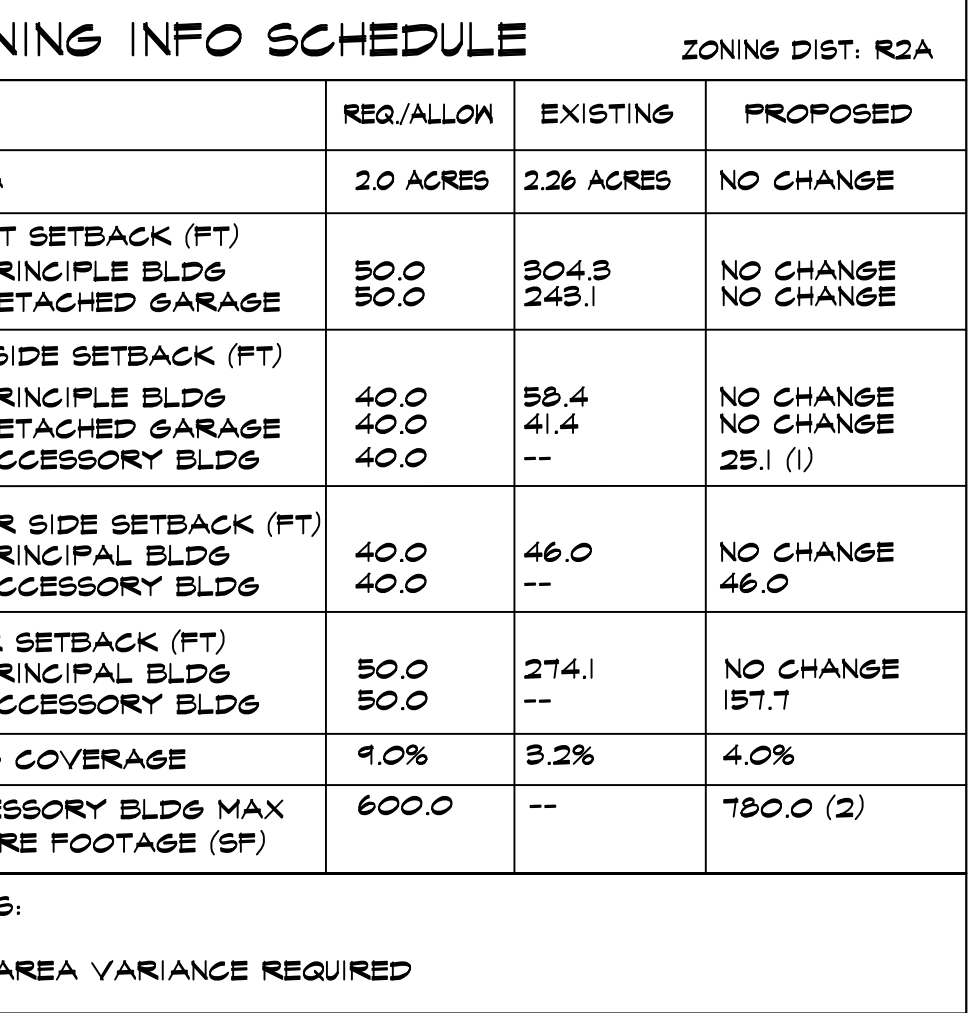
1. CONCRETE SLAB - CONCRETE FLOOR SLABS SHALL BE CLEANED AND TREATED WITH SEALER TO HELP SLAB RESIST ABRASION WEAR, IMPART CRACKING AND CONCREUST DUST. SEALER TO PREVENT PENETRATION OF WATER, OILS, GREASES AND SOLVENTS.

2. MASORY WALLS - FULL-BRICK BLOCK TO BE TREATED WITH WATERPROOFING AGENT UPON COMPLETION.

3. FRAME WALLS - FRAME WALLS SHALL RECEIVE GYPSON BOARD PANELS (THICKNESS - INDICATED ON PLANS) WHICH SHALL RECEIVE 2 COATS OF PAINT PROVIDING A MAGHESS FINISHED SURFACE. BATHROOMS SHALL RECEIVE STANDARD GRADE CRYSTALLINE CERAMIC TILE OR PER OWNER'S INSTRUCTIONS OVER CEMENT BOARD AS REQUIRED. ALL BATH GYPSON BOARD SHALL BE MOISTURE RESISTANT TYE.

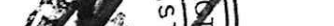
ELECTRICAL

1. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A NY STATE WESTCHESTER COUNTY LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM WITH ALL PROVISIONS OF THE NYS BUILDING CODE, NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL CODES.



SURVEY NOTES:
SURVEY INFORMATION TAKEN FROM SURVEY DATED JUNE 23, 2023 BY RICHARD J. SPINELLI, LICENSED LAND SURVEYOR, SPINELLI SURVEYING, MAMARONECK, NY.
TOPOGRAPHICAL CONTOURS OBTAINED FROM WESTCHESTER G/S. ARCHITECT NOT RESPONSIBLE FOR SURVEY INFO. AND DIMENSIONS.

THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE PROPOSED WORK WHICH IS SHOWN IN THE PLANS OR SPECIFICATIONS IS IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

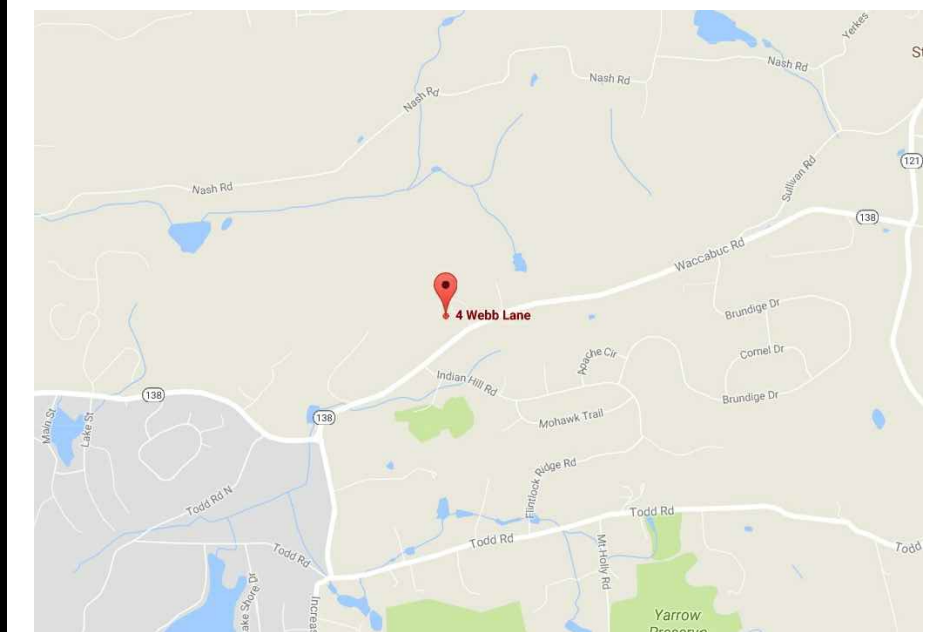


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LOCATION MAP



NOTE:
Drawings may be printed at reduced scale

TAX MAP ID# 31.4-1-5 ZONE: R2A

LIST OF DRAWINGS

A-1 PROPOSED PLOT PLAN, FLR PLANS & ZONING INFO
A-2 PROPOSED EXTERIOR ELEVATIONS
A-3 PROPOSED SECTION DETAILS & ELECTRICAL LAYOUT
A-4 MISCELLANEOUS DETAILS

-- 06.27.23 ISSUED FOR DOB FILING
-- 06.14.23 STRUCTURAL UPDATE
-- 04.14.23 ISSUED FOR CLIENT REVIEW

NO. DATE ISSUE/REV.

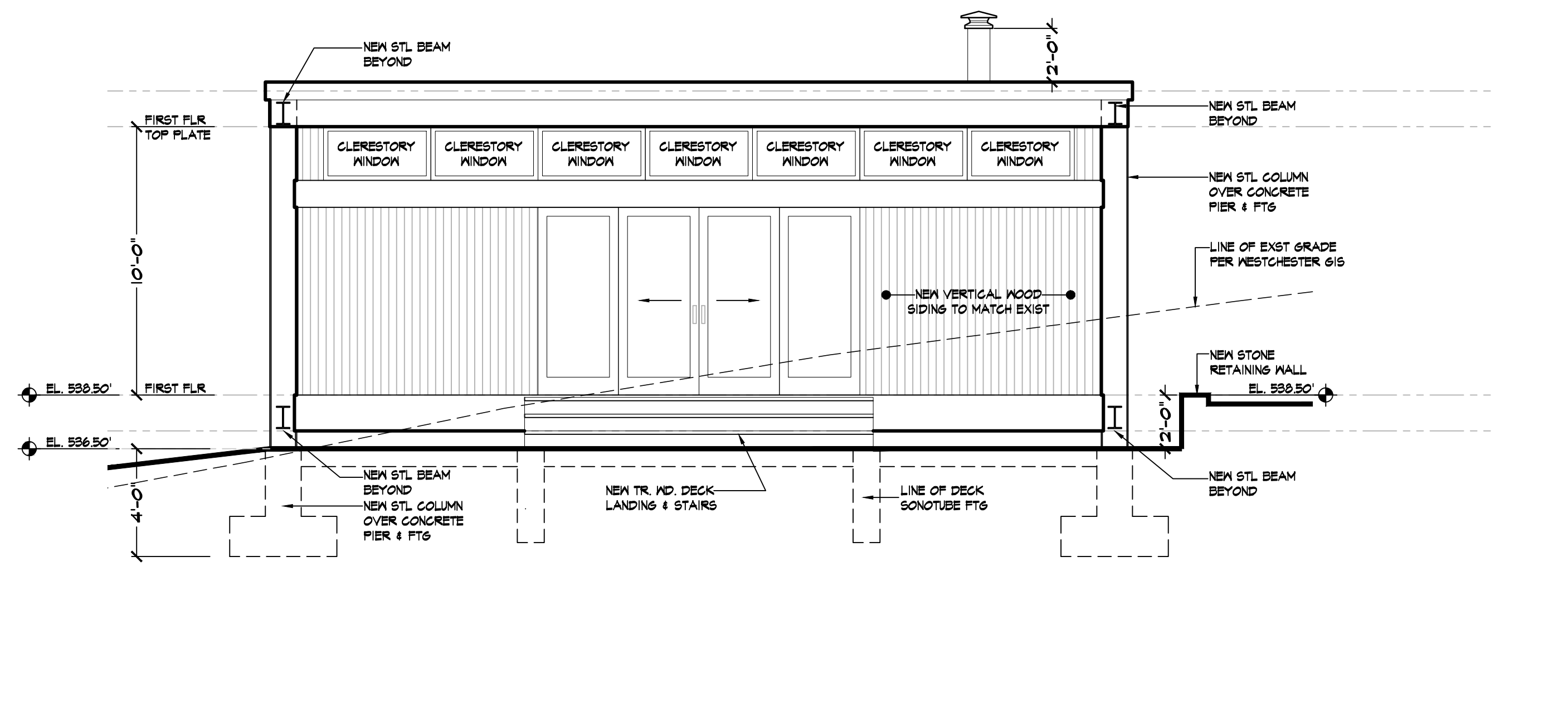
CLIENT
JAMES VAUTIN
4 WEBB LANE, GOLDENS BRIDGE, NY 10526

PROJECT
PROPOSED HOME OFFICE / ARTIST'S STUDIO
ACCESSORY BUILDING DESIGN FOR:
4 WEBB LANE, GOLDENS BRIDGE, NY 10526

DRAWINGS TITLE
PROPOSED EXTERIOR ELEVATIONS

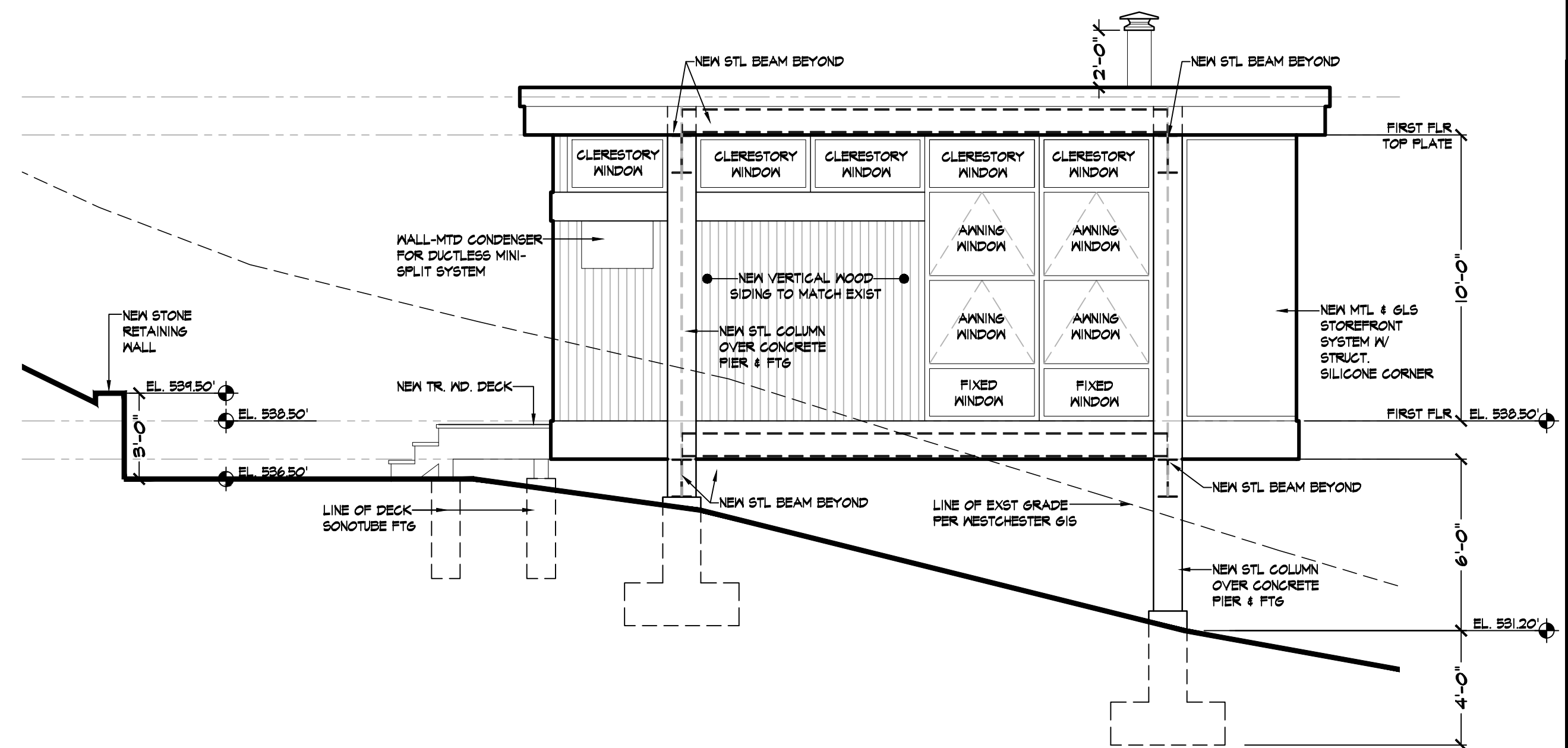
DRAWN BY VB CHECKED BY NF PROJECT NO. 22.0813

DATE 06.27.23
DRAWING NO.



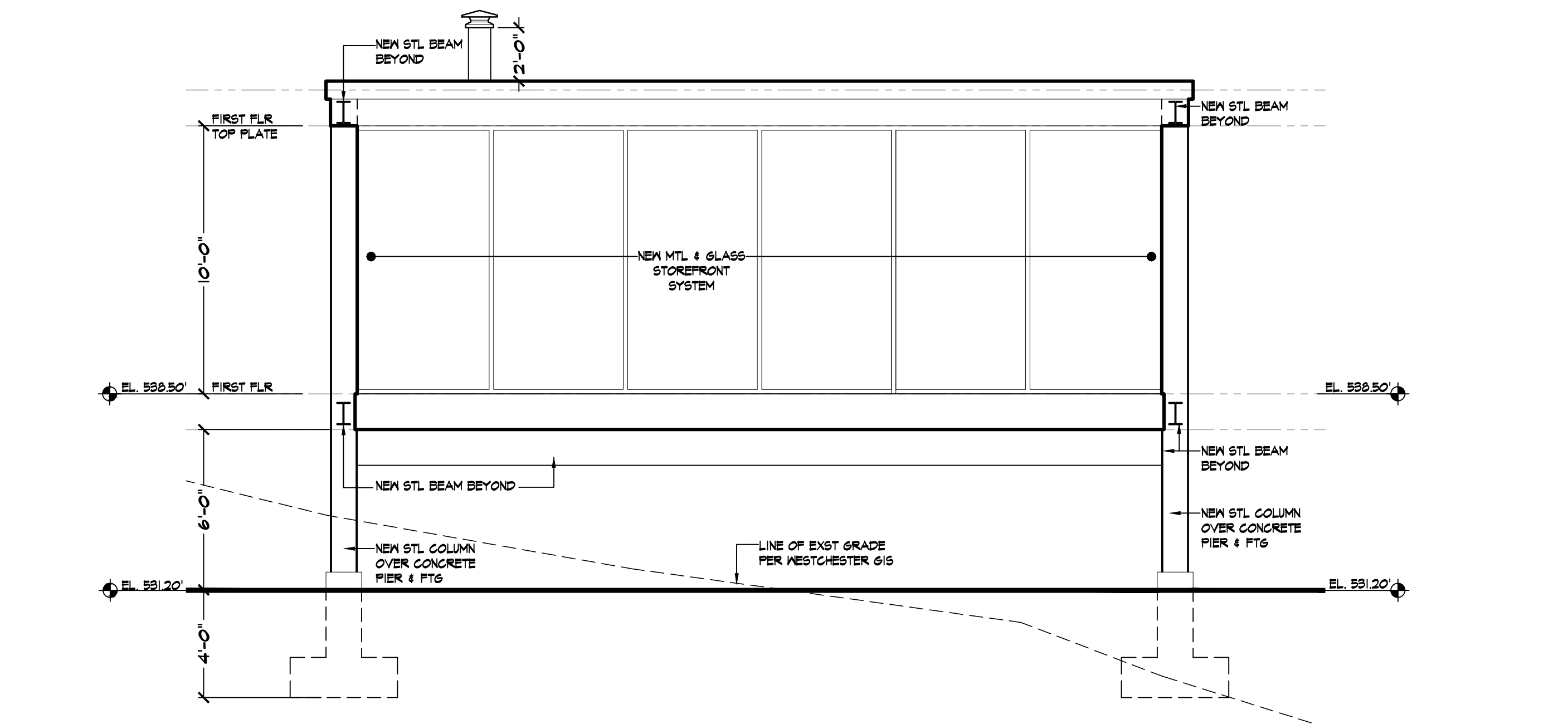
E1 PROPOSED FRONT EXTERIOR ELEVATION

scale: 1/4"=1'-0"



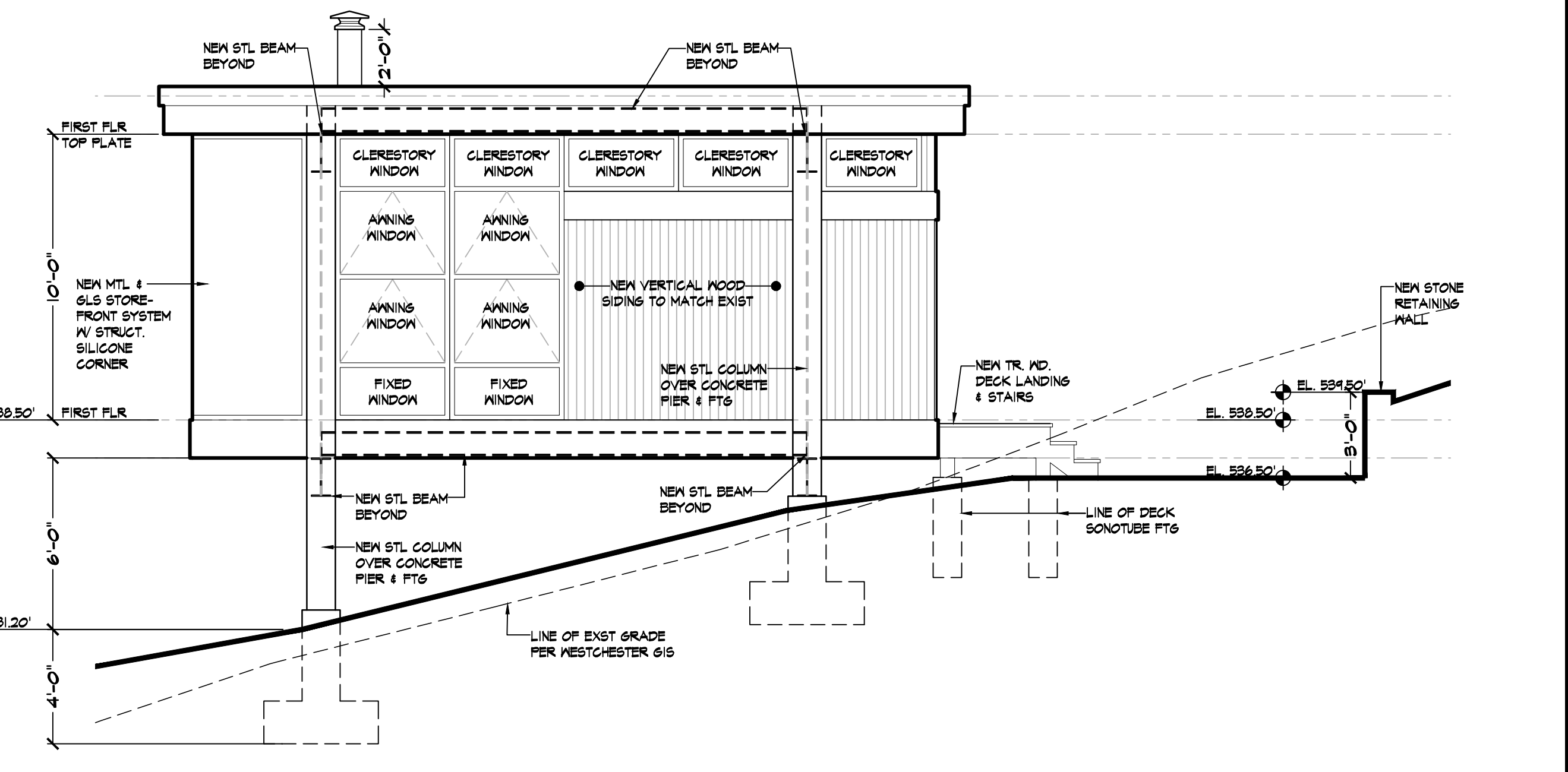
E2 PROPOSED RIGHT SIDE EXTERIOR ELEVATION

scale: 1/4"=1'-0"



E3 PROPOSED REAR EXTERIOR ELEVATION

scale: 1/4"=1'-0"

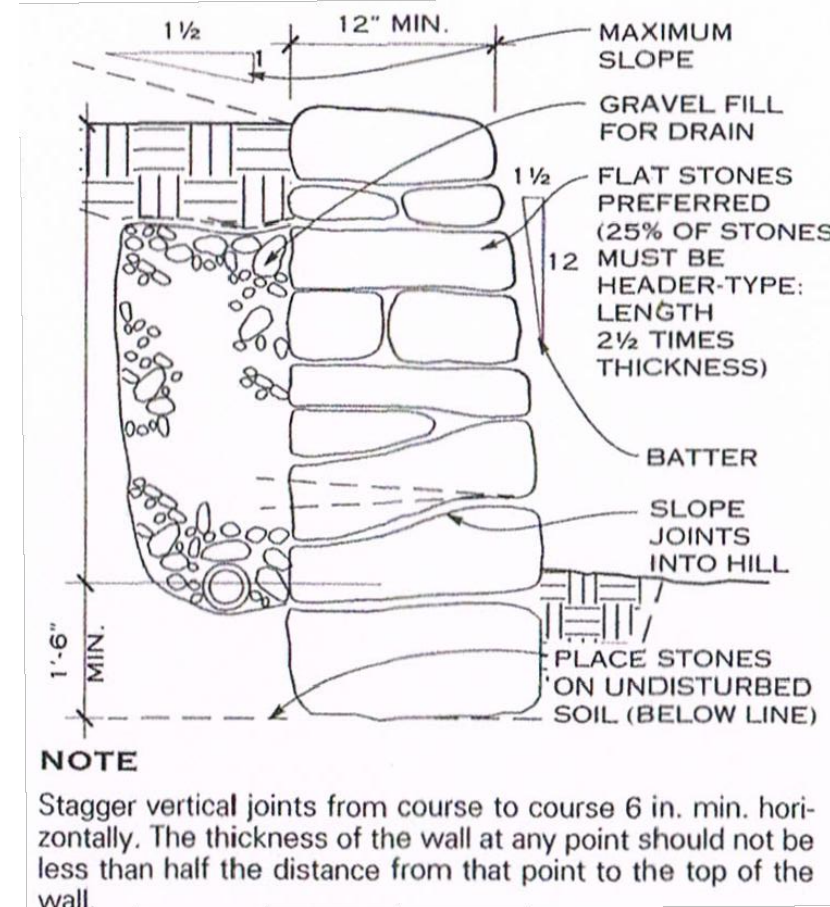


E4 PROPOSED LEFT SIDE EXTERIOR ELEVATION

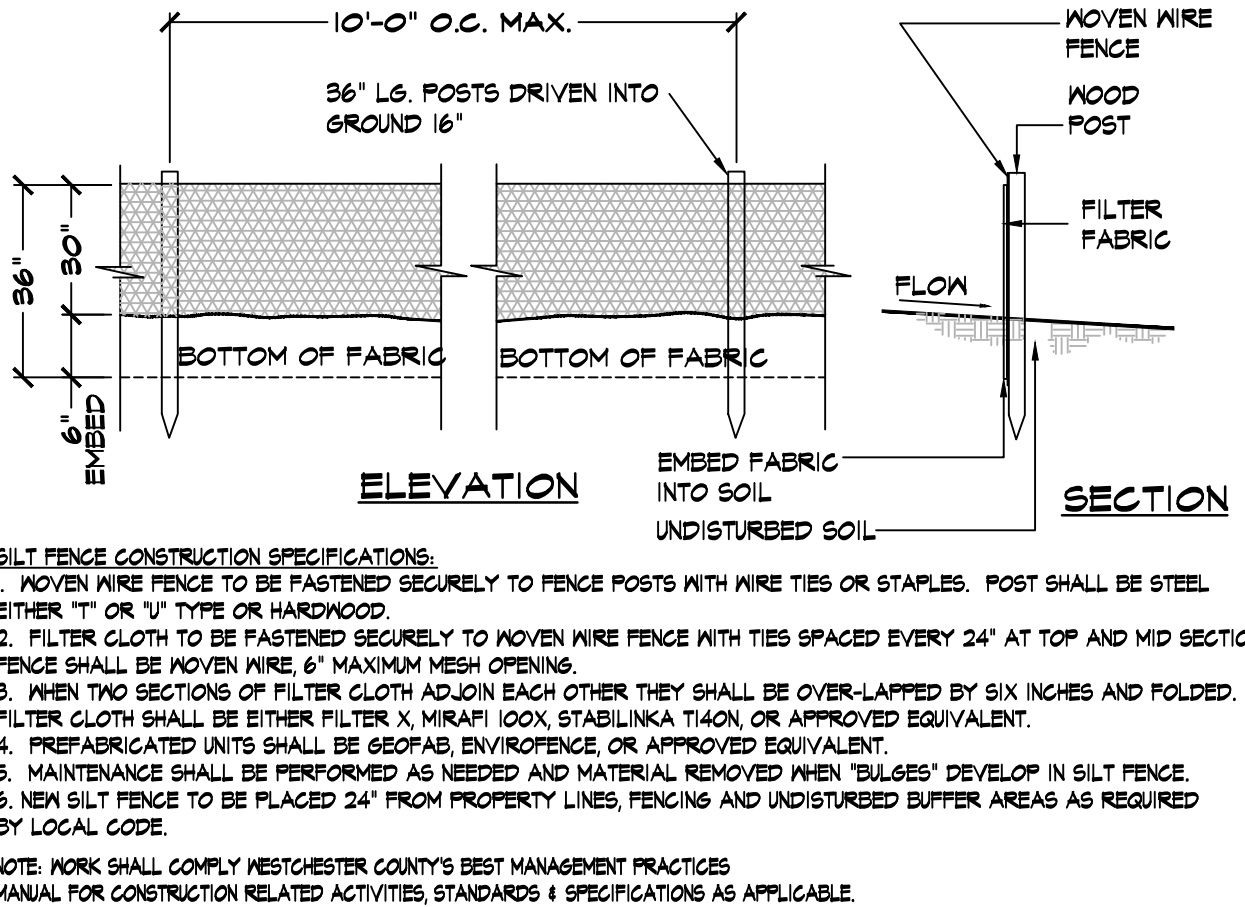
scale: 1/4"=1'-0"

STEEL & CONC DESIGN DATA

STEEL DESIGN DATA
STRUCTURAL STEEL: ASTM A442 GR 50
TUBE COLUMNS: ASTM - A500, GRADE B
HIGH STRENGTH BOLTS: ASTM - A325
SHAPES & PLATES: ASTM - A36
WELDING ELECTRODES - SERIES: E70
ANCHOR BOLTS: F1554 (FY=56KSI)
CONCRETE DESIGN DATA
1. ALL CONCRETE WORK (BOTH MATERIALS & CONSTRUCTION PROCEDURES) SHALL BE IN ACCORDANCE WITH ACI 318-2008
2. CONCRETE SHALL BE CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
3. REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS IN ACCORDANCE W/ ASTM A615, GRADE 60. ALL DETAILING OF REINFORCING SHALL BE IN ACCORDANCE WITH ACI 318 STANDARD 215.
4. CALCIUM CHLORIDE OR SOLUTIONS CONTAINING CHLORIDE WILL NOT BE PERMITTED AS ADMIXTURES IN ANY CONCRETE.
5. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
BEAMS AND COLUMN TIES: 1 1/2" FOR #5 OR SMALLER,
2" FOR #6 OR LARGER SLABS: 3/4".
FOOTINGS AND PADS POURED ON GROUND: 3".
6. DETAILING & FABRICATION OF REINFORCING U.O.N. SHALL BE IN ACCORDANCE WITH ACI 318, LATEST EDITION
7. PLACING AND SUPPORTS OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH CRSI, "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS" AND ACI-318.



RW DRY STONE WALL DETAIL NTS

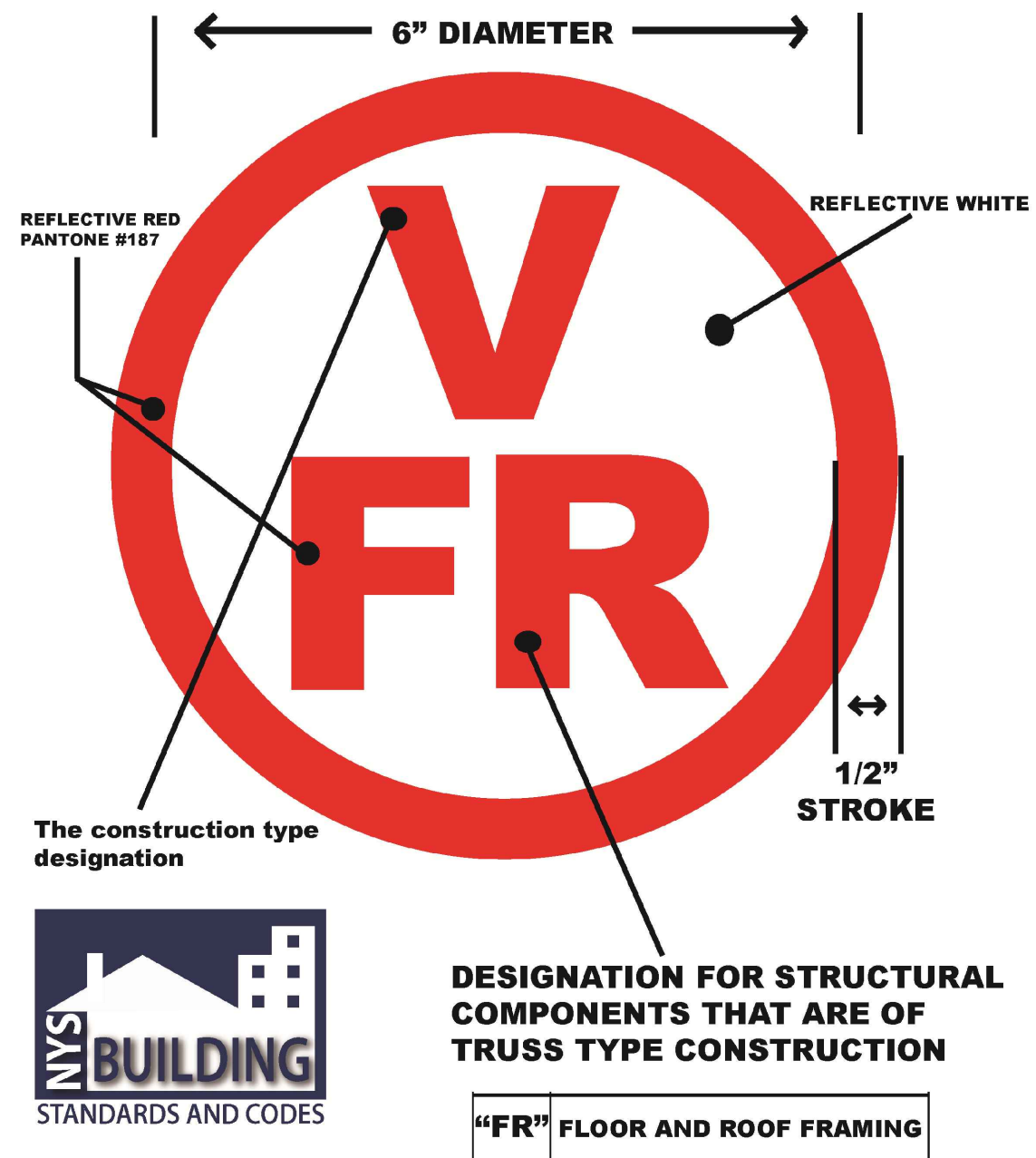
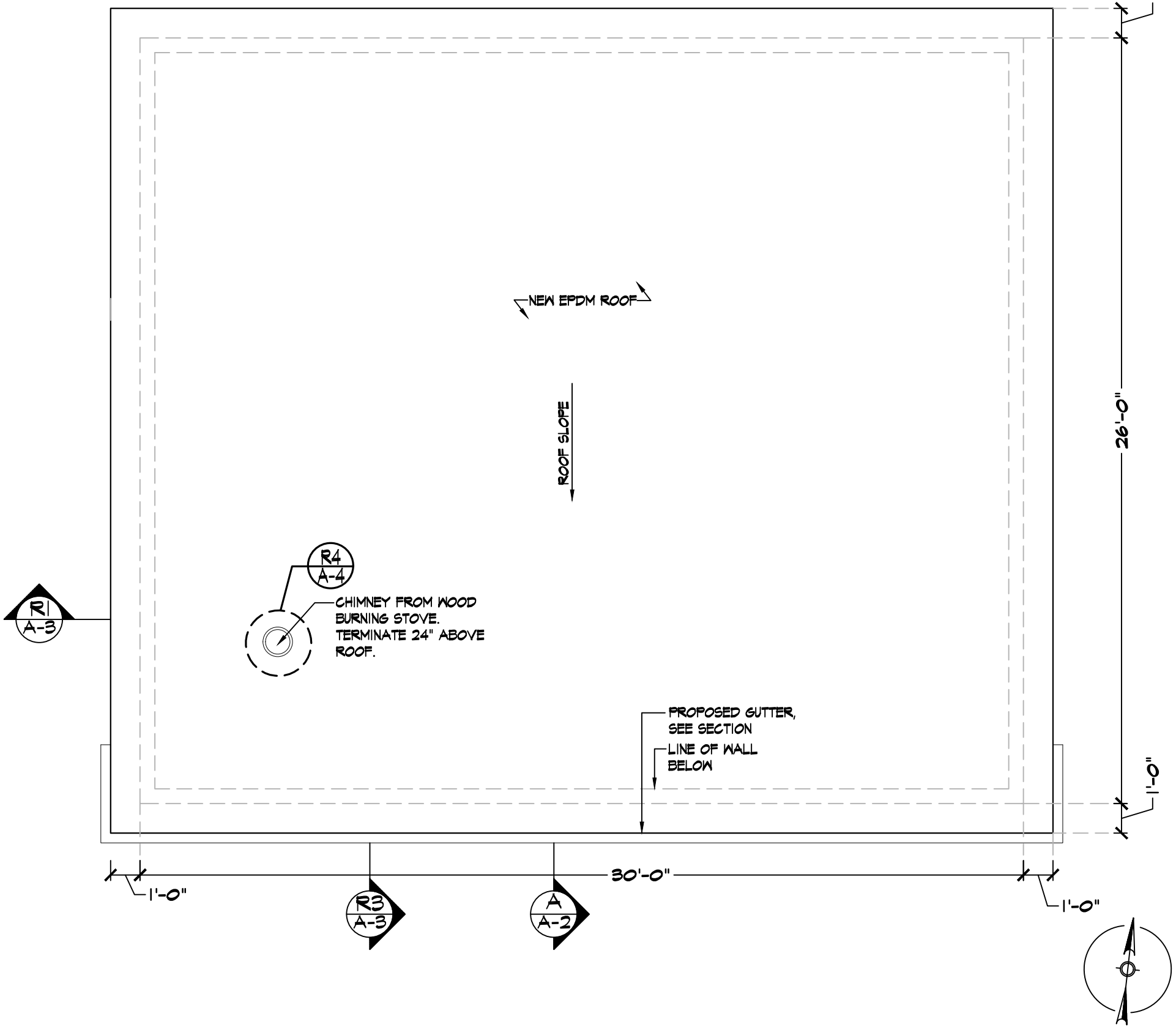
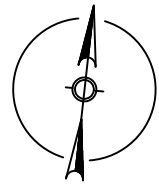
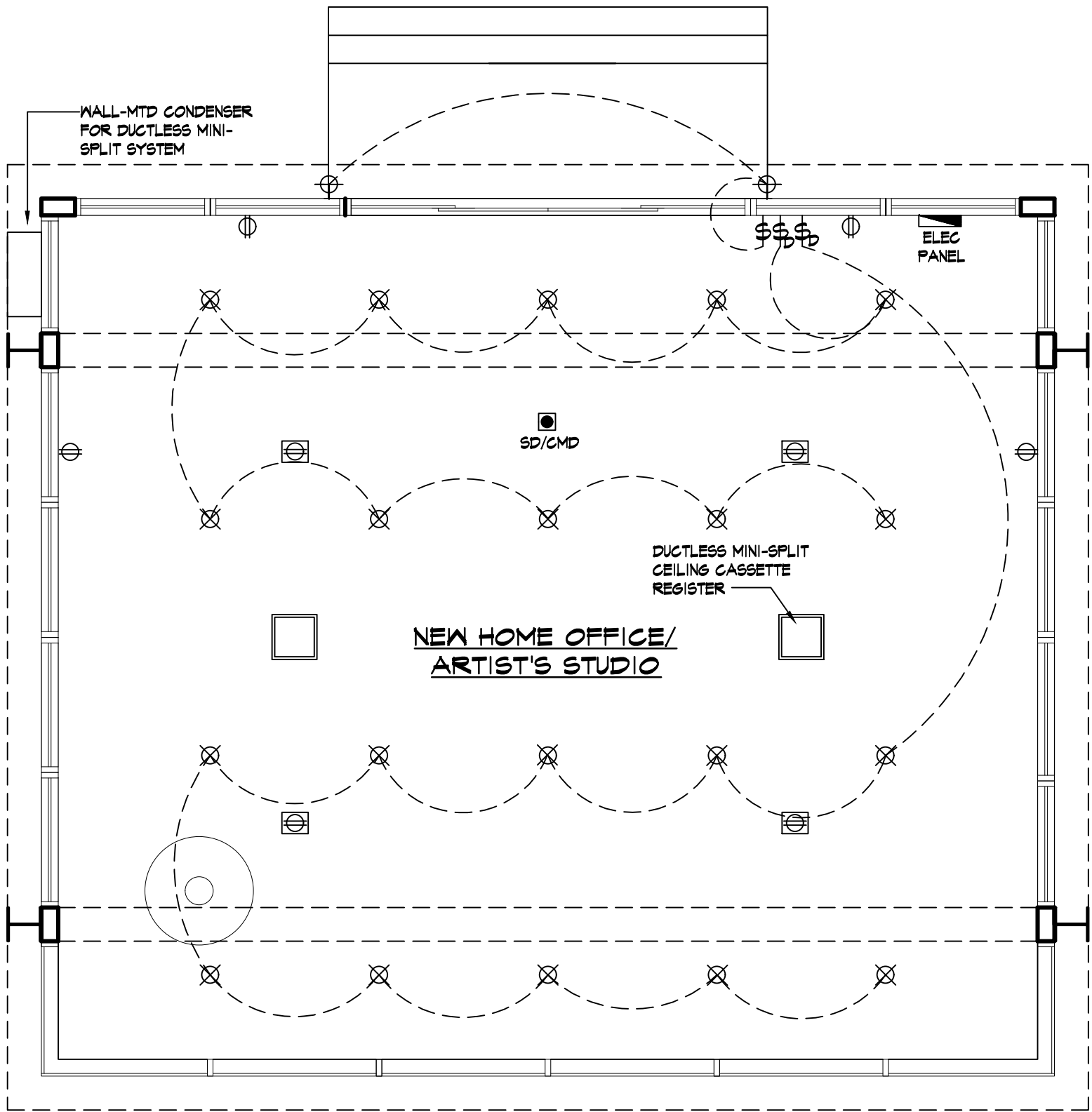


SF: SILT FENCE DETAIL
Scale: N.T.S.

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY f	SUBJECT TO DAMAGE FROM		WINTER DESIGN	ICE BARRIER UNDERLAYMENT	FLOOD HAZARDS g	AIR FREEZING INDEX I	MEAN ANNUAL TEMP j	
	Speed (mph) d	Topographic effects k	Special wind region l	Wind-borne debris zone m		Weathering a	Frost line depth b	Termites c	TEMP e	REQUIRED h	See Below	1500	52deg.F
20 psf	115	NO	YES	NO	B	SEVERE	3'-6"	TO HEAVY	15deg.F	YES	See Below	1500	52deg.F

FLOOD HAZARDS:
(a) first code date of adoption July 9, 1980 (b) date of Flood Insurance Study Jan. 21, 1998 (c) map panel numbers 36119C0307F through 36119C0338F effective Sept. 28, 2007

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
CLIMATEZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACEWALL R-VALUE
TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
4	0.32	0.65	0.4	49	20 or 13+5	8/13	19	10/13	10, 2 FT	10/13
TABLE R402.1.4 EQUIVALENT U-FACTORS										
4	0.32	0.65		0.026	0.06	0.098	0.047	0.059		0.065











PRE-ENGINEERED WOOD STRUCTURE STICKER SECTION 1265.5. SIGN OR SYMBOL.

(A) WHEN TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION, AND/OR TIMBER CONSTRUCTION IS UTILIZED IN THE CONSTRUCTION OF A NEW RESIDENTIAL STRUCTURE OR IN AN ADDITION TO OR REHABILITATION OF AN EXISTING RESIDENTIAL STRUCTURE, SUCH RESIDENTIAL STRUCTURE SHALL BE IDENTIFIED BY A SIGN OR SYMBOL IN ACCORDANCE WITH THE PROVISIONS OF THIS PART.

(B) THE SIGN OR SYMBOL REQUIRED BY THIS PART SHALL BE AFFIXED TO THE ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE; PROVIDED, HOWEVER, THAT:

(1) IF AFFIXING THE SIGN OR SYMBOL TO THE ELECTRIC BOX WOULD OBSCURE ANY METER ON THE ELECTRIC BOX OR IF THE UTILITY PROVIDING ELECTRIC SERVICE TO THE RESIDENTIAL STRUCTURE DOES NOT ALLOW THE SIGN OR SYMBOL TO BE AFFIXED TO THE ELECTRIC BOX, THE SIGN OR SYMBOL SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE AT A POINT IMMEDIATELY ADJACENT TO THE ELECTRIC BOX; AND

(2) IF NO ELECTRIC BOX IS ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE OR IF, IN THE OPINION OF THE AUTHORITY HAVING JURISDICTION, THE ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE BUILDING IS NOT LOCATED IN A PLACE LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE, THE SIGN OR SYMBOL REQUIRED BY THIS PART SHALL BE AFFIXED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE IN A LOCATION APPROVED BY THE AUTHORITY HAVING JURISDICTION AS A LOCATION LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE.

<u>ELECTRICAL LEGEND</u>			
	NEW WALL MTD DUPLEX OUTLET		RECESSED FLOOR DUPLEX OUTLET
	NEW SINGLE POLE SWITCH		NEW WALL MTD LIGHT FIXTURE
	NEW DIMMER SWITCH		NEW RECESSED LIGHT FIXTURE
	<u>SMOKE/CARBON MONOXIDE DETECTOR/ALARM - REQUIRED LOCATIONS</u>		
	SD/ CMD		
1. IN EACH SLEEPING ROOM.			
2. OUTSIDE EA. SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDRM			
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING GARAGE SPACES AND UNINHABITABLE ATTICS.			

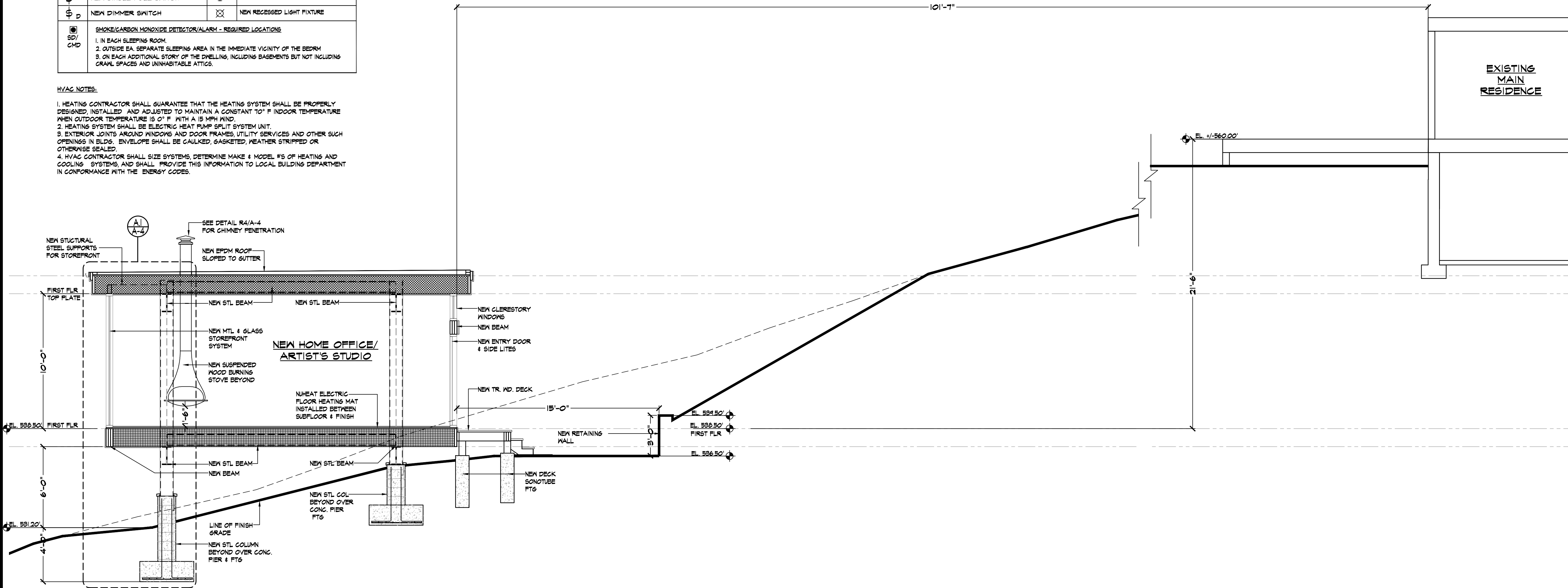
HVAC NOTES:

1. HEATING CONTRACTOR SHALL GUARANTEE THAT THE HEATING SYSTEM SHALL BE PROPERLY DESIGNED, INSTALLED AND ADJUSTED TO MAINTAIN A CONSTANT 70° F INDOOR TEMPERATURE WHEN OUTDOOR TEMPERATURE IS 0° F WITH A 15 MPH WIND.

2. HEATING SYSTEM SHALL BE ELECTRIC HEAT PUMP SPLIT SYSTEM UNIT.

3. EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, UTILITY SERVICES AND OTHER SUCH OPENINGS IN BLDG. ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED.

4. HVAC CONTRACTOR SHALL SIZE SYSTEMS, DETERMINE MAKE & MODEL #S OF HEATING AND COOLING SYSTEMS, AND SHALL PROVIDE THIS INFORMATION TO LOCAL BUILDING DEPARTMENT IN CONFORMANCE WITH THE ENERGY CODES.



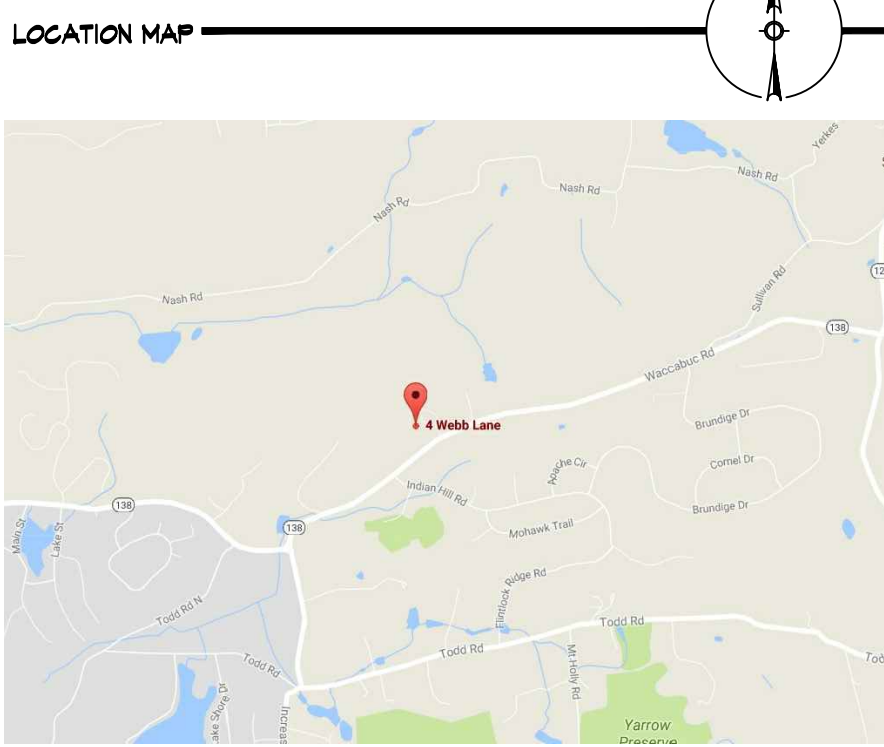
A PROPOSED CROSS SECTION

scale: 1/4"=1'-0"

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NOTE:
Drawings may be printed at reduced scale

TAX MAP ID# 31.4-1-5	ZONE: R2A
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LIST OF DRAWINGS	
A-1	PROPOSED PLOT PLAN, FLR PLANS & ZONING INFO
A-2	PROPOSED EXTERIOR ELEVATIONS
A-3	PROPOSED SECTION DETAILS & ELECTRICAL LAYOUT
A-4	MISCELLANEOUS DETAILS

--	06.27.23	ISSUED FOR DOB FILING
--	06.14.23	STRUCTURAL UPDATE
--	04.14.23	ISSUED FOR CLIENT REVIEW

NO.	DATE	ISSUE/REV.
-----	------	------------

CLIENT
JAMES VAUTIN
4 WEBB LANE, GOLDENS BRIDGE, NY 10526

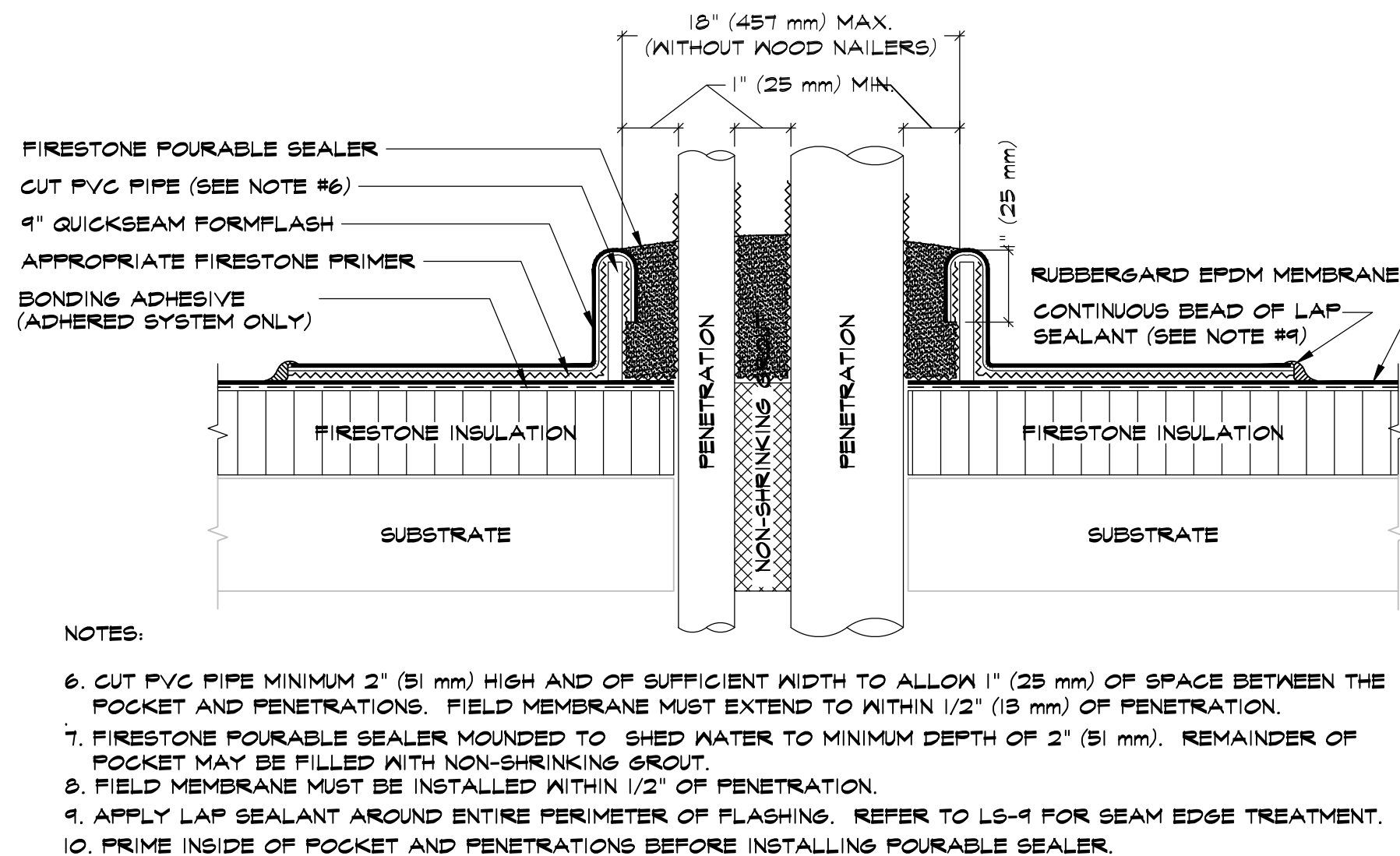
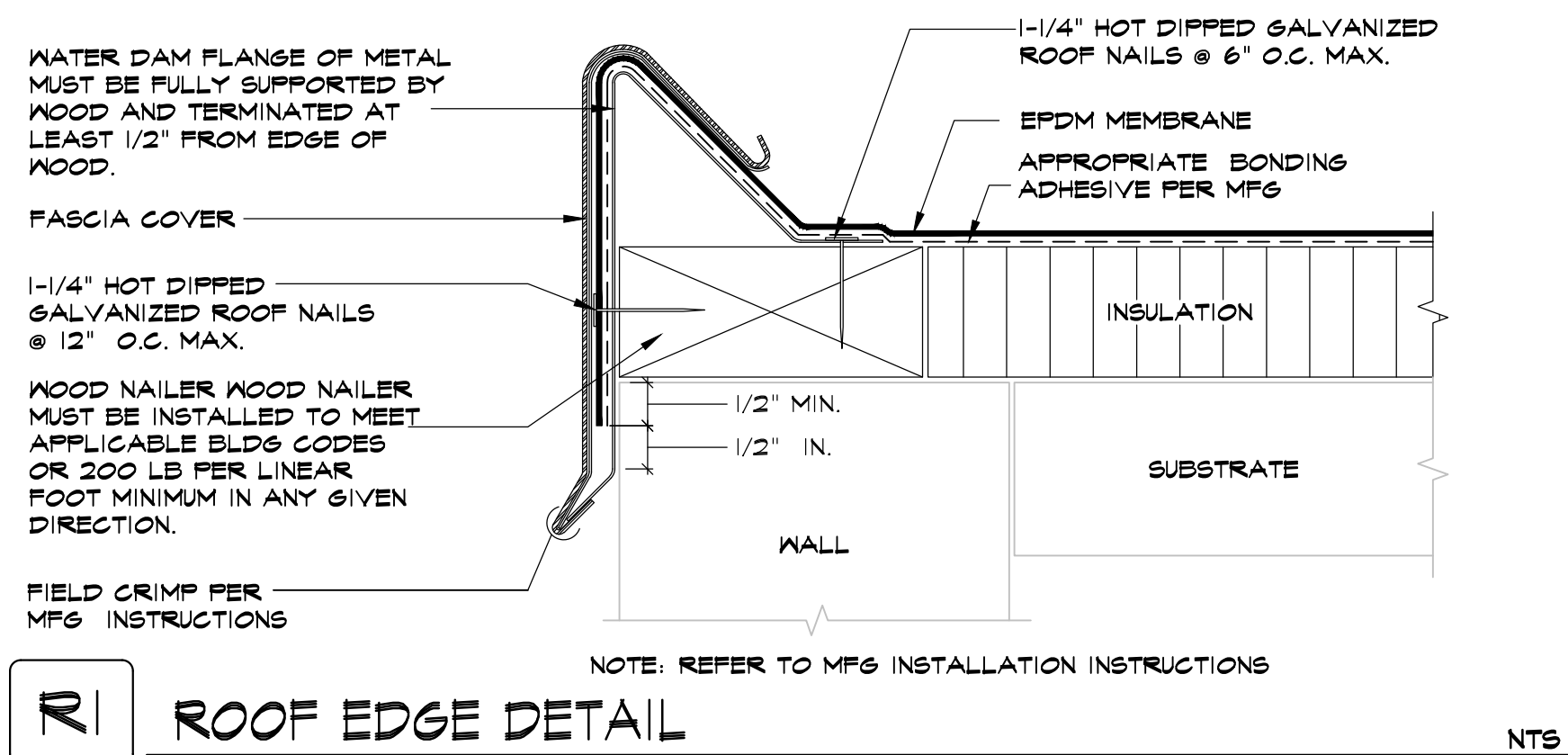
PROJECT
PROPOSED HOME OFFICE / ARTIST'S STUDIO
ACCESSORY BUILDING DESIGN FOR:
4 WEBB LANE, GOLDENS BRIDGE, NY 10526

DRAWINGS TITLE
PROP. SECTION DETAILS & ELEC LAYOUT

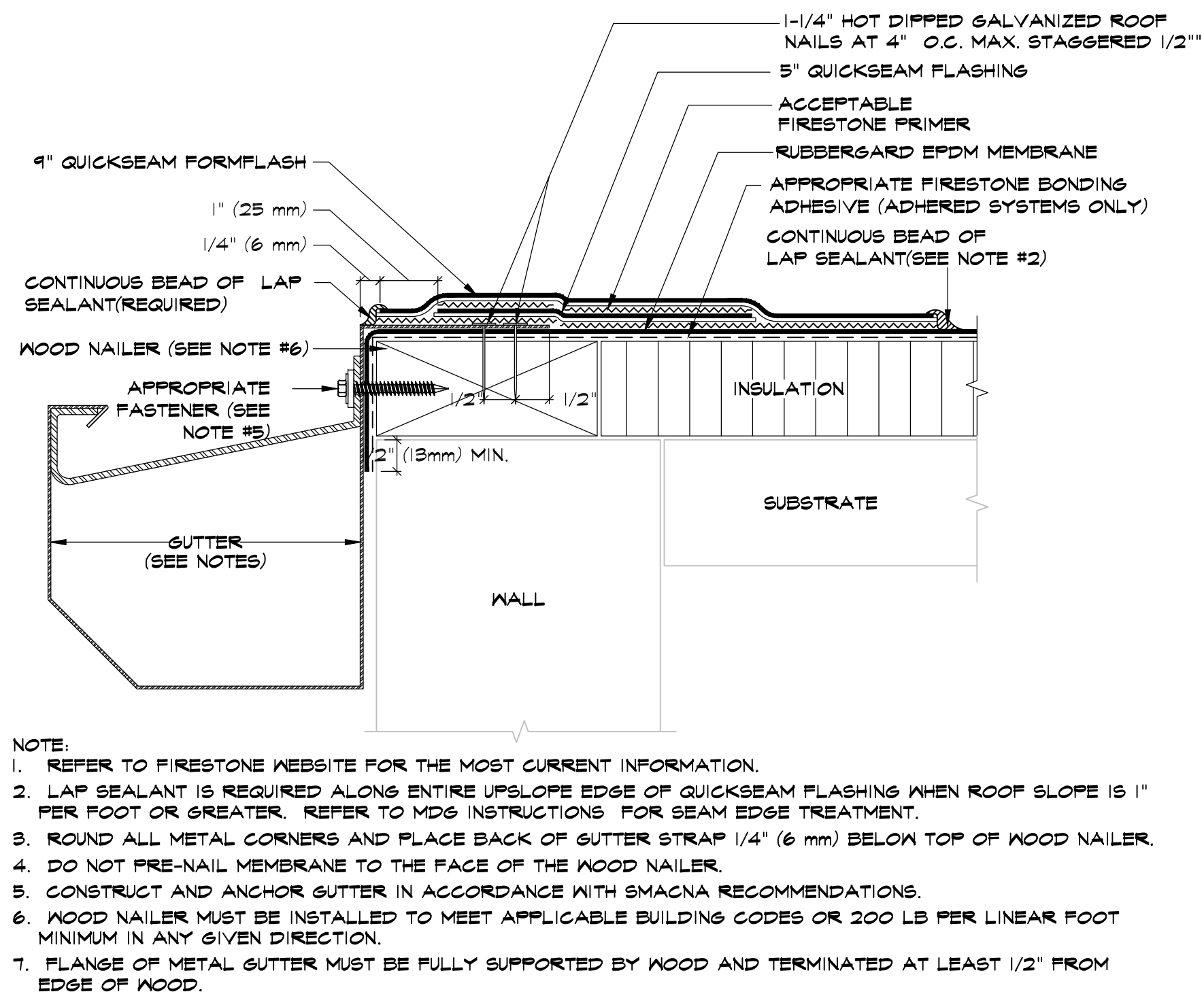
DRAWN BY	CHECKED BY	PROJECT NO.
VB	NF	22.0813

DATE	06.27.23
DRAWING NO.	A-3

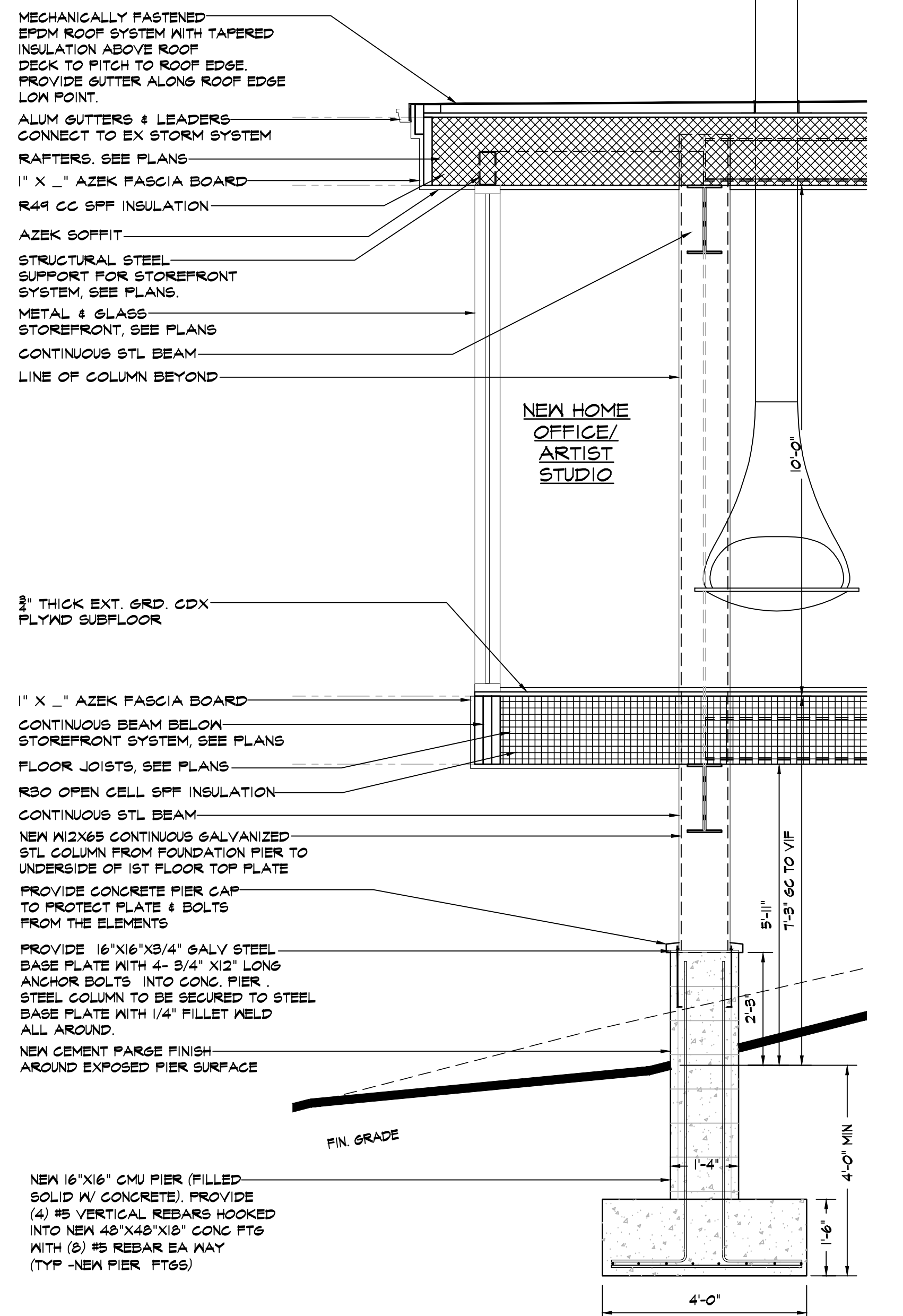




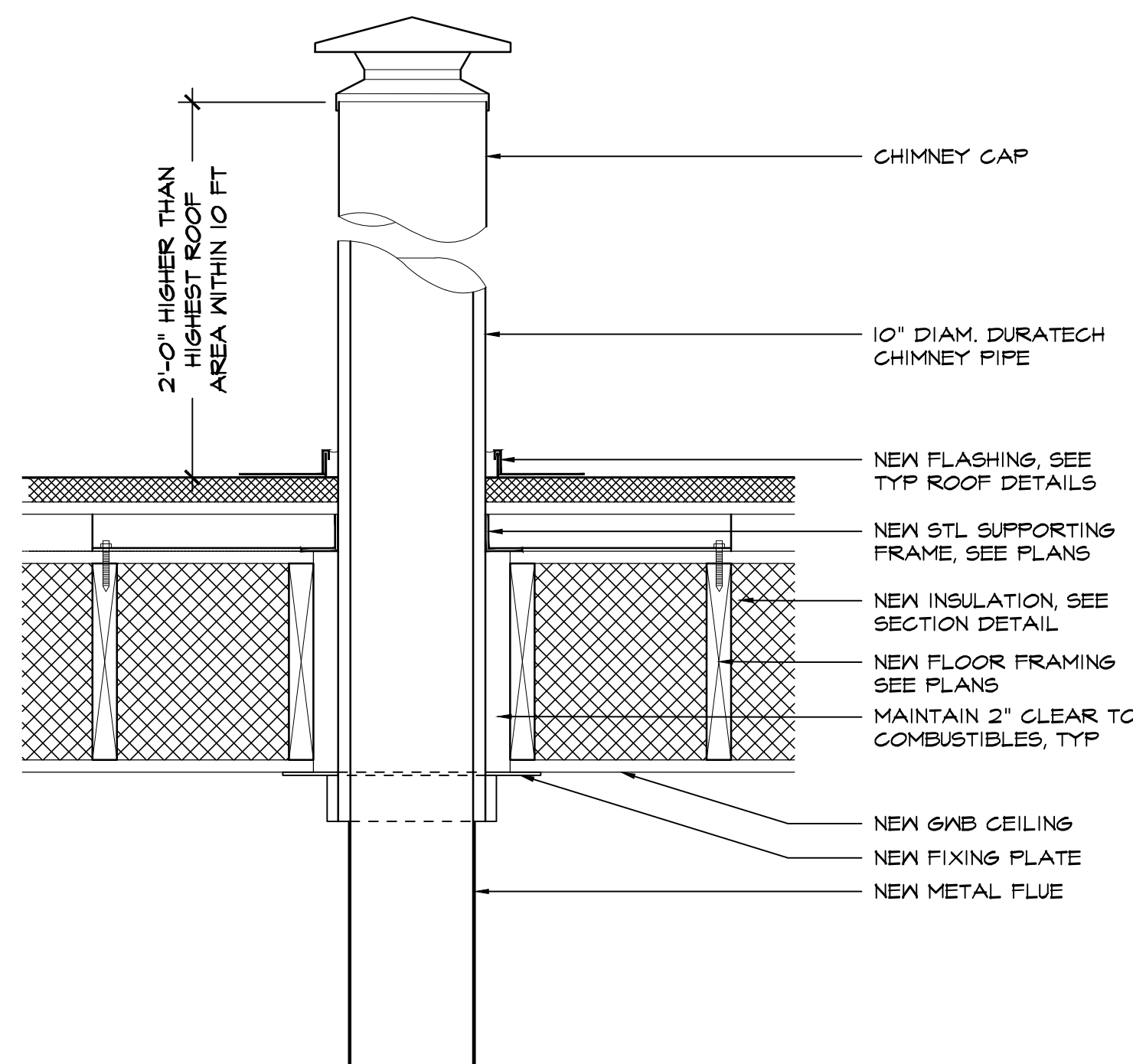
R2 ROOF PENETRATION DETAIL NTS



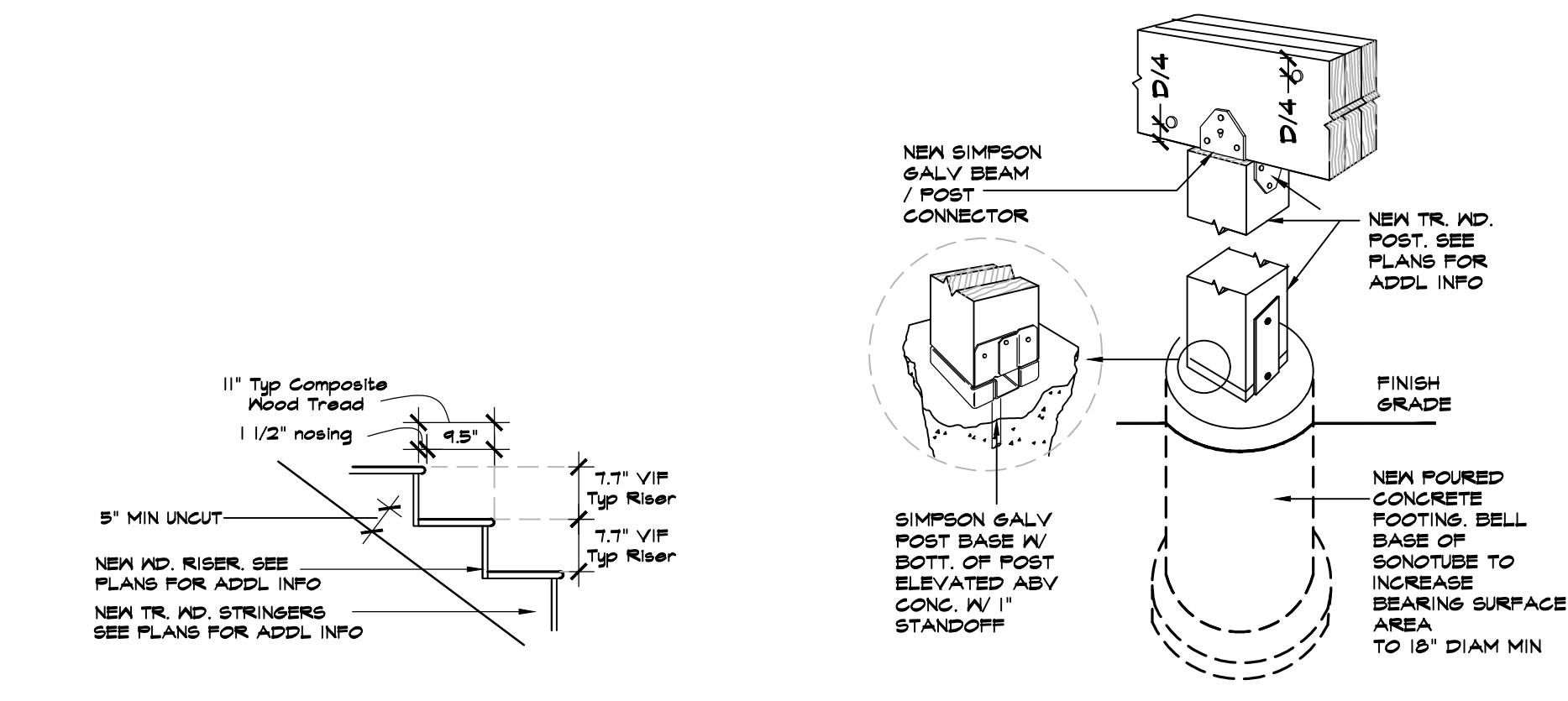
R3 ROOF EDGE GUTTER DETAIL NTS



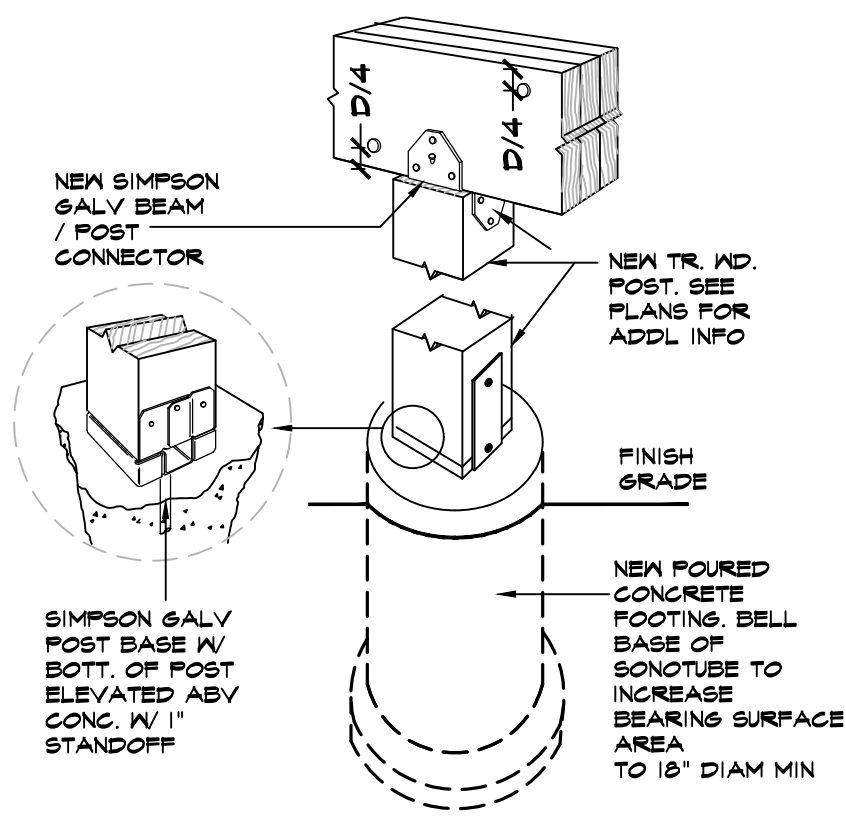
A.1 WALL SECTION DETAIL 1/2"=1'-0"



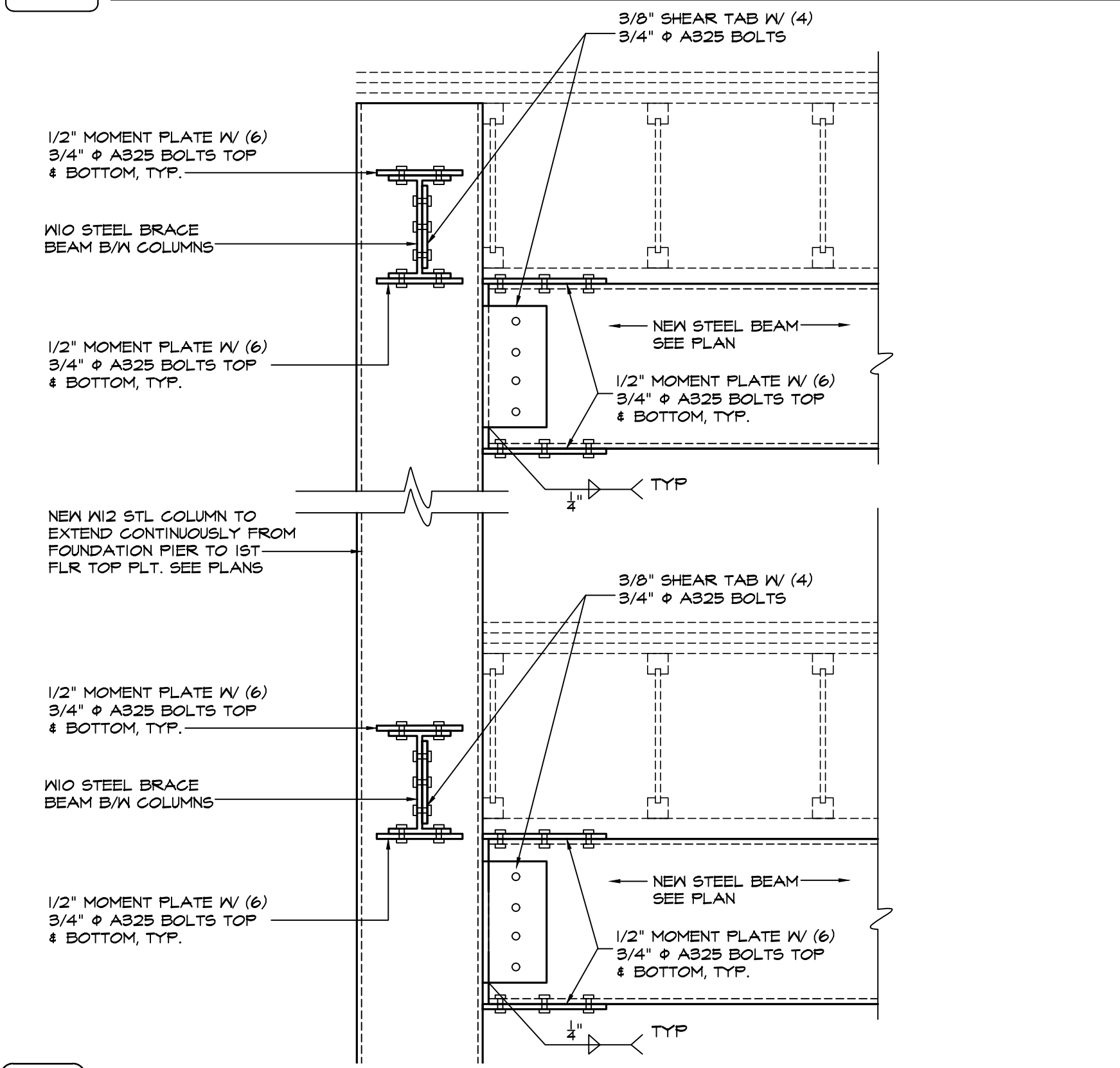
R4 CHIMNEY PENETRATION DETAIL NTS



D1 EXT DECK STAIR DETAIL NTS



D2 DK POST FTG DETAIL NTS



B2 BM CONNECTION DETAIL 1"=1'-0"

Nicholas L. Faustini Architect PC

T 914.329.1518
F 914.337.4255
nlfarchitect.com

1700 Central Park Avenue, Suite C, Yonkers, NY 10710

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LOCATION MAP

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TAX MAP ID# 31.4-1-5

ZONE: R2A

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NO. DATE ISSUE/REV.

CLIENT
JAMES VAUTIN
4 WEBB LANE, GOLDENS BRIDGE, NY 10526

PROJECT
PROPOSED HOME OFFICE / ARTIST'S STUDIO
ACCESSORY BUILDING DESIGN FOR:
4 WEBB LANE, GOLDENS BRIDGE, NY 10526

DRAWINGS TITLE
MISCELLANEOUS DETAILS

DRAWN BY VB
CHECKED BY NF
PROJECT NO. 22.0813

DATE 06.27.23
DRAWING NO.

A=4

James Vautin
4 Webb Lane, Goldens Bridge, NY 10526
(617) 955 2574
james@vautin.com

Lewisboro Building Department and Zoning Board
79 Bouton Road
South Salem, NY 10590

Variance Application for External Home Office and Artist's studio

29th June 2023

Dear Lewisboro Zoning Board,

I am submitting an appeal and variance request for the construction of an external home office and artist's studio on our property. A setback variance of 14.9' is requested based on a proposed setback of 25.1' from the property line (Article IV Section 220-23E). A 150 square foot variance based on a total floor area of 750 square feet is also requested (Article IV Section 220-23D(11)).

The hardship in this situation is due to the unique physical characteristics of our property, as the proposed location is situated behind a natural slope that is hidden from the surrounding buildings and is adjacent to our property line. Additionally, a 600 square foot limitation would impose limits on the intended use of the space for remote work and artistic endeavors. This project has the support of our neighbors, and I've included a letter of support from the residents of 6 Webb Lane who share the property line on which the setback variance is proposed.

The new structure will reside down the south slope from the main home, so as to not impose on the existing view and achieve maximum isolation from neighboring properties. While we propose to place the structure within the property setback adjacent to 6 Webb Lane, this position achieves the most isolation and minimal visibility from all neighboring properties, and would not be visible from 6 Webb Lane.

Thank you for considering this proposal. Please refer to the following photos, renders, and diagrams for more information.

The proposed structure is inspired by the David Haid Pavilion, a modernist structure located in the suburbs of Chicago, and is designed to harmonize with the natural beauty of the surrounding landscape with minimal disturbance.



Figure 1 - David Haid Pavilion, Highland Park, IL (photograph)

The purpose of this structure is to provide a dedicated and inspirational workspace which is independent from the home. The structure will feature a wall of glass, providing views of the surrounding forest going down the hill towards rt. 138 and overlooking the Indian Hill Preserve.

The proposed design of the structure is intended to complement the natural landscape and surroundings. It is my goal to create a unique and visually appealing building while matching the mid-century design aesthetics of the existing house.



Figure 2 - Side of new structure, facing southwest (render)



Figure 3 - View from interior, facing south towards Indian Hill Preserve (render)



Figure 4 - Front/entrance of new structure, facing southwest (render)



Figure 5 - front of existing home, facing southwest (photograph)



Figure 6 - rear of existing home, facing northeast (photograph)

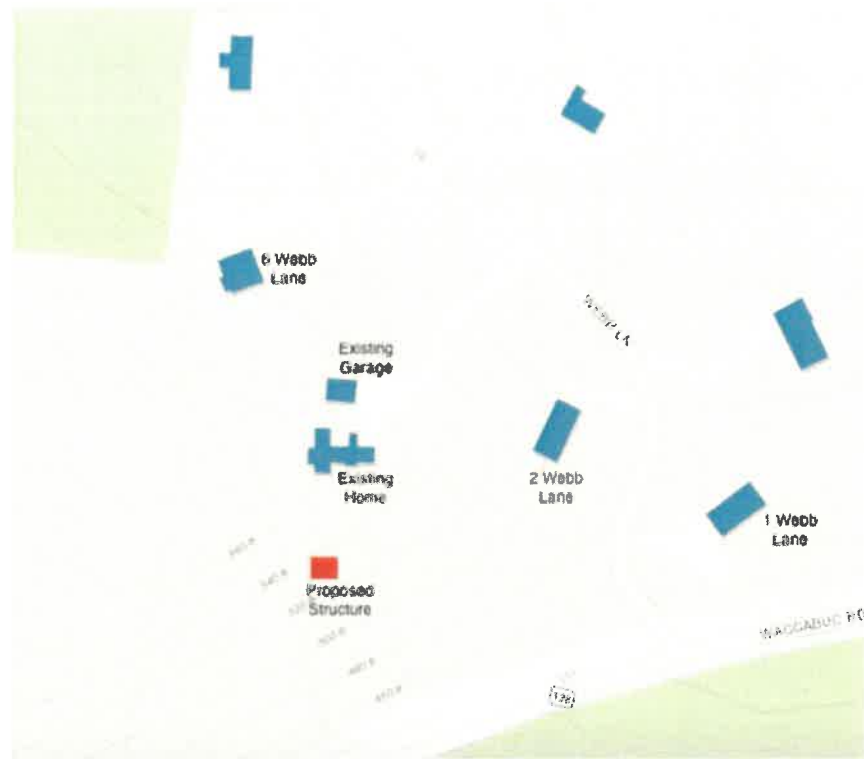


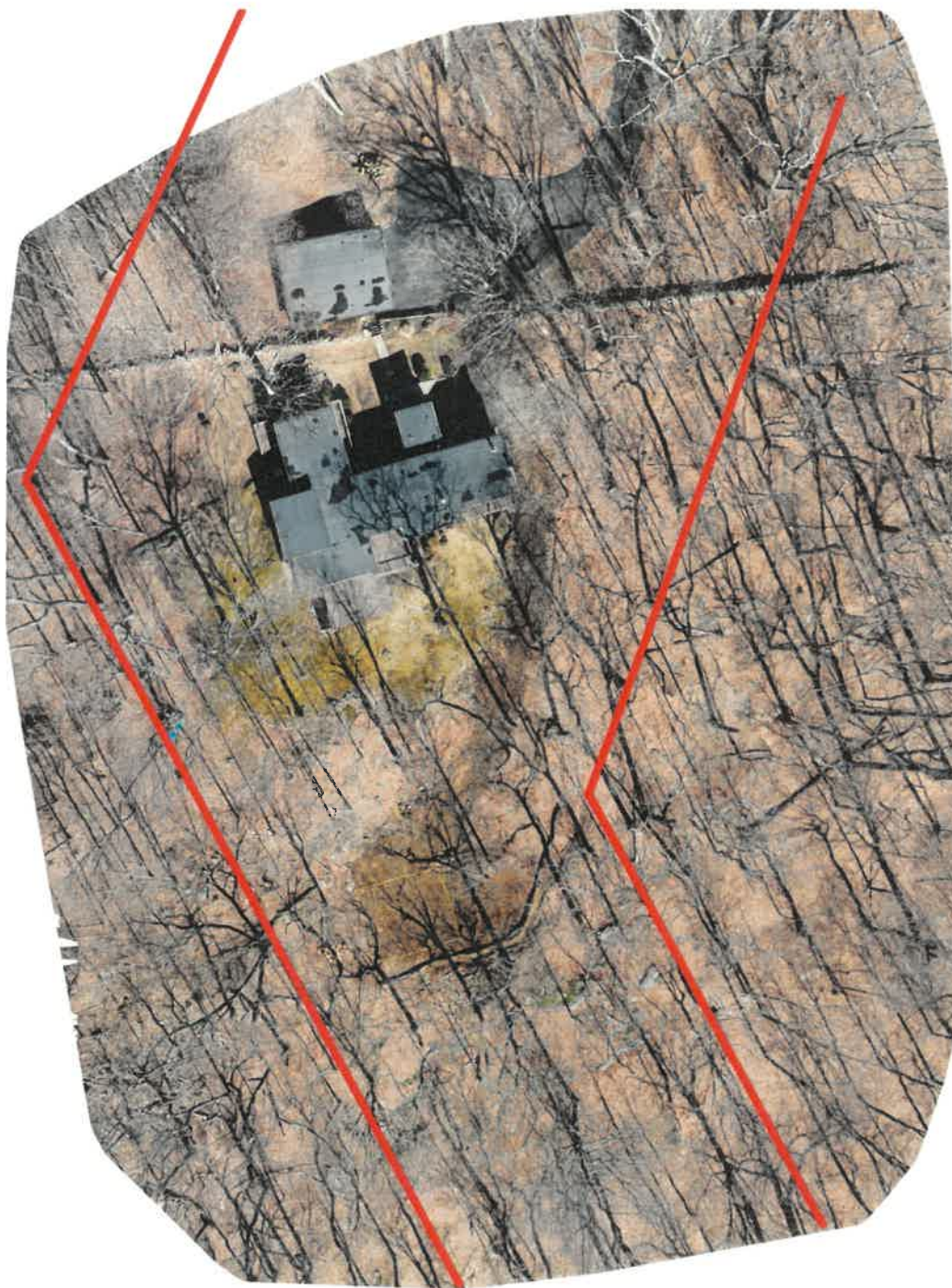
Figure 7 - Proximity of new proposed structure to neighboring houses



Figure 8 - Birds eye view of existing house and proposed site in winter (drone photo)



Figure 9 - proposed site (photo, 20 feet above ground looking southwest)



*Figure 10 - Drone Orthomosaic photo with Westchester GIS overlay
(please refer to included site survey for official property lines)*

The proposed footprint is marked with yellow tape in the above photos.

We will work closely with the Lewisboro building department to ensure that the construction of the proposed structure complies with all local zoning laws, regulations and building codes.

Thank you for your consideration of this application. I look forward to presenting this project and discussing it at the July Zoning Board of Appeals.

James Vautin

Rich and Brittney Kamienska
6 Webb Lane
Goldens Bridge, NY 10526
914-420-5810
kamienskar@yahoo.com

June 21, 2023

Lewisboro Building Department
79 Bouton Road
South Salem, NY 10590

Regarding: Support for Neighbor's Project at 4 Webb Lane, Goldens Bridge, NY

Dear Office of the Lewisboro Building Department and Members of the Zoning Board,

I hope this letter finds you well. I am writing to express my support for the construction project proposed by my neighbors James and Siming Vautin at 4 Webb Lane, Goldens Bridge. I understand that the project involves the construction of a new building, which will encroach into the setback area of my property line. Having reviewed the plans and considered the potential impact on my property, I would like to confirm that I have no objections or concerns regarding the project.

One of the key factors influencing my support is the minimal impact on visibility and privacy from my property. The planned location of the new building and the natural features of the landscape ensure that it will not be visible from my home at 6 Webb Lane. This negates any concerns about obstructed views or infringements on privacy.

I also believe that the construction project will contribute positively to the neighborhood. I also have confidence in my neighbor's commitment to adhere to relevant building codes and safety standards, ensuring the project's integrity.

I kindly ask the Lewisboro Zoning Board to consider my positive stance as you review and evaluate this project.

If there is a need for further information or clarification, please feel free to reach out to me at the address, email, or phone number provided above.

Thank you for your attention and consideration.

Warm regards,

Rich and Brittney Kamienska
6 Webb Lane
Goldens Bridge, NY 10526



B. Kamienska

TOWN OF LEWISBORO
Westchester County, New York

Building Department
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3060
Fax: (914) 875-9148
Email: ksullivan@lewisborogov.com

Zoning Denial 6/29/2023

18 Pond St, South Salem
7A-12665-012

The applicant is proposing a new deck construction with a 16' south side yard setback and 19' north side yard setback in a 1A zoning district which requires a 30' side yard setback therefore requiring a 14' south side yard variance and 11' north side yard variance respectively as per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

Building Inspector



Kevin Kelly

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, July 26, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 19-23-BZ

Application of Ellen Adelman, [Adelman, Ellen M., owner of record], 18 Pond Street, Goldens Bridge, NY, is proposing a new deck construction with a 16' south side yard setback and 19' north side yard setback in a 1A zoning district which requires a 30' side yard setback therefore requiring a 14' south side yard variance and 11' north side yard variance respectively as per Article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the west side of (#18) Pond Street, Goldens Bridge, NY designated on the Tax Map as Sheet 007A, Block 12665 Lot 012, in an R-1AC, One-Acre Residential District consisting of approximately 0.93 acres.

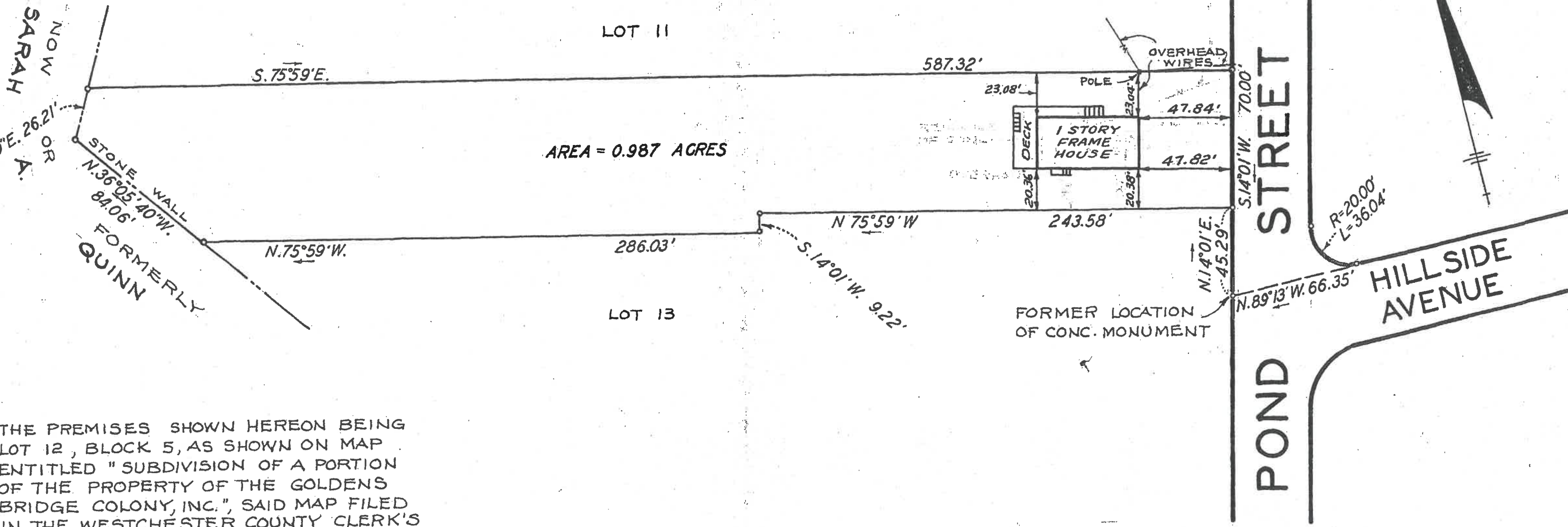
Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 7th day of July 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

ions hereon are valid for the map and copies
if said map or copies bear the impressed
urveyor whose signature appears hereon."



THE PREMISES SHOWN HEREON BEING
LOT 12, BLOCK 5, AS SHOWN ON MAP
ENTITLED "SUBDIVISION OF A PORTION
OF THE PROPERTY OF THE GOLDENS
BRIDGE COLONY, INC.", SAID MAP FILED
IN THE WESTCHESTER COUNTY CLERK'S
OFFICE ON NOV. 19, 1935 AS MAP N^o 4205.

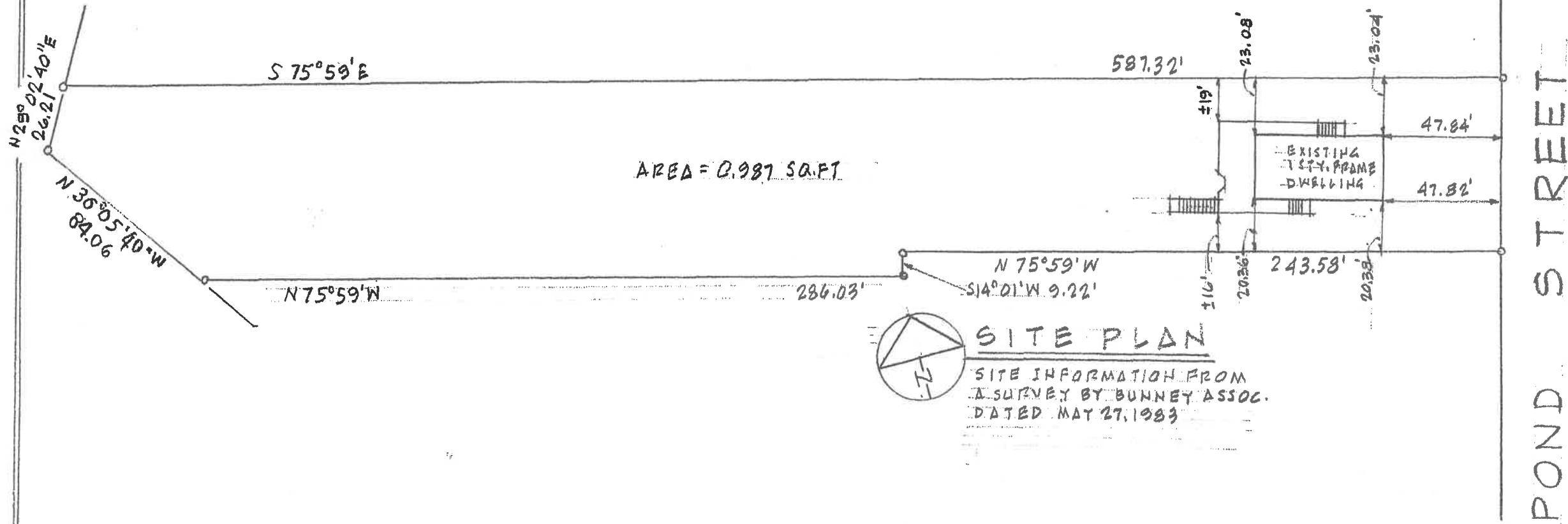
SURVEY OF PROPERTY
SITUATE IN
TOWN OF LEWISBORO
WESTCHESTER COUNTY
NEW YORK

SCALE: 1" = 50'

DATE: SEPT. 24, 1981

BROUGHT TO DATE MAY 27, 1983

fications and liability shall run only to those
iduals and institutions shown hereon.
certifications and liability are not trans-
le to others.



BULK ZONING TABLE:

ZONE: R-1A	REQUIRED	PROPOSED	VARIANCE REQ'D
MINIMUM LOT SIZE (AREA)	1 AC = 43,560 S.F.	42,993 S.F.	EXISTING
MINIMUM LOT WIDTH	150 FT.	70.0'	EXISTING
MINIMUM FRONT YARD	40 FT.	47.82'	NO
MINIMUM SIDE YARD	30 FT.	16 FT. & 19 FT.	YES 14 FT. & 11 FT.
MINIMUM REAR YARD	40 FT.	± 475 FT.	NO
MAXIMUM BUILDING HEIGHT	2 1/2 STORIES 35'	1 STORY 20.5'	NO
MAXIMUM BUILDING COVERAGE	12% = 5227 S.F.	4.44% = 1933 SF	NO

SITE PLAN & ZONING DATA

NEW DEC 14 FOR
MRS. ELLEN ADELMAN

DATE:

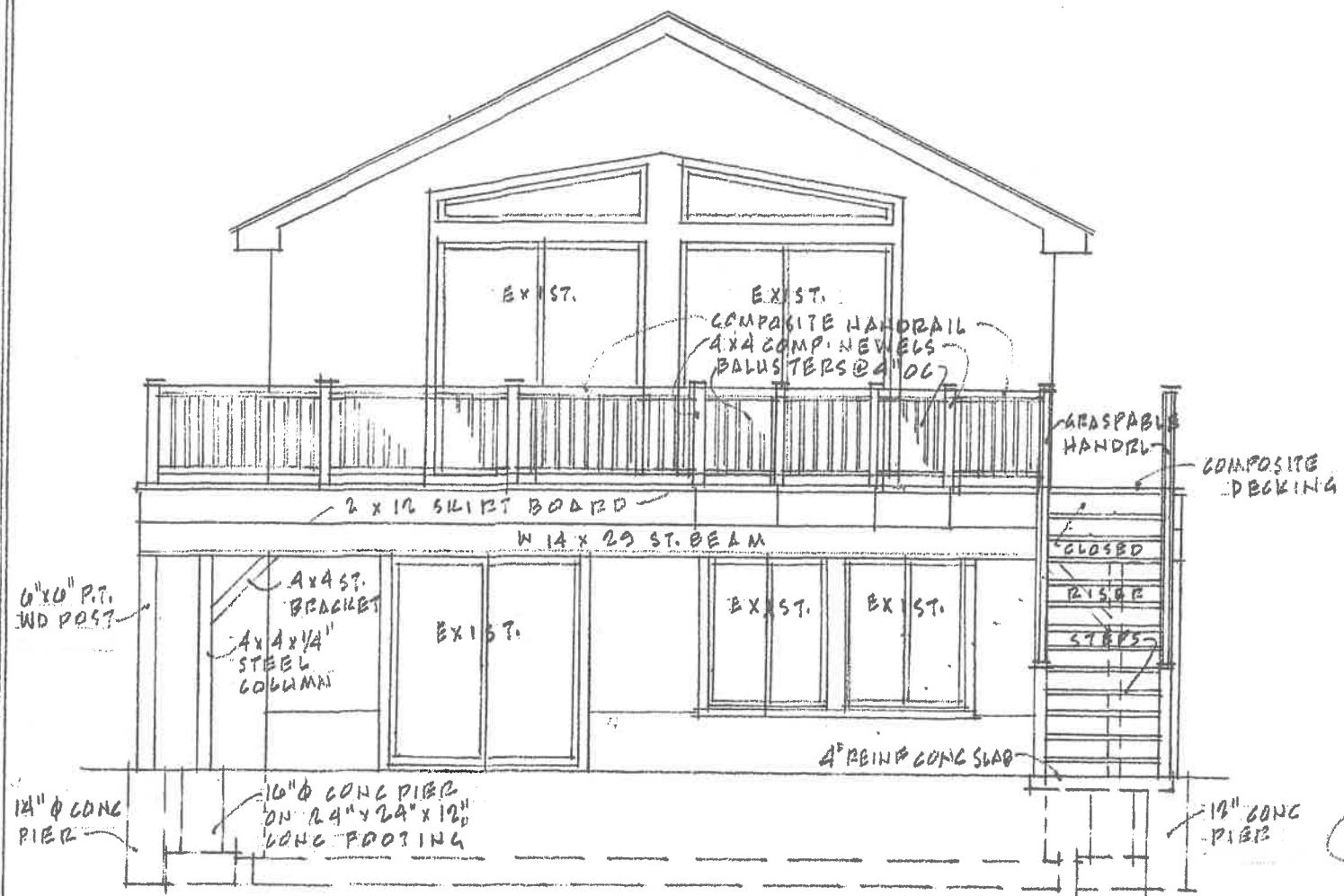
18 POND STREET
GOLDENS BRIDGE, N.Y.

CARL L. GRIMM, E.A.
5 COOL LANE, GLETON-ON-HUDSON, N.Y. 914-271-5471
CARL L. GRIMM, E.A.



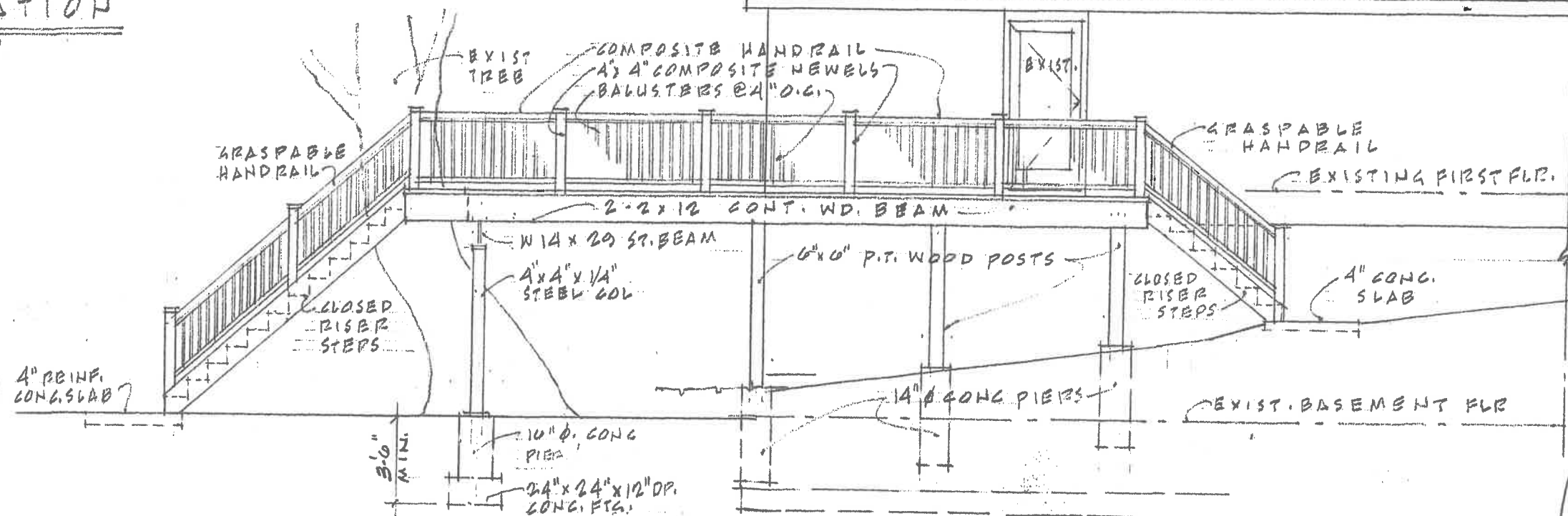
SCALE:
1" = 50'-0"

A



REAR ELEVATION

SCALE: 3/16" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 3/16" = 1'-0"

REAR & LEFT SIDE ELEVATION

DATE:

NEW DECK FOR
MRS. ELLEN ADELMAN

18 POND STREET
GOLDEN BRIDGE, N.Y.

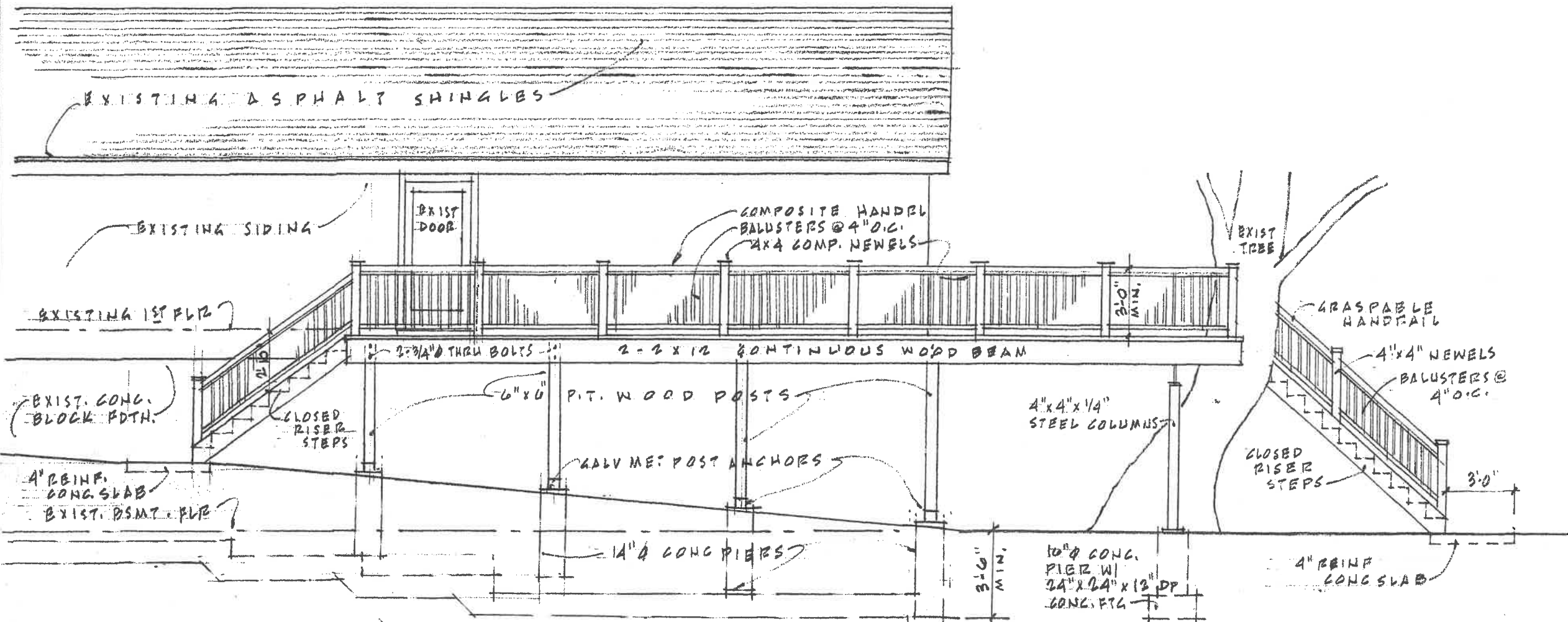
CARL T. GRIMM, R.A.

5 COOK LANE, GLETON ON HUDSON, N.Y. CARL T. GRIMM, R.A. 914-271-5471



SCALE:
1/4" = 1'-0"

A4



EXIST. RIGHT SIDE ELEVATION

3/16" = 1'-0"

RIGHT SIDE ELEVATION + SECTION

DATE:

NEW DECK FOR
MRS. ELLEN ADELMAN
80 POND STREET
GOLDENS BRIDGE, N.Y.



SCALE:
AS NOTED

314-271-5471
CARL T. GRIMM, P.A.
5 COOK LANE, CROTON ON HUDSON, N.Y. CARL T. GRIMM, P.A. NET

A5

TOWN OF LEWISBORO
Westchester County, New York



Building Department
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3060
Fax: (914) 875-9148
Email: ksullivan@lewisborogov.com

Zoning Denial 6/29/2023

229 Kitchawan Rd, South Salem, NY
45A-09827-118

The applicant is proposing a two-car garage with a 6' front yard setback in a 2A zoning district whereas 50' are required as per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a 44' front yard variance.

Building Inspector

Kevin Kelly

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, July 26, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 20-23-BZ

Application of Gail L. Asher, [Noriega, Carlos, owner of record], 229 Kitchawan Road, South Salem, NY for the following variance of the proposed two-car garage with a 6' front yard setback in a 2A zoning district whereas 50' are required as per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a 44' front yard variance.

The property is located on the south side of (#229) Kitchawan Road, South Salem, NY designated on the Tax Map as Sheet 045A, Block 09827, Lot 118, in an R-2AC, Two Acre Residential District consisting of approximately 2.00 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 7th day of July 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

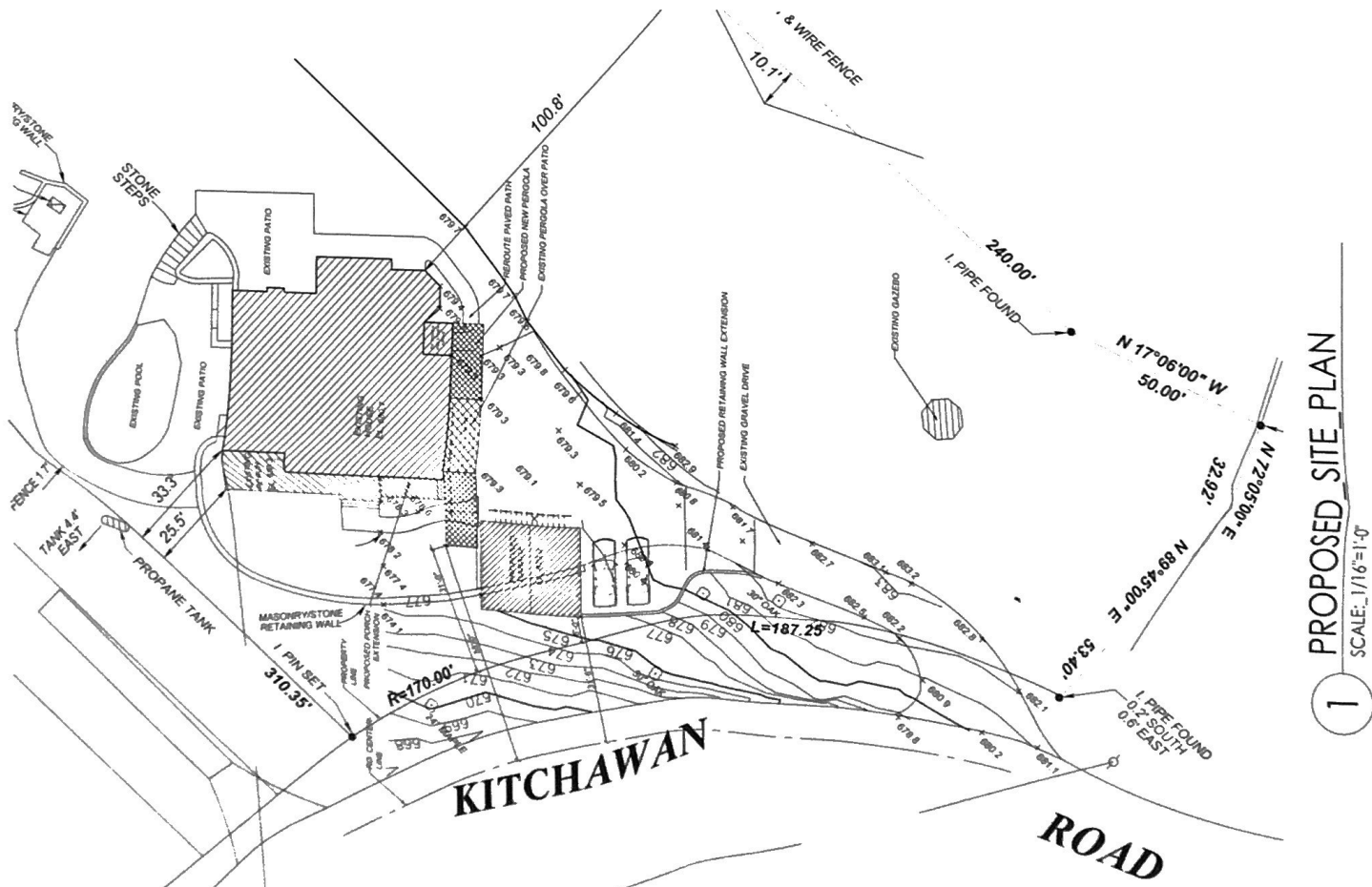
The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodation to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

Sheet Number
T-100



229 KITCHAWAN ROAD ZONE: R-2A	ALLOWED/ REQUIRED	ACTUAL/ EXISTING	PROPOSED	NOTES
FRONT YARD SETBACK (FROM STREET CENTERLINE)	75 FT	71'-1" (TO HOUSE)	31'-0" (TO GAR)	
FRONT YARD SETBACK (FROM LOT LINE)	50 FT	47 FT (TO HOUSE)	55'-0" (TO REAR)	
REAR YARD SETBACK	50 FT	50 FT	NO CHANGE	
SIDE YARD SETBACK (ONE)	40 FT	40 FT	UNCHANGED	
LOT AREA	2 ACRES	68,697 SF	UNCHANGED	
WIDTH/CIRCLE (FT)	200 FT	UNCHANGED	UNCHANGED	
BUILDING HEIGHT	2 1/2 STORES/25 FT	UNCHANGED	UNCHANGED	
BUILDING COVERAGE (AREA)	7,946 SF	1,008 2,820 SF	1,184 3,472 SF	TOTAL=482 SF (LOAD DANCE, 300 SF=POUCH EXTENSION)

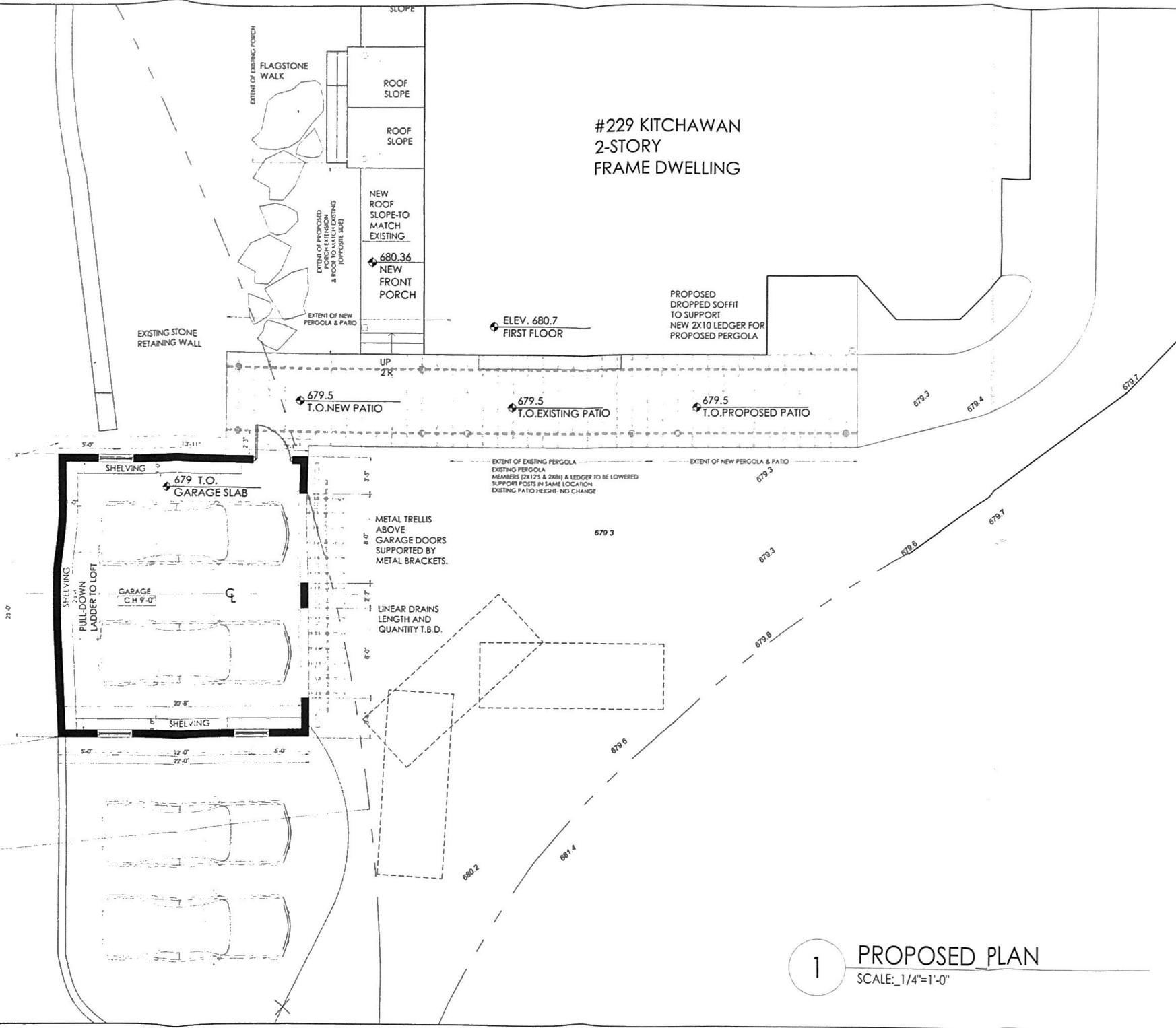
3 ZONING ANALYSIS
Section 66.1 - Block 2 - Lot 19



1 PROPOSED SITE PLAN
SCALE: 1/16"=1'-0"

R=170.00'

6 64.9



#229 KITCHAWAN 2-STORY FRAME DWELLING

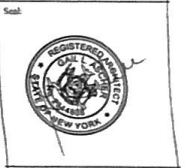
1 PROPOSED PLAN
SCALE: 1/4"=1'-0"

ALL DRAWINGS & WRITTEN MATERIALS APPLYING HEREON CONSTITUTE THE ARCHITECT'S AND ENGINEER'S WORK. THE ARCHITECT & ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT & ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK OR FOR THE SAFETY OF THE WORK OR FOR THE SAFETY OF THE PERSONS OR PROPERTY. THE ARCHITECT & ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK OR FOR THE SAFETY OF THE WORK OR FOR THE SAFETY OF THE PERSONS OR PROPERTY. THE ARCHITECT & ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK OR FOR THE SAFETY OF THE WORK OR FOR THE SAFETY OF THE PERSONS OR PROPERTY.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF STATE EDUCATION CODE

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, RECONSTRUCTIONS, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED

REV	DATE	DESCRIPTION
04.23.2023		FOR BLDG PERMIT FILING



- Legend:
- \$ SINGLE POLE SWITCH - 1" INDICATED SHOWN
 - NEW SINGLE POLE SWITCH
 - NEW OUTLET - WEATHER PROOF GROUND FAULT INTERRUPTED
 - EXISTING LANTERN IN LED LAMP
 - EXISTING WALL TO REMAIN
 - EXISTING WALL TO BE REMOVED
 - PROPOSED WALL

Architect:
ASCHER & ASSOCIATES, INC.
87 MILL RIVER ROAD
SOUTH SALEM, NY 10590
914-533-5640
www.ascherandassociates.com
gailascher@ascherandassociates.com

Project:
NEW TWO-CAR GARAGE
& PORCH/PERGOLA
EXTENSIONS
229 Kitchawan Road
South Salem, NY

Dwg. Name:
PROPOSED PLAN

Project No.
04.23
Date
06.23.2023
Sheet Number
A-101

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

[illegible]

Legend:

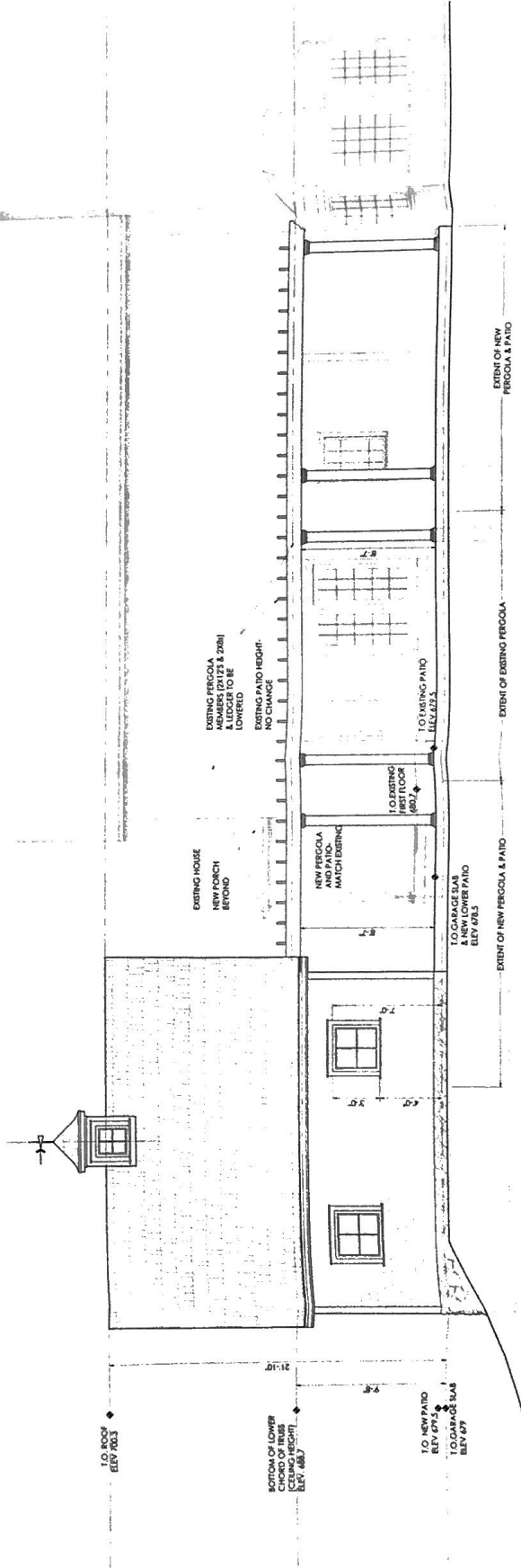
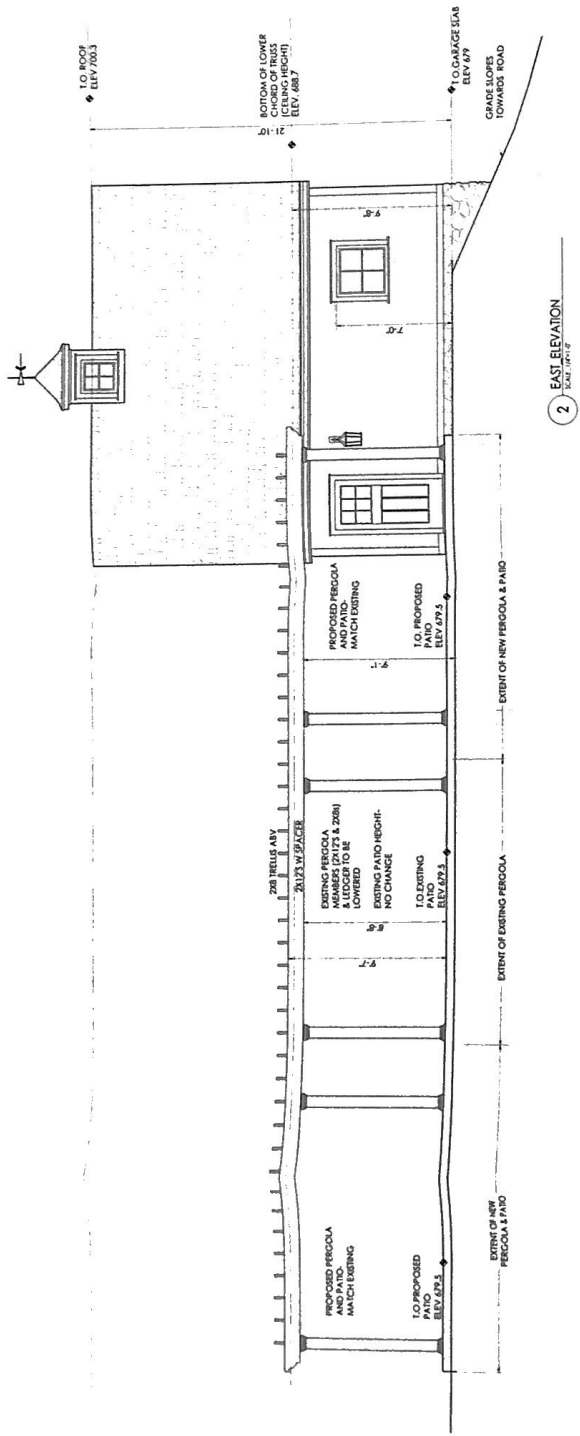
Architect:
ASCHER & ASSOCIATES, INC.
87 MILL RIVER ROAD
SOUTH SALEM, NY 10590
914-533-5640
www.ascherandassociates.com
gailascher@ascherandassociates.com

Project:
NEW TWO-CAR GARAGE
& PORCH/PERGOLA
EXTENSIONS
229 Kitchawan Road
South Salem, NY

Dwg. Name: **PROPOSED EXTERIOR ELEVATIONS**

Sheet Number
A-20

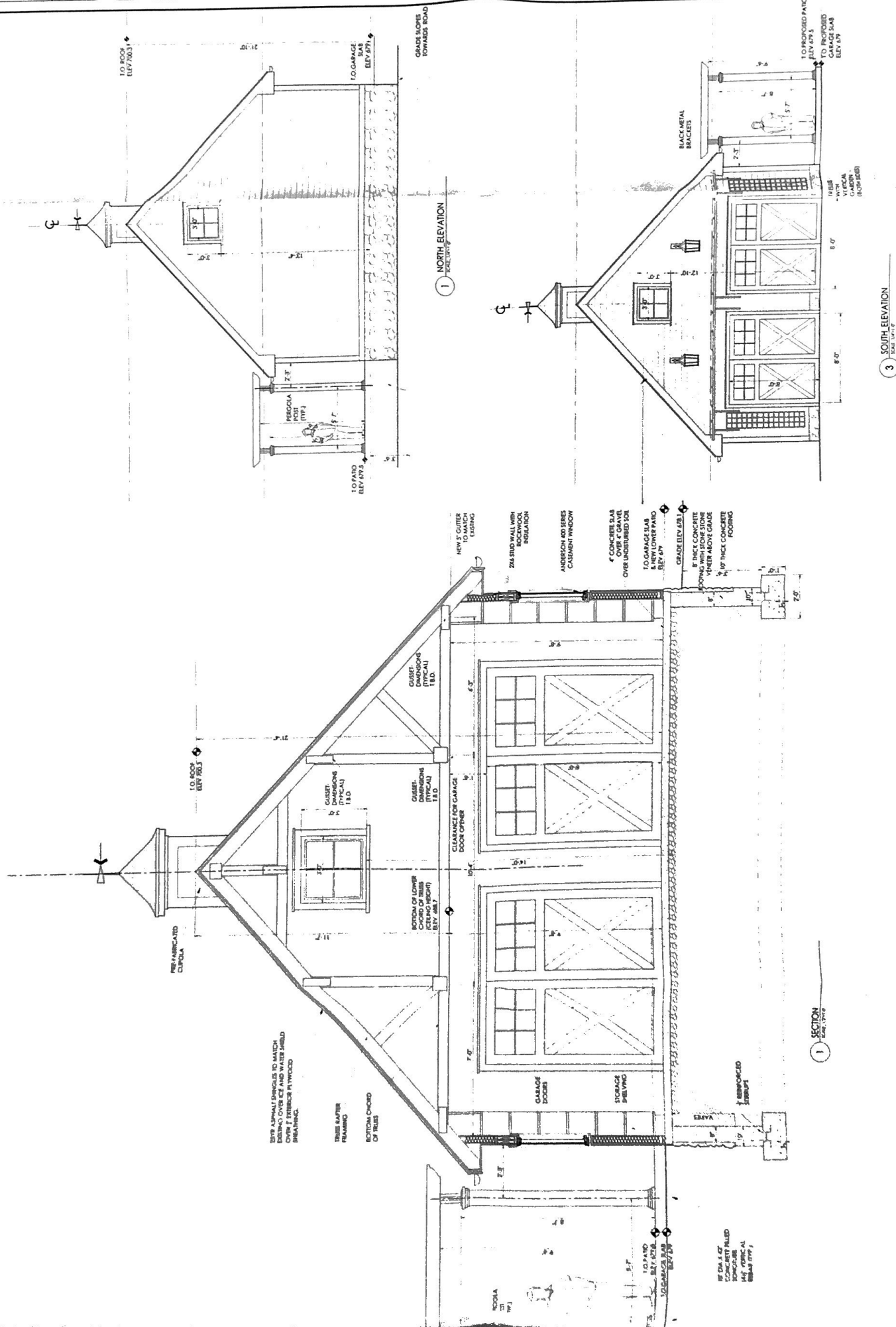
4 WEST ELEVATION
SCALE: 1/8" = 1'

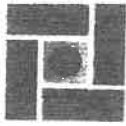


Project Two
04.23

Sheet Number
A-300

Date
06.23.2023





ZBA APPLICATION - STATEMENT OF PRINCIPAL POINTS
PROPOSED TWO-CAR GARAGE AND EXTERIOR IMPROVEMENTS
229 KITCHAWAN ROAD, SOUTH SALEM, NY

HISTORY:

In 2019 Luisa Gloria Moto Velasco and Carlos Noriega purchased the house at 229 Kitchawan Road. The house was built in 2002, without a Garage (presumably because it would have required a Variance). At the time of purchase, the property included a pool and an old dilapidated barn in the rear of the property, which the homeowners removed for safety concerns. In the years since, the homeowners have made visible exterior improvements to the property including low walls, landscaping and pool restoration.

The terrain of the property is rocky and hilly - there is ledge rock on one side of the driveway, and sloped terrain toward the street across the front of the property. The driveway is at a hairpin turn in the road, and difficult to access particularly coming from the west on Kitchawan- this also makes backing out impossible for anyone driving a vehicle.

Because of the extreme difficulty all vehicles (especially delivery trucks), have had in maneuvering in the driveway, the homeowners recently extended an existing low retaining wall and the apron of their gravel driveway. This was deemed a necessary interim measure, completed as we were planning their Proposed Garage. Their program is basic- a Garage to house their two cars and bicycles when they travel (often 6 weeks at a time) - particularly in the summer and winter months.

The Proposed Detached Two-Car Garage will require an Area Variance (Front Setback). We would like to address the five principal points for the Zoning Board to consider in our request for an Area Variance:

1) WILL AN UNDESIRABLE CHANGE BE PRODUCED IN THE CHARACTER OF THE NEIGHBORHOOD TO THE DETRIMENT OF NEARBY PROPERTIES?

- We do not believe that our Proposed Design, in any way, creates an undesirable change in the neighborhood.
- Conversely, we believe the Proposed Design actually enhances the property and the immediate neighborhood. The design for the Detached Garage, Porch and Pergola extensions are sensitive to and in keeping with the buildings nearby, and the architecture of the neighborhood. We chose to create a low one-story structure, with minimum dimensions and area for its use (21'x24' interior dimensions). The style is traditional Colonial/Barn vernacular. We are using stone for foundation and retaining wall, cedar siding, and traditional shingle roofing- materials used throughout the neighborhood and district
- The neighbor immediately across the street has a similar House-Garage relationship and scale of structures -- and actually, the house itself and its detached Garage/Barn is closer to the road (and the Garage/Barn has appendages of shed and chicken coop near and directly facing the road).



2) CAN BENEFIT SOUGHT BY APPLICANT BE ACHIEVED BY SOME METHOD WHICH WOULD BE FEASIBLE TO PURSUE BUT NOT REQUIRE A VARIANCE?

- There is no way to accommodate a functional Garage for the homeowner, given their existing property and house constraints, without obtaining a Zoning Variance.
- One measure we did take, to reduce the size of the Garage, is to design an extended stone retaining wall to allow additional parking for two cars, which would also aid in adding turning radius space in the driveway.

3) IS THE REQUESTED AREA VARIANCE SUBSTANTIAL?

- We realize that the Variance is substantial (44 feet), but we believe it is required given the site constraints: the proximity of ledge rock to the house, the location of the existing gravel driveway, and the steep slopes inhibiting building the Garage elsewhere on the site.
- We also feel that a small front setback is not a unique scenario in the neighborhood, as many of the houses on Ketchikan have Garages or Barns close to the street and clearly within the setback zone. As stated earlier, the neighbor's property directly across the street has a very similar condition.

4) WOULD THE PROPOSED VARIANCE HAVE AN ADVERSE EFFECT OR IMPACT ON THE PHYSICAL OR ENVIRONMENTAL CONDITIONS IN THE NEIGHBORHOOD OR DISTRICT?

- We do not believe our Proposed Design has a negative impact on any environmental conditions in the neighborhood.
- We are proposing to maintain the gravel driveway for drainage purposes as well as aesthetic reasons. Any additional roofing will include gutters to the existing storm drainage areas
- We are adding plants and trees to alleviate any surface runoff or overflow during storms

5) IS THE ALLEGED DIFFCULTY SELF-CREATED?

- The alleged situation was not self-created. The existing property has always had the current site constraints. The current homeowners were not the original owners; they neither built the house nor the driveway.
- The existing conditions have proven a true hardship for the homeowners, and this is why we are seeking the requested Area Variance.

SUMMARY

We believe our design alleviates multiple problems created by site constraints of the existing property, and that we have demonstrated that these problems cause true hardship for the homeowners. We feel we are being very sensitive to the neighborhood and environment in our design for the Garage.

We request that the Zoning Board thoughtfully consider all of the information put forth, and grant the Homeowners the requested front setback Variance.

