

TOWN OF LEWISBORO
Westchester County, New York

Zoning Board of Appeals
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3822
Fax: (914) 533-0097
Email: zoning@Lewisborogov.com

AGENDA

Wednesday, September 27, 2023, 7:30 P.M.

**79 Bouton Road, South Salem,
Justice Court**

- I. Review and adoption of the Minutes of July 26, 2023.**
- II. PUBLIC HEARING**

CAL. NO. 17-23-BZ Amended

Application of James & Siming Vautin [Vautin, James E. & Siming., owner of record], 4 Webb Lane, Goldens Bridge, NY for the following variance of the proposed new home office/artist studio with a 25.1' side yard setback in a 2-A zoning district whereas are 40' as per Article IV Section 220-23E of the Town of Lewisboro Zoning Code required therefore requiring a 14.9' side yard variance, and the proposed new home office/artist studio which will be 780 square feet, whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code therefore requiring a 180 square foot variance.

The property is located on the north side of (#4) Webb Lane, Goldens Bridge, NY designated on the Tax Map as Sheet 0011, Block 11137, Lot 111, in an R-2AC, Two-Acre Residential District consisting of approximately 2.26 acres.

CAL. NO. 21-23-BZ

Application of D'Amico Electric [Pedrazarequires McQuaid, Jennifer, owners of record], 29 Knapp Road, South Salem, NY for the following variance to legalize the existing generator which has a side yard setback of 14.2' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a variance of 25.8'.

The property is located on the west side of (#29) Knapp Road, South Salem, NY designated on the Tax Map as Sheet 034C, Block 11826, Lot 020, in an R-2AC, Two-Acre Residential District consisting of approximately 0.28 acres.

CAL. NO. 22-23-BZ

Application of Terence & Cynthia McNamara, [McNamara, Terence F. & Cynthia M., owner of record], 59 East Street, South Salem, NY for the following variance of the proposed new front entry roof with a 22.9' front yard setback in a R 1/2 A zoning district whereas 30' are required as per Article IV Section 220-12 of the town code of Lewisboro zoning code therefore, requiring a 7.1' front yard variance.

The property is located on the west side of (#59) East Street, South Salem, NY designated on the Tax Map as Sheet 0053, Block 09834, Lot 045, in an R-1/2AC, Half Acre Residential District consisting of approximately 0.43 acres.

CAL. NO. 23-23-BZ

Application of Barbara Arnold [Arnold, Stephen & Barbara S., owner of record], 28 Main Street, South Salem, NY for the following variance of the proposed screened in porch will have a left-side yard setback of 6.78' and a right-side yard setback of 38' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 33.22' and

2’ respectively; the proposed screened in porch will have a rear yard setback of 47.30’ whereas 50’ are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 2.70’; the proposed house (1,023.12sqft), garage (427.09sqft), screened porch (299.76sqft) & patio (289.99sqft) will have a total building coverage of 22.6% (2039.96sqft) whereas 9%’ is required per Article IV Section 220, attachment 1, *Schedule of Dimensional and Bulk Regulations for Residential Districts* of the Town of Lewisboro Zoning Code therefore requiring variance of 13.6%.

The property is located on the west side of (#28) Main Street, South Salem, NY designated on the Tax Map as Sheet 0031 Block 10805 Lot 019, in a SCR-2AC, Special Character Two-Acre Residential District, consisting of approximately .20 acres.

CAL. NO. 24-23-BZ

Application of Adam Kaufman & Elana Shneyer [Kaufman, Adam & Shneyer, Elana, owners of record], 21 Hall Avenue, Goldens Bridge, NY for the following variance of the proposed two-story addition will have a side yard setback of 13.2’ whereas 30’ are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 16.8’.

The property is located on the north side of (#21) Hall Avenue, Goldens Bridge, NY designated on the Tax Map as Sheet 007C, Block 12668, Lot 010, in an R-1AC, One-Acre Residential District consisting of approximately 0.714 acres.

CAL. NO. 25-23-BZ

Application of Darren P. Mercer, Architect, PLLC [Morrissey, Susan, owner of record], 19 North Lake Circle, South Salem, NY for the following variance of the existing propane tank that has a side yard setback of 12’- 6” and the existing generator has a side yard setback of 11’- 9” whereas 15’ are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variances 2’-6” and 3’-3” respectively.

The property is located on the east side of (#19) North Lake Circle, South Salem, NY designated on the Tax Map as Sheet 034A, Block 11827, Lot 026, in an R-1/2AC, Half-Acre Residential District consisting of approximately 0.55 acres.

III. CORRESPONDENCE & GENERAL BUSINESS

IV. NEXT MEETING

October 25, 2023

V. ADJOURN MEETING

(914) 763-3822
FAX (914) 875-9148
TTY 800-662-1220
Email: zoning@lewisborogov.com
www.lewisborogov.com



TOWN OF LEWISBORO
Zoning Department
79 Bouton Road
South Salem, NY 10590

TOWN OF LEWISBORO, WESTCHESTER COUNTY

ZONING DEPARTMENT

ZONING BOARD OF APPEALS – September 27, 2023

<u>APPLICANT</u>	<u>CAL #</u>	<u>PAGE(S)</u>
Vautin	17-23-BZ	4 to 18
Pedraza	21-23-BZ	19 to 22
McNamara	22-23-BZ	23 to 26
Arnold	23-23-BZ	27 to 31
Kaufman	24-23-BZ	32 to 44
Mercer/Morrissey	25-23-BZ	45 to 53

TOWN OF LEWISBORO
Westchester County, New York



Building Department
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3060
Fax: (914) 875-9148
Email: ksullivan@lewisborogov.com

Zoning Denial 6/29/2023
8/2/2023 Amended

4 Webb Lane, Goldens Bridge, NY
11-11137-111

The applicant is proposing a new home office/artist studio with a 25.1' side yard setback in a 2A zoning district whereas are 40' as per Article IV Section 220-23E of the Town of Lewisboro Zoning Code required therefore requiring a 14.9' side yard variance.

The applicant is proposing a new home office/artist studio that is 780 square feet whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code therefore requiring a 180sqft variance.

Building Inspector

Kevin Kelly

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, July 26, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 17-23-BZ

Application of James & Siming Vautin [Vautin, James E. & Siming., owner of record], 4 Webb Lane, Goldens Bridge, NY for the following variance of the proposed new home office/artist studio with a 25.1' side yard setback in a 2-A zoning district whereas are 40' as per Article IV Section 220-23E of the Town of Lewisboro Zoning Code required therefore requiring a 14.9' side yard variance, and the proposed new home office/artist studio which will be 780 square feet, whereas 600 square feet is the maximum permitted per Article IV Section 220-23D(11) of the Town of Lewisboro Zoning Code therefore requiring a 180 square foot variance.

The property is located on the north side of (#4) Webb Lane, Goldens Bridge, NY designated on the Tax Map as Sheet 0011, Block 11137, Lot 111, in an R-2AC, Two-Acre Residential District consisting of approximately 2.26 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 2nd day of August 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

James Vautin
4 Webb Lane, Goldens Bridge, NY 10526
(617) 955 2574
james@vautin.com

Lewisboro Building Department and Zoning Board
79 Bouton Road
South Salem, NY 10590

Variance Application for External Home Office and Artist's studio

Dear Lewisboro Zoning Board,

I am submitting an appeal and variance request for the construction of an external home office and artist's studio on our property. A setback variance of 14.9' is requested based on a proposed setback of 25.1' from the property line (Article IV Section 220-23E). A 180 square foot variance based on a total floor area of 780 square feet is also requested (Article IV Section 220-23D(11)).

The hardship in this situation is due to the unique physical characteristics of our property, as the proposed location is situated behind a natural slope that is hidden from the surrounding buildings and is adjacent to our property line. Additionally, a 600 square foot limitation would impose limits on the intended use of the space for remote work and artistic endeavors. This project has the support of our neighbors, and I've included a letter of support from the residents of 6 Webb Lane who share the property line on which the setback variance is proposed.

The new structure will reside down the south slope from the main home, so as to not impose on the existing view and achieve maximum isolation. While we propose to place the structure within the property setback adjacent to 6 Webb Lane, this position achieves the most isolation and minimal visibility from all neighboring properties, and would not be visible from 6 Webb Lane.

Thank you for considering this proposal. Please refer to the following photos, renders, and diagrams for more information.

The proposed structure is inspired by the David Haid Pavilion, a modernist structure located in the suburbs of Chicago, and is designed to harmonize with the natural beauty of the surrounding landscape with minimal disturbance.



Figure 1 - David Haid Pavilion, Highland Park, IL (photograph)

The purpose of this structure is to provide a dedicated and inspirational workspace which is independent from the home. The structure will feature a wall of glass, providing views of the surrounding forest going down the hill towards rt. 138 and overlooking the Indian Hill Preserve.

The proposed design of the structure is intended to complement the natural landscape and surroundings. It is my goal to create a unique and visually appealing building while matching the mid-century design aesthetics of the existing house.



Figure 2 - Side of new structure, facing southwest (render)



Figure 3 - View from interior, facing south towards Indian Hill Preserve (render)



Figure 4 - Front/entrance of new structure, facing southwest (render)



Figure 5 - front of existing home, facing southwest (photograph)



Figure 6 - rear of existing home, facing northeast (photograph)

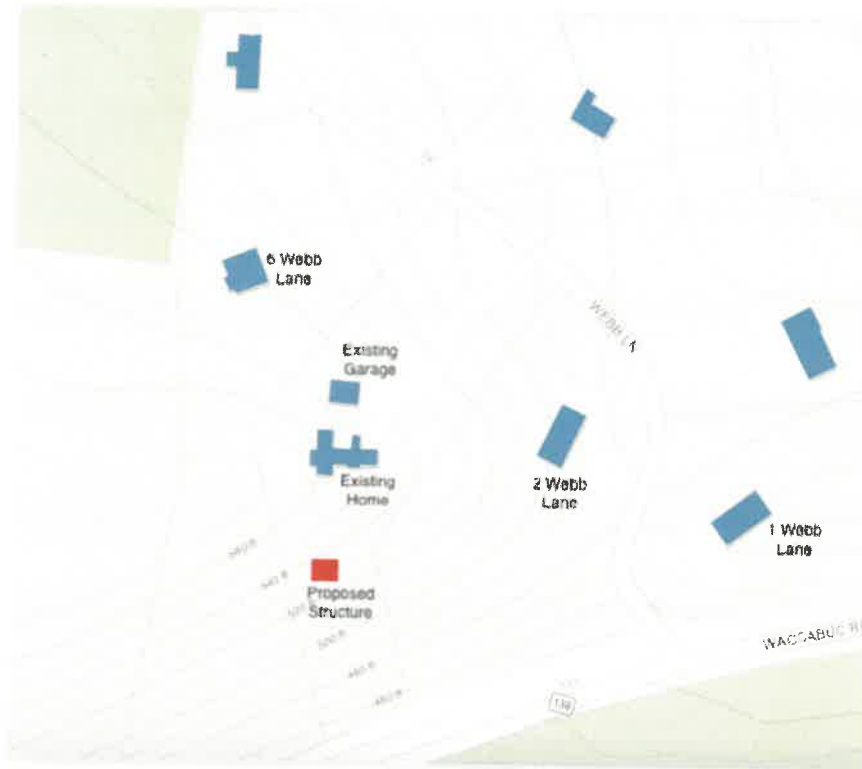


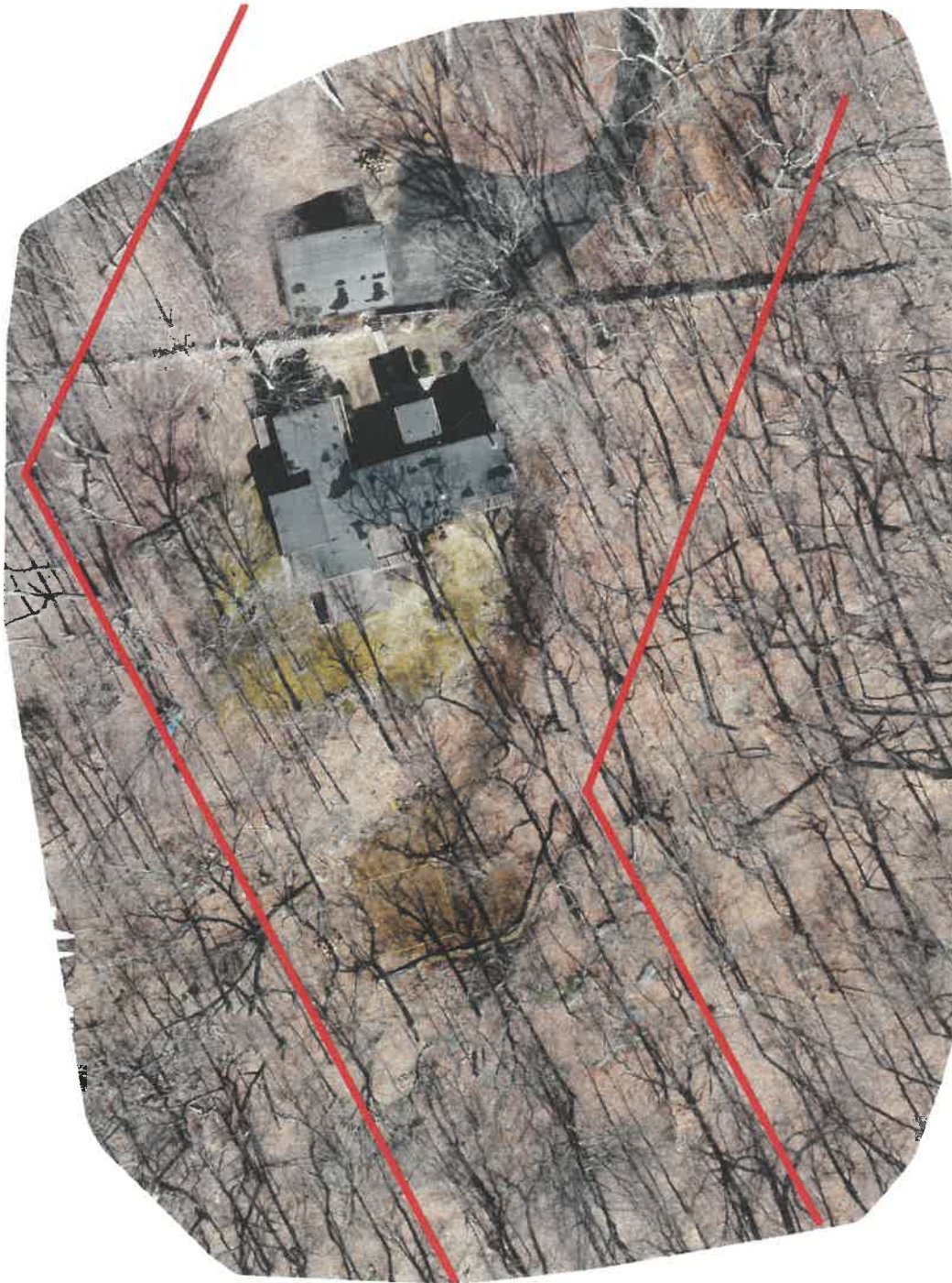
Figure 7 - Proximity of new proposed structure to neighboring houses



Figure 8 - Birds eye view of existing house and proposed site in winter (drone photo)



Figure 9 - proposed site (photo, 20 feet above ground looking southwest)



*Figure 10 - Drone Orthomosaic photo with Westchester GIS overlay
(please refer to included site survey for official property lines)*

The proposed footprint is visible in yellow tape in the above photos.

We will work closely with the Lewisboro building department to ensure that the construction of the proposed structure complies with all local zoning laws, regulations and building codes.

Thank you for your consideration of this application. I look forward to presenting this project and discussing it at the July Zoning Board of Appeals.

A handwritten signature in black ink, appearing to read 'J. Vautin'.

James Vautin

Rich and Brittney Kamienska
6 Webb Lane
Goldens Bridge, NY 10526
914-420-5810
kamienskar@yahoo.com

June 21, 2023

Lewisboro Building Department
79 Bouton Road
South Salem, NY 10590

Regarding: Support for Neighbor's Project at 4 Webb Lane, Goldens Bridge, NY

Dear Office of the Lewisboro Building Department and Members of the Zoning Board,

I hope this letter finds you well. I am writing to express my support for the construction project proposed by my neighbors James and Siming Vautin at 4 Webb Lane, Goldens Bridge. I understand that the project involves the construction of a new building, which will encroach into the setback area of my property line. Having reviewed the plans and considered the potential impact on my property, I would like to confirm that I have no objections or concerns regarding the project.

One of the key factors influencing my support is the minimal impact on visibility and privacy from my property. The planned location of the new building and the natural features of the landscape ensure that it will not be visible from my home at 6 Webb Lane. This negates any concerns about obstructed views or infringements on privacy.

I also believe that the construction project will contribute positively to the neighborhood. I also have confidence in my neighbor's commitment to adhere to relevant building codes and safety standards, ensuring the project's integrity.

I kindly ask the Lewisboro Zoning Board to consider my positive stance as you review and evaluate this project.

If there is a need for further information or clarification, please feel free to reach out to me at the address, email, or phone number provided above.

Thank you for your attention and consideration.

Warm regards,

Rich and Brittney Kamienska
6 Webb Lane
Goldens Bridge, NY 10526



B. Kamienska

GENERAL NOTES

1. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE TOWN OF LEWISBORO, NY BUILDING CODE AND ZONING ORDINANCES, THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AS WELL AS ENGINEERING & FIRE DEPT REGULATIONS AND ALL APPLICABLE LAWS, UTILITY COMPANY REQUIREMENTS, & THE BEST TRADE PRACTICES.
2. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR OR ANY SUBCONTRACTOR(S) DOING ANY WORK UNDER THIS CONTRACT SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH BUILDING DEPARTMENT, AND SHALL BE ENTIRELY RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM ALL AUTHORITIES HAVING JURISDICTION ON THIS MATTER, INCLUDING BUT NOT LIMITED TO ENVIRONMENTAL, ASBESTOS REMOVAL, PERMITS, IF SO REQUIRED BY OWNER. THE OWNER SHALL BE RESPONSIBLE FOR PAYING PERMIT FEES REQUIRED BY THE LOCAL BUILDING DEPARTMENT AND FEES REQUIRED BY ALL OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION THEREOF.
3. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS ON PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT. ALL WRITTEN MEASUREMENTS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS BY ALL AUTHORITIES AND/OR GOVERNMENTAL AGENCIES HAVING JURISDICTION ON THIS MATTER, AS MAY BE NECESSARY.
5. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, AND THE ARCHITECT SHALL BE NOTIFIED IN WRITING PRIOR TO COMMENCEMENT OF WORK.
6. THE CONTRACTOR SHALL COMPLY WITH AND KEEP HIMSELF INFORMED OF ALL FEDERAL, STATE, MUNICIPAL AND DEPARTMENTAL LAWS, ORDINANCES, RULES AND REGULATIONS, NOTICES, ORDERS AND REQUIREMENTS.
7. THE ARCHITECTURAL FIRM HAS NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR SUPERVISION. ARCHITECT'S RESPONSIBILITY IS STRICTLY LIMITED TO THE CONTENTS OF WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO PLANS & SPECIFICATIONS UNLESS SPECIFICALLY AUTHORIZED BY HIM IN WRITING. ARCHITECT HAS NOT BEEN RETAINED FOR ASBESTOS INVESTIGATION. ARCHITECT IS NOT RESPONSIBLE FOR ANY KIND OF DESIGN & SPECIFICATIONS RELATED TO ASBESTOS PRESENCE.
8. DAMAGED WORK: EACH CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE CAUSED TO ANY WORK ON THIS PROJECT BY HIS OWN FORCES OR THOSE OF HIS SUBCONTRACTORS, OR BY OTHERS CONNECTED WITH OPERATION ON THIS PROJECT IN ANY WAY AND SHALL MAKE ALL NECESSARY REPAIRS AND REPLACEMENT OF SUCH DAMAGED WORK AT HIS EXPENSE, TO THE REASONABLE SATISFACTION OF THE OWNER.
9. SAFETY REQUIREMENTS: THE CONTRACTOR SHALL PROVIDE NECESSARY BRACING AND BARRICADES INCLUDING TEMPORARY WALLS, FENCES AND OTHER PROTECTIVE STRUCTURES TO SAFEGUARD CONSTRUCTION AND PUBLIC SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
10. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: ELECTRICAL, PLUMBING, ETC. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR & OBTAIN INSPECTIONS AND REQ'D SIGN-OFFS.
11. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
12. JOB MAINTENANCE: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SITE IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES. CONTRACTORS WORKING UNDER SEPARATE CONTRACTS WILL COOPERATE IN THIS REGARD. BUT THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE REQUIRED CLEANING & MAINTAINING OF THE SITE. A. WASTE MATERIALS, RUBBISH, DEBRIS, BROKEN CONCRETE, PACKING CASES, ETC., SHALL BE REMOVED. B. PRIOR TO TURNING BUILDING OVER TO OWNER, REMAINING RUBBISH SHALL BE REMOVED, THE GROUND AREAS RAKED CLEAN AND THE ENTIRE BUILDING CLEANED AS SPECIFIED UNDER "CLEANING".
13. CLEANING: IMMEDIATELY BEFORE TURNING THE PROJECT OR PARTS OF SAME OVER TO THE OWNER, THE GENERAL CONTRACTOR SHALL WASH AND CLEAN THE FOLLOWING:
 - A. REMOVE TEMPORARY PROTECTION.
 - B. REMOVE MARKS, STAINS AND OTHER DIRT FROM PAINTED DECORATED AND FINISHED WOODWORK.
 - C. REMOVE SPOTS, MORTAR, PLASTER, SOIL AND PAINT FROM CERAMIC TILES AND OTHER FINISH MATERIALS AND WASH OR WIFE CLEAN.
 - D. CLEAN FIXTURES, CABINET WORK AND EQUIPMENT AND LEAVE IN UNDAMAGED NEW APPEARING CONDITION.
 - E. CLEAN ALUMINUM AND OTHER FINISH METALS IN ACCORDANCE WITH MFG. RECOMMENDATIONS.
 - F. CLEAN RESILIENT FLOORS THOROUGHLY TO REMOVE ANY SURFACE DIRT AND POLISH TO UNIFORM SHEEN.
 - G. CLEAN BOTH SIDES OF GLASS.

GENERAL SPECIFICATIONS - SITE WORK

- I. THE WORK UNDER THIS SECTION SHALL INCLUDE FURNISHING ALL LABOR, MATERIALS, TOOLS, APPLIANCES AND EQUIPMENT AND PERFORMING ALL OPERATIONS NECESSARY FOR COMPLETE EXECUTION OF CLEARING, EXCAVATING, BACKFILLING AND GRADING AS INDICATED HEREIN AND IN WORKING DRAWINGS.
 - A. REMOVE ALL BRUSH WITHIN CONTRACT AREA.
 - B. REMOVE NECESSARY WALLS, FOUNDATIONS, CURBS, AS INDICATED ON PLANS.
 - C. EXCAVATION OF EARTH, ROCK, AND OBSTRUCTIONS BELOW PRESENT GRADES AS NECESSARY FOR NEW FOUNDATIONS, UTILITY TRENCHES AND SITE GRADING.
 - D. MIN. 6" POROUS FILL UNDER INTERIOR CONCRETE GROUND SLAB.
 - E. FURNISHING AND PLACING SHORING AND BEARINGS REQUIRED AND REMOVAL OF SAME FROM SITE.
 - F. BACKFILLING AGAINST FOUNDATION WALLS, PIERS AND FOOTINGS AND UTILITY TRENCHES WHERE INDICATED UNDER NO CIRCUMSTANCES SHALL EXCAVATION CONTRACTOR BACKFILL AGAINST FOUNDATION WALLS. DIAGONAL SHORING AT INSIDE OF FOUNDATION WALLS SHALL BE PROVIDED @ 8'-0" O.C. PRIOR TO BACKFILLING.
 - G. SITE DRAINAGE SHALL BE EXECUTED ACCORDING TO A SEPARATE DRAINAGE PLAN PREPARED BY A CERTIFIED ENGINEER.
 - H. EXCAVATING: EXCAVATING SHALL INCLUDE REMOVAL OF ALL MATERIALS TO PERMIT PROPER WORKING CLEARANCE, AND INSTALLATION OF CONCRETE FOOTINGS, WALLS, PIERS, AREAWAYS, SLABS, POROUS FILL UNDER SLAB AND ANY BRACING, UNDERPINNING AND WATERPROOFING. ALL ROCK REMOVED SHALL BE DONE BY MEANS OF MECHANICAL HAMMER OR HYDRAULIC SPLITTER. ARCHITECT'S COST ESTIMATE FOR REMOVAL OF UNDERGROUND ROCK FORMATIONS & ROCK BED FOR COMPLETION OF PROJECT SHALL BE FINAL & BINDING. UNDER NO CIRCUMSTANCES SHALL ROCK-BLASTING BE PERMITTED ON THIS JOB SITE.
 - I. BACKFILLING & GRADING: CONTRACTOR SHALL BACKFILL AS PROMPTLY AS THE WORK SITE PERMITS, COMPLYING WITH GRADES AND ELEVATIONS INDICATED ON WORKING DRAWINGS.
 - A. EARTH FOR BACKFILL SHALL CONSIST OF CLEAN, EASILY COMPACTED BACKFILL, FREE FROM EXCESS CLAY, DEBRIS OR ORGANIC MATTER.
 - B. BACKFILL SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS OF NOT MORE THAN 12" DEPTH, RUDDLED AND TAMPED OR ROLLED, SO AS TO PREVENT FUTURE SETTLEMENT.
 - C. ENTIRE AREAS UNDER INTERIOR CONCRETE SLAB SHALL BE BACKFILLED WITH 4" TO 6" DURABLE CLEAN BRUSHED TRAP ROCK COMPACTED AND LEVELED TO A REASONABLY EVEN SURFACE OR AS PER SITE PLAN.
 - D. UTILITY TRENCHES: ALL UTILITY TRENCHES SHALL BE EXCAVATED TO ALLOW UTILITY LINES TO BE PLACED BELOW THE FROST LINE, MIN. 8" - 6".
 - J. SEEDING: LANDSCAPING IS NOT THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. OWNER SHALL PROVIDE A SEPARATE LANDSCAPING CONTRACTOR AT HIS OWN EXPENSES. COST OF ANY DAMAGES TO BUILT STRUCTURES OR SITE STRUCTURES DUE TO LANDSCAPING CONTRACTOR'S NEGLIGENCE ARE SOLELY THE RESPONSIBILITY OF THE LANDSCAPING CONTRACTOR.

CONCRETE & MASONRY

1. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR EQUIPMENT AND APPLIANCES REQUIRED FOR THE COMPLETION EXECUTION OF ALL CONCRETE FOUNDATION WORK, CONCRETE SLABS AND PLATFORMS, CONCRETE FOOTINGS AND MASONRY WALLS AS INDICATED IN WORKING DRAWINGS.
2. ALL CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 4000 PSI AFTER 28 DAYS, INCLUDING FOOTINGS, PIERS, SLABS AND PLATFORMS. ALL CONCRETE EXPOSED TO WEATHER MUST BE AIR ENTRAINED.
3. CONCRETE SLAB, PIER AND FOOTINGS SHALL BE OF THE SIZE AND THICKNESS INDICATED ON PLANS. INTERIOR CONCRETE SLAB SHALL BE PROVIDED WITH CONCRETE EXPANSION JOINTS WATER STOP WHERE INDICATED ON PLANS. PERIMETER OF SLAB ADJOINING WALLS SHALL HAVE 1/2" EXPANSION JOINT WITH BITUMINOUS FILLER.
4. CONCRETE SLAB SHALL BE PROVIDED WITH 6X6/10X10 WELDED WIRE MESH REINFORCING THROUGHOUT. PERIMETER OF SLAB AREA ON BACKFILL SHALL RECEIVE 84 RE-BARS 24" O.C. TIED INTO FOUNDATION WALL OR AS INDICATED ON PLANS.
5. VAPOR BARRIER UNDER INTERIOR SLAB SHALL BE 20 MILS. THICK, UNLESS OTHERWISE INDICATED ON DRAWINGS.
6. TOP OF CONCRETE SLAB TO RECEIVE CERAMIC TILE OR CARPETING AND SHALL BE SCREENED TO AN EVEN, TRUE LEVEL PLANE, FLOATED AND TROWELED TO A HARD SMOOTH AND EVEN FINISH.
7. ALL MASONRY UNITS SHALL BE OF THE SIZE INDICATED ON THE PLANS. NON-CORROSIVE DURO-WALL TIES TO BE PROVIDED EVERY OTHER COURSE BETWEEN MASONRY UNITS @ 12" O.C. OR AS INDICATED ON PLANS. SEE SPECIFICATIONS ON DRAWINGS FOR POURED CONCRETE WALLS REINFORCING.
8. CEMENT FOR MASONRY SHALL BE PORTLAND CEMENT CONFORMING TO ASTM DESIGNATION C144 PASSING NO. 80 SIEVE, HYDRATED LINE SHALL CONFORM TO ASTM DESIGNATION C-6.
9. MORTAR FOR THE ENTIRE WORK EXCEPT OTHERWISE SPECIFIED SHALL BE PROPORTIONED BY VOLUME: 1 PART PORTLAND CEMENT, 1/4 PART HYDRATE LINE, AND 3 PARTS SAND. WATER / CEMENT RATIO SHALL BE 0.35 - 0.40 MAXIMUM.

METALS
1. STRUCTURAL STEEL - ALL STRUCTURAL STEEL SHALL CONFORM TO REQUIREMENTS OF ASTM - A - 36 LATEST EDITION. SIZE AND LOCATION OF ALL STRUCTURAL STEEL IS INDICATED ON WORKING DRAWINGS. THIS INCLUDING: STEEL BEAMS, STEEL PIPE COLUMNS, STEEL ANGLES, AND STEEL BEAMS USED AS HEADERS OVER DOORS AND WINDOWS.

ROOF & PLASTICS

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO. 1 AND 2 COMMON HAVING A MIN. ALLOWABLE BENDING STRESS OF 900PSI.
2. LUMBER SIZE AND SPACING AS INDICATED ON WORKING DRAWINGS.
3. ALL PLYWOOD SHALL BE MIN. 1/2" CDX EXTERIOR GRADE FOR SIDING AND MIN. 5/8" CDX FOR ROOF, DECKING, OR AS INDICATED ON PLANS.
4. ALL FRAMING LUMBER SHALL BE KILN DRIED.
5. ROOF TRUSSES WIDER THAN 24" O.C. SHALL HAVE 2" x 4" WOOD BLOCKING UNDER ALL PLYWOOD JOINTS (IF APPLICABLE).
6. PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL WITH FLOOR SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE RAFTERS & CEILING JOISTS AROUND ALL SKYLIGHT OPENINGS (IF APPLICABLE).

THERMAL & MOISTURE PROTECTION

1. INSULATION - ALL EXTERIOR WALLS, CEILING, AND ROOFS, AS INDICATED ON WORKING DRAWINGS AND PER NY STATE ENERGY & BUILDING CODE - LATEST EDITION.
2. EXTERIOR DOOR FRAMES, SADDLES AND WINDOW FRAMES AND WINDOW WALLS SHALL BE CAULKED WITH NON-BITUMINOUS, NON-STAINING "MONO" MANUFACTURED BY TREMCO OR EQUAL AND PACKED WITH INSULATION AT EDGES TO PREVENT DIRECT AIR INFILTRATION.

DOORS & WINDOWS

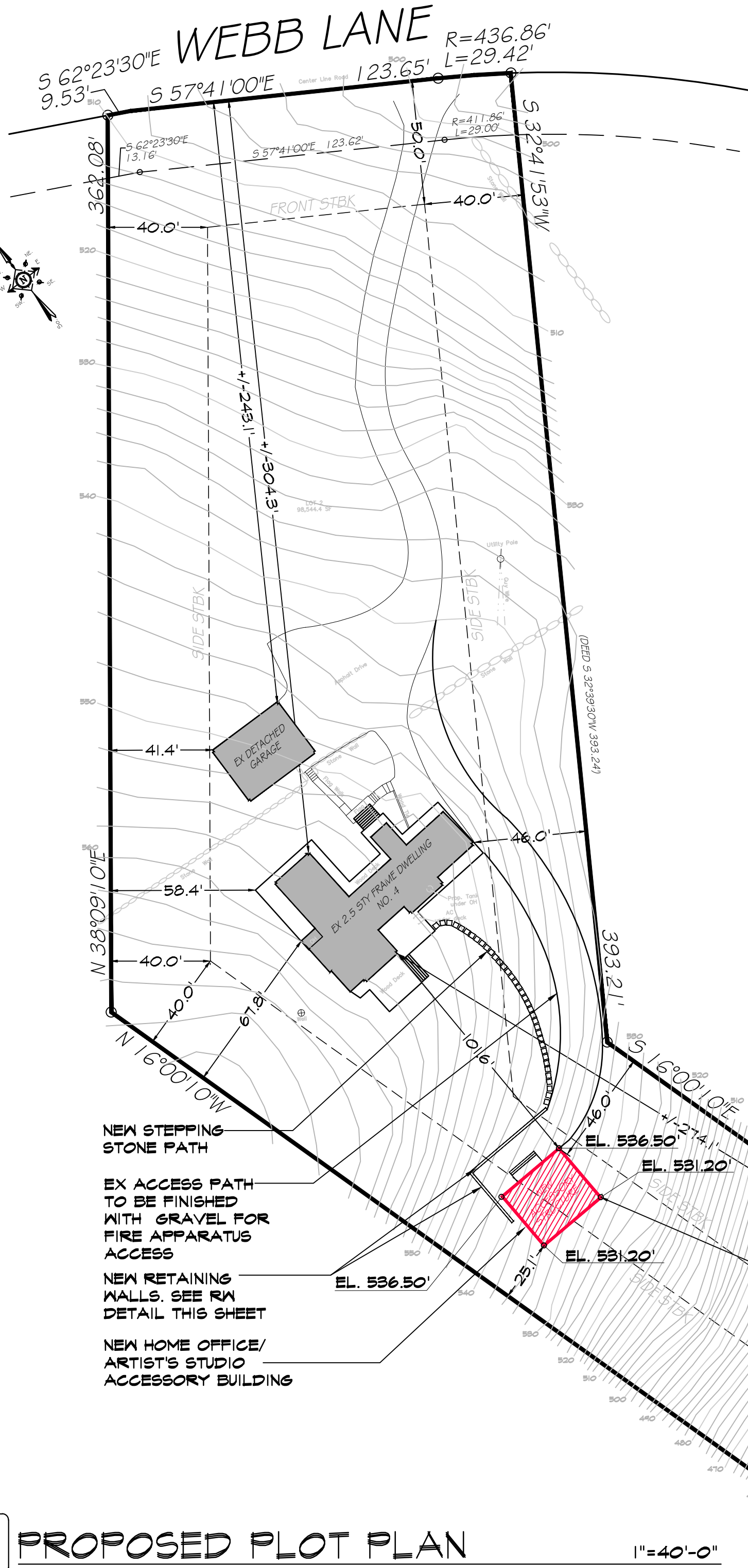
1. ALL DOORS AND WINDOWS SHALL BE SIZE, TYPE AND FIRE RATINGS INDICATED ON PLANS AND SCHEDULES. ALL GLAZING SHALL BE REGULAR DOUBLE PANE INSULATED GLASS BY ANDERSEN WINDOWS & DOORS MFG. OR APPROVED EQUIVALENT. SEE PLANS FOR ADD. INFO.
2. EXTERIOR DOORS SHALL HAVE INSULATING CORES WITH AN ALUMINUM SADDLE OR EQUIVALENT INDICATED ON PLANS. ALL DOORS TO GARAGES AND MECHANICAL ROOMS SHALL BE EQUIPPED WITH SELF-CLOSING HINGES. ALL DOOR FIRE RATINGS SHALL BE AS INDICATED ON PLANS.

FINISHES

1. CONCRETE SLAB - CONCRETE FLOOR SLABS SHALL BE CLEANED AND TREATED WITH SEALER TO HELP SLAB RESIST ABRASION WEAR, IMPACT AND CRACKING AND CONCRETE DUST. SEALER TO PREVENT PENETRATION OF WATER, OILS, GREASES AND SOLVENTS.
2. MASONRY WALLS - SPLIT-RIB BLOCK TO BE TREATED WITH WATERPROOFING AGENT UPON COMPLETION.
3. FRAME WALLS - FRAME WALLS SHALL RECEIVE GYPSUM BOARD PANELS THICKNESS - INDICATED ON PLANS WHICH SHALL RECEIVE 2 COATS OF PAINT PROVIDING A WASHABLE FINISHED SURFACE. BATHROOMS SHALL RECEIVE STANDARD GRADE CRYSTALLINE CERAMIC TILE OR PER OWNER'S INSTRUCTIONS OVER GYPSUM BOARD AS REQUIRED. ALL BATH GYPSUM BOARD SHALL BE MOISTURE RESISTANT TYPE.

ELECTRICAL

1. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A NY STATE WESTCHESTER COUNTY LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM WITH ALL PROVISIONS OF THE NYS BUILDING CODE, NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL CODES.



PROPOSED PLOT PLAN

ZONING INFO SCHEDULE

ZONING DIST: R2A

ITEM	REQ./ALLOW	EXISTING	PROPOSED
AREA	2.0 ACRES	2.26 ACRES	NO CHANGE
FRONT SETBACK (FT)			
• PRINCIPLE BLDG	50.0	304.3	NO CHANGE
• DETACHED GARAGE	50.0	243.1	NO CHANGE
ONE SIDE SETBACK (FT)			
• PRINCIPLE BLDG	40.0	38.4	NO CHANGE
• DETACHED GARAGE	40.0	41.4	NO CHANGE
• ACCESSORY BLDG	40.0	--	25.1 (1)
OTHER SIDE SETBACK (FT)			
• PRINCIPLE BLDG	40.0	46.0	NO CHANGE
• ACCESSORY BLDG	40.0	--	46.0
REAR SETBACK (FT)			
• PRINCIPLE BLDG	50.0	274.1	NO CHANGE
• ACCESSORY BLDG	50.0	157.7	NO CHANGE
BLDG COVERAGE	1.0%	9.2%	4.0%
ACCESSORY BLDG MAX SQUARE FOOTAGE (SF)	600.0	--	780.0 (2)

NOTES:

- (1) AREA VARIANCE REQUIRED

DESIGN LOADS

ROOF: LIVE LOAD SNOW 40 PSF; DEAD LOAD 10 PSF

FIRST FLR: LIVE LOAD 40 PSF; DEAD LOAD 10 PSF

WINDOW SCHEDULE

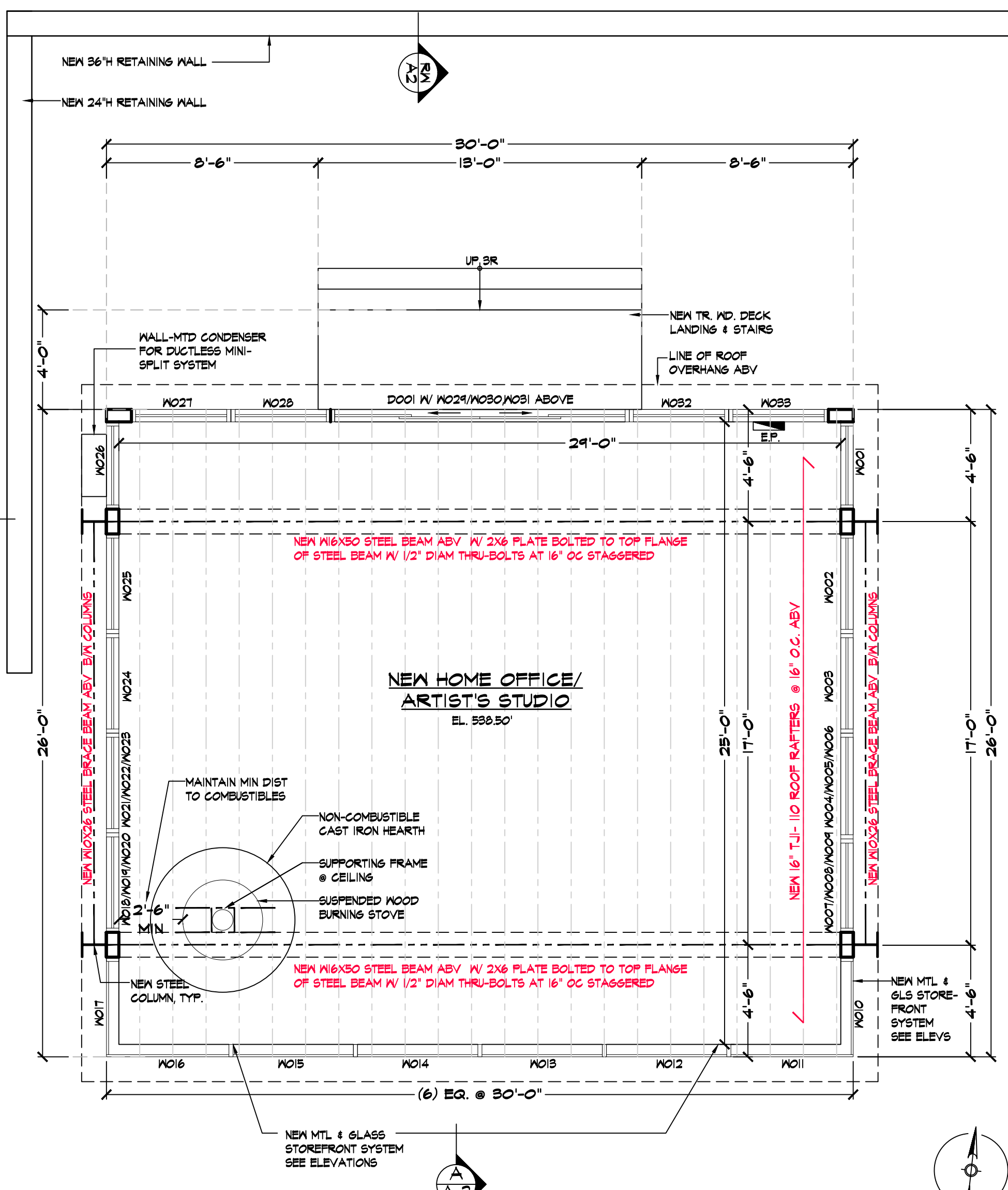
Quantity	Type	Window / Door Label	Unit Dimensions: W x H	Notes
2	Fixed Clerestory Window	W001, W026	3'-6" x 2'-0"	
19	Fixed Clerestory Window	W002, W003, W004, W005, W007, W009, W018, W020, W021, W023, W024, W025, W027, W028, W029, W030, W031, W032, W033	4'-0" x 2'-0"	
4	Double Awning Window	W005, W008, W019, W022	4'-0" x 6'-0"	
2	Fixed Storefront Window	W010, W017	4'-0" x 10'-0"	Structural silicone corner
6	Fixed Storefront Window	W011, W012, W013, W014, W015, W016	5'-0" x 10'-0"	Mulled together
1	Double Sliding Door	D001	12'-0" x 8'-0"	

SURVEY NOTES:

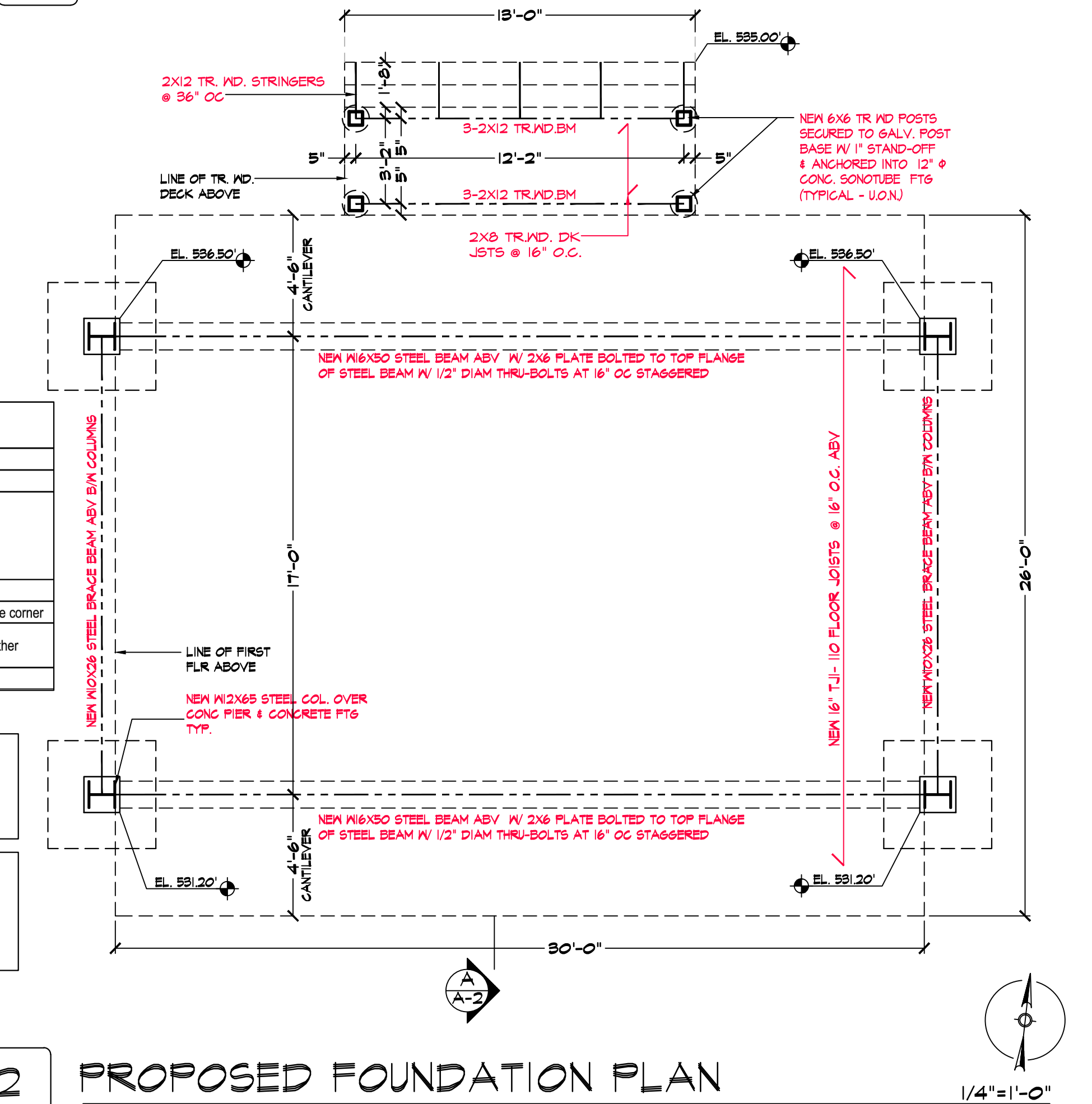
SURVEY INFORMATION TAKEN FROM SURVEY DATED JUNE 23, 2023 BY RICHARD J. SPINELLI, LICENSED LAND SURVEYOR, SPINELLI SURVEYING, MAMARONECK, NY. TOPOGRAPHICAL CONTOURS OBTAINED FROM WESTCHESTER GIS. ARCHITECT NOT RESPONSIBLE FOR SURVEY INFO. AND DIMENSIONS.

NYS ENERGY CODE COMPLIANCE STATEMENT

THIS IS TO CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE PROPOSED WORK WHICH IS SHOWN IN THE PLANS OR SPECIFICATIONS IS IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.



PROPOSED FIRST FLOOR PLAN



PROPOSED FOUNDATION PLAN

Nicholas L. Faustini Architect PC

T 914.329.1518
F 914.337.4255
nfaarchitect.com

n f

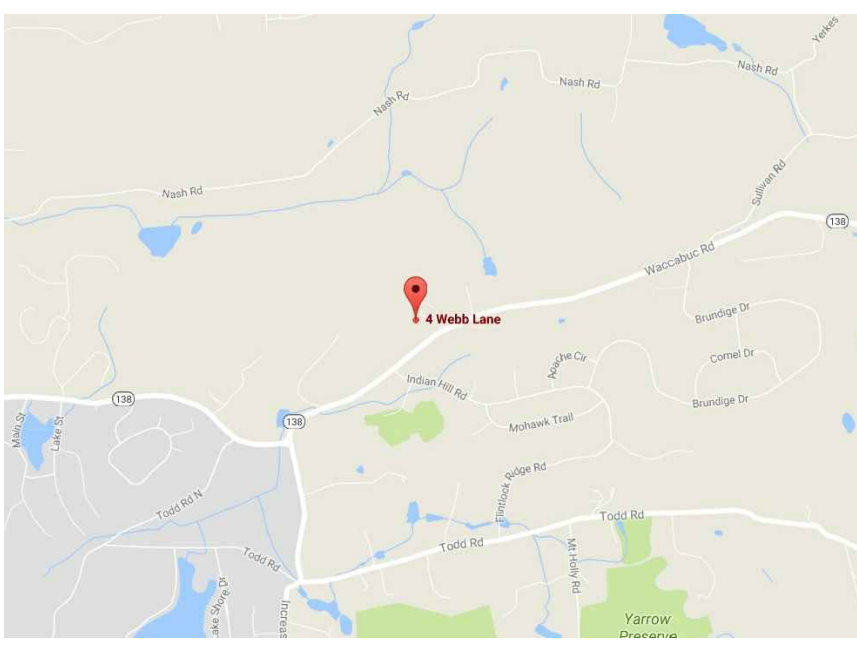
1700 Central Park Avenue, Suite C, Yonkers, NY 10710

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LOCATION MAP



NOTE:

Drawings may be printed at reduced scale

TAX MAP ID# 31.4-I-5

ZONE: R2A

LIST OF DRAWINGS

- A-1 PROPOSED PLOT PLAN, FLR PLANS & ZONING INFO
- A-2 PROPOSED EXTERIOR ELEVATIONS
- A-3 PROPOSED SECTION DETAILS & ELECTRICAL LAYOUT
- A-4 MISCELLANEOUS DETAILS

-- 06.27.23 ISSUED FOR DOB FILING

-- 06.14.23 STRUCTURAL UPDATE

-- 04.14.23 ISSUED FOR CLIENT REVIEW

NO. DATE ISSUE/REV.

CLIENT

JAMES VAUTIN
4 WEBB LANE, GOLDENS BRIDGE, NY 10526

PROJECT

PROPOSED HOME OFFICE / ARTIST'S STUDIO
ACCESSORY BUILDING DESIGN FOR:

4 WEBB LANE, GOLDENS BRIDGE, NY 10526

DRAWINGS TITLE

PROPOSED FLOOR PLANS & ZONING INFO

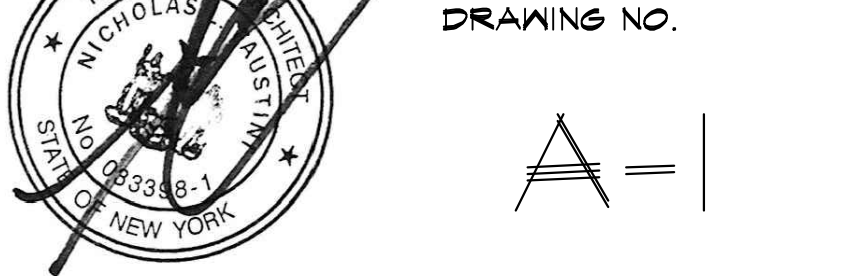
DRAWN BY VB

CHECKED BY NF

PROJECT NO. 22.0813

DATE 06.27.23

DRAWING NO.



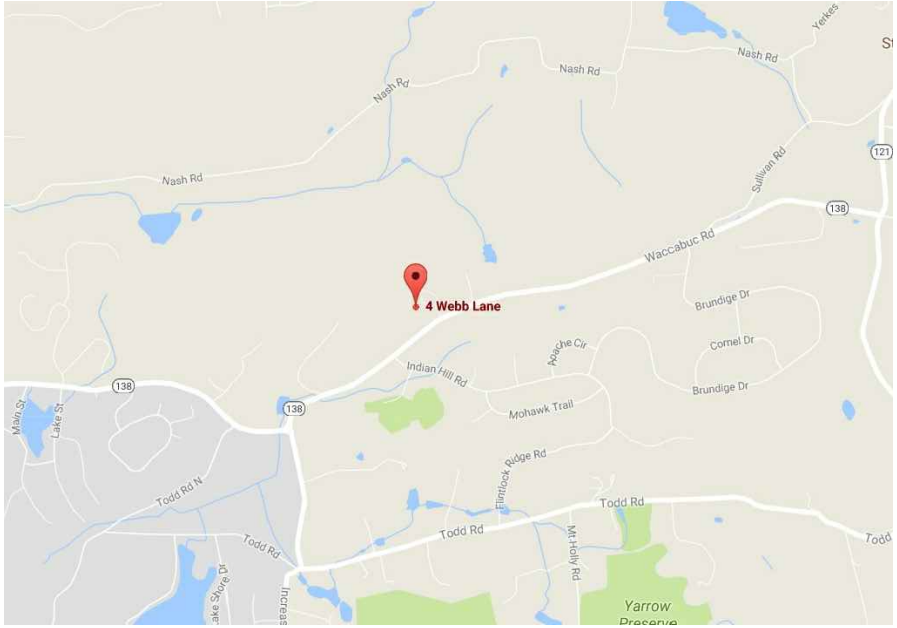
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LOCATION MAP



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TAX MAP ID# 31.4-1-5 ZONE: R2A

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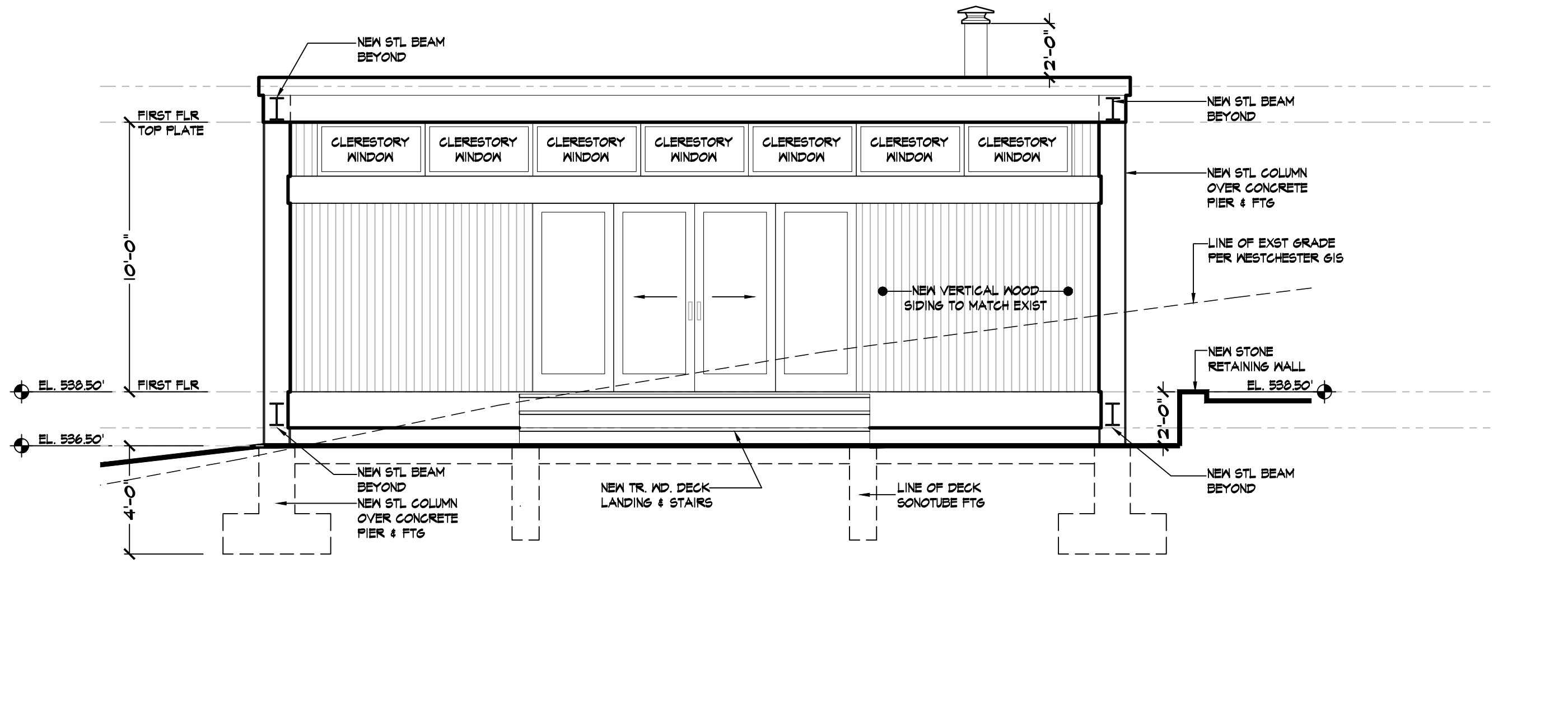
CLIENT
JAMES VAUTIN
4 WEBB LANE, GOLDENS BRIDGE, NY 10526

PROJECT
PROPOSED HOME OFFICE / ARTIST'S STUDIO
ACCESSORY BUILDING DESIGN FOR:
4 WEBB LANE, GOLDENS BRIDGE, NY 10526

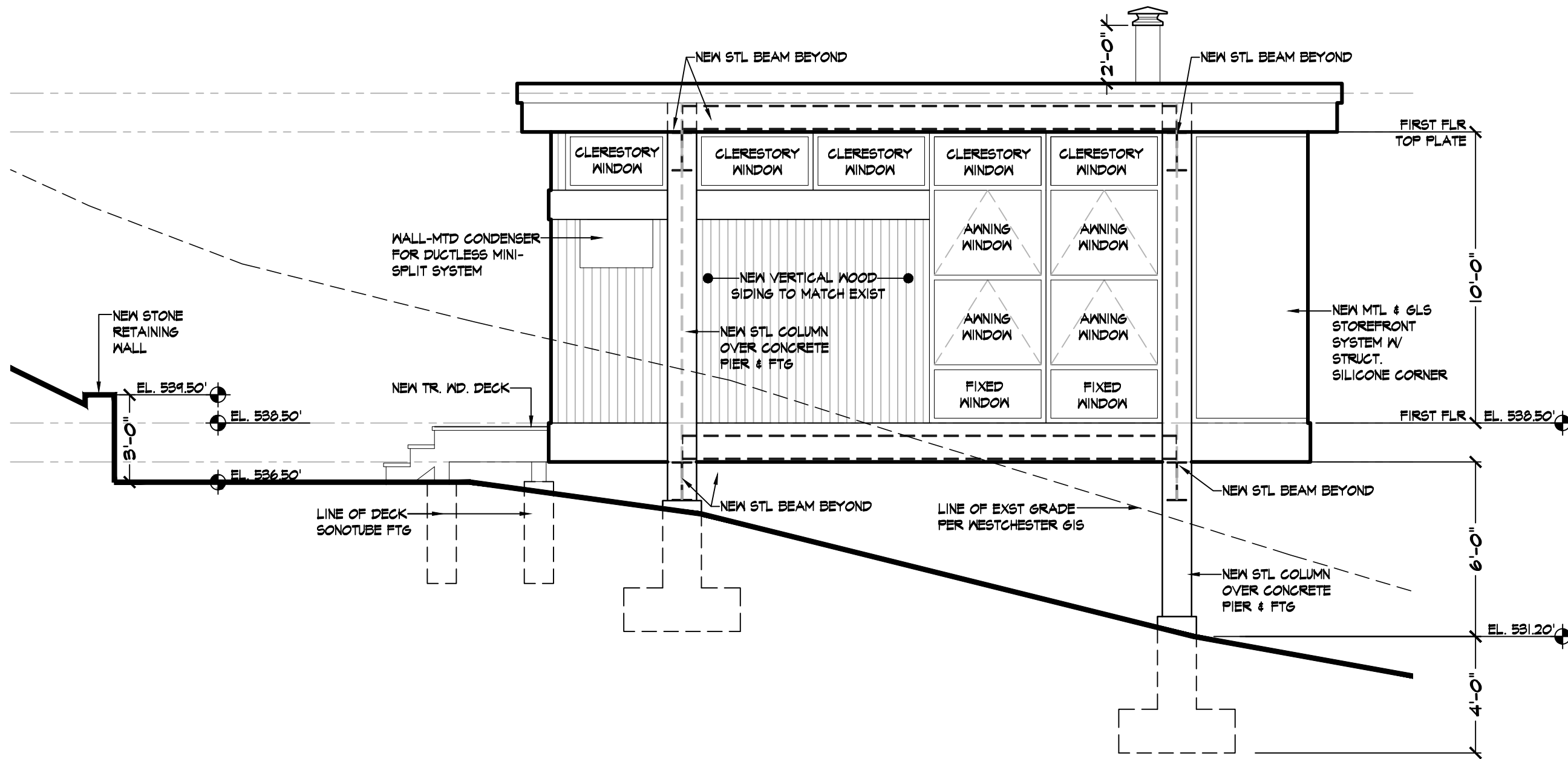
DRAWINGS TITLE
PROPOSED EXTERIOR ELEVATIONS

DRAWN BY VB CHECKED BY NF PROJECT NO. 22.0813

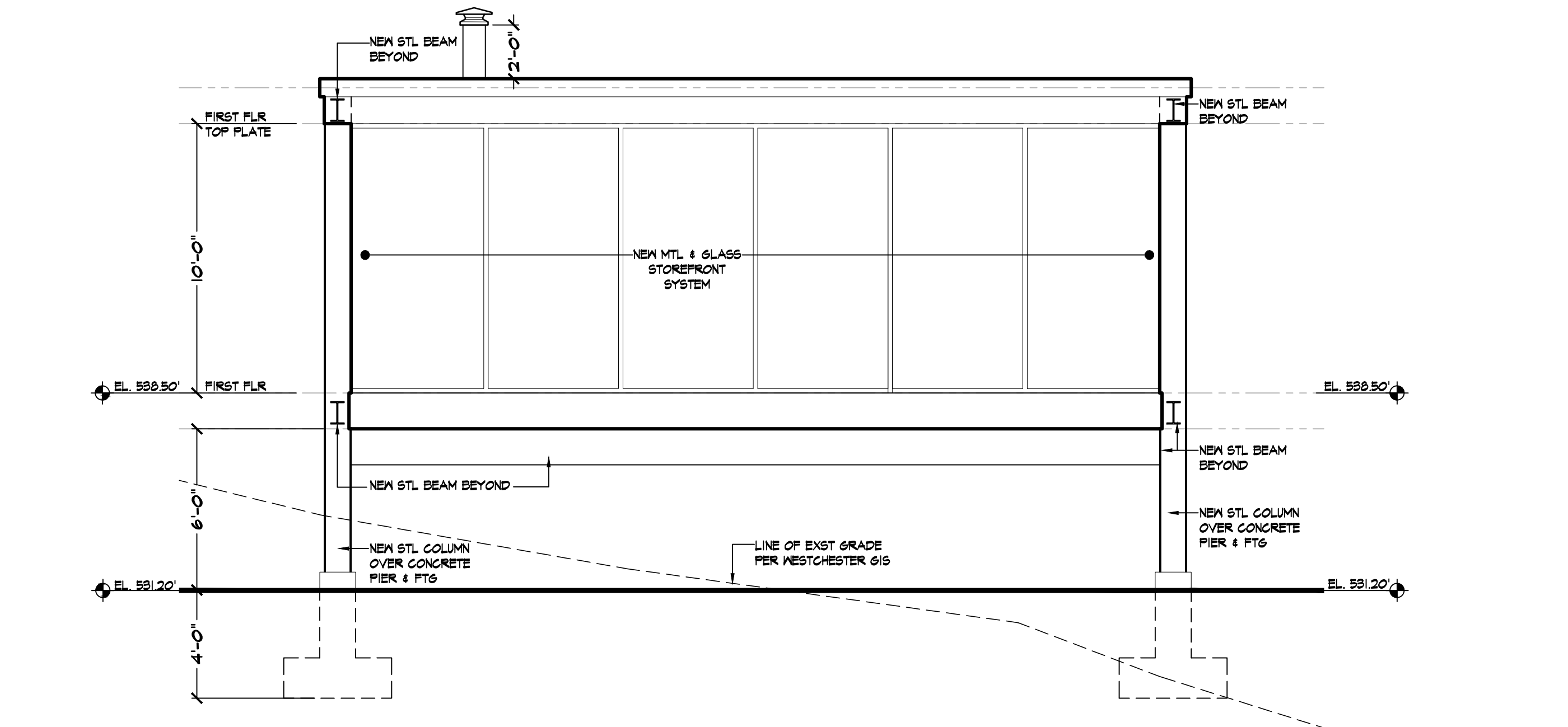
DATE 06.27.23
DRAWING NO.



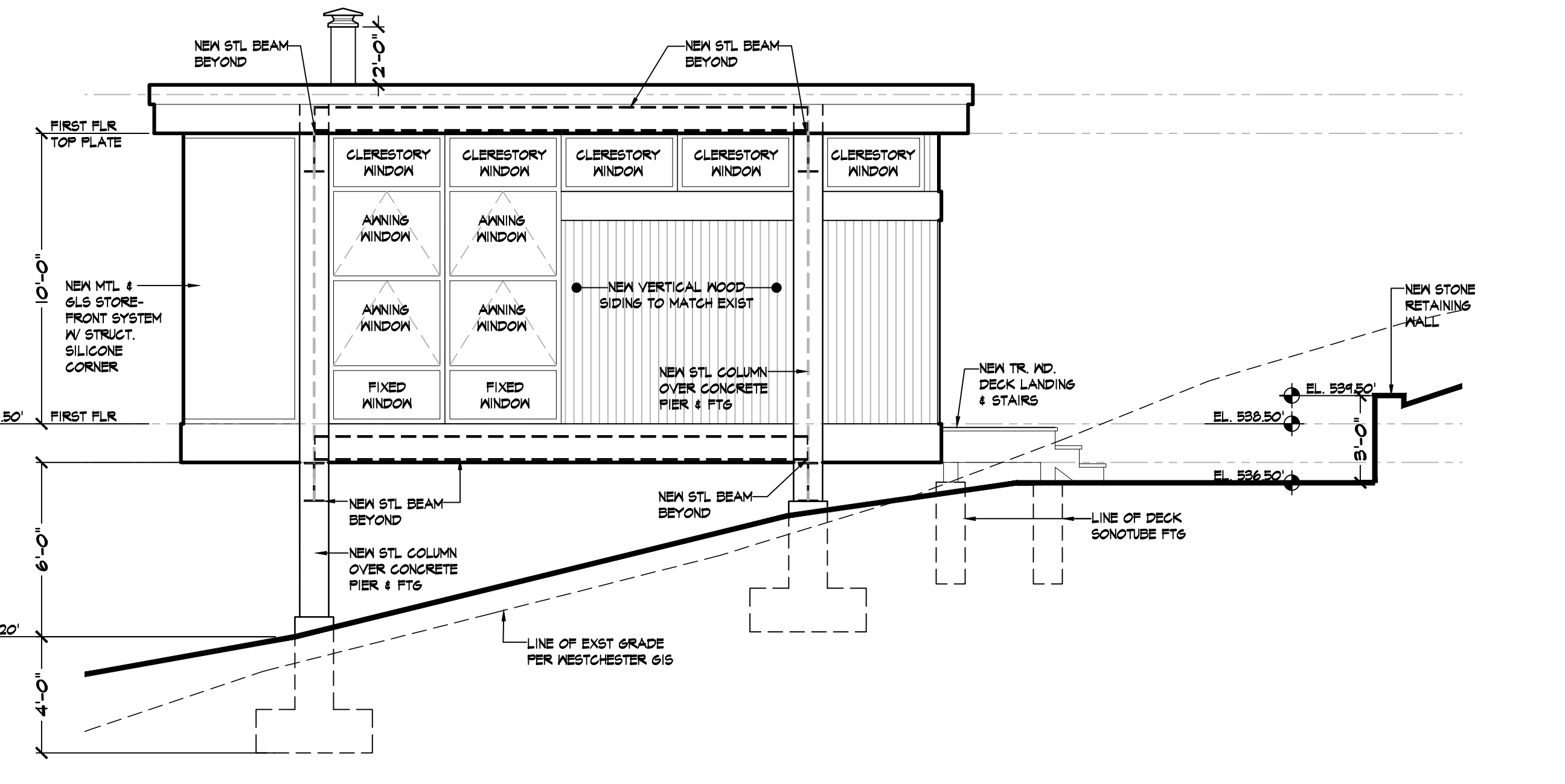
E1 PROPOSED FRONT EXTERIOR ELEVATION scale: 1/4"=1'-0"



E2 PROPOSED RIGHT SIDE EXTERIOR ELEVATION scale: 1/4"=1'-0"



E3 PROPOSED REAR EXTERIOR ELEVATION scale: 1/4"=1'-0"



E4 PROPOSED LEFT SIDE EXTERIOR ELEVATION scale: 1/4"=1'-0"

STEEL & CONC DESIGN DATA

STEEL DESIGN DATA

STRUCTURAL STEEL:
N SHAPES
TUBE COLUMNS
HIGH STRENGTH BOLTS:
SHAPES & PLATES
WELDING ELECTRODES - SERIES:
ANCHOR BOLTS:

ASTM A442 GR 50
ASTM - A500, GRADE B
ASTM - A325
ASTM - A36
E10
F1554 (PY=36KSI)

CONCRETE DESIGN DATA

1. ALL CONCRETE WORK (BOTH MATERIALS & CONSTRUCTION PROCEDURES) SHALL BE IN ACCORDANCE WITH ACI 318-2008
2. CONCRETE SHALL BE CAPABLE OF DEVELOPING A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
3. REINFORCING BARS SHALL BE DEFORMED BILLET STEEL BARS IN ACCORDANCE W/ ASTM A615, GRADE 60. ALL DETAILING OF REINFORCING SHALL BE IN ACCORDANCE WITH ACI 318 STANDARD 215.
4. CALCIUM CHLORIDE OR SOLUTIONS CONTAINING CHLORIDE WILL NOT BE PERMITTED AS ADMIXTURES IN ANY CONCRETE.
5. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
BEAMS AND COLUMN TIES: 1/2" FOR #5 OR SMALLER,
2" FOR #6 OR LARGER SLABS: 3/4".
FOOTINGS AND PADS POURED ON GROUND: 3".
6. DETAILING & FABRICATION OF REINFORCING U.O.N. SHALL BE IN ACCORDANCE WITH ACI 318, LATEST EDITION
7. PLACING & SUPPORTS OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH CRSI, "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS" AND ACI-318.

DW DRY STONE WALL DETAIL

1 1/2" MIN. 12" MIN. MAXIMUM SLOPE
GRAVEL FILL FOR DRAIN
1 1/2" FLAT STONES PREFERRED (25% OF STONES MUST BE HEADER-TYPE: LENGTH 2 1/2 TIMES THICKNESS)
BATTER
SLOPE JOINTS INTO HILL
PLACE STONES ON UNDISTURBED SOIL (BELOW LINE)
1'-6" MIN.

NOTE
Stagger vertical joints from course to course 6 in. min. horizontally. The thickness of the wall at any point should not be less than half the distance from that point to the top of the wall.

SF: SILT FENCE DETAIL

Scale: N.T.S.

10'-0" O.C. MAX.
36" L.S. POSTS DRIVEN INTO GROUND 16"
BOTTOM OF FABRIC
ELEVATION
SECTION
FLOW
EMBED FABRIC INTO SOIL UNDISTURBED SOIL
MOVEN WIRE FENCE
WOOD POST
FILTER FABRIC

SILT FENCE CONSTRUCTION SPECIFICATIONS:
1. MOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POST SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO MOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE MOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA 1100N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOPAB, ENVIRFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE.
6. NEW SILT FENCE TO BE PLACED 24" FROM PROPERTY LINES, FENCING AND UNDISTURBED BUFFER AREAS AS REQUIRED BY LOCAL CODE.
NOTE: WORK SHALL COMPLY WESTCHESTER COUNTY'S BEST MANAGEMENT PRACTICES MANUAL FOR CONSTRUCTION RELATED ACTIVITIES, STANDARDS & SPECIFICATIONS AS APPLICABLE.

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND	WIND DESIGN	SEISMIC DESIGN	SUBJECT TO DAMAGE FROM	WINTER DESIGN	ICE BARRIER	FLOOD	AIR FREEZING	MEAN ANNUAL
SNOW LOAD	Speed effects k	Topographic Special wind region l	Weathering a	Frost line depth b	Termites c	UNDERLAYMENT	HAZARDS g	INDEX I
20 psf	115	NO	YES	NO	B	SEVERE	3"-6"	TO HEAVY
								15deg.F
								YES
								See Below
								1500
								52deg.F

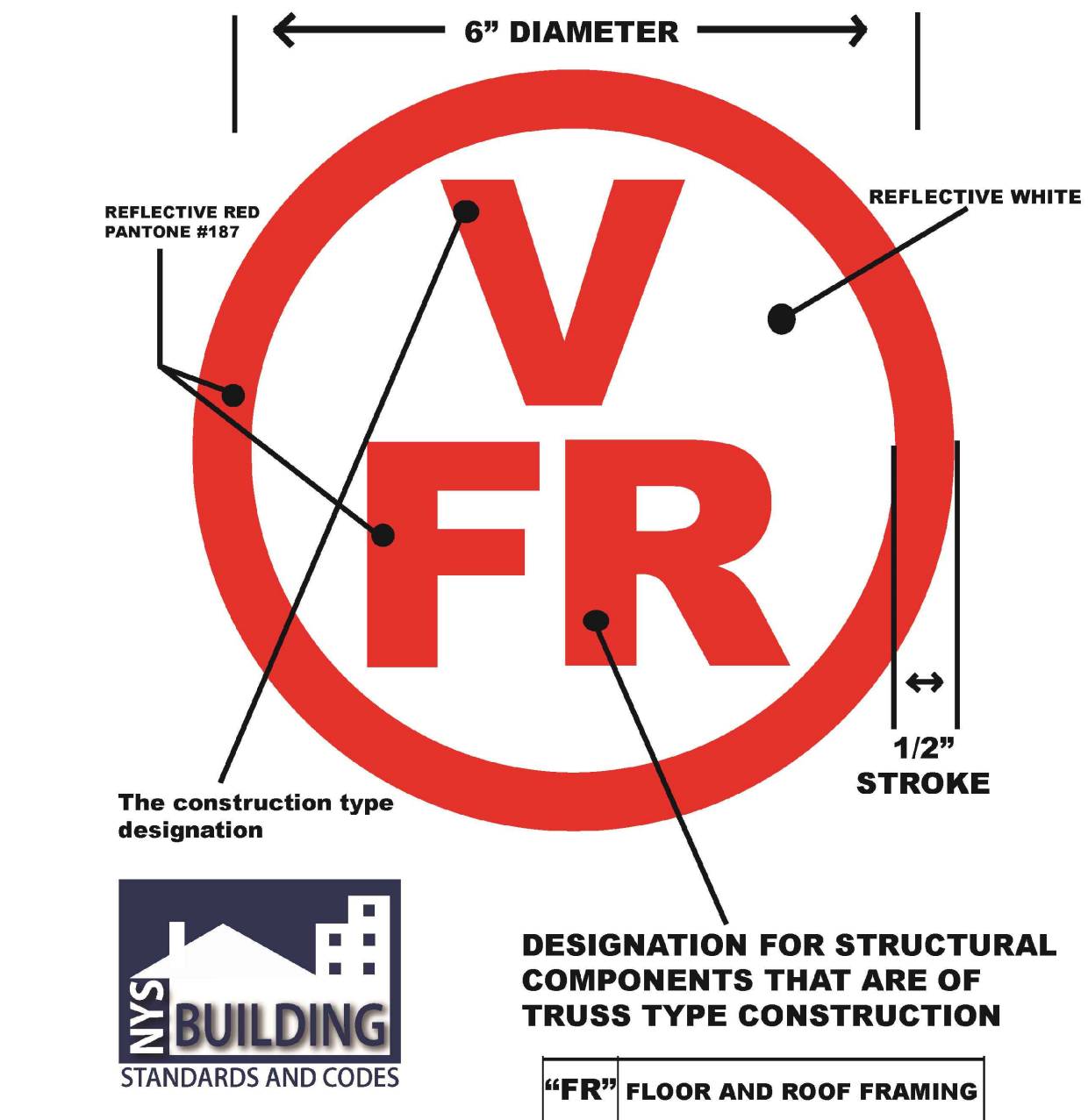
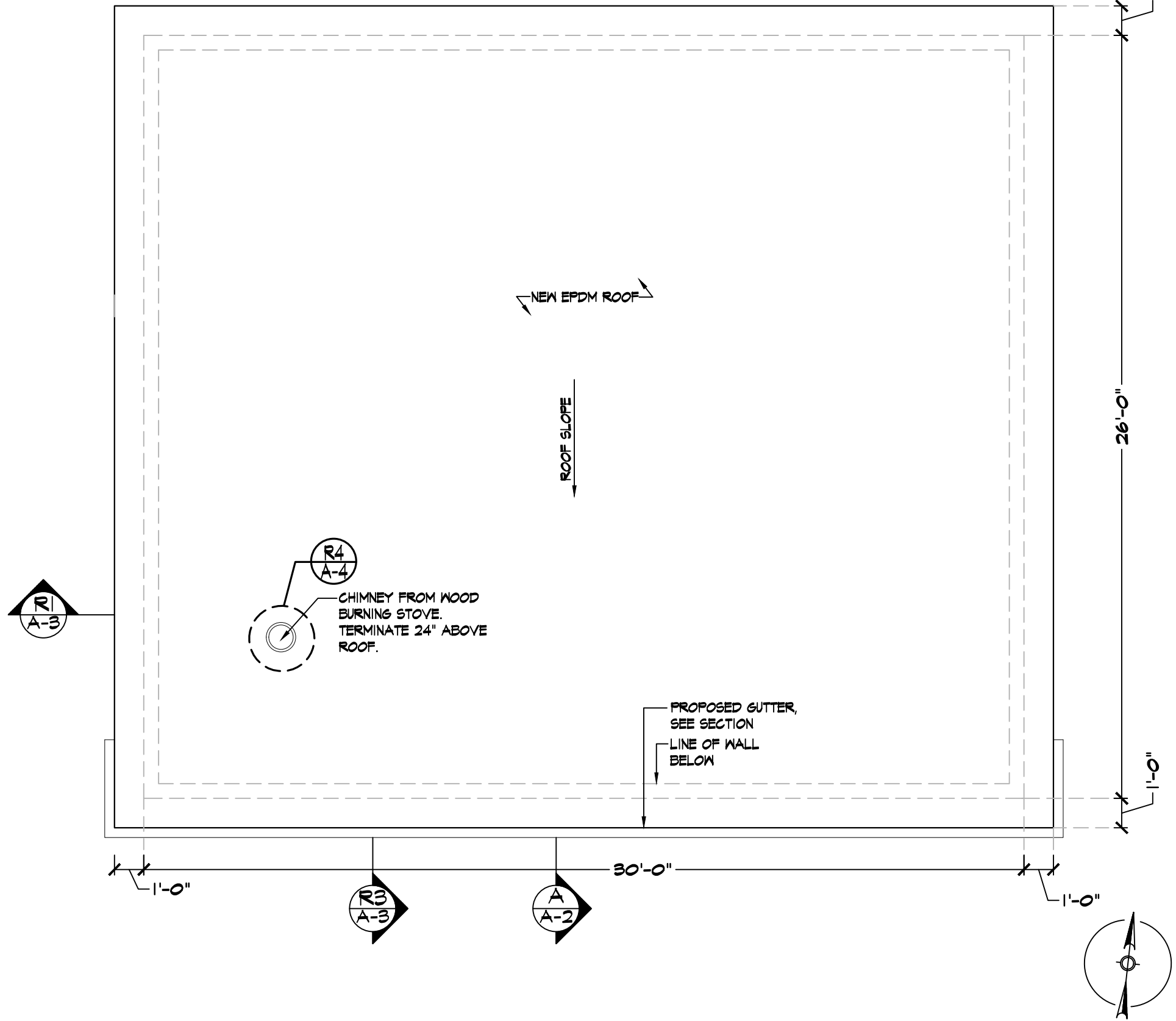
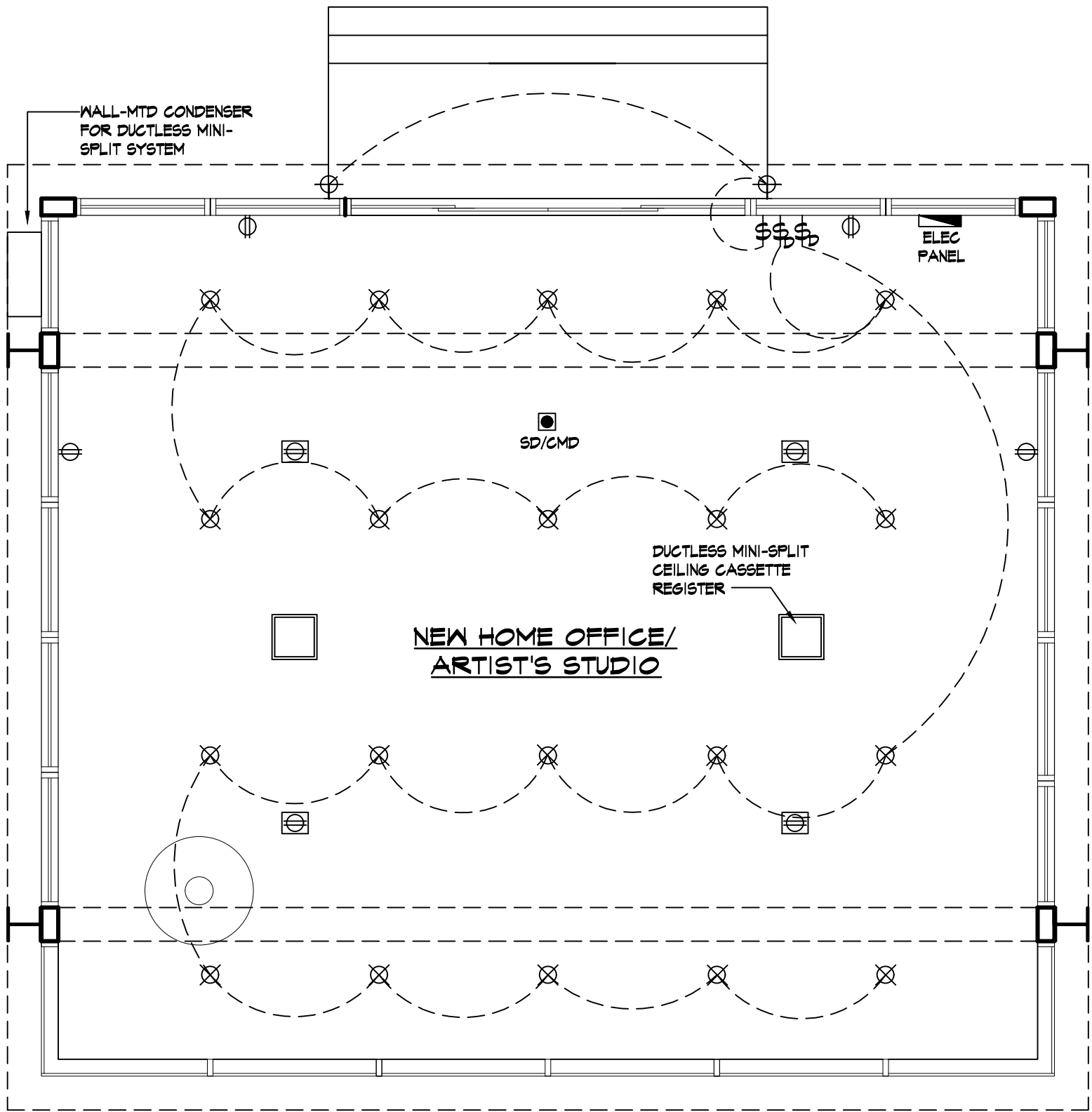
FLOOD HAZARDS:
(a) first code date of adoption July 9, 1980 (b) date of Flood Insurance Study Jan. 21, 1998 (c) map panel numbers 36119C0307F through 36119C0338F effective Sept. 28, 2007

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATEZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED PENETRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACEWALL R-VALUE
4	0.32	0.65	0.4	49	20 or 13+5	8/13	19	10/13	10, 2 FT	10/13

TABLE R402.1.4 EQUIVALENT U-FACTORS

4	0.32	0.65	0.026	0.06	0.098	0.047	0.059	0.065
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PRE-ENGINEERED WOOD STRUCTURE STICKER SECTION 1265.5. SIGN OR SYMBOL.

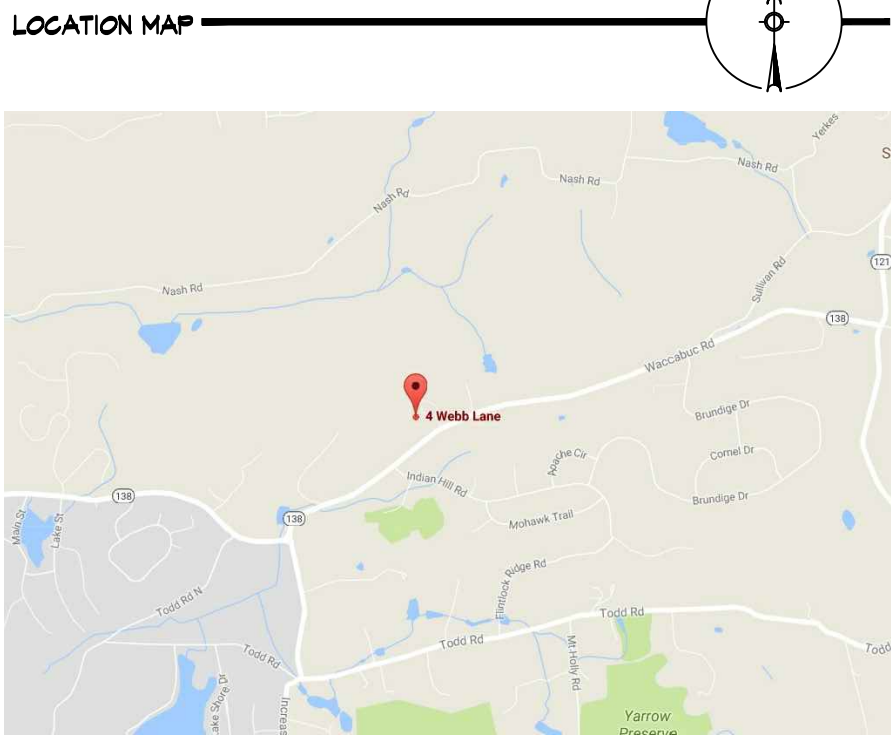
(A) WHEN TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION, AND/OR TIMBER CONSTRUCTION IS UTILIZED IN THE CONSTRUCTION OF A NEW RESIDENTIAL STRUCTURE OR IN AN ADDITION TO OR REHABILITATION OF AN EXISTING RESIDENTIAL STRUCTURE, SUCH RESIDENTIAL STRUCTURE SHALL BE IDENTIFIED BY A SIGN OR SYMBOL IN ACCORDANCE WITH THE PROVISIONS OF THIS PART.

(B) THE SIGN OR SYMBOL REQUIRED BY THIS PART SHALL BE AFFIXED TO THE ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE; PROVIDED, HOWEVER, THAT:

(1) IF AFFIXING THE SIGN OR SYMBOL TO THE ELECTRIC BOX WOULD OBSCURE ANY METER ON THE ELECTRIC BOX OR IF THE UTILITY PROVIDING ELECTRIC SERVICE TO THE RESIDENTIAL STRUCTURE DOES NOT ALLOW THE SIGN OR SYMBOL TO BE AFFIXED TO THE ELECTRIC BOX, THE SIGN OR SYMBOL SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE AT A POINT IMMEDIATELY ADJACENT TO THE ELECTRIC BOX; AND

(2) IF NO ELECTRIC BOX IS ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE OR IF, IN THE OPINION OF THE AUTHORITY HAVING JURISDICTION, THE ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE BUILDING IS NOT LOCATED IN A PLACE LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE, THE SIGN OR SYMBOL REQUIRED BY THIS PART SHALL BE AFFIXED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE IN A LOCATION APPROVED BY THE AUTHORITY HAVING JURISDICTION AS A LOCATION LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE.

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NOTE:
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TAX MAP ID# 31.4-1-5 ZONE: R2A

LIST OF DRAWINGS	
A-1	PROPOSED PLOT PLAN, FLR PLANS & ZONING INFO
A-2	PROPOSED EXTERIOR ELEVATIONS
A-3	PROPOSED SECTION DETAILS & ELECTRICAL LAYOUT
A-4	MISCELLANEOUS DETAILS

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-- 06.14.23 STRUCTURAL UPDATE
-- 04.14.23 ISSUED FOR CLIENT REVIEW

NO.	DATE	ISSUE/REV.
-----	------	------------

CLIENT
JAMES VAUTIN
4 WEBB LANE, GOLDENS BRIDGE, NY 10526

PROJECT
PROPOSED HOME OFFICE / ARTIST'S STUDIO
ACCESSORY BUILDING DESIGN FOR:
4 WEBB LANE, GOLDENS BRIDGE, NY 10526

DRAWINGS TITLE
PROP. SECTION DETAILS & ELEC LAYOUT

DRAWN BY VB CHECKED BY NF PROJECT NO. 22.0813

DATE 06.27.23
DRAWING NO. A-3

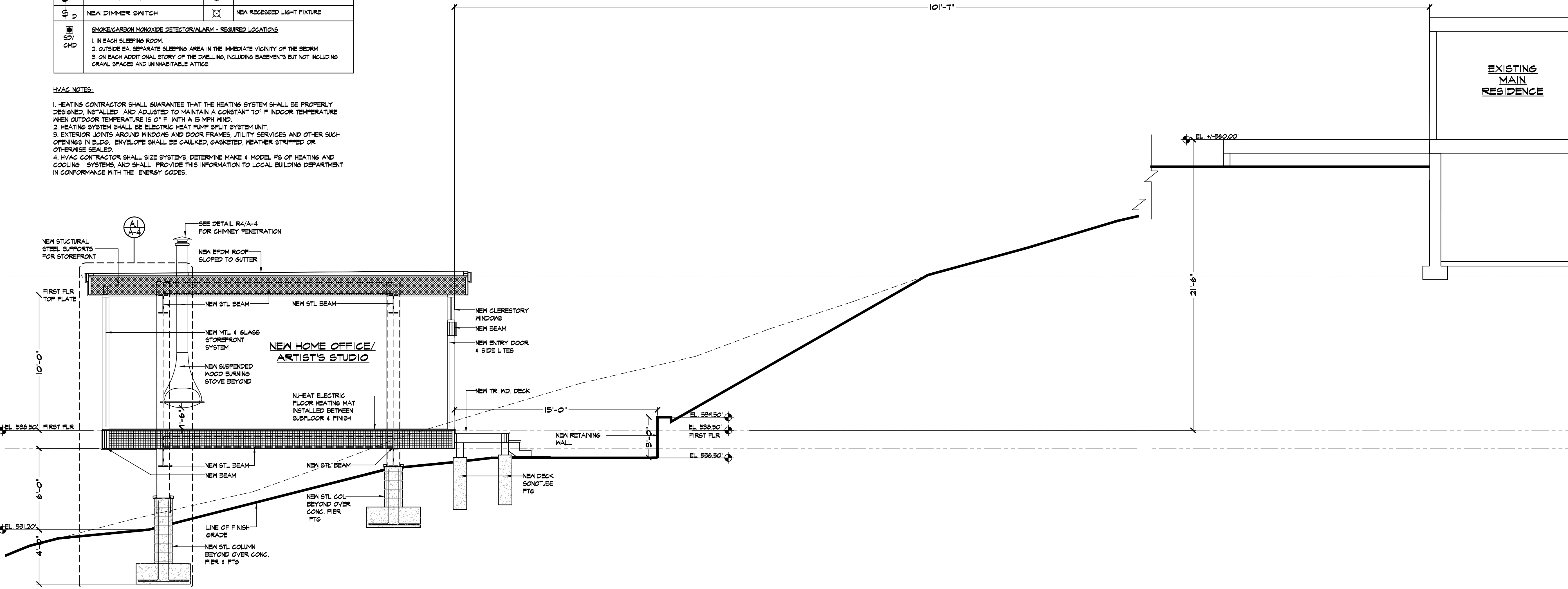


1 PROPOSED FIRST ELECTRICAL PLAN 1/4"=1'-0"

2 PROPOSED ROOF PLAN 1/4"=1'-0"

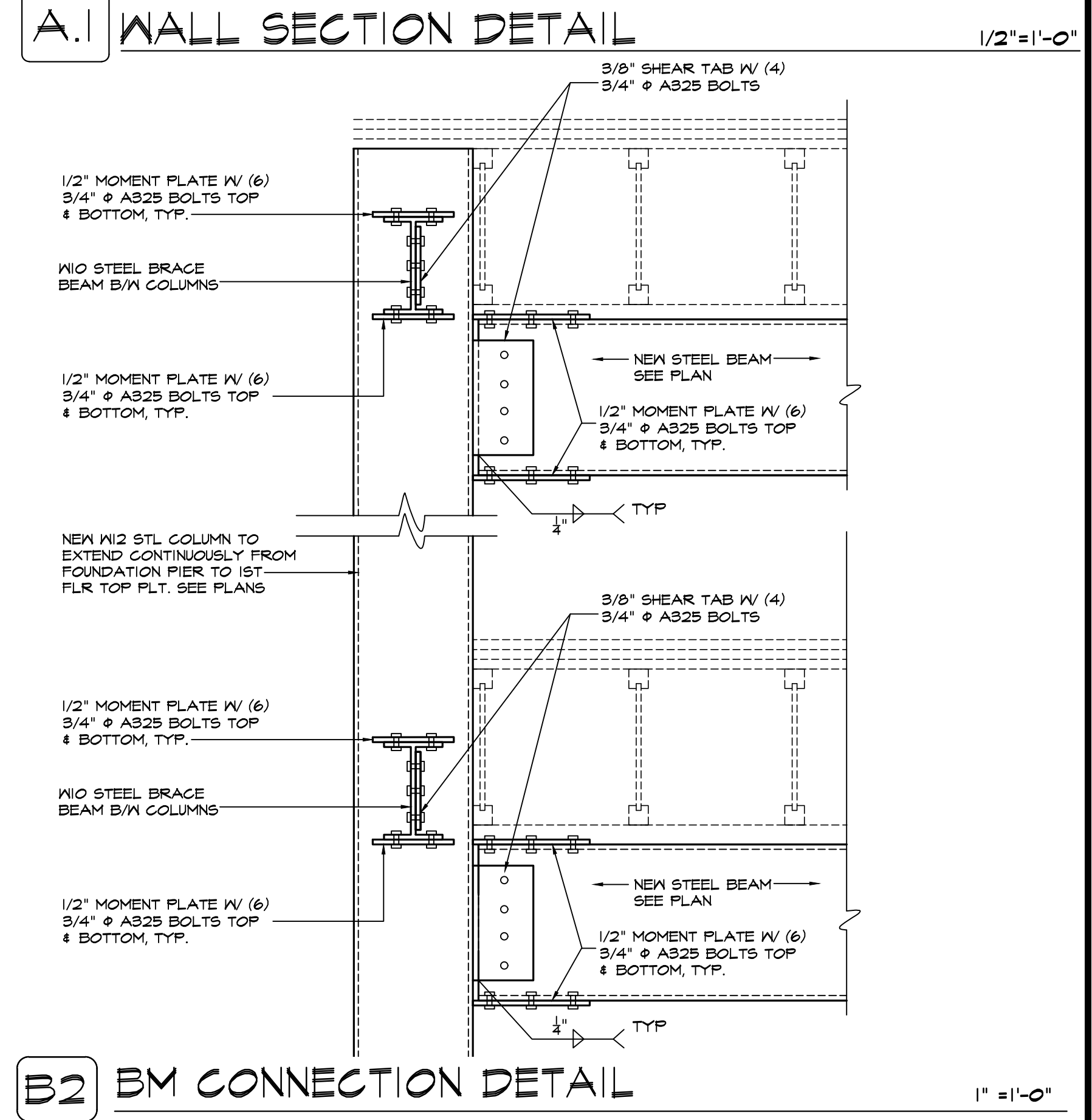
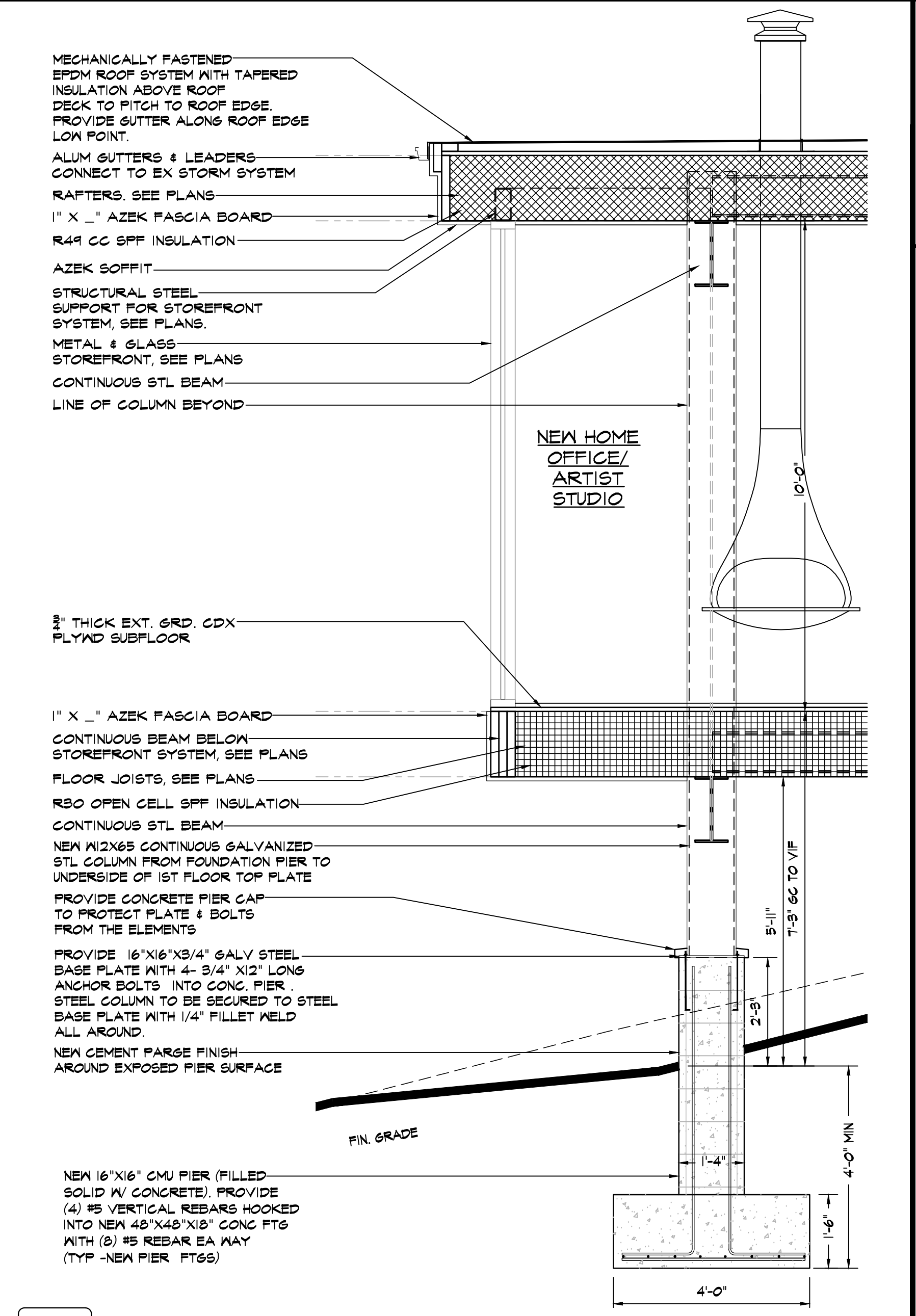
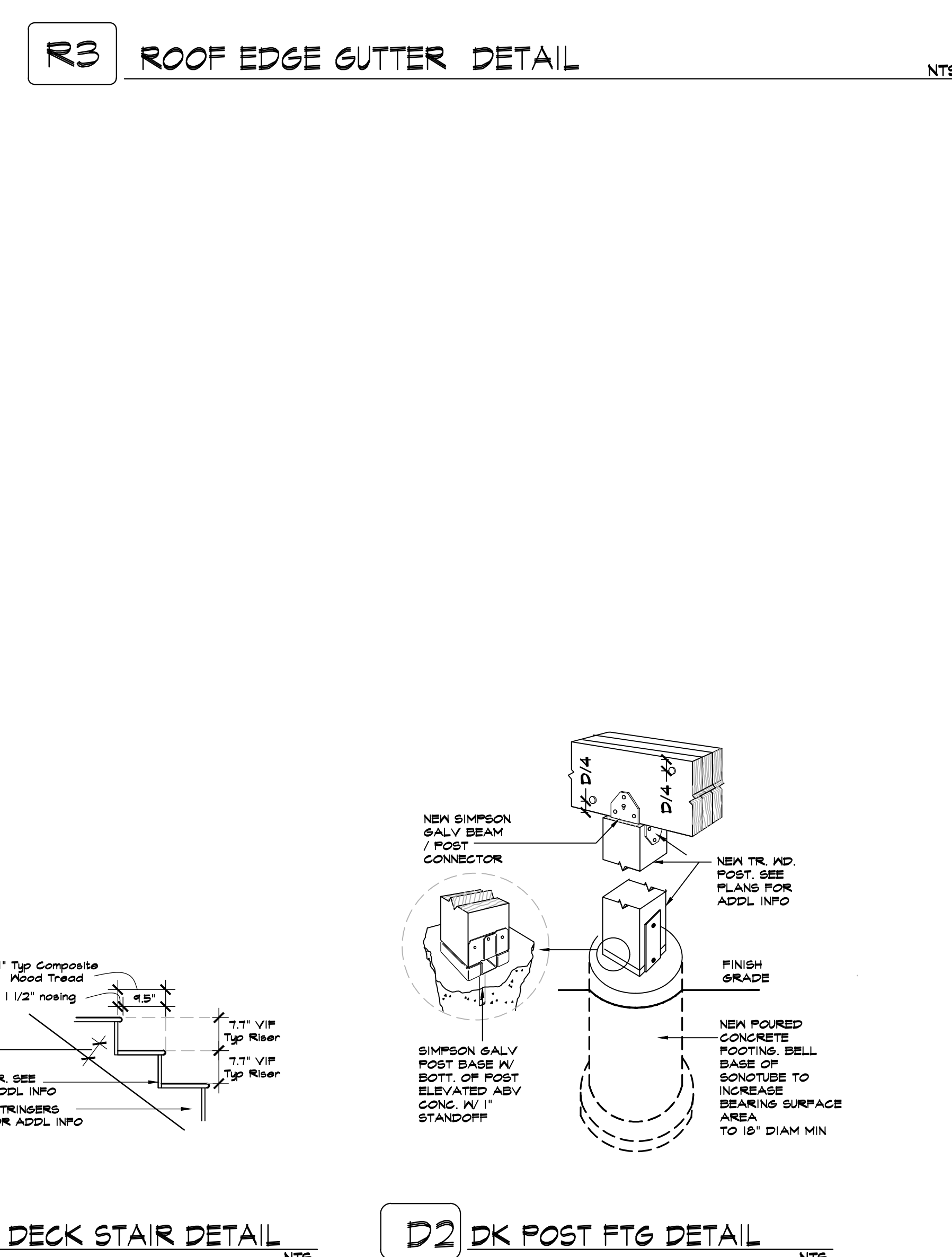
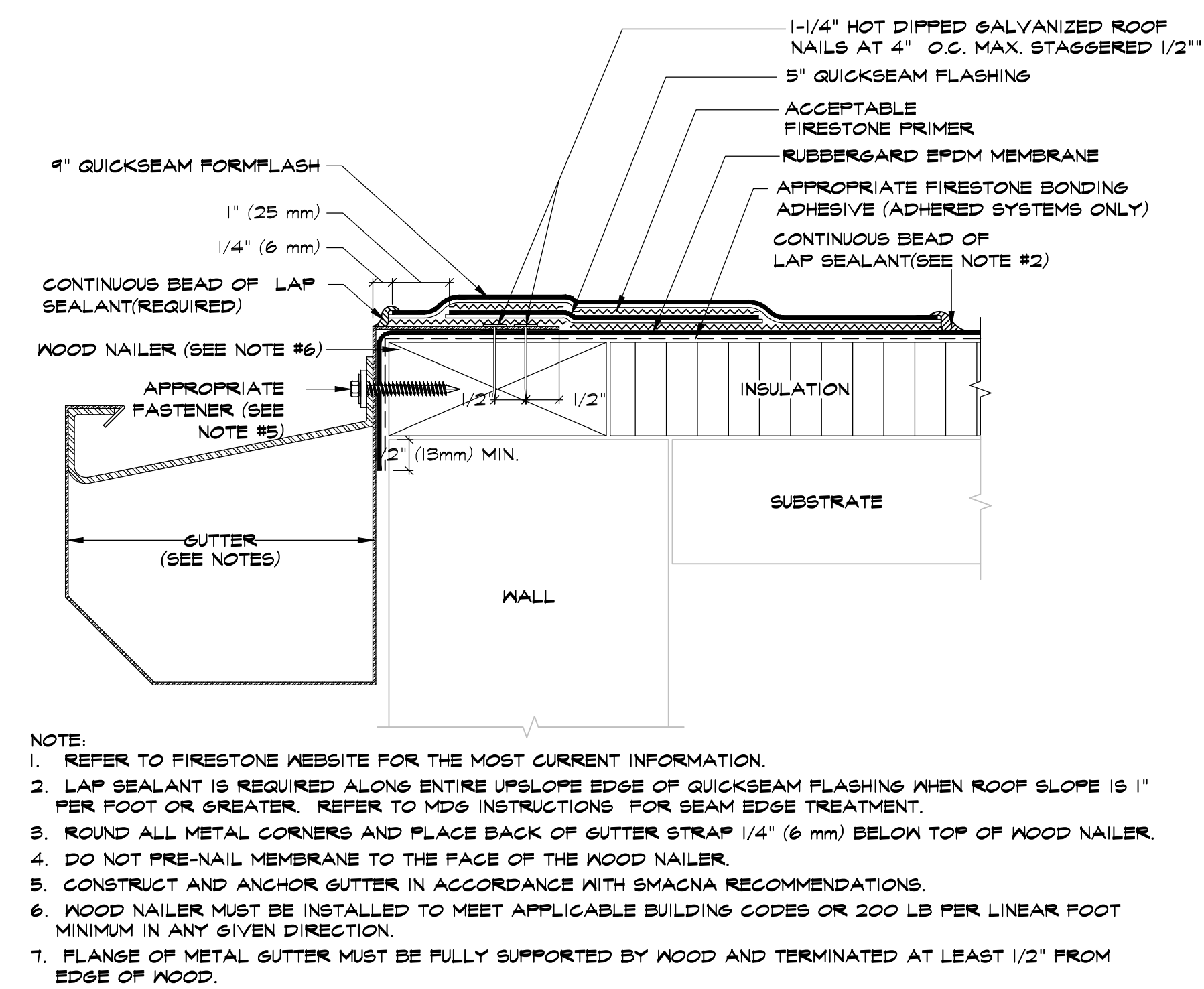
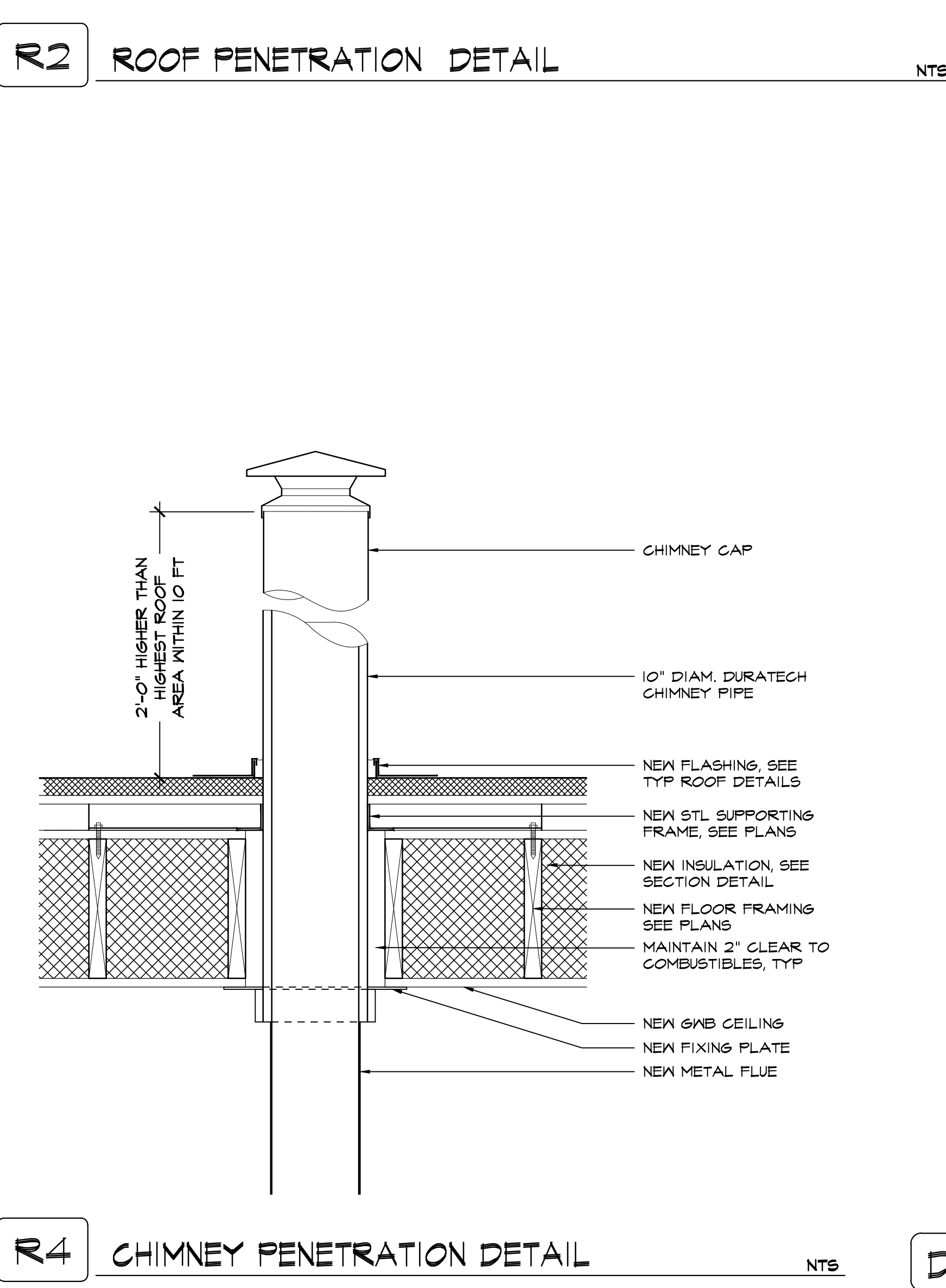
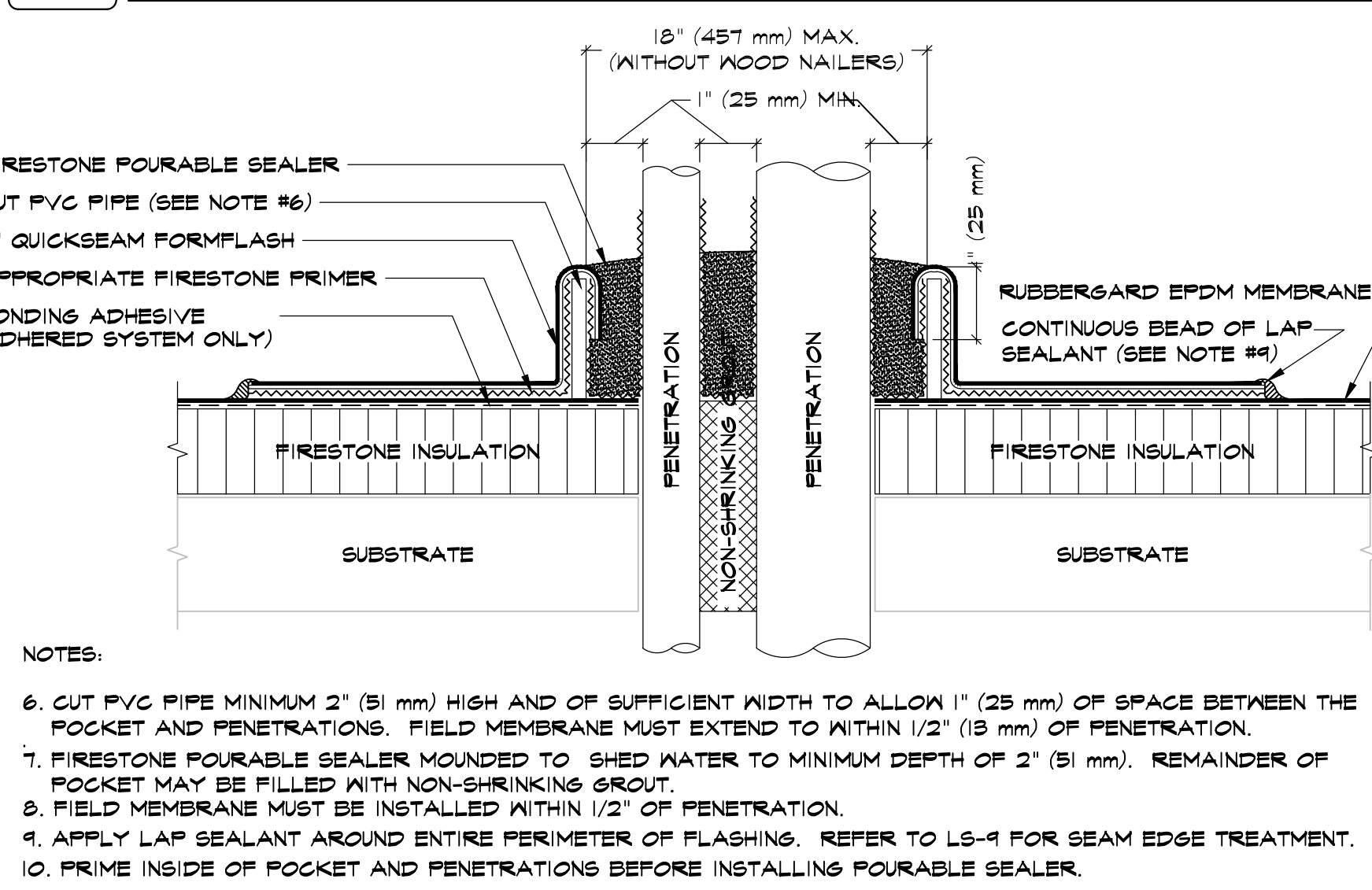
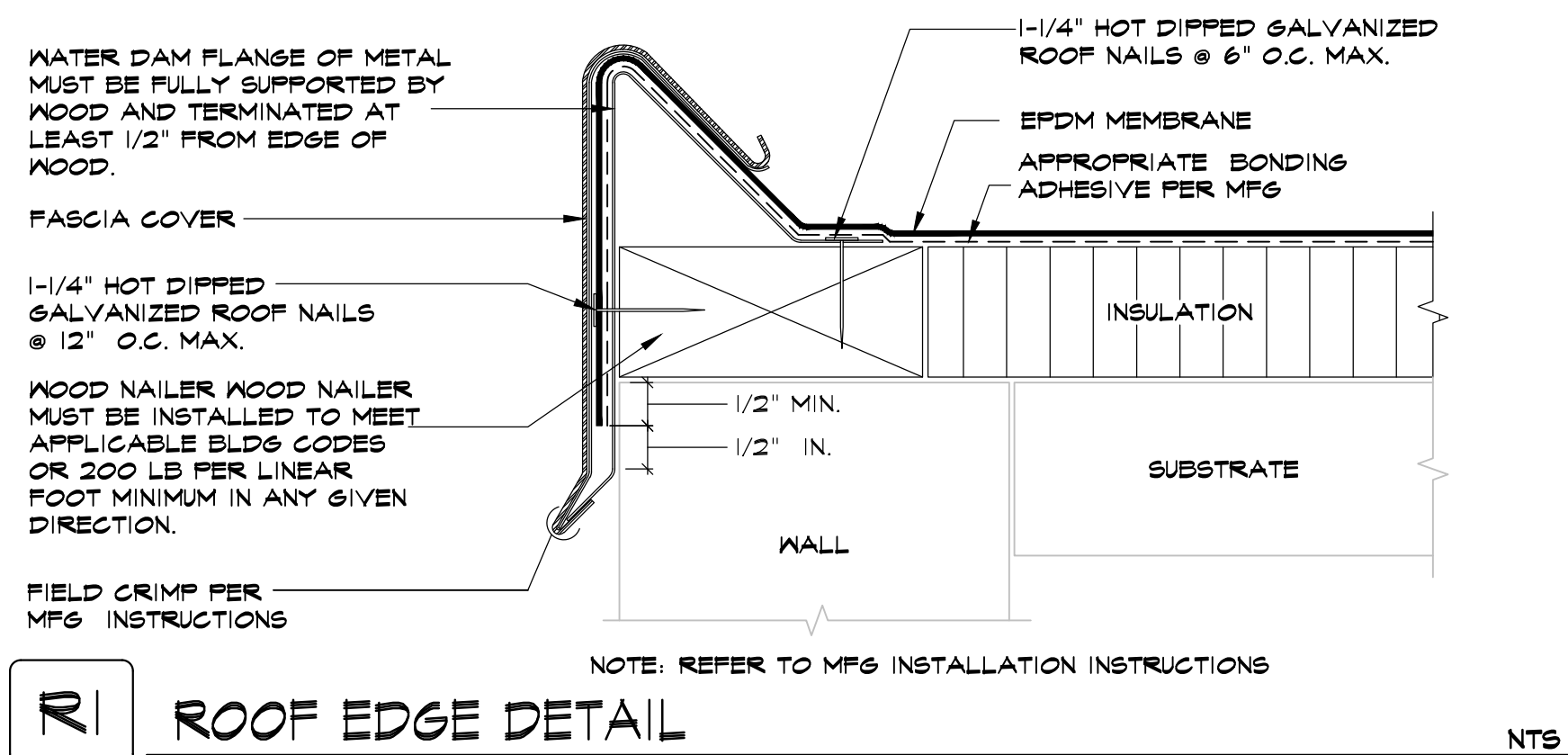
ELECTRICAL LEGEND		
	NEW WALL MTD DUPLEX OUTLET	
	NEW SINGLE POLE SWITCH	
	NEW DIMMER SWITCH	
	SMOKE/CARBON MONOXIDE DETECTOR/ALARM - REQUIRED LOCATIONS	
	1. IN EACH SLEEPING ROOM.	
	2. OUTSIDE EA. SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDRM	
	3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING GARAGE SPACES AND UNINHABITABLE ATTICS.	

HVAC NOTES:
1. HEATING CONTRACTOR SHALL GUARANTEE THAT THE HEATING SYSTEM SHALL BE PROPERLY DESIGNED, INSTALLED AND ADJUSTED TO MAINTAIN A CONSTANT 70° F INDOOR TEMPERATURE WHEN OUTDOOR TEMPERATURE IS 0° F WITH A 15 MPH WIND.
2. HEATING SYSTEM SHALL BE ELECTRIC HEAT PUMP SPLIT SYSTEM UNIT.
3. EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, UTILITY SERVICES AND OTHER SUCH OPENINGS IN BLDG. ENVELOPE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED.
4. HVAC CONTRACTOR SHALL SIZE SYSTEMS, DETERMINE MAKE & MODEL #S OF HEATING AND COOLING SYSTEMS, AND SHALL PROVIDE THIS INFORMATION TO LOCAL BUILDING DEPARTMENT IN CONFORMANCE WITH THE ENERGY CODES.



A PROPOSED CROSS SECTION

scale: 1/4"=1'-0"



Nicholas L. Faustini Architect PC

T 914.329.1518
F 914.337.4255
nlfarchitect.com

1700 Central Park Avenue, Suite C, Yonkers, NY 10710

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LOCATION MAP

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TAX MAP ID# 31.4-1-5

ZONE: R2A

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A-3 PROPOSED SECTION DETAILS & ELECTRICAL LAYOUT
A-4 MISCELLANEOUS DETAILS

NO. DATE ISSUE/REV.

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CLIENT

JAMES VAUTIN
4 WEBB LANE, GOLDENS BRIDGE, NY 10526

PROJECT

PROPOSED HOME OFFICE / ARTIST'S STUDIO
ACCESSORY BUILDING DESIGN FOR:
4 WEBB LANE, GOLDENS BRIDGE, NY 10526

DRAWINGS TITLE

MISCELLANEOUS DETAILS

DRAWN BY VB

CHECKED BY NF

PROJECT NO. 22.0813

DATE 06.27.23

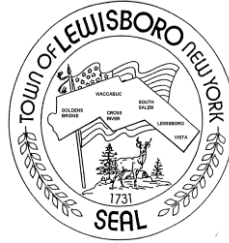
DRAWING NO.

REGISTERED ARCHITECT NICHOLAS L. FAUSTINI NEW YORK 06338-1

A=4

TOWN OF LEWISBORO
Westchester County, New York

Building Department
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3060
Fax: (914) 875-9148
Email: ksullivan@lewisborogov.com

Zoning Denial 8/16/2023

29 Knapp Road, Katonah
34C-11826-020

The existing generator has a side yard setback of 14.2' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a variance of 25.8'.

Building Inspector



Kevin Kelly

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, September 27, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 21-23-BZ

Application of D'Amico Electric [Pedraza, Jorge & McQuaid, Jennifer, owners of record], 29 Knapp Road, South Salem, NY for the following variance to legalize the existing generator which has a side yard setback of 14.2' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a variance of 25.8'.

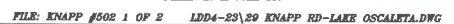
The property is located on the west side of (#29) Knapp Road, South Salem, NY designated on the Tax Map as Sheet 034C, Block 11826, Lot 020, in an R-2AC, Two-Acre Residential District consisting of approximately 0.28 acres.

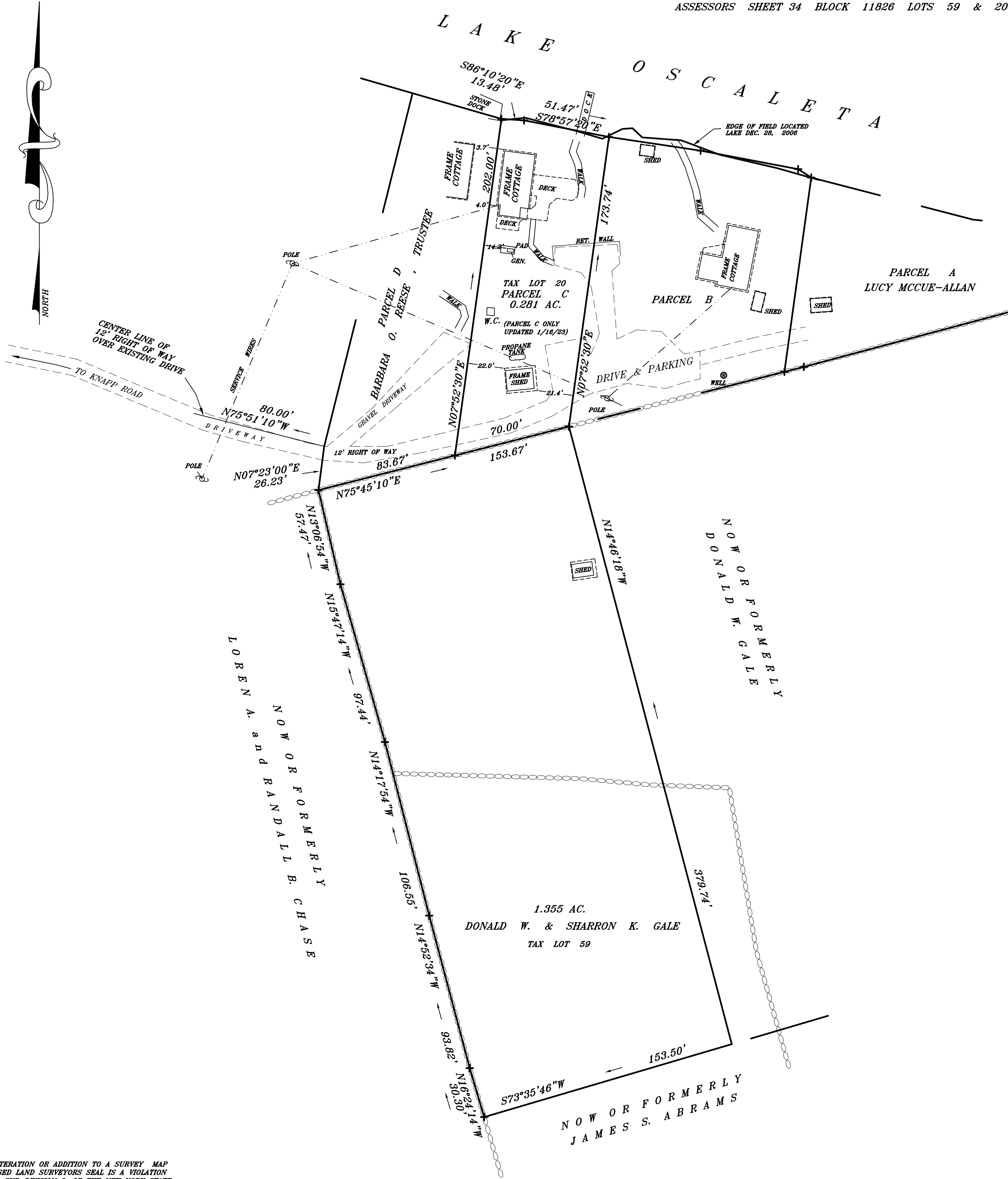
Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 23rd day of August 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.





UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYORS SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

SUBJECT TO ELECTRIC AND/OR TELEPHONE COMPANY EASEMENTS, IF ANY, FOR OVERHEAD AND/OR UNDERGROUND SERVICE.

SUBSTRUCTURES AND/OR THEIR ENCROACHMENTS BELOW GRADE, IF ANY, NOT SHOWN.

ALTERATIONS OF THIS MAP OTHER THAN BY A LICENSED LAND SURVEYOR IS ILLEGAL.

REFERENCE HEREBY MADE TO A MAP ENTITLED, "SURVEY OF PROPERTY PREPARED FOR WILLIAM H. GALE JR., SITUATE IN THE TOWN OF LEWISBORO, WESTCHESTER COUNTY, N.Y. AND PREPARED BY FOWLER ENGINEERING CORPORATION ON JUNE 21, 1956.

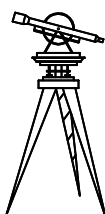
REFERENCE HEREBY MADE TO A MAP ENTITLED, "MAP PREPARED FOR MARY KNAPP, TOWN OF LEWISBORO, WESTCHESTER COUNTY, N.Y. AND PREPARED BY HENRY F. HENRICI, APRIL, 1955

REFERENCE HEREBY MADE TO: LIBER 9854 PG 85 (TAX LOT 20)
LIBER 9854 PG 86 (TAX LOT 59)
LIBER 12446 PG 340 and LIBER 5450 PG 267 (TAX LOT 19)
LIBER 12446 PG341 and LIBER 5810 PG 146 (TAX LOT 59 & 80 as one)

S U R V E Y
Prepared for
JORGE PEDRAZA
and
JENNIFER McQUAID
Situated in the Town of Lewisboro
Westchester County, New York
R-1 Acre Residential
and
R-2 Acre Residential Zones
Total Area = 1.636 Acres

R K W LAND SURVEYING, THE SURVEYORS WHO MADE THIS MAP, DO HEREBY CERTIFY THAT THE SURVEY OF THE PROPERTY SHOWN HEREON WAS COMPLETED DECEMBER 28, 2006 AND THAT THIS MAP WAS COMPLETED JULY 31, 2007

R K W
LAND SURVEYING
22 East Avenue
New Canaan, Connecticut
Tel. 203 - 966 - 3501
P.O. Box #788



GENERATOR RELOCATED APRIL 14, 2023

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

PHILIP E. KNOCH Sr.

N.Y. L.S. #50420

TOWN OF LEWISBORO
Building Department
Bouton Road
South Salem, NY 10590
Email: kkelly@lewisborogov.com



(914) 763-3060
FAX (914) 875-914879
TTY 800-662-1220

www.lewisborogov.com

Date 8/25/2023
Zoning Denial App. # 2023-0511

McNamara
59 East St. South Salem, NY
53-9834-45

The applicant is proposing a new front entry roof with a 22.9' front yard setback in a R 1/2 A zoning district whereas 30' are required as per Article IV Section 220-12 of the town code of Lewisboro zoning code therefore, requiring a 7.1' front yard variance.

Kevin J. Kelly

Building Inspector

ZONING BOARD OF APPEALS
NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, September 27, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 22-23-BZ

Application of Terence & Cynthia McNamara, [McNamara, Terence F. & Cynthia M., owner of record], 59 East Street, South Salem, NY for the following variance of the proposed new front entry roof with a 22.9' front yard setback in a R 1/2 A zoning district whereas 30' are required as per Article IV Section 220-12 of the town code of Lewisboro zoning code therefore, requiring a 7.1' front yard variance.

The property is located on the west side of (#59) East Street, South Salem, NY designated on the Tax Map as Sheet 0053, Block 09834, Lot 045, in an R-1/2AC, Half Acre Residential District consisting of approximately 0.43 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 30th day of August 2023
in South Salem, New York**

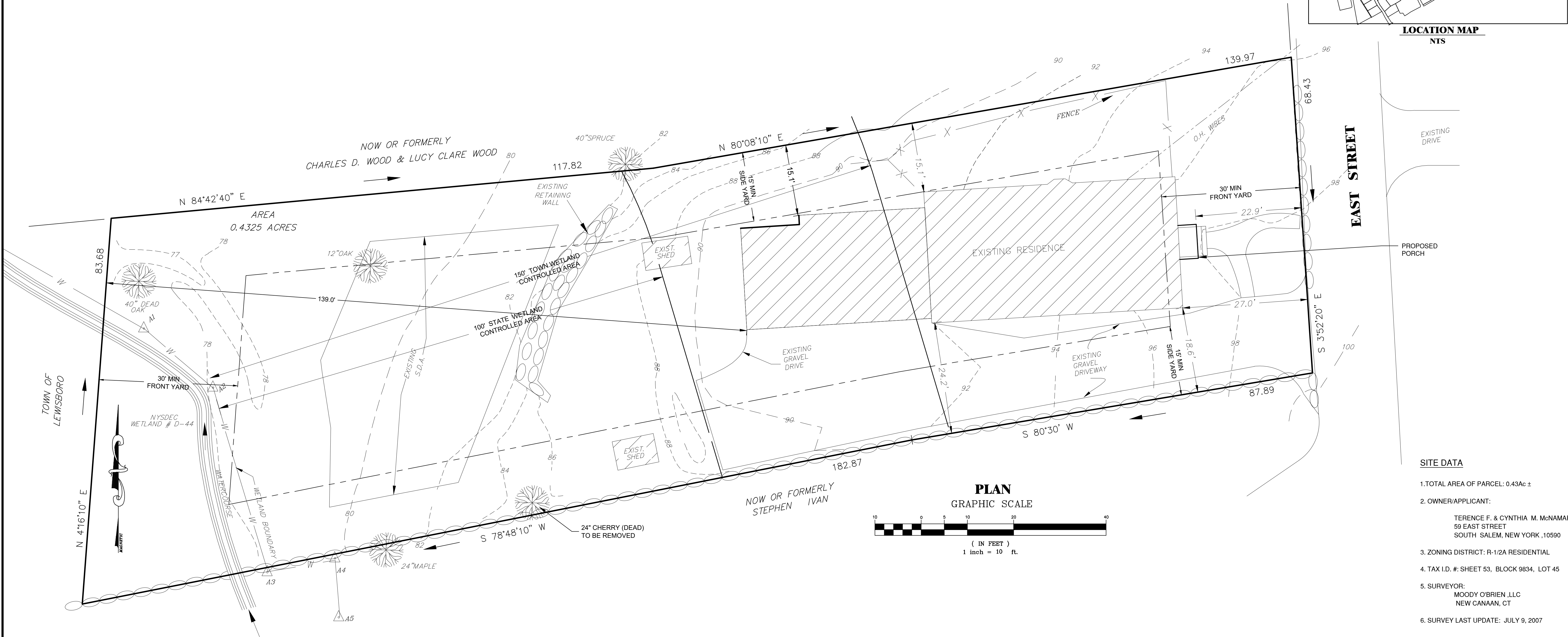
**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodation to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

ZONING SCHEDULE R-4A DISTRICT			
	REQUIRED / PERMITTED	EXISTING	PROPOSED
MIN. LOT AREA	½ ACRES	27.114 ACRES	27.114 ACRES
MIN. EFFECTIVE CIRCLE	100'	100'	100'
FRONT YARD SETBACK	30'	22.9"	274.800000
SIDE YARD SETBACK: LESSER / BOTH	15'	15.08'	15.08'
REAR YARD SETBACK	30'	139.0'	139.0'
MAX. BLDG. HEIGHT	2 1/2 STORIES (35')	<35'	<35'
MAX. BUILDING COVERAGE	15 %	14%	14.01 %



LOCATION MAP
NTS



SITE DATA

- TOTAL AREA OF PARCEL: 0.43Ac ±
- OWNER/APPLICANT:

TERENCE F. & CYNTHIA M. McNAMARA
59 EAST STREET
SOUTH SALEM, NEW YORK ,10590
- ZONING DISTRICT: R-1/2A RESIDENTIAL
- TAX I.D. #: SHEET 53, BLOCK 9834, LOT 45
- SURVEYOR:
MOODY O'BRIEN ,LLC
NEW CANAAN, CT
- SURVEY LAST UPDATE: JULY 9, 2007

NOTES:

- BASED ON FEMA FLOOD BOUNDARY MAPS PREPARED FOR THE TOWN OF LEWISBORO. THE PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOOD PLAN.
- THERE SHALL BE NO FLOOR DRAINS INSTALLED IN THE GARAGE FLOOR SLAB.

LEGEND:

- 93.9X
-420-
●
EXIST. RESIDENCE
- EXISTING SPOT ELEV.
EXISTING 2' CONTOUR
EXISTING 10' CONTOUR
EXIST WELL
EXIST. RESIDENCE

UNAUTHORIZED ALTERATIONS AND ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.
COPYRIGHT © 2023 BIBBO ASSOCIATES, LLP
ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION IS A VIOLATION OF APPLICABLE LAW.

REVISIONS:					
DATE:	DESCRIPTION	BY/CK	DATE:	DESCRIPTION	BY/CK
<div><div></div><div>SITE PLAN TERENCE F. & CYNTHIA M. McNAMARA 59 EAST STREET TOWN OF LEWISBORO , WESTCHESTER COUNTY , NY</div><div>BIBBO ASSOCIATES, LLP 293 ROUTE 100 SUITE 203 SOMERS, NEW YORK 10589 TEL. 914 277 5805</div></div>					
DATE: 8-21-2023 SCALE: 1" = 10'		FILE: MISC DSGN / CHK: DK/ RAL DRN. BY: DK SHT NO. 1 OF 1		DWG NO. SP-1	



PARTIAL ELEVATION VIEW

SCALE: 3/4\"/>

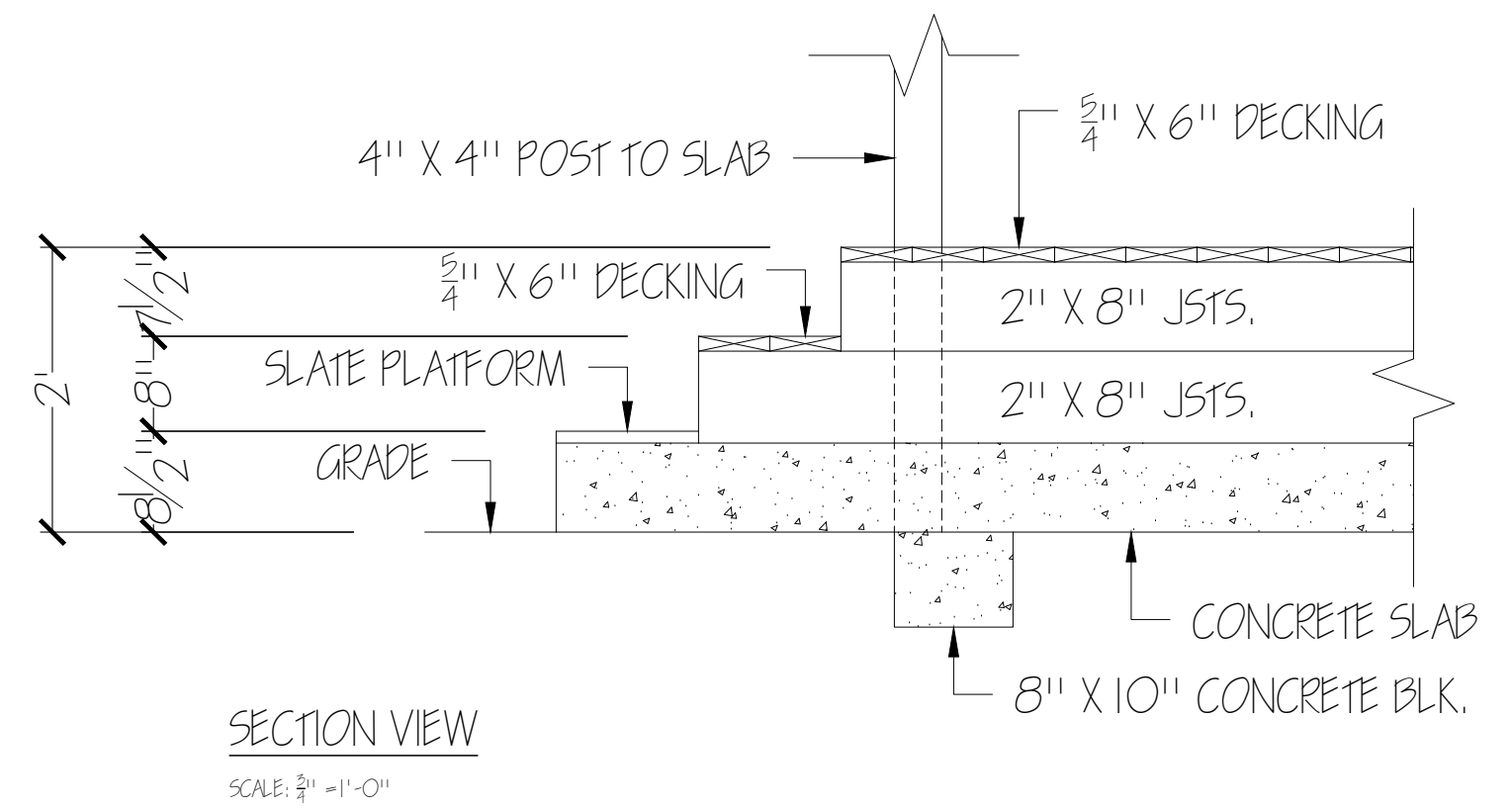
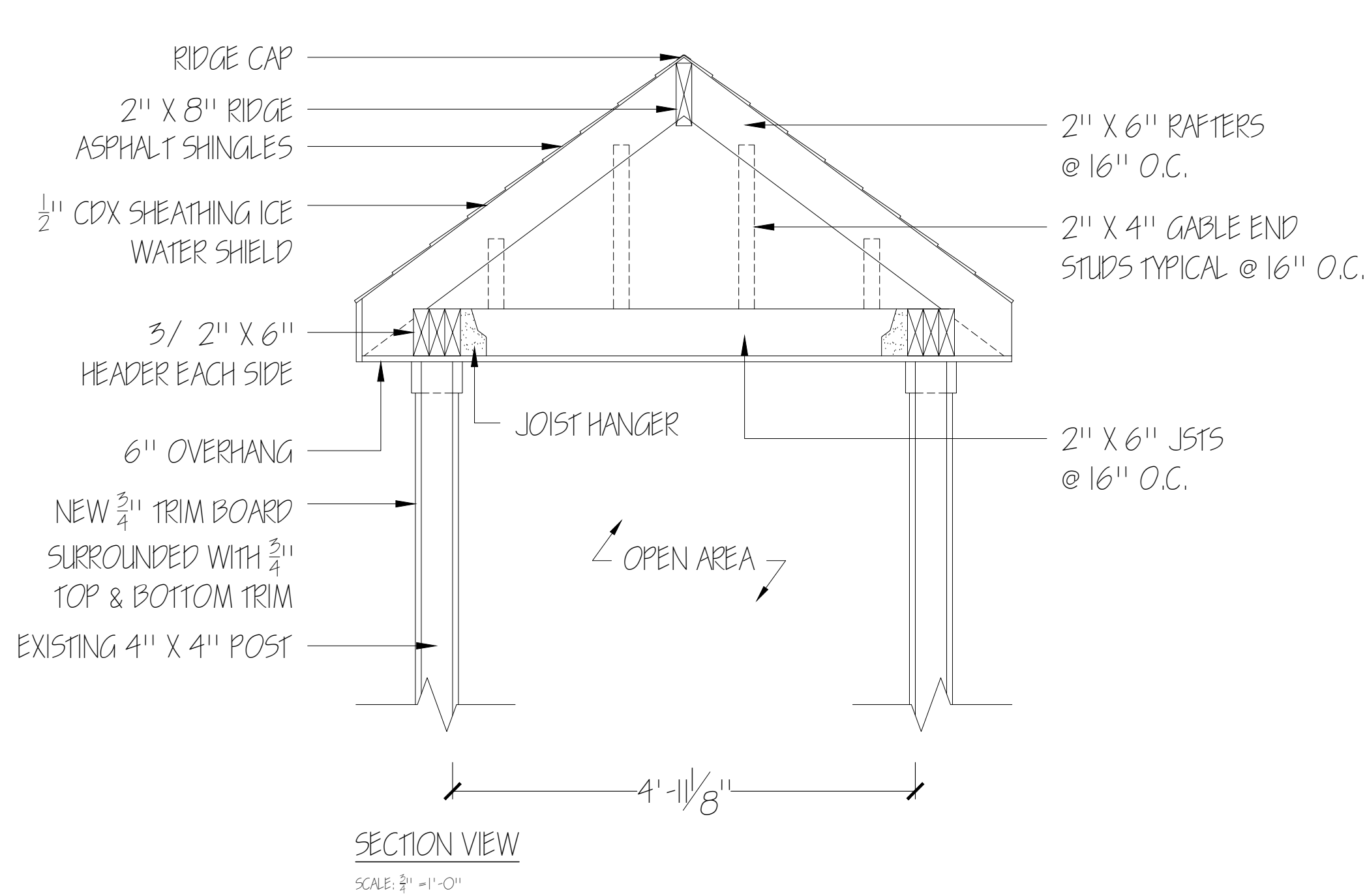
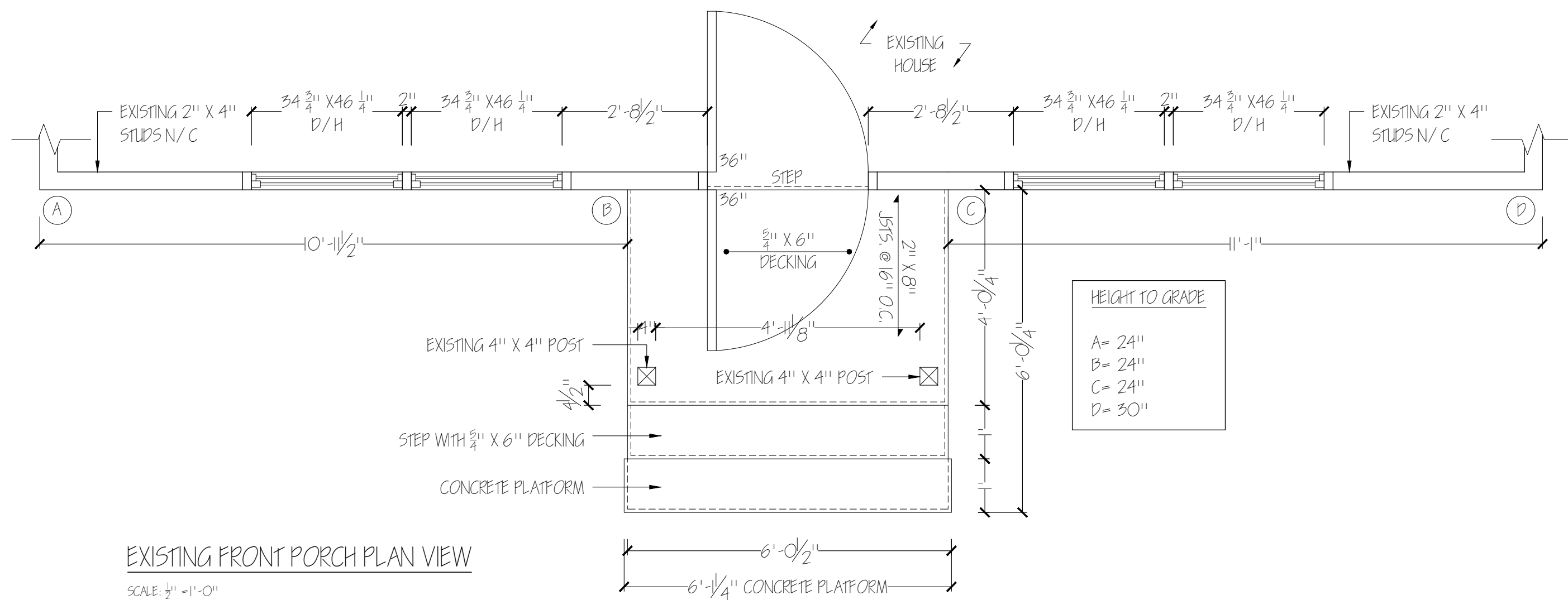
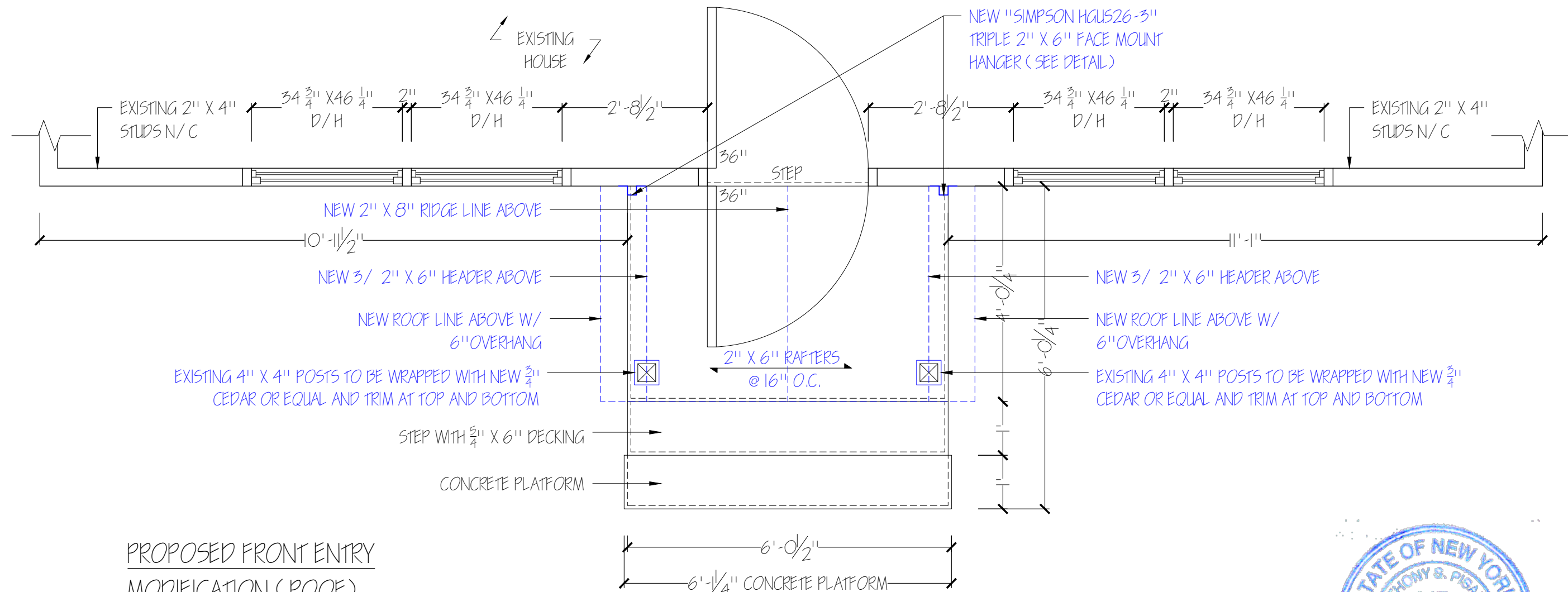


PHOTO VIEWS OF EXISTING HOUSE AND FRONT PORCH



EXISTING FRONT PORCH PLAN VIEW

SCALE: 3/4\"/>



PROPOSED FRONT ENTRY MODIFICATION (ROOF)

SCALE: 3/4\"/>

SD/CO
Note: Residence to be provided w/ new smoke and CO detectors per NY State Code
● Smoke/Carbon Monoxide Detector
● Smoke Detector

- General notes (Where applicable):
- All work shall conform to local and state building codes and regulations of all other agencies having jurisdiction.
 - Contractor shall obtain and pay for all required permits.
 - All materials shall be new and of best quality.
 - Contractor is to be fully covered by Workmen's Compensation liability insurance as may be required by local jurisdiction.
 - Contractors to remove all debris from premises as required.
 - Tape and spackle as required.
 - Patch and repair interior and exterior walls, floors and ceilings as required.
 - All new egress doors to align with existing.
 - Firestopping to be installed as required by code. Concealed spaces within the walls, partitions, floors, stairs and around chimneys, pipe and duct openings in such construction, shall be firestopped to prevent the passage of flame, smoke, fumes and hot gasses.
 - Firestopping to be installed where new work exists.
 - Smoke detection, regardless of the category of work, smoke detectors shall be provided where required by E-515 of NYC Residential Code.
 - Smoke detectors shall have an audible alarm. Both battery and electrically operated hardwired devices are acceptable.
 - Carbon monoxide detector to be installed as per New York state codes. (as needed)
 - All framing to be done in accordance with the latest addition of the "National design specification for stress graded lumber and it's fastenings" as published by the national lumber manufacturers association.
 - All lumber and Wood shall be kiln dried, free from rot, large loose knots and other imperfections.
 - Framing lumber shall be Douglas Fir/Larch No. 2 or better with min. Fb=1200 p.s.i. and E=1,700,000 p.s.i..
 - All framing lumber shall bear visible grade stamp.
 - Provide all needed laggers, blocking, nailers, caps, grounds and framing hardware for a complete job.
 - Set joists and rafters with crown up.
 - All lumber in contact with masonry to be pressure-treated.
 - plywood for subfloor shall be APA rated stud-I-Floor exp. 1, 18G edges.
 - Plywood roof and wall sheathing shall be APA rated for sheathing. Grade stamp visible on all sheets. Support all edges.
 - Provide X bracing or solid blocking at mid span of joists and rafters or at 8 ft. on center intervals.
 - Pressure treated (PT) wood shall be treated Southern yellow Pine. Sawdust and wood scraps shall be contained and disposed off-premises by MFCR. Pressure treated wood shall not be burned.
 - All nails and screws, bolts and other metal coming in contact with pressure treated wood shall be hot-dipped galvanized.
 - Contractors to provide all temporary shoring and partitions as needed.
 - Electrical work, wiring and equipment shall conform to the National Electrical code (NEPA) latest addition and all regulating agencies.
 - Contractor to remove existing debris as needed.

NOTES

-All work to be done under the 2020 version of the I.R.C.

DATE: 6/9/2025
REVISION: 6/21/2025
APPROVED BY: Michael A. Testa, Jr.

PROPOSED NEW FRONT ENTRY ROOF MODIFICATION FOR RESIDENCE OF MR. TERRY MONAWARA LOCATED AT 59 EAST ST. SOUTH SALEM, NEW YORK

SCALE: AS NOTED
PAGE #: 1 OF 1

FOR BUILDING DEPARTMENT FILE



TOWN OF LEWISBORO
Building Department
Bouton Road
South Salem, NY 10590
Email: kkelly@lewisborogov.com



(914) 763-3060
FAX (914) 875-914879
TTY 800-662-1220

www.lewisborogov.com

Date 8/28/23
Zoning Denial App. # 2023-0444

Arnold
28 Main Street, South Salem, NY
31-10805-019

The proposed screened in porch will have a left-side yard setback of 6.78' and a right-side yard setback of 38' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 33.22' and 2' respectively.

The proposed screened in porch will have a rear yard setback of 47.30' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 2.70'.

The proposed house (1,023.12sqft), garage (427.09sqft), screened porch (299.76sqft) & patio (289.99sqft) will have a total building coverage of 22.6% (2039.96sqft) whereas 9% is required per Article IV Section 220, attachment 1, *Schedule of Dimensional and Bulk Regulations for Residential Districts* of the Town of Lewisboro Zoning Code therefore requiring variance of 13.6%.

Kevin J. Kelly

A handwritten signature in black ink, appearing to read "K. J. Kelly", is written over a light blue grid background.

Building Inspector

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, September 27, 2022, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 23-23-BZ

Application of Barbara Arnold [Arnold, Stephen & Barbara S., owner of record], 28 Main Street, South Salem, NY for the following variance of the proposed screened in porch will have a left-side yard setback of 6.78' and a right-side yard setback of 38' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 33.22' and 2' respectively; the proposed screened in porch will have a rear yard setback of 47.30' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 2.70'; the proposed house (1,023.12sqft), garage (427.09sqft), screened porch (299.76sqft) & patio (289.99sqft) will have a total building coverage of 22.6% (2039.96sqft) whereas 9%' is required per Article IV Section 220, attachment 1, *Schedule of Dimensional and Bulk Regulations for Residential Districts* of the Town of Lewisboro Zoning Code therefore requiring variance of 13.6%.

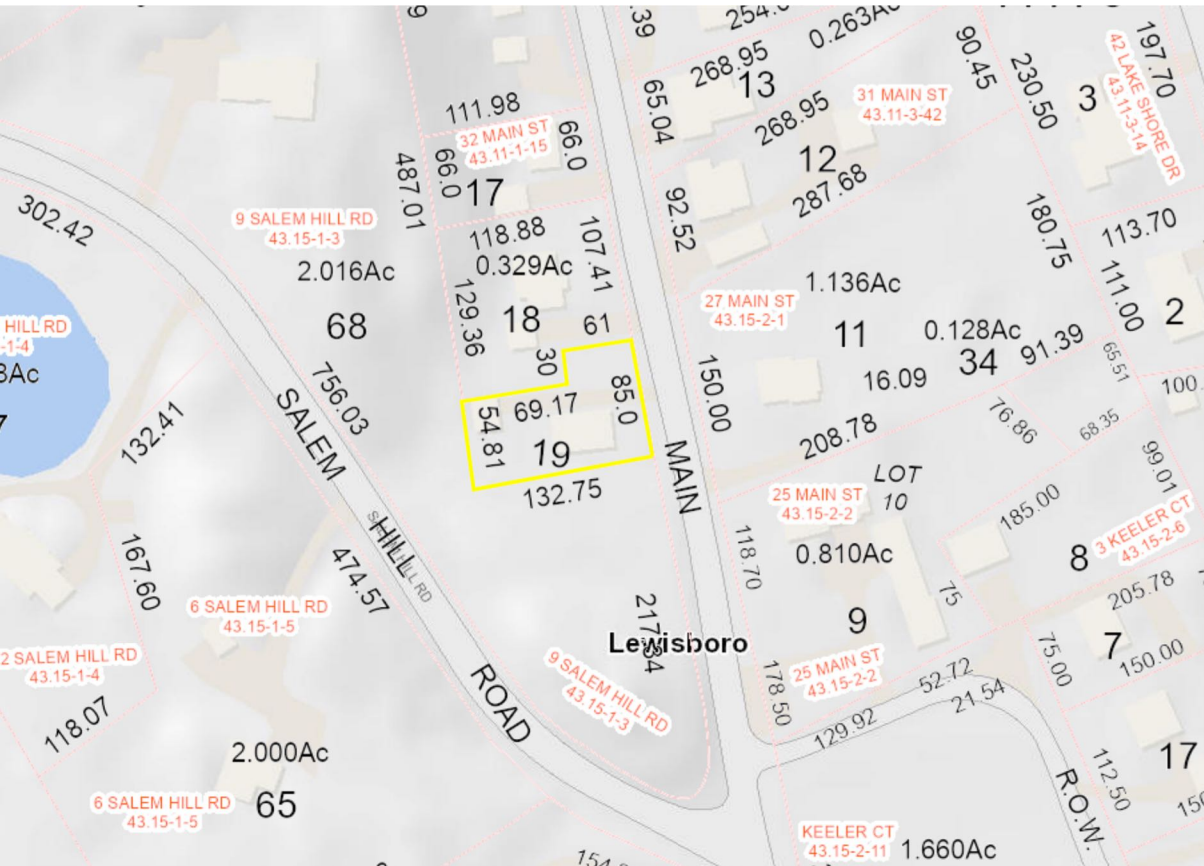
The property is located on the west side of (#28) Main Street, South Salem, NY designated on the Tax Map as Sheet 0031 Block 10805 Lot 019, in a SCR-2AC, Special Character Two-Acre Residential District, consisting of approximately .20 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 30th day of August 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.



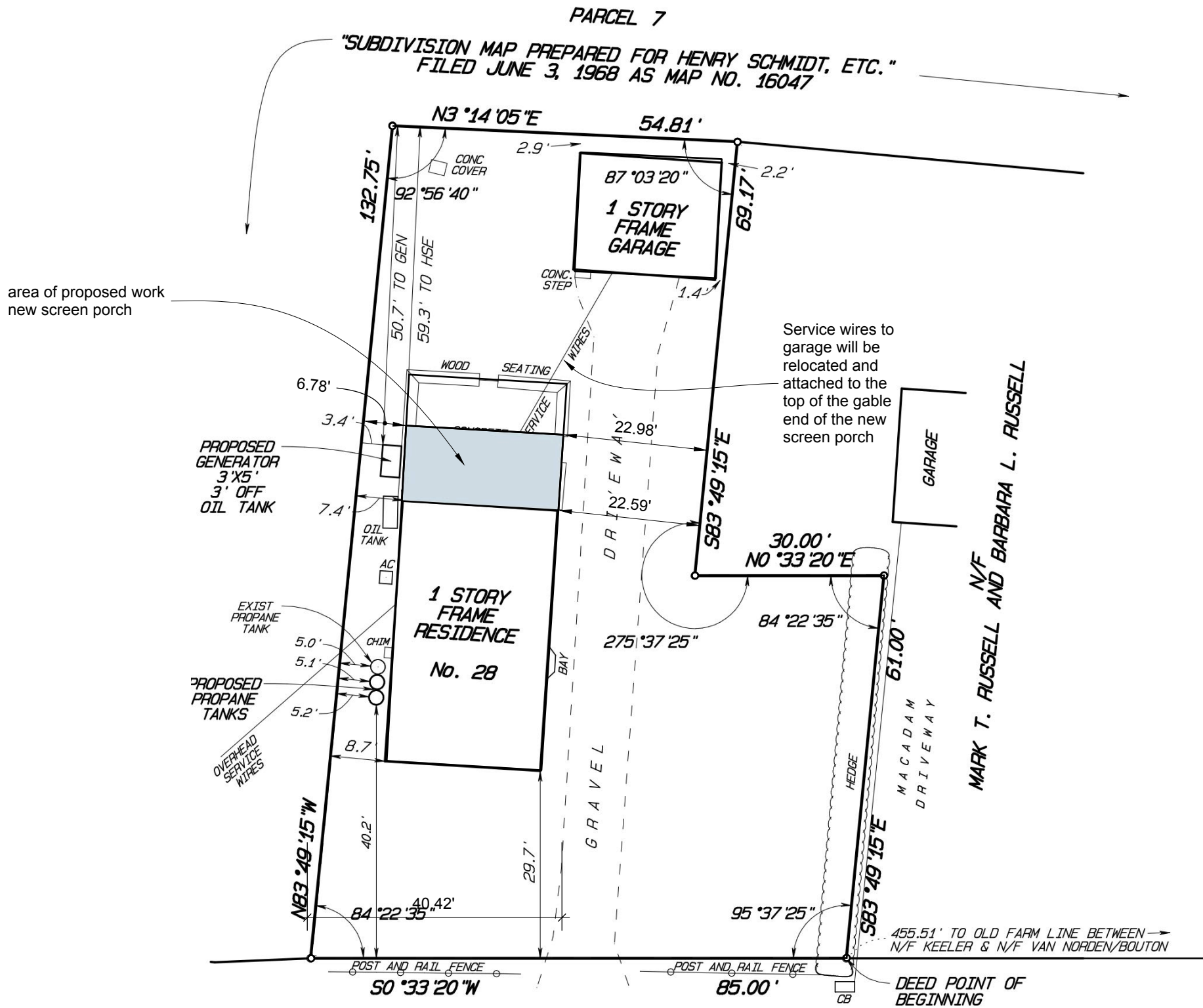
1 Location Map
NTS



2 Aerial View
NTS

GENERAL NOTES

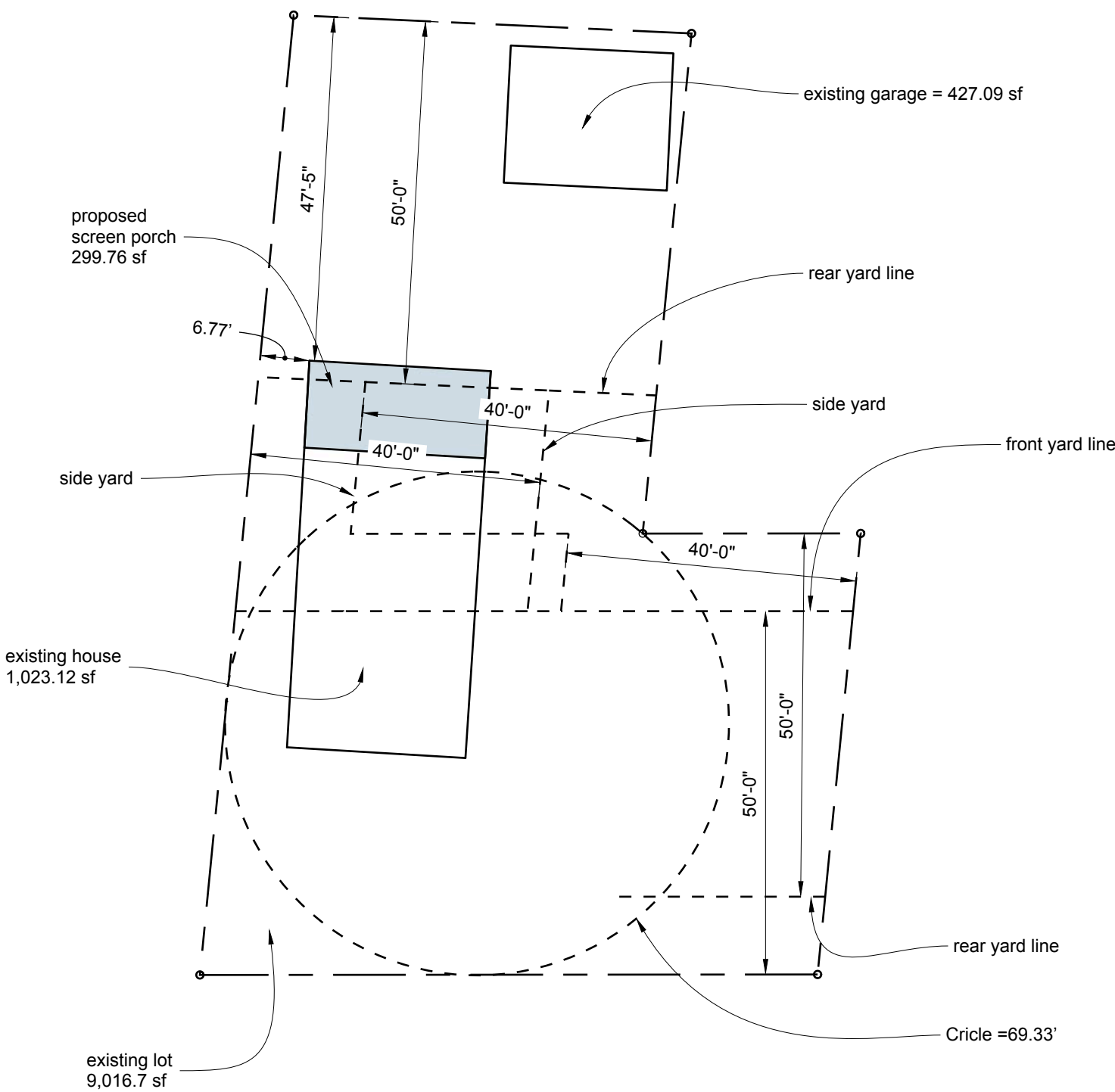
- Scope of Work: Screen Porch addition to an existing single family frame residence. One story screen porch is added to the back of the house, and is to be constructed on an existing concrete patio. No new impervious surface is created. No new interior space is created. Building envelop is not changed.
- All work shall conform to the requirements of the New York State Building Code, Fire Department regulations, utility company requirements, and the best trade practices.
- Before commencing work, the Contractor shall file all required Certificates of Insurance with the Department of Buildings, obtain all required permits, and pay all fees required by governing agencies of Lewisboro, NY.
- The Contractor shall verify all existing conditions in the field prior to commencing work, and shall report any discrepancies between drawings and field conditions to the Architect.
- Minor details not usually shown or specified, but necessary for proper construction of any part of the work shall be included as if they were indicated in the drawings.
- The Contractor shall coordinate all work procedures with requirements of local authorities and building management.
- The Contractor shall be responsible for the protection of all conditions and materials within the proposed construction area. The Contractor shall have sole responsibility for any damage or injuries caused by or during the execution of the work.
- The Contractor shall lay out his own work, and shall provide all dimensions required for other trades (plumbing, electrical, etc.).
- Plumbing and electrical work shall be performed by persons licensed in their trades, who shall arrange for and obtain inspections and required sign-offs.
- The Contractor shall do all cutting, patching, repairing as required to perform all of the work indicated on the drawings, and all other work that may be required to complete the job.
- All piping and wiring being removed shall be removed to a point of concealment and shall be properly capped or plugged.
- The Contractor, shall be responsible for completing all required inspections in accordance with the requirements of the Lewisboro Building Department. Upon completion of the work, the contractor shall arrange for all required sign-offs from the Building Department as required.



MAIN STREET

3 Plot Plan
1" = 20"

Survey information from a map prepared by
H. Stanley Johnson and Company
Map revised: February 24, 2022



4 Zoning Diagram
1" = 20"

NB: There is no area on this property that is not within one or more required yard setbacks.

Zoning Table					
Zone	R-2A				
	required/allowed	existing	proposed	deficiency/excess	notes
Lot Area	2 acre (87,120 sf)	9,016.7	9,016.7	78,103	1, 3
Maximum Building Coverage	9% (811.5 sf)	1,450.21 sf 16.1%	1,749.97 sf 19.4% %	938.47 sf 10.4%	2
Width/Circle	200	69.33	69.33	130.9	1, 3
Front Yard from Street CL	75				1
Front Yard from PL	50	29.70	29.70	20.3	1, 3
Side Yard	40	3.40	3.40	36.60	1, 2
Rear Yard	50	50.70	47.42	2.58	2
Height Stories	2 ½	1	1	-	1
Height Feet	35	11.25	11.25	-	1

NOTES:

- No Change
- Variance Required
- Existing Non-Conforming

Building Lot Coverage Existing	
House	1,023.12
Garage	427.09
Patio	502.50
Total	1,952.71
Lot Area	9,016.70
Percent Coverage	21.66

Building Lot Coverage Proposed	
House	1,023.12
Garage	427.09
Screen Porch	299.76
Patio	202.74
Total	1,952.71
Lot Area	9,016.70
Percent Coverage	21.66

Lot Coverage increase 20.67%

Alternate Building Coverage	
Lot Coverage Existing	
House	1,023.12
Garage	427.09
Patio	502.50
Total	1,952.71
Lot Area	9,016.70
Percent Coverage	21.66

Lot Coverage Proposed	
House	1,023.12
Garage	427.09
Screen Porch	299.76
Patio	202.74
Total	1,952.71
Lot Area	9,016.70
Percent Coverage	21.66

Lot Coverage increase 0.00%

Note:

The tables above are based on the determination of the Lewisboro Building Inspector that a Patio should be counted as a Building. This is at variance with the text of the Zoning Code, but is included at the direction of the Building Inspector the chair of the ZBA

TABLE N1102.1.2 (R402.1.2) INSULATION AND FENESTRATION REQUIREMENT BY COMPONENT									
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE 20 OR 13 + 5 (h)	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH
4A	0.35	0.55	0.40	49	20 OR 13 + 5 (h)	8/13 (i)	19	10/13 (c)	10, 2FT
c. The first R-value applies to continuous insulation, the second to framing cavity insulation; either insulation meets the requirements									
d. R-5 shall be added to the required slab edge R-value for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zone 1 through 3 for heated slabs.									
h. The first value is cavity insulation, the second value is continuous insulation, so 13+5 means R-13 cavity insulation at the interior of the basement wall									
i. The second R-value applies when more than half the insulation is on the interior of the mass wall.									

Certification
The work shown on these drawings is in compliance with the 2020 Residential Code of NYS.



O'NEILL
ARCHITECTS

4 Quicks Lane
Katonah, NY 10536
914 232-7373
wfon@optonline.net

SYMBOL LEGEND	
NO.	DOOR NUMBER
NO.	WINDOW NUMBER
Room Name NO.	ROOM NUMBER
NO. DWG.	SECTION REFERENCE
NO. DWG.	ELEVATION REFERENCE
North	NORTH ARROW
CLG.	CEILING HEIGHT
	EXISTING CONDITIONS
	DEMOLITION
	NEW CONSTRUCTION

ELECTRICAL LEGEND	
	DUPLEX OUTLET
	SINGLE OUTLET
	HALF SWITCHED DUPLEX OUTLET
	SINGLE POLE SWITCH
	3 WAY SWITCH
	DIMMER SWITCH
	SINGLE POLE SWITCH
	DOOR JAMB SWITCH
	STRIP LIGHT
	TELEPHONE OUTLET
A	LIGHT FIXTURE (SEE SCHEDULE)
B	LIGHT FIXTURE (SEE SCHEDULE)
C	LIGHT FIXTURE (SEE SCHEDULE)
	EMERGENCY LIGHTS
EXIT	EXIT SIGN
TV	CABLE TV
CO	CO DETECTOR
SD	SMOKE DETECTOR

Description:

Date:

Rev.

Arnold Residence
28 Main Street
South Salem, NY 10590

Title Sheet
General Notes
Plot Plan
Zoning Data

ISSUE DATE
08-30-2023

A.00



O'NEILL
ARCHITECTS

4 Quicks Lane
Katonah, NY 10536
914 232-7373
917 848-9425
wfon@wfoncill.com
www.wfoncill.com

Description:

Date:

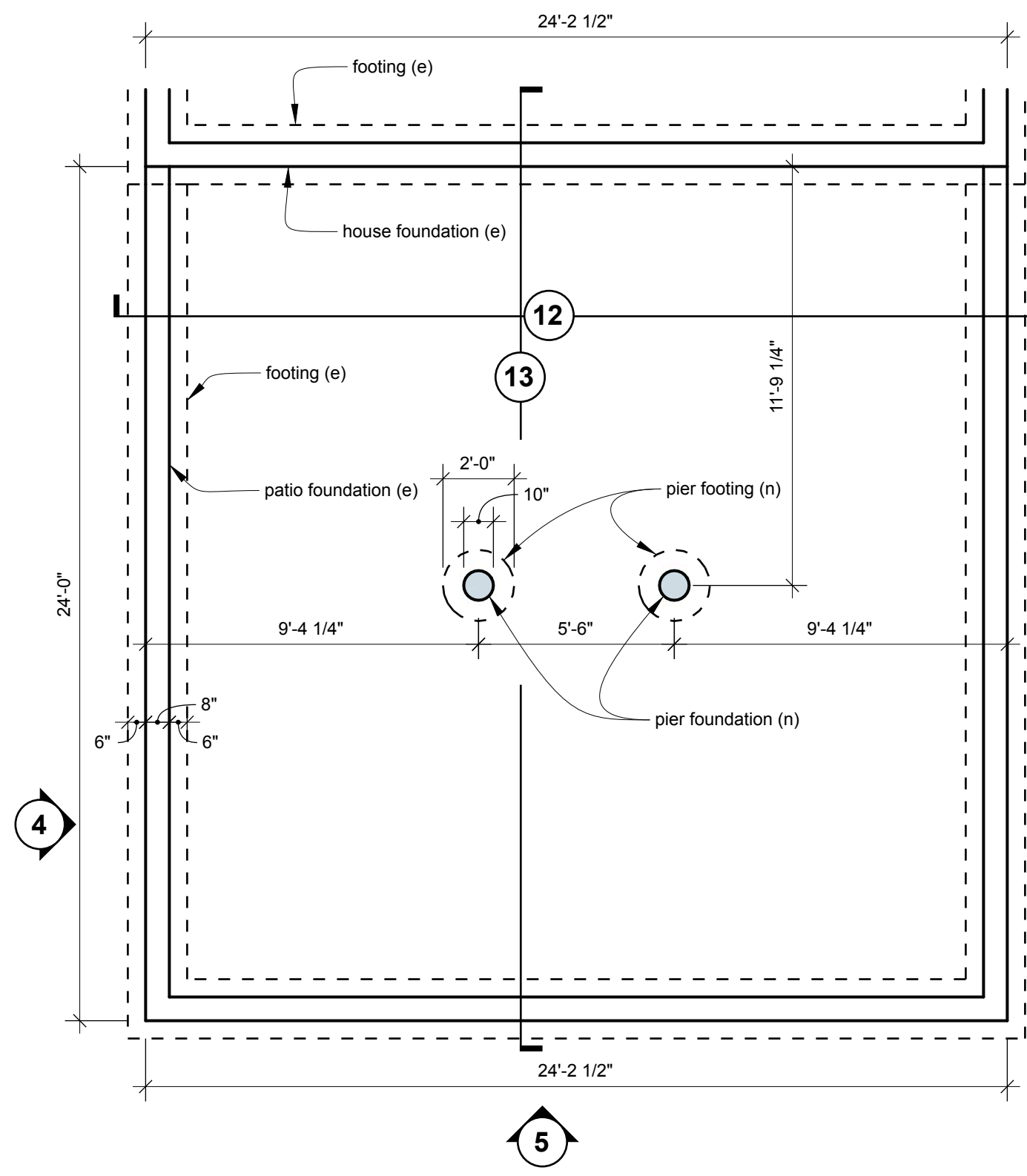
Rev.

Arnold Residence
28 Main Street
South Salem, NY 10590

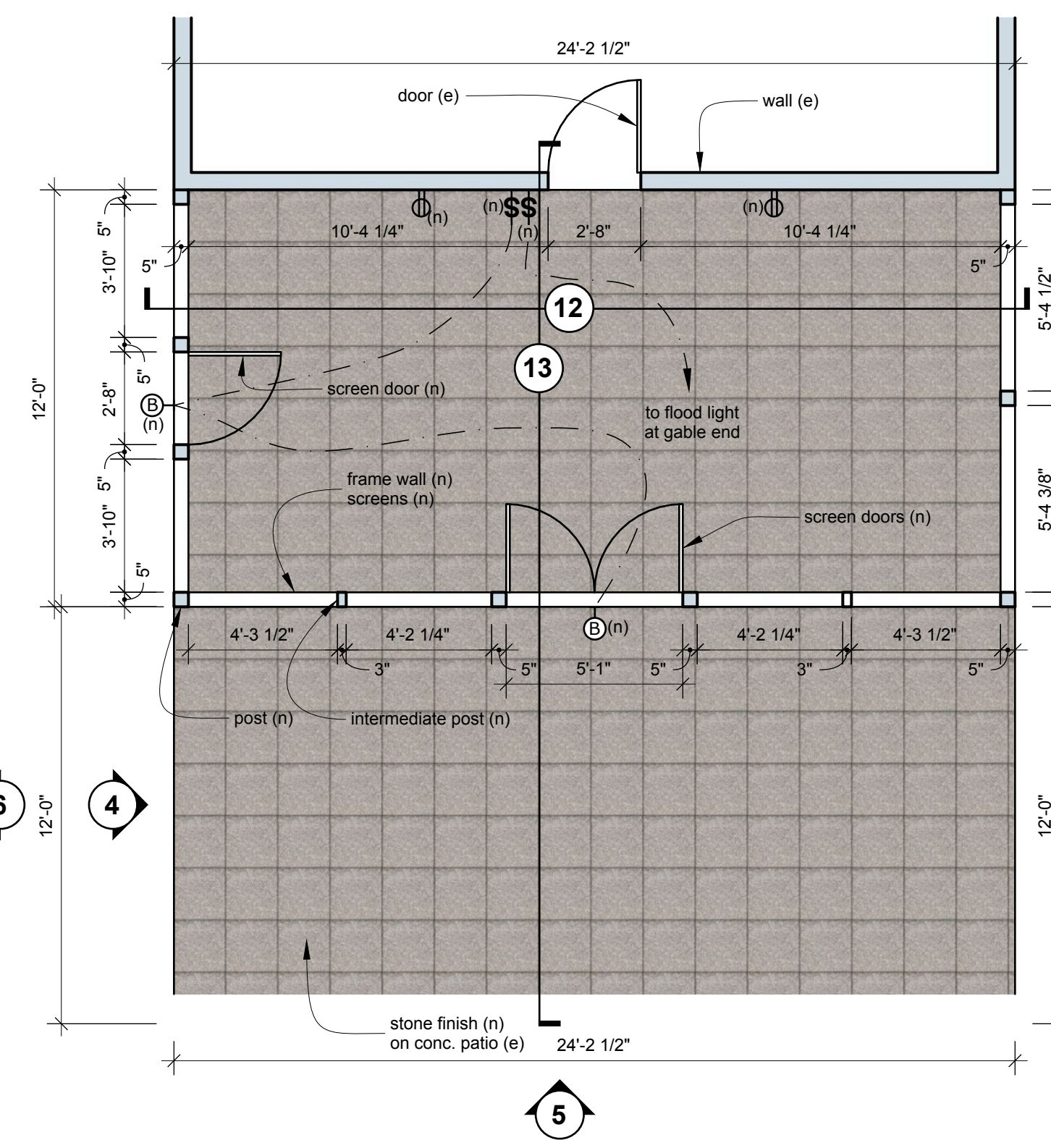
Plans, Sections
Elevations & Details

ISSUE DATE
06-06-2023

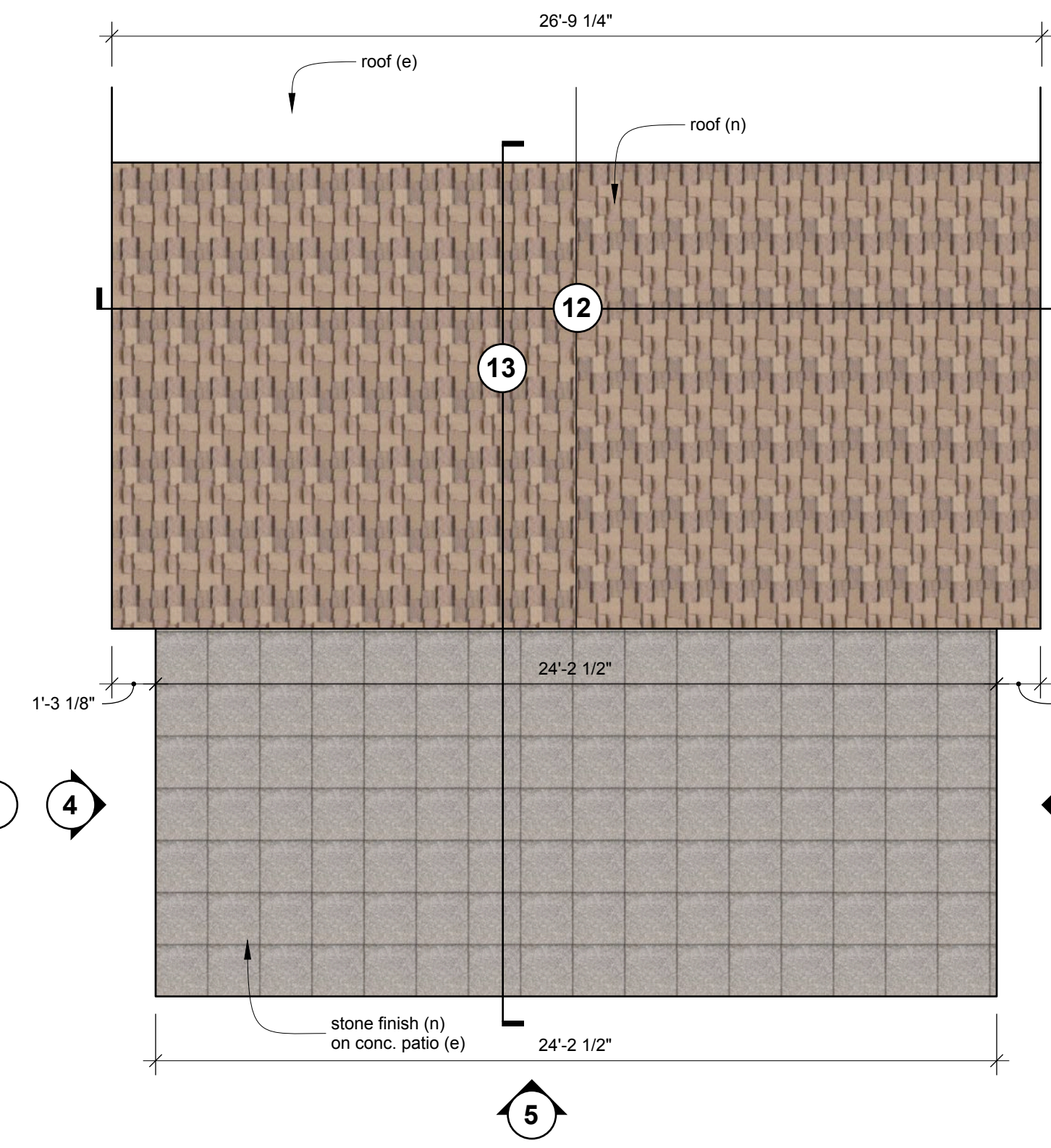
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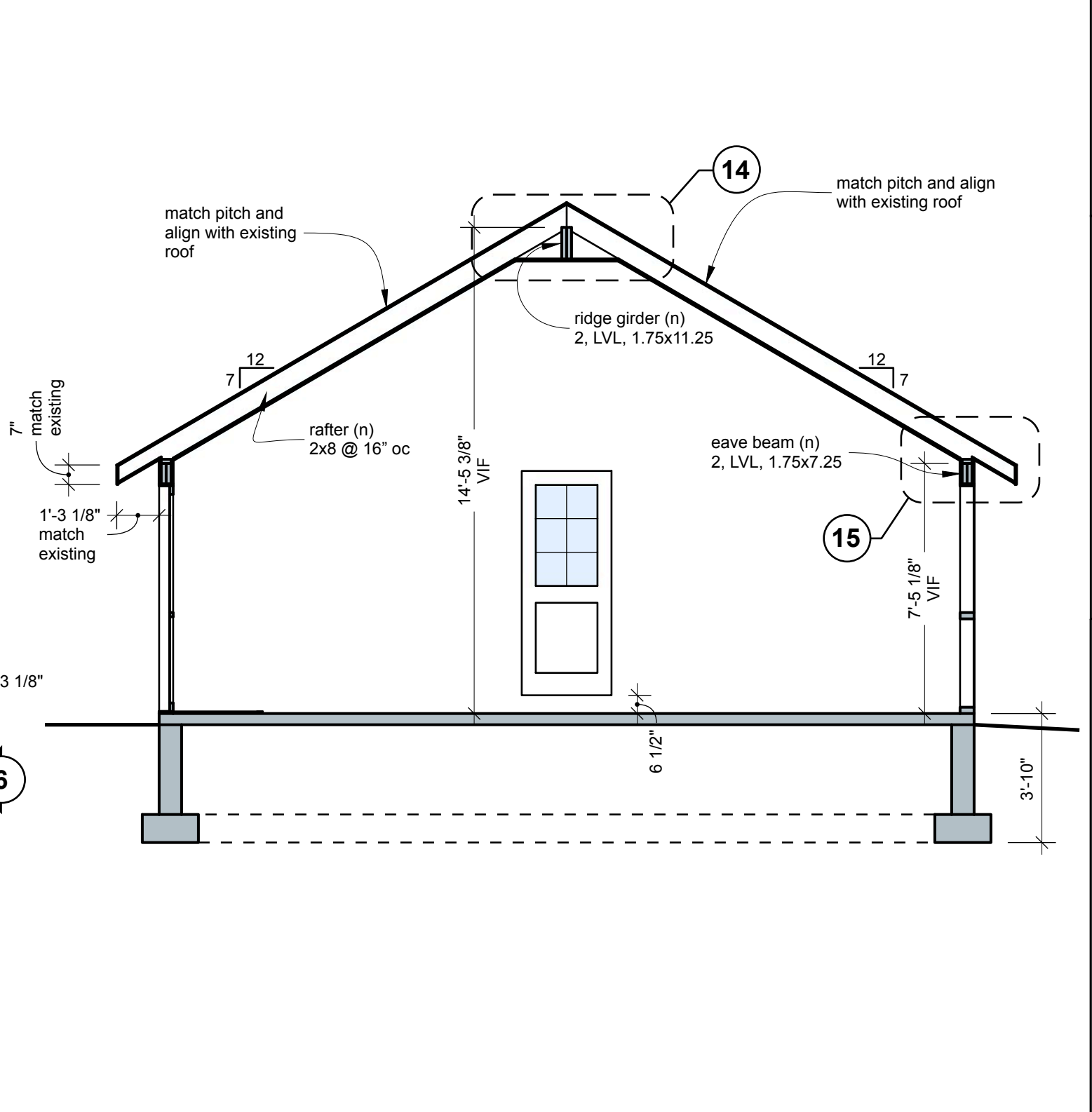
1 Foundation Plan
1/4" = 1'-0"



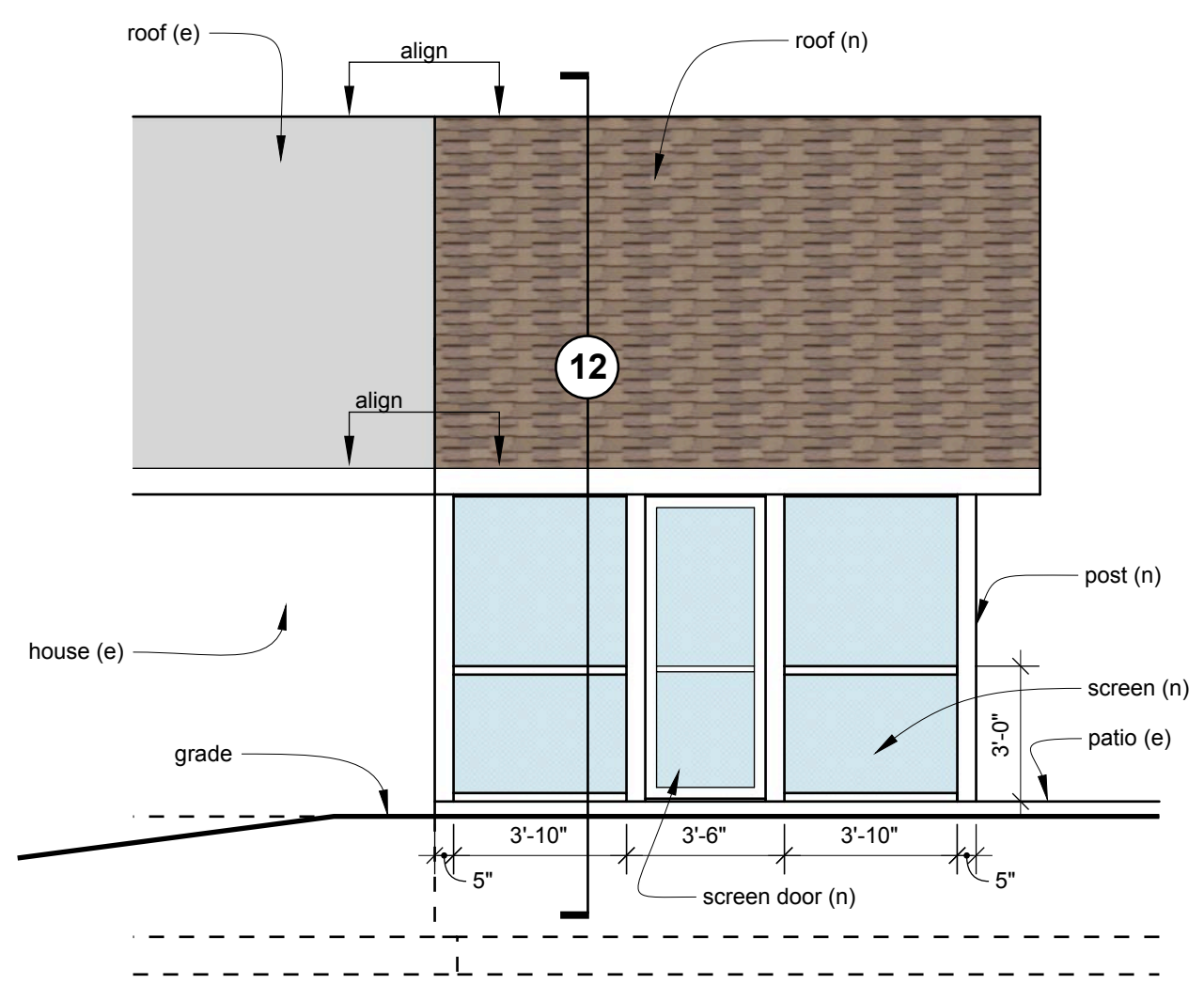
2 First Floor Plan
1/4" = 1'-0"



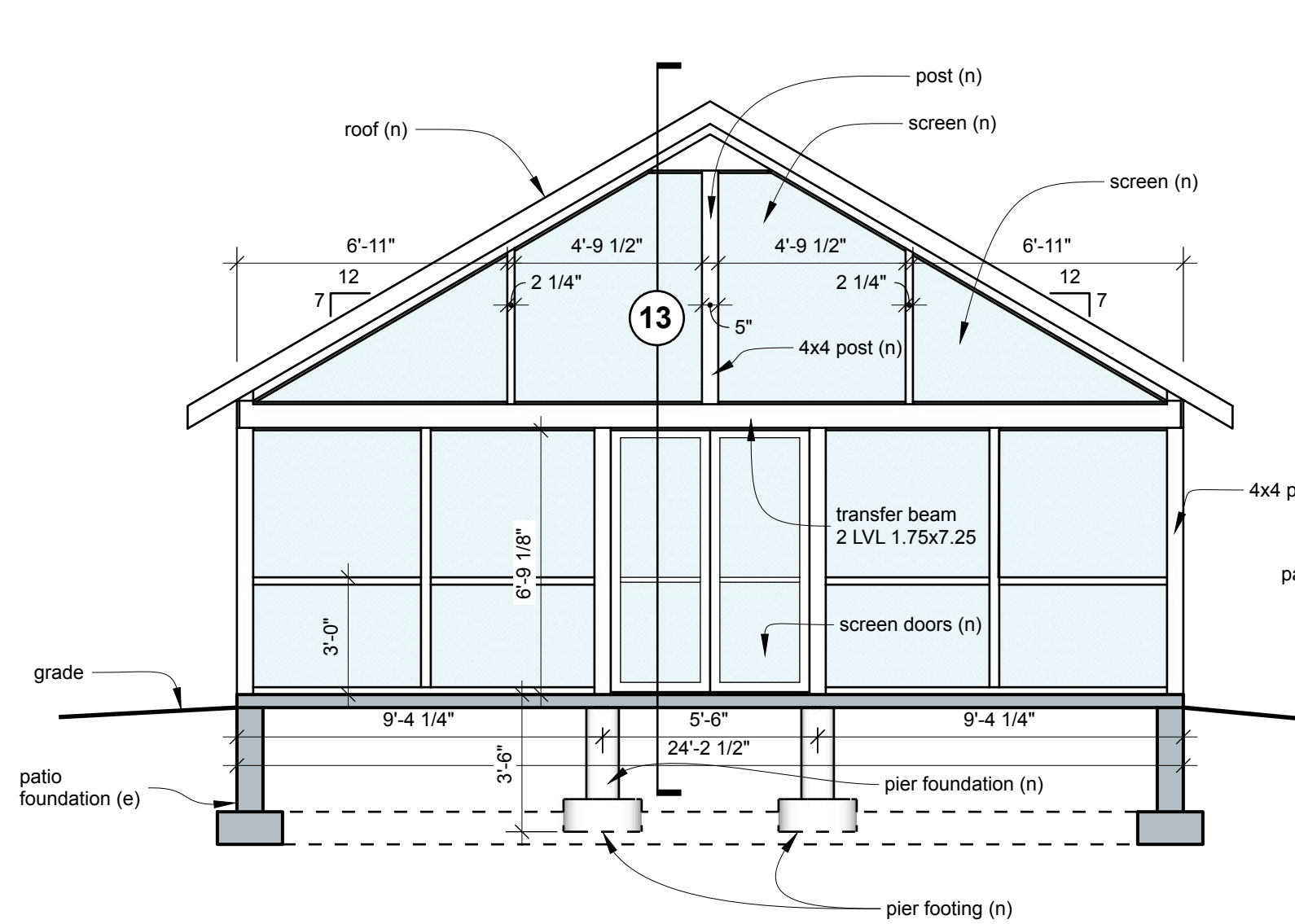
3 Roof Plan
1/4" = 1'-0"



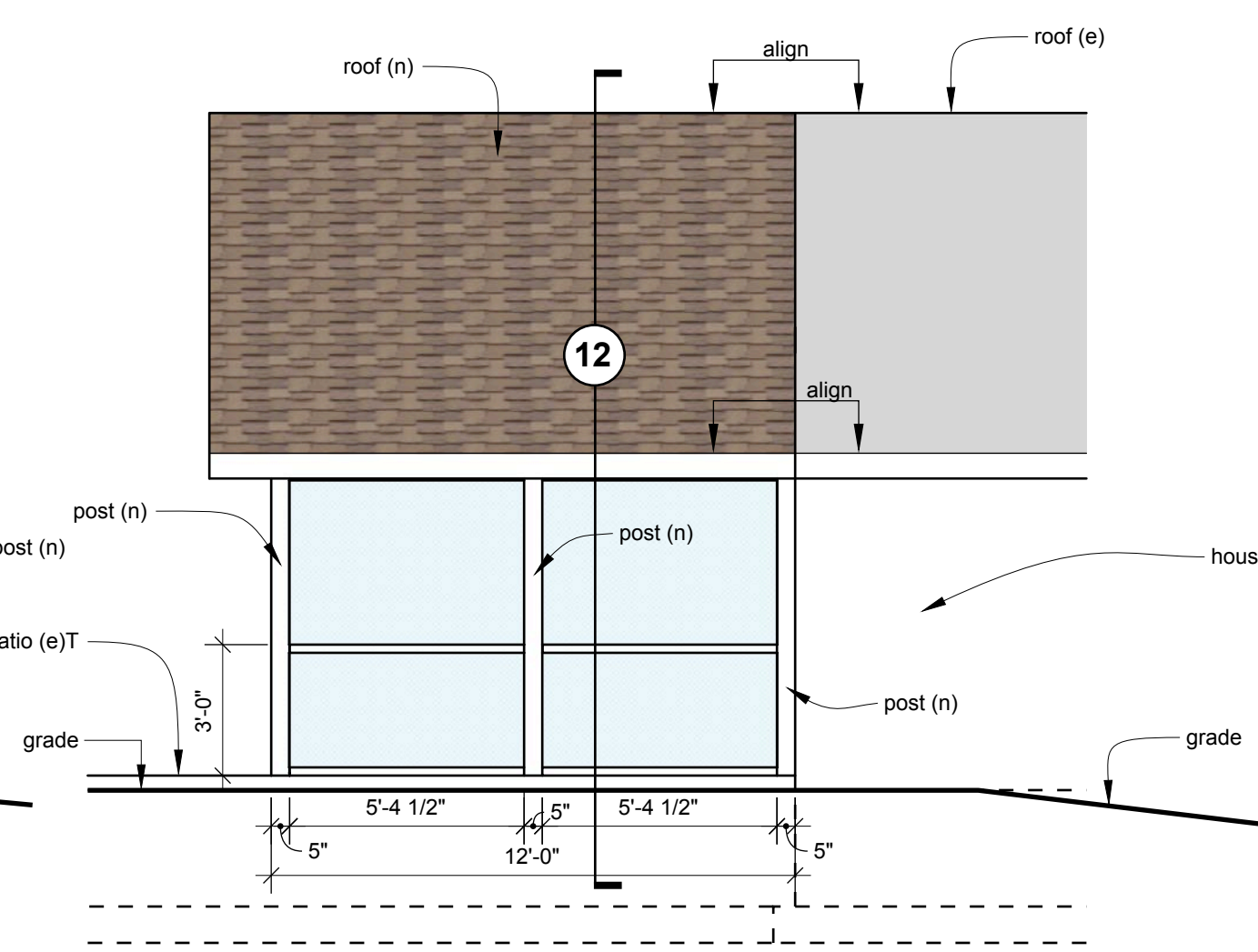
12 Building Section 1
1/4" = 1'-0"



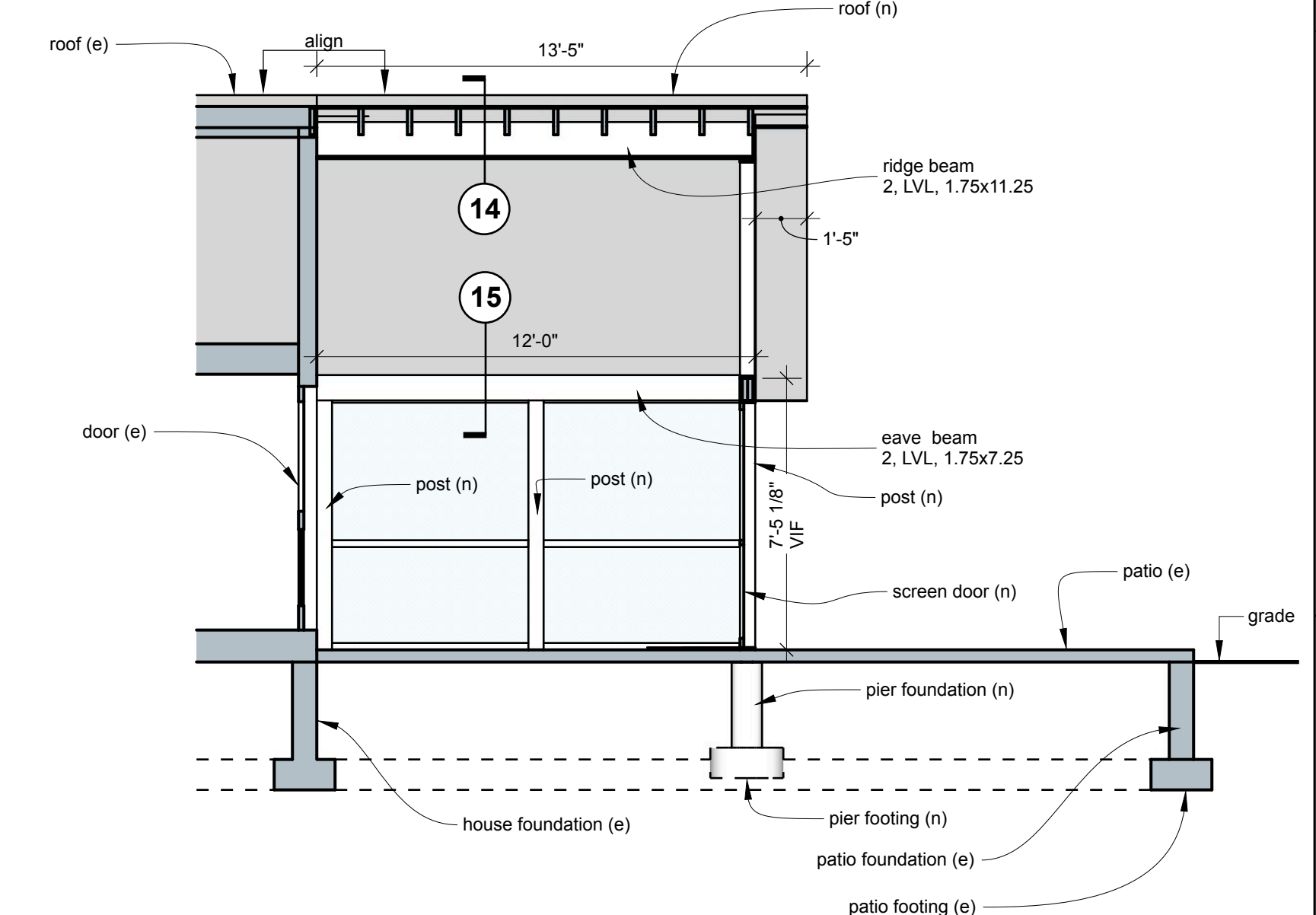
4 Elevation Left
1/4" = 1'-0"



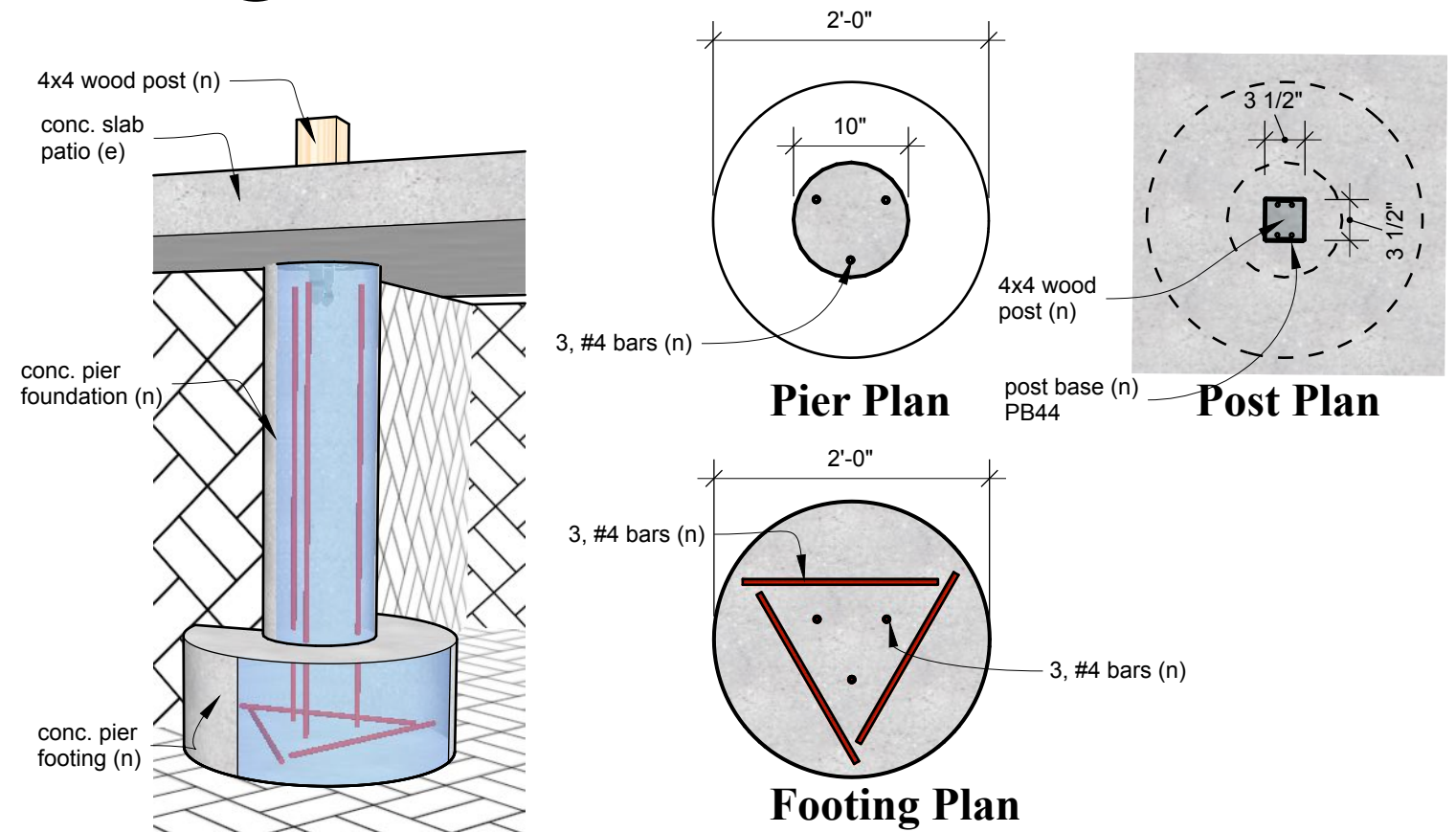
5 Elevation Front
1/4" = 1'-0"



6 Elevation Right
1/4" = 1'-0"

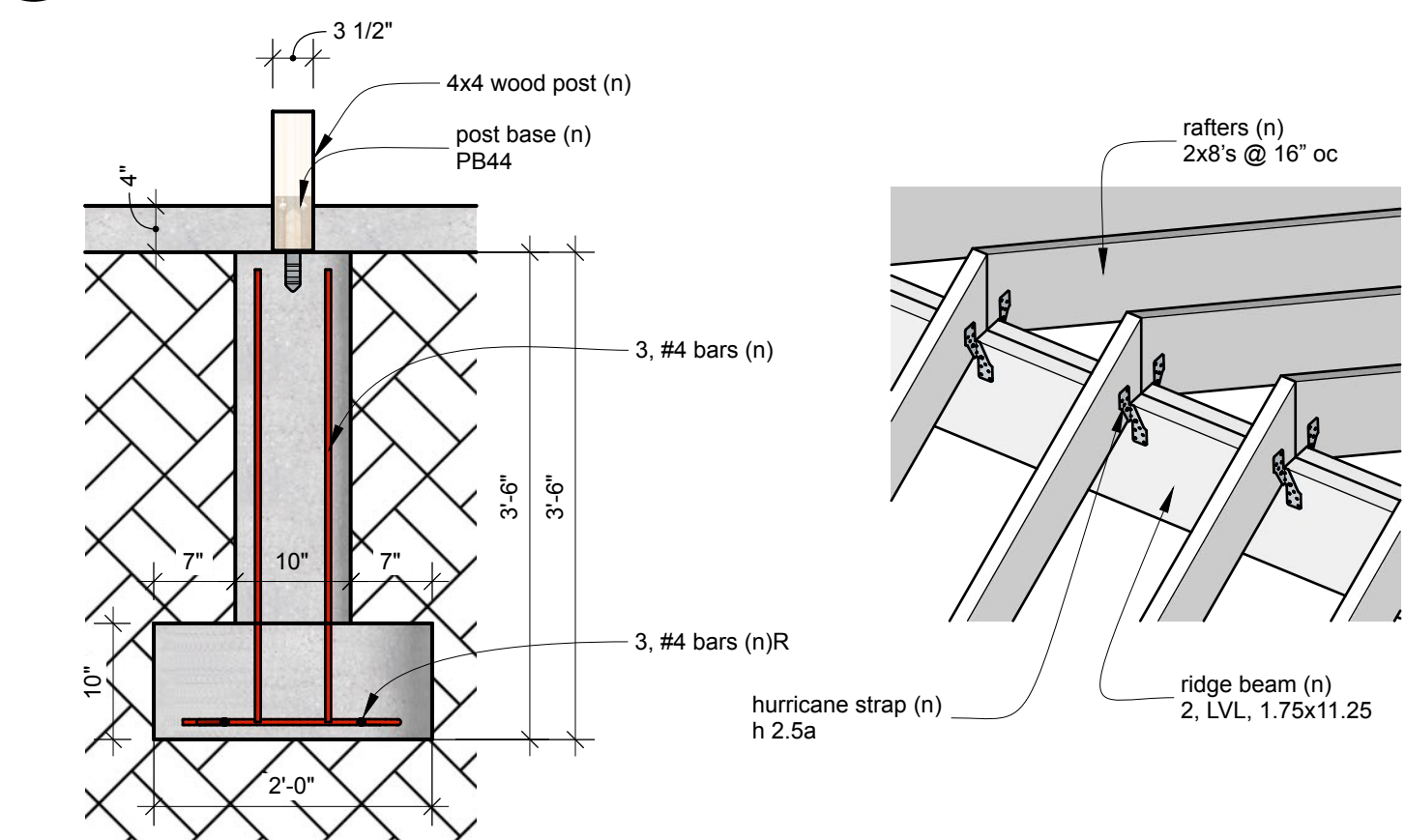


13 Building Section 2
1/4" = 1'-0"



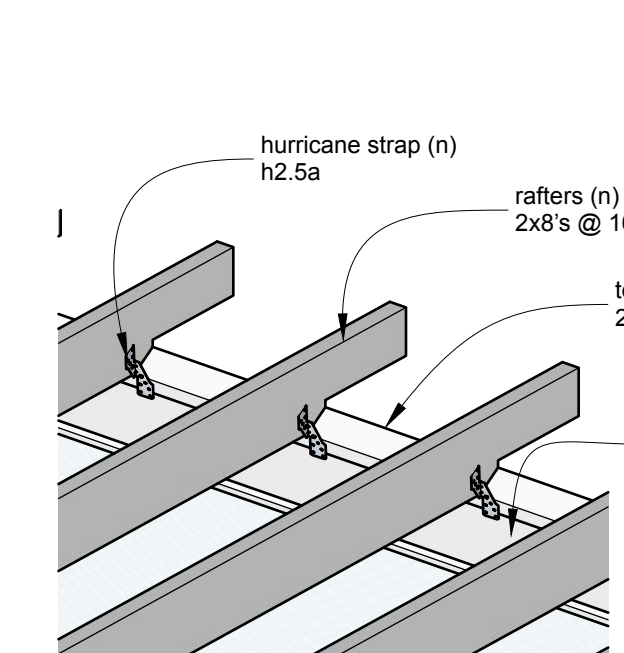
7 Conc Pier View
NTS

8 Conc Pier Plans
3/4" = 1'-0"

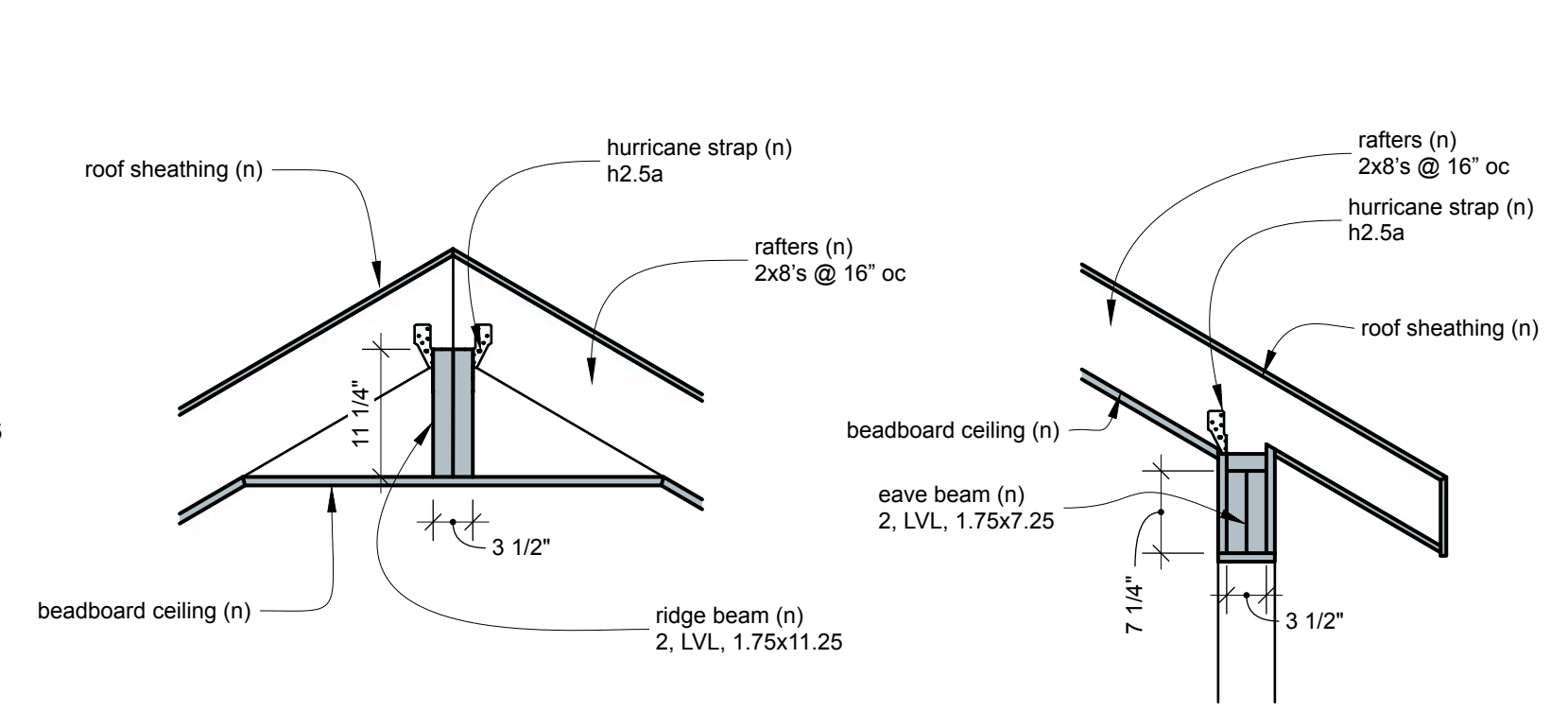


9 Conc Pier Section
3/4" = 1'-0"

10 Ridge Beam Detail View
NTS



11 Eave Detail View
NTS

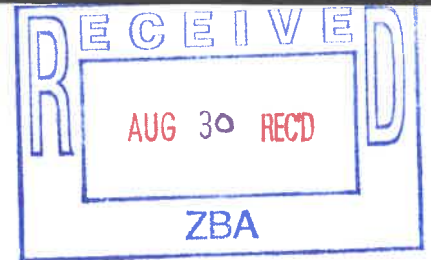


14 Ridge Beam Detail
3/4" = 1'-0"

15 Eave Beam Detail
3/4" = 1'-0"

Zoning Office

From: Barbara Russell <brussells1955@gmail.com>
Sent: Wednesday, August 30, 2023 11:33 AM
To: zoning@lewisborogov.com
Cc: wfon@wfoneill.com
Subject: Barbara Arnold's screened porch request



To the Chairman and Members of the Zoning Board,

Barbara Arnold and her architect Bill O'Neil have requested that I inform you that I have absolutely no problem or issues with her request for our approval of a screened porch at 28 Main St., South Salem New York.

If you need anything further from us regarding this, please do not hesitate to call me or my husband Mark at 914-763-4306. Thank you.

Sincerely,
Barbara Russell

Sent from my iPad

TOWN OF LEWISBORO
Building Department
Bouton Road
South Salem, NY 10590
Email: kkelly@lewisborogov.com



(914) 763-3060
FAX (914) 875-914879
TTY 800-662-1220

www.lewisborogov.com

Date 8/25/2023
Zoning Denial App. # 2023-0372

Kaufman
21 Hall Ave, Goldens Bridge, NY
7C-12668-010

The proposed two-story addition will have a side yard setback of 13.2' whereas 30' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 16.8'.

Kevin J. Kelly

A handwritten signature in black ink, appearing to read "K. J. Kelly", is written over a light blue grid background.

Building Inspector

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, September 27, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 24-23-BZ

Application of Adam Kaufman & Elana Shneyer [Kaufman, Adam & Shneyer, Elana, owners of record], 21 Hall Avenue, Goldens Bridge, NY for the following variance of the proposed two-story addition will have a side yard setback of 13.2' whereas 30' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 16.8'.

The property is located on the north side of (#21) Hall Avenue, Goldens Bridge, NY designated on the Tax Map as Sheet 007C, Block 12668, Lot 010, in an R-1AC, One-Acre Residential District consisting of approximately 0.714 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 31st day of August 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.










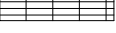
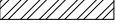

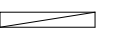

9. WHERE ROOFS INTERSECT WITH WALLS, EXTEND ICE/WATER SHIELD UP WALLS MINIMUM 8". INSTALL AT EAVES AND VALLEYS AND OVER ENTIRE ROOF SURFACE OF ROOF WITH A PITCH OF 3 IN 12 OR LESS. PROVIDE METAL FLASHING AT ROOF TO SIDEWALLS. USE STAINLESS STEEL OR COPPER FLASHINGS IN CONTACT WITH CEDAR SIDING OR PRESSURE TREATED WOOD.
10. CROSS BRIDGING SHALL BE METAL TENSION BRIDGING. SOLID BLOCKING IN LIEU OF BRIDGING WILL BE REJECTED. INSTALL ROWS OF BRIDGING NOT LESS THAN 5'-0" FROM JOIST BEARING AND NOT MORE THAN 8'-0" APART UNLESS INDICATED OTHERWISE. PROVIDE SOLID BLOCKING BETWEEN FLOOR JOISTS OVER ALL LOAD-BEARING PARTITIONS.
11. UNLESS OTHERWISE NOTED, PROVIDE ONE JACK STUD AT EACH END OF ALL HEADERS WITH A CLEAR SPAN OF LESS THAN 5'-1" AND TWO JACK STUDS AT HEADERS WITH LONGER SPANS. WHERE POSTS ARE INDICATED ON THE PLANS, THEY ARE JACK STUDS. MINIMUM SIZE HEADERS AT INTERIOR DOORS TO BE 2-2x6 U.O.N. HEADERS AT LOADBearing PARTITIONS ARE INDICATED ON THE DRAWINGS.
12. PAINT ALL EXPOSED DRYWALL AND CEILING SURFACES WITH 1-COAT OF VALSPAR PRIMER/ SEALER AND 2-COATS FLAT LATEX FINISH. PAINT ALL TRIM AND DOORS WITH 1-COAT ALKYD PRIMER AND 3-COATS LATEX EGGSHELL FINISH.
13. PROVIDE 5" HALF-ROUND GUTTERS AND 3" ROUND LEADERS TO MATCH FINISH OF METAL ROOFING. CONNECT TO EXISTING STORM WATER SYSTEM OR TO INFILTRATORS INDICATED ON SITE PLAN.

- ## GENERAL NOTES:
1. ALL DIMENSIONS INDICATED FOR NEW WORK ARE NOMINAL STUD TO STUD. EXISTING DIMENSIONS INDICATED ARE FINISH TO FINISH. VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCY BEFORE PROCEEDING WITH THE WORK.
 2. ALL MATERIALS, COMPONENTS AND ACCESSORIES USED FOR THE CONSTRUCTION OF THE WORK INDICATED SHALL BE NEW, FIRST QUALITY AND SPECIFICALLY RECOMMENDED BY THEIR MANUFACTURER FOR THE USE INTENDED. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS AND DIAGRAMS AND INCLUDE ALL RELATED WORK UPON WHICH THEIR PROPER INSTALLATION AND WARRANTY DEPENDS.
 3. ALL FRAMING LUMBER TO BE #2 GRADE DOUGLAS FIR, OR BETTER. SILL PLATES TO BE SET ON SILL SEALER AND TERMITE SHIELDS. DOUBLE-UP FJS, CJS AND RAFTERS AT OPENINGS REQUIRING CUT MEMBERS. SILLS AND WOOD MEMBERS EXPOSED TO WEATHER TO BE #1 GRADE SYP PRESSURE TREATED WOOD. USE MATERIAL RATED FOR CONTINUOUS GROUND CONTACT WHERE IN CONTACT WITH GROUND. OSB SHEATHING WILL BE REJECTED. DOUBLE-UP FLOOR JOISTS BELOW LOADBEARING PARTITIONS PARALLEL TO FRAMING DIRECTION.
 4. EXTERIOR WALL CONSTRUCTION TO BE FIBER-CEMENT BOARD OR WOOD NICKEL GAP SHIP-LAP SIDING ON 1-LAYER HOUSEWRAP, ON $\frac{3}{4}$ " CDX PLYWOOD SHEATHING, ON 2x6 STUDS @ 16" O/C WITH R-21 FIBERGLASS BATT INSULATION, $\frac{1}{2}$ " GWB INTERIOR FACE, SCREW PLATED.
 5. INTERIOR PARTITIONS TO BE 2x4 STUDS @ 16" O/C, UNLESS OTHERWISE INDICATED. FINISH EXPOSED FACES WITH $\frac{1}{2}$ " GYPSUM WALLBOARD. WHERE STONE OR CERAMIC TILE FINISHES ARE SCHEDULED, PROVIDE $\frac{1}{2}$ " FIBER CEMENT BACKER BOARD.
 6. SECURE RAFTERS TO WALL PLATES AND PURLINS WITH H2.5T SEISMIC/ HURRICANE CLIPS. SHEATHING IS DESIGNED TO RESIST DESIGN WIND LOADS. FLOATING EDGES IN SHEATHING ARE NOT PERMITTED. PROVIDE WOOD BLOCKING AT FLOATING EDGES AND SECURELY FASTEN BOTH EDGES.
 7. WINDOWS INDICATED ARE ANDERSEN UNITS. EXTERIOR FINISH COLOR TO BE SELECTED BY OWNER. PROVIDE ALL UNITS WITH EXTENSION JAMBS AND SCREENS. VERIFY MANUFACTURER'S MINIMUM ROUGH OPENING DIMENSIONS FOR UNITS INDICATED. UNITS ANNOTATED "EGRESS WINDOW" MAY NOT BE CHANGED IN EITHER SIZE OR MANUFACTURE WITHOUT THE WRITTEN APPROVAL ON THE ARCHITECT.
 8. ROOF CONSTRUCTION TO BE GAF TIMBERLINE HDZ ASPHALT SHINGLES ON 1-LAYER OF POLYPROPYLENE UNDERLAYMENT ON $\frac{1}{2}$ " EXPOSURE 1 PLYWOOD DECKING ON SCHEDULED RAFTERS @ 16" O/C.

SCOPE OF WORK

1. WORK COMPRISES RENOVATION AND ADDITIONS TO AN EXISTING 2-FAMILY FRAME DWELLING. THE EXISTING HOUSE FOUNDATION, FIRST FLOOR PLATFORM AND SUBFLOOR IS TO REMAIN. THE EXISTING 646SF HALF STORY IS TO BE REMOVED AND REPLACED WITH A FULL SECOND FLOOR; THE EXISTING FRONT DECK IS TO BE REPLACED WITH A PORCH AND A DECK OFF THE FAMILY ROOM; A DECK AND SCREENED IN PORCH ARE TO BE BUILT IN THE REAR, AND THE EXISTING RIGHT SIDE PORCH IS TO BECOME LIVING SPACE WITH A SECOND FLOOR ABOVE. A 2-CAR GARAGE IS TO BE ADDED WITH A MASTER BEDROOM ON THE SECOND FLOOR. THE EXISTING GRAVEL DRIVE IS TO BE REMOVED AND RELOCATED TO SERVE THE NEW GARAGE. REFER TO THE BUILDING AREA TABULATION ON SHEET S-1.
2. CONSTRUCTION IS TO BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING CODES:
2020 RESIDENTIAL CODE OF NEW YORK STATE
2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE
2017 NATIONAL ELECTRICAL CODE (NFPA 70)
TOWN OF LEWISBORO MUNICIPAL CODE
IF CONFLICTS EXIST BETWEEN DIFFERENT CODES, THE STRICTER CODE SHALL APPLY.

LEGEND

- | | |
|---|-------------------------------|
|  | SOFFIT OR HIDDEN LINE |
|  | NEW PARTITION |
|  | FIBERGLASS BATT INSULATION |
|  | CONCRETE MASONRY UNIT (BLOCK) |
|  | CONCRETE |
|  | STONE |
|  | CRUSHED STONE/ GRAVEL |
|  | RIGID INSULATION |
|  | STRUCTURAL STEEL |
|  | NEW DIMENSIONAL LUMBER |
|  | SHIM, AS REQUIRED |
|  | LINE OF BEAM OR HEADER ABOVE |
| PT | PRESSURE TREATED |
| T.O. | TRIMMED (CASED) OPENING |
| R.O. | ROUGH OPENING |
| PD | POCKET DOOR |
| EX | EXISTING |
| FPSC | FIRE PROOF SELF-CLOSING |

ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE:
FOR THE TOWN OF LEWISBORO, WESTCHESTER COUNTY

TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
4A	0.32	0.55	0.40	49	20 or 13+5	8/13	19	10/13	10, 2FT	10/13

FILL CAVITIES EXPOSED IN EXISTING FRAMING TO EXTERIOR WITH FIBERGLASS BATT INSULATION PER 2020 NYS RC SECTION AJ104.1.1

DESIGN CRITERIA, RESIDENTIAL CODE OF NEW YORK STATE
FOR THE TOWN OF LEWISBORO, WESTCHESTER COUNTY

Table R301.2 (1)

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM:				Winter Design Temperature	Ice shield underlayment required	Flood hazards	Air freezing index
			Weathering	Frost line depth	Termites	Decay				
30 lbs/sf	115	B	Severe	3'-6"	Moderate to Heavy	Slight to Moderate	7	Yes	No - per map 36119C0095F eff. 9/28/2007	<1500



			<p>PAUL DENNIS, A.I.A. ARCHITECTS 26 GILBERT STREET, SOUTH SALEM, NY 10590 914-763-0959 pauldennis.architects@gmail.com</p>		<p>TITLE</p> <p>SITE PLAN 1ST & 2ND FLOOR PLANS NOTES</p>	
			<p>SCHNEYER-KAUFMAN HOUSE</p> <p>21 HALL AVENUE. GOLDENS BRIDGE, NY 10526</p>		<p>DATE JUNE 26 2022</p> <p>SCALE 1/4" = 1'-0", U.O.N.</p> <p>DRAWN BY LPI/ PD</p> <p>CHECKED BY</p>	
<p>PAUL DENNIS, NEW YORK A-16781</p>			<p>TOWN OF LEWISBORO SHEET 007C, BLOCK 12668, LOT 10, R-1A ZONE</p>		<p>JOB 2261</p> <p>SHEET 2 OF 10</p>	
					<p>DRAWING #</p> <p>A-1</p>	



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FINISH SCHEDULE

	ROOM	FLOOR	BASE	WALLS	CASINGS	CEILING	CROWN	REMARKS
FIRST FLOOR	FOYER	WD-1	B-1	PT-1	TR-1	PT-2	C-3	
	LIVING ROOM	WD-1	B-1	PT-2	TR-1	PT-2	C-1	
	FAMILY ROOM	WD-1	B-1	PT-3	TR-1	PT-2	C-1	
	POWDER ROOM	CT-2	B-2	CT-3/ PT-4	TR-1	PT-2	C-3	WALLS CT-3 42" HIGH
	GARAGE	CONC.	B-2	PT-5	TR-2	PT-2	-	SEALER ON FLOOR
	PANTRY	CT-1	B-2	PT-4	TR-2	PT-2	-	
	MUD ROOM	CT-1	B-2	PT-4	TR-2	PT-2	-	
	KITCHEN	WD-1	B-1	PT-5, PT-6	TR-1	PT-2	C-1	CAINETRY C-3, BACKSPLASH CT-4
	DINING ROOM	WD-1	B-1	PT-2	TR-1	PT-2	C-1	WD WAINSCOT
	SCREENED PORCH	STAIN	B-2	CLEAR	TR-2	CLEAR	-	
SECOND FLOOR	DEN	WD-1	B-1	PT-2	TR-1	PT-2	C-1	
	COAT CLOSET	WD-1	B-2	PT-2	TR-2	PT-2	-	
	MASTER BEDROOM	WD-1	B-1	PT-5	TR-1	PT-2	-	WD WAINSCOT
	MASTER BATH	ST-1	B-1 @ PT	ST-2/ PT-7	TR-1	PT-2	C-2	WET WALLS ST-2
	WALK-IN CLOSET	WD-2	B-2	PT-5	TR-2	PT-2	-	
	LAUNDRY	CT-1	B-2	PT-4	TR-2	PT-2	-	
	HALL	WD-1	B-1	PT-2	TR-1	PT-2	C-2	
	BEDROOM #2	WD-1	B-1	PT-2	TR-1	PT-2	C-2	
	BEDROOM #3	WD-1	B-1	PT-2	TR-1	PT-2	C-2	
	BEDROOM #4	WD-1	B-1	PT-2	TR-1	PT-2	C-2	
CELLAR	BATH #2	CT-1	B-2	PT-4	TR-2	PT-2	C-3	WET WALLS CT-3
	TOILET	WD-1	B-2	PT-4	TR-2	PT-2	C-3	
	CLOSETS	WD-1	B-2	PT-2	TR-2	PT-2	-	
	STORAGE/ MECHANICAL RM	SEALER	B-2	PT-2	-	PT-2	-	
	STAIR	WD-2	B-2	PT-2	TR-2	PT-2	-	
	LIVING ROOM	VP	B-2	PT-2	TR-2	PT-2	-	
	DINING/ KITCHEN	VP	-	PT-2	TR-2	PT-2	-	CT-3 BACKSPLASH
	BEDROOM	VP	B-2	PT-2	TR-2	PT-2	-	
	BATHROOM	CT-1	B-2	PT-2	TR-2	PT-2	-	WET WALLS CT-3
	CLOSETS	VP	B-2	PT-2	TR-2	PT-2	-	

WOOD TRIM
B-1 = 7" BASE
B-2 = 1x4 BASE
INTERIOR DOORS TO BE CRAFTSMAN 3-PANEL SOLID CORE MDF, PAINT FINISH.

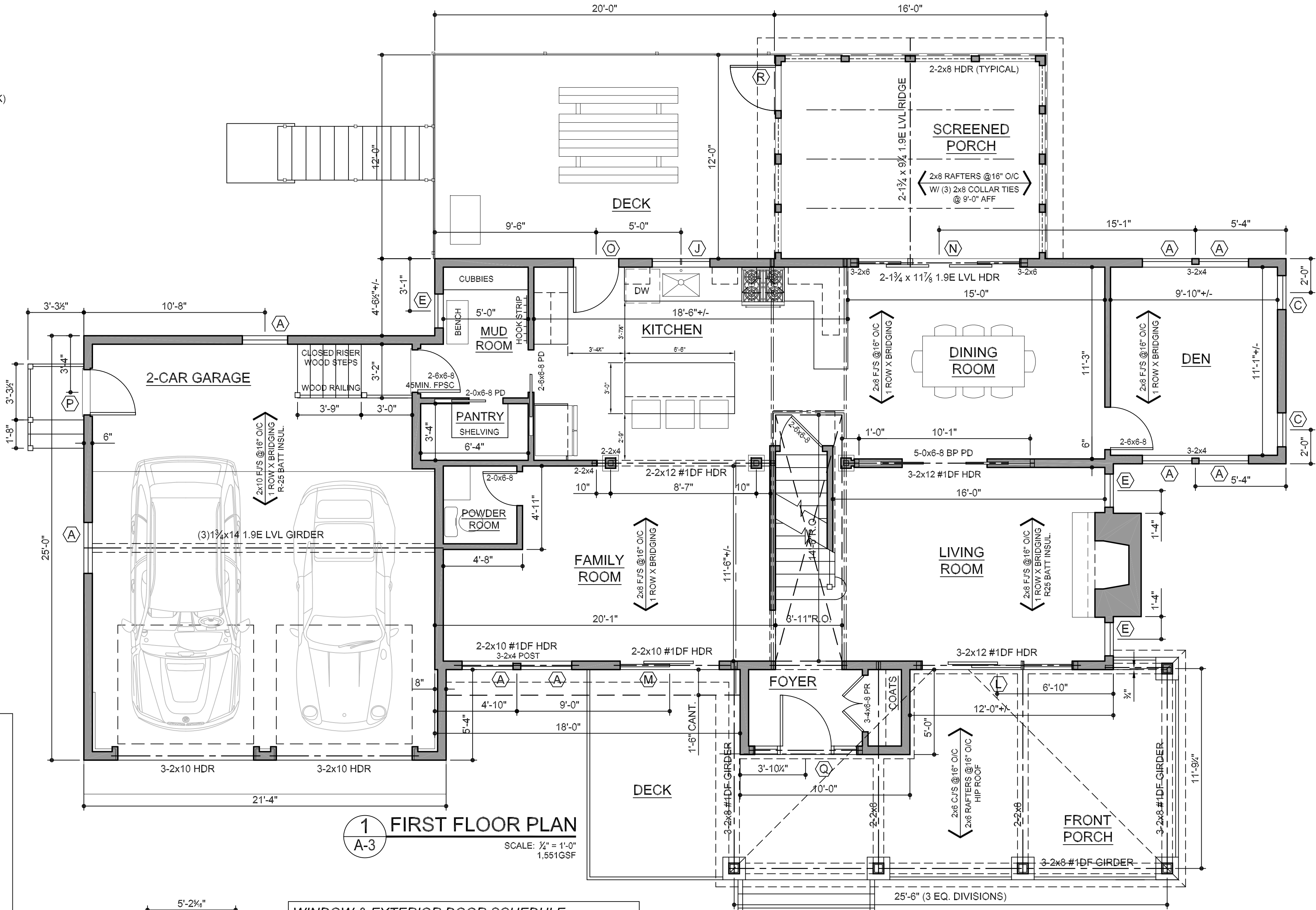
TR-1 = #640 CASING
TR-2 = 1x3 CASING

C-1 = #92
C-2 = #109

ABBREVIATIONS:
WD-1 = 3/4" CLEAR CUMARU
CT = CERAMIC TILE
PT = PAINT
WD-1 = 3/4" CLEAR CUMARU
PT = PAINT
CT-1 = PORCELAIN TILE
CT-2 = HEXAGON DOT UNGLAZED CERAMIC
CT-3 = WHITE GLOSS 3x6 SUBWAY TILE
CT-3 = TBD

LEGEND

- SOFFIT OR HIDDEN LINE
- NEW PARTITION
- FIBERGLASS BATT INSULATION
- CONCRETE MASONRY UNIT (BLOCK)
- CONCRETE
- STONE
- CRUSHED STONE/ GRAVEL
- RIGID INSULATION
- STRUCTURAL STEEL
- NEW DIMENSIONAL LUMBER
- SHIM, AS REQUIRED
- LINE OF BEAM OR HEADER ABOVE
- PT PRESSURE TREATED
- T.O. TRIMMED (CASED) OPENING
- R.O. ROUGH OPENING
- PD POCKET DOOR
- EX EXISTING
- FPSC FIRE PROOF SELF-CLOSING



CONNECTORS

6x6 POST BASE	ABU86Z
4x4 POST BASE	ABU44Z
6x6 POST CAP TO 6x6	BC6
6x6 POST CAP TO 3-2x	BCS2-3/6
RAFTERS TO WALL PLATE	H2.5T OR EQUAL
DECK JOIST HANGERS	LU28
DECK TENSION TIES	2-DTT2Z OR DTT12-KT
RAFTER HANGERS	LRU210Z

WINDOW & EXTERIOR DOOR SCHEDULE

TAG	DESCRIPTION	REMARKS	QTY
A	TW3046		25
B	TW2646		1
C	TW2446		2
D	TW2046		1
E	TW1846		2
F	TW2442		1
G	CW14		3
H	TW2036		3
I	TW1832		2
J	CN235		1
K	CX135		2
L	FWG 60611L/33611S		1
M	FWG 60611R		1
N	FWG 100611-4		1
O	2-8x6-8 FULL VIEW EXT. DOOR		1
P	2-8x6-8 HALF GLASS EXT. DOOR		1
Q	3-0x6-8 ENT. DOOR W/ SIDELIGHTS	CRAFTSMAN STYLE	1
R	2-8x6-8 SCREENED DOOR		1

EXTERIOR DOOR & WINDOW NOTES:

ALL WINDOWS AND EXTERIOR DOOR TO BE NEW CONSTRUCTION UNITS, WITH EXTENSION JAMBS TO SUIT WALL THICKNESSES AND SCREENS.

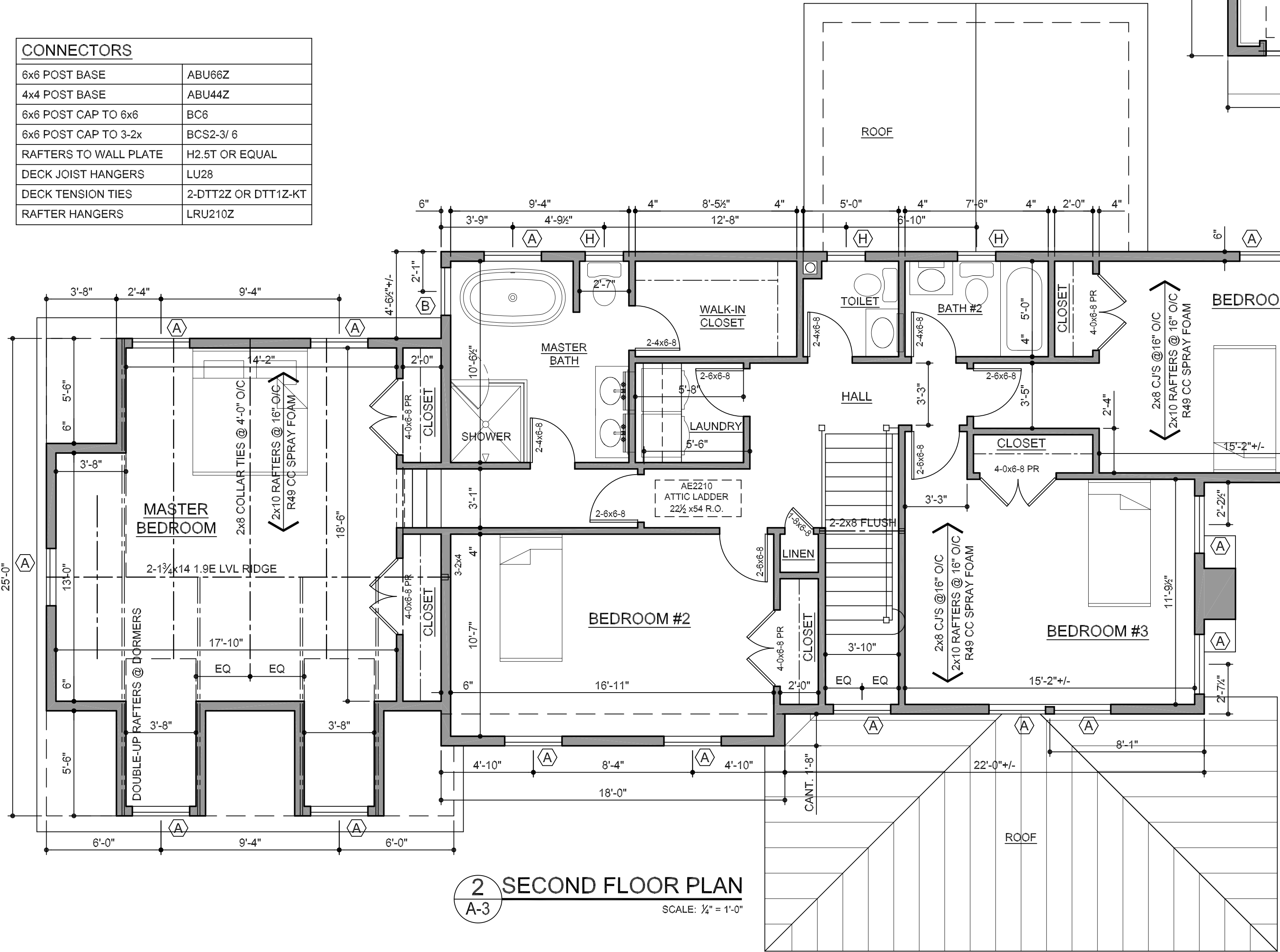
EXTERIOR COLORS TO BE SELECTED BY OWNER. EXPOSED INTERIOR SURFACES TO BE PRIMED FOR PAINT FINISH. HARDWARE AND FINISH TO BE SELECTED BY OWNER.

EXTERIOR TRIM TO BE 3/2" FLAT WITH SILL NOSE. REFER TO ELEVATIONS FOR GRILLE CONFIGURATIONS.

GLAZING TO BE SMARTSUN, ENERGY STAR CERTIFIED. GLAZING IN TUB ENCLOSURES AND LESS THAN 18" FROM FINISHED FLOOR SURFACE TO BE SAFETY GLAZING.

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN POUNDS PER SQUARE FOOT)

USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE <42"HT	10
UNINHABITABLE ATTICS WITH LIMITED STORAGE >42" HT	20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECKS	40
FIRE ESCAPES	40
GUARDS AND HANDRAILS	200H
GUARD IN-FILL COMPONENTS	50H
PASSENGER VEHICLE GARAGES	50A
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40
SNOW LOAD	30



PAUL DENNIS, A.I.A.
ARCHITECTS
26 GILBERT STREET, SOUTH SALEM, NY 10590
914-763-0959
pauldennis.architects@gmail.com

DATE
JUNE 26 2022
SCALE
1/4" = 1'-0", U.O.N.
DRAWN BY
LP/ PD
CHECKED BY

JOB
2261
SHEET 4 OF 10

DRAWING #
A-3

SCHNEYER-KAUFMAN HOUSE
21 HALL AVENUE.
GOLDENS BRIDGE, NY 10526

TOWN OF LEWISBORO
SHEET 007C, BLOCK 12668, LOT 10, R-1A ZONE

TITLE
FIRST & SECOND
FLOOR PLANS
FINISH SCHEDULE
NOTES, SCHEDULES

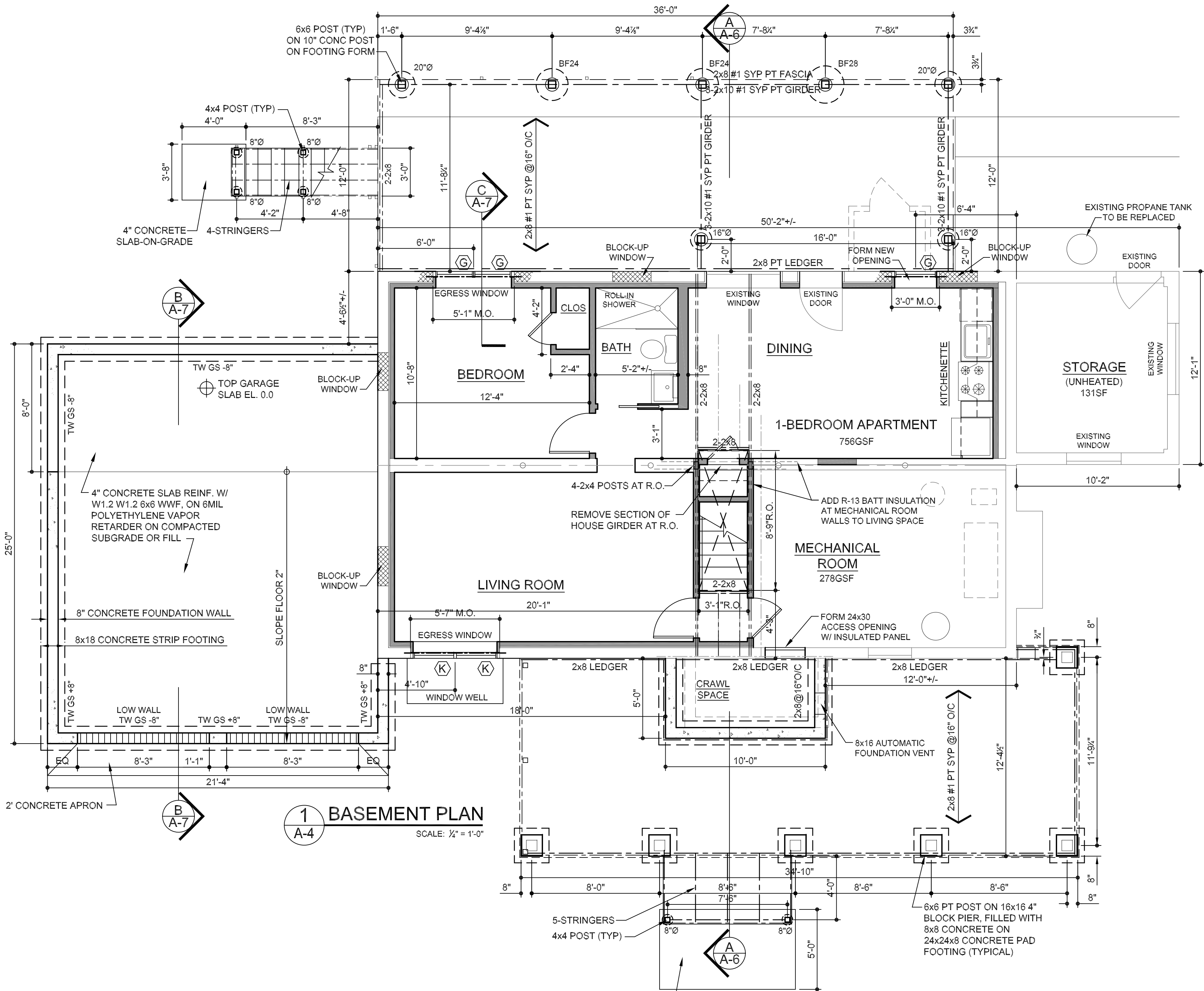
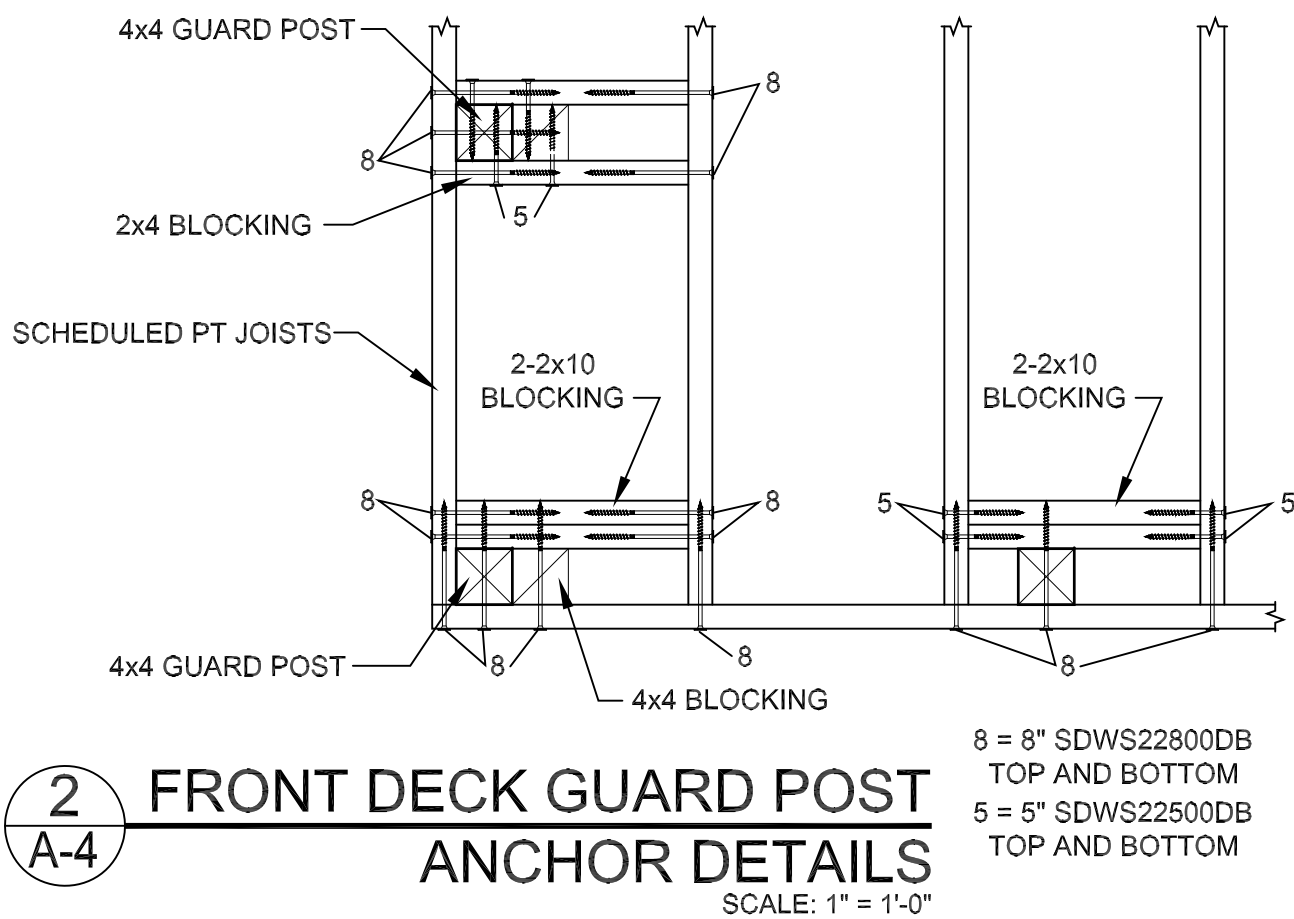
DATE
JUNE 26 2022
SCALE
1/4" = 1'-0", U.O.N.
DRAWN BY
LP/ PD
CHECKED BY

JOB
2261
SHEET 4 OF 10

DRAWING #
A-3

FOUNDATION NOTES:

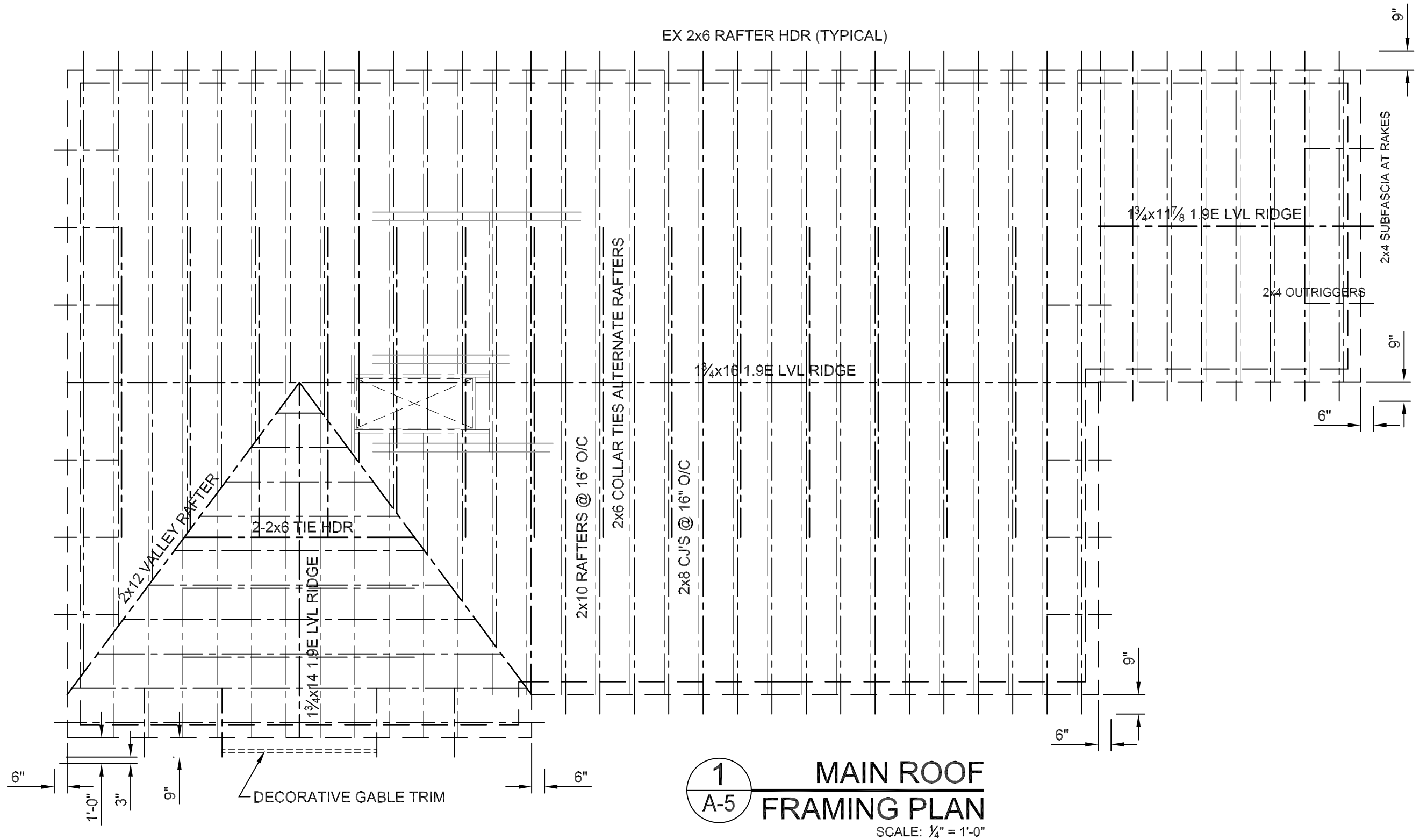
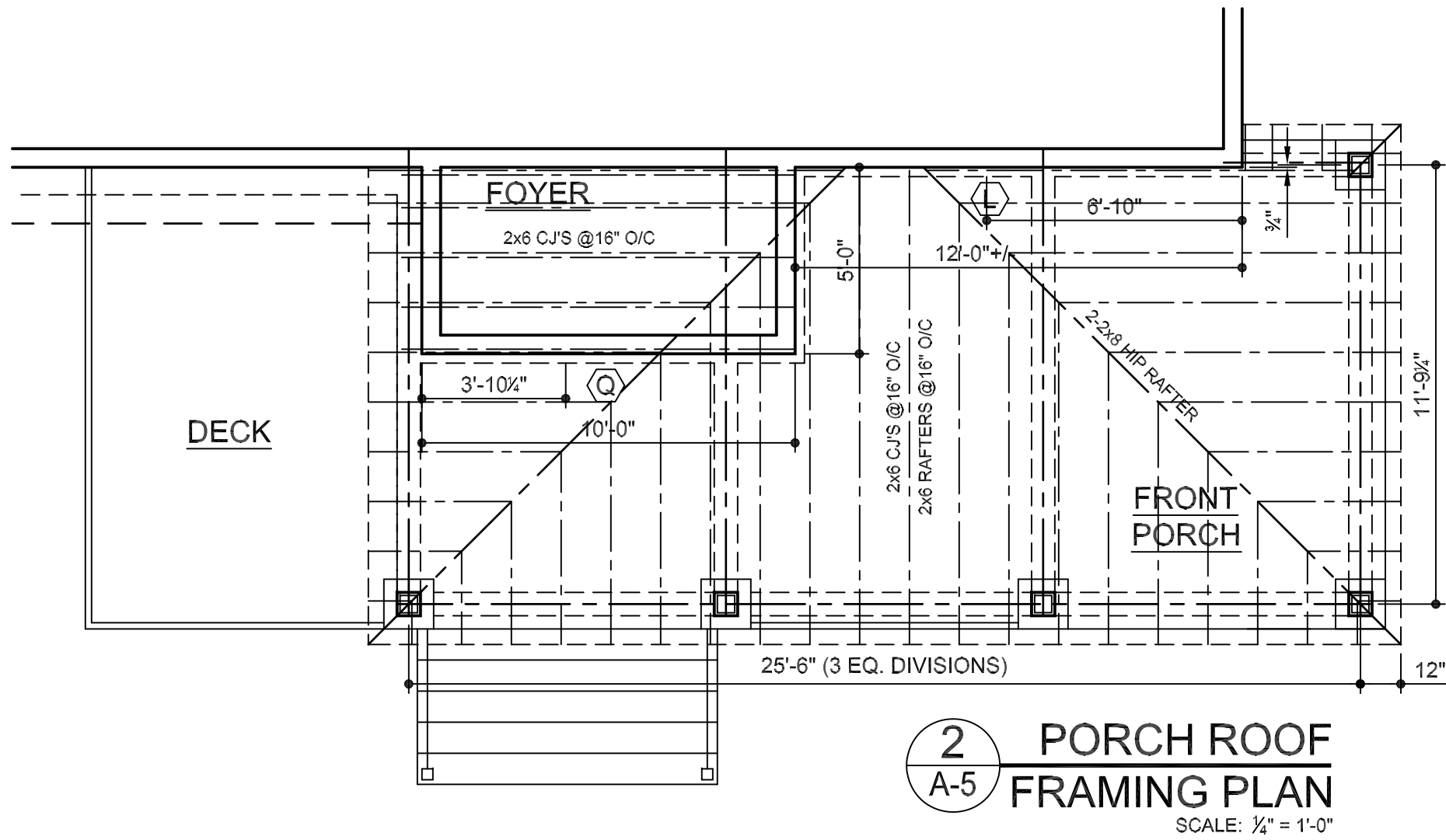
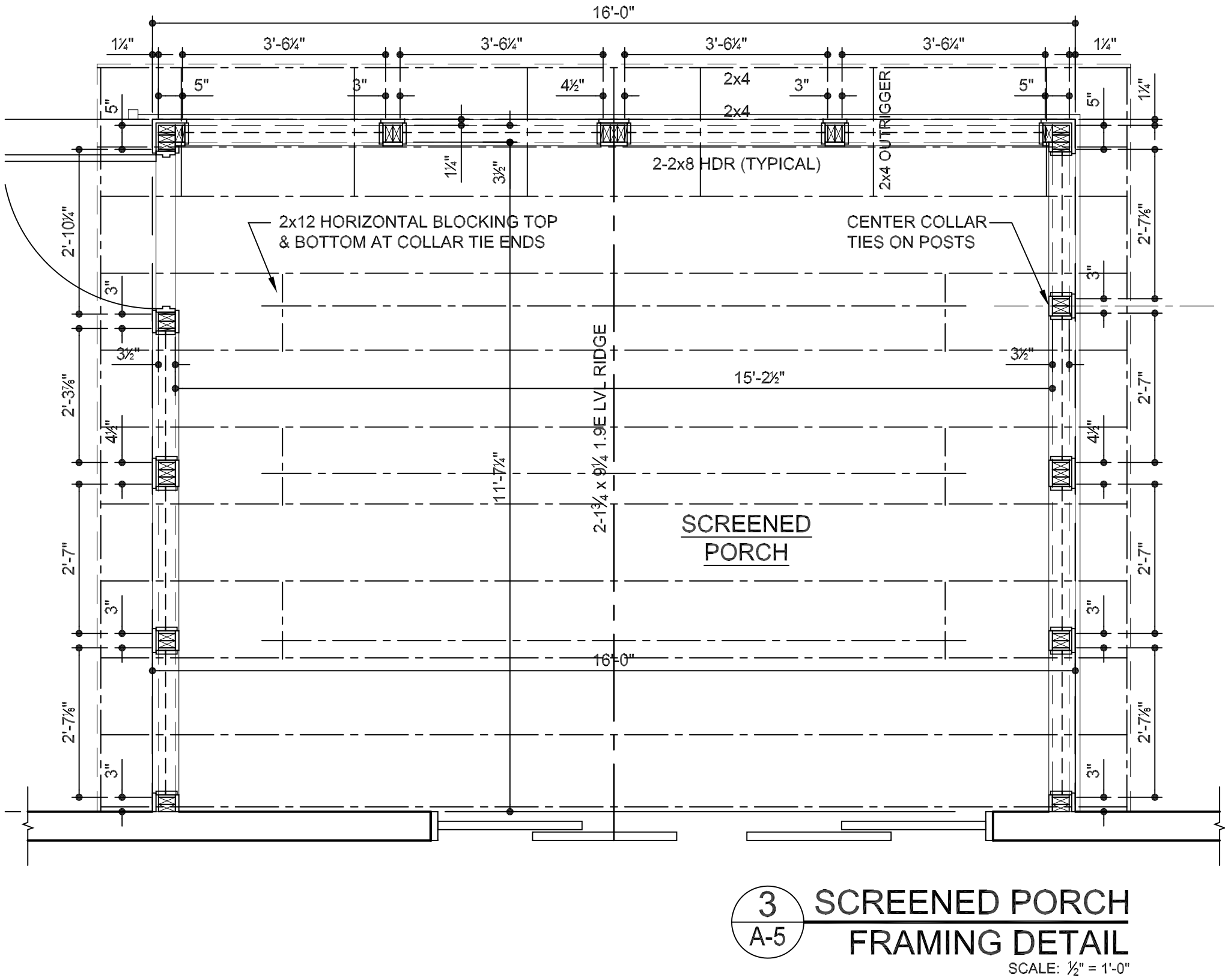
- CONTRACTOR TO ENGAGE A LICENSED SURVEYOR TO STAKE OUT THE WORK BEFORE EXCAVATION TAKES PLACE. PROVIDE AN AS-BUILT SURVEY AT THE COMPLETION OF WORK.
- MINIMUM SOIL BEARING CAPACITY TO BE 2 TONS/SF. ON UNDISTURBED SUBSOIL OR 90% COMPACTED FILL. WHERE OVER-EXCAVATION IS NECESSARY, PROVIDE 90% COMPACTED CRUSHED STONE OR CONCRETE FILL.
- WHERE COMPACTED SUBGRADE IS LOOSE OR UNSUITABLE FOR VAPOR RETARDER AND INSTALLATION OF SLAB-ON-GRADE, INSTALL 4" OF COMPACTED ¾" CRUSHED STONE BASE.
- CONCRETE FOR FOUNDATION WALLS AND STRIP FOOTINGS TO BE MIN. 3,000PSI 28-DAY COMPRESSIVE STRENGTH. INTERIOR SLABS TO BE 2,500PSI. GARAGE FLOOR SLAB AND SLABS AND STEPS EXPOSED TO THE WEATHER TO BE 3,500PSI. MIN. COVER TO REINFORCEMENT TO BE 1½". THICKNESS OF STRIP FOOTINGS TO BE NOT LESS THAN THE WIDTH OF WALL BEARING ON IT.
- INSTALL ½" GALVANIZED STEEL ANCHOR BOLTS SPACED NOT MORE THAN 4'-0" O/C. MASAP MUDSILL ANCHORS MAY BE USED IN LIEU OF ANCHOR BOLTS.
- FOUNDATION WALLS ARE DESIGNED TO BE PLACED IN A SINGLE POUR. HORIZONTAL COLD JOINTS ARE NOT PERMITTED. WHERE VERTICAL COLD JOINTS ARE NECESSARY, INSTALL #4 DOWELS X 48" LENGTH AT 16" O/C.
- ALL REINFORCING BARS TO BE A MINIMUM OF GRADE 40 DEFORMED BARS. MINIMUM LAP AT SPLICES TO BE NOT LESS THAN 40 TIMES THE BAR DIAMETER.
- FOUNDATION WALLS TO HAVE A MINIMUM 28-DAY SET BEFORE COMMENCING BACKFILL. FIRST FLOOR PLATFORM TO BE IN PLACE BEFORE BACKFILL TO GRADE COMMENCES. PLACE BACKFILL IN 12" LIFTS, EQUAL ON BOTH SIDES FOR ENTIRE LENGTH OF FOUNDATION WALL.
- POST FOOTING FORMS WHERE INDICATED, TO BE SONOTUBE TUBE BASE OR BIGFOOT FORMS, SET ON A MINIMUM 4" COMPACTED CRUSHED STONE BASE.
- WHERE BEAM POCKETS ARE REQUIRED TO SET GIRDERS, SET GIRDERS IN NON-SHRINK GROUT.
- LALLY COLUMNS TO BE FURNISHED WITH WELDED CAPS AND BASES, OR THE MECHANICAL EQUIVALENT. ADJUSTABLE BASE PLATES AND SHIM PLATES, IF USED, ARE TO BE EMBEDDED IN CONCRETE OR NON-SHRINK GROUT. JACK POSTS ARE NOT PERMITTED.
- POSTS TO BE SECURED TO FOOTINGS WITH SIMPSON ABE SERIES POST BASES, TO HEADERS WITH TYPE AC OR ACE POST CAPS, SIZE TO SUIT POSTS. WHERE EXPOSED BEAMS ARE INDICATED TO BE SET IN NOTCHED POSTS, THROUGH-BOLT WITH ½" HOT DIP GALVANIZED COACH BOLTS, LENGTH TO SUIT APPLICATION, TOP AND BOTTOM.
- AT CRAWL SPACES, INSTALL A 2" CONCRETE MUD SLAB ON 6MIL VAPOR RETARDER ON COMPACTED SUB GRADE



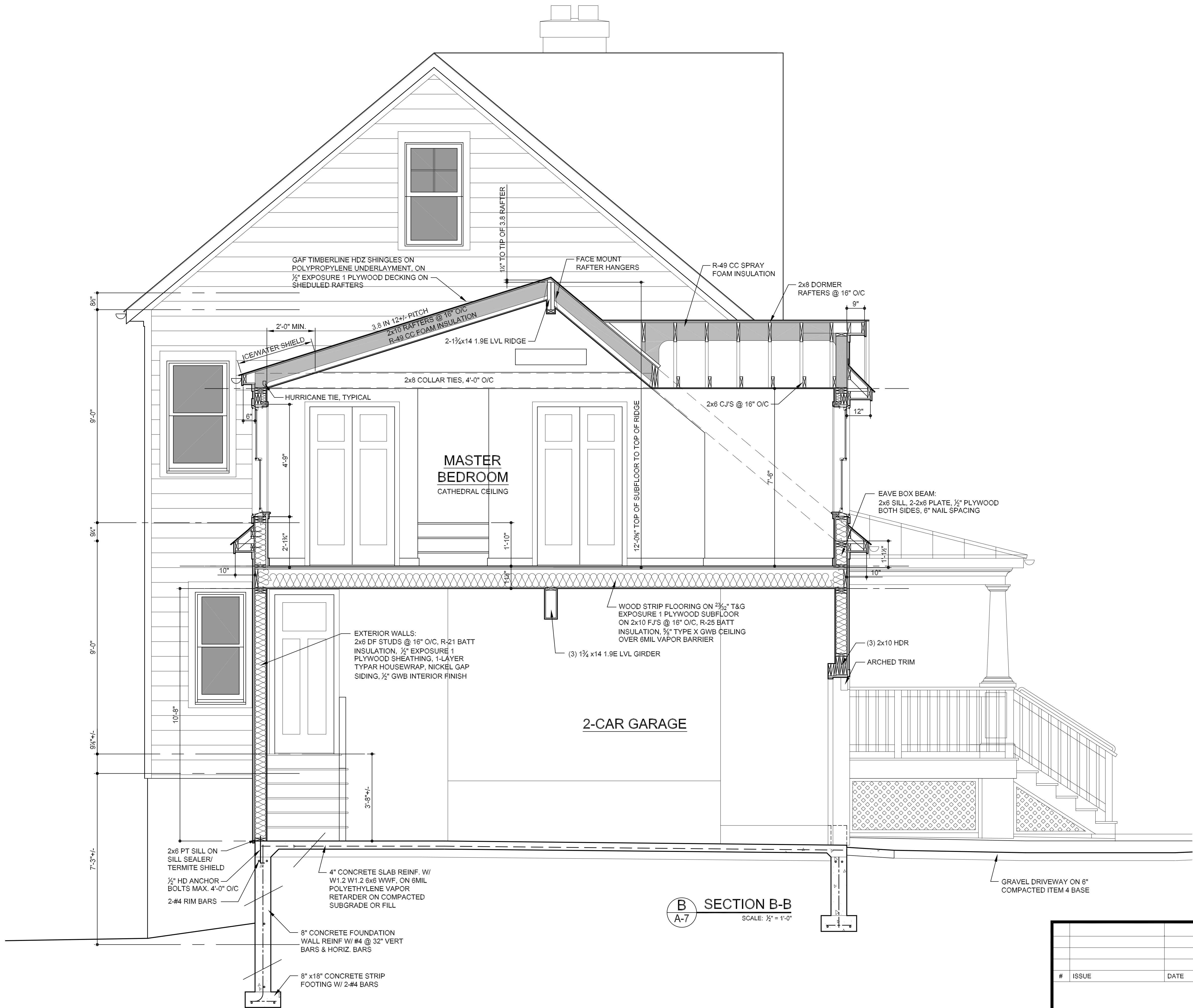
INSULATION NOTES:

- DESIGN IS BASED UPON FIBERGLASS FACED AND UNFACED BATT INSULATION. WHERE 2-LAYERS ARE REQUIRED TO ACHIEVE THE REQUIRED R VALUE, USE UNFACED INSULATION FOR SECOND LAYER.
- PLACE VAPOR BARRIER TO THE HEATED SIDE OF THE ASSEMBLY. ALL EXPOSED DRYWALL SURFACES TO BE PRIMED WITH A VAPOR-BARRIER RATED LATEX PRIMER/SEALER.
- WHERE BATT INSULATION IS PLACED IN A RAFTER VOID, USE RAFTER VENT AS INDICATED TO MAINTAIN AIRFLOW AROUND ASSEMBLY.
- FIT INSULATION TIGHT WITHIN JOIST AND STUD VOID, CAREFULLY CUT END OF INSULATION TO ACHIEVE A SNUG FIT. DO NOT WRAP OVER OR CURL ENDS OF BATTS. STAPLE PER INSULATION MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS TO MAINTAIN THE FULL THERMAL RATING OF THE ASSEMBLY.
- WHEN BATT INSULATION IS INSTALLED PROVIDE CONTINUOUS 2" VENT SOFFIT STRIP AND GABLE VENTS WHERE INDICATED.
- IF SPRAY FOAM INSULATION IS INSTALLED, APPLY CLOSED-CELL FOAM OF SUFFICIENT THICKNESS TO COMPLY WITH TABLE 402.1.2. APPLY WITHIN EXTERIOR STUD WALL VOIDS, AT RIM JOISTS, BETWEEN JOISTS OVER UNHEATED SPACE AND TO UNDERSIDE OF ROOF DECK BETWEEN RAFTERS TO MAINTAIN A CONTINUOUS THERMAL ENVELOPE. IF SPRAY FOAM INSULATION IS USED, DO NOT INSTALL SOFFIT VENTS, GABLE VENTS OR LPI BLOCKING BELOW UNINSULATED WALLS.
- WHERE COMBUSTIBLE SPRAY FOAM IS USED, COVER WITH ½" DRYWALL WHERE EXPOSED TO LIVING SPACE. WHERE COMBUSTIBLE FINISH MATERIALS ARE USED, PROTECT INSULATION WITH INTUMESCENT SPRAY FIREPROOF COATING OR PROVIDE LAYER OF DRYWALL.

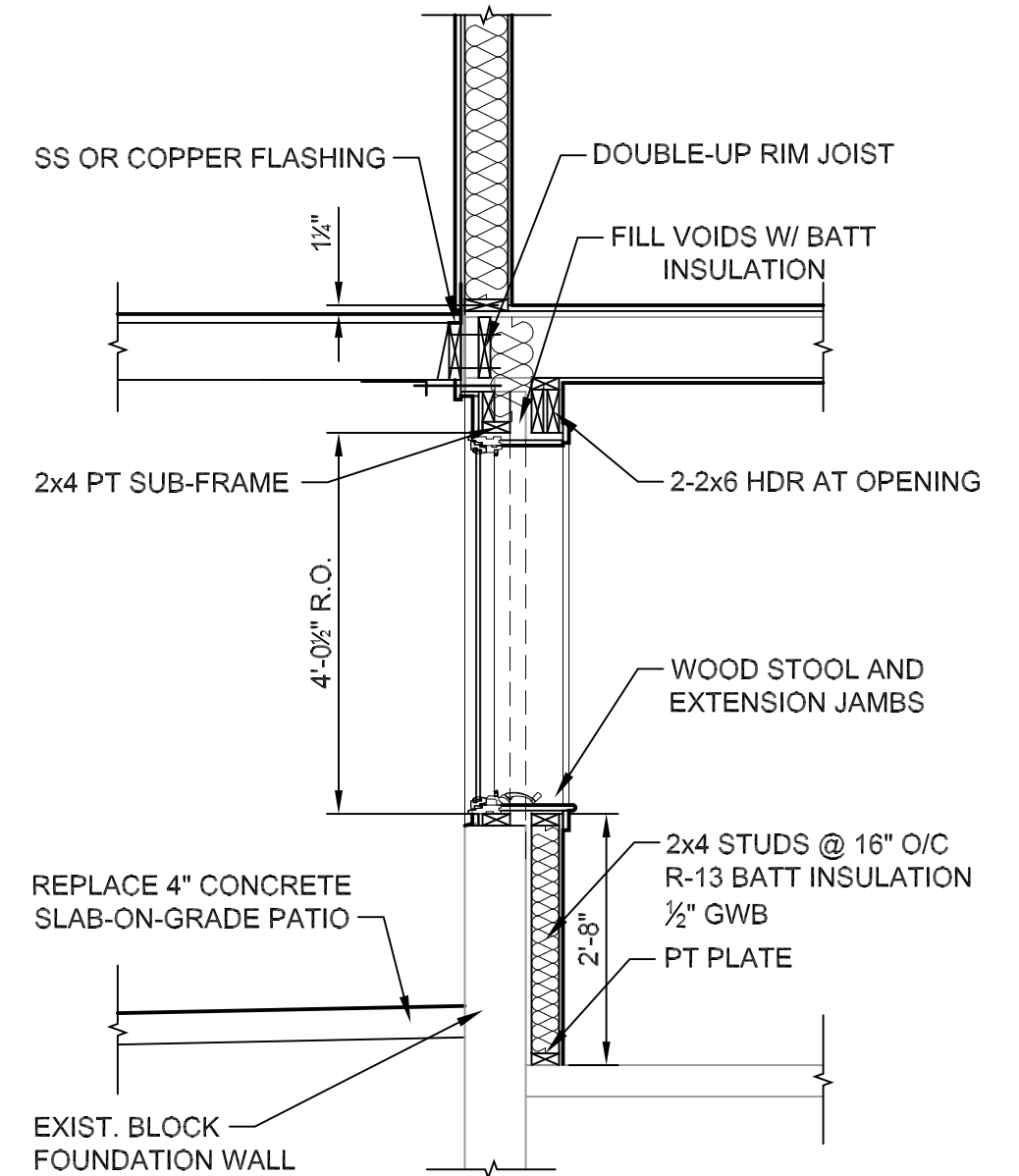
		PAUL DENNIS, A.I.A. ARCHITECTS 26 GILBERT STREET, SOUTH SALEM, NY 10590 914-763-0959 pauldennis.architects@gmail.com		TITLE BASEMENT/ FOUNDATION PLAN	
		SCHNEYER-KAUFMAN HOUSE 21 HALL AVENUE. GOLDENS BRIDGE, NY 10526		DATE FEBRUARY 4, 2022	
		TOWN OF LEWISBORO SHEET 007C, BLOCK 12668, LOT 10, R-1A ZONE		SCALE 1/4" = 1'-0", U.O.N.	
				DRAWN BY LP/ PD	
				CHECKED BY	
				JOB 2261	DRAWING # A-4
				SHEET 5 OF 10	



			PAUL DENNIS, A.I.A. ARCHITECTS 26 GILBERT STREET, SOUTH SALEM, NY 10590 914-763-0959 pauldennis.architects@gmail.com		TITLE FRAMING PLAN DETAILS
			SCHNEYER-KAUFMAN HOUSE 21 HALL AVENUE. GOLDENS BRIDGE, NY 10526		DATE JUNE 26, 2022
			TOWN OF LEWISBORO SHEET 007C, BLOCK 12668, LOT 10, R-1A ZONE		SCALE 1/4" = 1'-0", U.O.N.
					DRAWN BY LP/ PD
					CHECKED BY
					JOB 2261
					DRAWING # A-5
					SHEET 6 OF 10



B
A-7
SECTION B-B
SCALE: 1/2" = 1'-0"



C
A-7
SECTION C
SCALE: 1/4" = 1'-0"

			PAUL DENNIS, A.I.A. ARCHITECTS 26 GILBERT STREET, SOUTH SALEM, NY 10590 914-763-0959 pauldennis.architects@gmail.com		SECTION DETAILS	
			SCHNEYER-KAUFMAN HOUSE 21 HALL AVENUE. GOLDENS BRIDGE, NY 10526		DATE: JUNE 26 2022 SCALE: 1/4" = 1'-0", U.O.N. DRAWN BY: LP/ PD CHECKED BY:	
			TOWN OF LEWISBORO SHEET 007C, BLOCK 12668, LOT 10, R-1A ZONE		JOB: 2261 SHEET 8 OF 10	
PAUL DENNIS, NEW YORK A-16781					DRAWING # A-7	

ELECTRICAL LEGEND	
	WALL SCONCE
	DOWNLIGHT
	ADJUSTABLE ACCENT LIGHT
	LED STRIP LIGHT
	DECORATIVE FIXTURE, FURNISHED BY OWNER
	DUPLEX OUTLET
	DUPLEX OUTLET/ GROUND FAULT INTERRUPTOR
	SIMPLEX OUTLET
	TV ANTENNA/CTV OUTLET
	TELEPHONE OUTLET
	COMBINATION TV/ DATA OUTLET
	PROGRAMMABLE THERMOSTAT
	3-WAY LIGHT SWITCH
	LIGHT SWITCH
	DIMMER SWITCH
	SMOKE DETECTOR, HARDWIRE/ BATTERY BACK-UP
	HEAT DETECTOR/ THERMAL SHUT-OFF
	SMOKE/ CO DETECTOR, DIGITAL READOUT
	EXHAUST FAN
	J BOX
	WEATHERPROOF FLOODLIGHT
	KEY SWITCH
	PUSH BUTTON
	DOOR BELL
	JAMB SWITCH
	WEATHERPROOF
	EXISTING TO REMAIN

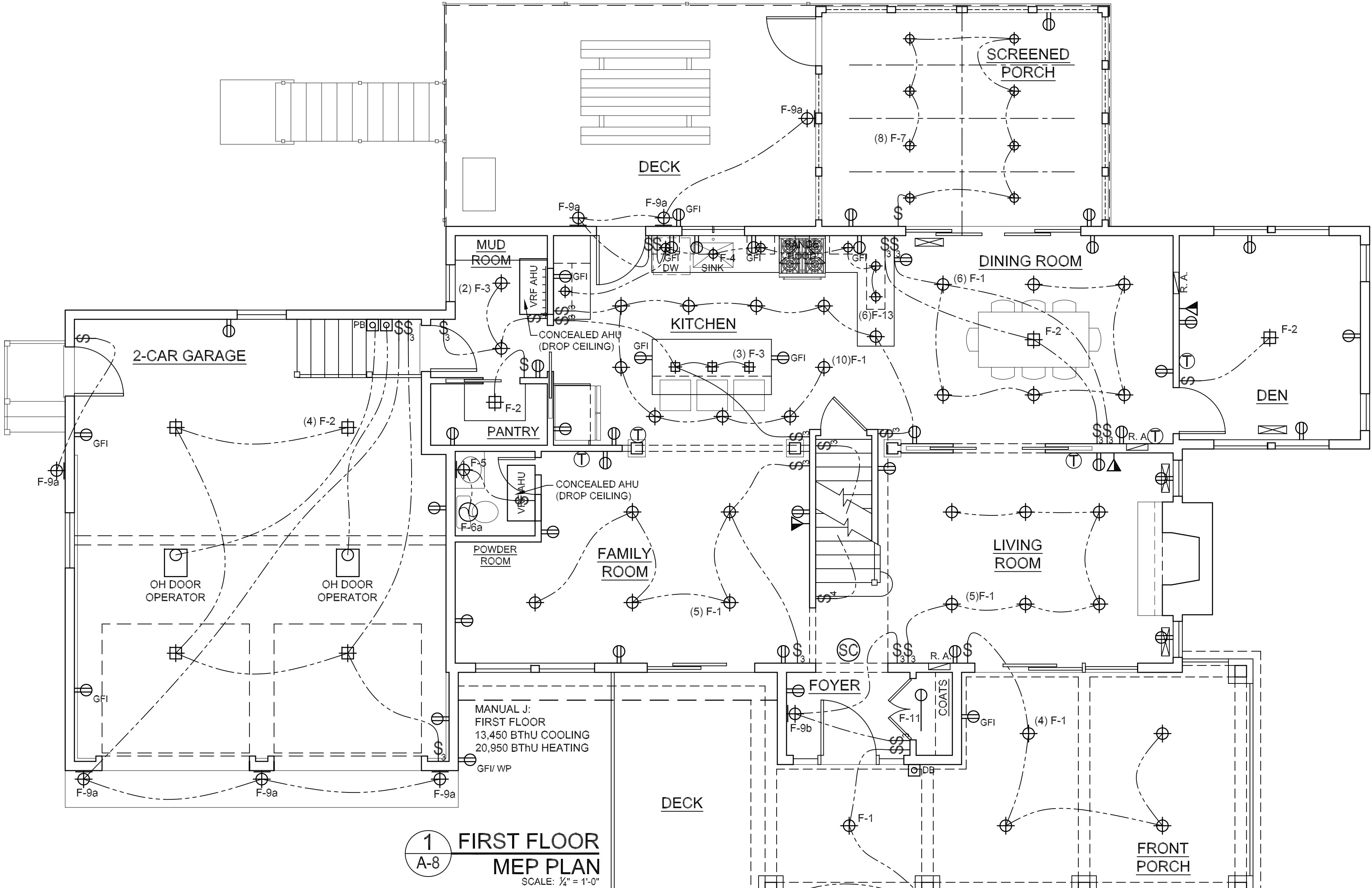
LIGHT FIXTURE SCHEDULE	
F-1	4" HALO RECESSED MEDIUM BASE DOWNLIGHT, IC RATED LED 800 LUMEN 3000K BULB 9W SPECULAR SILVER CONE
F-2	DECORATIVE CEILING FIXTURE 15W, FURNISHED BY OWNER
F-3	LED PENDANT 9W, FURNISHED BY OWNER
F-4	3" LED GIMBAL, COMMERCIAL ELECTRIC #91272 400 LUMENS, 3000K, 5.5W
F-5	LED DECORATIVE VANITY LIGHT 15W, FURNISHED BY OWNER
F-6	EXHAUST FAN, PANASONIC WHISPERFIT a=50CFM, b=80 CFM
F-7	4" GIMBAL, WAC LOTOS R4ERAR-W9 800 LUMENS 9W
F-8	4" RECESSED LED DOWNLIGHT, #4055 TRIM, WET LOCATION
F-9a	DECORATIVE WALL SCONCE, a=EXTERIOR b=INTERIOR
F-10	MINKA AIRE LIGHT WAVE SILVER LED CEILING FAN
F-11	LITHONIA FMMCL 840 PIRM4 MOTION SENSOR CLOSET LIGHT
F-12	CERAMIC BASE UTILITY LIGHT, LED BULB 1500 LUMENS, 15W
F-13	LOW VOLTAGE UNDERCABINET LED PUCK LIGHT 3000K

ELECTRICAL SCOPE OF WORK:

- ELECTRICAL CONTRACTOR TO PROVIDE ALL ELECTRICAL WORK SHOWN ON THE DRAWINGS AND AS OTHERWISE NECESSARY FOR A COMPLETE AND FUNCTIONING INSTALLATION, INCLUDING ANY PANELS, BREAKERS AND OTHER DEVICES NECESSARY.

ELECTRICAL NOTES:

- ALL WORK TO COMPLY WITH THE 2017 EDITION OF THE NATIONAL ELECTRICAL CODE.
- ALL LIGHT FIXTURES, ELECTRICAL DEVICES AND EQUIPMENT TO BE UL RATED. INITIAL LAMPING (EXCEPT FIXTURES FURNISHED BY OWNER) BY ELECTRICAL CONTRACTOR.
- ALL SMOKE AND CO DETECTORS TO BE HARD WIRED AND INTERCONNECTED PER NYS CODE. COORDINATE WITH ALARM SYSTEM VENDOR AND DELETE DETECTORS WHERE INSTALLED BY ALARM SYSTEM.
- UNLESS OTHERWISE NOTED: OULETS IN LIVING AREAS TO BE LOCATED NOT MORE THAN 12'-0" O/C. OUTLETS AT KITCHEN TO BE NOT MORE THAN 4'-0" O/C, 44" AFF TO CENTER OF DEVICE. OTHER OUTLETS TO BE 16" AFF. SWITCHES TO BE 48" AFF, THERMOSTAT TO BE 60" AFF, SCONCES TO BE 66" AFF, OUTLET AT WASHER AND DRYER TO BE 48" AFF.

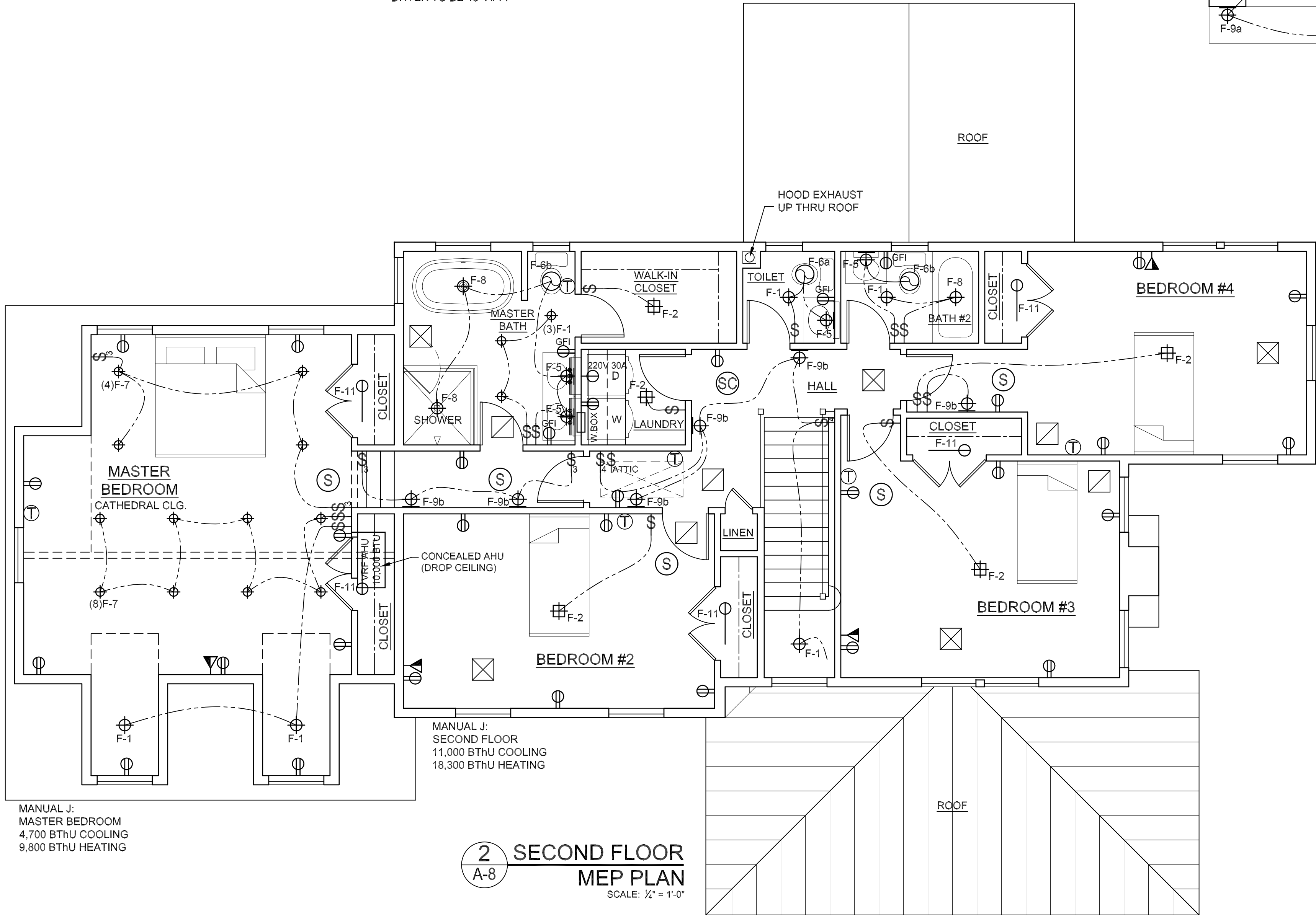


HEATING, VENTILATING, AIR CONDITIONING SCOPE OF WORK

- SYSTEM IS TO BE HIGH-EFFICIENCY, MULTI-ZONE HEAT PUMPS WITH INVERTER VRF COMPRESSORS AND HORIZONTAL DUCTED FAN-COIL INDOOR UNITS WITH ZONING BOXES AND CONTROL BOARDS. INDOOR UNITS ARE TO BE LOCATED IN CRAWL SPACES, BASEMENT AND ATTIC. BASEMENT LIVING SPACES TO HAVE WALL MOUNTED INDOOR UNITS. PROVIDE UNITS MANUFACTURED BY DAIKIN, MITSUBISHI/TRANE OR GREE. HEAT PUMPS SHALL BE RATED AT NOT LESS THAN 16 S.E.E.R. AND 9 HSPF. OUTDOOR UNITS ARE TO BE PAD MOUNTED IN LOCATIONS INDICATED.
- MANUAL J HEATING AND COOLING LOADS ARE INDICATED ON THE ELECTRICAL PLANS.
- PROVIDE KITCHEN EXHAUST DUCT AND TERMINATION FOR RANGE HOOD.
- PROVIDE 4" METAL VENT DUCTS TO EXTERIOR FOR DRYER AND BATHROOM EXHAUSTS. DO NOT VENT OR EXHAUST TO FRONT OF HOUSE.
- ALL PIPING TO BE HAVE R3 INSULATION. ALL DUCTWORK LOCATED OUTSIDE THE THERMAL ENVELOPE TO HAVE R8 INSULATION.

PLUMBING SCOPE OF WORK:

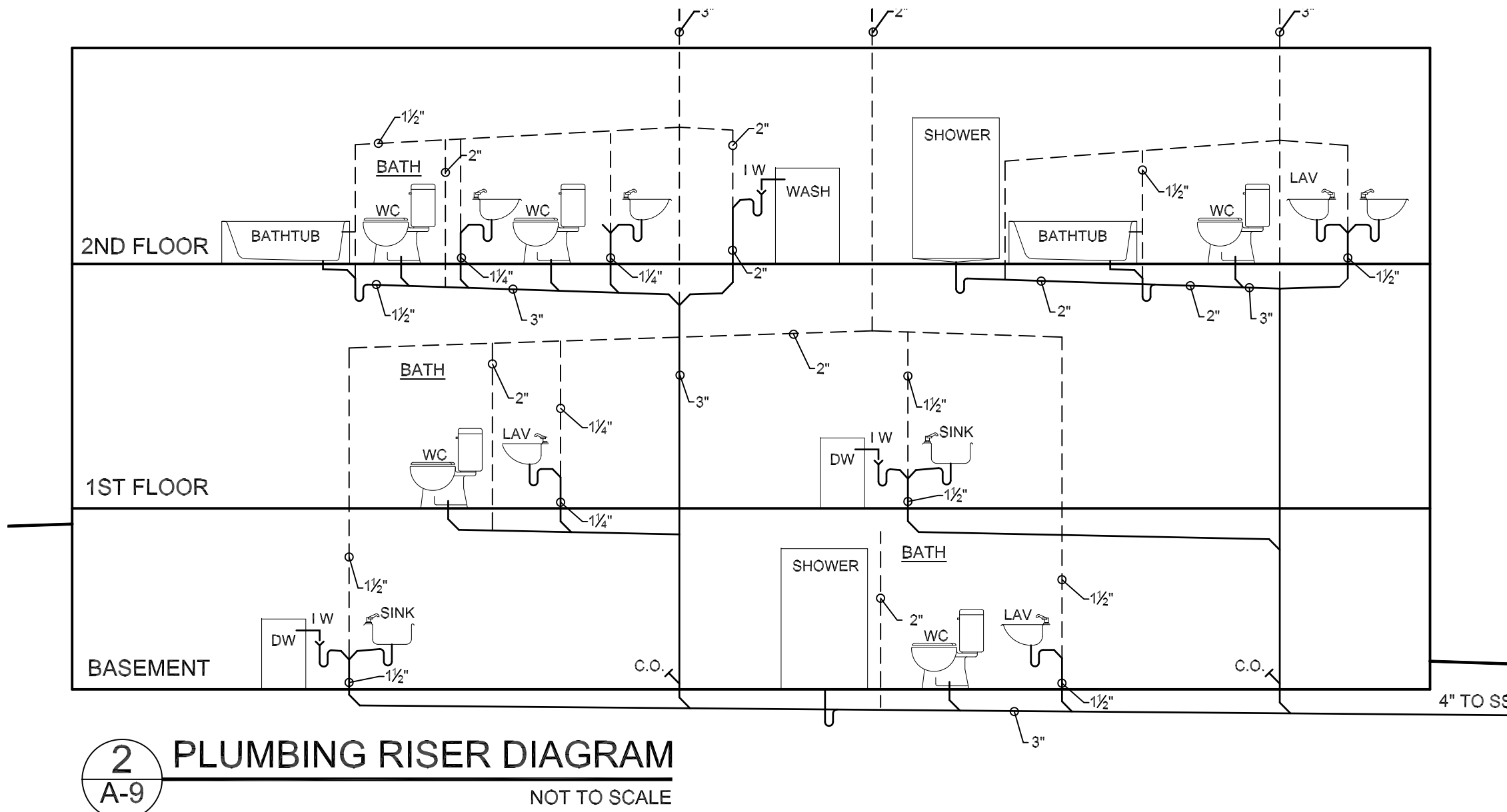
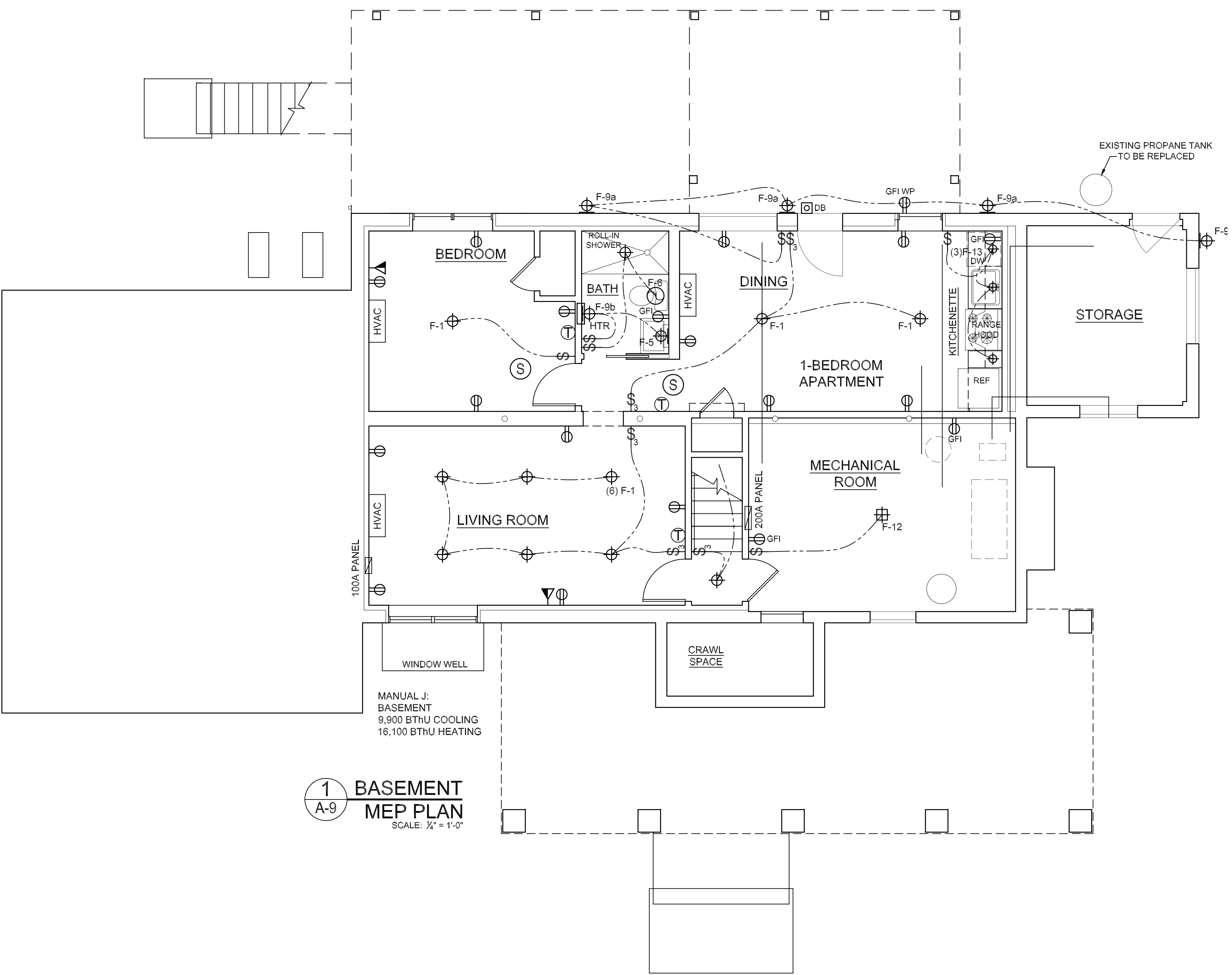
- PLUMBING CONTRACTOR TO PROVIDE ALL PLUMBING AND GAS WORK SHOWN ON THE PLANS, INCLUDING BUT NOT LIMITED TO: BATHROOMS, TOILET ROOMS, KITCHEN SINKS, DISHWASHER, LAUNDRY PIPING WITH WASHER BOX.
- PROVIDE AN A.O.SMITH HPTU-80N ELECTRIC HEAT PUMP HOT WATER TANK. RUN A PUMPED LOOP HOT WATER SUPPLY TO BATHROOMS. CONTROL PUMP WITH OCCUPANCY SENSORS LOCATED IN EACH BATHROOM.
- INSULATE ALL WATER SUPPLY PIPING WITH SELF-SEALING R3 PIPE INSULATION.



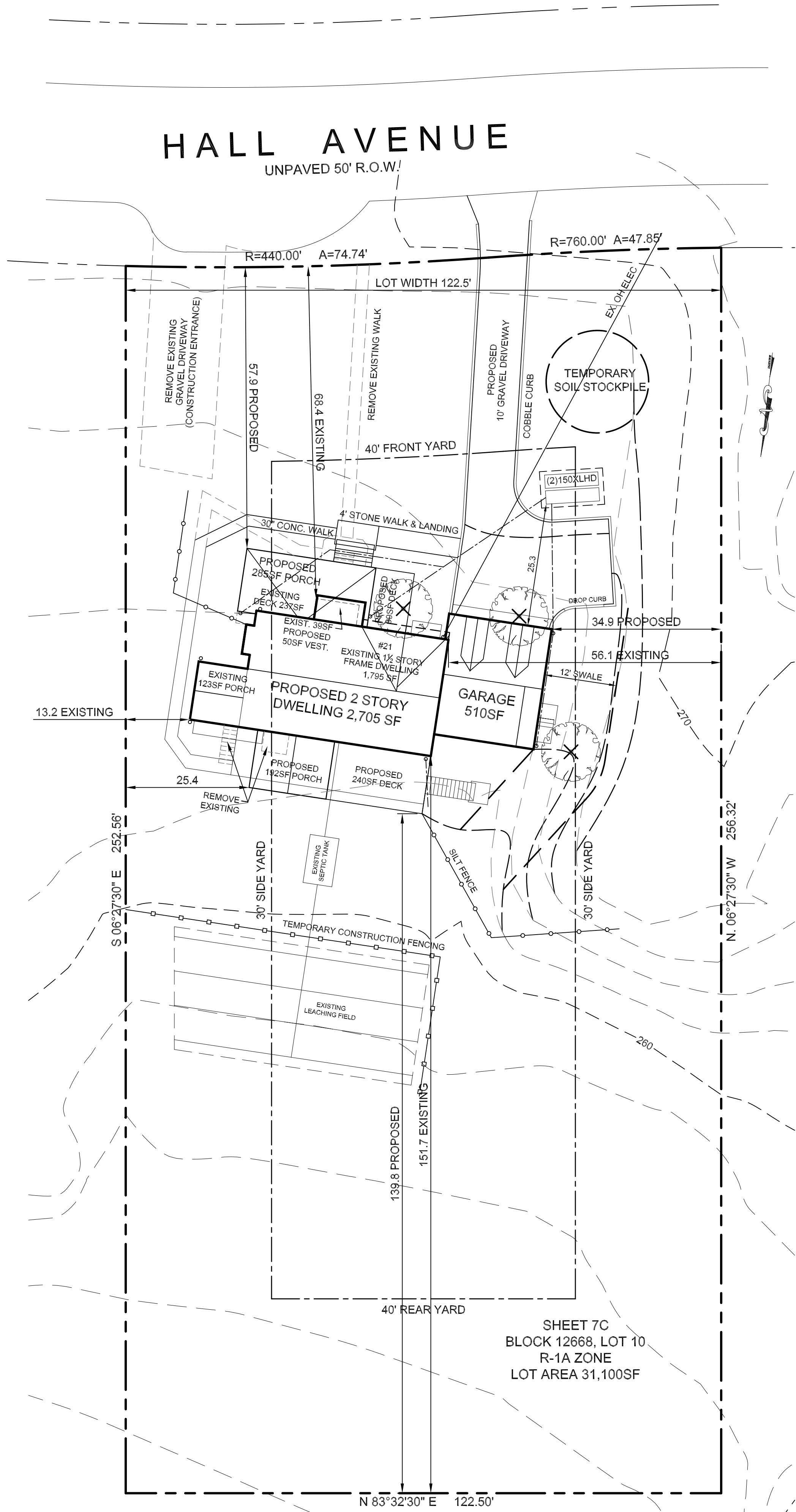
		PAUL DENNIS, A.I.A. ARCHITECTS 26 GILBERT STREET, SOUTH SALEM, NY 10590 914-763-0959 pauldennis.architects@gmail.com		TITLE FIRST & SECOND FLOOR MEP PLANS LEGEND, NOTES	
		SCHNEYER-KAUFMAN HOUSE 21 HALL AVENUE. GOLDENS BRIDGE, NY 10526		DATE JUNE 26 2022	
		TOWN OF LEWISBORO SHEET 007C, BLOCK 12668, LOT 10, R-1A ZONE		SCALE 1/4" = 1'-0", U.O.N.	
				DRAWN BY LP/ PD	
				CHECKED BY	
				JOB 2261	
				DRAWING # A-8	
				SHEET 9 OF 10	

ELECTRICAL LEGEND	
	WALL SCONCE
	DOWNLIGHT
	ADJUSTABLE ACCENT LIGHT
	LED STRIP LIGHT
	DECORATIVE FIXTURE, FURNISHED BY OWNER
	DUPLEX OUTLET
	DUPLEX OUTLET/ GROUND FAULT INTERRUPTOR
	SIMPLEX OUTLET
	TV ANTENNA/CTV OUTLET
	TELEPHONE OUTLET
	COMBINATION TV/ DATA OUTLET
	PROGRAMMABLE THERMOSTAT
	3-WAY LIGHT SWITCH
	LIGHT SWITCH
	DIMMER SWITCH
	SMOKE DETECTOR, HARDWIRE/ BATTERY BACK-UP
	HEAT DETECTOR/ THERMAL SHUT-OFF
	SMOKE/ CO DETECTOR, DIGITAL READOUT
	EXHAUST FAN
	J BOX
	WEATHERPROOF FLOODLIGHT
	KEY SWITCH
	PUSH BUTTON
	DOOR BELL
	JAMB SWITCH
	WEATHERPROOF
	EXISTING TO REMAIN

LIGHT FIXTURE SCHEDULE	
F-1	4" HALO RECESSED MEDIUM BASE DOWNLIGHT, IC RATED LED 800 LUMEN 3000K BULB 9W SPECULAR SILVER CONE
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F-4	3" LED GIMBAL, COMMERCIAL ELECTRIC #91272 400 LUMENS, 3000K, 5.5W
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F-6	EXHAUST FAN, PANASONIC WHISPERFIT a=50CFM, b=80 CFM
F-7	4" GIMBAL, WAC LOTOS R4ERAR-W9 800 LUMENS 9W
F-8	4" RECESSED LED DOWNLIGHT, #4055 TRIM, WET LOCATION
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F-11	LITHONIA FMMCL 840 PIRM4 MOTION SENSOR CLOSET LIGHT
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F-13	LOW VOLTAGE UNDERCABINET LED PUCK LIGHT 3000K



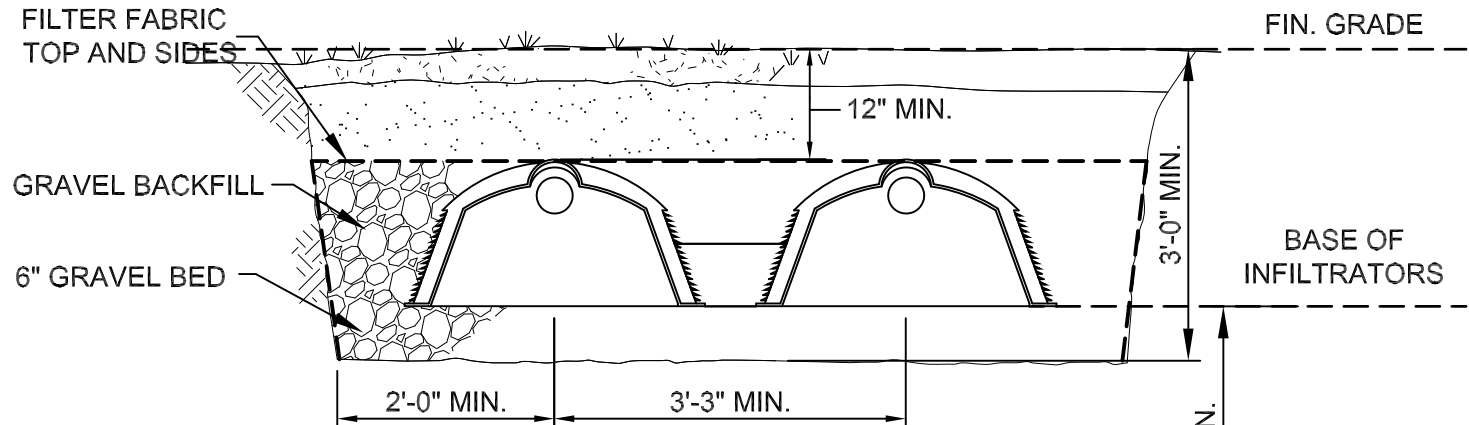
		PAUL DENNIS, A.I.A. ARCHITECTS 26 GILBERT STREET, SOUTH SALEM, NY 10590 914-763-0959 pauldennis.architects@gmail.com		TITLE FIRST & SECOND FLOOR PLANS NOTES, SCHEDULES	
		SCHNEYER-KAUFMAN HOUSE 21 HALL AVENUE. GOLDENS BRIDGE, NY 10526		DATE JUNE 26, 2022	
		TOWN OF LEWISBORO SHEET 007C, BLOCK 12668, LOT 10, R-1A ZONE		SCALE 1/4" = 1'-0", U.O.N.	
				DRAWN BY LP/ PD	
				CHECKED BY	
				JOB 2261	
				DRAWING # A-9	
				SHEET 10 OF 10	



SHEET 7C
BLOCK 12668, LOT 10
R-1A ZONE
LOT AREA 31,100SF

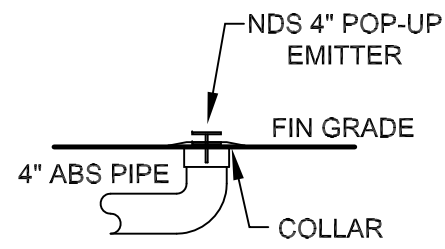
1 PLOT PLAN
S-1

SCALE: 1" = 15'-0"



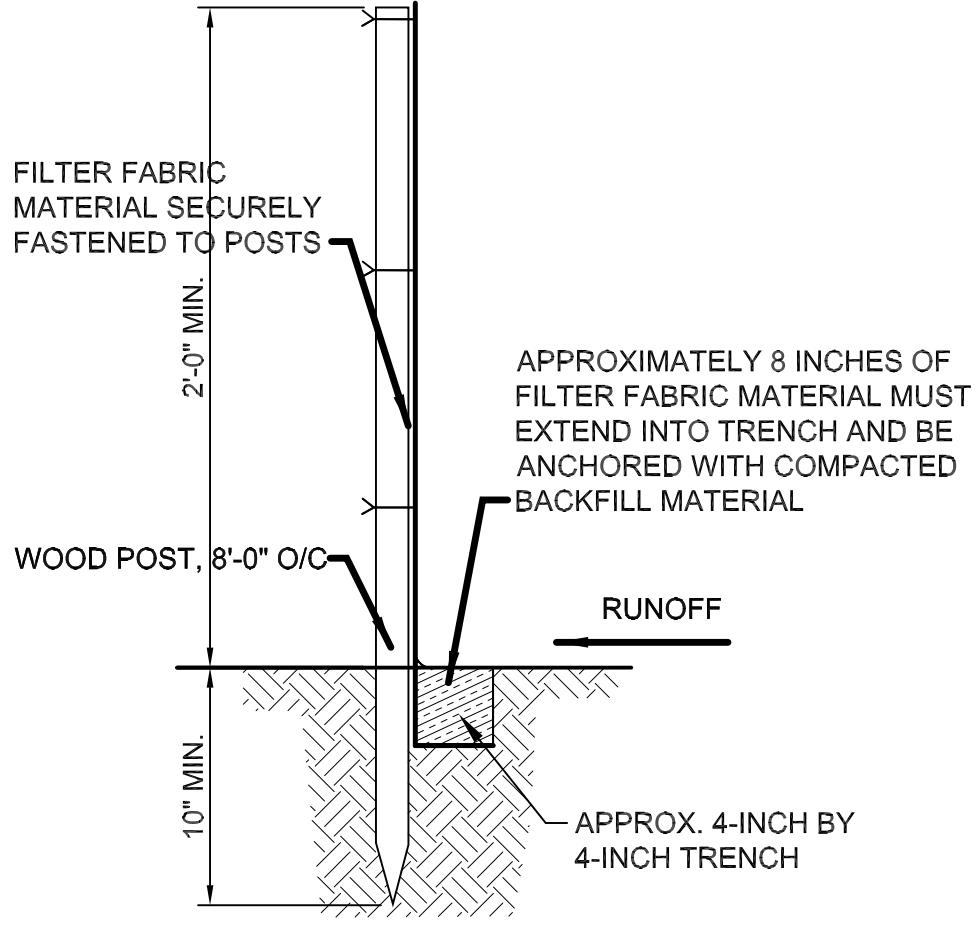
INTEGRATOR TRENCH DETAIL

NOT TO SCALE



EMITTER DETAIL

(NOT TO SCALE)



FILTER FABRIC SILT FENCE

NOT TO SCALE

TOWN OF LEWISBORO ZONING CALCULATION

21 HALL AV, GOLDENS BRIDGE, NY 10526
TOWN OF LEWISBORO
SECTION 36F, BLOCK 10806, LOT 32, ZONE R-1A

Bulk Regulations:	Required/Allowable	Existing/Proposed	Variance Required
Lot Area:	1 ACRE	0.714 AC.	Unchanged
Lot Width:	150'	122.5'	Unchanged
Building Height:			
Stories:	2 1/2	1 1/2	No
Feet:	35'	18'-5" / 29'-4"	No
Front Yard Setback:	40'	68.4' / 57.9'	No
Side Yard Setbacks:	30'	13.2' / 13.2'	Unchanged
Rear Yard Setback:	40'	151.7' / 137.8'	No
Max Building Coverage:	12%	4.6% / 6.9%	No

BUILDING COVERAGE:

EXISTING HOUSE AND PORCH = 1,432SF
PROPOSED HOUSE AND PORCHES = 2,147SF

BUILDING LIVING AREA:

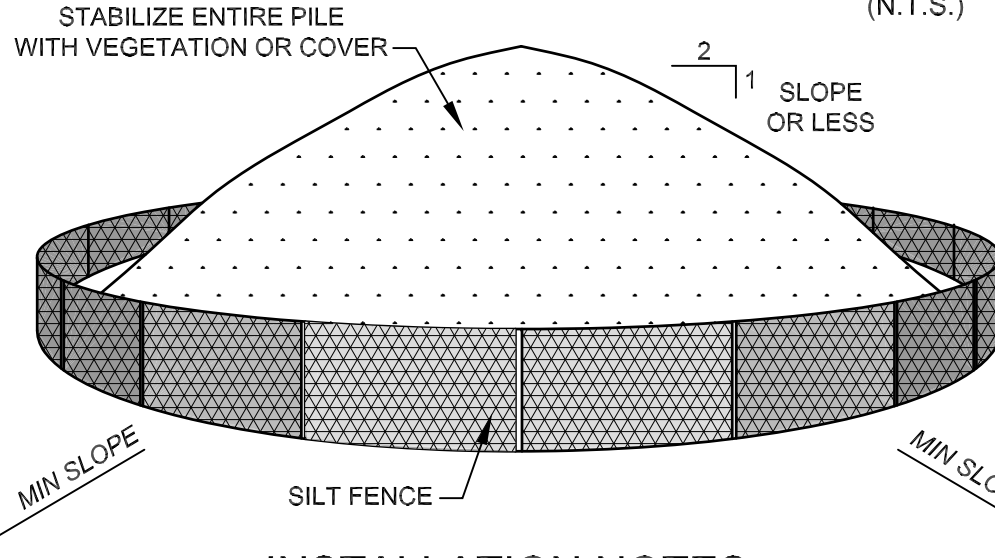
EXISTING: 681+1149+634 = 2,464GSF
PROPOSED: 756+1151+1120+434 = 3,461GSF

SITWORK NOTES:

- NET INCREASE IN IMPERVIOUS COVERAGE = 715SF
- 3 EXISTING TREES TO BE REMOVED
- CONSTRUCTION ACCESS IS EXISTING GRAVEL DRIVEWAY

TEMPORARY SOIL STOCKPILE DETAIL

(N.T.S.)



INSTALLATION NOTES

- AREA CHOSEN FOR STOCKPILE SHALL BE DRY AND STABLE
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1 IN 2
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED
- SEE SILT FENCE DETAIL AND NOTES FOR INSTALLATION OF SILT FENCE

STORMWATER MANAGEMENT:

PER 2015 NEW YORK STATE STORMWATER DESIGN MANUAL AND USDA TR-55.

DESIGN IS BASED ON TWO CULTREC CONTACTOR 2x150XLHD INFILTRATOR CHAMBER SYSTEM WITH FD-24 CONNECTORS ON A 6" CRUSHED STONE BASE WITH A DESIGN CAPACITY OF 50.17 CF PER UNIT. INFILTRATORS TO BE INSTALLED WITH NDS 4" OVERFLOW EMITTER.

CAPACITY REQUIRED:
ADDITIONAL ROOFED AREA = 997SF
RUNOFF REDUCTION FOR CHARLTON SANDY LOAM = 2.25" FOR 7.5" EVENT PER TR-55. (REFERENCE USGS, SOIL MAP OF WESTCHESTER COUNTY, HYDROLOGIC SOIL GROUPS OF THE U.S. CLASS B, AND NYS DESIGN MANUAL CHAPTER 4.)
INFILTRATION RATE = 2"/HR, FIELD AREA = 96SF
VOLUME REQUIRED = 436CF, INFILTRATION = 384CF/ 24 HR, STORAGE VOLUME = 100.34CF, TOTAL CAPACITY = 434CF (OK)

SOIL EROSION AND SEDIMENT CONTROL NOTES

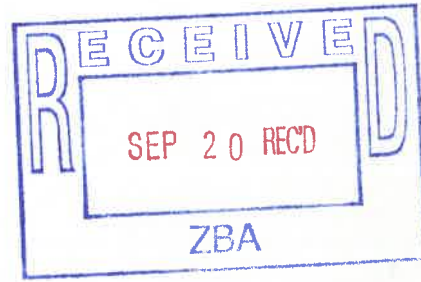
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN TO BE CONSTRUCTED IN ACCORDANCE WITH THE WESTCHESTER COUNTY AND STATE OF NEW YORK STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. INSTALL EROSION CONTROL DEVICES PRIOR TO ANY MAJOR SOIL DISTURBANCE, IN PROPER SEQUENCE AND MAINTAIN UNTIL PERMANENT WORK IS IN PLACE.
- ALL SOIL TO BE STOCKPILED FOR A PERIOD GREATER THAN 30 DAYS TO BE COVERED OR TEMPORARILY SEEDED AND HAY MULCHED.
- DISTURBED AREAS TO BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND HAY MULCHED UNTIL PERMANENT VEGETATIVE COVER IS IN PLACE.
- SEDIMENT FENCE TO REMAIN IN PLACE AND BE PROPERLY MAINTAINED UNTIL PERMANENT VEGETATION AND PAVING HAS BEEN ESTABLISHED.
- DRAINAGE INLETS TO BE PROTECTED WITH GRAVEL FILTERS, HAY BALES OR FILTER FABRIC UNTIL VEGETATION AND PAVING HAS BEEN ESTABLISHED.
- ANY DAMAGE INCURRED BY EROSION TO BE RECTIFIED IMMEDIATELY.
- ALL EROSION CONTROL DEVICES SHALL BE REGULARLY INSPECTED AND MAINTAINED. REMOVE ANY ACCUMULATED SEDIMENT WHEN IT HAS ACCUMULATED TO A DEPTH OF 1/2 THE BARRIER HEIGHT. REPAIR OR REPLACE BARRIER (FABRIC, POSTS, BALES, ETC.) WHEN DAMAGED. INSPECT BARRIERS DAILY FOR DETERIORATION AND ACCUMULATED SEDIMENT.
- PUBLIC STREETS TO BE KEPT CLEAN AT ALL TIMES. DO NOT USE A HOSE TO CLEAN ROADS UNLESS RUNOFF IS DIRECTED TO A PROPER SEDIMENT BASIN.
- ROUGH GRADE DISTURBED AREAS AND SPREAD NOT LESS THAN 4" OF TOPSOIL PRIOR TO SEEDING.
- ALL DEWATERING OPERATIONS SHALL DISCHARGE INTO AN APPROVED SEDIMENT BASIN OR SHALL BE DISCHARGED THROUGH A FILTER FABRIC BAG.
- DUST CONTROL SHALL BE IMPLEMENTED AS NECESSARY BY SPRINKLERING THE DISTURBED AREA UNTIL THE SURFACE IS WET.

CONSTRUCTION SEQUENCE

- INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCE) AS REQUIRED.
- STRIP AND STOCKPILE TOPSOIL. STABILIZE WITH VEGETATIVE COVER OR FILTER FABRIC.
- EXCAVATE FOR AND INSTALL FOUNDATION. REMOVE EXCESS SOIL, UNSUITABLE MATERIAL AND CONSTRUCTION DEBRIS FROM JOBSITE.
- INSTALL DRAINS AND STORMWATER DRAINAGE SYSTEM.
- INSTALL FINISH GRADING AND PAVING.
- SEED AND MULCH ALL DISTURBED AREAS. REMOVE ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES.

		PAUL DENNIS, A.I.A. ARCHITECTS 26 GILBERT STREET, SOUTH SALEM, NY 10590 914-763-0959 pauldennis.architects@gmail.com		TITLE PLOT PLAN NOTES, DETAILS STORWATER PLAN	
		SCHNEYER-KAUFMAN HOUSE 21 HALL AVENUE. GOLDENS BRIDGE, NY 10526		DATE JUNE 26, 2022	
		TOWN OF LEWISBORO SHEET 007C, BLOCK 12668, LOT 10, R-1A ZONE		SCALE AS NOTED	
				DRAWN BY LP/ PD	
				CHECKED BY	
				JOB 2261	
				DRAWING # S-1	
				SHEET 1 OF 10	

9/19/23



Dear Zoning Board of Appeals,

I am the owner of 18 Hall Ave, which is across the street from 21 Hall Ave. I am unable to attend the meeting on Wednesday, September 27, 2023.

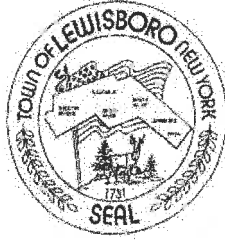
I write in support of granting a variance for Adam Kaufman and Elana Shneyer to build the proposed two-story addition (CAL. NO. 24-23-BZ).

Please reach out with any questions.

Sincerely,


Laura Woelfel

TOWN OF LEWISBORO
Westchester County, New York



Building Department
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3060
Fax: (914) 875-9148
Email: ksullivan@lewisborogov.com

Zoning Denial 8/17/2023

19 North Lake Circle, South Salem

34A-11827-026

The existing propane tank has a side yard setback of 12'- 6" and the existing generator has a side yard setback of 11'- 9" whereas 15' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variances 2'-6" and 3'-3" respectively.

Building Inspector

Kevin Kelly

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, September 27, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 25-23-BZ

Application of Darren P. Mercer, Architect, PLLC [Morrissey, Susan, owner of record], 19 North Lake Circle, South Salem, NY for the following variance of the existing propane tank that has a side yard setback of 12'- 6" and the existing generator has a side yard setback of 11'- 9" whereas 15' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variances 2'-6" and 3'-3" respectively.

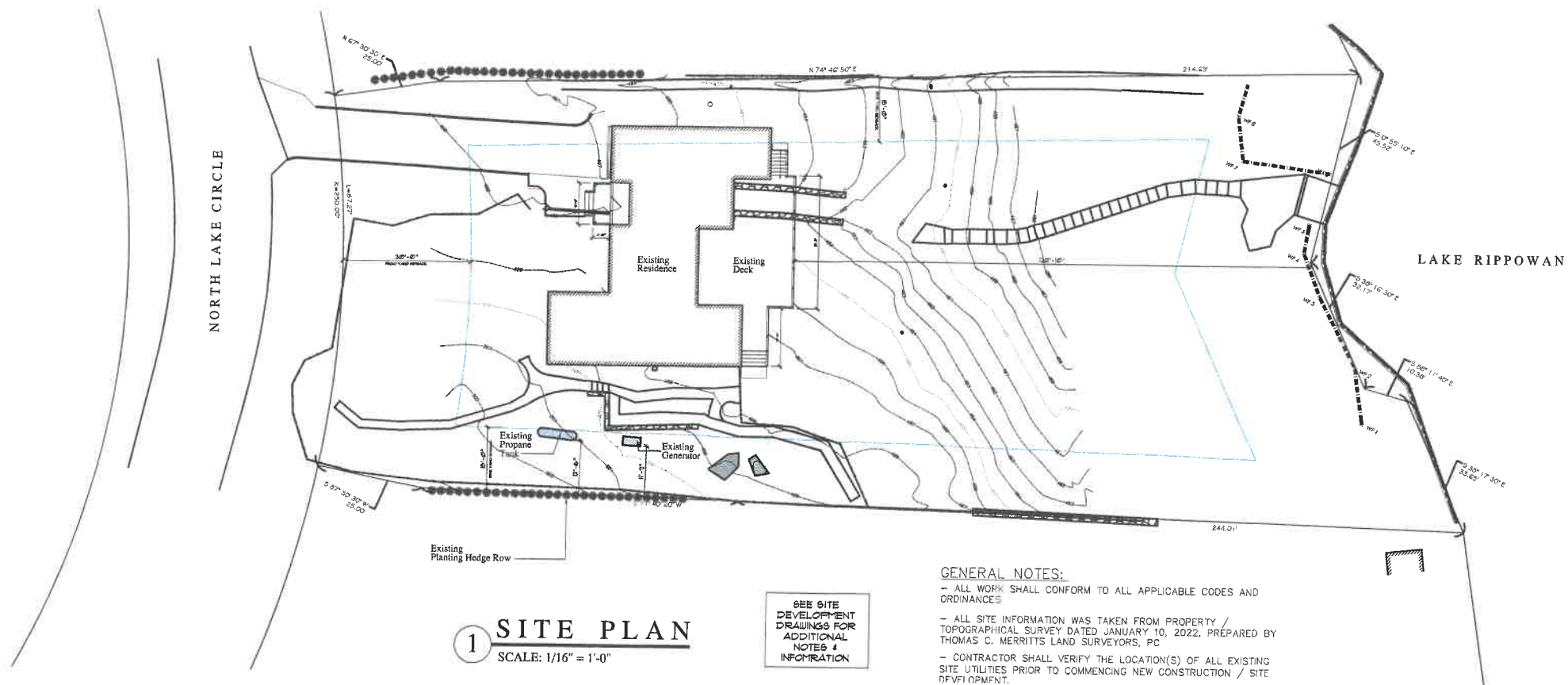
The property is located on the east side of (#19) North Lake Circle, South Salem, NY designated on the Tax Map as Sheet 034A, Block 11827, Lot 026, in an R-1/2AC, Half-Acre Residential District consisting of approximately 0.55 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 1st day of September 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.



SEE SITE DEVELOPMENT DRAWINGS FOR ADDITIONAL NOTES & INFORMATION

GENERAL NOTES:
- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES
- ALL SITE INFORMATION WAS TAKEN FROM PROPERTY / TOPOGRAPHICAL SURVEY DATED JANUARY 10, 2022, PREPARED BY THOMAS C. MERRITS LAND SURVEYORS, PC
- CONTRACTOR SHALL VERIFY THE LOCATION(S) OF ALL EXISTING SITE UTILITIES PRIOR TO COMMENCING NEW CONSTRUCTION / SITE DEVELOPMENT.

ZONING TABLE
Morrissey Residence
19 North Lake Circle
South Salem, New York
Table of Dimensional Requirements
Section 34A, BLOCK 11827, LOT 26

ZONING DISTRICT R-1/2A (1/2 ACRE, One Family Residential District)

MINIMUM LOT SIZE	REQUIRED	EXISTING	PROPOSED
Area	1/2 Acre 21,780 SF	.55 Acres 23,958 SF	(No Change)
MINIMUM YARDS			
Front Yard	30 ft	48.09 ft	(No Change)
Left Side	15 ft	10.73 ft	(No Change, Pre-existing Non-Conformance)
Right Side *	15 ft	30.24 ft	(No Change)
Rear Yard	30 ft	120.83 ft	(No Change)
MAXIMUM HEIGHT			
Stories	2 1/2	1 1/2	(No Change)
Feet	35 ft	18 ft +/-	(No Change)
MAXIMUM BUILDING COVERAGES			
Lot Area (percent)	15% 3,593.7 SF	9.34% 2,239 SF	(No Change)

* Existing Generator at Side Yard- 11'-9"
Existing Propane Tank at Side Yard- 12'-6"

Darren P. Mercer,
Architect, PLLC
NYS Lic. No. 020910 NJ Lic. No. 11952
CT Lic. No. 0243 MA Lic. No. 31909

Darren P. Mercer, Architect, PLLC
Architecture & Interior Design
32 Flintlock Ridge Road
Katonah, New York 10536
914.391.4490
darrenpmcercer@gmail.com

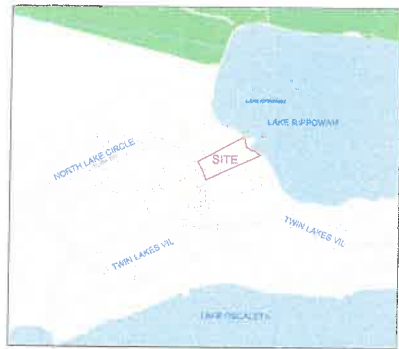
Existing Generator &
Existing Propane Tank
Existing Residence
19 North Lake Circle
South Salem, New York

Revisions:		
△	Date:	Description:
	8-9-23	Existing Propane Tank & Generator

Drawing Title:
SITE PLAN
ZONING TABLE

Date: 1-10-22
Scale: 1/16"=1'-0"
Drawn: DPM
Rev:
Job#: 1605

19 North Lake Circle
sp.1



SITE LOCATION MAP

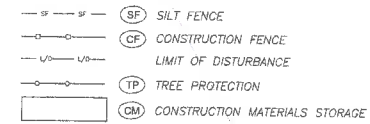
MITIGATION PLANT LIST - TREES AND SHRUBS				
CODE	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE / ROOT
AA	5	Aronia arbutifolia	Red Chokeberry	#3 container
AR	1	Acer rubrum	Red Maple	2" x 2.5" cal., 5&B
CR	1	Cornus racemosa	Gray Dogwood	#3 container
HV	1	Hamelis virginiana	Witch Hazel	4" x 5" height, cont.
IG	3	Ilex glabra	Hollyberry	#3 container
MP	2	Myrica pensylvanica	Northern Bayberry	#3 container

MITIGATION PLANT LIST - HERBACEOUS PLANTINGS				
CODE	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE / ROOT
dp	24	Demissa punctiloba	Hay-Scented Fern	1 gal. container
pa	20	Polystichum acrostichoides	Christmas Fern	1 gal. container

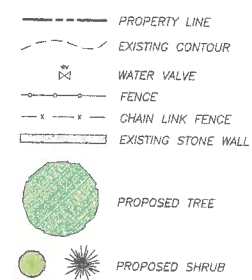
NOTES:

1. WETLAND BUFFER IMPACTS ARE CALCULATED TO BE 291 SQUARE FEET.
2. FOR MITIGATION OF THESE IMPACTS, IT IS PROPOSED PLANT WITH NATIVE TREES, SHRUBS AND HERBACEOUS SPECIES A SPARSELY WOODED AREA IN THE EASTERN PORTION OF THE PROPERTY. THE MITIGATION AREA COVERS 600 SQUARE FEET, FOR A RATIO OF MITIGATION TO IMPACTED WETLAND BUFFER OF 2.06 TO 1.
3. AREA OF DISTURBANCE IS CALCULATED TO BE 2,705 SQUARE FEET.
4. EXISTING SSTS WAS LOCATED IN THE FIELD BY CASSESE CONSTRUCTION ON 01/18/2023.
5. EXISTING SSTS CONSISTS OF THE FOLLOWING:
 - TRENCH A: 5' LENGTH 36" WIDE HIGH CAPACITY INFILTRATOR.
 - TRENCH B: 12' LENGTH 36" WIDE HIGH CAPACITY INFILTRATOR.
 - TRENCH C: 18' LENGTH 36" WIDE HIGH CAPACITY INFILTRATOR.

LEGEND



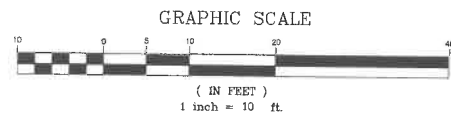
LEGEND



Tax Lot 25
N/F Bruce D. Ballard
Bruce D. Ballard Trust

PROPOSED WETLAND BUFFER
MITIGATION AREA
AREA = 600 SF.

NORTH LAKE CIRCLE
50' WIDE RIGHT OF WAY



ACCEPTED BY
KELLARD SESSIONS CONSULTING

Jan K. Johannessen

PERMIT NO. 05-23 W.P.

CONSULTANTS:
PROPERTY OWNER:
Susan Morrissey
84 238 Central Park West
New York, NY 10024

CONSULTANTS:
ARCHITECT:
Darren P. Mercer, Architect, PLLC
32 Flintlock Ridge Road
Katonah, NY 10536
Tel: (914) 381-4490

SURVEYOR:
TC Morrissey Land Surveyors
394 Bedford Road
Pleasantville, NY 10570
Tel: (914) 769-8003

ISSUED:
Updated with SSTS Information 01/19/2023
Rev. as per comments 03/03/2023
from Kellard Sessions

OWNERSHIP AND USE OF DOCUMENTS
UNAUTHORIZED ALTERATIONS AND ADDITIONS TO
THIS DRAWING IS A VIOLATION OF SECTION 7208(2) OF
THE NEW YORK STATE EDUCATION LAW.
No part of these drawings shall be copied, disclosed to others
or used in connection with any work or project other than for
which they have been prepared without the express written
consent of the licensed professional who prepared the
document.



PROJECT NAME:
MORRISSEY PROPERTY
19 North Lake Circle
South Salem, New York 10590
ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING
& LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843, Ridgefield, CT 06877
Direct Tel: (475) 215-5543 Cell: (203) 710-0587

Drawing Title:
Site Plan
Date: December 7, 2022
Dwn. by: alp
ID: 18 N Lake Circle Site_03-01-2023

C-101

July 7, 2022

**Town of Lewisboro
Building Department
79 Bouton Street
South Salem, NY 10590**

**Re: The Morrissey Residence:
Existing Home Renovations
19 North Lake Circle
South Salem, New York
10590**


LETTER OF AUTHORIZATION

Ladies and Gentlemen,

As owner of the aforementioned property, I give permission to **Darren P. Mercer, Architect, PLLC**, to act as my agent in matters concerning the Existing Home Renovations Project. As my agent, he may act on my behalf in connection with Building Permits, Board Meetings, or other matters concerning this project.

Should you have any questions, please contact my agent at (914) 391- 4490.
Thank you for your cooperation in this matter.

Sincerely,


**Susan Morrissey
8A 239 Central Park West
New York, New York
10024**



Location
of Existing
Propane Tank
& Generator

19 North Lake Circle
South Salem NY





