

TOWN OF LEWISBORO
Westchester County, New York

Zoning Board of Appeals
79 Bouton Road
South Salem, New York 10590



Tel: (914) 763-3822
Fax: (914) 533-0097
Email: zoning@Lewisborogov.com

AGENDA

Wednesday, November 15, 2023, 7:30 P.M.

79 Bouton Road, South Salem,
Justice Court

- I. Review and adoption of the Minutes of October 25, 2023.
- II. PUBLIC HEARING

CAL. NO. 30-23-BZ

Application of Elizabeth Ferran, [Ferran, Elizabeth, owner of record], 7 Lake Path, South Salem, NY, the applicant is seeking to legalize an exterior Bosh wall-mounted ductless split air conditioner/heat pump unit mounted on an existing non-conforming residence that will have a side yard setback of 0.10' whereas the code requires 12' therefore requiring a side yard variance of 11.2' as per article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the east side of (#7) Lake Path, South Salem, NY designated on the Tax Map as Sheet 042D, Block 10283, Lot 016, in an R-1/4AC, One Quarter-Acre Residential District consisting of approximately 0.42 acres.

CAL. NO. 31-23-BZ

Application of Elizabeth Ferran, [Ferran, Elizabeth, owner of record], 7 Lake Path, South Salem, NY, the applicant is proposing a 6.0' Spruce wood stockade privacy fence in a 1/4A residential zone whereas the code allows 4.0' therefore requiring a variance of 2.0' as per article IV section 220-12 of the town of Lewisboro zoning code.

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CAL. NO. 02-23-SP

Application of John Buzzeo & Carol Coleman, Executors of the Estate of Tomasina Buzzeo, 17 Orchard Drive, South Salem, NY 10590 for a renewal of a Special Permit pursuant to Article V, Section 220-38 of the Zoning Ordinance to allow the Storage of Contractor's Equipment.

The property is located on the east side of Orchard Drive, designated on the Tax Map as Sheet 34A, Block 11827, Lot 9, in an R-1/2A, One-Half-Acre Residential District consisting of approximately 0.844 acres.

CAL. NO. 23-23-BZ Amended

Application of Barbara Arnold [Arnold, Stephen & Barbara S., owner of record], 28 Main Street, South Salem, NY for the following variance of the proposed screened in porch to the existing non-conforming residence will have a south side yard setback of 6.9' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 33.1' and north side yard setback of 22.9' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 17.1', the proposed screened in porch to the existing non-conforming residence will have a rear yard setback of 47.1' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 2.9', the existing non-conforming residence has a total building

coverage of 16.04% and the proposed screened in porch will have a total building coverage of 19.31% whereas 9% is the maximum allowed per Article IV Section 220, attachment 1, *Schedule of Dimensional and Bulk Regulations for Residential Districts* of the Town of Lewisboro Zoning Code therefore requiring a total variance of 10.31% which is an additional 3.27% above the existing non-conforming status.

The property is located on the west side of (#28) Main Street, South Salem, NY designated on the Tax Map as Sheet 0031 Block 10805 Lot 019, in a SCR-2AC, Special Character Two-Acre Residential District, consisting of approximately .20 acres.

CAL. NO. 27-23-BZ

Application of Luis Pena, [Pena, Luis, Jr. & Santos, Solangel, owner of record], 2 Silvermine Drive, South Salem, NY for the following variance for the proposed shed/ Dutch barn which will have a side yard setback of 10' whereas 40' are required per Article IV 220-23E of the Town of Lewisboro Zoning Code therefore requiring a side yard variance of 30' and will have a rear yard setback of 20' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a rear yard variance of 30'.

The property is located on the south side of (#2) Silvermine Drive, South Salem, NY designated on the Tax Map as Sheet 0048, Block 10057 Lot 119, in an R-2AC, Two- Acre Residential District consisting of approximately 1.11 acres.

CAL. NO. 28-23-BZ

Application of Lon Kaiser, [McCaffrey, Suzanne & Kaiser, Lon Webb, owner of record], 5 Big Rock Loop, Katonah, N.Y., the proposed existing garage conversion to a music room will have a front yard setback of 22'-0" whereas 30'-0" are required per Article IV 220-23E of the Town of Lewisboro Zoning Code, therefore requiring variance of 8'-0" and will have a centerline of the street setback of 38'-0" whereas 55'-0" are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 17'-0".

The property is located on the east side of (#5) Big Rock Loop, Katonah, NY designated on the Tax Map as Sheet 009A, Block 10790 Lot 009, in an R-1/2AC, One Half-Acre Residential District consisting of approximately 0.54 acres.

CAL. NO. 03-23-SP

Application of Gossett Brothers Nursery, [Thomas Gossett, Trustee for the Thomas Gossett Revocable Trust, owner of record] 1202 Route 35, South Salem, NY 10590, for the renewal of a Special Permit pursuant to Article V, Section 220-32B (2)(f) to operate a non-conforming nursery business.

The property is located on the north side of Old Post Road (Route 35), designated on the Tax Map as Sheet 0031, Block 10805, Lot 046, in an R-2A, Two-Acre Residential District consisting of approximately 5.50 acres.

CAL. NO. 29-23-BZ

Application of Graham, David [Rubenstein, Jake & Jennifer, owner of record], 71 North Salem Road, Cross River, NY. The applicant is proposing a new addition to an existing residence that will have a front yard setback of 34.5' whereas the code requires 50' therefore requiring a front yard variance of 15.50', a front yard setback from the centerline of street of 54.1' whereas the code requires 75' therefore requiring a front yard from the centerline variance of 20.90' and side yard setback of 39.5' whereas the code requires 50' therefore requiring a side yard variance of 10.5 as per article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the east side of (#71) North Salem Road, Cross River, NY designated on the Tax Map as Sheet 0020, Block 10801, Lot 025 & 059, in an R-4AC, Four-Acre Residential District consisting of approximately 4.20 acres.

III. CORRESPONDENCE & GENERAL BUSINESS

IV. NEXT MEETING

December 20, 2023

V. ADJOURN MEETING

(914) 763-3822
FAX (914) 875-9148
TTY 800-662-1220
Email: zoning@lewisborogov.com
www.lewisborogov.com



TOWN OF LEWISBORO
Zoning Department
79 Bouton Road
South Salem, NY 10590

TOWN OF LEWISBORO, WESTCHESTER COUNTY

ZONING DEPARTMENT

ZONING BOARD OF APPEALS – November 15, 2023

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TOWN OF LEWISBORO
Building Department
Bouton Road
South Salem, NY 10590
Email: kkelly@lewisborogov.com



(914) 763-3060
FAX (914) 875-914879
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www.lewisborogov.com

Date 10/23/23
Zoning Denial App. # 2022-0420

Ferran
7 Lake Path, South Salem, NY
42D-10283-016

The applicant is seeking to legalize an exterior Bosh wall-mounted ductless split air conditioner/heat pump unit mounted on an existing non-conforming residence that will have a side yard setback of 0.10' whereas the code requires 12' therefore requiring a side yard variance of 11.2' as per article IV Section 220-23E of the Town of Lewisboro Zoning Code.

Kevin J. Kelly RA Building Inspector

Building Inspector

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, November 15, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 30-23-BZ

Application of Elizabeth Ferran, [Ferran, Elizabeth, owner of record], 7 Lake Path, South Salem, NY, the applicant is seeking to legalize an exterior Bosh wall-mounted ductless split air conditioner/heat pump unit mounted on an existing non-conforming residence that will have a side yard setback of 0.10' whereas the code requires 12' therefore requiring a side yard variance of 11.2' as per article IV Section 220-23E of the Town of Lewisboro Zoning Code.

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Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 27th day of October 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

October 25, 2023

Town of Lewisboro
Zoning Board of Appeals

Dear Lewisboro ZBA Committee:

Enclosed is an application for a variance and legalization of an exterior Bosch wall-mounted ductless ac/heat pump unit installed on the side wall at 7 Lake Path.

The HVAC permit was submitted in **July 2022**. At the time, temperatures were reaching above 90 degrees inside our home after a pre-existing 21 year-old obsolete window A/C unit ceased operation. When inquiring about expediting our permit due to the ongoing heat events, the former Building Inspector, Jeff Farrell, informed us that they were “so backed up due to Covid” that the earliest our permit denial letter would be likely be in the fall, and possibly later. Based on this projected timeline, and due to the ongoing extreme interior temps, we moved forward on the HVAC installation with a licensed and insured, local, family-owned company who empathized with our situation and the danger it posed to our health at the time.

Subsequent and numerous attempts to inquire about a denial letter or **any information** regarding our permit were ignored until **July 2023**, after submitting a permit for a fence. I then alerted Kara Sullivan to the still open HVAC permit, which had apparently been misplaced, then relocated after I spoke with her. For months after, we were denied the processing of our fence permit application because of an alleged open fire code safety violation for HVAC the unit, for which we were **given no guidance to remedy**. After consulting with a long-time neighbor who is the Building Inspector for a neighboring jurisdiction, we applied for a variance from NY State.

On Sept 25, 2023, we were issued a 30-day removal notice for the mini-split unit, despite the Lewisboro Building Department having been informed of our active variance application with Neil Collier, Senior Architect at NYS Division of Building Standards and code. The alleged fire code violation cited by Building Inspector, Kevin Kelly, was promptly rescinded after determination by NY State that the alleged code violation did not apply to the unit in the first place (see excerpt from attached email confirmation at the bottom of this letter.)

In support of our side setback variance, please refer to the letter of explanation from the licensed HVAC installer explaining the reasons for the location of the unit, along with supporting photographs illustrating why it is the sole option.

Also included are survey maps showing where the unit is placed, and a Google map image showing the distance of the placement to the structure on the adjacent property, approximately 50+ feet from the property line (see yellow highlighter showing where the HVAC/heat pump unit is now located.) Because current R-1/4 zoning side setback limits new structures from being built within 12 feet from the adjacent property lines, and the land adjacent to where the unit is placed is steep (well above a 15 degree grade) and therefore falls under current steep slope code limits, we believe the placement poses little to no impact on the neighboring property, now or in the future.

We ask that the variance be granted for the following reasons:

- Removal of the unit would create an excessive and unreasonable economic burden, resulting in the loss of the cost of installation and leaving us with no climate control against excessive heat in our kitchen, living room and dining room area
- Removal would entail a change so slight as to produce a negligible amount, if any, additional benefit consonant with the purposes of the code (given the current distance from the adjacent structure, side setbacks for any future structures, and steep slope restrictions as mentioned above)
- The current HVAC unit is four times more energy efficient than other options, the heat-pump feature has proven to be highly effective in limiting the burning of fossil fuels via our oil-based boiler during the winter months, and electricity usage has gone down in the 16 months it has been in use

Respectfully submitted,

Elizabeth Ferran and Ralph Dickinson

Should you require further documentation, or have any questions regarding this application, please contact us at:

7 Lake Path

South Salem NY 10590

Elizabeth: (914)318-9393

ef5of7@gmail.com

Ralph: (510)459-2253

ralphiola65@gmail.com

In our opinion a variance is not required. after reviewing the following Code Section:

Using Section R302.1 Exterior walls.

Construction, projections, openings and penetrations of *exterior walls of dwellings* and accessory buildings shall comply with Table R302.1(1)

In our opinion the wall mounted compressor is not a projection, since Table R302.1(1) regulating fire resistance rated projections clearly refers to the underside of overhangs, or eaves, as the ICC commentaries sketch out. Because the wall is existing as part of a legally occupied dwelling it may be allowed to continue and is unaffected by the installation of the mini-split unit.

If we can provide additional information please feel free to call me at the number below.

Neil Michael Collier RA CEO

Senior Architect

Division of Building Standards & Codes

New York Department of State

99 Washington Avenue

O: 518 473 8947 C: 518 410 7077 neil.collier@dos.ny.gov

www.dos.ny.gov

756
NOW OR FORMERLY
LAKE KITCHAWAN
ESTATES, INC.

757
NOW OR FORMERLY
LAKE KITCHAWAN
ESTATES, INC.

758
NOW OR FORMERLY
LAKE KITCHAWAN ESTATES, INC.

LAKE PATH

N. 33° 08' 30" E.
50.00

5. 61° 13' 46" E. 117.21

4. 2

757

TWO STORY
FRAME
HOUSE

GARAGE
(UNDER
GROUND)

12.37

W. 3.24

N. 61° 51' 12" W. 126.43

SERVICE
POLE

5. 23° 28' W. 48.78

PREPARED FOR

SCOTT M. PIERSON & LAURIE J. PIERSON
TOWN OF LEWISBORO



September 15th, 2023

Re: 7 Lake Path
South Salem, NY 10590

To whom it may concern,

Integrity Heating and Air Conditioning installed a ductless mini split heat pump system at 7 Lake Path, South Salem, NY 10590.

The ductless system provides high efficiency comfort and can help lower energy costs by using advanced energy saving inverter drive technology, all with sound levels as low as 59 dB.

In order for the system to operate efficiently and safely the manufacture provides clearance guidelines to follow during the installation to allow correct air flow and venting.

Outdoor Model	Outdoor Unit Dimensions mm (in.)	Mounting Dimensions	
	W x H x D	A mm (in.)	B mm (in.)
BMS500-AAS009-1CSXRA	770x555x300 (30.3x21.85x11.81)	487 (19.2)	298 (11.73)
BMS500-AAS012-0CSXRB, BMS500-AAS012-1CSXRA, BMS500-AAS009-1CSXRB, BMS500-AAS012-1CSXHB	800x554x333 (31.5x21.8x13.1)	514 (20.24)	340 (13.39)
BMS500-AAS018-1CSXRA, BMS500-AAS018-1CSXRB	845x702x363 (33.27x27.6x14.3)	549 (21.26)	350 (13.8)
BMS500-AAS024-1CSXRA, BMS500-AAS024-1CSXHB, BMS500-AAS030-1CSXRB, BMS500-AAS036-1CSXRB, BMS500-AAS036-1CSXLB, BMS500-AAS048-1CSXLB, BMS500-AAS060-1CSXLB	946x810x410 (37.24x31.9x16.14)	673 (26.5)	403 (15.87)
	952x1333x415 (37.5x52.5x16.34)	634 (24.96)	404 (15.9)

Table 2

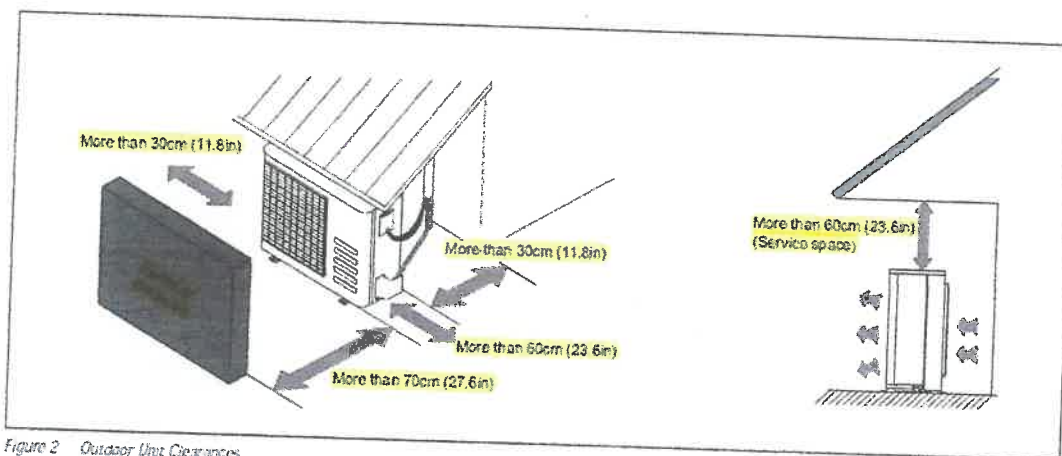


Figure 2 Outdoor Unit Clearances

Based on these manufacturer guidelines the outdoor unit was installed as shown below.



This location meets the requirements as illustrated by the manufacturer and allows the system to operate efficiently and effectively.

The front of the property consists of a large window, front door, 2 smaller windows, a chimney and the electrical panel, excluding this section of the house as a possible option.



The back door and deck again have large windows and door with no eligible clearance to install a condenser, as shown below.



Along the entire left-hand side of the house, there are large windows, that do not provide sufficient clearance for the system to operate efficiently.
Inside clearances don't allow for proper mounting on this side.



The back of the property is surrounded by a rocky hill side, during the winter months the snow build will not allow the system to operate efficiently and will restrict air flow



Taking into consideration all of the above, the condenser was installed on the side of the property that would allow the system to run correctly and efficiently and followed the manufacturers guidelines.

If you have any further questions or concerns, please don't hesitate to call the office on 845-278-7500.

Sincerely,

William Dean

William Dean

TOWN OF LEWISBORO
Building Department
Bouton Road
South Salem, NY 10590
Email: kkelly@lewisborogov.com



(914) 763-3060
FAX (914) 875-914879
TTY 800-662-1220

www.lewisborogov.com

Date 10/23/23
Zoning Denial App. # 2023-0551

Ferran
7 Lake Path, South Salem, NY
42D-10283-016

The applicant is proposing a 6.0' Spruce wood stockade privacy fence in a 1/4A residential zone whereas the code allows 4.0' therefore requiring a variance of 2.0' as per article IV section 220-12 of the town of Lewisboro zoning code.

Kevin J. Kelly RA Building Inspector

Building Inspector

ZONING BOARD OF APPEALS

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**Dated this 27th day of October 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

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October 25, 2023

Town of Lewisboro
Zoning Board of Appeals

Dear Lewisboro ZBA Committee:

Enclosed is an application for a variance to install a 16 foot long, 6 foot tall spruce wood stockade fence in a R-1/4A zone.

In July 2023, a new neighbor cut away privacy hedges that blocked views into our kitchen, dining room and living room. We would like to gain our privacy back with a fence that is above eye level.

Included in this packet are:

- A survey showing the location of proposed fence
- A before photo of the hedges, prior to cutting
- A screenshot from a security camera (attached to the side of our home) showing a guest of our new neighbor walking by our window after urinating on the side of our home
- Multiple images of a camera being installed by our new neighbor on a tree within approximately 9 feet of our home and pointed directly at the windows into our private space, the viewpoint from within our home, and finally, a screen shot from the same security camera showing the police intervention that resulted in the removal of that camera

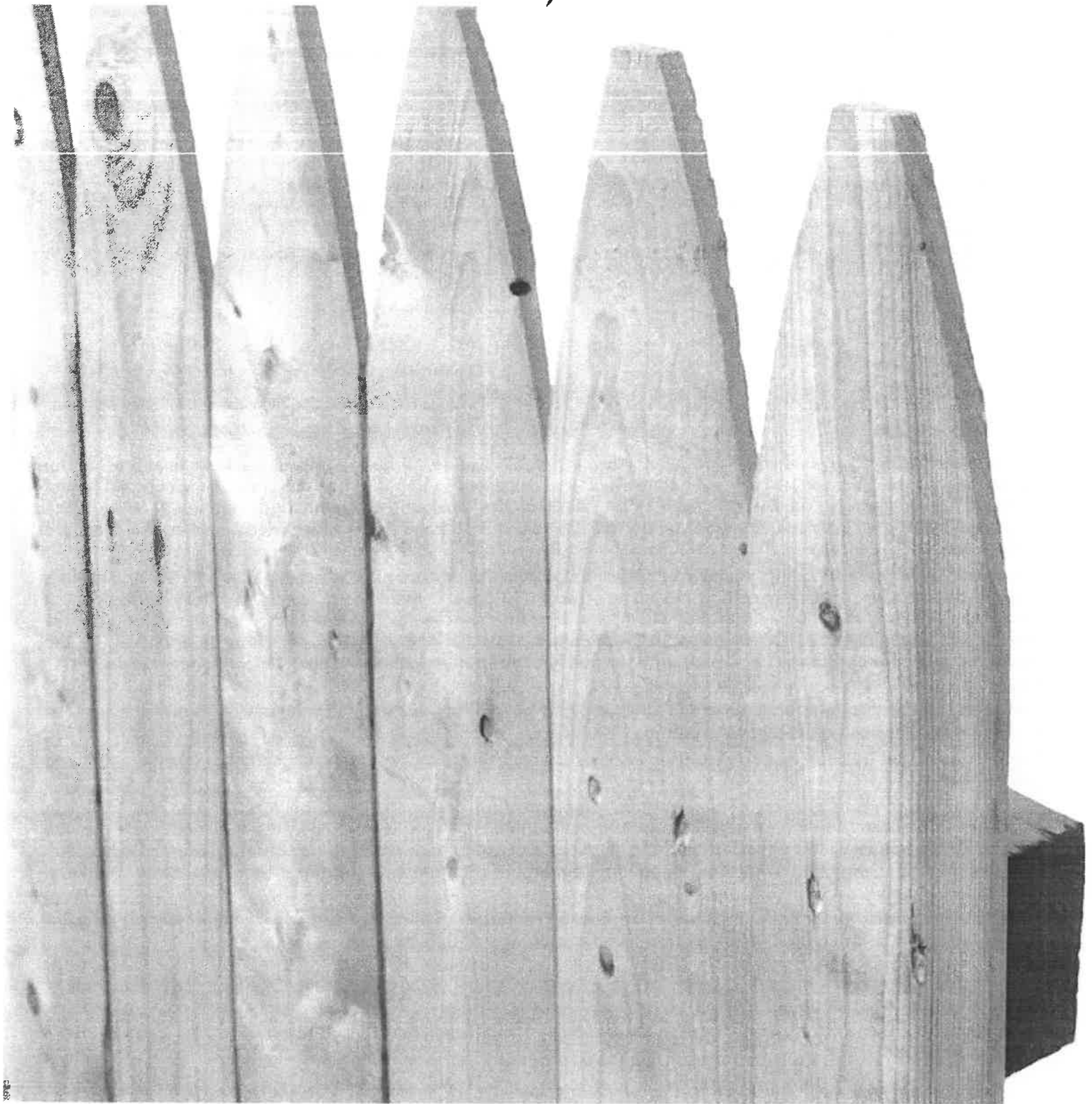
Lewisboro Police Chief Secret is well aware of the lack of privacy issue and assured us that he would personally stop by the Building Department to request that they move forward with our denial letter. Should the ZBA have any questions regarding the need for a 6 foot tall fence, I believe he would be able to advise your office, as well.

We sincerely hope that this request and the supporting documentation provides enough information for you to grant a variance.

Please let me know if you have any questions or need anything further.

Respectfully submitted,
Elizabeth Ferran and Ralph Dickinson
7 Lake Path
(914) 318-9393

7 LAKE PATH
PROPOSED FENCE - "FRONT SIDE" WHICH WOULD FACE
TOWARD NEIGHBORING PROPERTY



BLOCK 10283
SHEET 217

756
NOW OR FORMERLY
LAKE KITCHAWAN
ESTATES, INC.

LAKE PATH

N. 33° 08' 30" E.
50.00

S. 61° 13' 46" E. 117.21

757

TWO STORY
FRAME
HOUSE

GARAGE
(UNDER
GROUND)

W. 3.2

N. 61° 51' 12" W. 126.48

SEWER
POLE

758
NOW OR FORMERLY
LAKE KITCHAWAN ESTATES, INC.

S. 23° 02' W.
48.78

773
NOW OR FORMERLY
LAKE KITCHAWAN
ESTATES,
INC.

SURVEY

PREPARED FOR

SCOTT M. PIERSON & LAURIE J. PIERSON

TOWN OF LEWISBORO

256

NOW OR FORMERLY
LAKE KITCHAWAN
ESTATES, INC.

LAKE PATH

5 121° 13' A 6" E. — 117.21

4

757

GARAGE
(UNDER
GROUND)

15/5/19

136.48

11/6/51. 12:41.

4.

253

NOW OR FORMERLY
LAKE KITCHENWARE ESTATES, INC.

ESNICH
ELVIE
-ADOLPH-

43

42.

24.
E57
K17C
LGR1
non ce

5.22.22 A. 22.22 A. 22.22 A.



7 LAKE PATH - VIEW FROM KITCHEN + PATIO (BEFORE)

7 LAKE PATH: VIEW FROM KITCHEN AND PATIO (AFTER)



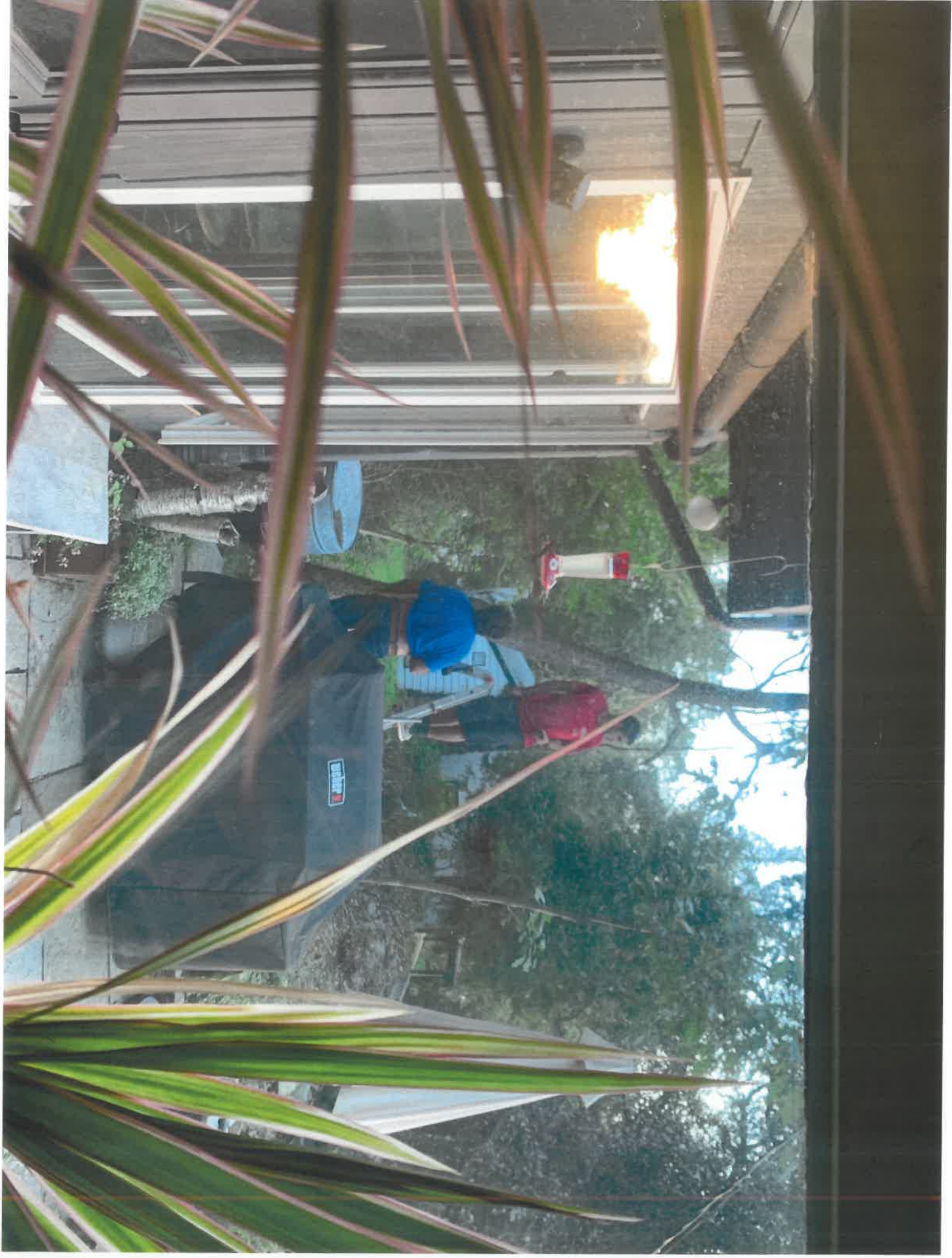
ring.com

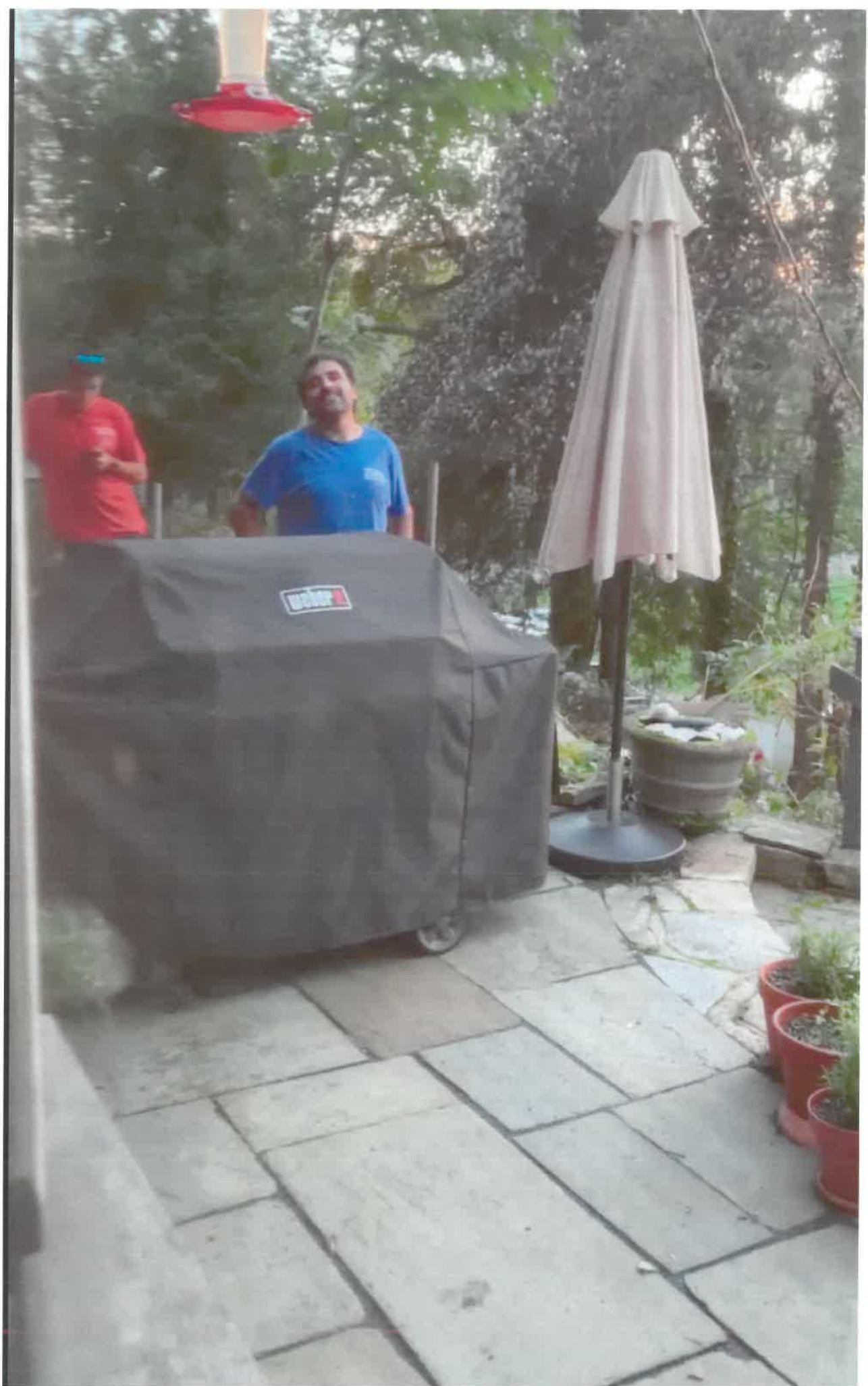
7 LAKE PATH

STILL PHOTO FROM SECURITY CAMERA ADJACENT TO KITCHEN WINDOW
TAKEN WHEN MOTION SENSOR TRIGGERED.

PERSON WAS UNIDENTIFIED IN BUSHES RIGHT OUTSIDE KITCHEN WINDOW.
OTHER STILL CAMERAS SURROUND THE PERIMETER TO NEIGHBORHOOD/OUTSIDE PERIMETER.

07/30/2023 19:49:55





ring.com



09/12/2023 18:55:00





09/12/2023 20:32:07

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will hold a Public Hearing on Wednesday, October 25, 2023, at 7:30 P.M., at the Town of Lewisboro Offices, 79 Bouton Road, South Salem, New York, Justice Court; regarding the following:

CAL. NO. 02-23-SP

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**Dated this 27th day of September 2023
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Westchester County, New York



Building Department
79 Bouton Road
South Salem, New York 10590

Tel: (914) 763-3060
Fax: (914) 875-9148
Email: jangiello@lewisborogov.com

10/25/23
Zoning Denial app. # 2023-0444

ARNOLD
28 MAIN ST, SOUTH SALEM. NY
0031-10805-019

The proposed screened in porch to the existing non-conforming residence will have a south side yard setback of 6.9' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 33.1' and north side yard setback of 22.9' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 17.1'.

The proposed screened in porch to the existing non-conforming residence will have a rear yard setback of 47.1' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 2.9'.

The existing non-conforming residence has a total building coverage of 16.04% and the proposed screened in porch will have a total building coverage of 19.31% whereas 10.31% is required per Article IV Section 220, attachment 1, *Schedule of Dimensional and Bulk Regulations for Residential Districts* of the Town of Lewisboro Zoning Code therefore requiring variance of 13.6%, an additional area variance of 3.27% above the existing non-conforming status.

Kevin J. Kelly RA Building Inspector

Building Inspector

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Application of Barbara Arnold [Arnold, Stephen & Barbara S., owner of record], 28 Main Street, South Salem, NY for the following variance of the proposed screened in porch to the existing non-conforming residence will have a south side yard setback of 6.9' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 33.1' and north side yard setback of 22.9' whereas 40' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 17.1', the proposed screened in porch to the existing non-conforming residence will have a rear yard setback of 47.1' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 2.9', the existing non-conforming residence has a total building coverage of 16.04% and the proposed screened in porch will have a total building coverage of 19.31% whereas 9% is the maximum allowed per Article IV Section 220, attachment 1, *Schedule of Dimensional and Bulk Regulations for Residential Districts* of the Town of Lewisboro Zoning Code therefore requiring a total variance of 10.31% which is an additional 3.27% above the existing non-conforming status.

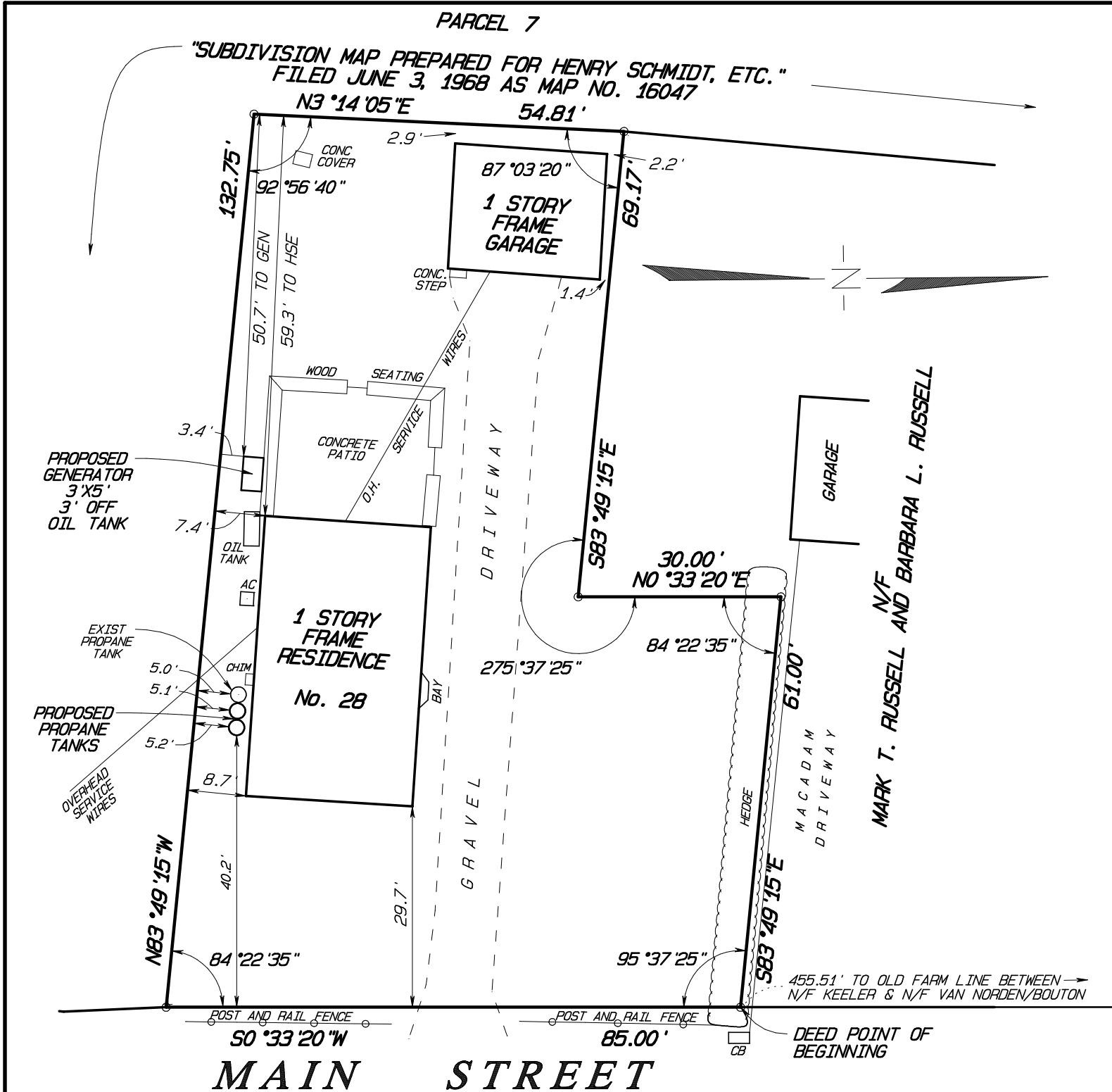
The property is located on the west side of (#28) Main Street, South Salem, NY designated on the Tax Map as Sheet 0031 Block 10805 Lot 019, in a SCR-2AC, Special Character Two-Acre Residential District, consisting of approximately .20 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 27th day of October 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.



Area = 9,017 S.F. or 0.207 Acres.

Deed Reference: Liber 7343 Page 145.

Tax Identification: Sheet 31 Block 10805 Lot 19.

In accordance with the existing Code of Practice for Land Surveys as adopted by The New York State Association of Professional Land Surveyors, Inc.

Unauthorized alteration or addition to a survey map bearing a Licensed Land Surveyor's seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

All certifications are valid for this map and copies thereof only if said map or copies bear the impressed seal of the surveyor whose signature appears hereon.

The location of underground improvements or encroachments hereon, if any exist, are not certified or shown.

R - 2A ZONE
TOTAL AREA = 9,017 S.F.

BUILDING COVERAGE: 9% ALLOWABLE (811 S.F.)	
	EXISTING
RESIDENCE	1,028 S.F.
GARAGE	418 S.F.
TOTAL BUILDING COVERAGE	1,446 S.F.
PERCENTAGE OF COVERAGE	16.0 %

SURVEY OF PROPERTY
PREPARED FOR

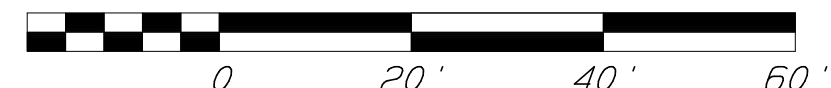
STEPHEN H. ARNOLD

&

BARBARA S. ARNOLD

SITUATE IN THE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 20'



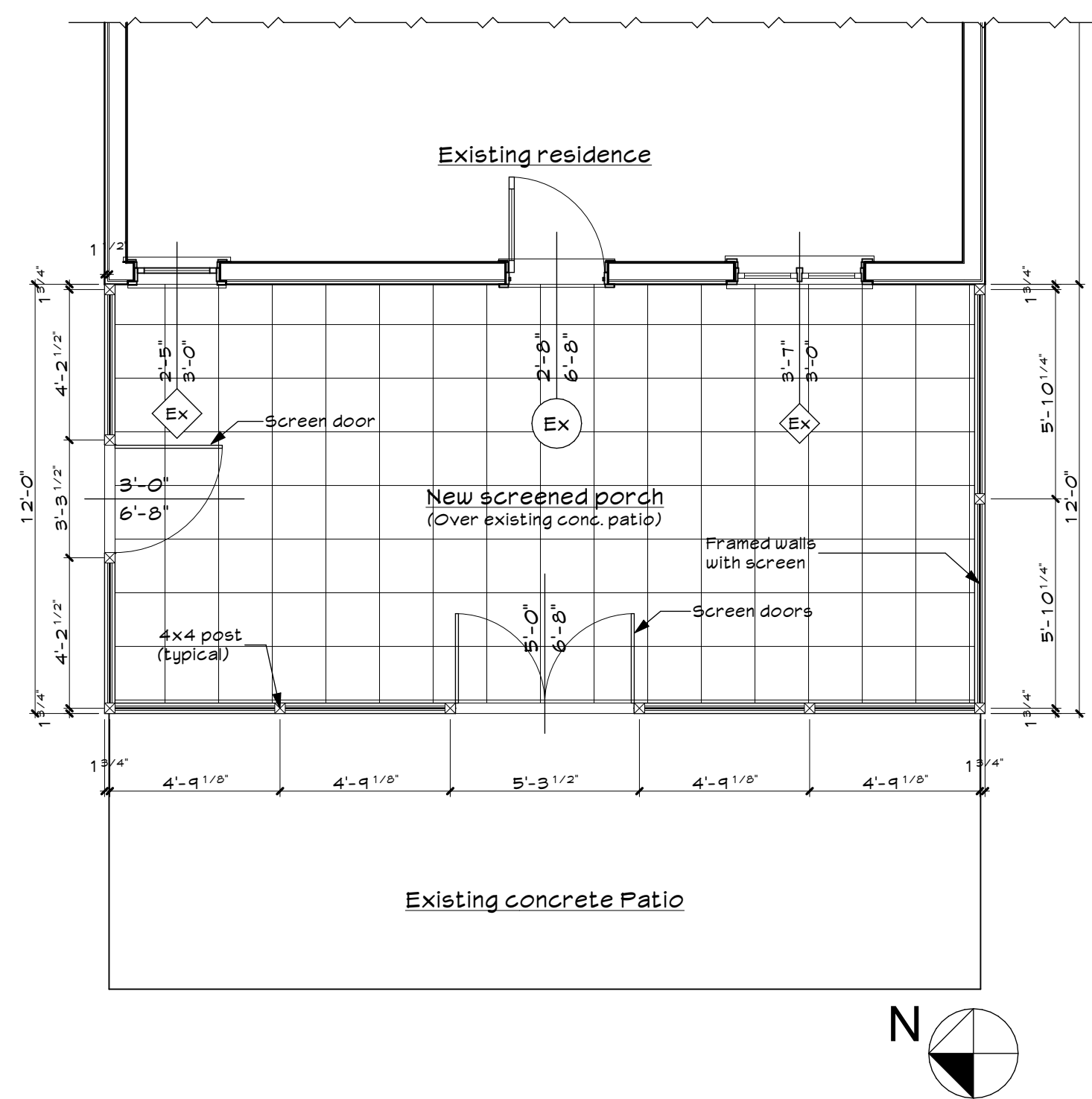
H. STANLEY JOHNSON AND COMPANY
LAND SURVEYORS, P.C.
42 SMITH AVENUE P.O. BOX 93
MT. KISCO, N.Y. 10549
TEL. 914-241-3872
FAX. 914-241-0438



REVISED: OCTOBER 19, 2023 - COVERAGE
REVISED: FEBRUARY 24, 2022
SURVEYED: JANUARY 24, 2022
MAP PREPARED: JANUARY 27, 2022

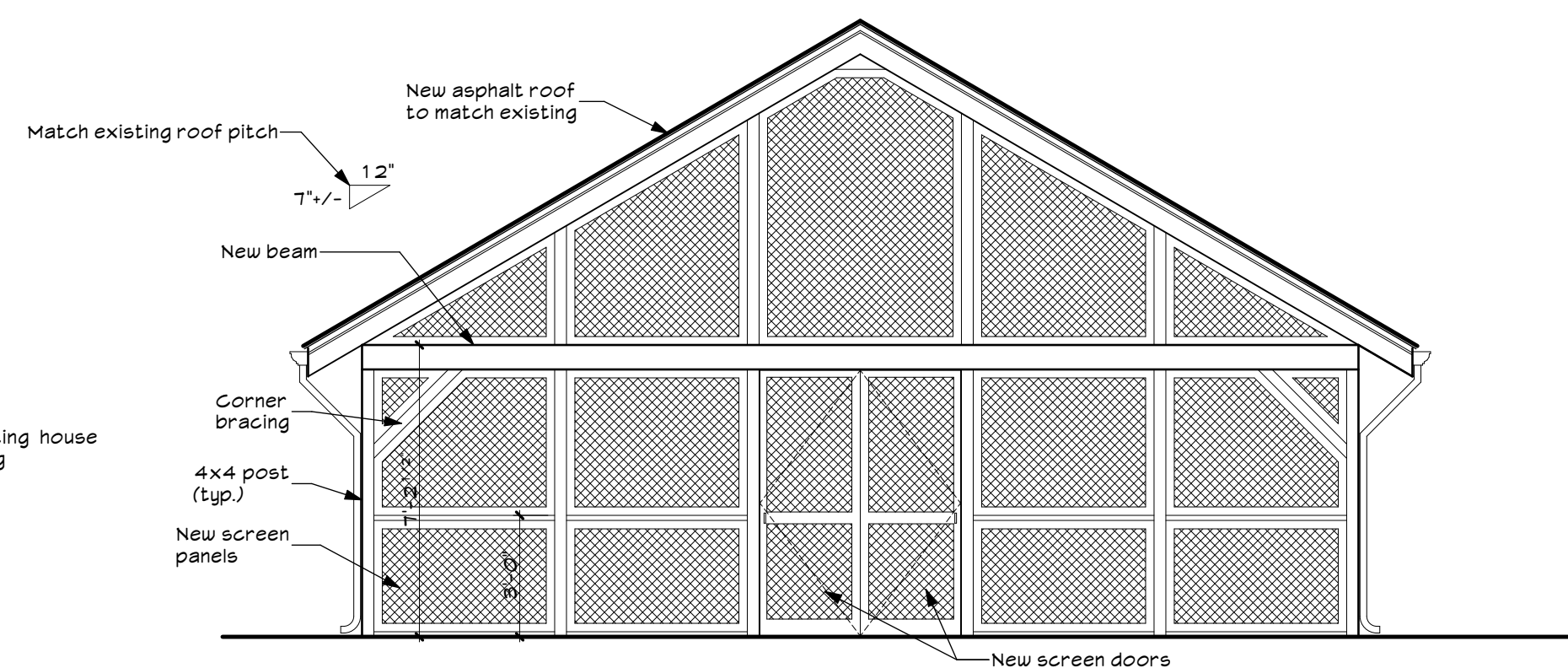
BY:

NEW YORK STATE LICENSED LAND SURVEYOR NO. 49749
STEPHEN T. JOHNSON, P.L.S.



12 First Floor - Renovation

SCALE: 1/4" = 1'-0"



Front elevation - 2

2 Elevations

SCALE: 1/4" = 1'-0"



Section: 31
Block: 10805
Lot: 19
Zone: R-2A
Lot size (acre): 0.207 9,017 SF
Max. building coverage: 9% 812 SF
Max. site coverage: No limit

Structure	Existing		Change (SF)	Proposed	
	Foot print	% of lot		Foot print	% of lot
Residence	1,028	11.40%	0	1,028	11.40%
Garage	418	4.64%	0	418	4.64%
Screen porch addition		0.00%	295	295	3.27%
Total building coverage	1,446	16.04%	295	1,741	19.31%

Structure	Existing			Proposed		
	Foot print	% of lot	Change (SF)	Foot print	% of lot	
Building coverage from above	1,446	16.04%	0	1,741	19.31%	
Propane and oil tank	23	0.26%	0	23	0.26%	
Driveway	1,112	12.33%	0	1,112	12.33%	
Patio and seating	536	5.94%	(295)	241	2.67%	
Generator	15	0.17%	0	15	0.17%	
Concrete cover	5	0.06%	0	5	0.06%	
Total building coverage	3,137	34.79%	(295)	3,137	34.79%	



Screened porch addition
28 Main Street, South Salem, NY

Sheet:	31
Block:	10805
Lot:	19
Zone:	R-2A
Lot size (acres):	0.207
Lot size (square feet):	9,017

Regulation	Minimum	Maximum	Actual (Existing)	Proposed	Remarks
Min. lot size (Acres)	2		0.207		
Min. lot width/circle	200'				
Front yard (Feet) from street center line	75'		55	96	3
Front yard (Feet) from front lot line	50'		29.7	71	1, 2
Side one (Feet)	40'		7.4	6.9	1, 2
Side two (Feet)	40'		22.4	22.5	1, 2
Rear yard (Feet)	50'		59.3	47.1	1, 2
Max. height, stories		2 1/2	1	1	
Max. height, feet		35'			
Building coverage		9%	16.04%	19.31%	Percentage
		812	1,446	1,741	Square feet

- 1 - Existing dimension is to existing residence
- 2 - Proposed dimension is to addition
- 3 - Assumes 50' right of way



DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. DOCUMENTS ARE NOT BE USED, IN WHOLE OR IN PART, FOR OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF THE ARCHITECT.

CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS ARE TO BE WORKED FROM. DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT BEFORE PROCEEDING.

NOTE: DO NOT SCALE DRAWINGS

[illegible]

Revisions:

Project Name:

28 Main Street
South Salem, N.Y.

Drawing Title:

Floor plans, Site plan,
Elevations and Notes

Date: 10/18/23
Revised as noted above

Project #: 23043
Scale:

Scale:	As noted
--------	----------

Drawing Number:

A-1



Front left side photo



Front right side photo



Right side photo



Right side photo



Left side photo



Rear left side photo



Overhead service wires photo



Front of garage photo

Patrick M. Croke
Architect

20 Woodsbridge Road
Katonah, New York 10536
T: 914.234.6093
F: 914.234.0548
info@pmcarchitect.com



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CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS ARE TO BE WORKED FROM. DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT BEFORE PROCEEDING.

NOTE: DO NOT SCALE DRAWINGS

011 - Proj: Just Files 12043 - Arnold Addition 12 - Drawings 12043 - Arnold Add-00 - V-00.dgn

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2	ZBA review submission	10/23/23 <input checked="" type="checkbox"/>
1	Building inspector review	10/18/23 <input type="checkbox"/>

No: Description: Date:

Revisions:

Project Name:

Arnold screened porch addition

28 Main Street
South Salem, N.Y.

Drawing Title:

Photos

Date:

10/18/23

Revised as noted above

Project #:

23043

Scale:

As noted

Drawing Number:

PH-1

TOWN OF LEWISBORO
Building Department
Bouton Road
South Salem, NY 10590
Email: kkelly@lewisborogov.com



(914) 763-3060
FAX (914) 875-914879
TTY 800-662-1220

www.lewisborogov.com

Date 10/10/23
Zoning Denial App. # 2023-0701

Pena
2 Silvermine Dr, South Salem, NY
48-10057-119

The proposed shed/ Dutch barn will have a side yard setback of 10' whereas 40' are required per Article IV 220-23E of the Town of Lewisboro Zoning Code therefore requiring a side yard variance of 30' and will have a rear yard setback of 20' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a rear yard variance of 30'.

Kevin J. Kelly

Building Inspector

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, November 15, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 27-23-BZ

Application of Luis Pena, [Pena, Luis, Jr. & Santos, Solangel, owner of record], 2 Silvermine Drive, South Salem, NY for the following variance for the proposed shed/ Dutch barn which will have a side yard setback of 10' whereas 40' are required per Article IV 220-23E of the Town of Lewisboro Zoning Code therefore requiring a side yard variance of 30' and will have a rear yard setback of 20' whereas 50' are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring a rear yard variance of 30'.

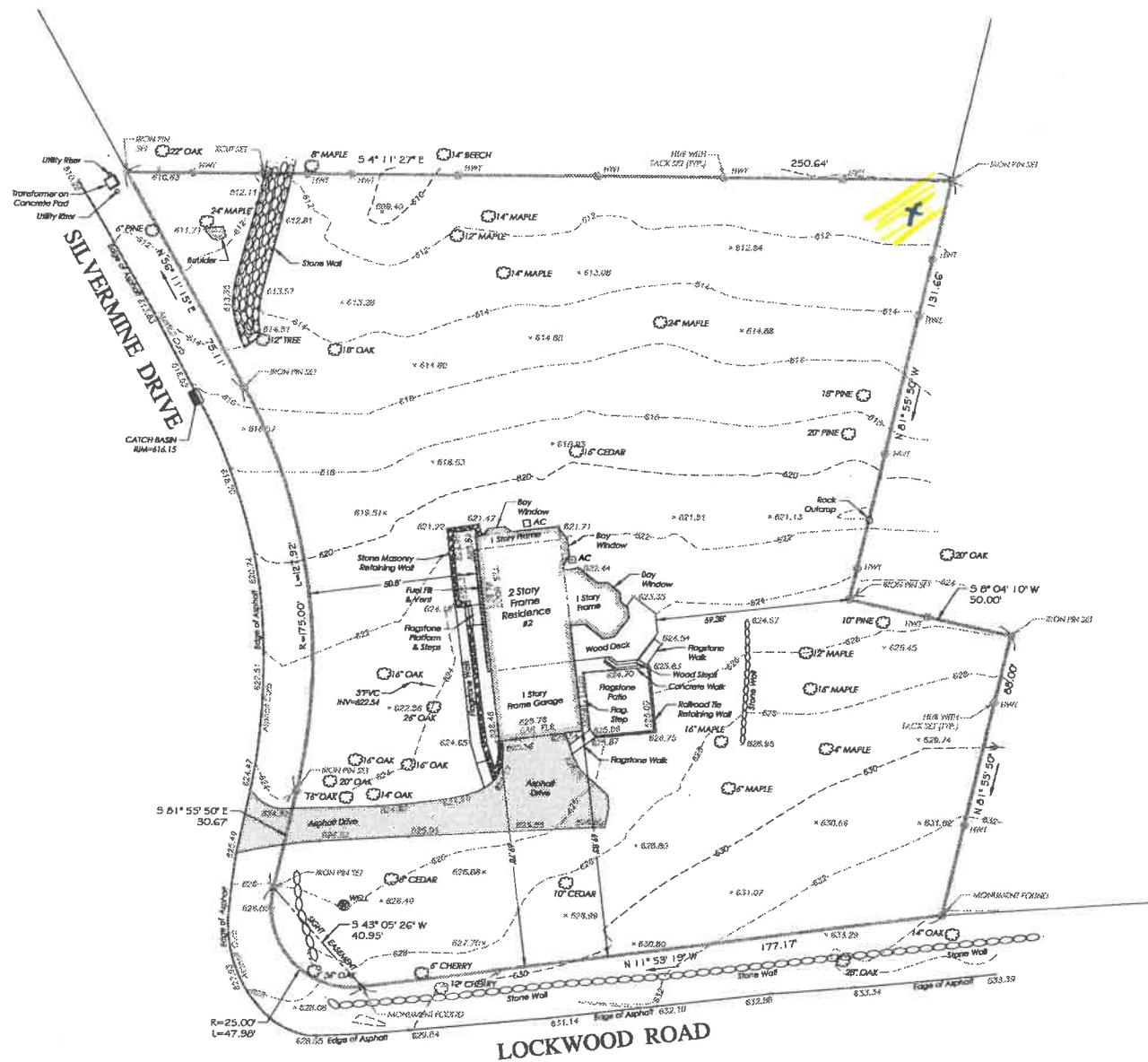
The property is located on the south side of (#2) Silvermine Drive, South Salem, NY designated on the Tax Map as Sheet 0048, Block 10057 Lot 119, in an R-2AC, Two-Acre Residential District consisting of approximately 1.11 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 13th day of October 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.



Only copies from the original of this topography map marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Unauthorized alteration or addition to a map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks.

Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

Premises hereon being Lot 21 as shown on a certain map entitled, "Subdivision Map Silvermine Estates, situated in the Town of Lewisboro, Westchester County, NY." Said map filed in the Westchester County Clerk's Office, Division of Land Records November 26, 1976 as map number 16997.

Surveyed in accordance with Deed Control Number 582473475.

Premises shown hereon designated on the Town of Lewisboro Tax Map as: Section 46, Block 10057, Lot 119.

Property Address: 2 Silvermine Drive
South Salem, NY 10590

TOPOGRAPHY OF PROPERTY
PREPARED FOR
SOLANGEL SANTOS
AND
LUIS PENA, Jr.
SITUATE IN THE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 20'
GRAPHIC SCALE



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IS A VIOLATION OF APPLICABLE LAW.



TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899



Surveyed: December 9, 2020
Map Prepared: December 15, 2020

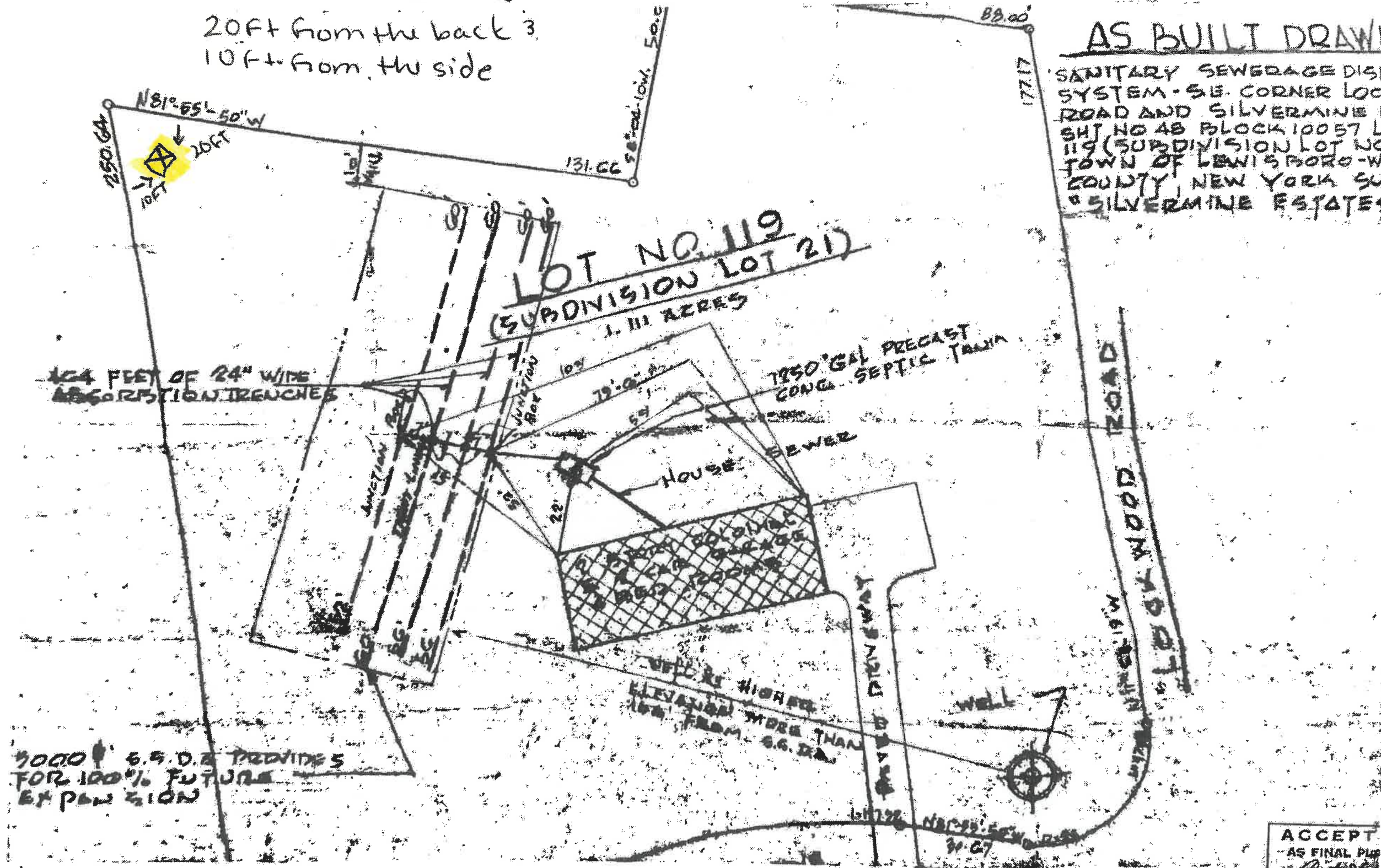
Paul T. Merritt
New York State Licensed Land Surveyor No. 1750604

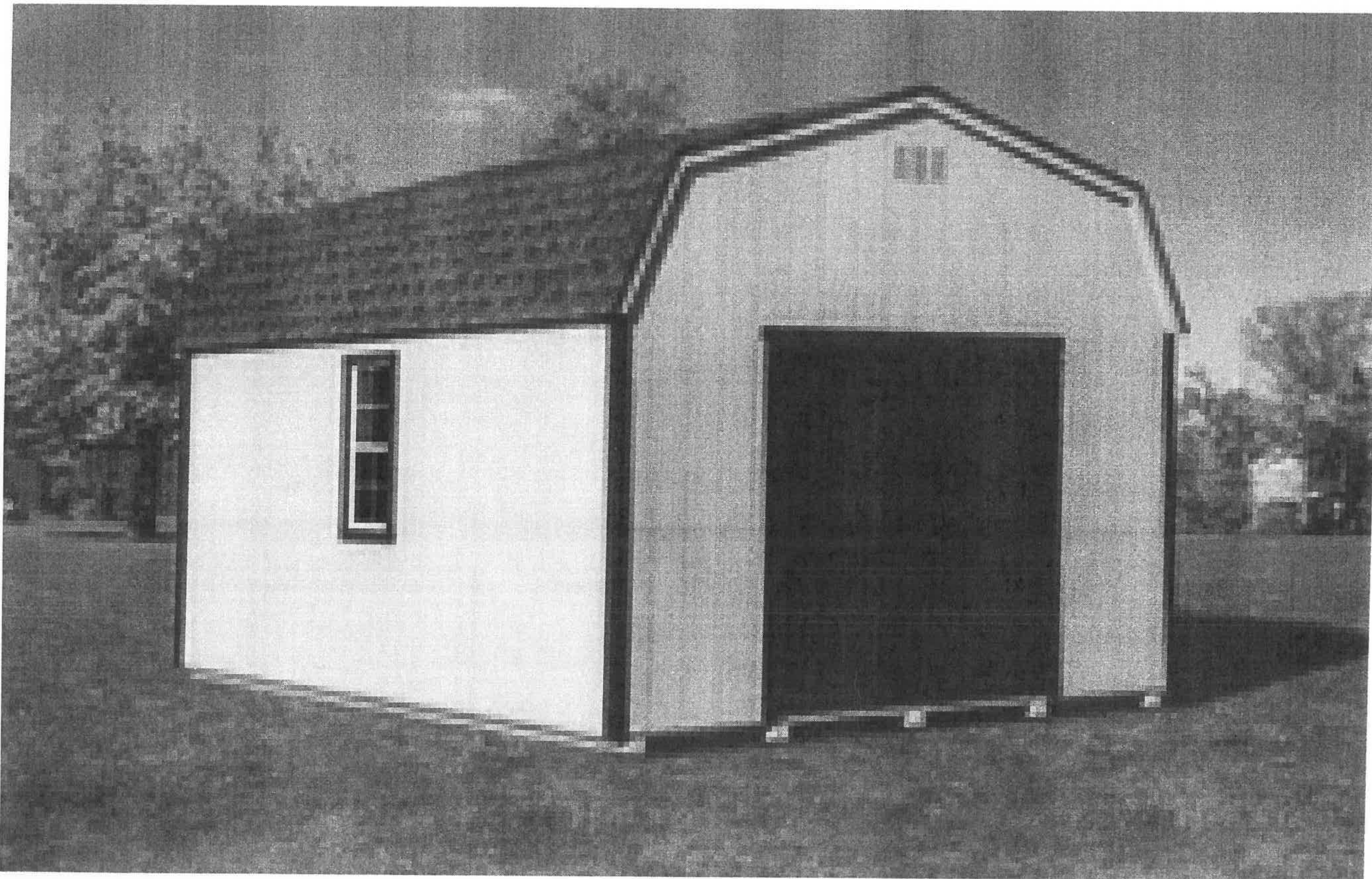
Project: 20-302	Field Survey By: CRUCH
Drawn By: LJA	Checked By: DM

Shed to be installed
20ft from the back
10ft from the side

AS BUILT DRAWING

SANITARY SEWERAGE DISPO
SYSTEM - SE. CORNER LOCKY
ROAD AND SILVERMINE DE
SHI NO 48 BLOCK 10057 LO
119 (SUBDIVISION LOT NO. 1
TOWN OF LEWISBORO - WES
COUNTY, NEW YORK SUB
SILVERMINE ESTATES,





TOWN OF LEWISBORO
Building Department
Bouton Road
South Salem, NY 10590
Email: kkelly@lewisborogov.com



(914) 763-3060
FAX (914) 875-914879
TTY 800-662-1220

www.lewisborogov.com

Date 10/10/23
Zoning Denial App. # 2023-0

Mc Caffrey
5 Big Rock Loop, Katonah, NY
9A-10790-009

The proposed existing garage conversion to a music room will have a front yard setback of 22'-0" whereas 30'-0" are required per Article IV 220-23E of the Town of Lewisboro Zoning Code, therefore requiring variance of 8'-0" and will have a centerline of the street setback of 38'-0" whereas 55'-0" are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 17'-0".

Kevin J. Kelly

A handwritten signature in black ink, appearing to read "K. J. Kelly", is written over a light blue grid background.

Building Inspector

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, November 15, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 28-23-BZ

Application of Lon Kaiser, [McCaffrey, Suzanne & Kaiser, Lon Webb, owner of record], 5 Big Rock Loop, Katonah, N.Y., the proposed existing garage conversion to a music room will have a front yard setback of 22'-0" whereas 30'-0" are required per Article IV 220-23E of the Town of Lewisboro Zoning Code, therefore requiring variance of 8'-0" and will have a centerline of the street setback of 38'-0" whereas 55'-0" are required per Article IV Section 220-23E of the Town of Lewisboro Zoning Code therefore requiring variance of 17'-0".

The property is located on the east side of (#5) Big Rock Loop, Katonah, NY designated on the Tax Map as Sheet 009A, Block 10790 Lot 009, in an R-1/2AC, One Half-Acre Residential District consisting of approximately 0.54 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 13th day of October 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE, JR.
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

KAISER / MCCAFFREY MUSIC ROOM SPECIFICATIONS

Division #1 - GENERAL CONDITIONS

1.01 – CODES

1. All work shall conform to all applicable local and state Building codes including but not limited to, 2020 NYS Residential Code, 2020 NYS Energy Code, 2017 National Electrical Code, and any local or other codes or bodies having jurisdiction as well as highest standards of practice for each trade.

1.02– SCOPE OF WORK

1. The Owner intends to live in the house during construction. The contractor shall take into account the necessary phasing required to allow this to happen. At the end of work each day the house must be secure, weathertight, the electricity and plumbing must be working and any areas disturbed by construction shall be broom cleaned.
2. At start of work, contractor shall provide temporary plastic sheet partitions separating the active work spaces from non-active areas. Tape all joints and tape between floor and ceiling. Provide a walk-off mat at openings. Adjust location of plastic barriers as work progresses leaving as much space for the Owner's as possible.
3. Protect floors and walls to remain. Damaged items indicated to remain shall be repaired or replaced at contractor's expense.
4. The contractor shall provide all labor, materials, appliances and equipment necessary for a complete job and described in the contract documents.
5. All materials, equipment and appliances be installed according to their manufacturers' specifications.
6. All work shall be performed in a workman-like manner by craftsmen having a minimum of 5-years experience.
7. All construction debris shall be carted off site. It shall NOT be buried on site.
8. Contractor shall provide portable construction toilets for use by the construction workers. Coordinate location with the Owner. Contractor shall be responsible for maintenance of same.
9. Broom clean work area and at the end of each day. Debris on site must be picked up at the end of each day and put into the dumpster. Coordinate the location of the Dumpster with the Owner at the start of the project.
10. Contractor shall submit and review with Owner an anticipated schedule of work, specifically defining when items to be supplied by the Owner shall be on site.

1.03 – DESIGN LOADS

1. Design Loads per square foot:
First Floor – Vinyl Floor Tile 40# LL, 12# DL, deflection at L/480
Roof 30# LL, 15# DL, deflection at L/360

Division #2 - SITE WORK

2.1 – DEMOLITION

1. All Demolition work shall be performed in such a manner to protect all items to remain intact. The structure shall be covered with a tarpaulin at the end of work each day until it is weather tight. Provide all materials, equipment, scaffolding and shoring required to complete work. The structure shall be exposed to the weather for a minimum amount of time. Any items scheduled to remain intact that is damaged by demolition, construction or by exposure to the weather shall be repaired or replaced at no additional cost to the owner.
2. Do not start demolition work until sufficient materials are on site to proceed smoothly with the project.
3. Contractor shall remove from site, by approved methods, all new and removed debris generated by construction. Dumpster location shall be coordinated with Owner.
4. The house shall be secured and weather-tight at the end of each workday.

2.2 – PROTECTION

1. The Owners are intending to live in the house during the construction process. Contractor shall endeavor to keep non-construction spaces clean and neat.
2. The contractor will be responsible for replacing damaged items scheduled to remain.
3. All furniture will be removed from the construction area by the Owner prior to start of work. The contractor is not responsible for moving or protecting furniture or other household items unless they are built-in.

Division # 3-5 - (NOT USED)

Division #6 - CARPENTRY

6.01 –FRAMING

1. All framing members in contact with the ground or concrete shall be pressure treated for ground contact.
2. Provide pressure treated sleepers 6'-0" on center over the existing garage slab to support the new floor joists. Provide min 2 1/2" power actuated fasteners into slab. Double sleepers or taper sleepers as required for a level finished floor.
3. Provide 2 new top plates above the existing top plates on all existing exterior bearing walls shown to support new roof framing. Framing of the roof structure shall be Douglas fir and erected plumb, level and true and securely nailed as shown on the drawings except as noted. Contractor shall provide all materials and tools as need for a complete job. Produce joints that area tight, true and well nailed and in accordance with the drawings and pertinent codes and regulations.
4. Carefully select the members and install so that knots and obvious defects do not interfere with proper installation. Lumber may be rejected by Architect that has excessive warp, bow, crook, mildew, fungus or mold as well as improper cutting and fitting.
5. Joists, studs and rafters shall be doubled about all openings. All flush joints, headers shall be connected with metal hangers. Double frame under all partitions running parallel to framing. Sizes of joists sheathing and rafters are shown on plans. Framing lumber shall be F-1200psi. Where engineered lumber is shown, refer to manufacturer specifications and details for all installation information. Provide cross-briding or solid blocking at all joists longer than 10'0". Provide "cats" 3'0" on center on all studs longer than 9'0".
6. Provide blocking and backing for the work of other trades.
7. Set horizontal and sloped members with crown up.
8. Do not notch or bore in the top or bottom 2" of the member. Do not impair structural members by improper cutting or drilling.
9. Framing members shall not vary in alignment more than 1/8".
10. Lumber shall be live stock, thoroughly seasoned, and well manufactured. Materials generally shall be free from warp that cannot be corrected by bridging or nailing.
11. Lay out and erect all structural members of rough carpentry, framing, sheathing, bridging, and other items of work as necessary to install the finished work. All members shall be properly braced, plumbed and leveled. Use sufficient number of nails, Screws and bolts to insure the rigidity of the construction.
12. Erect framing closely fitted and accurately set in place to the required lines and levels.
13. Columns shall be continuous without splices from base to girder. All wood coming in contact with concrete or masonry shall be pressure treated.
14. Wood columns shall rest on concrete or masonry bases, or on solid framing.
15. Beams and girders shall have one-half inch air space at ends and sides. Joints of girders shall be over supports.
16. Framing joist into side of beams or girders shall be done with steel joist hangers designed for the member size and load. Joist hangers shall be fastened as recommended by their manufacturer.
17. Framing over girders and bearing partitions. Joists may be butted together over the center bearing, provided joists are tied together, or joists may be lapped and nailed together. Minimum lap, 4 inches' maximum overhang, 12 inches.
18. Bridging. Maximum spacing, 10 feet. Bridging shall be cross-bridging using metal ties or solid wood bridging using dimension lumber in offset fashion.
19. Roof framing with rafters. Valleys, hips and ridges shall be true intersections of roof planes. Use metal ties indicated on drawings to fasten cathedral ceiling joists to the wall plates. Hip and valley rafters shall be secured to wall plates by metal clip angles.
20. Sheathing shall be of shall match existing on walls and 9/16" Zip System sheathing on roof. The joints shall be made over supports and each board shall bear on at least three supports. Tape all joints with Zip System tape. Tape around all windows and doors covering nailing flange. Wrap tape around all door and window sills and up sidewall min 6".
21. Fasten sheathing 1/8 inch apart at side joints and 1/8 inch apart at end joints. Screws shall be 8" o.c. at supported edges and 8" o.c. at intermediate supports.

6.02- EXTERIOR FASCIA TRIM

1. Provide AZAK composite trim in the sizes and widths indicated on the drawings. Securely nail with galvanized finish nails, min 2 ½" long at 12" on center staggered side to side. Minimize joints. Blind nail where possible. Caulk all joints and exposed nail heads with paintable caulking.
2. Erect all items of millwork with tight fitting joints, carefully cut and secured. Exposed nails shall be set for putty. Back prime all millwork before installation and protect against dampness.
3. Install straight, plum, level, with closely fitted joints and rigidly secured. Blind nailing shall be used to the extent practicable; face nailing shall be set and stopped with a non-staining putty to match the finish. Stagger, conceal, or place joints in unobjectionable locations. Securely anchor door frames to the supporting construction.
4. Paint all exposed faces of exterior trim with 2 coats Benj. Moore House and Trim Paint, color White.

6.03 – VINYL SIDING

1. Provide Tyvek House Wrap over areas of new wall sheathing. Tape all joints. Tyvek shall wrap into window and door openings.
2. Provide vinyl siding to match existing over house wrap in clapboard pattern. Follow all manufacturer's installation recommendations. Exposure to match siding on existing residence. Siding shall be prefinished by manufacturer.
3. Fasten with screws or shingle nails appropriate for the existing sheathing.
4. Provide 4" J-bead at corners and around all openings. Provide subsill at window locations.
5. Provide new un-vented soffits to match existing.

6.04- INTERIOR MILLWORK AND TRIM – BY OWNER

1. All interior doors, door jams and trim work shall be supplied and installed by Owner.
2. Interior doors shall be 1 3/8" thick, solid wood, prehung doors and finger-joint pine jams in style to match existing and sizes indicated on drawings. Provide 3 butts per door min. Provide Kwikset door knobs in style and finish to match existing, in function to match the space. Provide base molding mounted door bumpers. On double closet doors, provide dummy hardware with top mounted roller catches.

3. Pocket doors shall be Supplied and installed by the Owner and have Johnson Hardware 1500SC Series Pocket Door Frame designed to soft-open and soft-close solid core doors weighing up to 200lbs. Provide smooth ball bearing hanger wheels combined with soft-closing door operation.
4. All new music room windows and doors shall receive new sill, casing and head to match existing in office. Casing shall be primed Fingerjoint Pine trim or approved equal.
5. All First Floor base moulding shall be removed and replaced with new base moulding, shoe and cap to match existing. Base Moulding shall be primed Fingerjoint Pine trim or approved equal. Shoe moulding shall be installed after the finished floor installation and wall finishing.
6. Interior finish, trim and door frames. Secure work with fine finishing nails and glue where required to assure permanent, tight joints. Caulk joints between the moulding and the wall finish for a tight finished appearance. Set and fill all nail holes and sand for a smooth seamless appearance.
7. All closet systems shall be supplied by Owner, installed by Owner according the manufacturer's specifications. Mount millwork to solid wall framing using min 2 ½" cabinet screws at 8" on center.
8. Woodwork, which is to be painted, shall have exposed surfaces free of defects that would show after being painted.
9. Woodwork that is to be finished to show the grain shall be bright, uniform in color, and free from blemishes.
10. Shelves and closet systems in all closets shall be supplied by the Owner, installed by the Owner.

6.05– WALLBOARD

1. Gypsum wallboard shall be ½" thick except as noted, fastened with drywall screws 8" o.c. according to manufacturers' specifications. All screw heads to be spackled with 3 coats joint compound. All joints to be taped and receive 3 coats of joint compound. Provide 1 ½" metal corner reinforcing. Finish smooth and even ready for painting.

Division #7 – THERMAL AND MOISTURE PROTECTION

7.1- INSULATION

1. All new framed floor areas in Music Room and Foyer shall receive min R-30 Closed cell spray foam insulation.
2. All exterior wall cavities in contract area, not currently insulated shall receive closed cell foam spray foam insulation, Min R=20.
3. The cathedral ceiling and flat ceiling shall receive closed cell foam spray foam R=44.
4. Fill all holes in studs and joists with expanding foam in place insulation.
5. Fill cavities around all exterior doors and windows with foam in place insulation designed to avoid warping frames.

7.2- ROOFING

1. Provide roof shingle manufacturer's best self adhesive ice and snow shield on entire area of disturbed roof. Overlap a min of 3.
2. Provide painted aluminum drip edge and edge of roof.
3. Provide new 40 year warranty asphalt roof shingles to match existing. Install in strict accordance with manufacturer's recommendations. Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's absolute limits. Weave in with existing roof shingles. Valley shall match existing.
4. Do not overload the roof. Distribute stacks of tile uniformly on roof at not greater than 12 inches (305 mm) in height.
5. Provide transferable limited 40 year product warranty.

7.3 – GUTTER AND LEADERS

1. Gutters shall be made of 3105-H24 aluminum and shall be continuous and seamless with a minimum thickness gauge of .032" or .027" (+/- .002" nominal).
2. All pre-painted components will have an approved SMS Finish and color to match existing.
3. Prior to painting, all metal shall receive a pre-treatment to assure for maximum paint adhesion. The exterior finish shall be of a baked-on enamel, one-coat system applied in a continuous process in a single operation, comprising a high-performance linear topcoat. The inside of the gutter shall be finished with a wash-coat finish.
4. Downspouts, Elbows, Miters, End caps shall be made of 3105-H24 aluminum with a minimum thickness gauge of .019" (+/- .002" nominal).
5. Sealant/Caulking - Seam Sealer shall be as manufactured by OSI ProSeries, Ruscoec, Geocel or approved equal.
6. Hanging system for the standard K-style system will be the SMS Hidden Hanger with screw attached for size as necessary.
7. Provide Gutter Screen as selected by Owner, sized as necessary.
8. All accessories used with the SMS Rain-carrying system will be procured from a SMS distribution or manufacturing facility.
9. Gutters shall be formed onsite from SMS gutter coil, which has been procured from an approved SMS distribution point.
10. Gutters should have a minimum pitch of ¼" for every 10 feet of single section.
11. Downspouts should be installed every 40 feet.
12. Outlets and Elbows will be screwed or riveted to the adjoining section for security.
13. Miters will be screwed or riveted to the adjoining section with an approved sealant. Field cut miters, Box miters, and Strip miters are all acceptable forms of installation.
14. Hangers will be spaced a maximum 24"-36" inches apart on any continuous gutter run for strength and stability of the overall system.

Division #8- DOORS AND WINDOWS

1. The three section patio doors shall be Andersen 200 series as indicated on drawings and as manufactured by Andersen Windows and Doors, Inc. french swinging door system, complete with weather-stripping, hardware and fiberglass mesh screens. There shall be no grills or dividers. Hardware finish shall be selected by Owner. Doors are to be white vinyl doors with insulating high-performance HP Low E Smart Sun clear double pane tempered glass. Contractor shall securely anchor door frames to the supporting construction. Contractor shall use expandable foam insulation to fill voids around door. U=0.27, SHGC= 0.28. Owner shall provide extension jambs and trim as required.
2. Windows shall be Andersen 100 series Fibrex single hung windows as manufactured by Andersen Windows and Doors, Inc. The windows shall be white fiberglass windows with HP Low E Smart Sun Clear double pane glass with no grills or dividers, complete with weatherstripping, hardware to match existing, and fiberglass mesh screens. U=0.27, SHGC= 0.28. Contractor shall use expandable foam insulation to fill voids around window. Owner shall supply and install extension jambs and trim.
3. Foyer Entrance Door shall be supplied by the Owner, complete with sill and jamb, weatherstripping and hardware. Contractor shall install the door and hardware, securely anchor door frames to the supporting construction. Contractor shall use expandable foam insulation to fill voids around door. Interior Extension jambs and trim shall be supplied and installed by the Owner.
4. Storm / screen door at foyer entrance shall be supplied and installed by the Contractor and shall be Andersen Series 10 Fullview Interchangeable Laminated Storm / Screen door. Match front entry door size. Provide all hardware and closers. Color as selected by owner.

Division #9- FINISHING

9.1 – VINYL FLOORING – BY OWNER

1. New Vinyl Flooring shall be Supplied and Installed by the Owner.
2. Install flooring in strict accordance with manufacturer's specifications. Flooring shall be 3/16" prefinished tongue and groove prefinished strip floor in various lengths as selected by the Owner.
3. Examine substrate in area to receive flooring. Provide flash patch leveling compound to any area that is not level and true. Verify the subfloor is smooth and even and clean, ready to receive finished flooring.
4. Install one coat Laticrete 9234 waterproofing on substrate. Closely follow manufacturer's installation specification.
5. Check the job site before delivery of flooring materials. Be sure the flooring will not be exposed to excessive periods of high humidity or moisture.
6. Deliver materials to the building site in original, unopened packages, bundles, or containers. Protect materials against dampness during shipment and after delivery. Store materials under cover in a well-ventilated building where materials will not be exposed to extreme changes of temperature and humidity. Do not store materials in buildings under construction until all well-sealed building materials are dry. Do not open packages, bundles, or containers until the flooring is to be installed.
7. Provide Geniemat RST-10 acoustic underlayment below all prefinished flooring.
8. Install flooring and accessories after all other finishing operations and construction have been completed. Close spaces to traffic during the installation of the flooring and protect flooring surface as necessary with a breathable material after the completion of installation. Do not install flooring over concrete slabs or wood substrates until they are sufficiently dry to achieve a bond with the adhesive (especially when employing direct glue down method to substrate), in accordance with the manufacturer's recommended bond and moisture tests.
9. Direction of finish flooring should be perpendicular to Entrance Door. Begin infill flooring installation along the longest continuous wall parallel to the flooring direction. Allow 3/16" for expansion. Use a slip-tongue to reverse direction and complete the rooms. At any change of direction, always provide tongue and groove engagement either with a slip tongue, or factory edge or end.
10. After the starter run fit each run of successive strips snug, groove-to-tongue.
11. Lay out seven or eight rows of flooring end to end in a staggered pattern with end joints at least 6" apart. Find or cut pieces to fit within 1/2" of the end wall. Watch your pattern for even distribution of long and short pieces and to avoid clusters of short boards. Use finish nails 12" dia. to secure the initial row. Countersink all nails.
12. Provide all available coordinating transitions and moulding pieces designed for the specified flooring to meet installation application for finishing and transitioning to other flooring products. Provide factory prefinished MDF or HDF material wood of species, grade, and finish to match flooring. Provide prefinished Quarter Round to cover gap at walls and other fixed vertical surfaces. At wall openings without doors and where prefinished flooring abuts another type of floor finish a. T-Moulding - doorways or thresholds to join two areas of laminate flooring b. End Caps - used at end of laminate at exterior doorways, c. Reducers: Tapered to join laminate flooring to other flooring materials of varying heights as required for intended use.
13. Unless otherwise indicated, install flooring symmetrically about room center line and parallel to long dimension of room(s) and corridor(s), continuous through doorways, and out to fit all projections, with all joints straight, true to plane, and with minimum half plank width at perimeters. Stagger end joint locations a minimum of 10 to 12" and seal all cut ends as recommended by manufacturer. When required by manufacturer install specified adhesive to laminate joints in strict accordance with manufacturer's written instructions.
14. Seal perimeters of wet areas, i.e., in expansion gap under stoves, fridges, and dishwashers with a clear silicone sealant.

15. Protect installed work with Kraft paper or other heavy covering during construction period to prevent staining, damage, and wear. Remove and replace any items which are broken, chipped, cracked, or abraded or that is damaged from natural causes, accidents, and vandalism, during construction period.

9.2- STAIN AND PAINT – INTERIOR PAINT BY OWNER, EXTERIOR PAINT BY CONTRACTOR

1. All paint and stain to be manufactured by Behr. All color selections shall be by owner.
2. All new interior walls and ceilings to receive one coat of Interior Latex Primer and two coats of Interior Latex paint Eggshell Finish by Owner. The color as selected by Owner.
3. All existing interior walls in contract area shall be painted with two coats Interior Latex paint Eggshell Finish by Owner. The color as selected by Owner.
4. All new interior trim to receive one coat Interior Latex Primer and two coats of Latex semi-gloss paint by Owner. The color as selected by Owner.
5. All existing interior trim in contract area shall be painted with one coat Latex semi-gloss paint by Owner. The color shall be selected by Owner
6. All new exterior trim shall be painted with one coat of Exterior Semi-gloss paint to match existing by the contractor.

Division #10 thru 14 (NOT USED)

Division #15 – MECHANICAL

15.01 – MINISPLIT HVAC UNITS

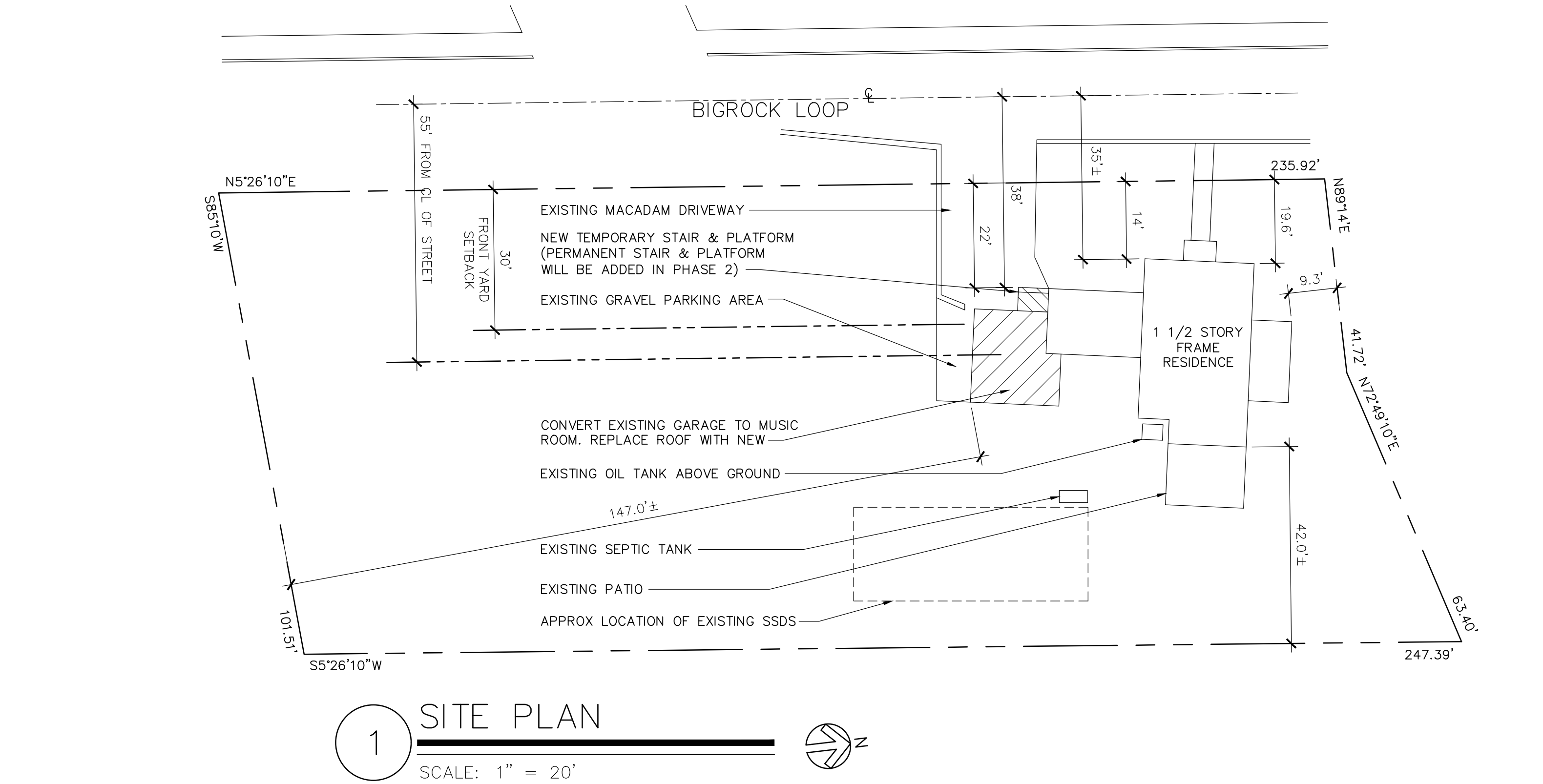
1. Provide Mini split Heat Pump HVAC unit as manufactured by Mitsubishi # # MZ-HM18NA 18,000 BTU heat pump with wall mounted wireless controller. The heat pump air conditioning system have a Variable Compressor Speed inverter charged with R410A refrigerant. System Efficiency shall be SEER rating of 19. Power for the indoor unit shall be supplied through the outdoor unit, 208V, 1Ph,60Hz capable of providing 198-253 volts. The indoor unit shall not have any supplemental heat elements.
2. The system shall consist of one wall mounted compact evaporator section with wireless controller and one outdoor compressor. A full charge of R410A refrigerant shall be provided.
3. The Units shall have a five year manufacturer's warranty from the date of installation. The compressor shall have a seven year warranty.
4. The indoor unit shall be factory assembled, wired and tested. The unit shall have a self-diagnostic function, 3 minute delay mechanism, auto re-start function and an emergency operation function. The casing shall have a white finish, multi directional drain, and a separate backplate. The indoor unit fan assembly with a line-flow fan direct driven by a single motor. The fan shall be statically and dynamically balanced and run on a motor with permanently pre-lubricated bearings. The indoor fan shall have three speeds. There shall be removable catechin and enzyme filters. The coil assembly shall be non-ferrous construction with pre-coated aluminum strake fins on copper tubing. A condensate pan shall be provided under the coil.
5. The outdoor condensing unit shall be designed to interface with the indoor unit. It shall be factory assembled, internally piped, wired and factory tested. The cabinet shall be zinc coated steel with acrylic or polyester coating for corrosion protection.
6. The unit shall be furnished with a direct drive propeller type fan and the fan motor shall be permanently lubricated for quiet operation. The coil shall be of non-ferrous construction with pre-coated aluminum strake fins on copper tubing. Refrigerant flow from the condenser shall be controlled by means of a linear expansion valve metering orifice.
7. The compressor shall have a variable speed inverter and shall be equipped within internal thermal overload.
8. Conceal the refrigerant and electrical lines in the walls to the greatest extent possible. All other exposed lines shall be enclosed in vinyl cover to match siding.

Division #16- ELECTRICAL

1. Wire all new circuits to the existing electric panel.
2. Provide hard wired interconnected combination smoke / carbon monoxide detector with 10 year battery backup where shown on drawings or required by code
3. All work shall conform to the 2017 National Electric Code (NEC) and the National Board of Fire Underwriters Code.
4. All electrical work to be performed by electrician licensed in the local area.
5. All new duplex receptacles and switches and cover plates be Lutron Decora-type in white.
6. Dimmers shall be slide dimmers as manufactured by Leviton Decora, color white, with white cover plates designed for use with LED lamps.
7. Provide cable TV outlet as indicated on drawings.
8. All recessed or specified light fixtures shall be provided by contractor. All surface mounted decorative light fixtures and ceiling fans shall be selected by Owner and installed by Contractor. All light fixtures shall be lamped with 3000K LED lamps in maximum wattage fixture allows.
9. Provide electric service to all appliances.

END OF SPECIFICATIONS

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA - LEWISBORO, NY										
GROUND SNOW LOAD	WIND SPEED (mph)	TOPO EFFECT	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM:				WINTER DESIGN TEMPERATURE	ICE SHEILD UNDERLAYMENT REQUIRED
					WEATHERING	FROST LINE DEPTH	TERMITE	DECAY		
30	Special Wind Region (126 mph)	NO	NO	C	SEVERE	42"	MODERATE /HEAVY	SLIGHT/MODERATE	7° F	YES
										1500 OR LESS
										51.6



1 SITE PLAN
SCALE: 1" = 20'

REVISIONS	No.	Date	By

SEAL

CROSS RIVER ARCHITECTS
ROBERT J. EBERTS R.A. - PRINCIPAL

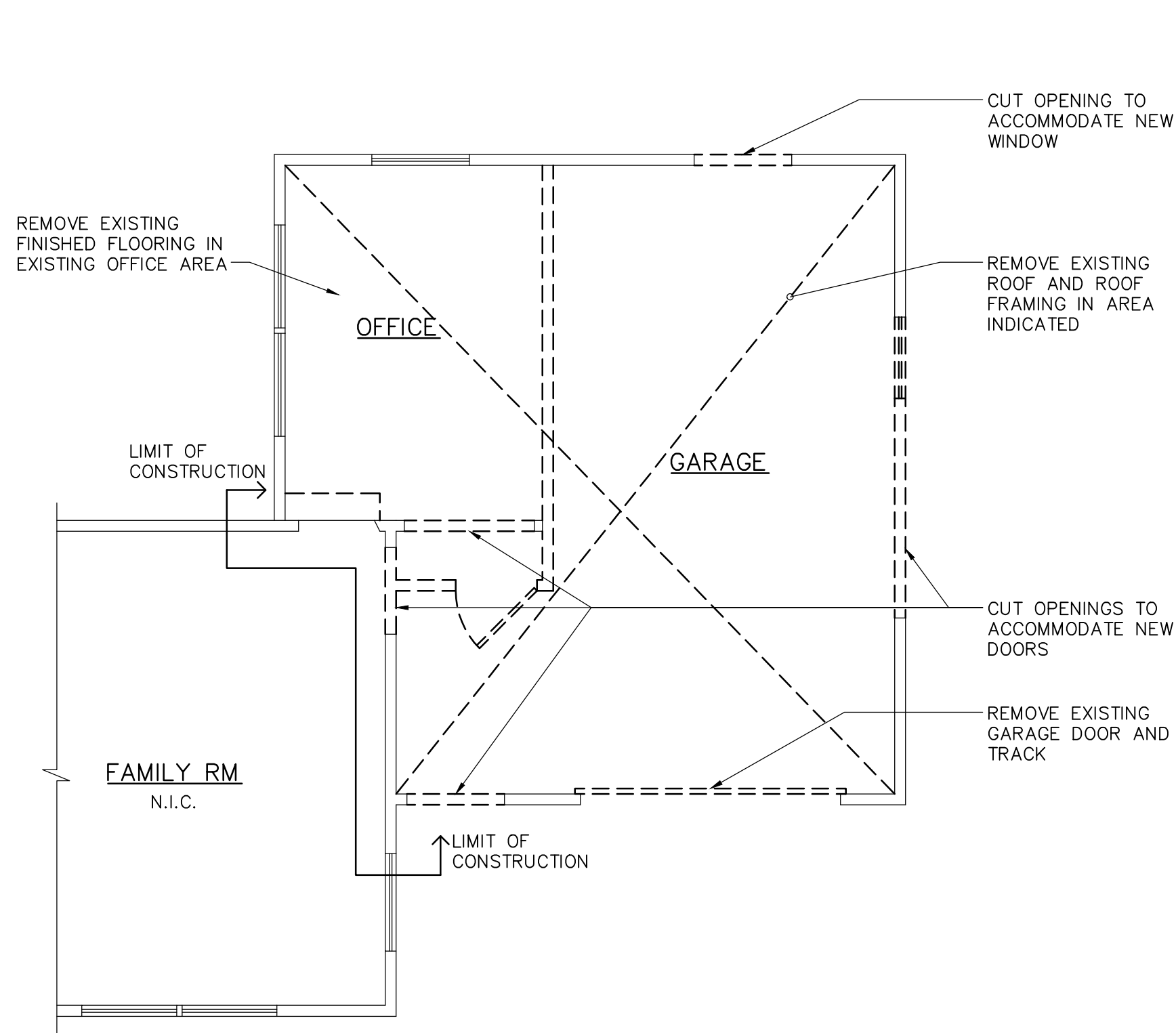
P.O. BOX 364
19100 SALEM RD, 2nd FL.
CROSS RIVER, N.Y. 10518
914.763.5887
FAX 914.763.8409

PROJECT
KAISER MCCAFFREY RESIDENCE—PHASE 1
5 BIG ROCK LOOP
GOLDENS BRIDGE, NY

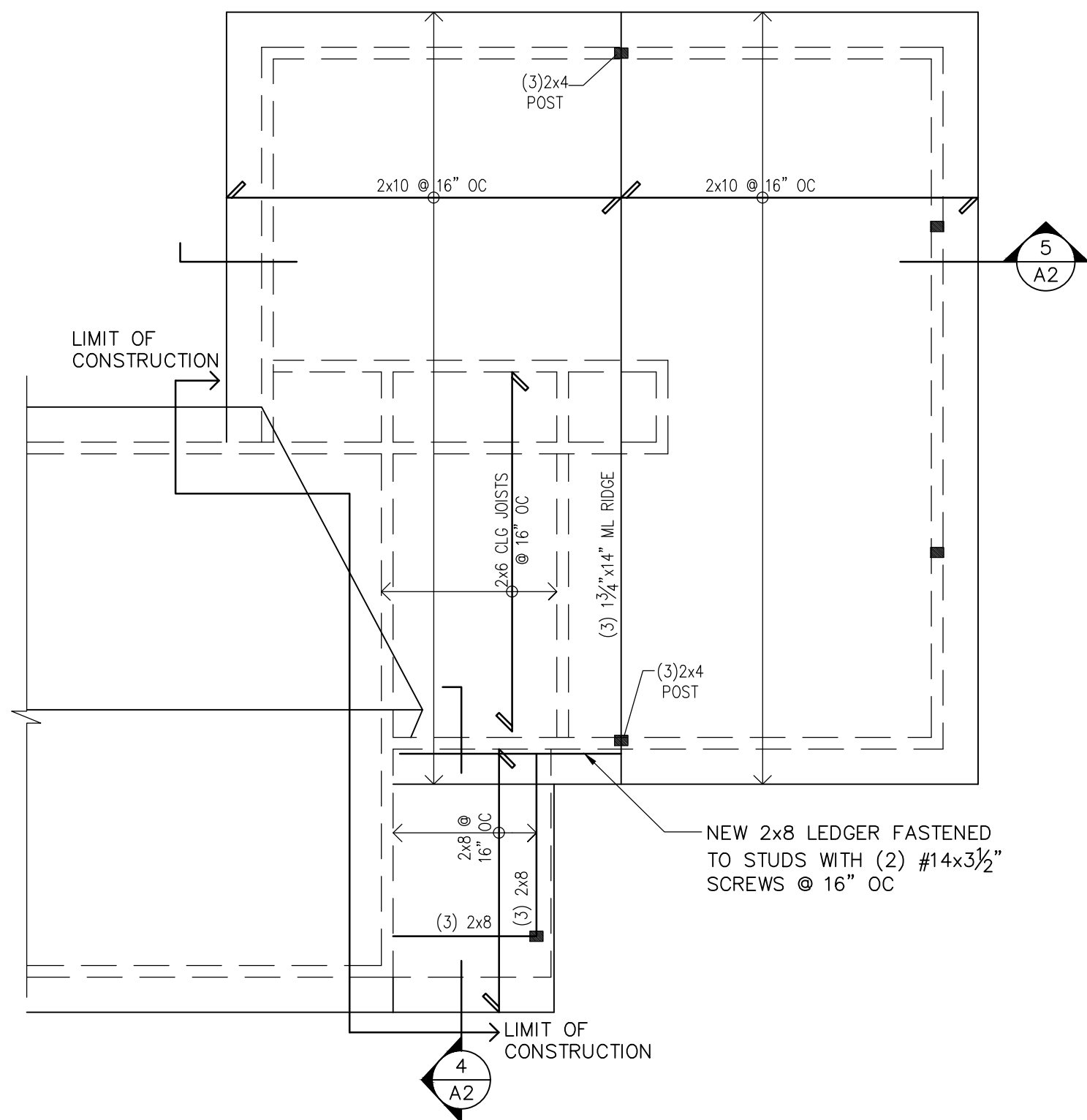
TITLE
SITE PLAN AND SPECIFICATIONS
DATE
SCALE
PROJ. #
AS NOTED

DRAWING

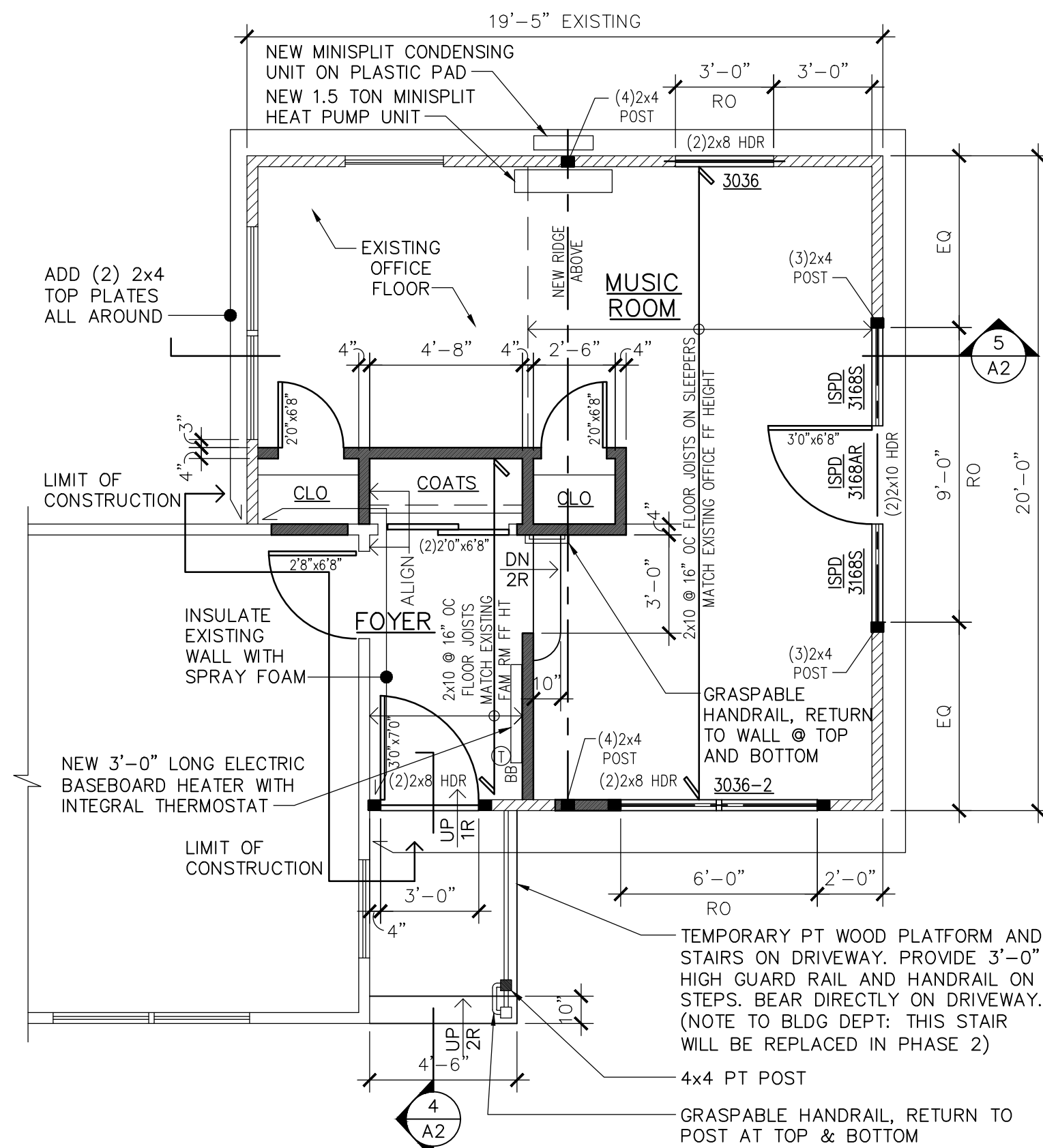
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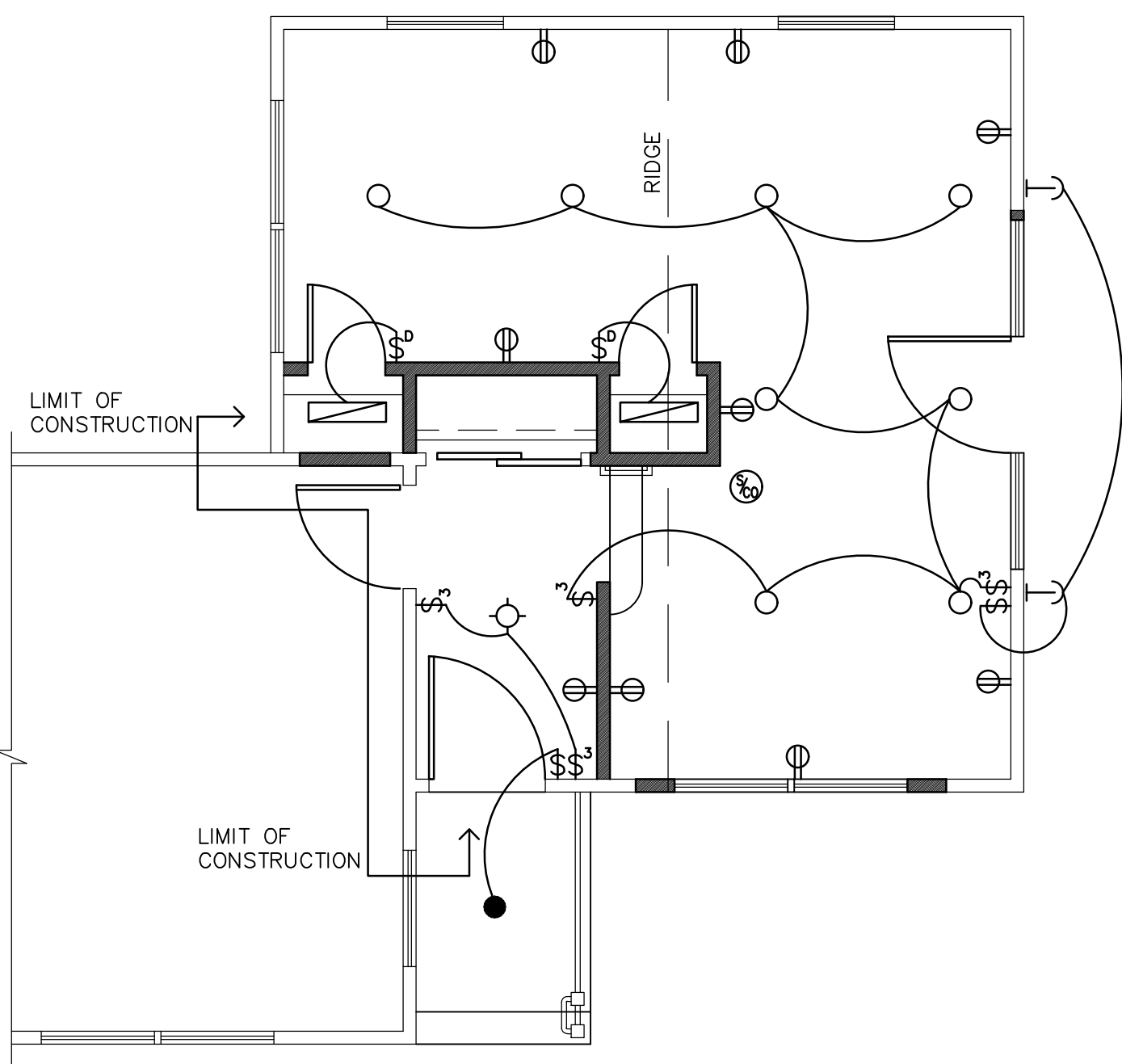
1 DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



4 PROPOSED ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

SYMBOL LEGEND	
	EXISTING DOOR AND FRAME TO BE REMOVED. SAVE FOR REINSTALLATION
	EXISTING WINDOW TO BE REMOVED SAVE FOR REINSTALLATION
	NEW 2"x4" WOOD FRAMED NON BEARING WALL FACED WITH 1/2" GYP. BD. ON THE INTERIOR
	EXISTING 2"x4" WOOD FRAMED WALL TO BE INSULATED WITH R-20 CLOSED CELL SPRAY FOAM FACED WITH 1/2" GYP. BD. ON THE INTERIOR
	NEW DOOR AND FRAME TO MATCH EXISTING UNLESS OTHERWISE SPECIFIED. MATCH SIZE INDICATED
	NEW WINDOW WITH LOW E2 GLASS SIZED AS INDICATED. U=0.29. SHGC=.035
	NEW BEAM SIZED AS INDICATED
	NEW FLOOR, CEILING OR ROOF JOISTS SIZED AS INDICATED

STRUCTURAL NOTES	
1	ALL HEADERS 4'0" OR SMALLER IN EXTERIOR WALLS OR BEARING WALLS SHALL BE 2-2" X 8" UNLESS OTHERWISE NOTED.
2	ALL HEADERS OVER 4'0" IN EXTERIOR OR BEARING WALLS SHALL BE 2-2" X10" UNLESS OTHERWISE NOTED
3	4" AND 6" WIDE BEARING WALLS SHALL HAVE STUDS 16" OC.
4	DOUBLE JOISTS UNDER ALL PARTITIONS.
5	FLUSH FRAMING SHALL BE FASTENED WITH METAL HANGERS SECURELY NAILED AS RECOMMENDED BY MANUFACTURER.
6	JOINTS IN BEAMS SHALL OCCUR ONLY OVER POSTS OR COLUMNS, UNLESS OTHERWISE NOTED.
7	PROVIDE DOUBLE 2X PLATES AT TOP OF ALL STEEL BEAMS. THRU BOLT MIN 24" OC.
8	ALL ENGINEERED LUMBER SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
10	LVL REFERS TO LAMINATED VENEER LUMBER AS MANUFACTURED BY TRUSS JOIST INC. OR APPROVED

LIGHTING AND VENTILATION SCHEDULE						
KAISER / MCCAFFREY RESIDENCE ALTERATION			GLAZING AREA		NATURAL VENTILATION	
FLOOR	ROOM NAME	ROOM AREA	CODE REQ'D	PROVIDED	CODE REQ'D	PROVIDED
FIRST	MUSIC ROOM	400	400	32	90	16
						45

CODE AND NOTES	
1	ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM, EXCEPT AS NOTED IN THE 2020 NYS RESIDENTIAL BUILDING CODE.
2	ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE VENTILATION OF NOT LESS THAN 4% OF THE ROOM EXCEPT AS NOTED IN THE 2020 NYS RESIDENTIAL BUILDING CODE.

ELECTRICAL SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	NEW LUTRON DECORA-STYLE WHITE DUPLEX ELECTRICAL RECEPTACLE AND COVERPLATE
	NEW LUTRON DECORA-STYLE WHITE DUPLEX ELECTRICAL RECEPTACLE WITH TWO USB PORTS.
	NEW LUTRON DECORA-STYLE LIGHT SWITCH, MATCH EXISTING. 3= 3 WAY, 4= 4 WAY SWITCHING
	DIMMER SWITCH LUTRON DVA+, WHITE, 3= 3 WAY, 4= 4 WAY SWITCHING
	3 WAY LED / CEILING FAN SWITCH LUTRON DVFSQ-LF, WHITE
	DOOR SWITCH, LIGHT OPERATES WHEN DOOR IS OPENED
	NEW 5" LED RECESSED DOWN LIGHT WITH WHITE SLOPED CEILING ADAPTOR TRIM/ICAT HOUSING.
	NEW 5" LED RECESSED DOWN LIGHT WITH WHITE TRIM WITH GASKETED LENS AND DAMP-PROOF HOUSING.
	NEW PENDANT LIGHT FIXTURE SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR
	NEW CEILING MOUNTED LIGHT FIXTURE SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR
	WALL MOUNTED LIGHT FIXTURES SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR
	NEW 18" LONG WALL MOUNTED LINEAR LED LIGHT
	CABLE OUTLET
	COMBINATION SMOKE / CARBON MONOXIDE DETECTOR HARD WIRED 10 YEAR BATTERY BACK-UP INTERCONNECTED
CH	COUNTER HIGH
N	NEW
E	EXISTING TO REMAIN
REL	RELOCATE
EXT	WEATHERPROOF HOUSING
DED	DEDICATED OUTLET
GFI	GROUND FAULT INTERRUPT
NOTES:	
1	PROVIDE ALL NEW HARD WIRED COMBINATION SMOKE / CO DETECTORS WITH 10 YEAR BATTERY BACKUP. INTERCONNECT TO ALL OTHER DETECTORS IN HOUSE.
2	PROVIDE POWER TO ALL NEW APPLIANCES INCLUDING MINISPLIT HVAC AIR HANDLER AND CONDENSER.
3	PATCH ALL SURFACES DAMAGED BY CONSTRUCTION TO MATCH ADJACENT SURFACES
4	INSTALL ALL APPLIANCES, LIGHT FIXTURES AND OTHER ELECTRICAL DEVICES IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
5	CONTRACTOR SHALL PROVIDE ALL RECESSED LIGHT FIXTURES AND HOUSINGS. THEY SHALL BE DIMMABLE 3000K LED FIXTURES WITH WHITE TRIM
6	ALL LIGHT FIXTURES SHALL BE HAVE 3000K LED LAMPS. WATTAGE TO MATCH FIXTURE RECOMMENDATIONS
7	OWNER SHALL PROVIDE ALL SURFACE MOUNTED LIGHT FIXTURES, CONTRACTOR SHALL INSTALL

- CONSTRUCTION PLAN NOTES:
- INSULATE ALL NEW FLOOR FRAMING FLOORS WITH R-30 OPEN CELL SPRAY FOAM INSULATION.
 - INSULATE ALL EXTERIOR WALLS WHERE THE CAVITY IS EXPOSED WITH R-20 CLOSED CELL SPRAY FOAM INSULATION.
 - INSULATE EXISTING FAMILY ROOM / FOYER WALL WITH CLOSED CELL SPRAY FOAM INSULATION TO FILL VOID.
 - INSULATE FOYER CEILING AND MUSIC ROOM CATHEDRAL CEILING WITH R-44 CLOSED CELL SPRAY FOAM INSULATION.
 - NEW FOYER AND COAT CLOSET FLOOR SHALL RECEIVE 3/4" T&G PLYWOOD SUBFLOOR GLUED AND SCREWED. OWNER TO PROVIDE FINISHED FLOORING. MATCH THE HEIGHT OF THE EXISTING FAMILY ROOM FINISHED FLOOR.
 - NEW MUSIC ROOM AND CLOSETS SHALL RECEIVE 3/4" T&G PLYWOOD SUBFLOOR GLUED AND SCREWED. OWNER TO PROVIDE FINISHED FLOORING. MATCH THE HEIGHT OF THE EXISTING OFFICE FINISHED FLOOR.
 - FACE INTERIOR OF WALLS IN THE MUSIC ROOM AND FOYER AND CLOSETS WITH 1/2" GYPSUM BOARD, EXCEPT FACE FOYER / FAMILY ROOM WALL WITH TWO LAYERS OF 1/2" GYPSUM BOARD. CEILINGS SHALL RECEIVE 1/2" GYP. BD.
 - OWNER TO PROVIDE ALL INTERIOR DOORS AND JAMBS, ALL INTERIOR TRIM, FINISHED FLOORING AND INTERIOR PAINT. OWNER SHALL SUPPLY FOYER DOOR AND HARDWARE, CONTRACTOR TO INSTALL.
 - PROVIDE TEMPORARY WOOD FRAMED STEPS AND PLATFORM OUTSIDE FOYER DOOR CONSTRUCTED OF PRESSURE TREATED YELLOW PINE. PROVIDE TEMPORARY PRESSURE TREATED WOOD GUARDRAIL 3'-0" HIGH WITH GRASPABLE HANDRAIL, RETURNED TO THE POST AT TOP AND BOTTOM ON THE STAIRS. NOTE: PERMANENT PORCH, STAIR AND RAILING WILL BE PROVIDED IN PHASE 2.

REVISIONS

SEAL

CROSS RIVER ARCHITECTS
ROBERT J. EBERTS R.A., PRINCIPAL

PROJECT
KAISER MCCAFFREY RESIDENCE - PHASE 1
5 BIG ROCK LOOP
GOLDENS BRIDGE, NY

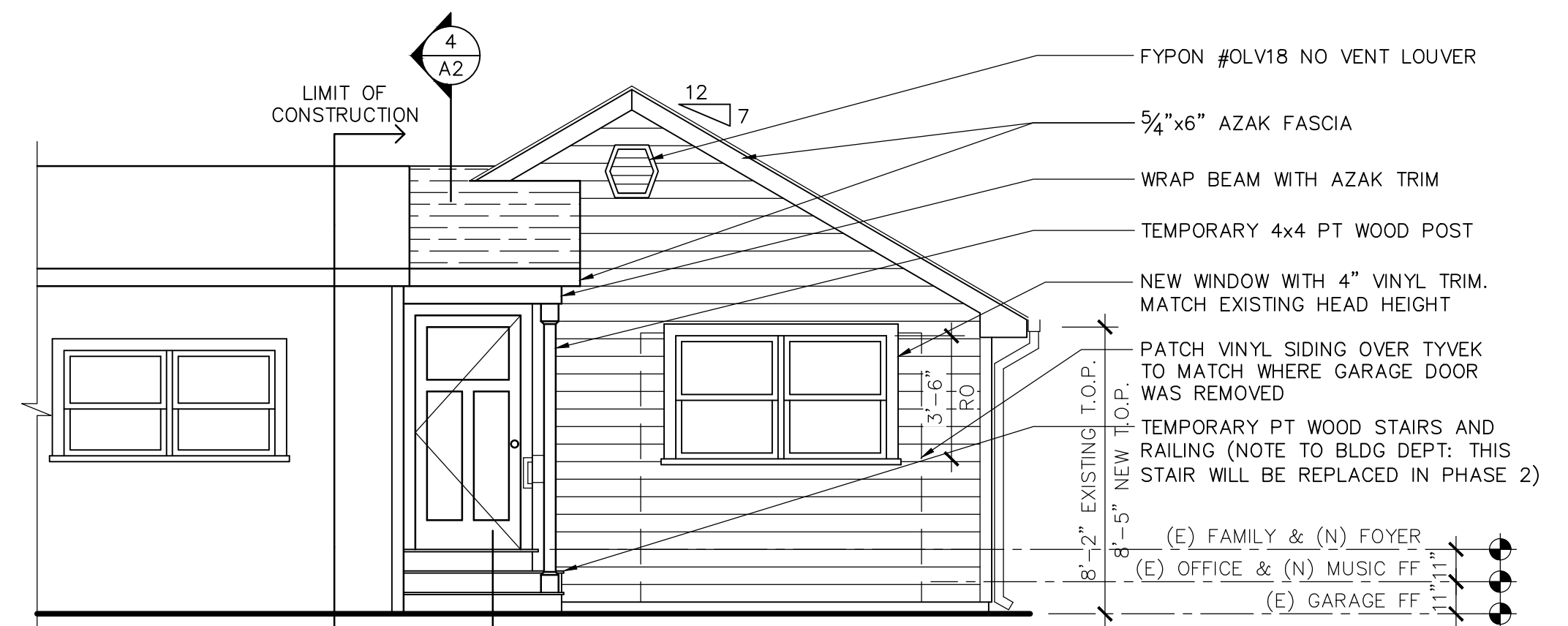
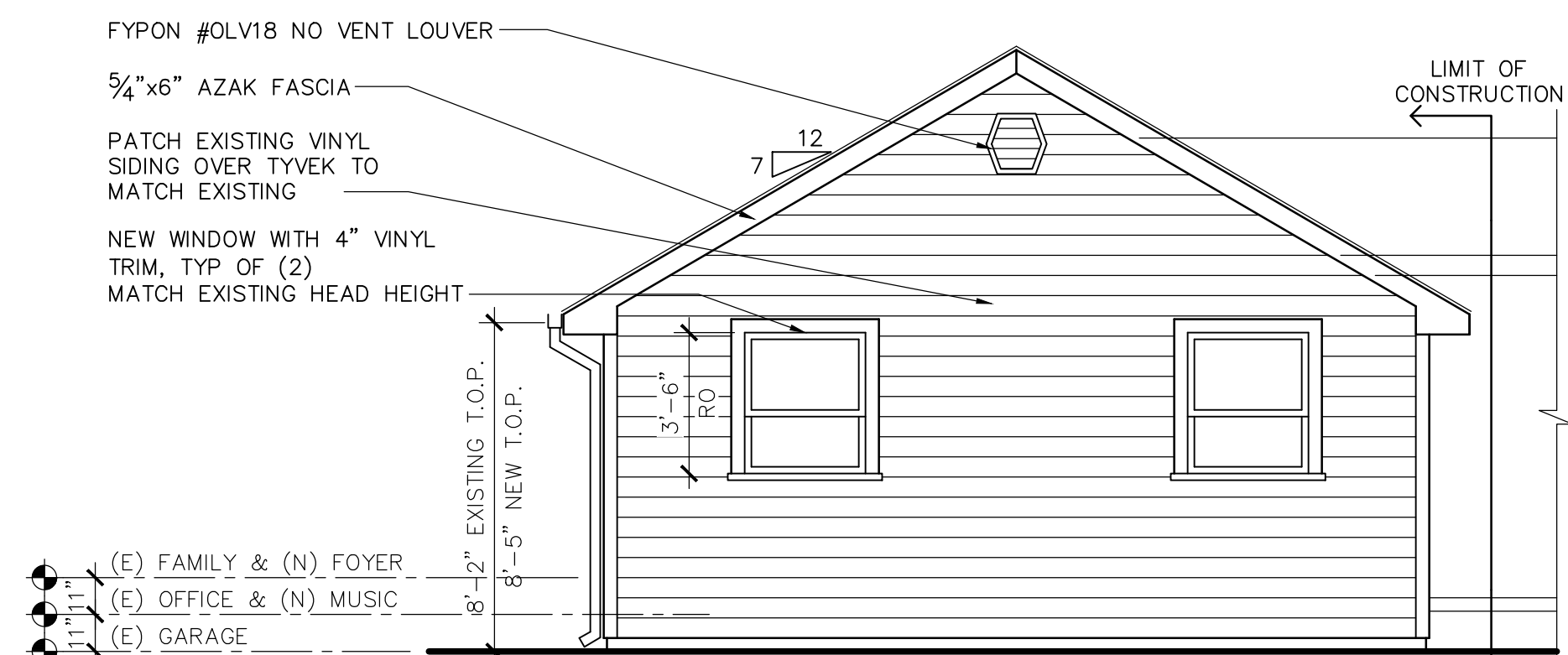
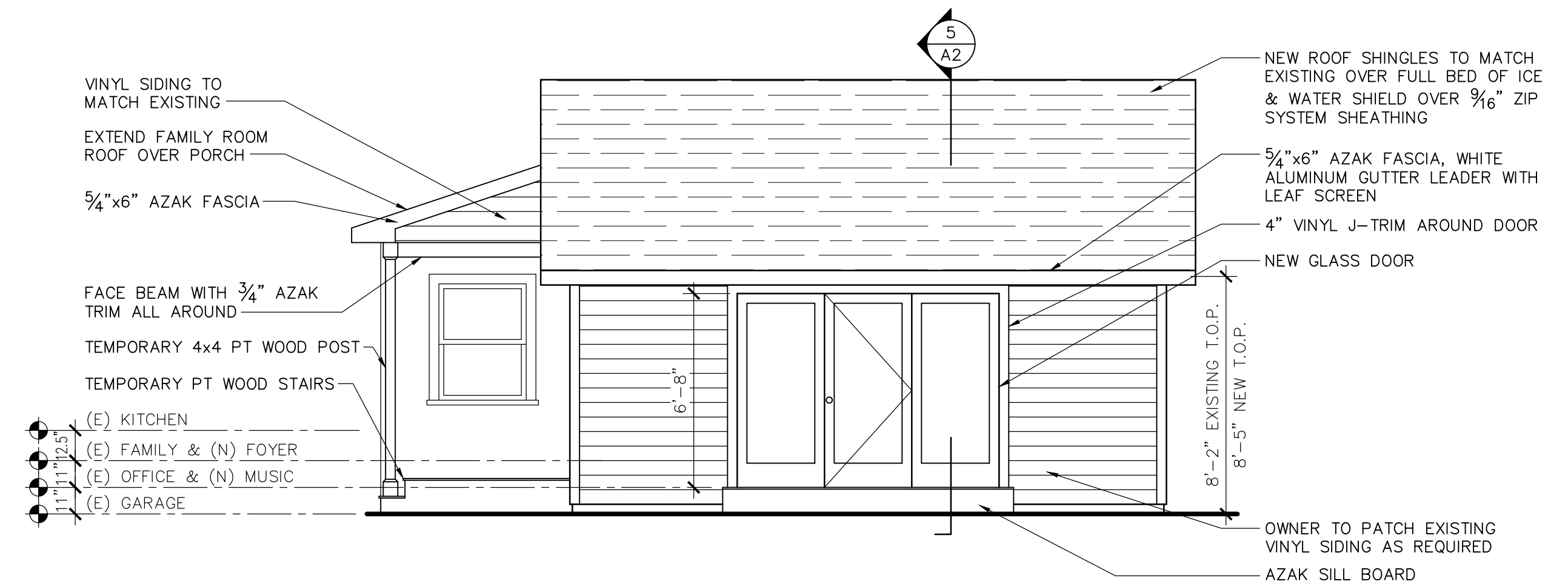
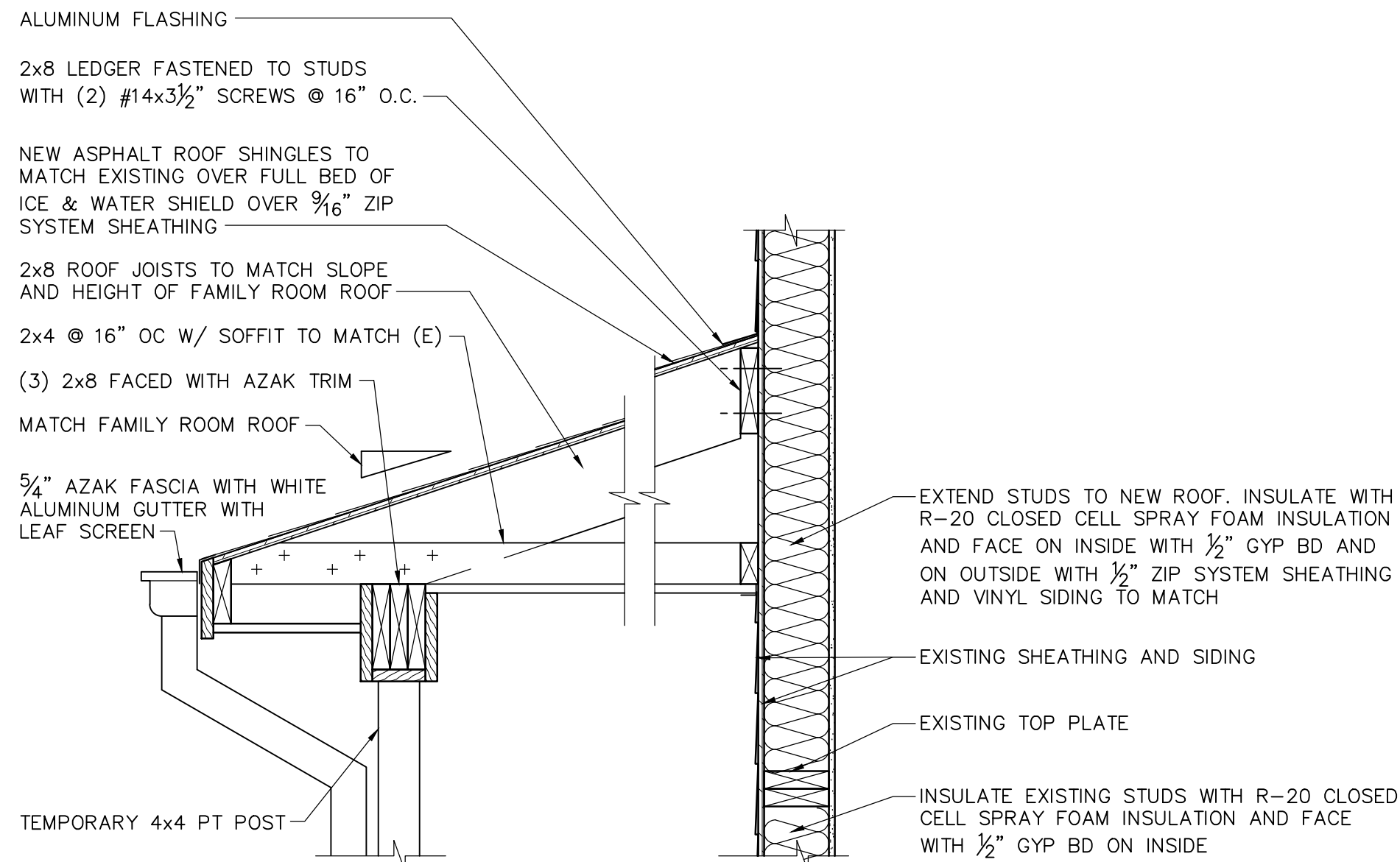
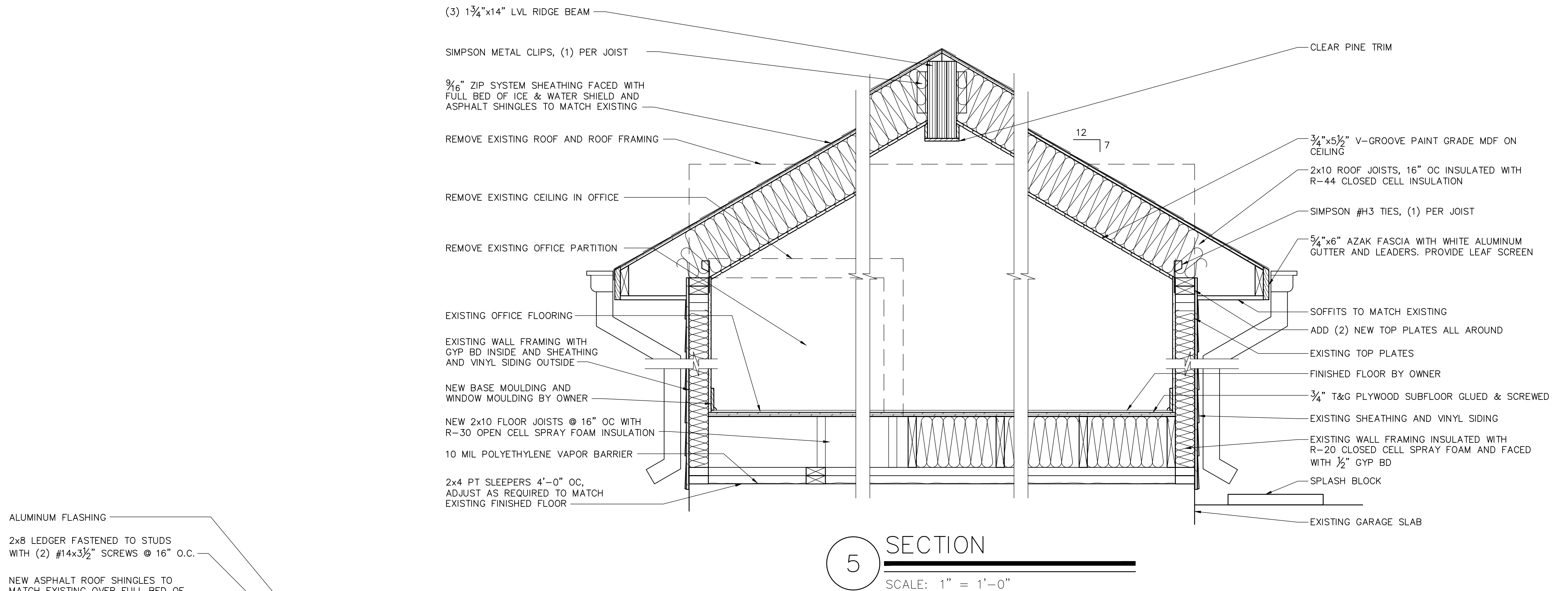
DRAWING

A1.1

TITLE
FLOOR PLANS AND NOTES
DATE
SCALE
1/4" = 1'-0"
PROJ. #

914.763.5887
FAX 914.763.8409

P.O. BOX 384
19 NO. SALEM RD. 2nd FL.
CROSS RIVER, N.Y. 10518



REVISIONS

SEAL

CROSS RIVER ARCHITECTS

ROBERT J. EBERTS R.A., PRINCIPAL

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CROSS RIVER, N.Y. 10518
914.763.5887
FAX 914.763.8409

PROJECT KAISER MCCAFFREY RESIDENCE - PHASE 1
5 BIG ROCK LOOP
GOLDENS BRIDGE, NY

TITLE ELEVATIONS AND SECTIONS
DATE SCALE AS NOTED PROJ. #

DRAWING

A1.2

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will hold a Public Hearing on Wednesday, November 15, 2023 at 7:30 P.M at the Town of Lewisboro Offices, 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 03-23-SP

Application of Gossett Brothers Nursery, [Thomas Gossett, Trustee for the Thomas Gossett Revocable Trust, owner of record] 1202 Route 35, South Salem, NY 10590, for the renewal of a Special Permit pursuant to Article V, Section 220-32B (2)(f) to operate a non-conforming nursery business.

The property is located on the north side of Old Post Road (Route 35), designated on the Tax Map as Sheet 0031, Block 10805, Lot 046, in an R-2A, Two-Acre Residential District consisting of approximately 5.50 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals at the Town of Lewisboro Offices, 79 Bouton Road, South Salem, New York 10590 during regular business hours. At such hearing, all interested parties may attend and will be heard.

**BY ZONING BOARD OF APPEALS
 TOWN OF LEWISBORO
 ROBIN PRICE, JR.
 CHAIR**

**Dated this 25th day of October, 2023
in South Salem, New York**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

TOWN OF LEWISBORO
Building Department
Bouton Road
South Salem, NY 10590
Email: kkelly@lewisborogov.com



(914) 763-3060
FAX (914) 875-914879
TTY 800-662-1220

www.lewisborogov.com

Date 10/23/23
Zoning Denial App. # 2023-0329

Rubenstein
71 North Salem, Cross River, NY
20-10801-025

The applicant is proposing a new addition to an existing residence that will have a front yard setback of 34.5' whereas the code requires 50' therefore requiring a front yard variance of 15.50', a front yard setback from the centerline of street of 54.1' whereas the code requires 75' therefore requiring a front yard from the centerline variance of 20.90' and side yard setback of 39.5' whereas the code requires 50' therefore requiring a side yard variance of 10.5 as per article IV Section 220-23E of the Town of Lewisboro Zoning Code.

Kevin J. Kelly RA Building Inspector

A handwritten signature in black ink, appearing to read "K. J. Kelly", is written over a light gray circular stamp.

Building Inspector

ZONING BOARD OF APPEALS

NOTICE OF PUBLIC HEARINGS

NOTICE IS HEREBY GIVEN, that the Zoning Board of Appeals of the Town of Lewisboro will host a Public Hearing on Wednesday, November 15, 2023, at 7:30 p.m., 79 Bouton Road, South Salem, New York, Justice Court.

CAL. NO. 29-23-BZ

Application of Graham, David [Rubenstein, Jake & Jennifer, owner of record], 71 North Salem Road, Cross River, NY. The applicant is proposing a new addition to an existing residence that will have a front yard setback of 34.5' whereas the code requires 50' therefore requiring a front yard variance of 15.50', a front yard setback from the centerline of street of 54.1' whereas the code requires 75' therefore requiring a front yard from the centerline variance of 20.90' and side yard setback of 39.5' whereas the code requires 50' therefore requiring a side yard variance of 10.5 as per article IV Section 220-23E of the Town of Lewisboro Zoning Code.

The property is located on the east side of (#71) North Salem Road, Cross River, NY designated on the Tax Map as Sheet 0020, Block 10801, Lot 025 & 059, in an R-4AC, Four-Acre Residential District consisting of approximately 4.20 acres.

Additional information regarding this application may be obtained from the Secretary to the Zoning Board of Appeals, 79 Bouton Road, South Salem, New York during regular business hours. At such Hearing, all interested parties may attend and will be heard.

**Dated this 25th day of October 2023
in South Salem, New York**

**ZONING BOARD OF APPEALS
TOWN OF LEWISBORO
By: ROBIN PRICE
CHAIR**

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Zoning Board of Appeals in advance.

October 24, 2023

Town of Lewisboro Zoning Board of Appeals
79 Bouton Road
South Salem, NY 10590

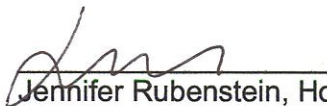
Re: Additions and Alterations to the Rubenstein Residence
71 North Salem Rd., Cross River, NY
Sheet 42.3, Block 2, Lot 5

TO WHOM IT MAY CONCERN:

I am the homeowner of the above-referenced premises.

This letter shall authorize David Graham, Architect, to be the applicant on my Zoning Board of Appeals application and to represent me at the Zoning Board of Appeals meeting(s).

Sincerely,


Jennifer Rubenstein, Homeowner
Cell: (914) 441-5858
E-mail: RubensteinJen@gmail.com

David Graham Architects

Subject: Rubenstein Narrative

10/24/23

David Graham Architects

175 Main Street, 3rd Fl.

Ossining, NY 10562

Tel.: (914) 941-3889

Cell: (914) 844-9538

E-mail: DavidGrahamArchitects@gmail.com

Re: Additions and alterations to 71 North Salem Road, Cross River NY 10518

NARRATIVE FOR ZONING BOARD OF APPEALS

Town of Lewisboro Building Department and Zoning board

79 Bouton Road

South Salem, N.Y. 10590

PROPERTY INFORMATION

Sheet 42.3, block 2, lot 5

Existing 2-story wood framed residence built in 1940's is 1,880 SF.

Existing 3BR house with recently approved 5BR septic system

The 4.16 acre lot sits at corner of North Salem Road and shared driveway

PROPOSED CONSTRUCTION

- 1) 2 story addition of 2,960 sf. Including relocated kitchen, entry and MBR
- 2) New family room, dining room, mud room, 2 new bedrooms and new 1 car carport attached to house
- 3) Expand 2nd floor bedrooms set back from front of house as cape to align with first floor

REQUIRED VARIANCES

- 1) Required setbacks all 4 sides 50' proposed construction less than 50' as follows
- 2) Existing front porch setback of 35.07' is existing non conforming this porch will be removed
- 3) Relocated porch and 2nd floor bedroom above has proposed setback of 34.5' to property line **requiring 15.5' variance** and 54.1' to centerline street where 75' required thus **requires 20.90' variance**
- 4) Expanded new cape with BR's setback from face of first floor proposed to be expanded to align with first floor that has setback of 39.38' to property line and is 58.98' from centerline street
- 5) Proposed 1 car carport open on 3 sides has proposed left side setback of 39.5' thus **requires 10.5' variance**

ITEMS OF NOTE

- 1) The house is existing non conforming
- 2) The proposed construction is more than 370' from North Salem road
- 3) The proposed front additions on the shared driveway side is over 300' away from neighbor across street
- 4) The proposed left side carport addition is over 290' away from adjacent neighbors house and there is existing mature planting / screening at shared property line
- 5) There is no other feasible location for the additions due to house layout and existing non conforming house location
- 6) The proposed additions will have no negative impact on property values as it will be added to in colonial style matching existing house
- 7) The proposed additions will have no negative impact on the environment



NO.	REVISION	DATE
-	---	--/--
-	---	--/--
-	---	--/--
-	---	--/--
-	---	--/--



LEGEND:	
600	EXISTING 10' CONTOURS
---	EXISTING 2' CONTOURS



SCALE: 1" = 40'

Owner
Jennifer Rubenstein
71 North Salem Road
Cross River, New York 10518

Site Data
SITE ADDRESS 71 North Salem Road
Cross River, NY 10518
LOT SIZE: 4.2 AC
TAX MAP: 42.3-2-5
ZONING: R-4A



HILDENBRAND ENGINEERING, PLLC
238 CREAMERY ROAD
HOPEWELL JUNCTION, NY
845.206.6994
Brian@HildenEng.com
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SECTION 7209 (2), IT IS A VIOLATION OF THIS LAW FOR ANY PERSON, UNLESS
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RUBENSTEIN RESIDENCE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
Existing Conditions

Seal 	Scale:	As Shown
	Date:	July 20, 2023
	Drawn By:	
	Checked By:	BJH
	Project No.:	
	Sheet No.:	1 of 3
	Dwg. No.:	C-100

BRIAN HILDENBRAND, P.E.
LIC# 082374



TOWN OF LEWISBORO ZONING REQUIREMENTS (R-4A ZONING)			
	REQUIRED	EXISTING	PROPOSED
LOT AREA (AC)	4.0	4.2	4.2
MIN. LOT WIDTH (FT.)	250	525	525
FRONT YARD FROM STREET CENTERLINE (FT)	75	54.2	54.1*
FRONT YARD (FT.)	50	35.07**	34.5*
SIDE YARD (FT.)	50	79.6	39.5*
REAR YARD (FT.)	50	345.4	325.6
MAX. BUILDING HEIGHT (STORY/FT)	2.5/35	<2.5/<35	<2.5/<35
MAX. BUILDING COVERAGE (%)	6%	1.4%	2.2%

* VARIANCE FROM THE ZONING BOARD OF APPEALS REQUIRED
** PRE-EXISTING NON-CONFORMING FEATURE

NO.	REVISION	DATE
-	---	--/--
-	---	--/--



LEGEND:	
	EXISTING 10' CONTOURS
	EXISTING 2' CONTOURS
	PROPOSED 2' CONTOUR
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED RESIDENCE

SCALE: 1" = 40'

Owner
Jennifer Rubenstein
71 North Salem Road
Cross River, New York 10518

Site Data
SITE ADDRESS 71 North Salem Road
Cross River, NY 10518
LOT SIZE: 4.2 AC
TAX MAP: 42.3-2-5
ZONING: R-4A

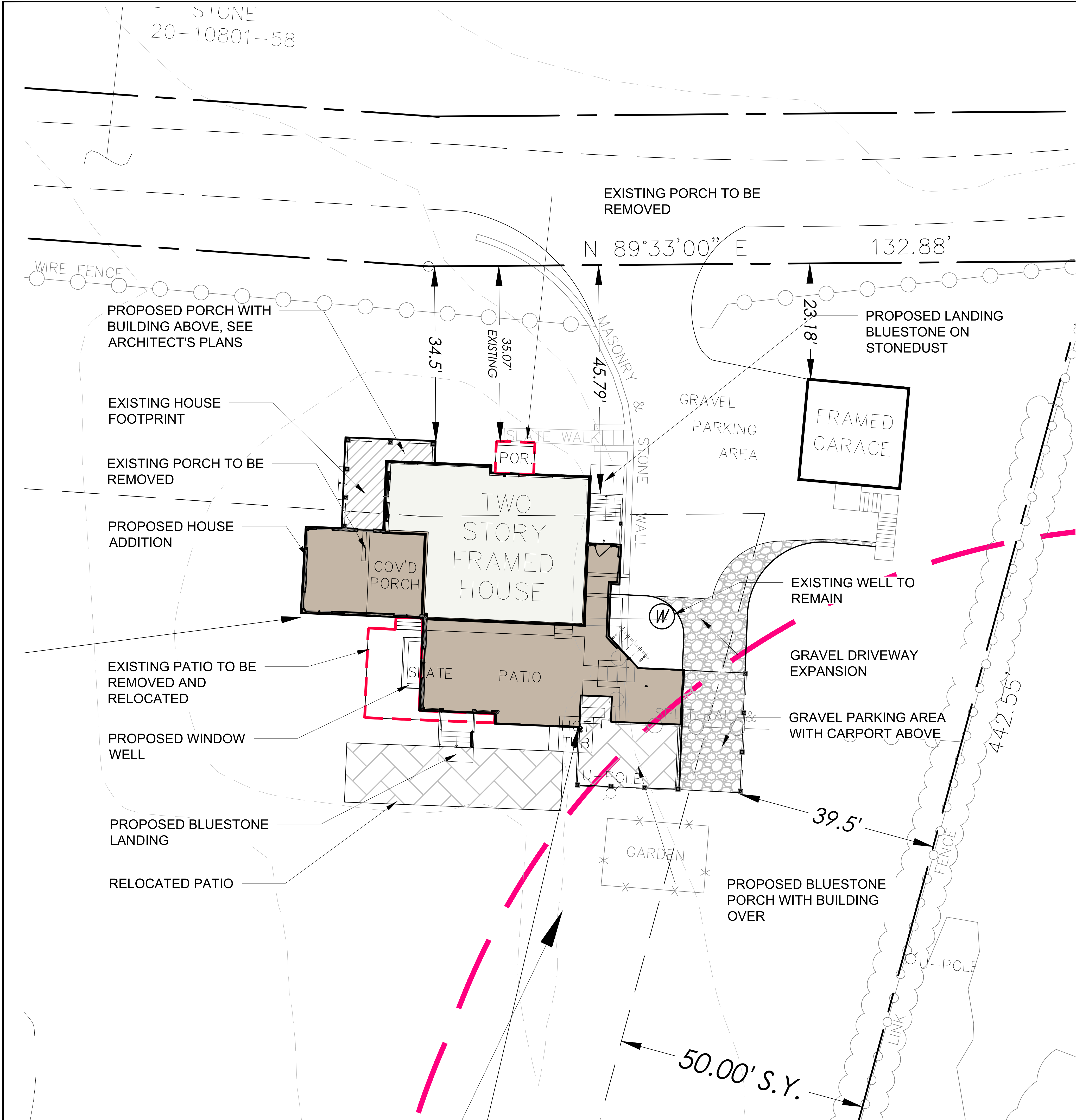


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845.206.6994
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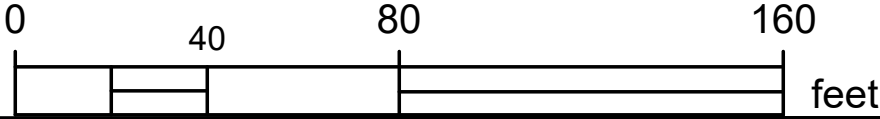
RUBENSTEIN RESIDENCE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
Overall Site Plan

	Scale:	As Shown
	Date:	July 20, 2023
	Drawn By:	
	Checked By:	BJH
	Project No.:	
	Sheet No.:	2 of 3
BRIAN HILDENBRAND, P.E. LIC# 082374		C-200



- EXISTING RESIDENCE LIMITS
- PROPOSED RESIDENCE LIMITS
- PROPOSED GRAVEL SURFACE
- PROPOSED PATIO
- PROPOSED PORCH
- REMOVAL OF EXISTING IMPROVEMENTS



NO.	REVISION	DATE
-	---	--/--
-	---	--/--



Owner
Jennifer Rubenstein
71 North Salem Road
Cross River, New York 10518

Site Data
SITE ADDRESS 71 North Salem Road
Cross River, NY 10518
LOT SIZE: 4.2 AC
TAX MAP: 42.3-2-5
ZONING: R-4A



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RUBENSTEIN RESIDENCE
TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

TITLE:
Enlarged Site Plan



BRIAN HILDENBRAND, P.E.
LIC# 082374

Scale: As Shown
Date: July 20, 2023
Drawn By:
Checked By: BJH
Project No.:
Sheet No.: 3 of 3
Dwg. No.: C-300



ADDITIONS AND ALTERATIONS
RUBENSTEIN RESIDENCE
71 North Salem Rd., Cross River, NY 10518

DAVID GRAHAM
ARCHITECTS

175 Main Street
Ossining, NY 10562
(914) 941-3889

SEAL

Drawing Title:

**AERIAL SITE
PHOTO**

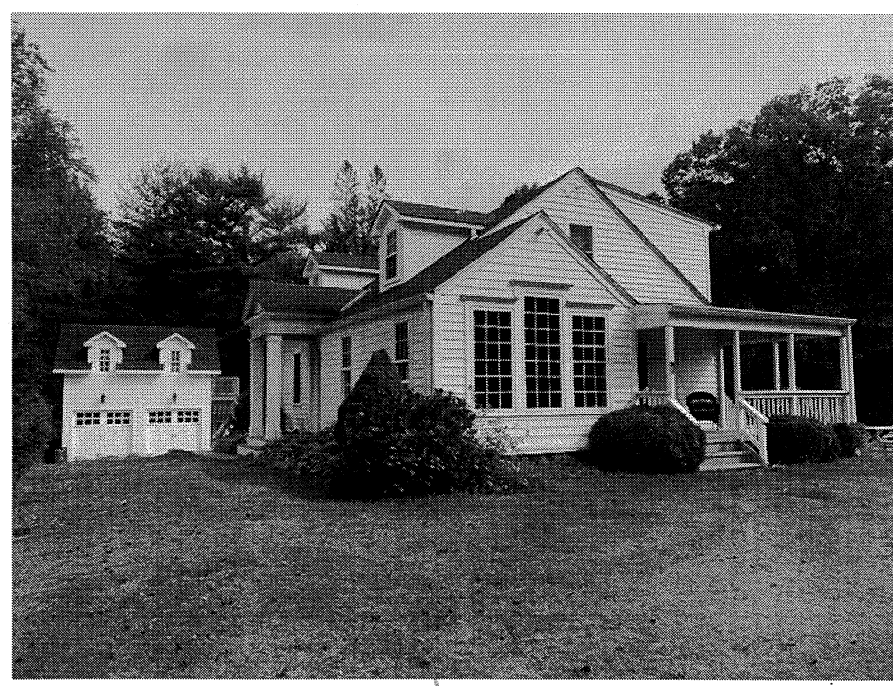
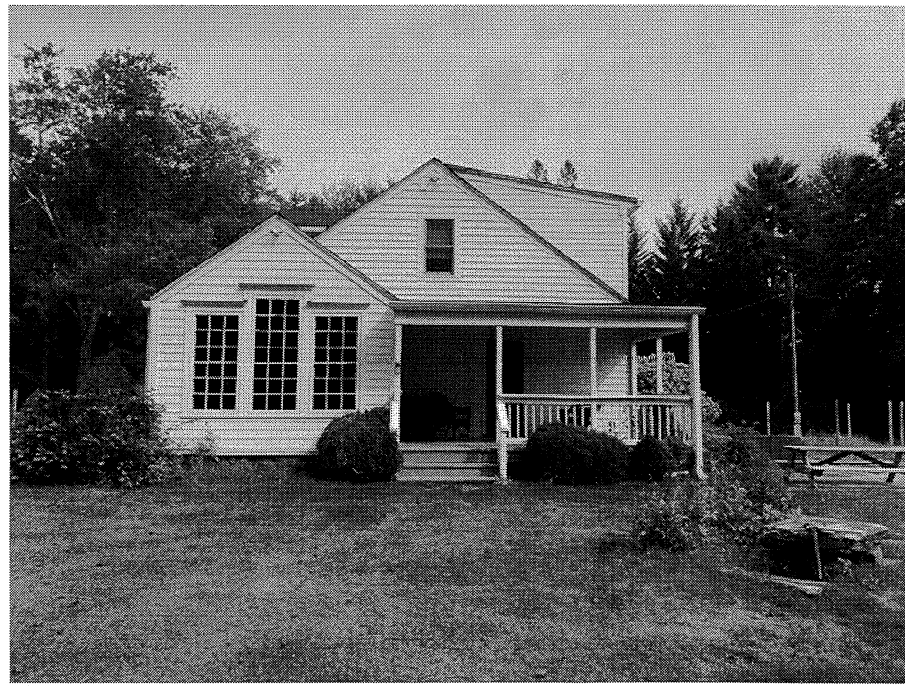
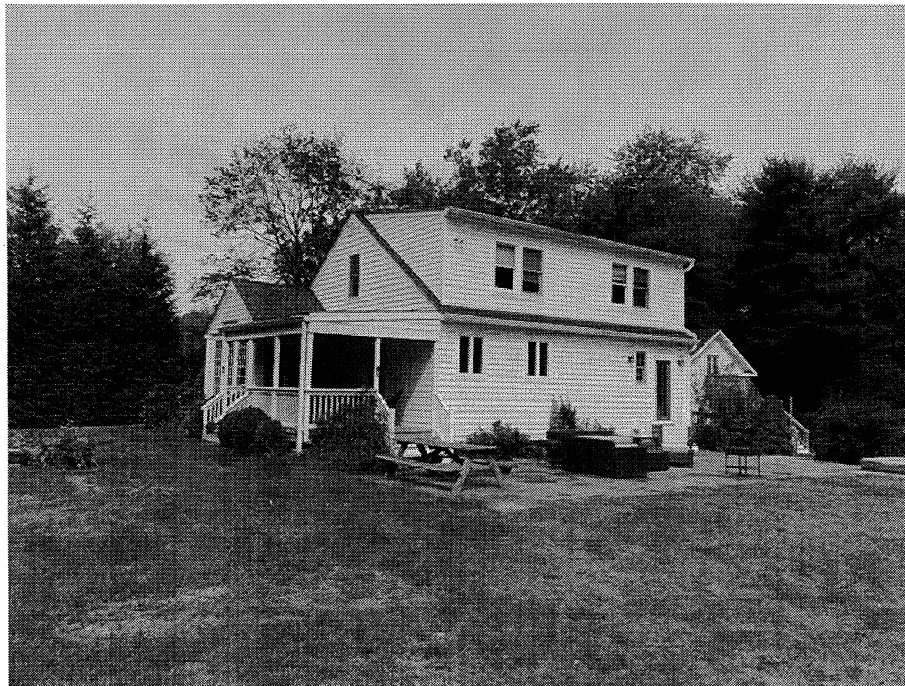
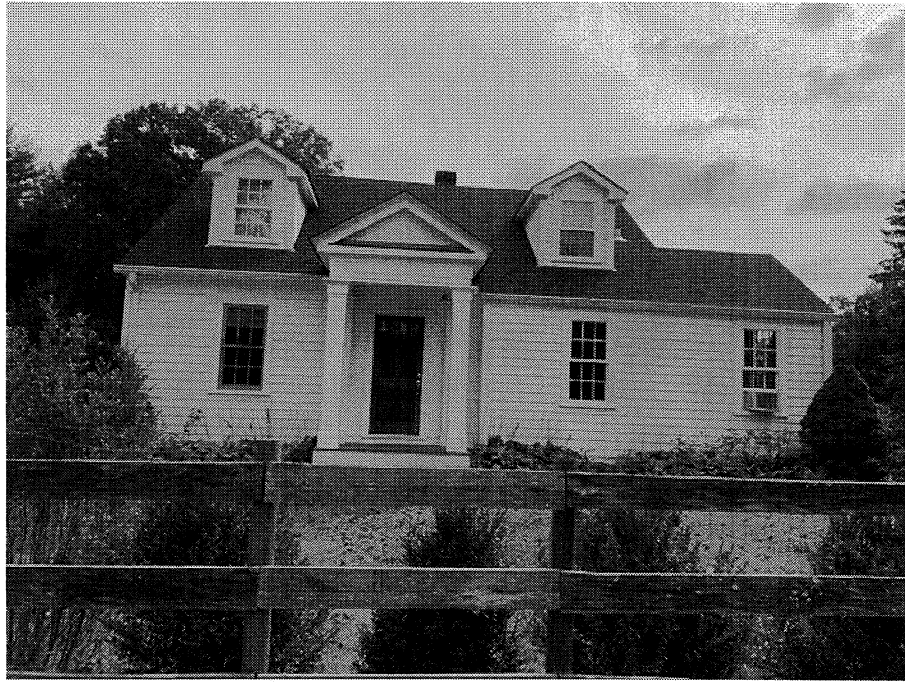
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NO.	DATE	REMARKS
	10/19/23	

SCALE
DRAWING NO.

DATE:
PROJ.
NO.:

P0



ADDITIONS AND ALTERATIONS
RUBENSTEIN RESIDENCE
71 North Salem Rd., Cross River, NY 10518

DAVID GRAHAM
ARCHITECTS

175 Main Street
Ossining, NY 10562
(914) 941-3889

SEAL

Drawing Title:

EXISTING HOUSE
PHOTOS

DATE

NO.	DATE	REMARKS
	10/19/23	

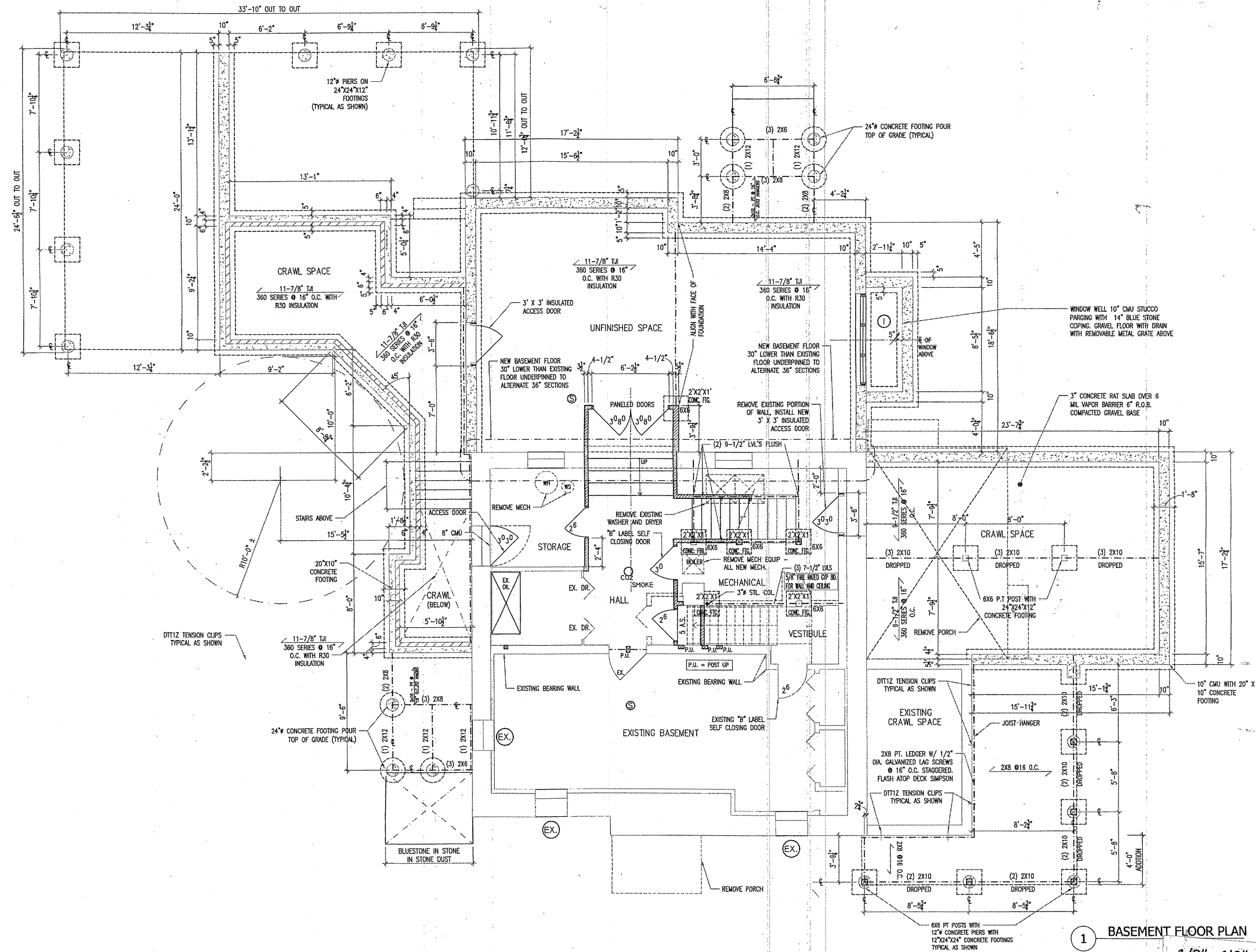
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PROJ. NO.:

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ADDITIONS AND ALTERATIONS
RUBENSTEIN RESIDENCE
71 NORTH SALEM ROAD, CROSS RIVER, NY

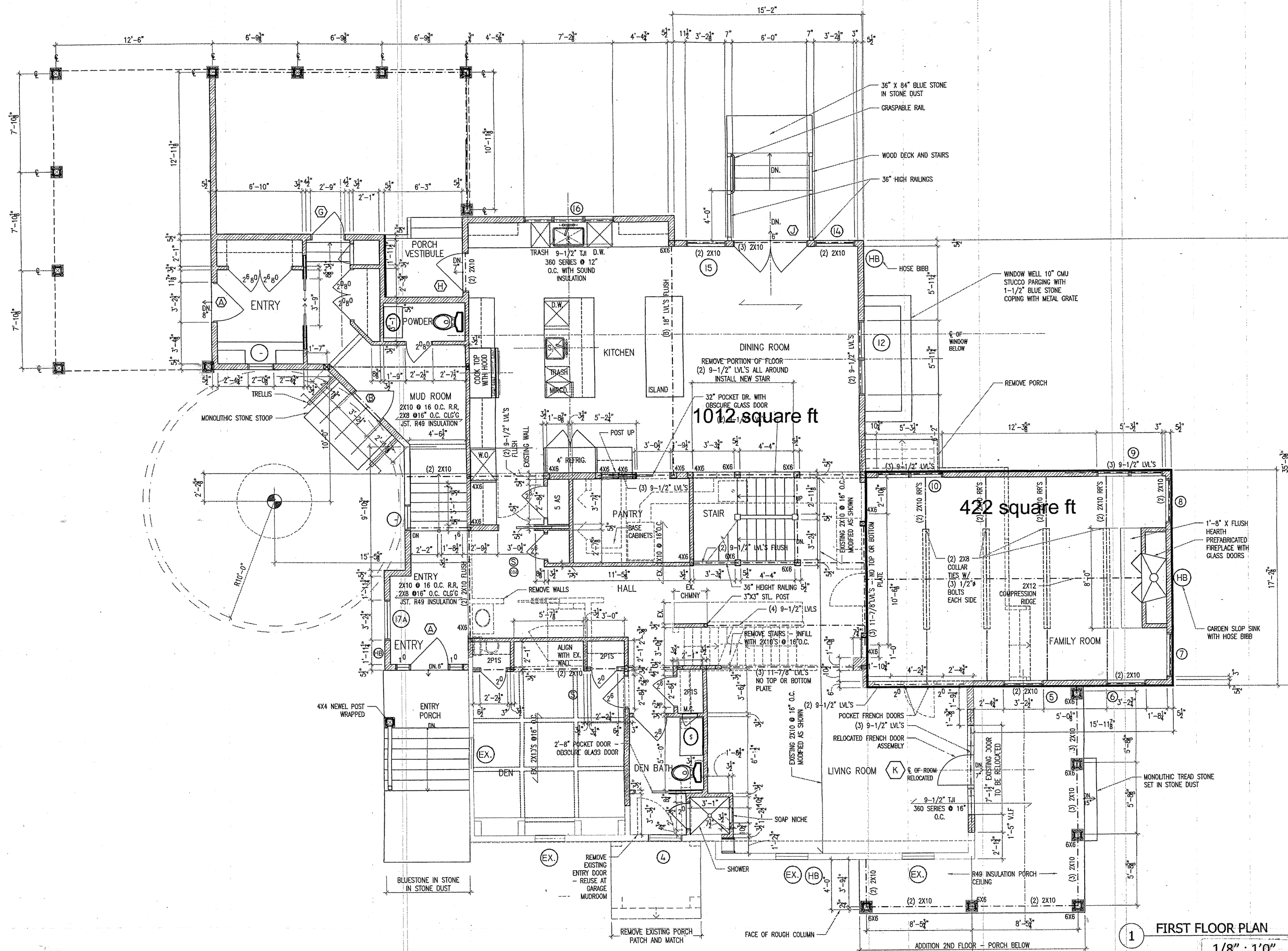
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914-841-3889



Drawing Title:
BASEMENT FLOOR PLAN

Revisions:		
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1	10/28/2022	EXISTING
2	1/27/2023	PROGRESS
3	2/03/2023	PROGRESS
4	2/24/2023	PROGRESS
5	3/03/2023	PROGRESS
6	3/13/2023	PROGRESS
7	3/29/2023	PROGRESS
8	4/10/2023	PROGRESS
9	4/17/2023	DIMENSIONS
10	4/24/2023	ROOM NAMES
11	5/27/2023	UPDATED ELEVATION
12	7/24/2023	UPDATED PLANS
13	9/09/2023	KITCHEN
14	9/22/2023	PROGRESS
15	9/26/2023	REFILE

Scale:
AS NOTED
Date:
Proj. No.:
Drawing No.:
A-0



1 FIRST FLOOR PLAN
1/8" = 1'0"

ADDITIONS AND ALTERATIONS
RUBENSTEIN RESIDENCE
71 NORTH SALEM ROAD, CROSS RIVER, NY

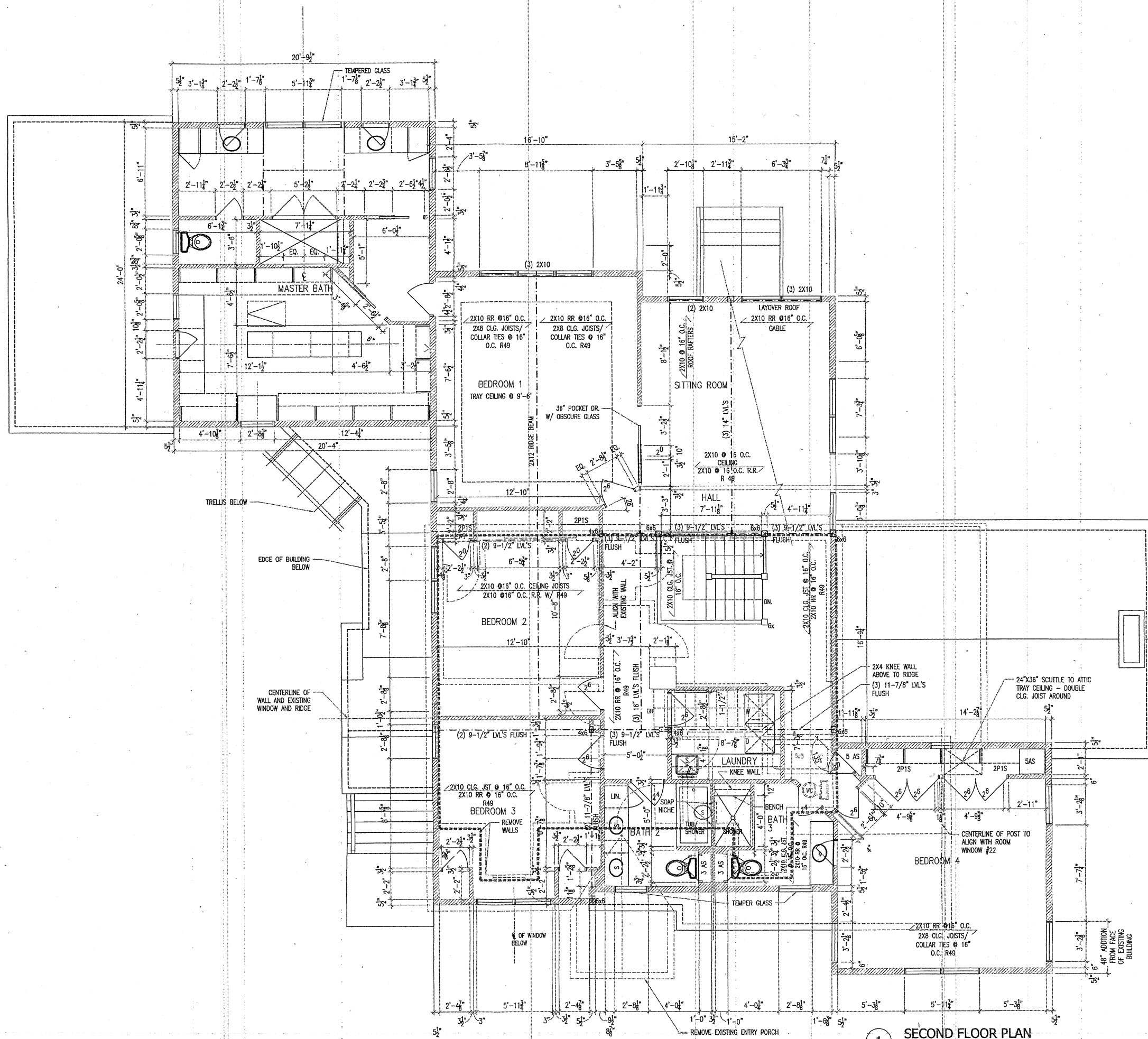
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Drawing Title:
FIRST FLOOR

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4/17/2023		DIMENSIONS
4/24/2023		ROOM NAMES
5/27/2023		UPDATED ELEVATION
7/24/2023		UPDATED PLANS
9/06/2023		KITCHEN
9/22/2023		PROGRESS

Scale:
AS NOTED
Date:
Proj. No.:
Drawing No.:
A-1



1 SECOND FLOOR PLAN
1/8" : 1'0"

ADDITIONS AND ALTERATIONS
RUBENSTEIN RESIDENCE
71 NORTH SALEM ROAD, CROSS RIVER, NY

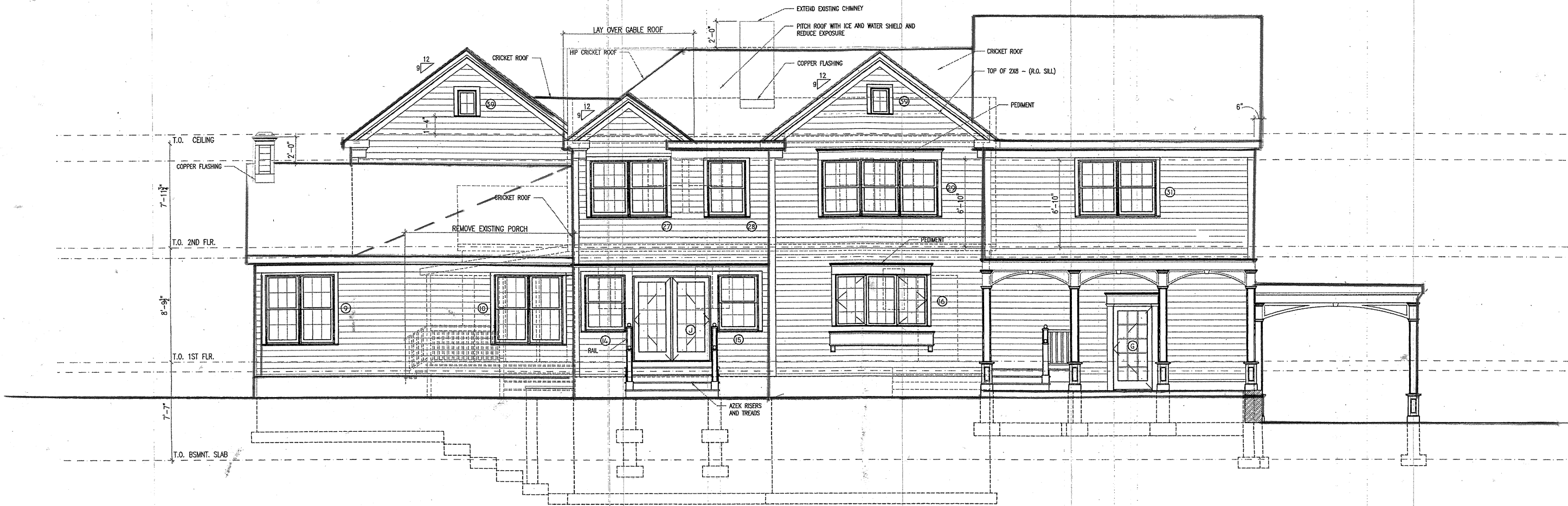
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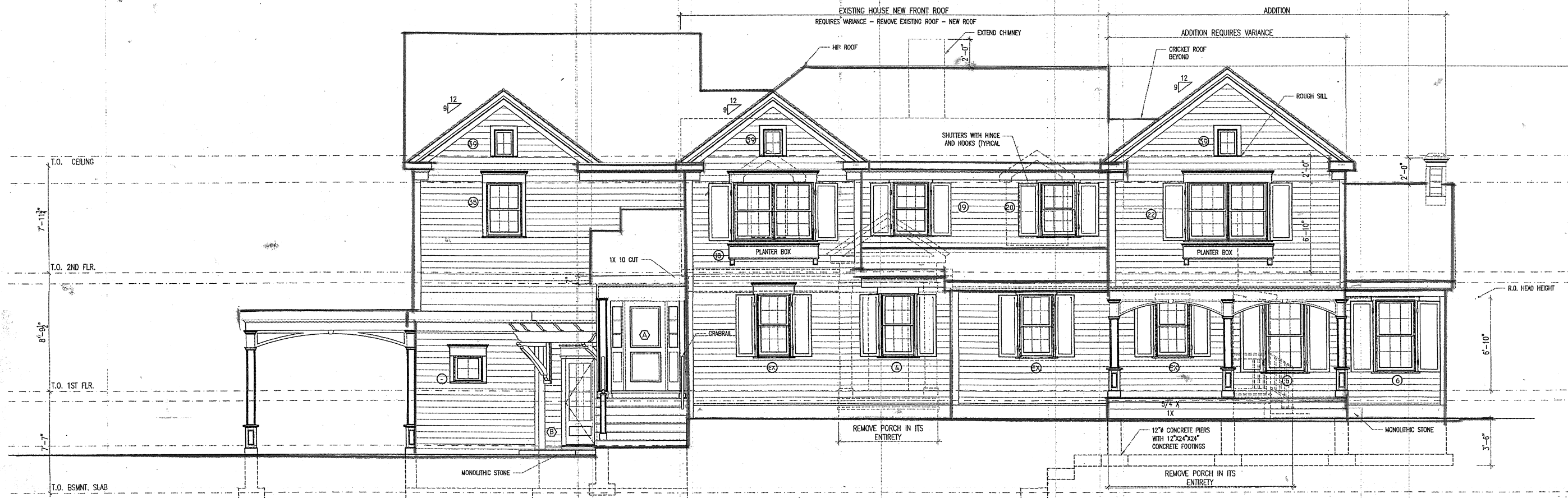
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SECOND FLOOR

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4/24/2023		ROOM NAMES
5/27/2023		UPDATED ELEVATION
7/24/2023		UPDATED PLANS
9/09/2023		KITCHEN
9/22/2023		PROGRESS
9/26/2023		RETILE

Scale:
AS NOTED
Date:
Proj. No.:
Drawing No.:
A-2



2 REAR ELEVATION
Scale: 1/4" = 1'

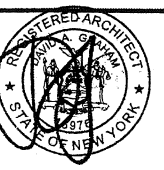


1 FRONT ELEVATION
1/8" : 1'0"

ADDITIONS AND ALTERATIONS
RUBENSTEIN RESIDENCE
71 NORTH SALEM ROAD, CROSS RIVER, NY

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Drawing Title:
**FRONT AND REAR
ELEVATIONS**

Revisions:

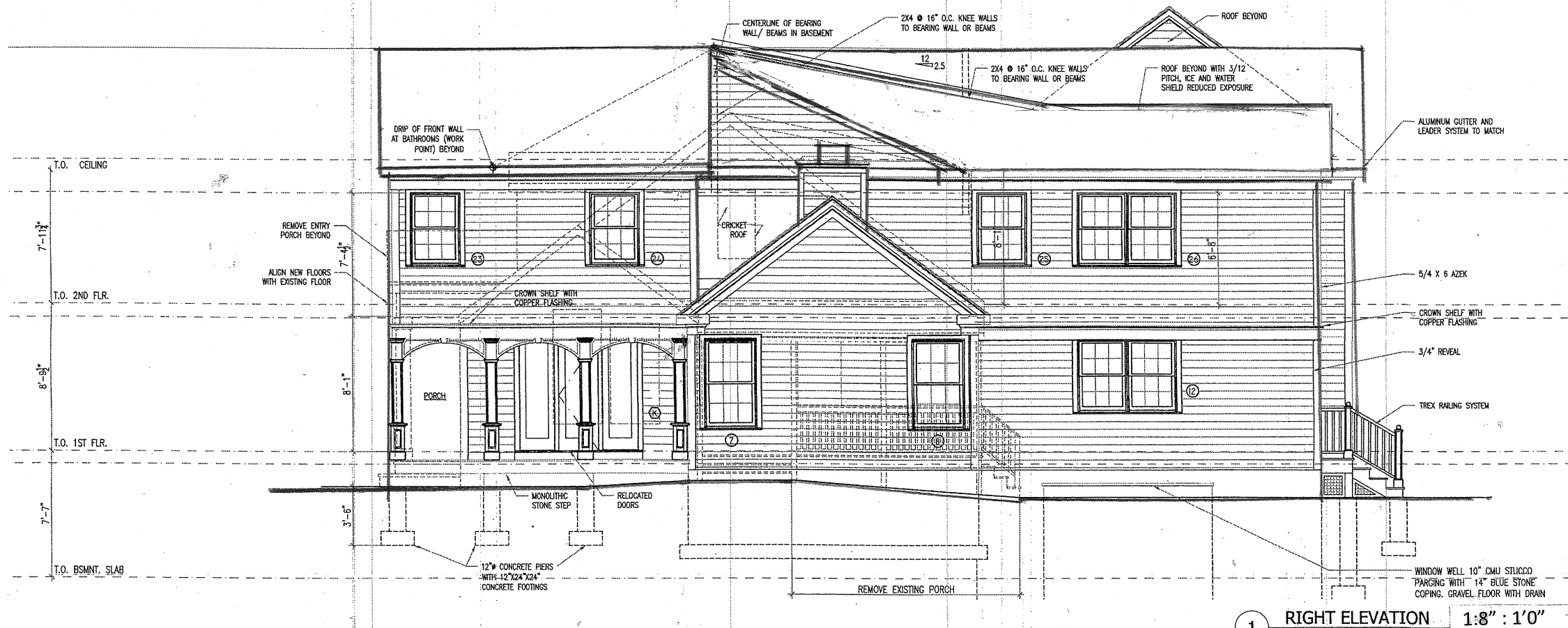
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7/24/2023	UPDATED PLANS	
9/09/2023	KITCHEN	
9/22/2023	PROGRESS	
9/28/2023	REFILE	

Scale: AS NOTED
Date:
Proj. No.:
Drawing No.:
A-3



1 LEFT ELEVATION

Scale: 1/4" = 1'



1 RIGHT ELEVATION

1:8" : 1'0"

ADDITIONS AND ALTERATIONS
RUBENSTEIN RESIDENCE
71 NORTH SALEM ROAD, CROSS RIVER, NY

David Graham
Architects © 2009

175 Main Street
Ossining, NY 10562
914-941-8889



Drawing title:
LEFT AND
RIGHT
ELEVATIONS

Revisions:

No.	Date	Description
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1/27/2023		PROGRESS
2/03/2023		PROGRESS
2/24/2023		PROGRESS
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3/13/2023		PROGRESS
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4/10/2023		PROGRESS
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5/27/2023		UPDATED ELEVATION
7/24/2023		UPDATED PLANS
9/09/2023		KITCHEN
9/22/2023		PROGRESS
9/26/2023		REFILE

Scale:
AS NOTED
Date:
Proj. No.:
Drawing No.:
A-4

October 30, 2023

To whom it may concern:

We have met with Jen and Jake Rubenstein, our next door neighbors at #71 N. Salem Rd. They informed us of their plan to add additions to their residence. They showed us the architect's drawings. The façade and new footprint fit in with the neighborhood.

We have no objection to this plan and see no problem affecting our own property at 35 N. Salem Rd.

Sincerely yours,

Judith Beller
Laurence Beller