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No new materials		

TOWN OF LEWISBORO
Westchester County, New York



Planning Board
PO Box 725
Cross River, New York 10518

Tel: (914) 763-5592
Fax: (914) 763-3637
Email: planning@lewisborogov.com

AGENDA

Tuesday, November 15, 2016

Cross River Plaza, Cross River

Note: Meeting will start at 7:30 p.m. and end at or before 11:30 P.M.

I. DECISION

Cal #6-02PB

Oakridge Gardens (aka Laurel Ridge), 450 Oakridge Common, South Salem, NY 10590, Sheet 49L, Block 9830, Lots 279 - 314 (Smith Ridge Housing, LLC, owner of record) – Proposed Amendment of the resolution dated October 12, 2010 (last amended June 21, 2016) for 18 additional bedrooms, the installation of Belgian block curbing and a white, vinyl fence

II. PUBLIC HEARINGS

Cal #6-02PB

Oakridge Gardens aka Laurel Ridge, 450 Oakridge Common, South Salem, NY 10590, Sheet 49L, Block 9830, Lots 279 - 314 (Smith Ridge Housing, LLC, owner of record) – Request for bond reduction

Cal #04-16PB, #16-16SW

SSEL Corp., Boway/Woodway, South Salem, NY 10590, Sheet 38, Block 10808, Lot 1 (SSEL Corp, owner of record) – Proposed two-lot subdivision on an approx. 9 acre lot

Cal #6-16PB

T Mobile, 377 Smith Ridge Road, South Salem, NY, Sheet 50A, Block 9834, Lots 84, 88, and 94 (Vista Fire District, owner of record) – proposed collocation of nine antennas on an existing monopole and the installations of three equipment cabinets within an existing fenced compound

III. PROJECT REVIEW

Cal# 32-16WP

Martini Residence, 152 Elmwood Road, South Salem NY 10590, Sheet 47, Block 10056, Lot 44 (Anthony and Mari Martini, owners of record) – Application to install an in ground pool

Cal #53-16 WP

Hoyt Street floating dock, South Salem NY 10590, Sheet 36A, Block 11172, Lot 24 (Truesdale Lake Property Owners Association, owners of record) - Application to replace a floating dock

IV. SKETCH PLAN REVIEW

Cal #10-15 PB

Wilder Balter Partners, NY State Route 22, Goldens Bridge, NY 10526, Sheet 5, Block 10776, Lots 19, 20 & 21 (Property Group Partners, LLC, owner of record) – Application for a 46 unit MF development on a ±35.4 acre parcel

V. SPECIAL DISCUSSION

Cal# 4-15PB, Cal# 51-15WP

Wild Oaks Water System, Nash Road, Goldens Bridge, NY, Sheet 8, Block 11137, Lot 123 (New York American Water, owner of record) – Emergency request for extension of time to meet requirements of the Approving Resolution dated June 16, 2015

VI. WETLAND VIOLATIONS

Cal #3-15WV

Jacobson Residence, 1208 Route 35, South Salem, NY 10590 Sheet 31, Block 10805, Lot 42 (Kenneth Jacobson, owner of record)

Cal#1-16WV

Mogil Residence, 92 Waccabuc Road, Goldens Bridge, NY 10526, Sheet 10, Block 11152, Lot 6 (Arthur Mogil and Mary McCarty Mogil, owners of record)

Cal#2-16WV

Palomino Residence, 292 Waccabuc Road, Goldens Bridge, NY 10526, Sheet 7C, Block 12668, Lot 20 (Gustavo Palomino, owner of record)

Cal#3-16WV

VII. EXTENSION OF TIME REQUEST

Cal # 1-14PB , Cal# 7-14WP, Cal# 1-14SW

Pinheiro Subdivision, 930 Old Post Road (Route 35), Cross River, NY, Sheet 20, Block 10801, Lot 13 – Applications for Preliminary Subdivision Plat Approval, Final Subdivision Plat Approval, Wetland Activity Permit Approval and Stormwater Permit Approval

Cal# 8-02PB

Popoli Subdivision, 1437 Route 35, South Salem, NY 10590 Sheet 0040, Block 10552, Lot 003 (Pasquale Popoli & Angelo Sicuranza, owners of record) - Request for extension of time to meet requirements of the Approving Resolution dated September 28, 2010.

Cal# 8-12PB

Rudolph Petruccelli, Oscaleta Road, South Salem, Sheet 33B, Block 11157, Lot 46 (Rudolph Petruccelli, owner of record) - Request for a 90-day Extension of Time to resolution granting Preliminary/Final Subdivision Plat, Negative Declaration Under SEQRA, dated October 21, 2014.

VIII. MINUTES OF March 15, 2016; MINUTES OF April 19, 2016; MINUTES OF May 4, 2016; MINUTES OF May 17, 2016; MINUTES OF June 21, 2016; MINUTES OF August 16, 2016; MINUTES OF September 13, 2016; MINUTES OF September 20, 2016; MINUTES OF October 18, 2016; and MINUTES OF October 25, 2016

CROSS RIVER ARCHITECTS

ROBERT J. EBERTS, R.A.
PRINCIPAL

October 27, 2016

Town of Lewisboro Planning Board
Cross River Shopping Center
Suite L, Lower Level
20 North Salem Rd.
Cross River, NY 10518

Re: Laurel Ridge Townhomes, South Salem, NY
Tax Lot Designation 492/494, 9830, 298/315 Zone R-MF
Cal 6-02 P.B.

Dear Mr. Chairman and Members of the Board:

On Oct 12, 2010, the Lewisboro Planning Board granted Site Plan Approval for the referenced project (previously referred to as Oakridge Gardens). We are requesting modification to that Site Plan approval as follows:

We are proposing to revise the concrete curbing shown in Phase 2 to Belgium Block per attached drawing SP-2a.

We are proposing to revise the stockade fence along the easterly property line to a 6' white vinyl fence per attached drawing SP-2a.

We are also requesting to revise the finish material of the on-grade patios behind the units from concrete to either bluestone slabs or brick pavers.

Thank you for your consideration in this matter.

Sincerely,



Robert Eberts
Cross River Architects, LLC

Attachment: drawing SP-2a

PO Box 384
19 NO. SALEM RD. 2nd FL.
CROSS RIVER, NY 10518
914.763.5887
Email RJE@CRARCH.com

Laurel Ridge Development Inc.
450 Oakridge Common
South Salem, New York 10590

September 16, 2016

Supervisor Peter Parsons

Town of Lewisboro

11 Main Street

South Salem, New York 10590

RE: Oakridge Water & Sewer Companies

Dear Supervisor Parsons:

As previously discussed, we have received a significant number of requests from prospective buyers asking for three bedroom units. Most of these requests are coming from “empty nesters” who do not have need for full time use of three bedrooms but prefer having the extra room for house guests and family visits. We have asked the Planning Board to consider allowing us to construct the remaining units (maximum 18) in our project as three bedrooms. The Planning Board has provided a Memorandum from the Town Planner advising us that the increase in bedroom count must be approved by the sewer and water districts. Accordingly, we respectfully request the Town owned Oakridge Sewer and Water companies consider this request subject to Planning Board review and approval on other related conditions.

Our review of the existing usage and the proposed additional usage from 18 additional bedrooms is well within the capacities and the formulas to determine sufficient supplies as set forth in previous applications from the Town of Lewisboro to WCHD prepared by Kellard & Sessions, and previous studies of pre and post Laurel Ridge townhome water usage and sewer capacity by the Town Consultant.

Please let me know if you need any additional information or further action on our part. Thank you in advance for your consideration.

Respectfully submitted,

Philip G. Pine

PRESIDENT

CC: Planning Board, Town of Lewisboro

Laurel Ridge Development Inc.
450 Oakridge Commons
South Salem, New York 10590
Telephone 914-533-7519

October 27, 2016

Town of Lewisboro Planning Board

20 Cross River Shopping Center at Orchard Square

Suite L

Cross River, New York 10518

Attention: Ciorsdan Conran, Secretary

RE: Laurel Ridge Townhomes

Sheet 49D, Block 9830, Lots 279 & 325

Cal # 6-02 P.B.

Dear Chairman Kerner and Members of the Planning Board:

Based on the Planning Board's direction regarding the process to increase our density, we made application to the ZBA for a variance to allow for increased density on the Laurel Ridge site. We were placed on the ZBA agenda for October 26th. At that meeting (last evening), the ZBA granted us a variance to increase the density permitted to 26 DU (Density Units) subject to Planning Board approval. We respectfully request an Amendment to the Resolution allowing for an increase in the DU that allows us to construct a maximum of 18 three bedroom units with no change to the Building footprints/ land coverage or the Building volumes. Following is a detail of our proposed mix and the corresponding DU calculation.

# BEDROOMS	DU Factor/Unit	QUANTITY	# of DU
Middle Income – 2 BR	.5	5	2.5
Market Rate – 2 BR	.5	23	11.5
Market Rate – 3 BR	.666	<u>18</u>	<u>12.0</u>
TOTALS		46	26.0

With respect to the parking requirements for the Laurel Ridge townhomes, the increase in Bedroom count from 2 BR to 3 BR does not change the unit or total required parking spaces (covered or uncovered). The approved Site Plan resolution as amended, provide an excess of the requirements for the 46 total number of units.

With respect to the adequacy of water supply and sewer capacity for an adding 18 additional bedrooms to the project, we have prepared an **Analysis of Sewer & Water Muni-System Capacity & Supply** (see copy attached).

Additional we have sent a letter to the Town Board requesting them to review current and proposed usages and affirm that the Municipal Systems have adequate capacities for an additional 18 three bedroom units. (See copy attached). We have been advised that our request will be considered at the Town Board meeting on November 7, 2016.

We are resubmitting Elevations of Building #6 as a typical building that show the Building elevations with all 2 Bedroom units compared with all 3 Bedroom units. The elevations reveal the minor change in window position and quantity. This submission was to allow the Board to determine if the change was significant enough to require ACARC review. We are also submitting unit plans illustrating changes to Three Bedroom layouts and Site Plans identifying the 18 units that may be changed to Three Bedroom units.

Thank you in advance for your consideration on our request.

Very truly yours,

Philip G. Pine

President

Attachments:

Analysis of Sewer & Water Muni-System Capacity and Supply

Letter to Town Board / Peter Parsons dated 9/16/16

Architects Elevations, Bldg 6 – Illustrating window difference of 2 Br vs 3 Br.

Architects Plans Illustrating Change to 3 Bedroom

Site Plans Identifying Potential 3 BR Units

Analysis of Water & Sewer Systems Capacity with 18 Three Bedroom Units

8/3/2016

GIVEN:

NYSDEC Water Taking Permit for 80,000 gpd for Oakridge Water District

Existing SPDES Permit allows for 80,000 gpd discharge from the Oakridge Sewer Treatment System

RE: Adequacy of Muni Water Supply

EAF (Part 3) Prepared by Kellard Sessions

Proposed Usage by 46 (2 Br) units

$$300\text{gpd}/2\text{Br} \times 46 = 13,800 \text{ gpd}$$

Delaware Engineering Report to WCHD

Avg Daily flows based on 2004 Actual Usage

58,808 gpd leaves an additional 21,000 gpd for new usage under existing DEC permit

Using the following gpd factors acceptable to WCHD to estimate revised daily water usage

150 gpd/bedroom

$$2 \text{ Br} = 300 \text{ gpd}$$

$$3\text{Br} = 450 \text{ gpd}$$

Revised usage based on maximum number of 2 and 3 BR Units

$$2 \text{ Br} = 28 \times 300 \text{ gpd} = 8400 \text{ gpd}$$

$$3 \text{ Br} = 18 \times 450 \text{ gpd} = 8100 \text{ gpd}$$

$$\text{REVISED TOTAL for 46 Units} = 16,500 \text{ gpd}$$

The max gpd usage remains below the excess capacity (21,000 gpd) of the water supply system.

NOTE: The excess or available supply volume is prior to the addition of Well #3 to the system

RE: Adequacy of Waste Water Treatment System

Town of Lewsiboro Application to WCHD for Approval of Wastewater Disposal System prepared by

Kellard Sessions date Feb 16, 2012

$$\text{Existing district water consumption} = 55,000 \text{ gpd}$$

Future district water consumption (after the addition of 46 units) = 66,040 gpd

Existing wastewater treatment works avd daily flow = 42,000 gpd

Future wastewater treatment works avd daily flow = 53,040 gpd

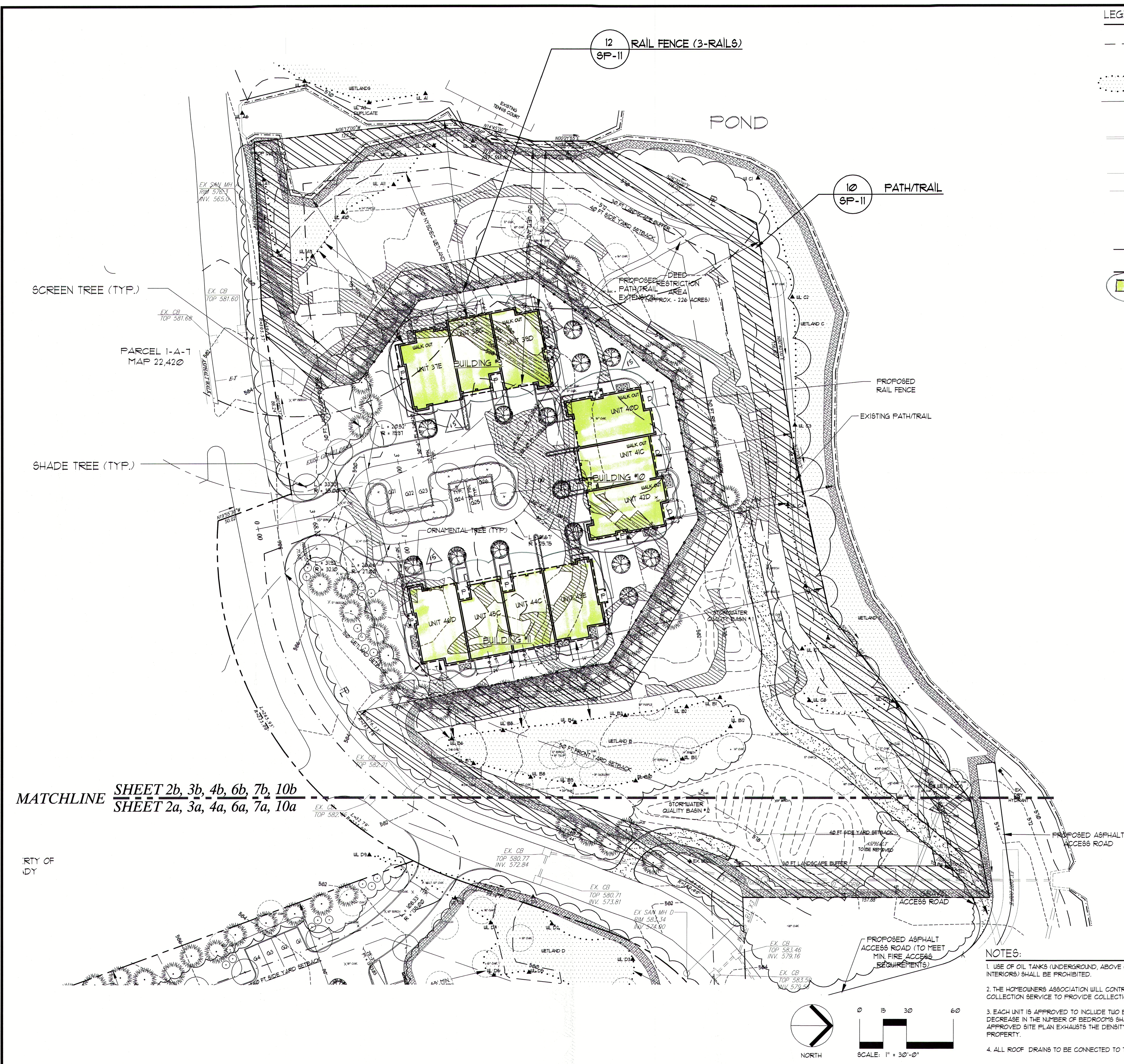
Revised usage based on maximum number of 2 and 3 BR Units

2 Br = 28 x 300 gpd = 8400 gpd

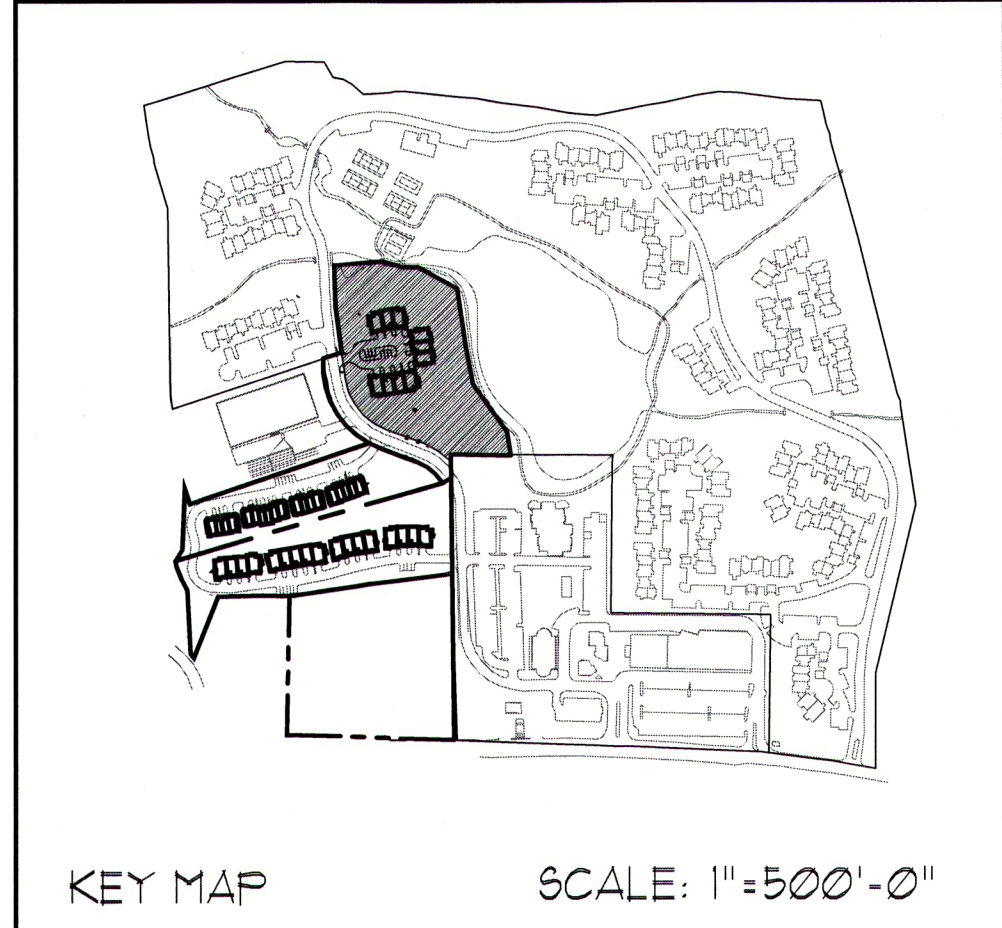
3 Br = 18 x 450 gpd = 8100 gpd

REVISED TOTAL for 46 Units = 16,500 gpd

Adding the Revised Total wastewater flow of 16,500 gpd to the pre Laurel Ridge daily volume of 42,000 gpd = 58,500 gpd which is well below the SDPES permit 80,000 gpd discharge.



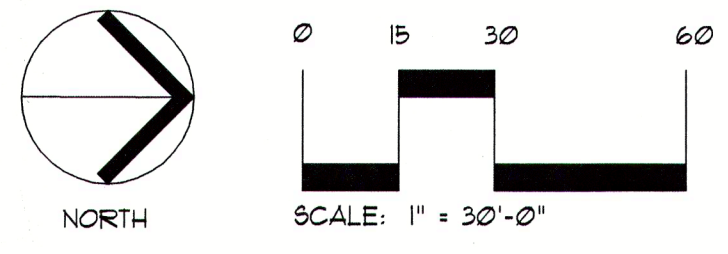
LEGEND	
580	EXISTING CONTOUR
574	PROPOSED CONTOUR
▲	WETLAND FLAG
■	WETLAND AREA
---	150' WETLAND SETBACK LINE
□	EXISTING CATCH BASIN
○	EXISTING DRAINAGE PIPE
○	EXISTING SEWER MANHOLE
○	EXISTING SEWER PIPE
○	EXISTING WATERMAIN
○	EXISTING TREE TO REMAIN
✕	EXISTING TREE TO BE REMOVED
---	EDGE OF WATERCOURSE
---	PROPERTY LINE
---	PROPOSED RETAINING WALL
■	PROP. WETLAND/WETLAND BUFFER RESTORATION PLANTING AREA
■	15% OR GREATER SLOPES
■	DEED RESTRICTION AREA
T	PROPOSED TERRACE
D	PROPOSED DECK
P	PROPOSED PORCH
B	PROPOSED BALCONY
---	EXISTING FENCE
---	PROPOSED SOLID BOARD FENCE
---	PROPOSED RAIL FENCE
---	PROPOSED GRAVEL ACCESS ROAD



- NOTES**
1. SURVEY AND UTILITY DATA FROM MAP, PREPARED BY FARNS, BROTHFIELD AND REDNIG, 22 FIRST STREET, STAMFORD CONNECTICUT 06305
 2. EXISTING BOUNDARY AND TOPOGRAPHY INFORMATION WAS TAKEN FROM A SURVEY ENTITLED "PROPERTY & TOPOGRAPHIC SURVEY DEPICTING PARCELS 1-A-8 & 1-A-3-9, MAP 22, 420" AS PREPARED BY REDNIG & MEAD FOR GINSBURG DEVELOPMENT DATED 03/03/00
 3. WETLAND DELINEATION BY EVANS ASSOCIATES ENVIRONMENTAL CONSULTING, INC. 88 BRADLEY ROAD WOODBRIDGE, CT 06525 DATED 03/28/01
 4. WETLAND FLAGS LOCATED BY CONTRACTORS LINE & GRADE SOUTH 9 NORTH GOODWIN AVENUE, SUITE 13 ELMSFORD, NY 10523 ON 05/15/02
 5. OWNER / APPLICANT: SMITH RIDGE HOUSING, LLC 202 OAK RIDGE COMMONS, SOUTH SALEM, NY 10590
 6. TOTAL SITE AREA: LOT 1-A-8 4.05 ACRES LOT 1-A-9 5.14 ACRES TOTAL 9.19 ACRES
 7. REFER TO TAX LOT: MAP 49-D, BLOCK 9830, LOT 219 & 325
 8. ZONE: R-1F, RESIDENTIAL MULTI-FAMILY
 9. (10) UNITS - (10) 2 BEDROOM TOWNHOUSE STYLE CONDOMINIUM UNITS WITH 2 CAR GARAGES. 6 VISITOR PARKING SPACES PROVIDED.
 10. ALL PROPOSED UNITS WILL INCLUDE FIRE PROTECTION SPRINKLERS.

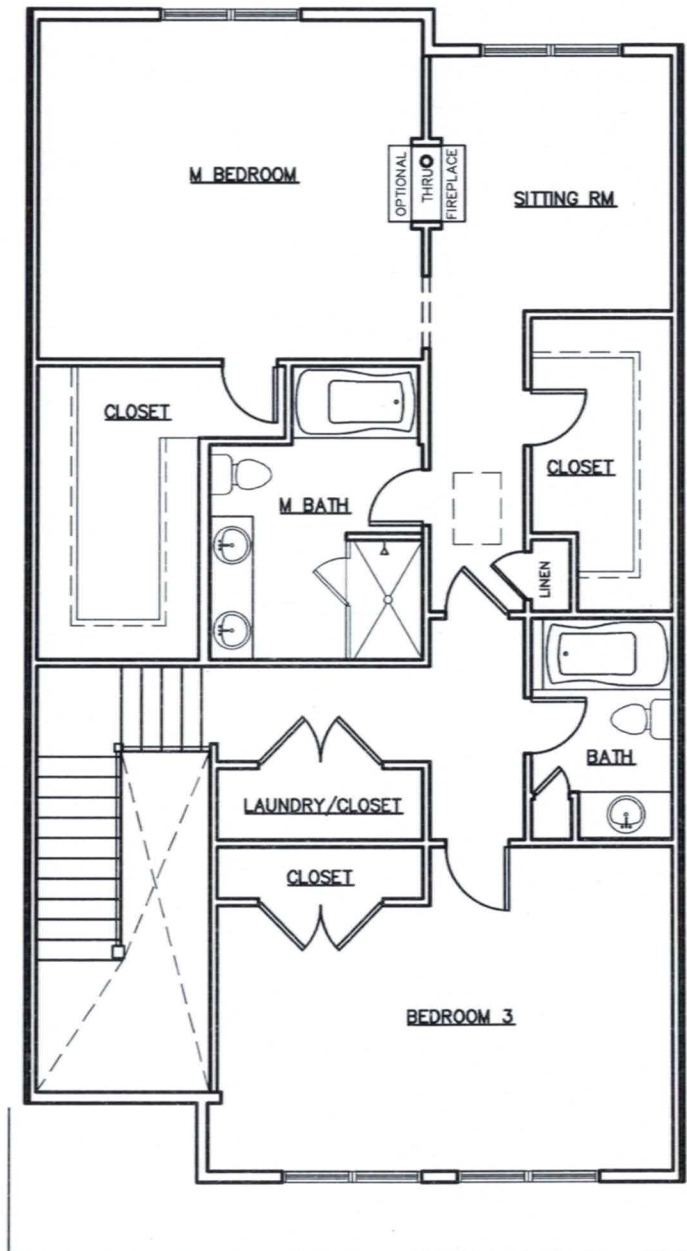
APPROVED FOR FILING	
Owner / Applicant Smith Ridge Housing LLC 202 Oak Ridge Commons South Salem, NY 10590	Date
PLANNING BOARD ENDORSEMENT OF APPROVED PLANS	
Planning Board Chairman	Date
Planning Board Secretary	Date
STORMWATER MANAGEMENT OFFICER ENDORSEMENT OF APPROVED PLANS	
Stormwater Management Officer	Date

- NOTES:**
1. USE OF OIL TANKS (UNDERGROUND, ABOVE GROUND OR WITHIN BUILDING INTERIORS) SHALL BE PROHIBITED.
 2. THE HOMEOWNERS ASSOCIATION WILL CONTRACT WITH A SINGLE REFUSE COLLECTION SERVICE TO PROVIDE COLLECTION FOR ALL HOMEOWNERS.
 3. EACH UNIT IS APPROVED TO INCLUDE TWO BEDROOMS ONLY. NO INCREASE OR DECREASE IN THE NUMBER OF BEDROOMS SHALL BE PERMITTED, AS THE APPROVED SITE PLAN EXHAUSTS THE DENSITY UNIT POTENTIAL FOR THE PROPERTY.
 4. ALL ROOF DRAINS TO BE CONNECTED TO THE ROAD DRAINAGE SYSTEM.

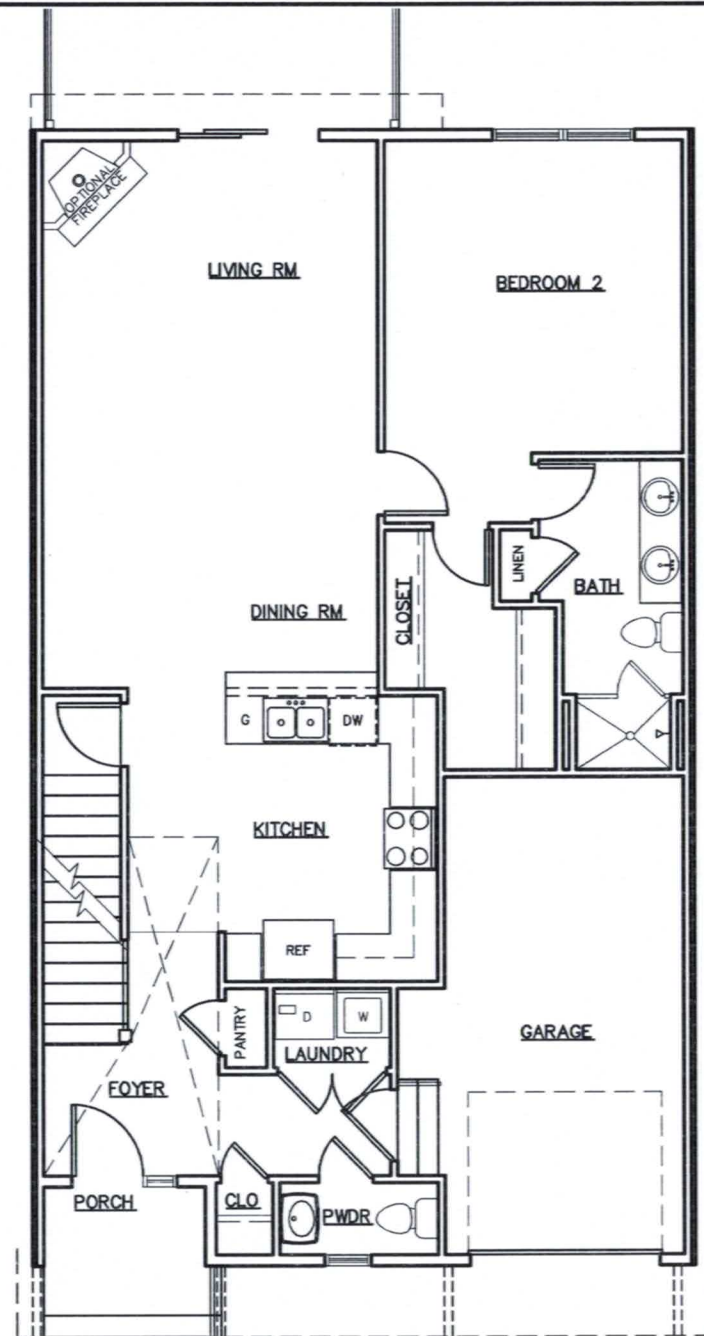


ISSUE REVISIONS	
No.	Description
1	REVISIONS PER TOWN CONSULTANTS MEMOS
2	REVISIONS PER TOWN CONSULTANTS MEMOS
3	REVISIONS PER TOWN CONSULTANTS MEMOS
4	REVISIONS PER TOWN CONSULTANTS MEMOS
5	REVISIONS PER TOWN CONSULTANTS MEMOS
6	REVISIONS PER TOWN CONSULTANTS MEMOS
7	REVISIONS PER TOWN CONSULTANTS MEMOS
8	REVISIONS PER TOWN CONSULTANTS MEMOS
9	REVISIONS PER TOWN CONSULTANTS MEMOS
10	REVISIONS PER TOWN CONSULTANTS MEMOS
11	REVISIONS PER TOWN CONSULTANTS MEMOS
12	REVISIONS PER TOWN COMMENTS
13	REVISIONS PER TOWN COMMENTS
14	FINAL PLANNING BOARD REVISION

SITE LAYOUT PLAN	
NORTH PARCEL	
OAKRIDGE GARDENS	
SMITH RIDGE ROAD (NYS STATE ROUTE 123)	
SOUTH SALEM, NY 10590	
DELALLA & ASSOCIATES, LLC.	
Landscape Architecture • Site Design • Environmental Planning • Land Development Consulting	
30 Old Quarry Road - Suite 203, Ridgefield, Connecticut 06877 • Telephone: 203-431-2412 • Fax: 203-431-2442	
CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • SITE & ENVIRONMENTAL PLANNING	
50 MAIN STREET • ARMONK, N.Y. 10504	
P: (914) 775-5252 F: (914) 775-5258	
SP-2b	
Date: 12/30/02	Scale: 1"=30'-0"
Sheet No.	4 of 42



SECOND FLOOR



FIRST FLOOR

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CROSS RIVER ARCHITECTS LLC

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CROSS RIVER, N.Y. 10518

914.763.5887
FAX 914.763.8409

Project Title

Laurel Ridge
TOWNHOMES
SOUTH SALEM, NY

Drawing Title

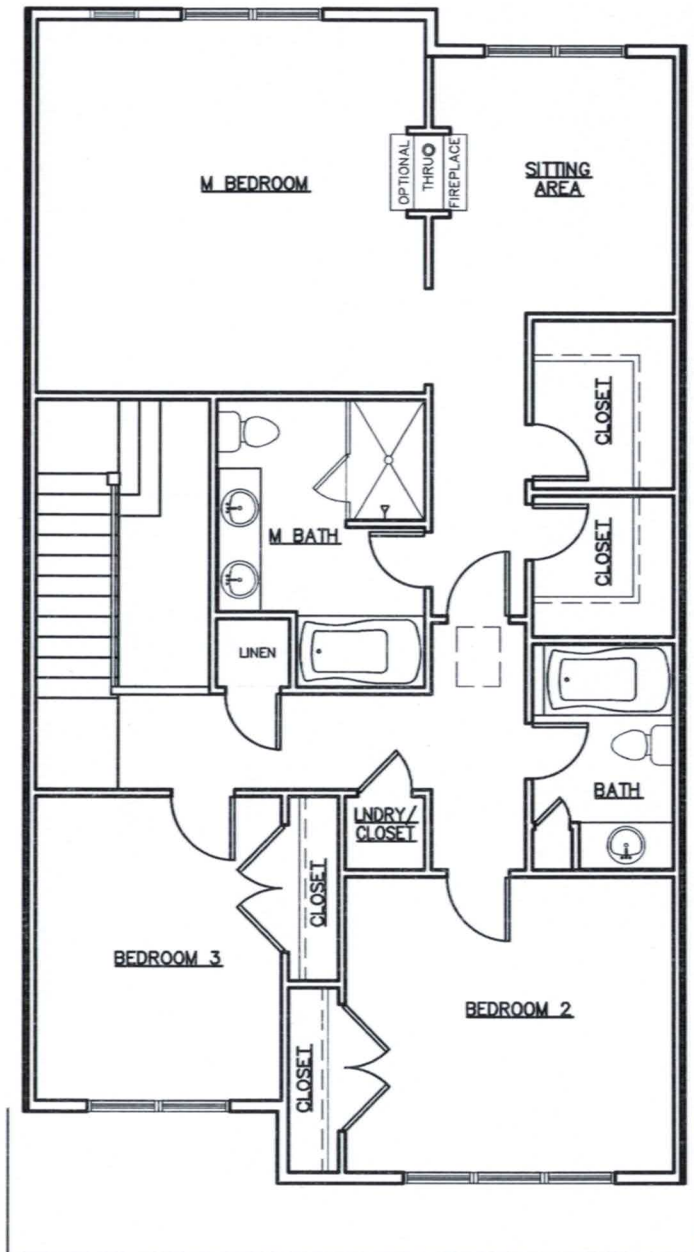
UNIT TYPE
C-MB1-3
3 BEDROOM / 3½ BATH

Drawing Information

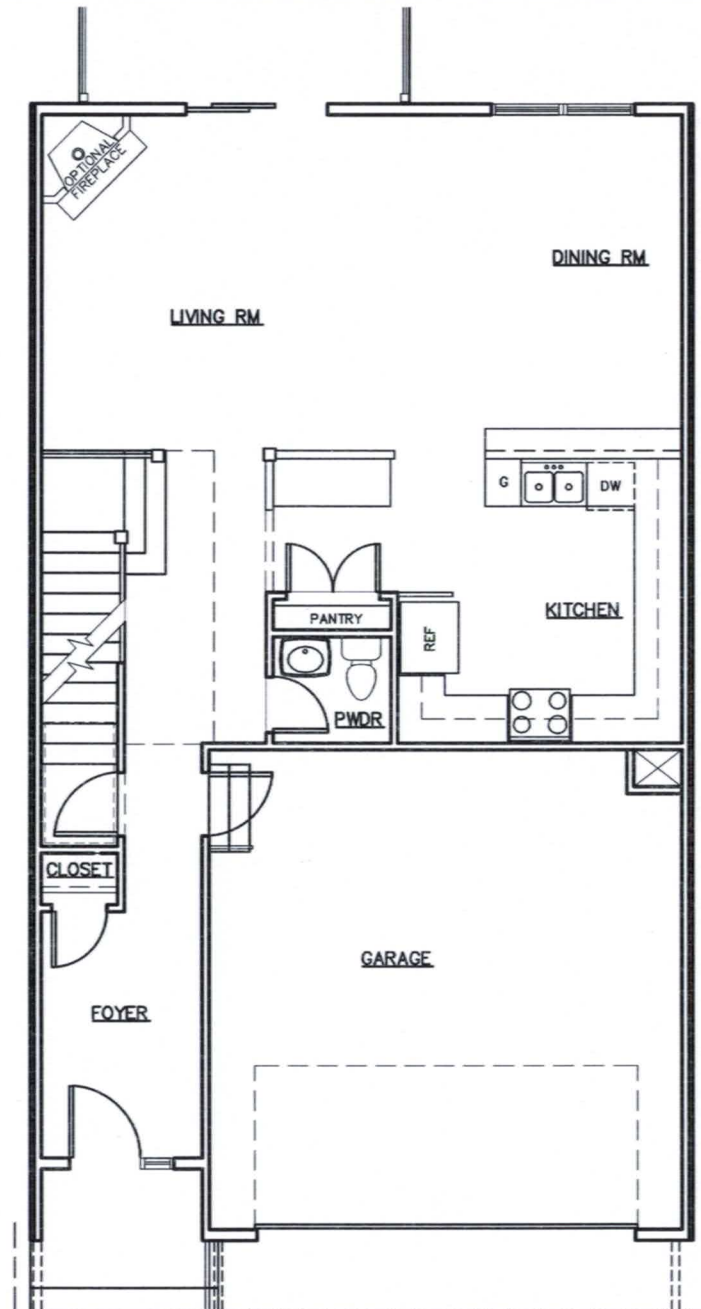
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Revisions:

Drawing Number

SHEET
1 OF 4



SECOND FLOOR



FIRST FLOOR

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Project Title

Laurel Ridge

TOWNHOMES

SOUTH SALEM, NY

Drawing Title

UNIT TYPE
C-MB2-3

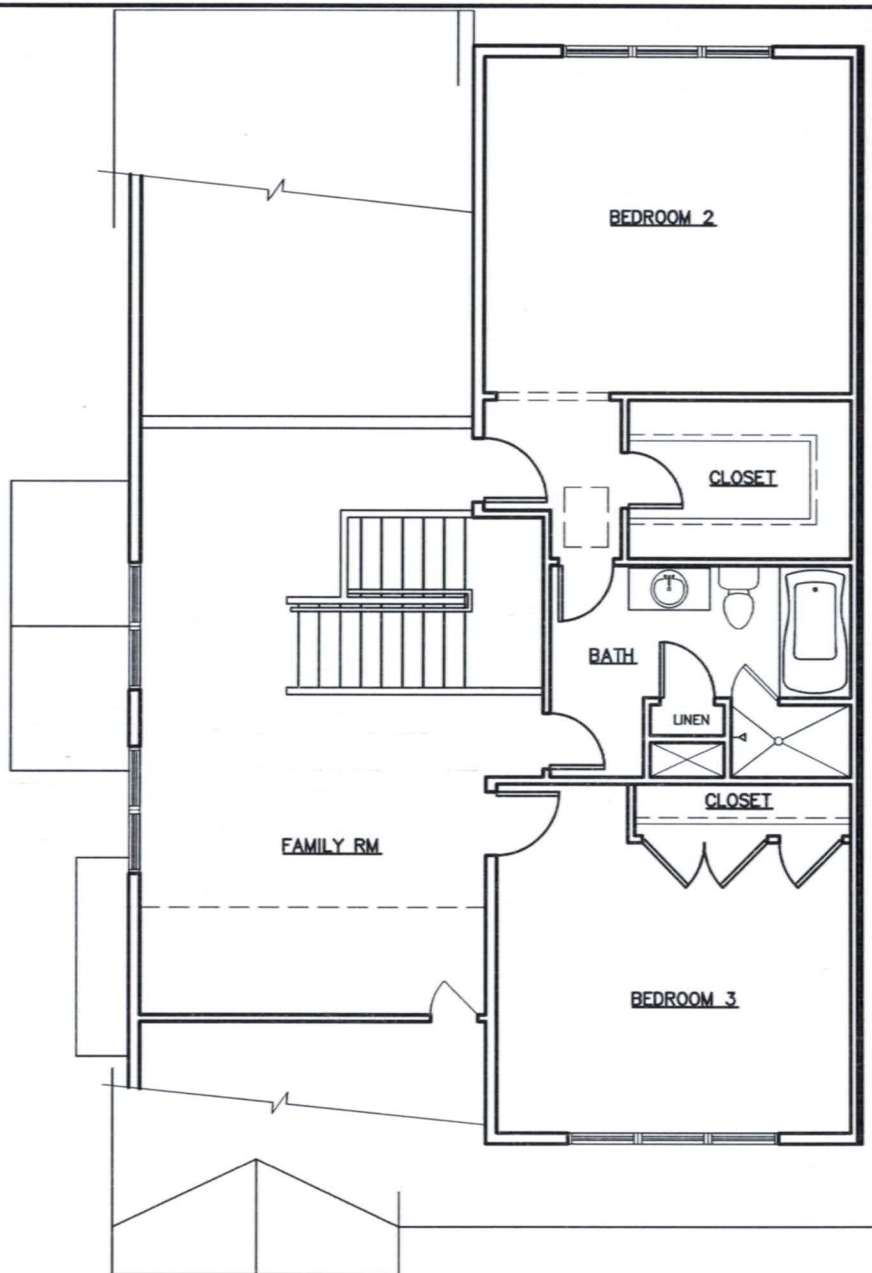
3 BEDROOM / 2½ BATH

Drawing Information

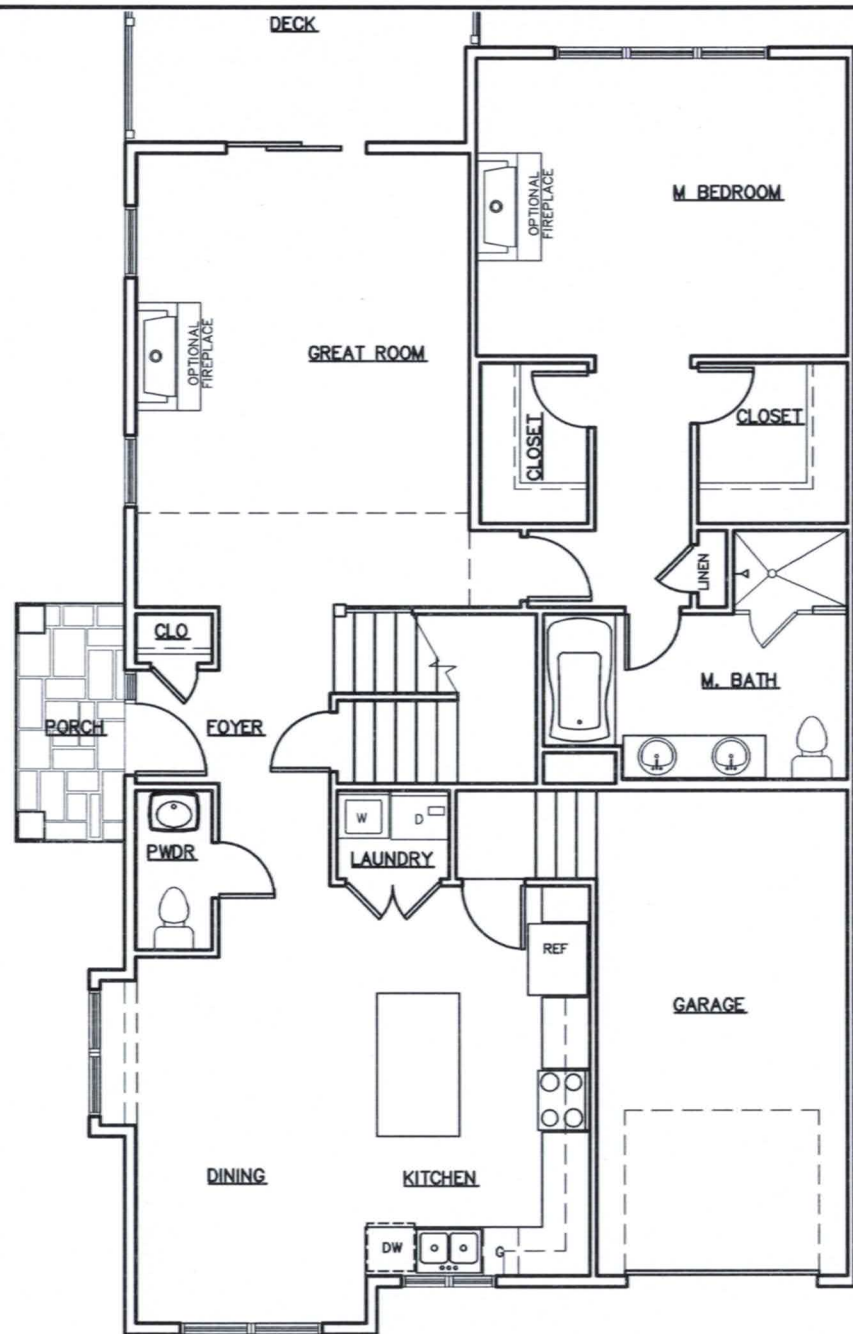
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Revisions:

Drawing Number

SHEET
2 OF 4



SECOND FLOOR



FIRST FLOOR

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914.763.5887
FAX 914.763.8409

Project Title

Laurel Ridge
TOWNHOMES
SOUTH SALEM, NY

Drawing Title

UNIT TYPE
D-MB1-3

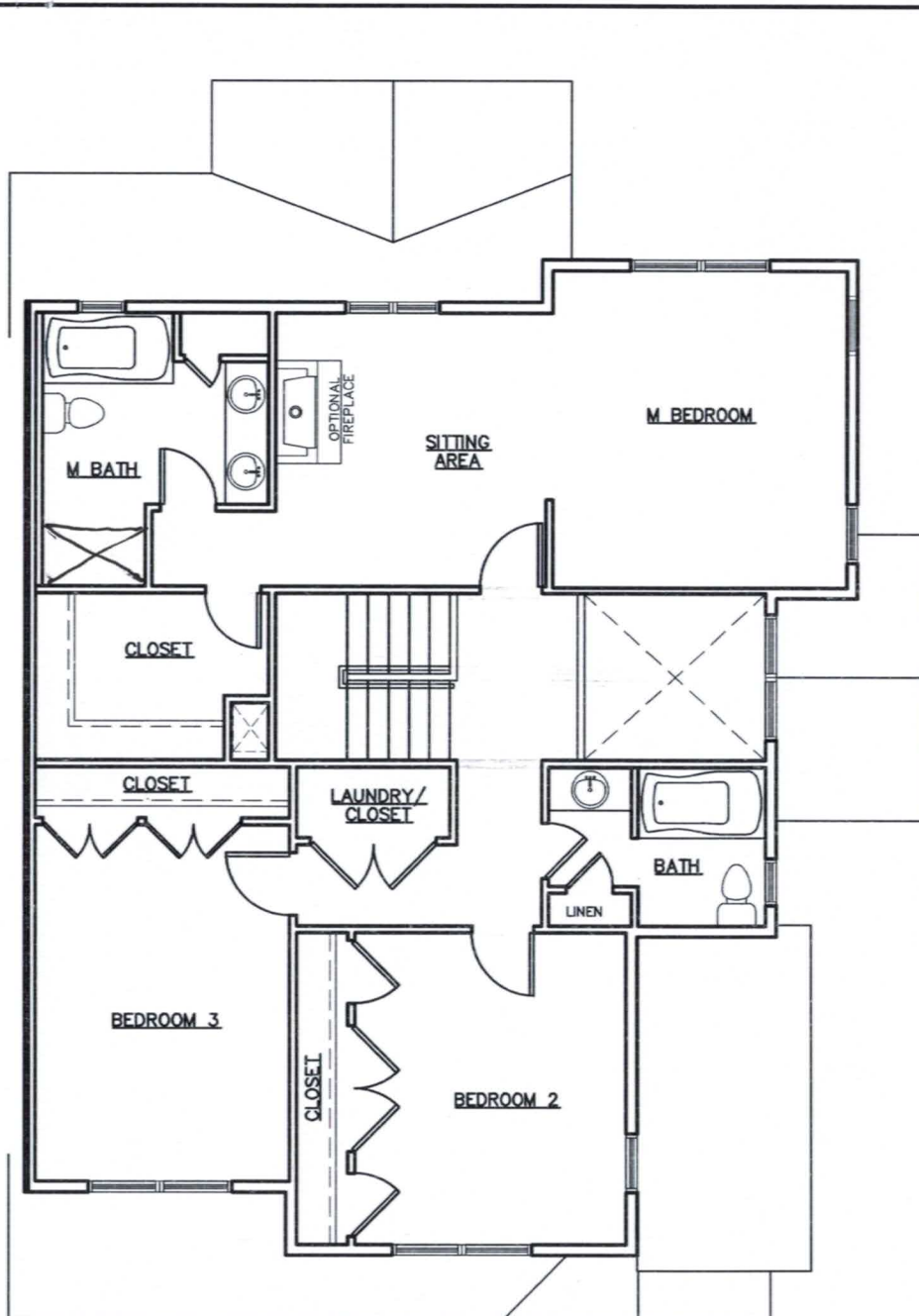
3 BEDROOM / 2½ BATH

Drawing Information

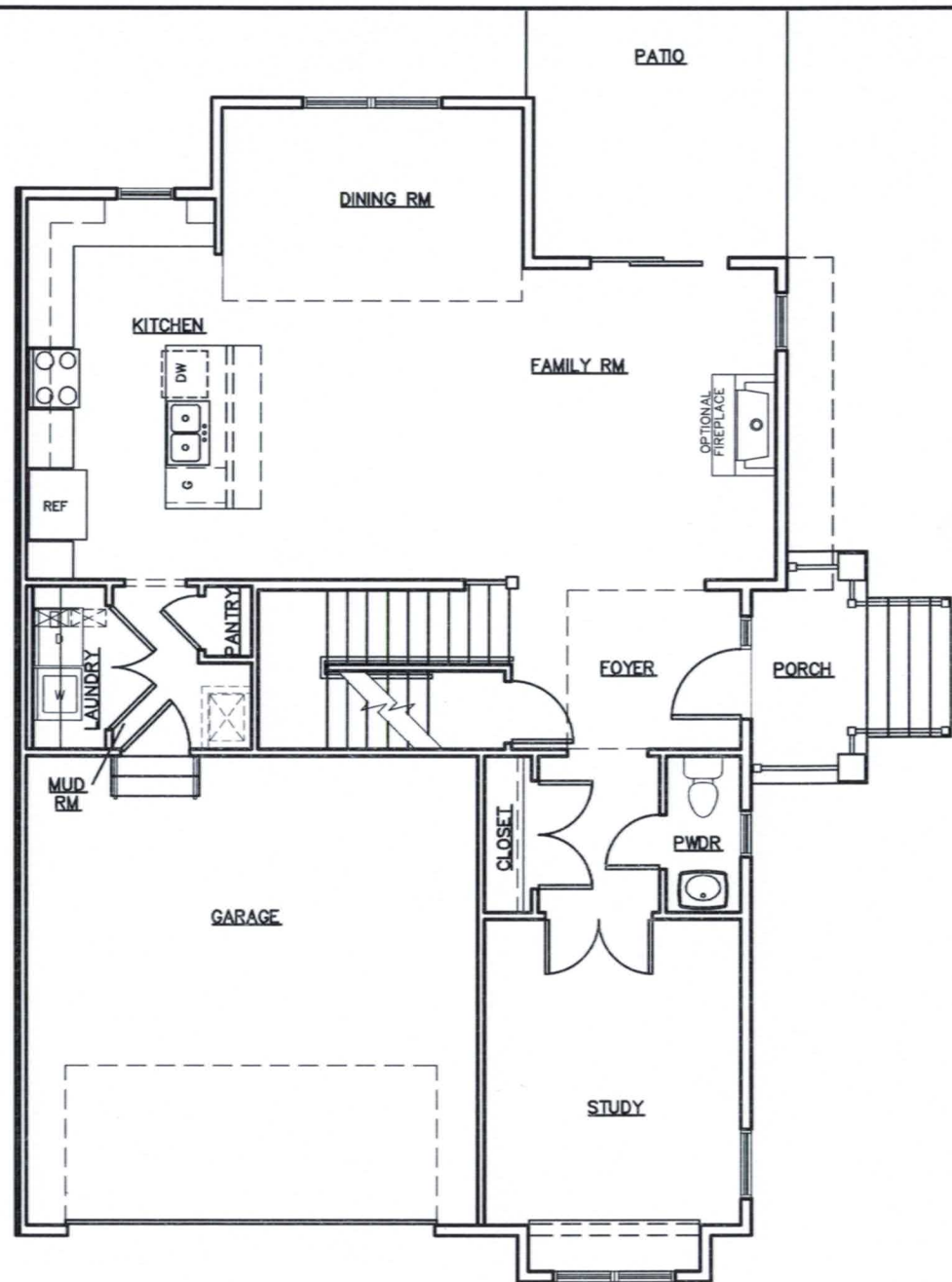
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SHEET
3 OF 34



SECOND FLOOR



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Project Title

Laurel Ridge
TOWNHOMES
SOUTH SALEM, NY

Drawing Title

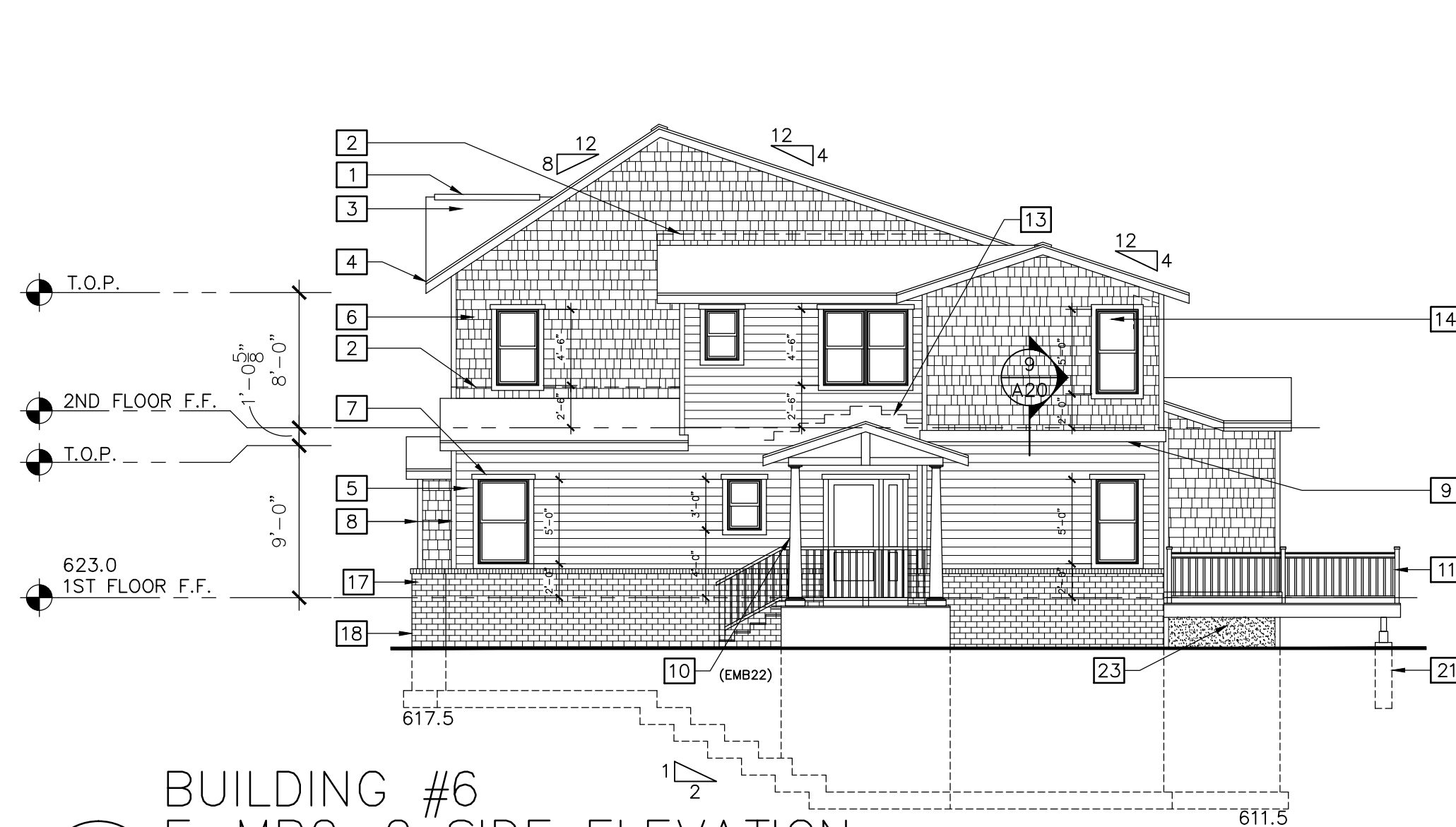
UNIT TYPE
E-MB2-3
3 BEDROOM / 2½ BATH

Drawing Information

Date: AUGUST 17, 2016
Scale: 1/8" = 1'-0"
Revisions:

Drawing Number

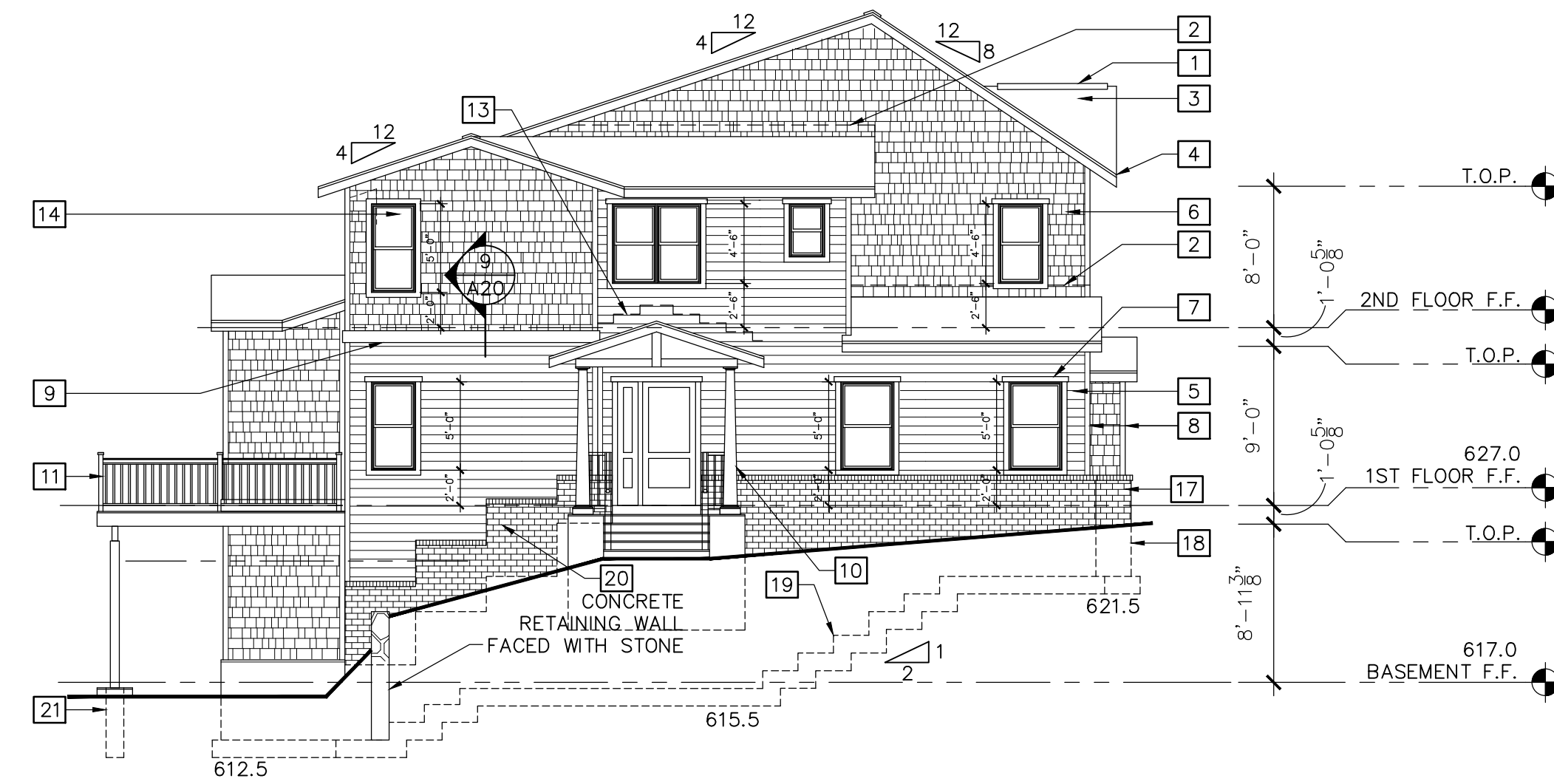
SHEET
48 OF 84



BUILDING #6
E-MB2-2 SIDE ELEVATION

4

SCALE: 1/8" = 1'-0"



BUILDING #6
E-MB1-1 SIDE ELEVATION

3

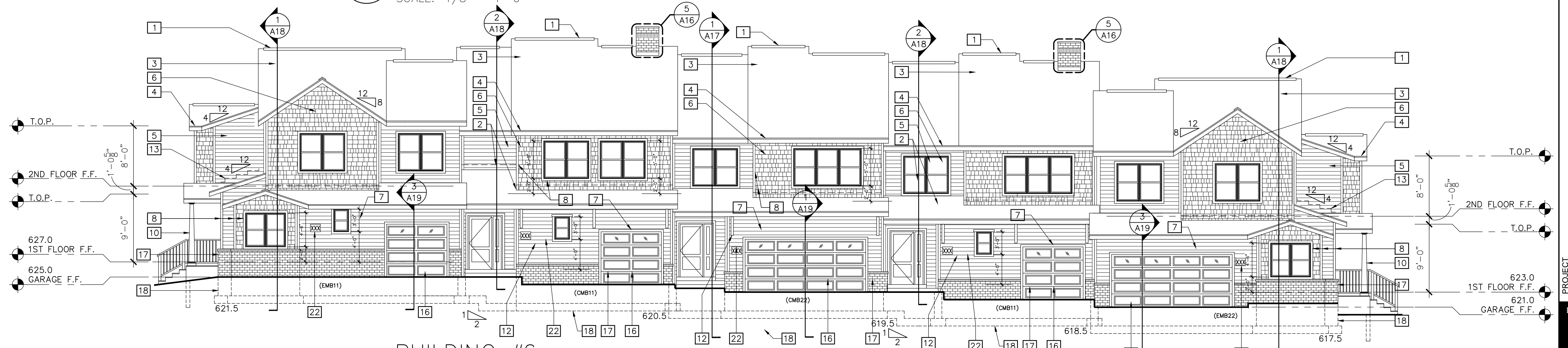
SCALE: 1/8" = 1'-0"



BUILDING #6
REAR ELEVATION

2

SCALE: 1/8" = 1'-0"



BUILDING #6
FRONT ELEVATION

1

SCALE: 1/8" = 1'-0"

KEYNOTES

- 1 RIDGE VENT, SHINGLED TYPE
- 2 SHED ROOF SHINGLE TYPE RIDGE VENT WITH FLASHING EXTENDED 8" MIN VERTICAL
- 3 ASPHALT COMPOSITE ROOF SHINGLES
- 4 2-PIECE COMPOSITE RAKE TRIM ASSEMBLY, 1"x6" OVER 1"x8"
- 5 COMPOSITE CLAPBOARD SIDING, 6" TTW
- 6 COMPOSITE SHINGLE SIDING, 7" TTW
- 7 3/4"x6" COMPOSITE HEAD TRIM ASSEMBLY ON CLAPBOARD SURFACES ONLY, PROVIDE FLASHING
- 8 3/4"x4" COMPOSITE TRIM
- 9 3/4"x12" COMPOSITE TRIM, PROVIDE FLASHING
- 10 TAPERED COMPOSITE COLUMNS
- 11 COMPOSITE RAILING SYSTEM
- 12 COMPOSITE BRACKET ASSEMBLY
- 13 FLASHING OR STEP FLASHING, MIN 8" HIGH
- 14 MARVIN ULTREX DOUBLE HUNG WINDOWS WITH DOUBLE PANEL LOW "E" GLASS
- 15 MARVIN ULTREX SLIDING DOORS WITH DOUBLE PANE LOW "E" GLASS
- 16 SECTIONAL OVERHEAD GARAGE DOOR
- 17 4" BRICK MASONRY VENEER, PROVIDE FLASHING WEEP HOLES @ 4'-0" O.C.
- 18 CONCRETE FOUNDATION
- 19 STEPPED FOOTING
- 20 STEPPED 4" BRICK VENEER WITH GRADE
- 21 12" CONCRETE PIER WITH GALVANIZED METAL POST SEAT, SIMPSON #ABU66 WITH 6"x6" PRESSURE TREATED POST
- 22 UNIT NUMBER
- 23 PARGE EXPOSED FOUNDATION WALL

REVISIONS

SEAL

CROSS RIVER ARCHITECTS, LLC
ROBERT J. EBERT'S R.A., PRINCIPAL

P.O. BOX 384
19 NO. SALEM RD. 2nd FL.
CROSS RIVER, N.Y. 10518
914.763.5887
FAX 914.763.8409

PROJECT
LAUREL RIDGE TOWNHOMES
450 OAKRIDGE COMMON
SOUTH SALEM, NEW YORK

TITLE
EXTERIOR ELEVATIONS
DATE
AUGUST 17, 2016
SCALE
1/8" = 1'-0"
PROJ. #

A/6

Michael Fuller Sirignano

Attorney and Counselor at Law

Old Post Road Professional Building

892 Route 35, P.O. Box 784

Cross River, New York 10518

Tel: (914) 763-5500

Fax: (914) 763-9589

michael@sirignano.us

October 21, 2016

Robin Price, Chairman
Zoning Board of Appeals
Town of Lewisboro
11 Main Street
South Salem, NY 10590

Re: Laurel Ridge Townhouses
Sheet 49D, Block 9830, Lots 279 & 325

Dear Chairman Price and Members of the Zoning Board of Appeals:

Our proposed change from 2 to 3 bedrooms in the 18 units under construction would not involve any change in building footprints or the size of the unit envelopes. There will be a minor alternation to the number of windows and their location and those changes are shown on the Architect's preliminary plans/elevations. The maximum number of units proposed to be built as 3 Bedroom units will be 18 and all said 3-bedroom units will be located in Buildings 7-11.

My client, Laurel Ridge Development, Inc., has received a significant number of requests from prospective buyers asking for 3-Bedroom units. Most of these requests are coming from "empty nesters" who do not have the need for full-time use of three bedrooms but nonetheless want an extra bedroom for house guests and family visits. We have requested the Town owned Oakridge Sewer and Water companies to confirm that additional usage from our proposed 3rd bedrooms is well within the available capacities of both the sewer and water systems.

Parking Requirements: Section 220-56 requires two spaces per dwelling unit plus one additional space for 2 or more bedroom units. Accordingly, the addition of 3-Bedroom units would have no effect on the overall parking space requirements. No variance for parking spaces will be required.

Zoning Density Standards: R-MF Zoning District regulations allow 2 Density Units ("DU") for each acre of NET LOT AREA. A 2 Bedroom unit = .5 DU and a 3-Bedroom unit = .66 DU. The Zoning Analysis for the Approved Project is as follows:

Gross Acres:	9.193
Net Lot Area:	8.3115
Total DU (Density Units):	16.623

40% Bonus Density = $16.623 + 6.6492 = 23.272$ DU (As approved by the Planning Board)

Michael Fuller Sirignano

Attorney and Counselor at Law

-2-

The project as approved was based on a density of 40%, the then maximum density bonus allowed. By Amendment dated 7/13/2015 (L.L. No. 7-2015), the Town Board increased the permitted density bonus to a maximum of 50% (see §220-26 B[2]). If the total project density is based on a Density Bonus factor of 50% with at least 1/3 of the additional density being Middle Income units, then the following mix of 2-Bedroom and 3-Bedroom units for a total of 46 units (of which 5 units are Middle Income) are permitted:

5 Middle Income 2-Bedroom units;	2.5	DU
Maximum number of Bonus DU permitted if 1/3 are Middle Income;	7.5	DU
Total Project DU permitted; $16.623 + 7.5 =$	24.123	DU

PROPOSED MIX:

5	2-Bedroom Middle Income units;	=	2.5	DU
35	2-Bedroom Market Rate units;	=	17.5	DU
6	3-Bedroom Market Rate units;	=	3.996	DU

TOTAL PROPOSED DU	=	24.00	DU
-------------------	---	-------	----

Laurel Ridge Development Inc.'s request to build out 18 of its 46 approved units as 3-Bedroom units is based on strong market demand for the 3 Bedroom units. Being able to meet this market demand is key to the project's success and timely completion. As noted, the requested change to 3 -Bedroom units does not change either the unit/building footprint (land coverage), the building envelope (total volume), or the overall square footage of living space created. The only visible exterior changes will be to the number and position of the 2nd floor windows in these 18 units.

For all these reasons, we respectfully ask the Zoning Board of Appeals to grant a variance of Article IV, Section 220-26 B(1) to allow Laurel Ridge to exceed 2 Density Units per acre of our net lot area of 8.3115 so as to permit the completion of 18 of the 46 units with a 3rd bedroom.


Very truly yours,


Michael Fuller Sirignano

MEMORANDUM

TO: Lewisboro Planning Board

CC: Lewisboro Town Board
Ciorsdan Conran
Judson Siebert, Esq.
Anthony Mole, Esq.

FROM: Joseph M. Cermele, P.E., CFM 
Consulting Town Engineer

DATE: October 20, 2016

RE: Bond Reduction
Laurel Ridge
Smith Ridge Road (NYS Route 123)
Sheet 49D, Block 9830, Parcels 1-A-8 and 1-A-9

The owner of the Laurel Ridge Subdivision, Philip Pine, has requested a second reduction of the performance bond currently in place for the above-referenced project, originally valued at \$243,770.00. The present value of the Bond is \$53,489.00.

At the time of this writing, the developer is seeking acceptance of the Phase II Sewer Main. This office has conducted periodic inspections of the work during construction and the owner has completed all work related to the Phase II Sewer Main in substantial conformance to the approved plans. The Phase II Sewer Main was installed and tested under the supervision of the Town Engineer and approved by the Westchester County Department of Health.

In accordance with the "Security Agreement for Construction of Water and Sewer Improvements to be Conveyed to Oakridge Water and Sewer Districts", dated August 27, 2013, this office has no objection to the applicant's request for partial release of the Bond in the amount of \$26,151.00 in connection with the Phase II sewer installation. Further, this office has no objection to the sewer main being accepted by the Oakridge Sewer District.

If the Town Board is in favor of a reduction in the Bond, it would be our recommendation that the owner post a new Bond in the amount of \$27,338.00, at which time we would subsequently recommend acceptance of the Phase II Sewer Main Improvements by the Oakridge Sewer District.

JMC/dc

T:\Lewisboro\Correspondence\LW2078JJ-LaurelRidge(Pine)-BondReduction-Memo-10-20-16.docx

Laurel Ridge Development Inc.
450 Oakridge Common
South Salem, New York 10590

October 5, 2016

Supervisor Peter Parsons
Town of Lewisboro
11 Main Street
South Salem, New York 10590

RE: Oakridge Water & Sewer Extension; Partial Release of Bond

Dear Supervisor Parsons:

Previously, we requested the Town Board release an initial portion (\$191,774) of the Cash bond we posted for the performance of our work in the extension of the water and sewer district to serve the Laurel Ridge Townhomes. The Security Agreement required by the Planning Board in connection with this work and the bond provides for an additional partial release of \$ 26,151 upon completion of the Water & Sewer Extension work of the South parcel allowing for utility services to Phase II Buildings 5 thru 8. That work has been completed and accepted for use by WCHD (see letter attached). Accordingly, we request the release of the \$26,151 per the terms of the Security Agreement.

Respectfully submitted,



Philip G. Pine

PRESIDENT

CC: Planning Board, Town of Lewisboro

Robert P. Astorino
County Executive

Shirley Amler, M.D.
Commissioner of Health

September 7, 2016

John Kellard, P.E.,
Kellard Sessions Consulting, P.C.
500 Main Street
Armonk, NY 10504

Re: Partial Certification of Sanitary Sewer
Main Extension
Oakridge Gardens – Phase II
Lewisboro (T)
Westchester County

Dear Mr. Kellard:

This Department hereby acknowledges the receipt of leakage test results, as-built plans, and the engineer's certification of construction compliance for the above-captioned sanitary sewer main extension.

A review of the information you submitted under the letter dated August 31, 2016 indicates that the sanitary sewer main installation complies with the terms and conditions of the approval of plans issued by this Department. The sewer main extension may be placed into service.

Very Truly Yours,



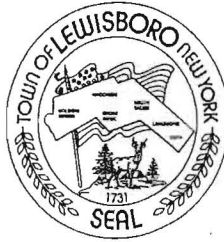
Delroy Taylor, P.E.
Associate Engineer
Bureau of Environmental Quality

DT:fb

Cc: Philip Pine, Oakridge Gardens, Owner
Peter Barrett, Building Inspector, Town of Lewisboro
Shohreh Karimpour, P.E., NYSDEC
Thomas Lauro, P.E., WCDEF
File

TOWN OF LEWISBORO
Westchester County, New York

Planning Board
PO Box 725
Cross River, New York 10518



Tel: (914) 763-5592
Fax: (914) 763-3637
Email: planning@lewisborogov.com

TO: Town of Lewisboro Town Board

FROM: Jerome Kerner – Chairman, Town of Lewisboro Planning Board

SUBJECT: Oakridge Gardens (Laurel Ridge) Release of Bond

DATE: October 19, 2016

Whereas, the Planning Board has received a written request from Laurel Ridge Development, Inc. (see attached) for the release of \$26,151 of a previously posted \$243,770 performance bond for the construction of water and sewer improvements servicing the Laurel Ridge Townhome project; and

Whereas, the Planning Board, upon approval of the Town Board, may reduce the required amount of performance security following due notice and a public hearing;

It is therefore hereby resolved, that the Town Board be notified that the Planning Board seeks approval authorizing it to consider and act upon the requested bond reduction; and

It is further resolved, that, in anticipation of Town Board approval and authorization, the bond reduction request be tentatively placed on the Planning Board's November 15, 2016 agenda for public hearing.

Laurel Ridge Development Inc.

450 Oakridge Commons

South Salem, New York 10590

Telephone 914-533-7519

September 20, 2016, 2016

Town of Lewisboro Planning Board

20 Cross River Shopping Center at Orchard Square

Suite L

Cross River, New York 10518

Attention: Ciorsdan Conran, Secretary

RE: Laurel Ridge Townhomes

Sheet 49D, Block 9830, Lots 279 & 325

Cal # 6-02 P.B.

Dear Chairman Kerner and Members of the Planning Board:

The following is presented in response to Jan K. Johannessen, Town Planner's Memorandum dated September 14th which addressed the items presented in our August 23rd submission to the Planning Board.

In support and documentation of our request for the release of the Phase II portion of the Performance Bond for the Sewer & Water Extension we submit herewith; a copy of the Security Agreement for Construction of Water & Sewer Improvements and a copy of a letter from WCHD dated September 7, 2016 confirming their acceptance of Phase II of the Water & Sewer Main Extension. Please note, section 3.b) of the Security Agreement sets forth the partial release amount for Phase II of \$26,151. We request a letter from the Planning Board to the Town Board (OW & OS) acknowledging your approval of the partial release amount.

As noted in our August 23rd letter to the Planning Board we divided the items for consideration into two parts. Each of the three items in Part 1 relate to approving material specification changes only and do not involve either adding, subtracting or changing the location of any of these improvements. We believe in each case, we are seeking Planning Board acceptance of an equivalent product or material. We believe each of these changes make a better product and enhances market acceptance. We are asking for a green light on these three specification changes so we can continue on our schedule to complete site and building improvements needed for final sign off and C of O's.

PART 1:

Substituting Belgium Block curbing for Concrete curbing in all areas of Phase II and Phase III. See SP-4a with highlight of all concrete curb areas that will be done in Belgium Block.

Changing the material spec of the proposed screening fence along the easterly property line of Phase II from wood to PVC. The fence style (solid privacy), height (6'), spacing between posts (8') are the same as the original proposal and conforms to the Town Zoning Code. We would like to point out that the original fence proposal dates to 2003. Since that time, the fencing industry has moved to product lines that utilize man-made materials from sustainable sources and that are more resistant to rot and decay and require little or no maintenance. This spec change will help the unit owners Association keep common element maintenance expenses lower. The existing fence shown on the Site Plan will be removed. A material spec sheet and photo of a 100' section is provided.

Changing the material specifications on the rear patios from poured concrete to concrete pavers or bluestone. This change is requested to provide an enhancement of the marketability of the townhomes. We and most of the marketplace consider this a better product.

PART 2:

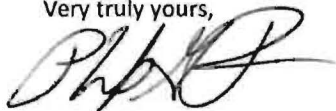
Throughout the marketing of the Laurel Ridge townhomes we have had a number of prospects inquiring about the availability of 3 bedroom units. As we moved into the 2nd Phase of the development we introduced the 1st Floor Master Bedroom alt plans. Our buyer profiles are empty nesters currently living in significantly larger single family homes often 5000 sf with 4 or more bedrooms. Although most if not all of these buyers will use 1 or 2 bedrooms, many are asking for the three bedroom townhome to accommodate guests or family visits.

As noted in Jan Johannessen's response, item #3; three bedroom vs two bedroom has no effect on the required parking spaces. In response to his item #4, we have submitted a letter request (copy enclosed) to the Town (Water & Sewer Companies) asking for their determination of sufficient water supply and sewer capacity if the bedroom count of Laurel Ridge is increased by 18. Attached is our preliminary analysis of the Water & Sewer System adequacy for handling an additional 18 bedrooms. Also attached is a Schedule showing the 2015 and 2016 to date gpd volumes for water consumption and sewer treatment levels. This data was provided by VRI Environmental Services, the licensed contracted operator of both plants.

Item #2 of Jan's Memorandum addresses the density issue relating to changing 18 two bedroom units to three bedroom units. We understand the current Planning Board approval of 46 two bedroom units uses the maximum DU (Density Units) permitted on the 9.193 acre site. Further the change of 18 units to three bedroom would increase the overall site DU calculation by 3 DU over the level currently permitted by zoning. We would like to point out that this change would have no effect on the building footprints (land coverage) or the size (sf and volume) of the buildings or units. The architects plans showing elevation of building 6 were presented to show the window changes in a "typical building" as a result of adding a third bedroom. As the DU calculation and number of Dwelling Unit determination is a Zoning matter, we believe this change will require a Zoning variance.

All of our requests for alteration or amendments to the Planning Board Resolution has been driven by our interest in improving the development and the product. We hope the Board agrees and allows us to proceed in the process.

Very truly yours,



Philip G. Pine

President

Attachments:

Security Agreement (Performance Bond)

WCHD Phase II Water & Sewer Extension Approval

Analysis of Impact of 18 Three Bedroom on Water & Sewer

Actual GPD data on 2015 & 2016 Water & Sewer system usage.

**SMITH RIDGE HOUSING LLC
SECURITY AGREEMENT FOR CONSTRUCTION OF
WATER AND SEWER IMPROVEMENTS TO BE CONVEYED TO
OAKDRIDGE WATER AND SEWER DISTRICTS**

THIS SECURITY AGREEMENT made the 27th day of AUGUST, 2013 by **SMITH RIDGE HOUSING LLC**, a New York limited liability company, with offices located at 450 Oakridge Commons, South Salem, New York 10590 ("**Smith Ridge**").

WITNESSETH:

WHEREAS, Smith Ridge is the owner of certain property located on the northerly and southerly side of Oakridge Drive (a private access road within the Oakridge condominium complex located on the westerly side of Smith Ridge Road (NYS Route 123) in the Hamlet of Vista, Town of Lewisboro, Westchester County, New York as designated on the Town of Lewisboro Tax Maps as Sheet 49L, Block 9830, Parcel 1-A-8 and Sheet 49M, Block 9830, Parcel 1-A-9, now known as Laurel Ridge (the "**Laurel Ridge Property**"); and

WHEREAS, by Resolution adopted on September 24, 2012, the Lewisboro Planning Board granted approvals pertaining to the development of multi-family residences on the Laurel Ridge Property (the "**Resolution**"); and

WHEREAS, in connection with the development of Laurel Ridge, Smith Ridge has proposed to construct certain water and sewer mains, laterals and the necessary valves, hydrants fittings and appurtenances (the "**Utility Improvements**") on the Laurel Ridge Property in accordance with the plans prepared by Kellard Sessions Consulting, P.C. (the "**Plans**") as detailed in the Resolution and as same may thereafter have been or will be amended with the approval of the Town of Lewisboro (the "**Town of Lewisboro**"); and

WHEREAS, by approvals dated September 13, 2012, the Westchester County Department of Health approved the Plans for the Utility Improvements; and

WHEREAS, Condition SP 39 of the Resolution requires that Smith Ridge post a bond or letter of credit with the Town of Lewisboro in the amount of \$243,770.00 which amount represents the estimated cost of the water and sewer improvements to be conveyed to the Oakridge Water and Sewer Districts; and

WHEREAS, in compliance with said Condition SP39, Smith Ridge has elected to deposit with the Town of Lewisboro the said sum of \$243,770.00 in cash as and for its bond (the "**Bond**").

NOW, THEREFORE, Smith Ridge hereby agrees, as follows:

1. Smith Ridge will install the Utility Improvements in accordance with the Plans and the Resolution.
2. The condition of this Security Agreement is that Smith Ridge shall be held and firmly bound to the Town of Lewisboro in said sum of \$243,770.00 as security for the completion of the installation of the Utility Improvements in accordance with the Plans and the Resolution.
3. The Town of Lewisboro shall release the Bond and deliver same to Smith Ridge, or its designee, as follows:
 - a) Upon completion of the installation of the Utility Improvements for Phase I (Units #1 - #19), the Town of Lewisboro shall release the sum of \$190,281.00; and
 - b) Upon completion of the installation of the Utility Improvements for Phase II (Units #20 - #36), the Town of Lewisboro shall release the sum of \$26,151.00; and
 - c) Upon completion of the installation of the Utility Improvements for Phase III (Units #37 - #46), the Town of Lewisboro shall release the remaining sum of \$27,338.00.
4. For the purposes hereof, "completion of the installation of the Utility Improvements" shall be evidenced by the appropriate inspection report of the Town of Lewisboro's Engineer certifying that said improvements have been satisfactorily completed, the issuance of a Completed Works Certificate permitting operation of the Utility Improvements by the Westchester County Department of Health and acceptance of the Utility Improvements by the Oakridge Water and Oakridge Sewer Districts, as applicable.
5. As set forth in the following instruments of record, upon completion of the installation of the Utility Improvements, the Utility Improvements shall become and remain the property of the Oakridge Water and Oakridge Sewer Districts, as the case may be:

Laurel Ridge Declaration of Water Lines, Pump House and Well, Easement to Oakridge Water District dated June 20, 2013 and recorded in the Westchester County Clerk's Office, Division of Land Records on July 9, 2013 under Control #531763614.

Laurel Ridge Declaration of Sewer Lines Easement to Oakridge Sewer District dated June 20, 2013 and recorded in the Westchester County Clerk's Office, Division of Land Records on July 9, 2013 under Control #531763623.

6. This Agreement shall run with the land and shall be binding upon, and inure to the benefit of, the respective parties hereto and their successors and assigns.

7. This Agreement shall not be amended or modified except by an instrument executed by Smith Ridge and approved by the Town of Lewisboro.

IN WITNESS WHEREOF, Smith Ridge has executed this Agreement as of the date first above written.

SMITH RIDGE HOUSING, LLC

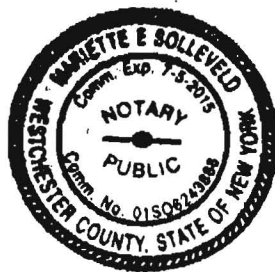
By: *Philip G. Pine*
Philip G. Pine, Member

ACKNOWLEDGEMENT

State of New York)
County of Westchester) ss.:

On the th 27 day of August in the year 2013 before me, the undersigned, personally appeared **Philip G. Pine**, personally known to me or proved to me on the basis of satisfactory evidence to be the individuals whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their capacities, and that by their signatures on the instrument, the individuals, or the persons upon behalf of which the individuals acted, executed the instrument.

Mariette E. Solleveld
Notary Public



LAUREL RIDGE DEVELOPMENT INC
450 OAKRIDGE CMNS
SOUTH SALEM, NY 10590-2438

WELLS FARGO BANK, N.A.
www.wellsfargo.com
51-110/211

1022

8/23/2013

PAY TO THE
ORDER OF Town of Lewisboro

\$ **243,770.00

Two Hundred Forty-Three Thousand Seven Hundred Seventy and 00/100*****

DOLLARS (

MEMO Cash Bond - WTS &



AUTHORIZED SIGNATURE

⑈0000001022⑈ ⑈021101108⑈ 7475157488⑈



Robert P. Astorino
County Executive

Sherlita Amler, M.D.
Commissioner of Health

September 7, 2016

John Kellard, P.E.,
Kellard Sessions Consulting, P.C.
500 Main Street
Armonk, NY 10504

Re: Partial Certification of Sanitary Sewer
Main Extension
Oakridge Gardens – Phase II
Lewisboro (T)
Westchester County

Dear Mr. Kellard:

This Department hereby acknowledges the receipt of leakage test results, as-built plans, and the engineer's certification of construction compliance for the above-captioned sanitary sewer main extension.

A review of the information you submitted under the letter dated August 31, 2016 indicates that the sanitary sewer main installation complies with the terms and conditions of the approval of plans issued by this Department. The sewer main extension may be placed into service.

Very Truly Yours,

Delroy Taylor, P.E.
Associate Engineer
Bureau of Environmental Quality

DT:fb

Cc: Philip Plne, Oakridge Gardens, Owner ✓
Peter Barrett, Building Inspector, Town of Lewisboro
Shohreh Karimpour, P.E., NYSDEC
Thomas Lauro, P.E., WCDEF
File



"OAKRIDGE GARDENS"

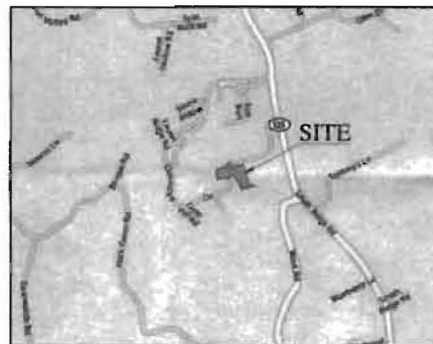
PHASE 2

TOWN OF LEWISBORO
WESTCHESTER COUNTY, NEW YORK

DATED: JUNE 1, 2016
REVISED: AUGUST 18, 2016

SITE DATA

OWNER/APPLICANT:	SMITH RIDGE CONSTRUCTION, LLC 202 OAKRIDGE COMMONS SOUTH SALEM, NEW YORK 10290
TAX MAP DESIGNATION:	TAX MAP 49-D, BLOCK 9330, LOT 279 & 325
PROPERTY ADDRESS:	202 OAKRIDGE COMMONS SOUTH SALEM, NY 10290
ZONING DISTRICT:	R-4F RESIDENTIAL MULTI-FAMILY
AREA:	9.19 ACRES



LOCATION MAP
N.T.S.

SHEET INDEX

SEWER AS-BUILT PLAN
AS-BUILT SEWER MAIN PROFILES
AS-BUILT SEWER DETAILS

SHEET 1
SHEET 2
SHEET 3

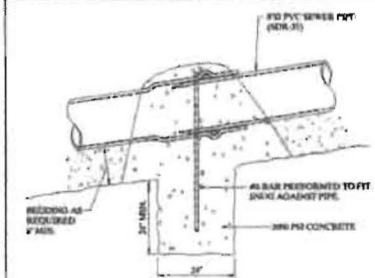
COPYRIGHT © 1994 WILLARD MATHSON
CONCRETE DESIGN, ENGINEERING, LANSING AND ARCHITECTURE
& PLANNING, P.C.
ALL RIGHTS RESERVED. UNAUTHORIZED
REPRODUCTION IS A VIOLATION OF
COPYRIGHT LAWS.

**KELLARD
SESSIONS**
CONFERENCES
EXHIBITORS: LIBRARY-RELATED Firms & SERVICES
79 Third Street • Boston, N.E. 02103
617/452-7000

1846 THE NEW YORK LEGISLATURE, 1846-1847, AND THE
ALLEGATIONS OF FUGITIVE SLAVERY: A RE-EVALUATION IN THE
LIGHT OF THE NEW YORK STATE CONSTITUTION

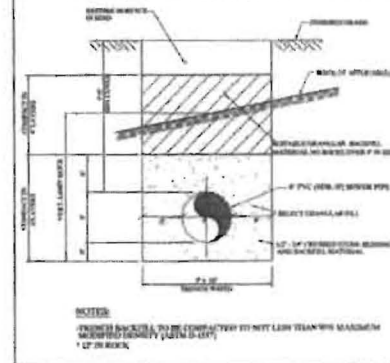
KELLARD SESSIONS CONSULTING ENGINEERS 10000 KELLARD DRIVE HOUSTON, TEXAS 77036 TEL: 281-410-0000 FAX: 281-410-0001 WWW.KELLARDSESSIONS.COM		AS-BUILT SEWER MAIN PROFILE OAKRIDGE GARDENS - PHASE 2	
PROJECT LOCATION: 10000 KELLARD DRIVE, HOUSTON, TEXAS 77036 PROJECT NO.: 10000 KELLARD DRIVE, HOUSTON, TEXAS 77036 DRAWING NO.: 10000 KELLARD DRIVE, HOUSTON, TEXAS 77036 DATE: 10/10/2010		SHEET NO.: 2 OF 3 SCALE: 1" = 10'	

Sewer Anchor (N.T.S.)



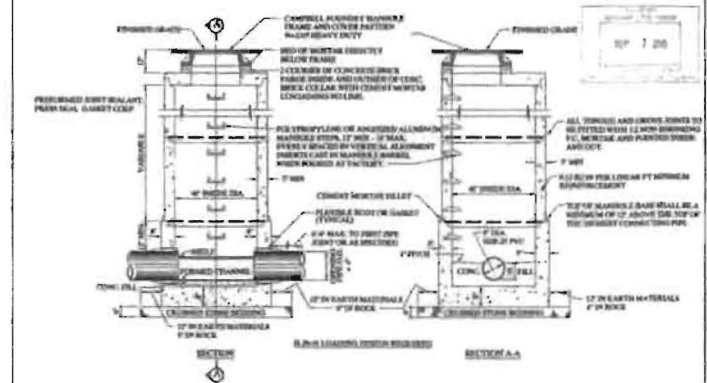
- NOTES:**
- ANCHORS ON 10 PERCENT SLOPE OR GREATER SHALL BE ANCHORED SECURELY WITH CONCRETE ANCHORS SPACED AS FOLLOWS:
 - NOT OVER 16 FEET CENTER TO CENTER ON GRADES 10 PERCENT AND UP TO 10 PERCENT
 - MAY OVER 16 FEET CENTER TO CENTER ON GRADES 10 PERCENT AND UP TO 10 PERCENT
 - NOT OVER 16 FEET CENTER TO CENTER ON GRADES 10 PERCENT AND OVER

Sewer Pipe Trench Detail (N.T.S.)



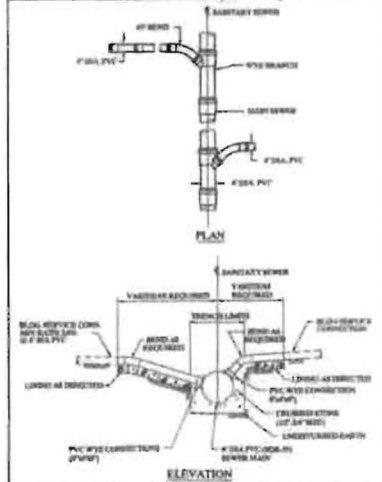
- NOTES:**
- ANCHOR SHALL BE TO BE CONSTRUCTED BY NOT LESS THAN 1/2\"/>

Precast Concrete Sewer Manhole (N.T.S.)

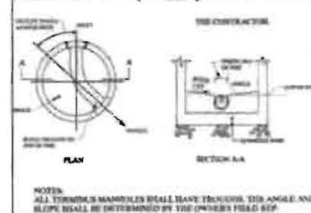


- NOTES:**
- CONCRETE SHALL NOT BE USED FOR OTHER MANHOLES.
 - ANY MANHOLE IN EXISTING DITCH SHALL BE 10\"/>

Sanitary Sewer Building Connection (N.T.S.)



Manhole Trough (N.T.S.)



- NOTES:**
- ALL TROUGH MANHOLES SHALL HAVE TROUGH, 1/2\"/>

AS-BUILT NOTES

- ALL IMPROVEMENT TO THE SEWER AND WATER (EXCEPT THE PLANT) SHALL BE FULLY ENGINEERED AND COMPLETED BY CONTRACTOR WITH THE ENGINEERING REPORT, PLANS AND SPECIFICATIONS ORIGINALLY APPROVED BY THE BOARD ON SEPTEMBER 13, 2011. ANY OTHER PLANS AND SPECIFICATIONS APPROVED BY THE BOARD ON MARCH 26, 2014.
- ALL AS-BUILT INFORMATION WAS SURVEY LOCATED BY ADDRESS & BEAD MAY 2014.

KELLARD SESSIONS (CONSULTING)		AS-BUILT SEWER DETAILS OAKRIDGE GARDENS - PHASE 2	
PROJECT NO. 12-000000 DATE 12/12/14 BY J. KELLY CHECKED BY J. KELLY APPROVED BY J. KELLY		PROJECT NO. 12-000000 DATE 12/12/14 BY J. KELLY CHECKED BY J. KELLY APPROVED BY J. KELLY	
PROJECT NO. 12-000000 DATE 12/12/14 BY J. KELLY CHECKED BY J. KELLY APPROVED BY J. KELLY		PROJECT NO. 12-000000 DATE 12/12/14 BY J. KELLY CHECKED BY J. KELLY APPROVED BY J. KELLY	

Analysis of LRD Request to Increase Units Size to 3 BR on the Water & Sewer Systems

08/03/16

GIVEN:

NYSDEC Water Taking Permit for 80,000 gpd for Oakridge Water District

Existing SPDES Permit allows for 80,000 gpd discharge from the Oakridge Sewer Treatment System

RE: Adequacy of Muni Water Supply

EAF (Part 3) Prepared by Kellard Sessions

Proposed Usage by 46 (2 Br) units

$$300\text{gpd}/2\text{Br} \times 46 = 13,800 \text{ gpd}$$

Delaware Engineering Report to WCHD

Avg Daily flows based on 2004 Actual Usage

58,808 gpd leaves an additional 21,000 gpd for new usage under existing DEC permit

Using the following gpd factors acceptable to WCHD to estimate revised daily water usgae

150 gpd/bedroom

$$2 \text{ Br} = 300 \text{ gpd}$$

$$3\text{Br} = 450 \text{ gpd}$$

Revised usage based on maximum number of 2 and 3 BR Units

$$2 \text{ Br} = 28 \times 300 \text{ gpd} = 8400 \text{ gpd}$$

$$3 \text{ Br} = 18 \times 450 \text{ gpd} = 8100 \text{ gpd}$$

$$\text{REVISED TOTAL for 46 Units} = 16,500 \text{ gpd}$$

The max gpd usage remains below the excess capacity (21,000 gpd) of the water supply system.

NOTE: The excess or available supply volume is prior to the addition of Well #3 to the system

RE: Adequacy of Waste Water Treatment System

Town of Lewsiboro Application to WCHD for Approval of Wastewater Disposal System prepared by

Kellard Sessions date Feb 16, 2012

Existing district water consumption = 55,000 gpd

Future district water consumption (after the addition of 46 units) = 66,040 gpd

NOTE: Not sure why additional gpd is 11,040 rather than 13,800 (300 x 46)

Existing wastewater treatment works avd daily flow = 42,000 gpd

Future wastewater treatment works avd daily flow = 53,040 gpd

NOTE: Not sure why additional gpd is 11,040 rather than 13,800 (300 x 46)

Revised usage based on maximum number of 2 and 3 BR Units

2 Br = 28 x 300 gpd = 8400 gpd

3 Br = 18 x 450 gpd = 8100 gpd

REVISED TOTAL for 46 Units = 16,500 gpd

Adding the Revised Total wastewater flow of 16,500 gpd to the pre Laurel Ridge daily volume of 42,000 gpd = 58,500 gpd which is well below the SDPES permit 80,000 gpd discharge.

2015 & 2016 Oakridge Water & Sewer Consumption

8/22/2016

MONTH	WATER (gpd)		SEWER (gpd)	
	2015	2016	2015	2016
JAN	45700	45000	52000	53000
FEB	46100	46200	51000	52000
MAR	43300	44500	56000	51000
APR	47300	45000	52000	50000
MAY	50700	49035	49000	51000
JUN	50200	55233	49000	47000
JUL	53200	59645	49000	
AUG	50400		46000	
SEP	50100		44000	
OCT	45800		47000	
NOV	44400		50000	
DEC	45000		52000	
	572200		597000	
Avg Daily	47683		49750	

Daily usage data provided by VRI Environmental Services

RESOLUTION ADOPTED BY THE TOWN BOARD
OF THE TOWN OF LEWISBORO
AT A MEETING HELD ON OCTOBER 24, 2016

RESOLVED, that the Town Board authorizes the partial release of a bond for Laurel Ridge in the amount of \$26, 151.00.

I, JANET L. DONOHUE, Town Clerk of the Town of Lewisboro, County of Westchester, State of New York, do hereby certify that I have compared the preceding copy of a Resolution adopted by the Town Board of the Town of Lewisboro at a meeting held on the 24th day of October, 2016, to the original thereof, and that the same is a true and exact copy of said original and of the whole thereof.

Town Clerk

Dated at South Salem, New York
this 25th day of October, 2016

TOWN OF LEWISBORO

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on November 15, 2016 at 7:30 p.m., or soon thereafter, at the Town Offices @ Orchard Square Plaza, Lower Level, Cross River, New York, regarding the following:

Cal # 6-02PB.

Request for partial release of bond submitted by Smith Ridge Housing, LLC 450 Oakridge Commons, South Salem, in accordance with Smith Ridge Housing, LLC, Security Agreement for Construction of Water and Sewer Improvements to be Conveyed to Oakridge Water and Sewer Districts. A copy of materials may be inspected at the office of the Planning Board Secretary, 20 Orchard Square, Suite L, Cross River, New York during the regular Planning Board hours. Persons wishing to object to the request should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to attend the Public Hearing and all will be provided an opportunity to be heard.

**PLANNING BOARD
TOWN OF LEWISBORO**

**By: Jerome Kerner
Chairman**

Dated October 25, 2016

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Planning Board in advance.

MEMORANDUM

TO: Chairman Jerome Kerner, AIA and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM, LMI
David J. Sessions, RLA, AICP
Town Consulting Professionals

DATE: November 9, 2016

RE: Subdivision Application
SSEL Corp. (Scott Frey)
Boway Road & Woodway Road
Sheet 38, Block 10808, Lot 1

Project Description

The subject property is located at the corner of Boway and Woodway Roads, consists of ±9.4 acres of land and is within the R-4A Zoning District. The subject property is currently vacant woodlands and contains wetlands that are jurisdictional to the Town of Lewisboro. The applicant is proposing a 2-lot subdivision and the construction of two (2) single-family homes to be served by individual driveways, septic systems and private potable water wells.

SEQRA

The proposed action is an Unlisted Action under the State Environmental Quality Review Act (SEQRA) and a coordinated review is not required. Prior to taking action on this pending application, the Planning Board must first issue a Determination of Significance.

Required Approvals

1. Preliminary and Final Subdivision Plat Approval is required from the Planning Board; a public hearing is required.
2. A Town Stormwater Permit is required from the Planning Board.
3. To the extent that any disturbance is proposed within the Town of Lewisboro regulated wetland buffer, a wetland permit would be required from the Planning Board.
4. Work proposed within the Town right-of-way will require a permit(s) from the Town Highway Superintendent.
5. Realty Subdivision Approval and the installation of proposed septic systems and wells will require the approval of the Westchester County Department of Health (WCDH).
6. Land disturbance will exceed 5,000 s.f. within the NYC East of Hudson Watershed and, therefore, coverage under the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-15-002) is required.

EAF Comments

- 1.12: As previously requested, the applicant must provide correspondence from the State Historic Preservation Office (SHPO) confirming that the project will not result in an impact to historic or cultural resources (this is also a requirement for obtaining coverage under GP-0-15-002).
- 1.13.b: Based on the house location associated with Lot 1, encroachment into the Town wetland buffer is proposed as previously requested, the wetland shall be identified and the extent of alterations shall be discussed.

Plan Comments

1. A preliminary subdivision plat has been submitted, as requested. The subdivision plat shall include zoning setbacks and dimensions and the limits of the contiguous buildable area, as shown on the site plans. The plat shall also include the lot width circle and lot depth measurements, as previously provided. The zoning table and all plans shall be updated to reflect the Lot 1 and Lot 2 acreage and property lines, as modified and as illustrated on Sheet S-3.

2. As previously requested and in compliance with Appendix A of the Subdivision Regulations, a location map shall be provided on the subdivision plat.
3. A sight easement has been provided on proposed Lot 1 at the corner of Woodway and Boway Roads, in compliance with Section 195-26E of the Subdivision Regulations. The sight easement on the plat shall be clearly indicated and metes and bound shall be provided. An enlargement of the sight easement shall be provided on the plat.
4. As previously requested, a wetland mitigation plan shall be prepared and submitted.
5. As previously requested, per Town Code, driveway grades shall not exceed 3% within the first 30 feet (measured from the edge of pavement) or 14% at any point; the grading plan and driveway profiles shall be revised to demonstrate compliance with this requirement. The driveway profiles shall also provide proposed grades and vertical curves at all grade transitions. It appears the driveway profiles have pertinent information missing and shall be updated as necessary.
6. The proposed driveway locations and curb cuts were reviewed in the field by this office and by the Highway Superintendent. Based on our observations, it is recommended that two (2) existing trees and 2-3 feet of an existing earthen berm be removed to the west of the Lot 1 driveway and along Boway Road. Further, the Lot 2 driveway entry should be shifted 23 feet to the south. The limit of disturbance, tree removal and associated grading shall be updated on all applicable plans to reflect the aforementioned recommendations. In addition, the Lot 2 driveway profile shall be updated.
7. As previously requested, the construction plans shall include a cut and fill analysis for each lot (separate for each lot).
8. A Stormwater Pollution Prevention Plan (SWPPP) prepared in conformance with Chapter 189 of the Town Code and the NYSDEC Stormwater Management Design Manual shall be provided for review and shall include stormwater mitigation for all proposed improvements. The applicant shall provide hydrologic design calculations demonstrating that the peak discharge rate for the 25-year design storm event has been mitigated for the net increase of stormwater runoff generated by the proposed improvements (gravel driveways, dwellings, walkways, patios, etc).
9. The proposed project will require coverage under the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-15-002). Therefore, the applicant shall prepare a NYSDEC Notice of Intent (NOI) and SWPPP MS4 Acceptance Form for review.

10. An erosion control plan was submitted for review. The erosion and sediment control plan shall be revised to provide locations for stabilized construction entrances and illustrate silt fence to be installed parallel to the contours. Additionally, the plan shall illustrate and note that the proposed area of septic fields and infiltration systems shall be cordoned off during construction to avoid compaction of underlying soils. Finally, the plans shall indicate the NYSDEC GP-0-15-002 inspection and reporting requirements.
11. Provide rim and invert elevations for all proposed stormwater management facilities.
12. As previously requested, a construction sequence schedule shall be provided on the erosion and sediment control plan.
13. As previously requested, construction details for all proposed improvements shall be provided, as appropriate.
14. As previously requested, the following notes shall appear on the construction plans and subdivision plat:
 - “Prior to the commencement of any site work, the limits of disturbance as illustrated on the construction plans and subdivision plat shall be staked in the field by a licensed land surveyor and confirmed by the Town Engineer.”
 - “Unless dead, diseased or determined to be a safety hazard, as confirmed by the Town Engineer, only those trees marked with an “X” on the tree plan shall be removed. Prior to the commencement of any site work, the trees shown to be removed on the tree plan shall be marked in the field with a brightly colored surveyors ribbon and confirmed by the Town Engineer.”
 - “The house and septic system shall be constructed within the contiguous buildable area as illustrated on the construction plans and subdivision plat.”
 - “Unless otherwise approved by the Planning Board, the house, driveway, septic system, well and stormwater facilities shall be constructed in the locations shown on the approved construction plans.”
 - “Land disturbance beyond the limit of disturbance line, as shown on the construction plans and subdivision plat, shall require the prior approval of the Planning Board.”

- Typical and Town specific construction and general notes shall be provided on the construction plans.
15. As previously requested, typical floor plans and elevations of the proposed homes should be provided.
16. As requested, the Town's standard signature blocks have been added to all sheets, including the subdivision plat (Planning Board Chairman, Planning Board Secretary, Town Engineer, and Owner/Applicant). To the extent practicable, the signature blocks shall be located on the right side of each plan sheet, shall be at a scale large enough for the required signatures and shall identify the owners name and address. Any duplicate signature blocks on the plans shall be removed.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

Plans Reviewed, prepared by John Karell, Jr., P.E., dated (last revised) October 5, 2016:

- Details & Profiles (D-1 and D-2)
- Existing Conditions (E-1)
- Existing Conditions with Trees (E-2)
- Preliminary Subdivision Plan Integrated Plot Plan (S-1)
- Steep Slope Plan (S-2)
- Contiguous Area Map (S-3)
- Erosion & Sediment Control Plan (S-4)
- Tree Plan (T-1)

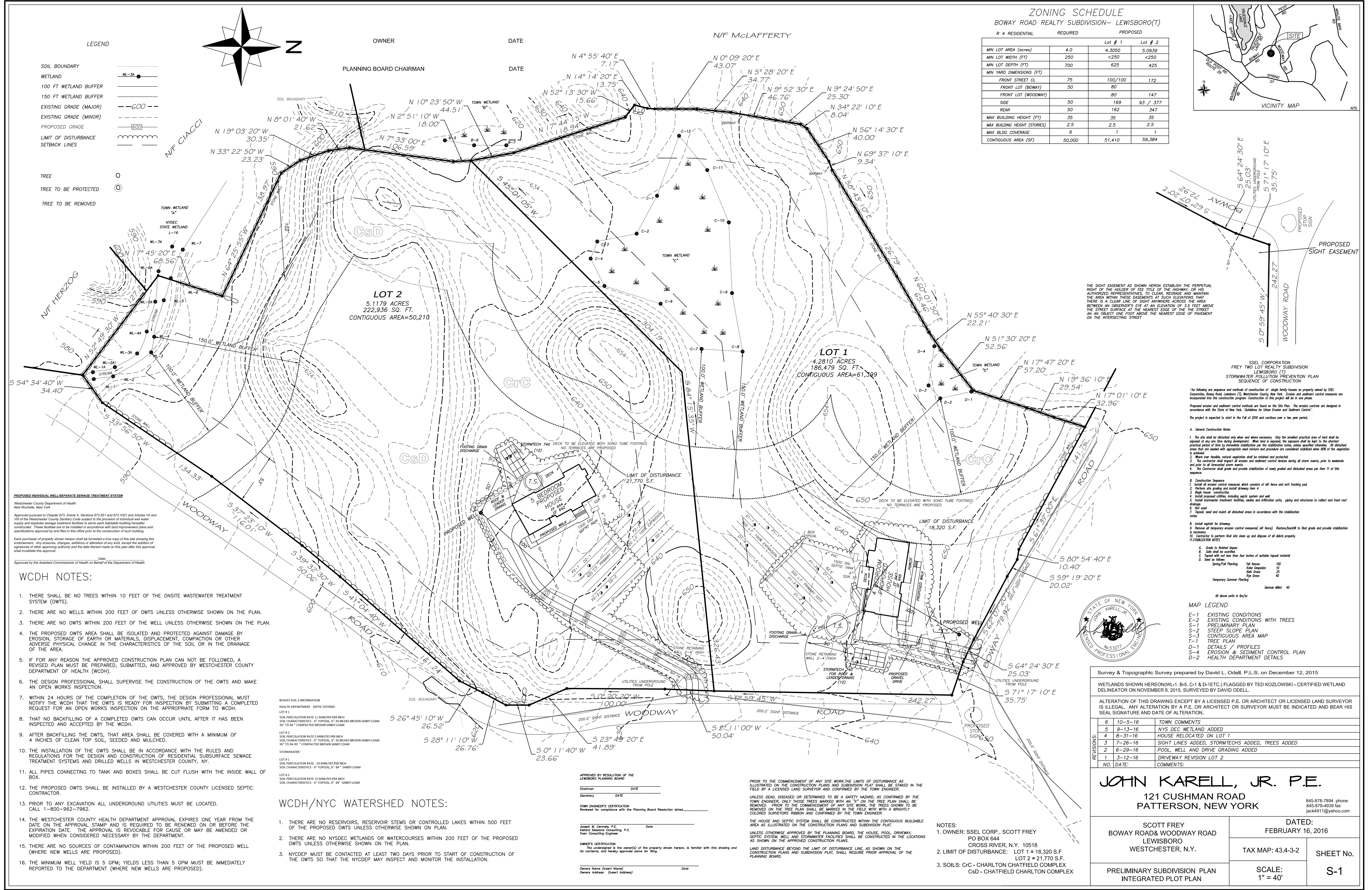
Plan Reviewed, prepared by David L. Odell, PLA and dated August 12, 2016:

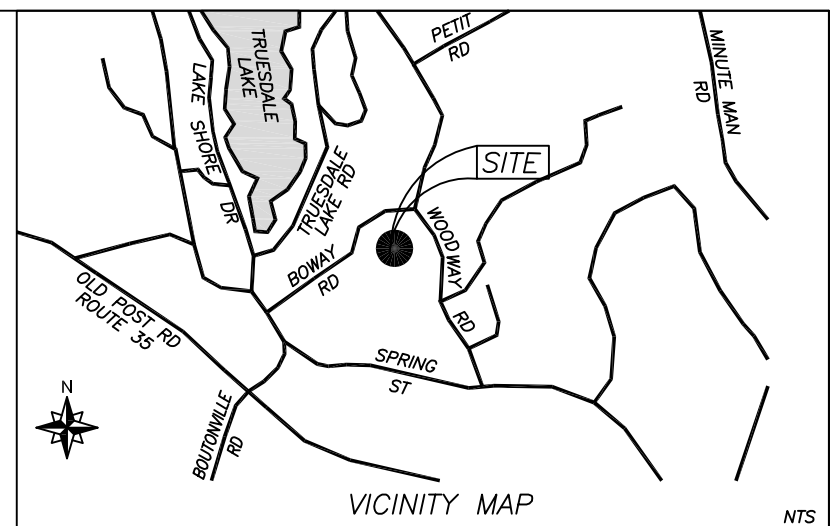
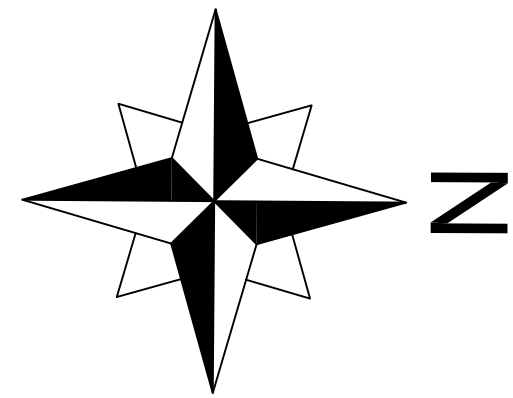
- Subdivision Plat of Property

Document Reviewed:

- Short Environmental Assessment Form, dated March 11, 2016

JKJ/JMC/DJS/dc





LEGEND

- SOIL BOUNDARY
WETLAND
100 FT WETLAND BUFFER
150 FT WETLAND BUFFER
EXISTING GRADE (MAJOR)
EXISTING GRADE (MINOR)
PROPOSED GRADE
LIMIT OF DISTURBANCE
SETBACK LINES
STEEP SLOPE



APPROVED BY RESOLUTION OF THE
LEWISBORO PLANNING BOARD

Chairman _____ DATE _____
Secretary _____ DATE _____

TOWN ENGINEER'S CERTIFICATION
Reviewed for compliance with the Planning Board Resolution dated: _____

Joseph M. Carmella, P.E.
Federal Station Consulting, P.C.
Town Consulting Engineer

OWNER'S CERTIFICATION
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and
its contents, and hereby approves same for filing.

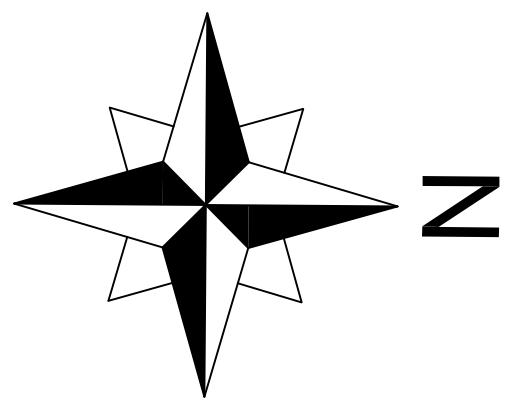
Owner Name (Insert Name) _____ Date _____
Owner Address (Insert Address) _____



Survey & Topographic Survey prepared by David L. Odell, P.L.S., on December 12, 2015		
WETLANDS SHOWN HEREON(WL-1, B-S, C-1 & D-1ETC.); FLAGGED BY TED KOZLOWSKI - CERTIFIED WETLAND DELINEATOR ON NOVEMBER 8, 2015, SURVEYED BY DAVID ODELL.		
ALTERATION OF THIS DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL. ANY ALTERATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL SIGNATURE AND DATE OF ALTERATION.		
REVISIONS:	NO.	DATE:
6	10-5-16	TOWN COMMENTS
5	9-13-16	NYS DEC WETLAND ADDED
4	8-31-16	HOUSE RELOCATED ON LOT 1
3	7-26-16	SIGHT LINES ADDED, STORMTECHS ADDED, TREES ADDED
2	6-29-16	POOL, WELL AND DRIVE GRADING ADDED
1	3-12-16	DRIVEWAY REVISION LOT 2
COMMENTS:		

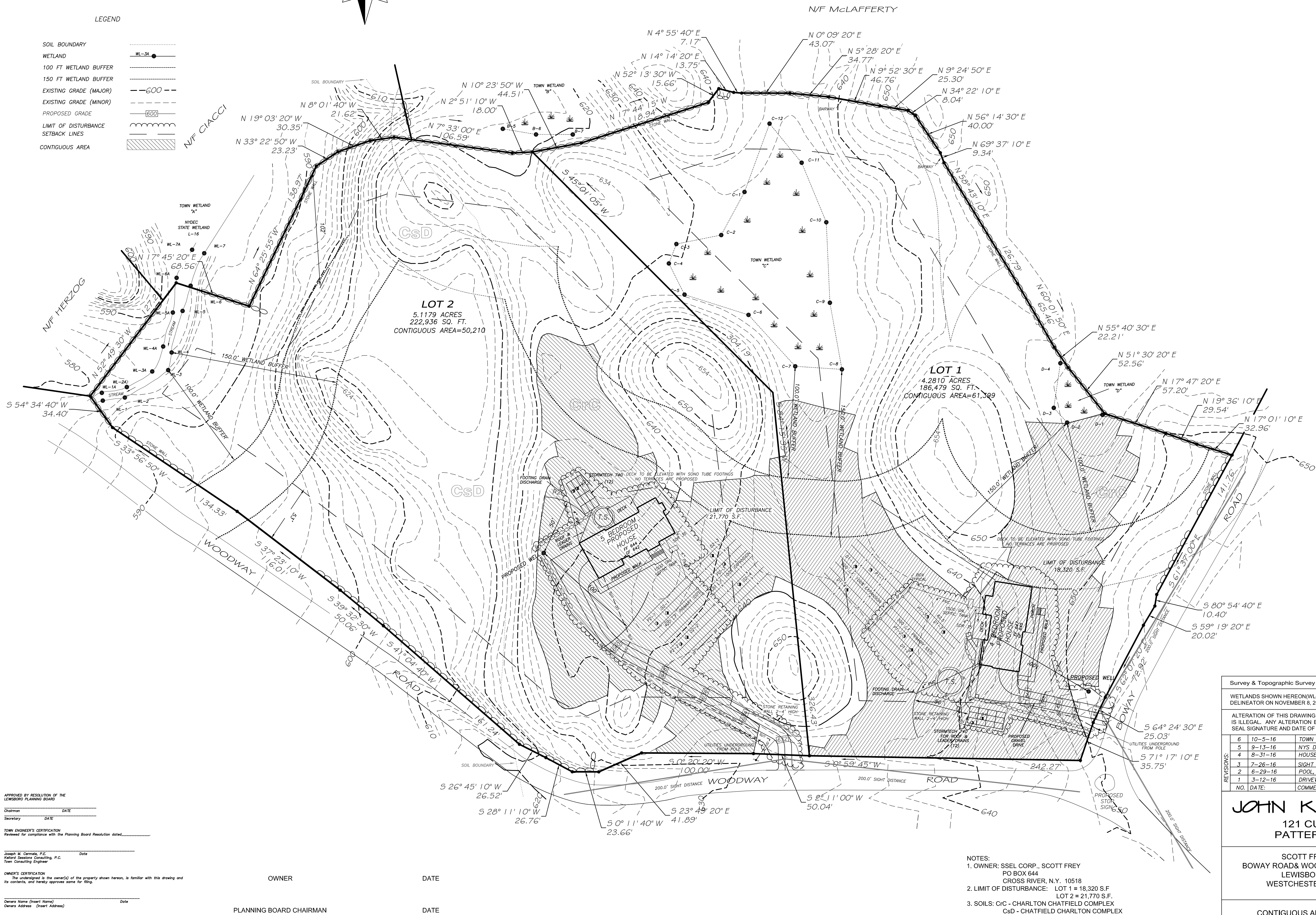
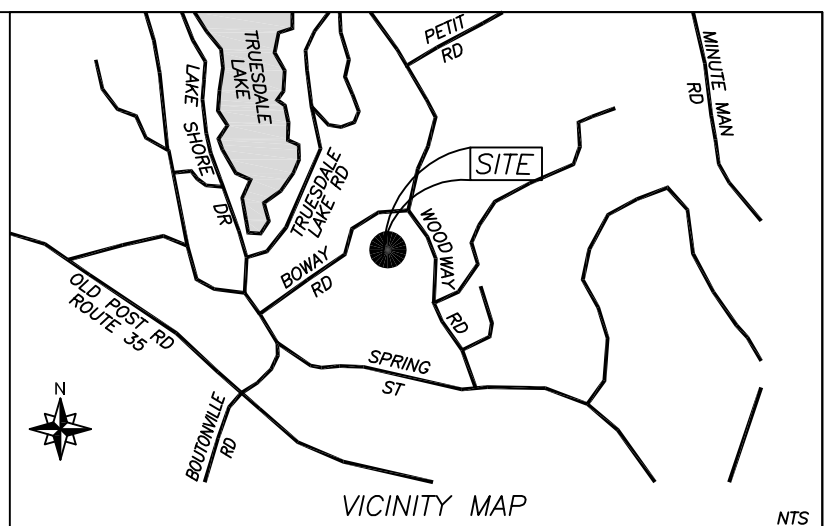
JOHN KARELL, JR. P.E. 121 CUSHMAN ROAD PATTERSON, NEW YORK 845-878-7894 phone 845-878-4939 fax jack4911@yahoo.com		
SCOTT FREY BOWAY ROAD & WOODWAY ROAD LEWISBORO WESTCHESTER, N.Y.	DATED: FEBRUARY 16, 2016	
	TAX MAP: 43.4-3-2	SHEET No.
STEEP SLOPE PLAN	SCALE: 1" = 40'	S-2

- NOTES:
1. OWNER: SSEL CORP., SCOTT FREY
PO BOX 844
CROSS RIVER, N.Y. 10518
 2. LIMIT OF DISTURBANCE: LOT 1 = 18,320 S.F.
LOT 2 = 21,770 S.F.
 3. SOILS: CrC - CHARLTON CHATFIELD COMPLEX
Csd - CHATFIELD CHARLTON COMPLEX



LEGEND

- SOIL BOUNDARY
WETLAND
100 FT WETLAND BUFFER
150 FT WETLAND BUFFER
EXISTING GRADE (MAJOR)
EXISTING GRADE (MINOR)
PROPOSED GRADE
LIMIT OF DISTURBANCE
SETBACK LINES
CONTIGUOUS AREA



Survey & Topographic Survey prepared by David L. Odell, P.L.S. on December 12, 2015

WETLANDS SHOWN HEREON(WL-1, B-5, C-1 & D-1ETC.) FLAGGED BY TED KOZLOWSKI - CERTIFIED WETLAND DELINEATOR ON NOVEMBER 8, 2015, SURVEYED BY DAVID ODELL.

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JOHN KARELL, JR. P.E.
121 CUSHMAN ROAD
PATTERSON, NEW YORK

845-878-7894 phone
845-878-4539 fax
jack4911@yahoo.com

SCOTT FREY
BOWWAY ROAD & WOODWAY ROAD
LEWISBORO
WESTCHESTER, N.Y.

DATED:
FEBRUARY 16, 2016

TAX MAP: 43.4-3-2

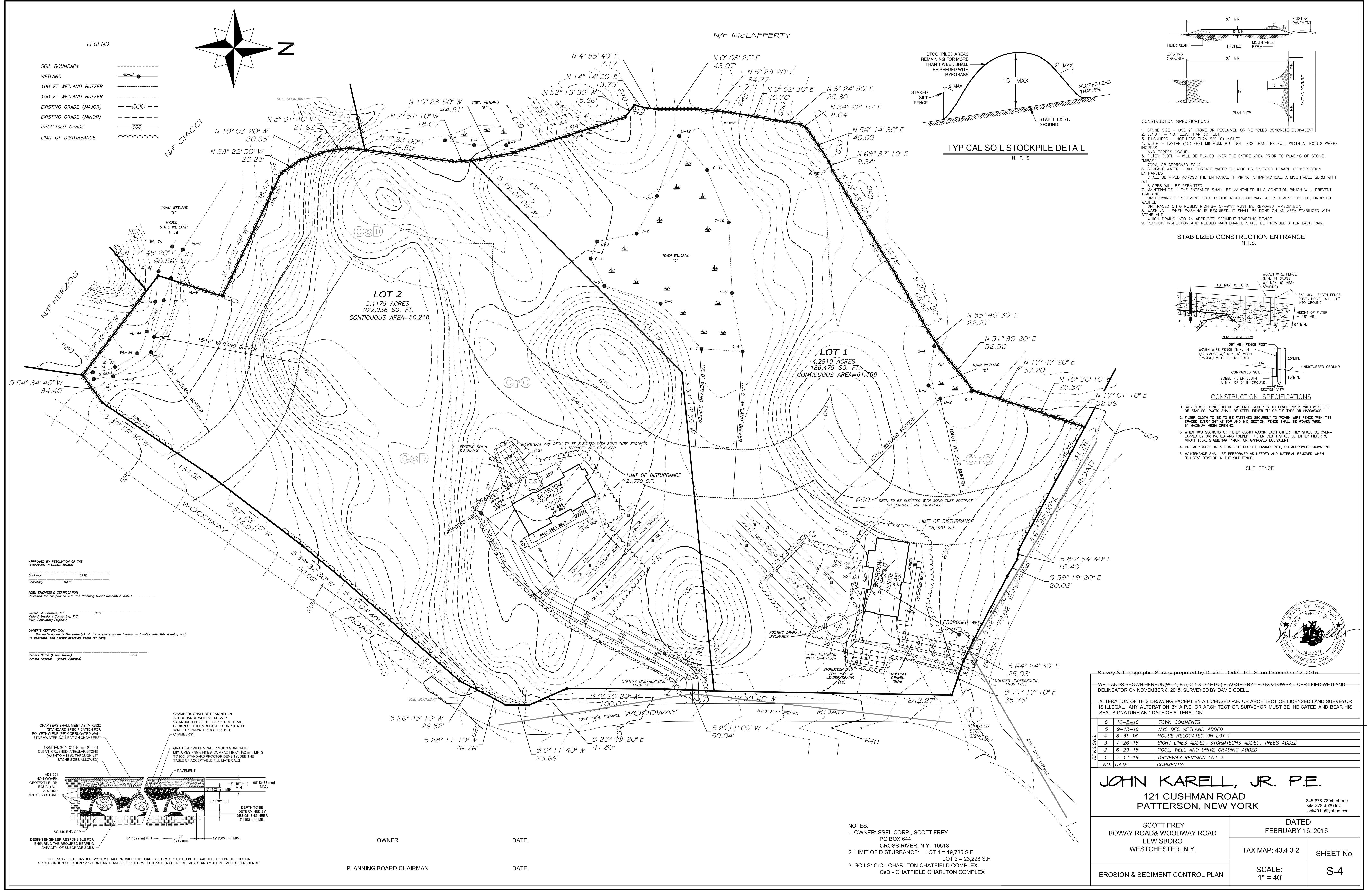
SHEET No.

CONTIGUOUS AREA MAP

SCALE:
1" = 40'

S-3

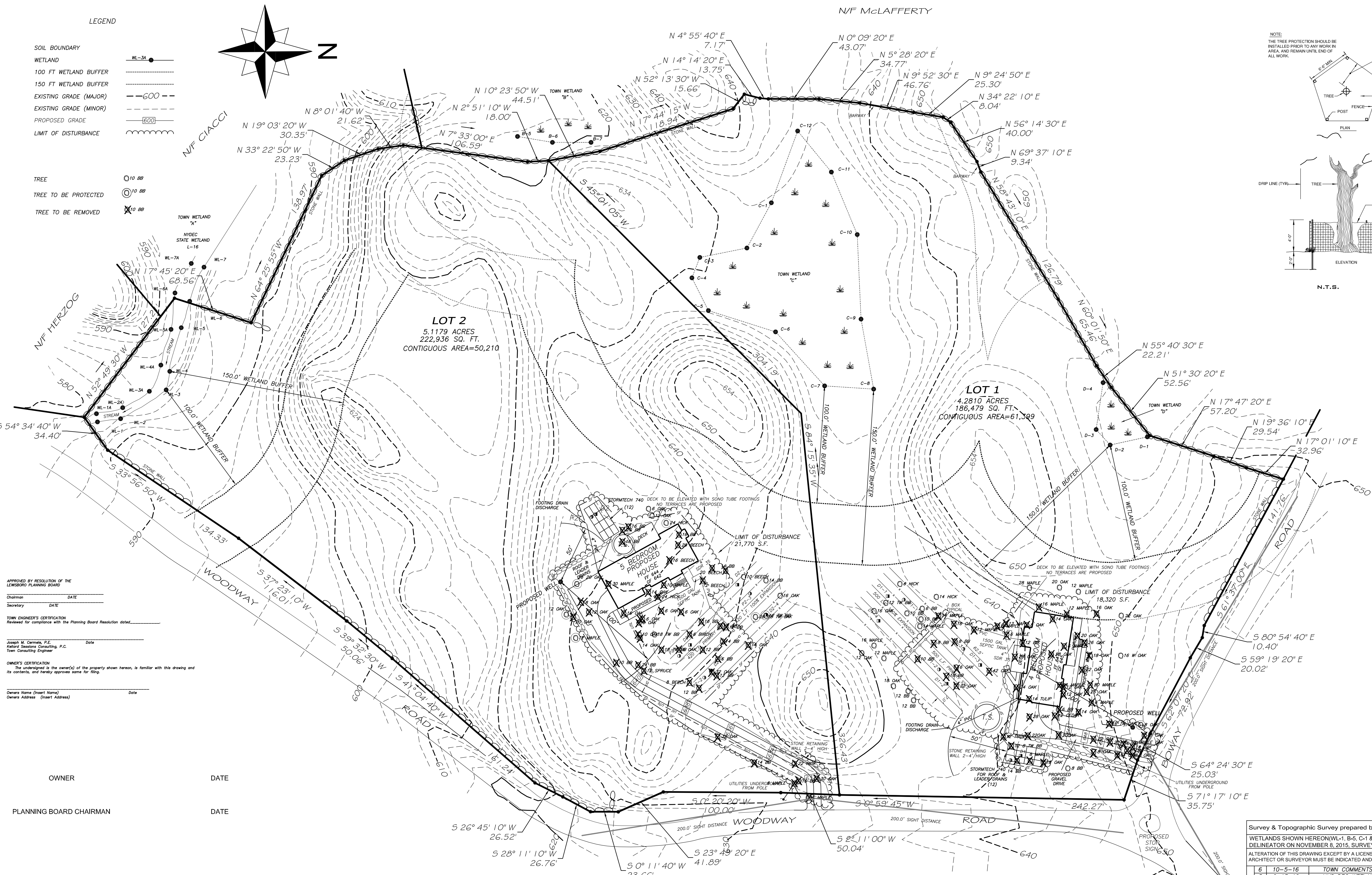
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- OWNER: SSEL CORP., SCOTT FREY
PO BOX 644
CROSS RIVER, N.Y. 10518
 - LIMIT OF DISTURBANCE: LOT 1 = 18,320 S.F.
LOT 2 = 21,770 S.F.
 - SOILS: CcC - CHARLTON CHATFIELD COMPLEX
Csd - CHATFIELD CHARLTON COMPLEX



LEGEND

SOIL BOUNDARY
WETLAND
100 FT WETLAND BUFFER
150 FT WETLAND BUFFER
EXISTING GRADE (MAJOR)
EXISTING GRADE (MINOR)
PROPOSED GRADE
LIMIT OF DISTURBANCE

TREE
TREE TO BE PROTECTED
TREE TO BE REMOVED



APPROVED BY RESOLUTION OF THE

LEWISBORO PLANNING BOARD

Chairman DATE

Secretary DATE

TOWN ENGINEER'S CERTIFICATION

Reviewed for compliance with the Planning Board Resolution dated

Joseph M. Carmelo, P.E.

Karlson Sessions Consulting, P.C.

Town Consulting Engineer

OWNER'S CERTIFICATION

The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name (Insert Name) DATE

Owners Address (Insert Address)

OWNER

DATE

PLANNING BOARD CHAIRMAN

DATE

NOTES:

1. ELEVATIONS SHOWN HEREON ARE GENERALLY IN ACCORDANCE WITH NAVD 1988 DATUM.

2. ADDITIONAL UNDERGROUND EASEMENTS, UTILITIES OR STRUCTURES ETC. OTHER THAN THOSE SHOWN HEREON MAY BE ENCOUNTERED.

3. THE SUBSURFACE INFORMATION SHOWN HEREON, IF ANY, IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS AND SHOULD BE VERIFIED BY THE CONTRACTOR BEFORE ANY EXCAVATION.

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David L. Odell, P.L.S.
Land Surveying Company
123 Cushman Road
Patterson, N. Y. 12563
(845) 225-0106

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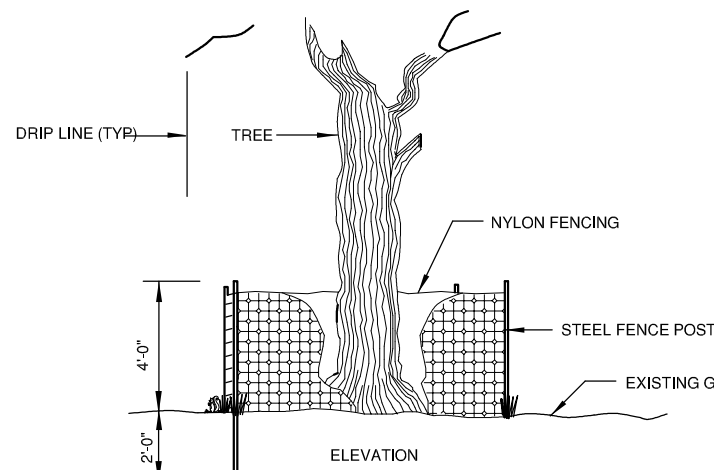
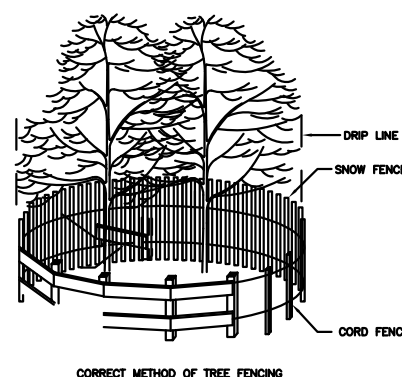
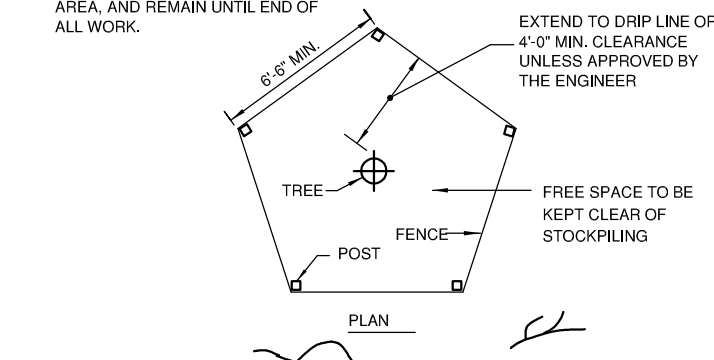
Unauthorized duplication is a violation of applicable laws

AREA = 9.399 ACRES
SHEET 38 BLOCK 10808, LOT 1

SURVEYED: DECEMBER 12, 2015
AND MAP PREPARED: FEBRUARY 3, 2016

WETLANDS SHOWN HEREON(WL-1, B-5, C-1 & D-1ETC.)
FLAGGED BY TED KOZLOWSKI - CERTIFIED WETLAND DELINEATOR
ON NOVEMBER 8, 2015

NOTE:
THE TREE PROTECTION SHOULD BE
INSTALLED PRIOR TO ANY WORK IN
AREA AND REMAIN UNTIL END OF
ALL WORK.



N.T.S.



Survey & Topographic Survey prepared by David L. Odell, P.L.S. on December 12, 2015

WETLANDS SHOWN HEREON(WL-1, B-5, C-1 & D-1ETC.) FLAGGED BY TED KOZLOWSKI - CERTIFIED WETLAND
DELINEATOR ON NOVEMBER 8, 2015. SURVEYED BY DAVID ODELL.

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ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL SIGNATURE AND DATE OF ALTERATION.

NO.	DATE	COMMENTS
6	10-5-16	TOWN COMMENTS
5	9-13-16	NYS DEC WETLAND ADDED
4	8-31-16	HOUSE RELOCATED ON LOT 1
3	7-26-16	SIGHT LINES ADDED, STORMTECHS ADDED, TREES ADDED
2	6-29-16	POOL, WELL AND DRIVE GRADING ADDED
1	3-12-16	DRIVEWAY REVISION LOT 2

JOHN KARELL, JR. P.E.

121 CUSHMAN ROAD
PATTERSON, NEW YORK

SCOTT FREY
BOWAY ROAD& WOODWAY ROAD
LEWISBORO
WESTCHESTER, N.Y.

SCALE:
1" = 40'LATEST
REVISION:

DATED:

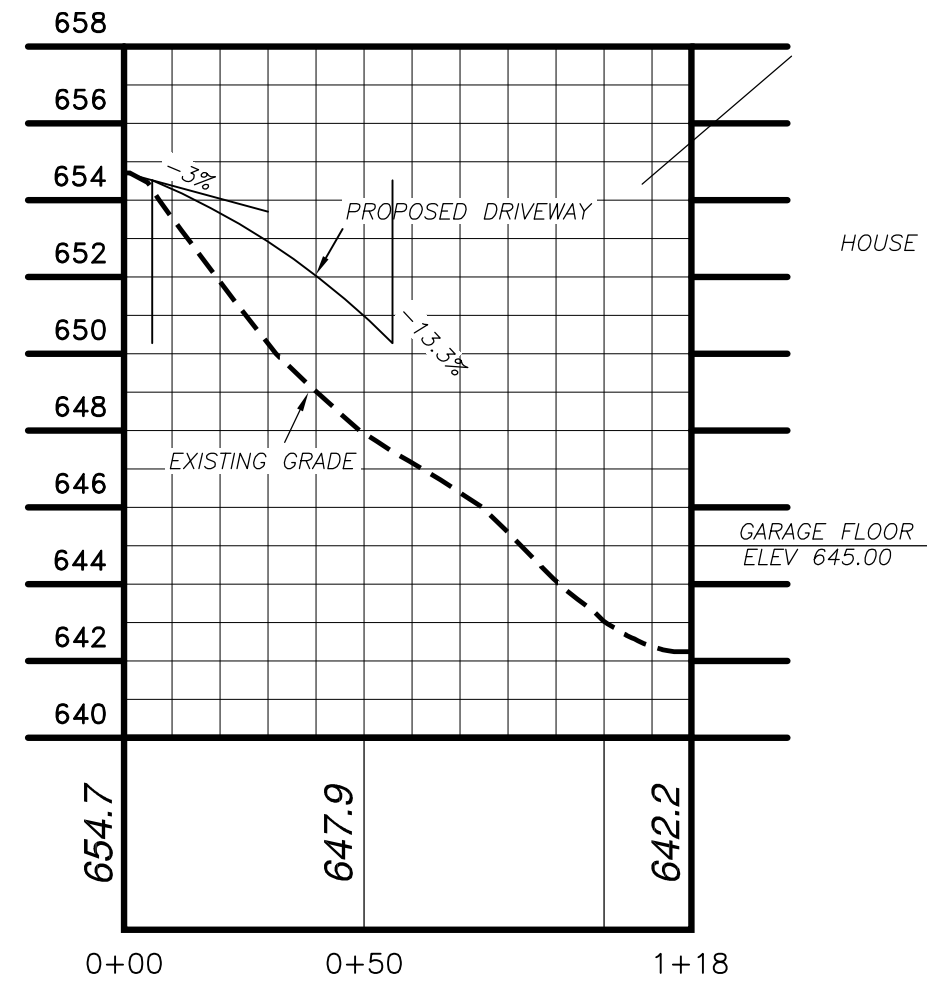
SHEET No.

CHECKED:

T-1

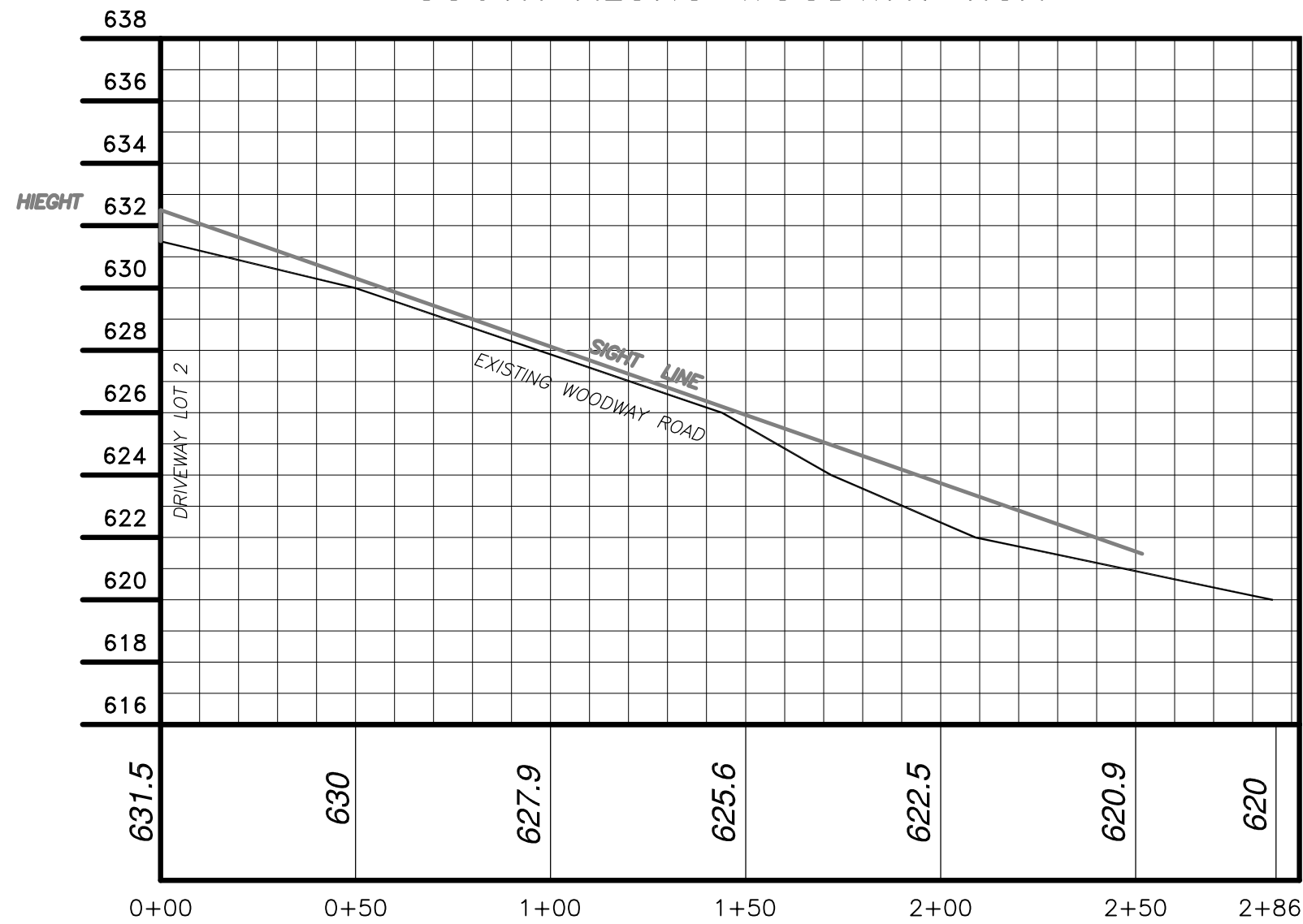
TREE PLAN

LOT 1
PROPOSED DRIVEWAY PROFILE



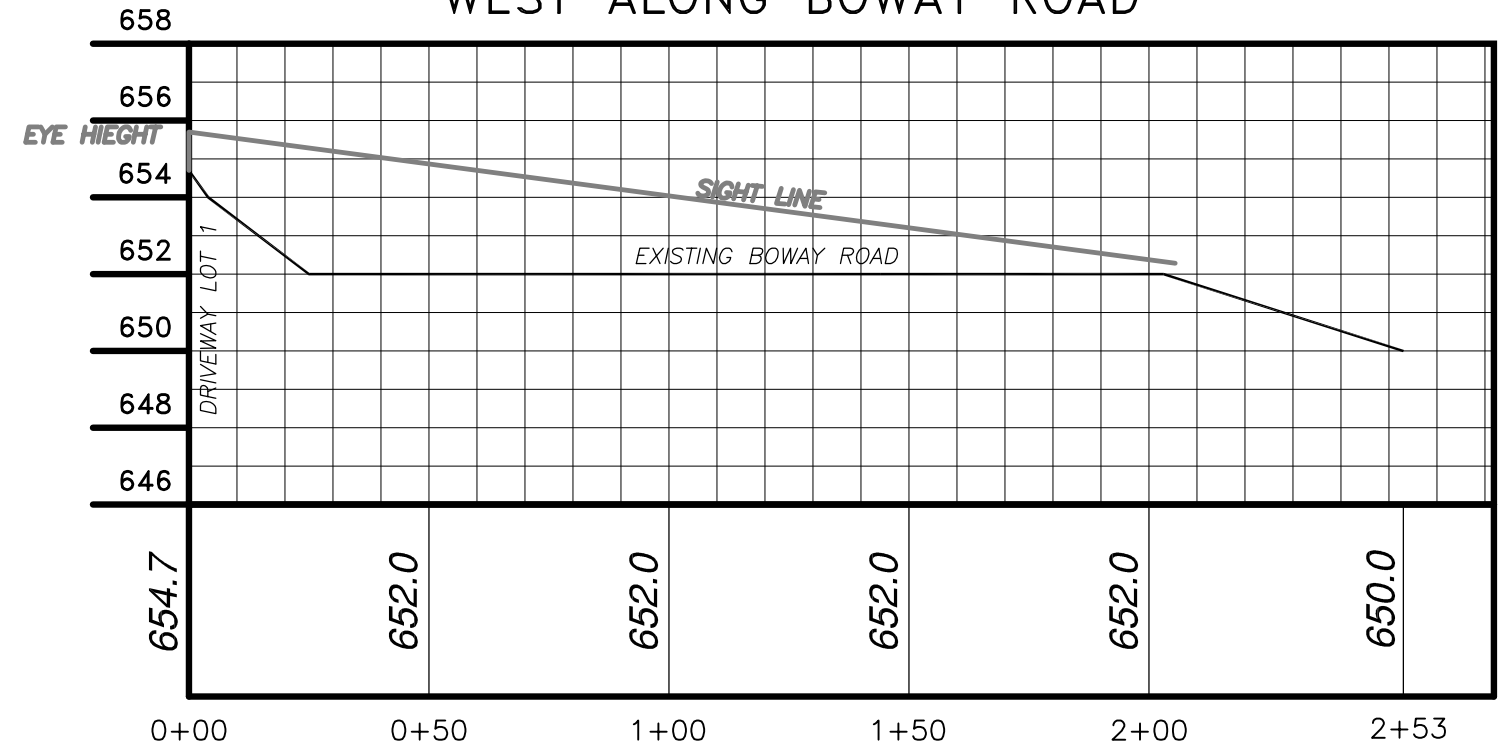
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HORIZ: 1"=40'
VERT: 1"=5'

SIGHT LINE LOT 2
SOUTH ALONG WOODWAY ROA



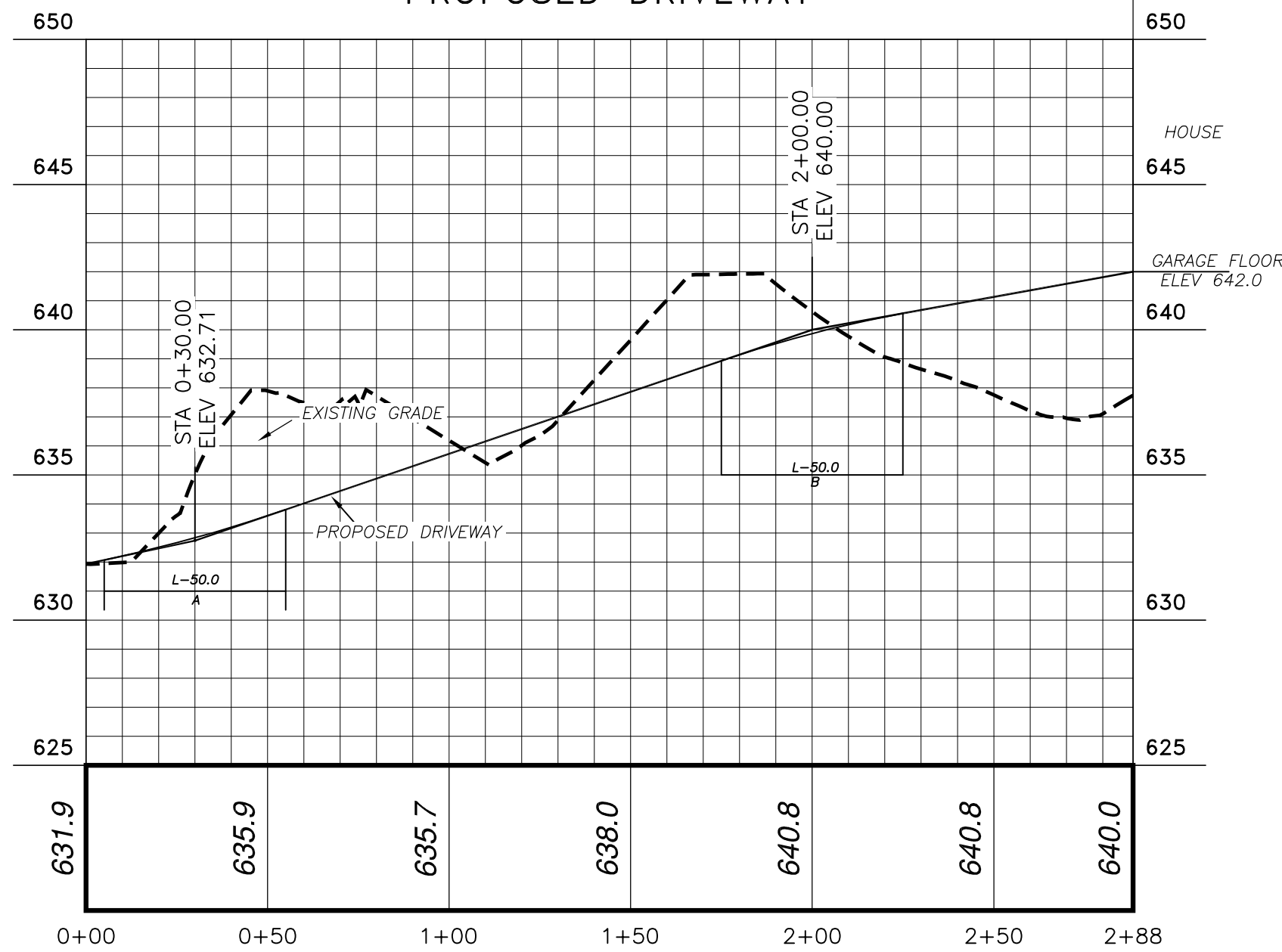
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SIGHT LINE LOT 1
WEST ALONG BOWAY ROAD



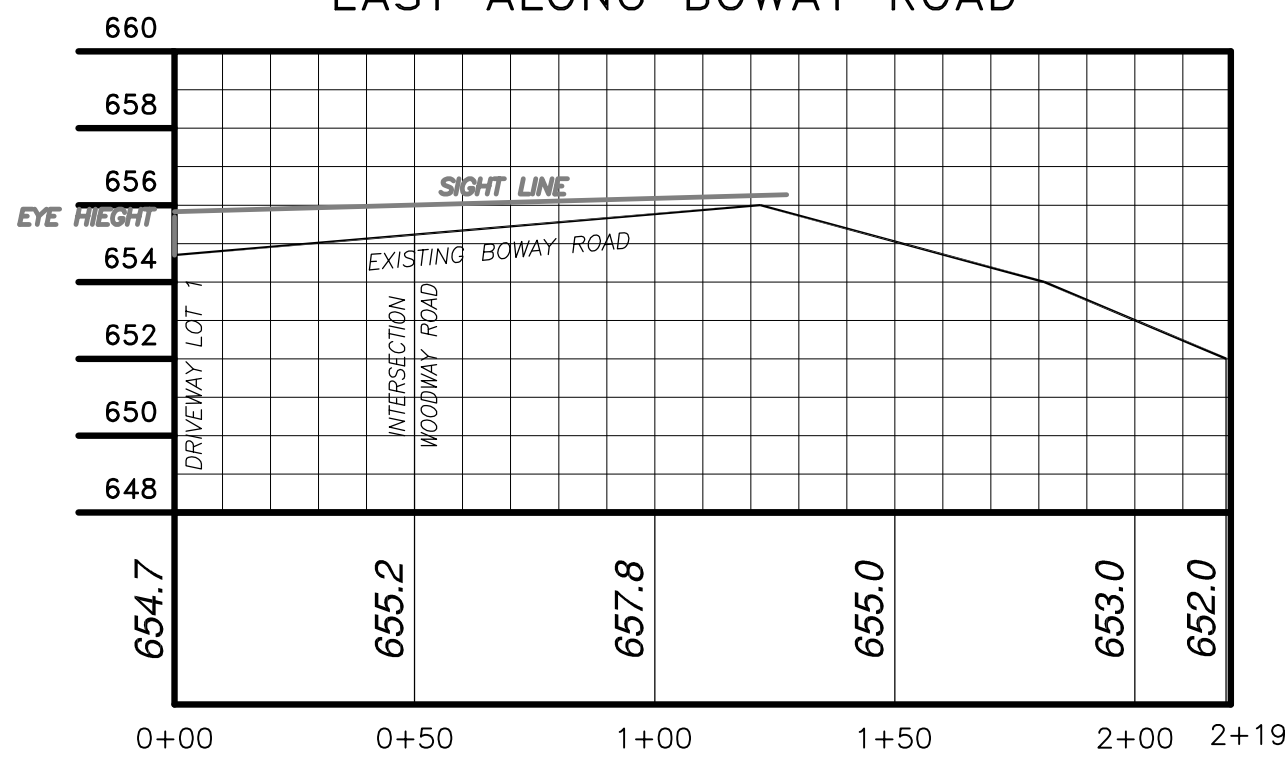
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VERT: 1"=5'

LOT 2
PROPOSED DRIVEWAY



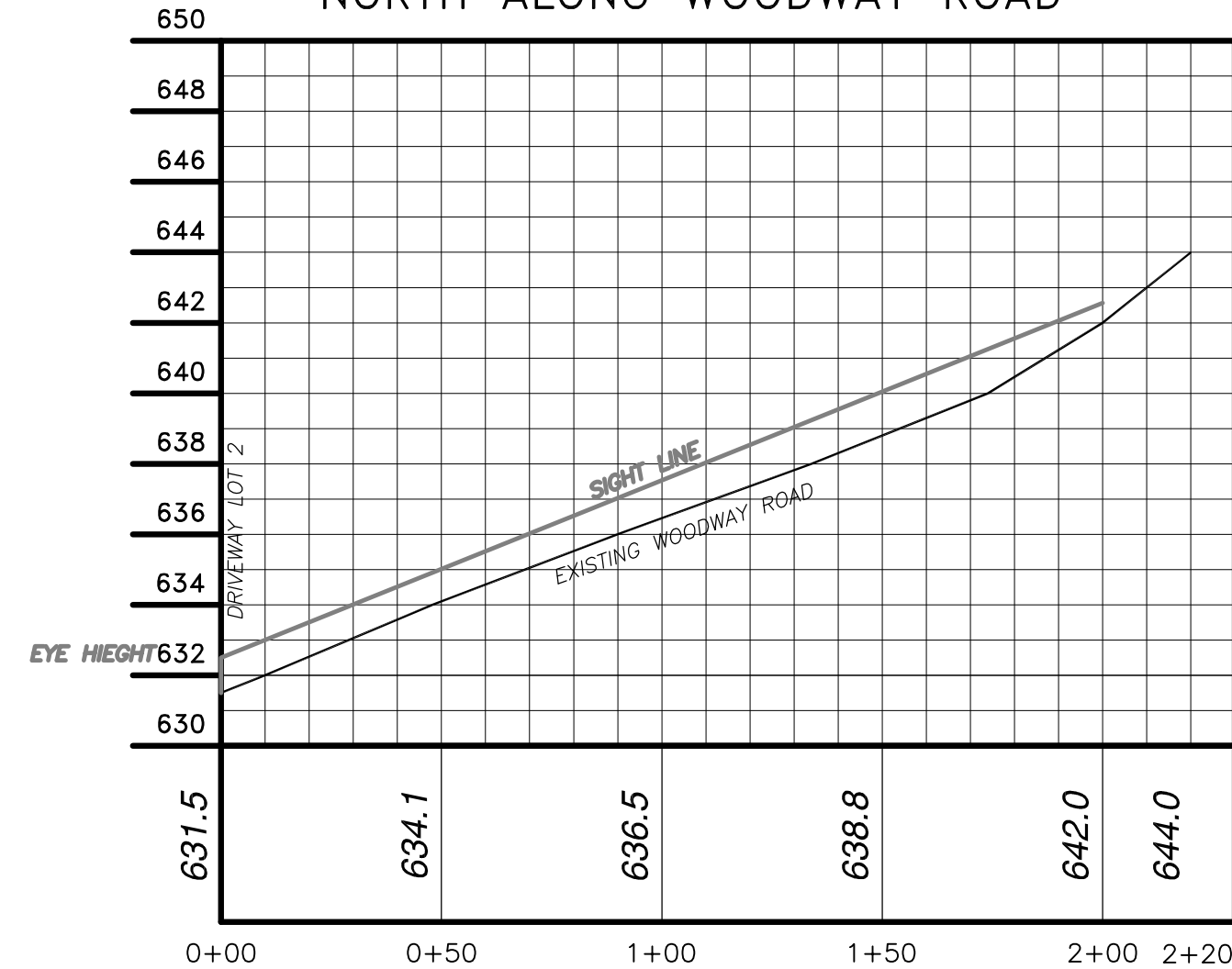
PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=5'

SIGHT LINE LOT 1
EAST ALONG BOWAY ROAD



PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=5'

SIGHT LINE LOT 2
NORTH ALONG WOODWAY ROAD



PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=5'

OWNER

PLANNING BOARD CHAIRMAN

APPROVED BY RESOLUTION OF THE
LEWISBORO PLANNING BOARD
Chairman _____ DATE _____
Secretary _____ DATE _____

TOWN ENGINEER'S CERTIFICATION
Reviewed for compliance with the Planning Board Resolution dated _____
Joseph M. Carmelo, P.E. _____ Date _____
Kellard Sessions Consulting, P.C.
Town Consulting Engineer

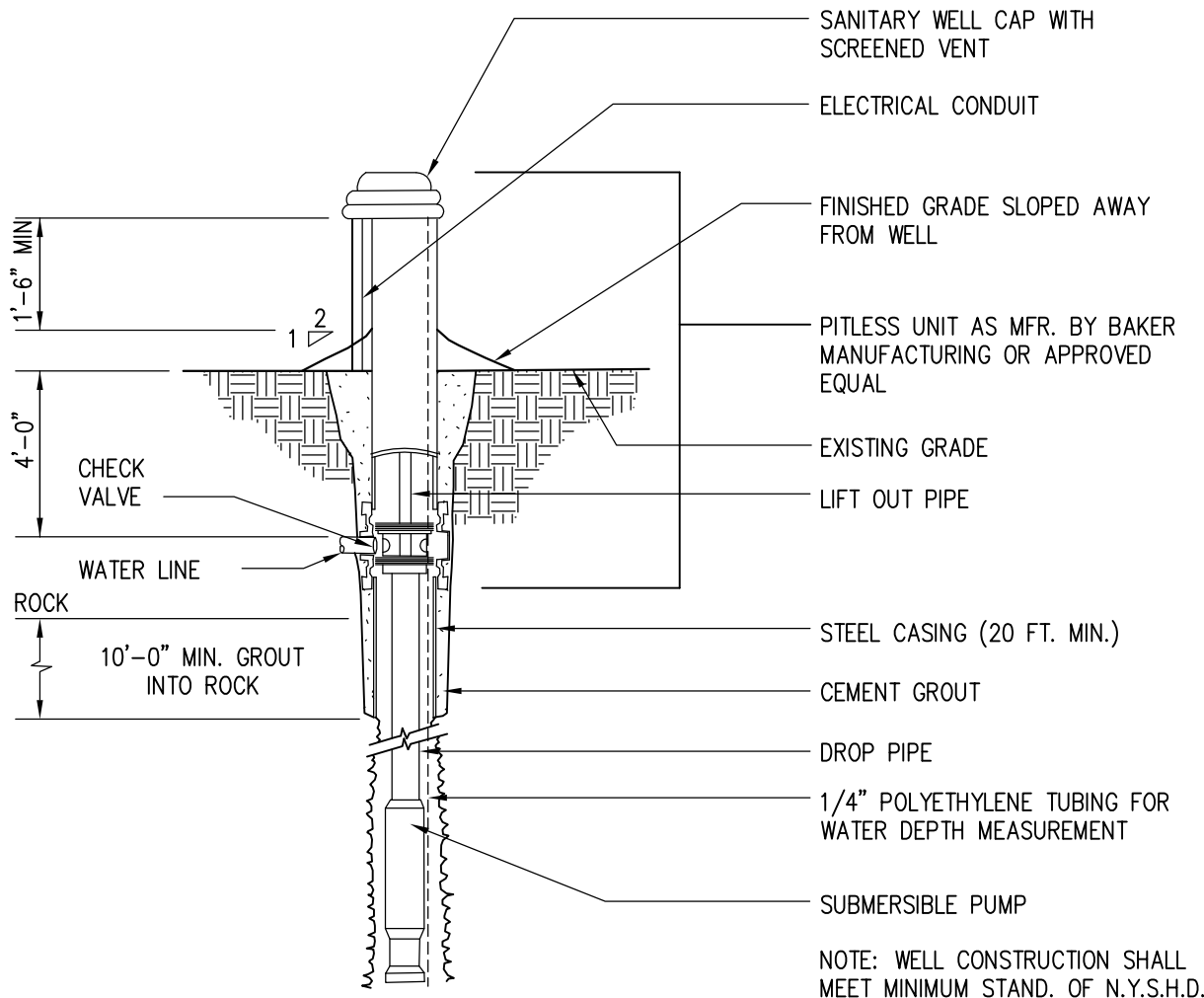
OWNER'S CERTIFICATION
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.
Owner's Name (Insert Name) _____ Date _____
Owner's Address (Insert Address) _____

DATE

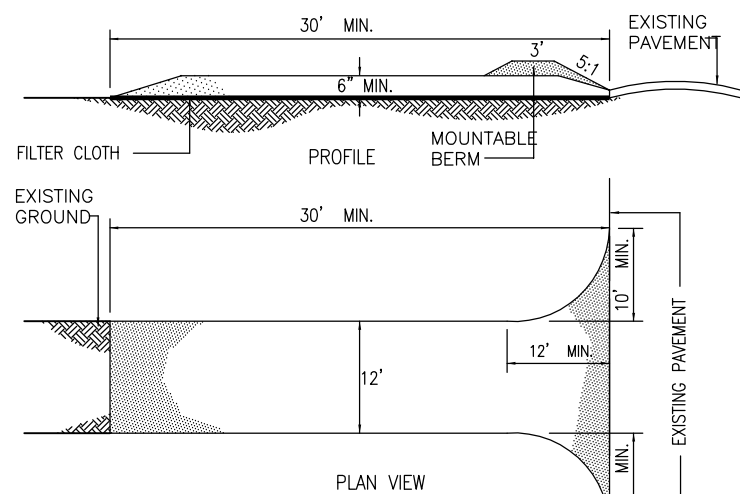
DATE

Survey & Topographic Survey prepared by David L. Odell, P.L.S. on December 12, 2015			
WETLANDS SHOWN HEREON (WL-1, B-5, C-1 & D-1ETC.) FLAGGED BY TED KOZLOWSKI - CERTIFIED WETLAND DELINEATOR ON NOVEMBER 8, 2015			
ALTERATION OF THIS DRAWING EXCEPT BY A LICENSED P.E. OR ARCHITECT OR LICENSED LAND SURVEYOR IS ILLEGAL. ANY ALTERATION BY A P.E. OR ARCHITECT OR SURVEYOR MUST BE INDICATED AND BEAR HIS SEAL SIGNATURE AND DATE OF ALTERATION.			
REVISIONS	6	10-5-16	TOWN COMMENTS
	5	9-13-16	NYS DEC WETLAND ADDED
	4	8-31-16	HOUSE RELOCATED ON LOT 1
	3	7-26-16	SIGHT LINES ADDED, STORMTECHS ADDED, TREES ADDED
	2	6-29-16	POOL, WELL AND DRIVE GRADING ADDED
1	3-12-16	DRIVEWAY REVISION LOT 2	
NO. DATE:		COMMENTS:	
JOHN KARELL, JR. P.E. 121 CUSHMAN ROAD PATTERSON, NEW YORK			
SCOTT FREY BOWAY ROAD & WOODWAY ROAD LEWISBORO WESTCHESTER, N.Y.		DATED: FEBRUARY 16, 2016	
DETAILS & PROFILES		TAX MAP: 43.4-3-2 SCALE: 1" = 40'	
		SHEET NO. D-1	



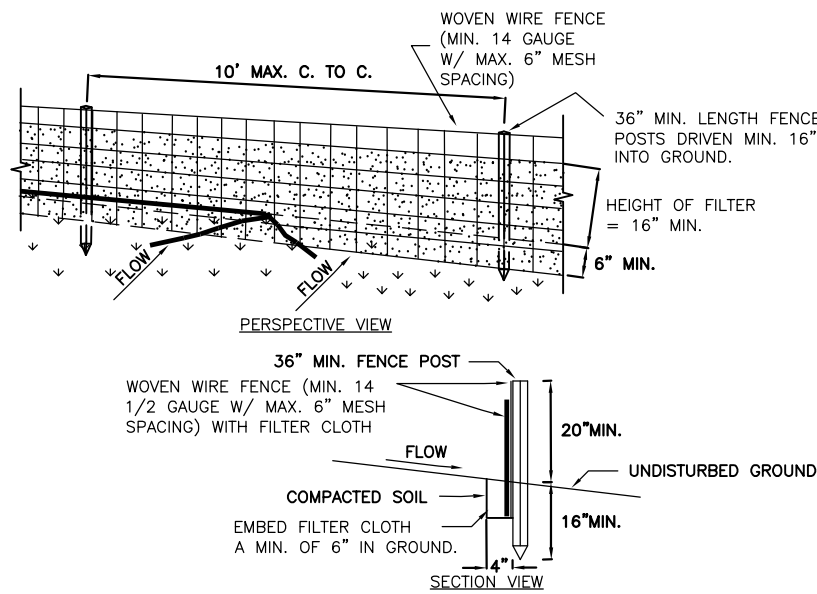


TYPICAL WELL DETAIL
N.T.S.



- CONSTRUCTION SPECIFICATIONS:
1. STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 30 FEET.
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWELVE (12) FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. "MIRAFI" 700X, OR APPROVED EQUAL.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WASHING - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

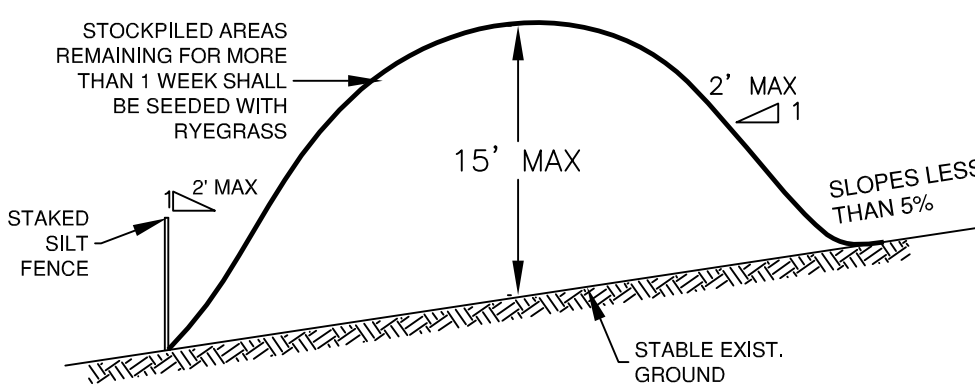
STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



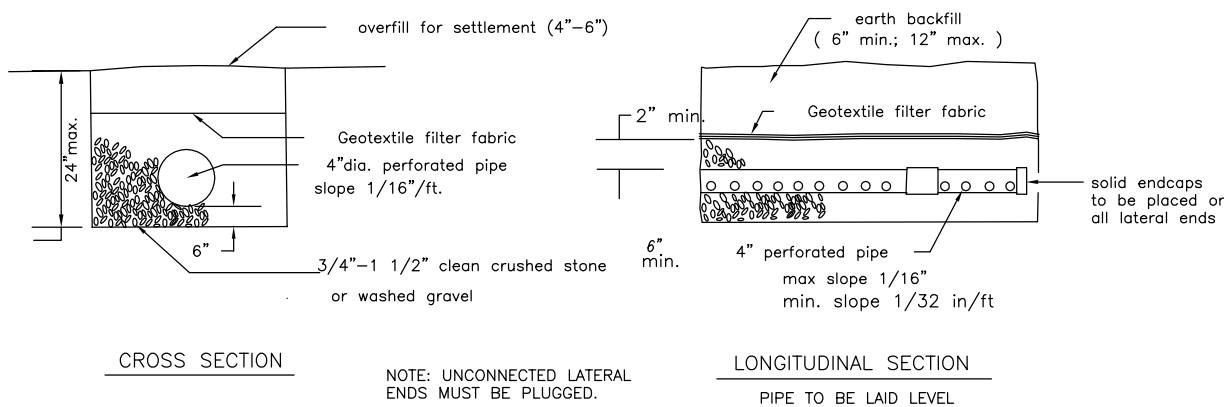
CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 2' AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOTAP, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

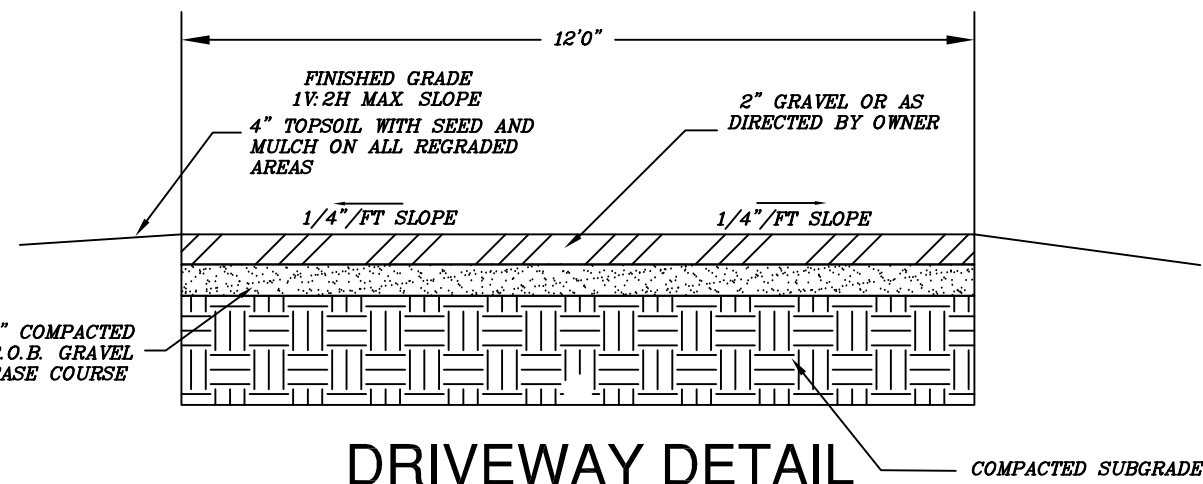
SILT FENCE



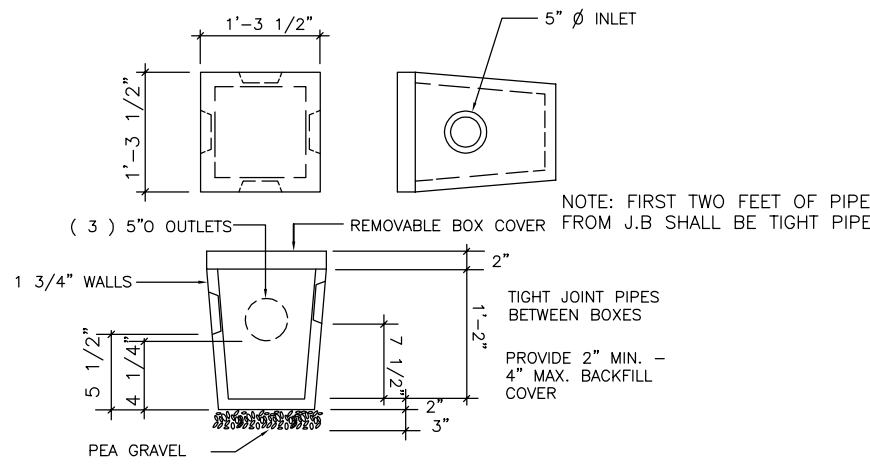
TYPICAL SOIL STOCKPILE DETAIL
N. T. S.



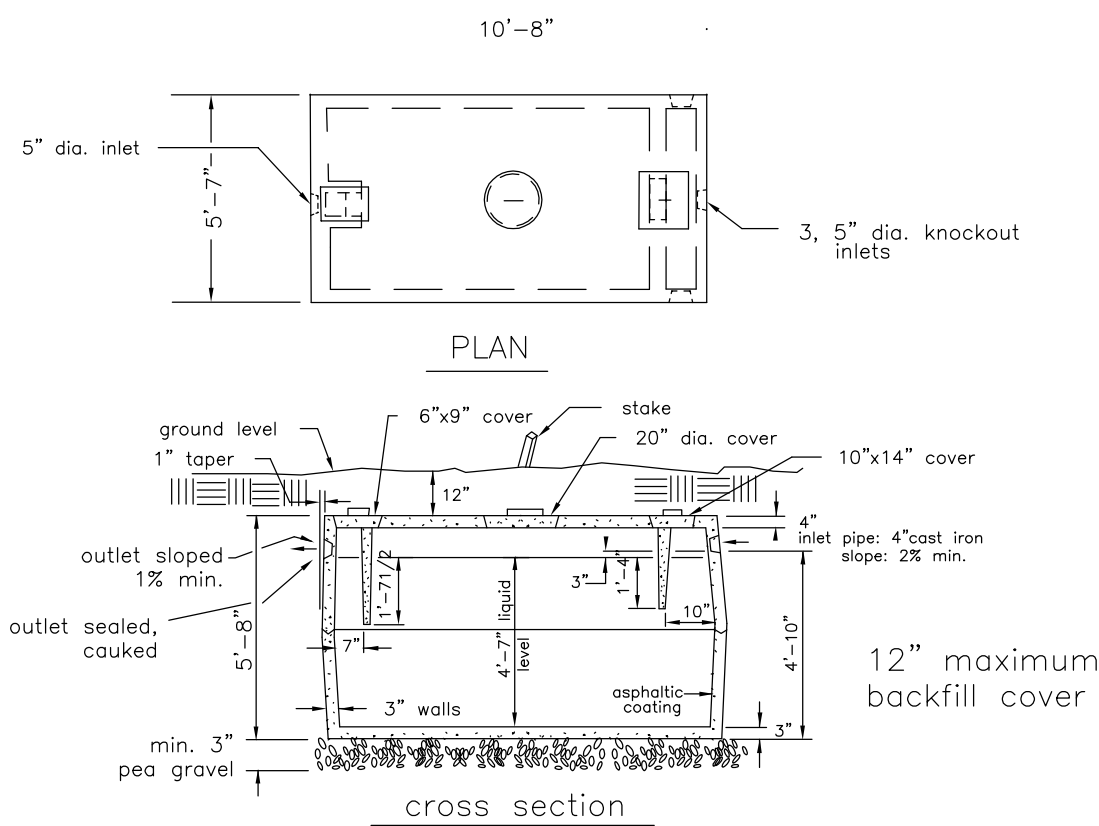
TYPICAL ABSORPTION TRENCH DETAIL
N.T.S. PIPE TO BE: HDPE SDR 38 ASTM 5810



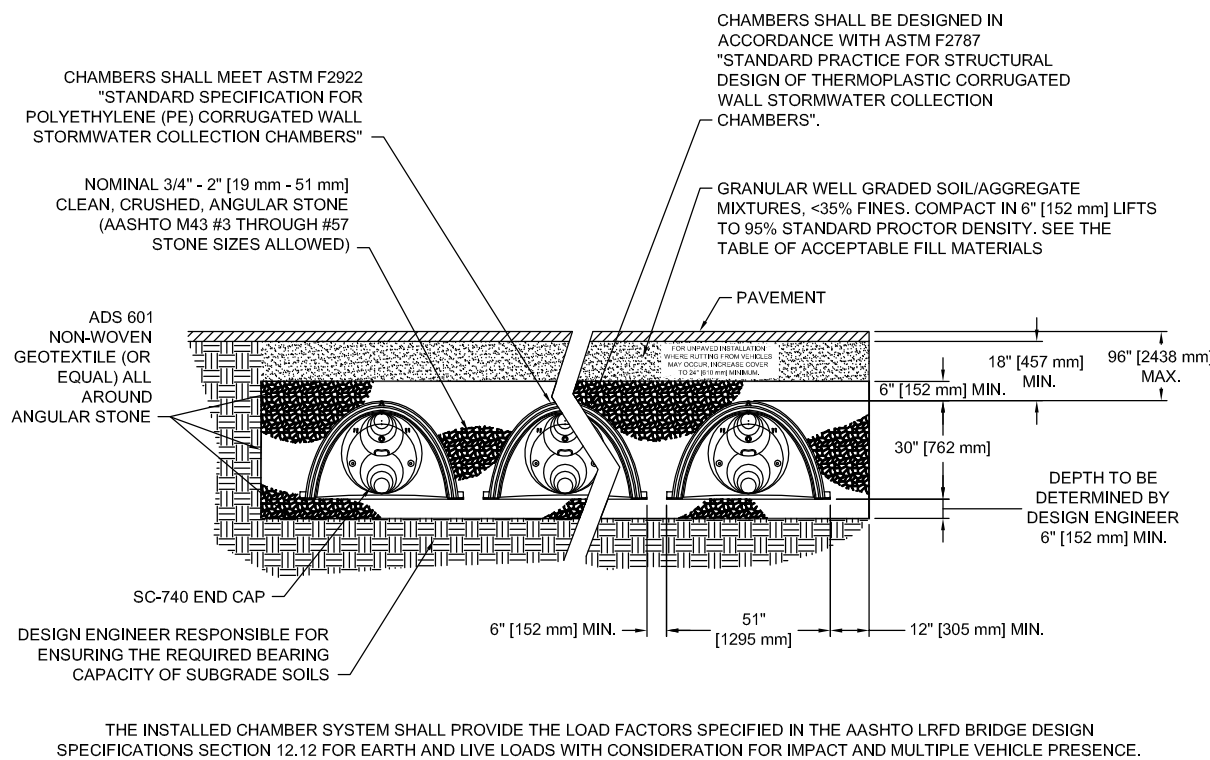
DRIVEWAY DETAIL



JUNCTION BOX DETAIL
N.T.S.



SEPTIC TANK DETAIL 1500 GAL.
N.T.S.



STORM TECH 740

OWNER

DATE

PLANNING BOARD CHAIRMAN

DATE

APPROVED BY RESOLUTION OF THE
LEWISBORO PLANNING BOARD

Chairman DATE
Secretary DATE

TOWN ENGINEER'S CERTIFICATION
Reviewed for compliance with the Planning Board Resolution dated _____

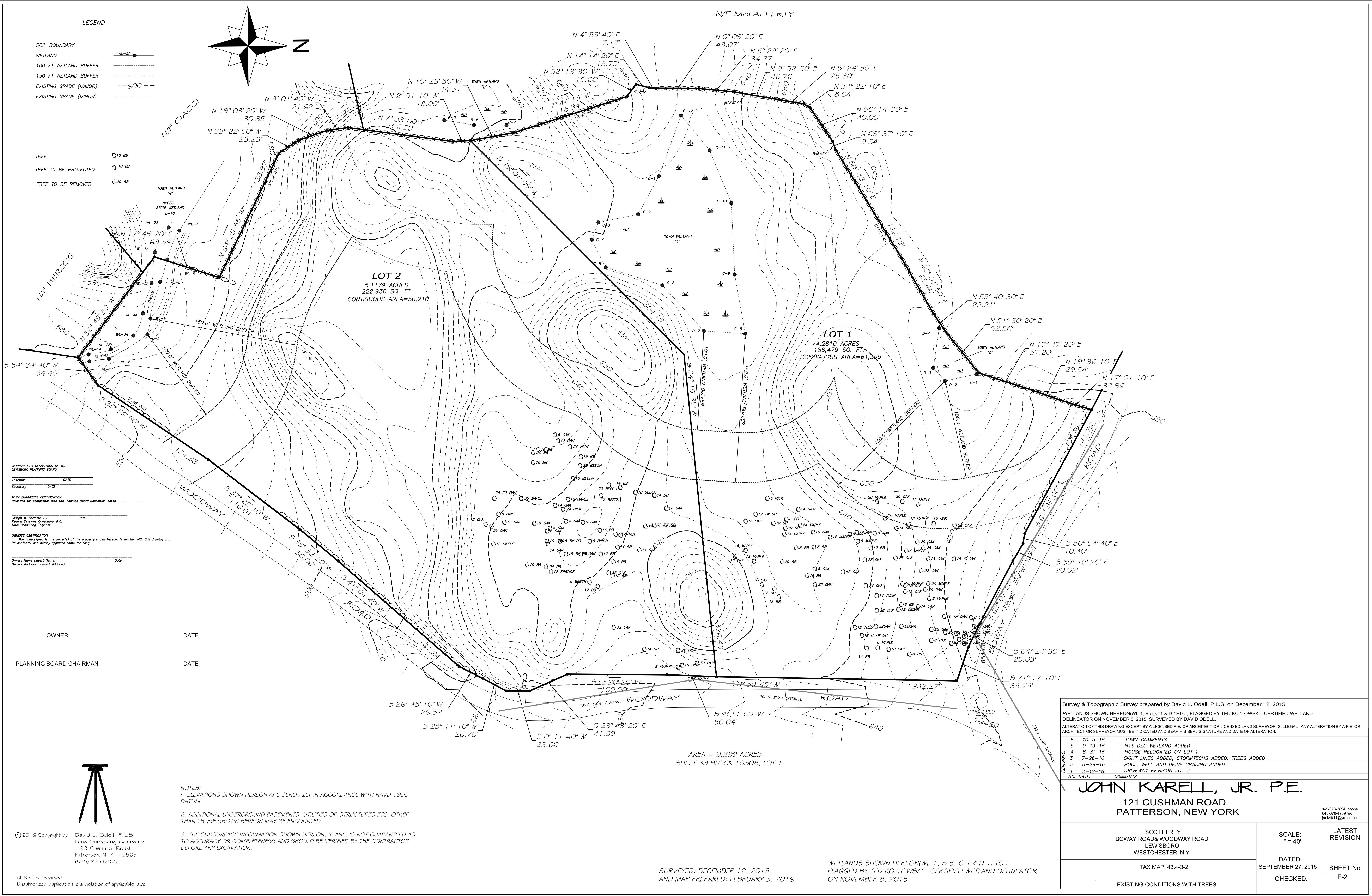
Joseph M. Carmella, P.E. Date
Polar Sessions Consulting, P.C.
Town Consulting Engineer

OWNER'S CERTIFICATION
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name (Insert Name) Date
Owners Address (Insert Address)



Survey & Topographic Survey prepared by David L. Odell, P.L.S. on December 12, 2015		
WETLANDS SHOWN HEREON (WL-1, B-5, C-1 & D-1ETC.) FLAGGED BY TED KOZLOWSKI - CERTIFIED WETLAND DELINEATOR ON NOVEMBER 8, 2015		
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NO.	DATE:	COMMENTS:
JOHN KARELL, JR. P.E. 121 CUSHMAN ROAD PATTERSON, NEW YORK		
SCOTT FREY BOWAY ROAD & WOODWAY ROAD LEWISBORO WESTCHESTER, N.Y.		DATED: FEBRUARY 16, 2016
DETAILS & PROFILES		TAX MAP: 43.4-3-2 SCALE: 1" = 40'
		SHEET NO. D-2



APPROVED BY RESOLUTION OF THE
LEWISBORO PLANNING BOARD

Chairman	DATE
Secretary	DATE

TOWN ENGINEER'S CERTIFICATION
Reviewed for compliance with the Planning Board Resolution dated: _____

Joseph M. Carmelo, P.E.
Karell Sessions Consulting, P.C.
Town Consulting Engineer

OWNER'S CERTIFICATION
The undersigned is the owner(s) of the property shown hereon, is familiar with this drawing and its contents, and hereby approves same for filing.

Owners Name (Insert Name) _____ Date _____
Owners Address (Insert Address) _____

OWNER _____ DATE _____

PLANNING BOARD CHAIRMAN _____ DATE _____

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Land Surveying Company
123 Cushman Road
Patterson, N. Y. 12563
(845) 225-0106

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NOTES:

1. ELEVATIONS SHOWN HEREON ARE GENERALLY IN ACCORDANCE WITH NAVD 1988 DATUM.

2. ADDITIONAL UNDERGROUND EASEMENTS, UTILITIES OR STRUCTURES ETC. OTHER THAN THOSE SHOWN HEREON MAY BE ENCOUNTERED.

3. THE SUBSURFACE INFORMATION SHOWN HEREON, IF ANY, IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS AND SHOULD BE VERIFIED BY THE CONTRACTOR BEFORE ANY EXCAVATION.

AREA = 9.399 ACRES
SHEET 38 BLOCK 10808, LOT 1

SURVEYED: DECEMBER 12, 2015
AND MAP PREPARED: FEBRUARY 3, 2016

WETLANDS SHOWN HEREON(WL-1, B-5, C-1 & D-1ETC.)
FLAGGED BY TED KOZLOWSKI - CERTIFIED WETLAND DELINEATOR
ON NOVEMBER 8, 2015

Survey & Topographic Survey prepared by David L. Odell, P.L.S. on December 12, 2015

WETLANDS SHOWN HEREON(WL-1, B-5, C-1 & D-1ETC.) FLAGGED BY TED KOZLOWSKI - CERTIFIED WETLAND DELINEATOR ON NOVEMBER 8, 2015. SURVEYED BY DAVID ODELL.

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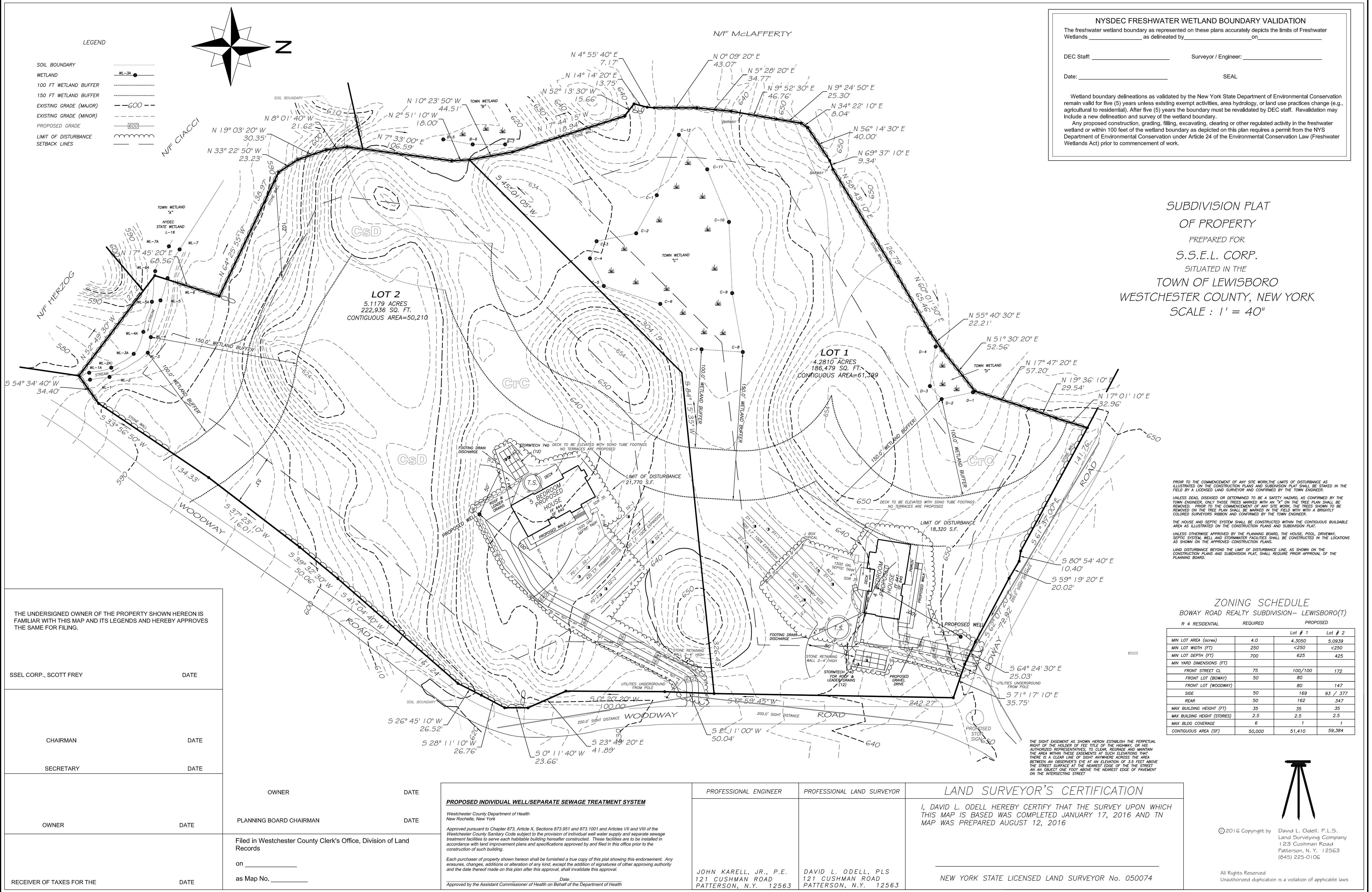
NO.	DATE	COMMENTS
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1	3-12-16	DRIVEWAY REVISION LOT 2

JOHN KARELL, JR. P.E.

121 CUSHMAN ROAD
PATTERSON, NEW YORK

845-878-7894 phone
845-878-4939 fax
jck4911@yahoo.com

SCOTT FREY BOWAY ROAD& WOODWAY ROAD LEWISBORO WESTCHESTER, N.Y.	SCALE: 1" = 40'	LATEST REVISION:
TAX MAP: 43.4-3-2	DATED: SEPTEMBER 27, 2015	SHEET No. E-2
EXISTING CONDITIONS WITH TREES	CHECKED:	



Short Environmental Assessment Form

Part 1 - Project Information

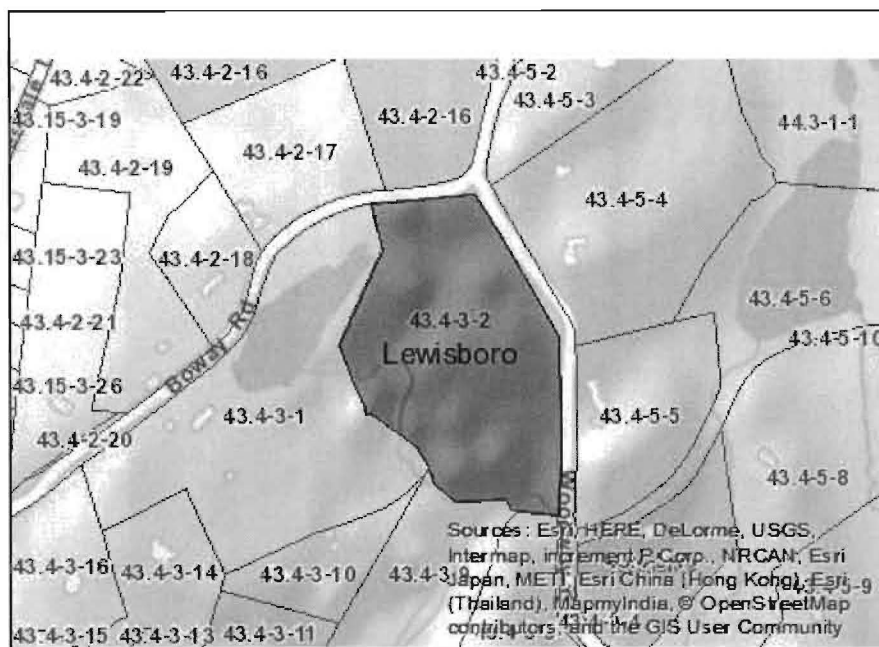
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: FREY TWO LOT REALTY SUBDIVISION			
Project Location (describe, and attach a location map): WEST SIDE OF THE INTERSECTION OF BOWAY ROAD AND WOODWAY ROAD, TOWN OF LEWISBORO			
Brief Description of Proposed Action: SUBDIVISION OF A CURRENTLY VACANT 9.4 ACRE PARCEL OF LAND AT THE INTERSECTION OF BOWAY AND WOODWAY ROADS INTO TWO PARCELS, ONE 4.3 ACRES AND THE OTHER 5.1 ACRES IN SIZE. SINGLE FAMILY HOUSES WILL BE CONSTRUCTED ON EACH LOT SERVED BY SEPTIC SYSTEMS AND DRILLED WELLS. THE PROPERTY IS LOCATED IN THE R-41 ZONING DISTRICT. INDIVIDUAL DRIVEWAYS WILL ACCESS BOWAY AND WOODWAY ROADS.			
Name of Applicant or Sponsor: SSEL CORPORATION		Telephone: 914 804 9028 E-Mail: SCOTTWFREY@YAHOO.COM	
Address: P.O. BOX 664			
City/PO: CROSS RIVER		State: NY	Zip Code: 10518
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Town Highway , Westchester County Department of Health, NYSDEC		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		9.4 acres	
b. Total acreage to be physically disturbed?		0.9 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		9.4 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

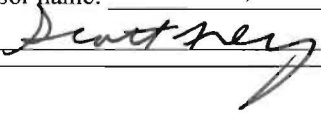
5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ DRILLED WELLS	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ SEPTIC SYSTEMS	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES _____ _____			



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO <input checked="checked" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO <input checked="checked" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	NO <input checked="checked" type="checkbox"/>	YES <input type="checkbox"/>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>SCOTT FREY, SSEL CORP.</u> Date: <u>MARCH 11, 2016</u></p> <p>Signature: <u></u></p>		

TOWN OF LEWISBORO

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on November 15, 2016 at 7:30 p.m., or soon thereafter, at the Town Offices @ Orchard Square Plaza, Lower Level, Cross River, New York, regarding the following:

Cal# 04-16PB, 16-16SW

Applications for Preliminary and Final Subdivision Plat Approval, Wetland Activity Permit Approval and Stormwater Activity Permit Approval for Boway Road and Woodway Road, South Salem, New York, owner of record, SSEL, Corp., to permit the construction of a 2-lot subdivision. The property is located at the corner of Boway and Woodway Roads, consists of approximately 9.4 acres of land, and is located within the Town's R-4A Zoning District. A copy of materials and proposed site documents may be inspected at the office of the Planning Board Secretary, 20 Orchard Square, Suite L, Cross River, New York during regular Planning Board hours. Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to attend the Public Hearing and all will be provided an opportunity to be heard.

**PLANNING BOARD
TOWN OF LEWISBORO
By: Jerome Kerner
Chairman**

Dated October 7, 2016

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Planning Board in advance.

AFFIDAVIT OF PUBLIC HEARING NOTICE

IN THE MATTER OF AN APPLICATION BY SCOTT W. FREY OF SSEL CORP OWNER OF
RECORD AT WOODWAY ROAD AND BOWAY ROAD, SOUTH SALEM NEW YORK.
SEEKING APPROVAL FOR PRELIMINARY AND FINAL SUBDIVISION PLAT APPROVAL,
WETLAND ACTIVITY PERMIT APPROVAL AND STORMWATER ACTIVITY PERMIT
APPROVAL TO PERMIT THE CONSTRUCTION OF A 2 LOT SUBDIVISION.

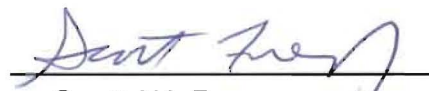
STATE OF NEW YORK

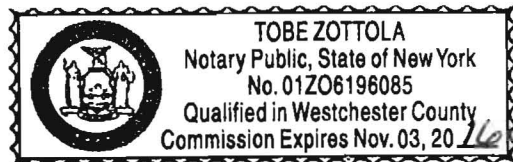
COUNTY OF WESTCHESTER

Scott W. Frey, being duly sworn says on October 20, 2016, I notified the
neighbors as define to me by the Tax Accessors office via certified U.S. Mail,
noticing the November 15, 2016 Planning Board Public Hearing.

Sworn to before me this 20
day of October, 2016


NOTARY PUBLIC


Scott W. Frey



7015 3430 0001 0617 3315

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SOUTH SALEM, NY 10590

Certified Mail Fee	\$3.30	0093
Extra Services & Fees (check box, add fee as appropriate)	\$2.70	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage \$0.47

Total Postage and Fees \$6.47

10/20/2016

Sent To: Elizabeth Barrett
Street and Apt. No., or PO Box No. 35 Woodway
City, State, ZIP+4® South Salem, NY 10590

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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NEW ROCHELLE, NY 10802

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Extra Services & Fees (check box, add fee as appropriate)	\$2.70	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage \$0.47

Total Postage and Fees \$6.47

10/20/2016

Sent To: David & Eric Jordan
Street and Apt. No., or PO Box No. PO Box 1223
City, State, ZIP+4® New Rochelle, NY 10802

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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage \$0.47

Total Postage and Fees \$6.47

10/20/2016

Sent To: Raymond B. & Martina Jane Harder
Street and Apt. No., or PO Box No. 35 Woodway
City, State, ZIP+4® South Salem, NY 10590

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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SOUTH SALEM, NY 10590

Certified Mail Fee	\$3.30	0093
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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
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<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage \$0.47

Total Postage and Fees \$6.47

10/20/2016

Sent To: Michael & Cadeen McLafferty
Street and Apt. No., or PO Box No. 25 Boway
City, State, ZIP+4® South Salem, NY 10590

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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SOUTH SALEM, NY 10590

Certified Mail Fee	\$3.30	0093
Extra Services & Fees (check box, add fee as appropriate)	\$2.70	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage \$0.47

Total Postage and Fees \$6.47

10/20/2016

Sent To: Christopher & Angela Looney
Street and Apt. No., or PO Box No. 35 Woodway
City, State, ZIP+4® South Salem, NY 10590

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 3430 0001 0617 4107

U.S. Postal Service
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SOUTH SALEM, NY 10590

Certified Mail Fee	\$3.30	0093
Extra Services & Fees (check box, add fee as appropriate)	\$2.70	06
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	

Postage \$0.47

Total Postage and Fees \$6.47

10/20/2016

Sent To: Elizabeth Jones
Street and Apt. No., or PO Box No. PO Box 395
City, State, ZIP+4® South Salem, NY 10590

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7015 3430 0001 0817 3322

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
SOUTH SALEM, NY 10590	
Certified Mail Fee \$3.30	0093
Extra Services & Fees (check box, add fee as appropriate)	04
<input type="checkbox"/> Return Receipt (hardcopy) \$2.70	Postmark Here
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.47	
Total Postage and Fees \$6.47	10/20/2016
Sent To: James & Kimberly Herzog	
Street and Apt. No., or PO Box No. 15 Woodway	
City, State, ZIP+4® South Salem, NY 10518	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

7015 3430 0001 0817 4114

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
SOUTH SALEM, NY 10590	
Certified Mail Fee \$3.30	0093
Extra Services & Fees (check box, add fee as appropriate)	04
<input type="checkbox"/> Return Receipt (hardcopy) \$2.70	Postmark Here
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.47	
Total Postage and Fees \$6.47	10/20/2016
Sent To: Spencer & Dina Wernick	
Street and Apt. No., or PO Box No. 27 Woodway	
City, State, ZIP+4® South Salem, NY 10518	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

7015 3430 0001 0817 4091

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
NEW YORK, NY 10023	
Certified Mail Fee \$3.30	0093
Extra Services & Fees (check box, add fee as appropriate)	06
<input type="checkbox"/> Return Receipt (hardcopy) \$2.70	Postmark Here
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.47	
Total Postage and Fees \$6.47	10/20/2016
Sent To: Nina & Jean Korelitz	
Street and Apt. No., or PO Box No. 320 West End Ave	
City, State, ZIP+4® New York, NY 10023	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

7015 3430 0001 0817 3292

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
NEW YORK, NY 10017	
Certified Mail Fee \$3.30	0093
Extra Services & Fees (check box, add fee as appropriate)	04
<input type="checkbox"/> Return Receipt (hardcopy) \$2.70	Postmark Here
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.47	
Total Postage and Fees \$6.47	10/20/2016
Sent To: 44 Bowway Rd LLC c/o Gordon Haskett	
Street and Apt. No., or PO Box No. 44 Lexington Ave	
City, State, ZIP+4® New York, NY 10017	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

7015 3430 0001 0817 3285

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
SOUTH SALEM, NY 10590	
Certified Mail Fee \$3.30	0093
Extra Services & Fees (check box, add fee as appropriate)	04
<input type="checkbox"/> Return Receipt (hardcopy) \$2.70	Postmark Here
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.47	
Total Postage and Fees \$6.47	10/20/2016
Sent To: Peter & Camille Ciacci	
Street and Apt. No., or PO Box No. 111 Spring St	
City, State, ZIP+4® South Salem, NY 10518	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

7015 3430 0001 0817 3230

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
SOUTH SALEM, NY 10590	
Certified Mail Fee \$3.30	0093
Extra Services & Fees (check box, add fee as appropriate)	04
<input type="checkbox"/> Return Receipt (hardcopy) \$2.70	Postmark Here
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.47	
Total Postage and Fees \$6.47	10/20/2016
Sent To: Kathy Stieckland	
Street and Apt. No., or PO Box No. P.O. Box 317	
City, State, ZIP+4® South Salem, NY 10590	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

7015 3430 0001 0817 4169

U.S. Postal Service	
CERTIFIED MAIL® RECEIPT	
Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
SOUTH SALEM, NY 10590	
Certified Mail Fee \$3.30	0093
\$2.70	04
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.47	
Total Postage and Fees \$6.47	
Postmark Here	
10/20/2016	
Sent To: Thomas Herzog	
Street and Apt. No., or PO Box No. 2 Woodway	
City, State, ZIP+4® South Salem, NY 10590	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

7015 3430 0001 0817 3247

U.S. Postal Service	
CERTIFIED MAIL® RECEIPT	
Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
SOUTH SALEM, NY 10590	
Certified Mail Fee \$3.30	0093
\$2.70	04
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy) \$0.00	
<input type="checkbox"/> Return Receipt (electronic) \$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery \$0.00	
<input type="checkbox"/> Adult Signature Required \$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery \$0.00	
Postage \$0.47	
Total Postage and Fees \$6.47	
Postmark Here	
10/20/2016	
Sent To: Thomas: Dawn Christopher	
Street and Apt. No., or PO Box No. 45 Broom	
City, State, ZIP+4® South Salem, NY 10590	
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions	

AFFIDAVIT OF PUBLIC HEARING NOTICE

IN THE MATTER OF AN APPLICATION BY SCOTT W. FREY OF SSEL CORP OWNER OF
RECORD AT WOODWAY ROAD AND BOWAY ROAD, SOUTH SALEM NEW YORK.
SEEKING APPROVAL FOR PRELIMINARY AND FINAL SUBDIVISION PLAT APPROVAL,
WETLAND ACTIVITY PERMIT APPROVAL AND STORMWATER ACTIVITY PERMIT
APPROVAL TO PERMIT THE CONSTRUCTION OF A 2 LOT SUBDIVISION.

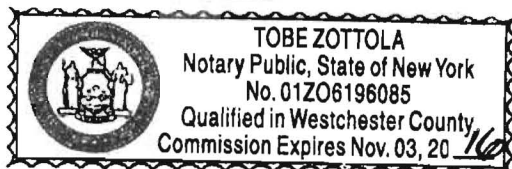
STATE OF NEW YORK)
) ss:
COUNTY OF WESTCHESTER)


Scott w. Frey, being duly sworn says: I am over 18 years of age and reside
in Westchester, New York.

On October 19, 2016, I posted a sign at the corner of Boway Road and
Woodway Road, noticing the November 15, 2016 Public Hearing as was provided
to me by the Town of Lewisboro Planning Department.

Sworn to before me this 20
day of October, 2016


NOTARY PUBLIC




Scott W. Frey

Ferraro & Stamos, LLP

Attorneys at Law

FRANK FERRARO*

CONSTANTINE STAMOS*

*Member of NJ & NY Bars
frankf@ferrarostamos.com
deans@ferrarostamos.com

Rockleigh Business Center
22 Paris Avenue, Suite 105
Rockleigh, N.J. 07647-0518
Tel: (201) 767-4122 • Fax: (201) 767-4223
www.ferrarostamos.com

Westchester, N.Y. Office
75 South Broadway, Suite 400
White Plains, N.Y. 10601
(914) 684-2088

Mailing Address:
P.O. Box 158
Rockleigh, NJ 07647-0158

October 27, 2016

Via UPS

Ms. Ciorsdan Conran
Secretary, Planning Board
20 North Salem Road
Cross River, N.Y. 10518

**RE: T-Mobile Northeast LLC Proposed Wireless Telecommunication Collocation
Facility on an Existing 160' Tall Monopole
Special Permit Application
377 Smith Ridge Road, South Salem (Town of Lewisboro), NY
Sec. / Block / Lot: 50A – 9834 – 84,88, 94
Site No. NY09-130A
Hearing: November 15, 2016**

Dear Mr. Siebert and Ms. Conran:

Please be advised that this office represents T-Mobile Northeast, LLC (“T-Mobile”) with respect to the proposed collocation of a wireless telecommunication facility on an existing 160’ monopole and within an existing fenced compound at the above referenced property. T-Mobile respectfully requests that Special Permit be issued for this facility per Sec. 220-41.1H and hereby submits the following for your consideration:

1. Nine (9) copies of the Special Permit application form together with Short Form EAF;
2. Nine (9) copies of a structural report for the tower;
4. Five (5) full sized sets of zoning drawing prepared by Comex;
5. Four (4) 11” x 17” sets of zoning drawing prepared by Comex

T-Mobile Northeast LLC

Special Permit Application

377 Smith Ridge Road, South Salem (Town of Lewisboro), NY

Sec. / Block / Lot: 50A – 9834 – 84,88, 94

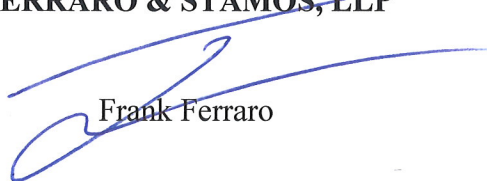
Site No. NY09-130A

6. A check in the amount of \$1,505.00 payable to the Town of Lewisboro representing the application fee; and

7. A check in the amount of \$2,000.00 payable to the Town of Lewisboro representing the escrow deposit.

Thank you for your attention to this matter and should you have any questions or wish to discuss the contents herein, please feel free to contact me at (201) 767-4122.

Very truly yours,
FERRARO & STAMOS, LLP



Frank Ferraro

FF/sa/encs.

cc: Client

TOWN OF LEWISBORO PLANNING BOARD

PO Box 725, 20 North Salem Road, Cross River, NY 10518

Email: planning@lewisborogov.com Tel: (914) 763-5592

Site Development Plan/Subdivision Plat Application – Check all that apply:

Waiver of Site Development Plan Procedures ☐

Site Development Plan Approval

Special Use Permit Approval

Subdivision Plat Approval

☐

Step I ☐

Step I ☒

Step I ☐

Step II ☐

Step II ☐

Step II ☐

Step III ☐

Project Information

Project Name: T-Mobile Northeast LLC

Project Address: 377 Smith Ridge Road, South Salem, NY 10590

Gross Parcel Area: 5.95 Zoning District: R-1A Sheet(s): 50A Block (s): _____ Lot(s): _____

Project Description: Special Permit approval/waivers per Sec. 220-41.1H to collocate a wireless telecommunication facility on an existing 160' tall tower and fenced compound on the property. T-Mobile is proposing to install 7 antennas on the tower a height of 123'-11" and to install 3 equipment cabinets and appurtenances on the ground.

Is the site located within 500 feet of any Town boundary?

YES ☐

NO ☒

Is the site located within the New York City Watershed?

YES ☐

NO ☒

Is the site located on a State or County Highway?

YES ☐

NO ☒

Does the proposed action require any other permits/approvals from other agencies/departments?

Town Board ☐

ZBA ☐

Building Dept. ☒

Town Highway ☐

ACARC ☐

NYSDEC ☐

NYCDEP ☐

WCDH ☐

NYSDOT ☐

Town Wetland ☐

Town Stormwater ☐

Other None

Owner's Information

Name: InSite Towers, LLC Email: N/A

Address: 1199 North Fairfax Street, Suite 700, Alexandria, VA 22314 Phone: 201-767-4122

Applicant's Information (if different)

Name: T-Mobile Northeast, LLC Email: frankf@ferrarostamos.com

Address: 4 Sylvan Way, Parsippany, NJ 07054 Phone: 201-767-4122

Authorized Agent's Information

Name: Frank Ferraro, Esq. Email: frankf@ferrarostamos.com

Address: Ferraro & Stamos, LLP, 22 Paris Ave., Ste 105, Rockleigh, NJ 07647 Phone: 201-767-4122

THE APPLICANT understands that any application is considered complete only when all information and documents required have been submitted and received by the Planning Board. The applicant further understands that the applicant is responsible for the payment of all application and review fees incurred by the Planning Board.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief, and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

APPLICANT'S SIGNATURE

DATE

10/27/16

OWNER'S SIGNATURE

DATE

TOWN OF LEWISBORO PLANNING BOARD

PO Box 725, 20 North Salem Road, Cross River, NY 10518

Email: planning@lewisboronycorp.com

Tel: (914) 763-5592 Fax: (914) 763-3637

Tax Payment Affidavit Requirement

This form must accompany all applications to the Planning Board.

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

To Be Completed by Applicant (Please type or print)

T-Mobile Northeast, LLC

NY09130A

Name of Applicant

Project Name

Property Description

Property Assessed to:

Tax Block(s): 9834

Insight Towers, LLC

Tax Lot(s): 84,88,94

Name 1199 North Fairfax Street

Tax Sheet(s): 50A

Address Alexandria VA 22314

City State Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes: *J. Casper*

Date

10/27/2016

Sworn to before me this

27th day of October, 2016

Signature - Notary Public (affix stamp)

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01DO6259627
Qualified in Westchester County
Commission Expires April 16, 2020

*zero taxes
2016
10/27/16*

TOWN OF LEWISBORO PLANNING BOARD

PO Box 725, 20 North Salem Road, Cross River, NY 10518

Email: planning@lewisborogov.com

Tel: (914) 763-5592

Site Development Plan/Subdivision Plat Application - Check all that apply:

Waiver of Site Development Plan Procedures ☐
 Site Development Plan Approval Step I ☐ Step II ☐
 Special Use Permit Approval Step I ☒ Step II ☐
 Subdivision Plat Approval Step I ☐ Step II ☐ Step III ☐

Project Information

Project Name: T-Mobile Northeast LLC
 Project Address: 377 Smith Ridge Road, South Salem, NY 10590
 Gross Parcel Area: 5.95 Zoning District: R-1A Sheet(s): 50A Block(s): 9834 Lot(s): 84, 88, 94
 Project Description: Special Permit approval/waivers per Sec. 220-41.111 to collocate a wireless telecommunication facility on an existing 160' tall tower and fenced compound on the property. T-Mobile is proposing to install 7 antennas on the tower a height of 123'-11" and to install 3 equipment cabinets and appurtenances on the ground.

Is the site located within 500 feet of any Town boundary? YES ☐ NO ☒
 Is the site located within the New York City Watershed? YES ☐ NO ☒
 Is the site located on a State or County Highway? YES ☐ NO ☒

Does the proposed action require any other permits/approvals from other agencies/departments?

Town Board ☐ ZBA ☐ Building Dept. ☒ Town Highway ☐
 ACARC ☐ NYSDEC ☐ NYCDEP ☐ WCDH ☐
 NYSDOT ☐ Town Wetland ☐ Town Stormwater ☐

Other None

Owner's Information

Name: InSite Towers, LLC Email: N/A
 Address: 1199 North Fairfax Street, Suite 700, Alexandria, VA 22314 Phone: 201-767-4122
703-535-3009

Applicant's Information (if different)

Name: T-Mobile Northeast, LLC Email: frankf@ferrarostamos.com
 Address: 4 Sylvan Way, Parsippany, NJ 07054 Phone: 201-767-4122

Authorized Agent's Information

Name: Frank Ferraro, Esq. Email: frankf@ferrarostamos.com
 Address: Ferraro & Stamos, LLP, 22 Paris Ave., Ste 105, Rockleigh, NJ 07647 Phone: 201-767-4122

THE APPLICANT understands that any application is considered complete only when all information and documents required have been submitted and received by the Planning Board. The applicant further understands that the applicant is responsible for the payment of all application and review fees incurred by the Planning Board.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief, and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

APPLICANT'S SIGNATURE

DATE 10/31/16

Town
OWNER'S SIGNATURE

DATE 10/31/16

TOWN OF LEWISBORO PLANNING BOARD

PO Box 725, 20 North Salem Road, Cross River, NY 10518

Email: planning@lewisborogov.com

Tel: (914) 763-5592

Fax: (914) 763-3637

Affidavit of Ownership

State of: Virginia

City of: Alexandria

Veronica F. Scdzia, being duly sworn, deposes and says that he/she
has an office at
resides at 1199 North Fairfax Street, Suite 700, Alexandria

in the City of Fairfax Alexandria, State of Virginia

and that he/she is (check one) ☐ the owner, or ☒ the Member Associate General Counsel
of InSite Towers, LLC Title

Name of corporation, partnership, or other legal entity

which is the owner, of tower on a
in fee of all that certain log piece or parcel of land situated, lying and being in the

Town of Lewisboro, New York, aforesaid and know and designated on the Tax Map in the Town of
Lewisboro as:

Block 9834, Lot 84,88,94, on Sheet 50A

Veronica F. Scdzia
Tower Owner's Signature

Sworn to before me this

31st day of October, 2016



Notary Public - affix stamp

Short Environmental Assessment Form

Part 1 - Project Information

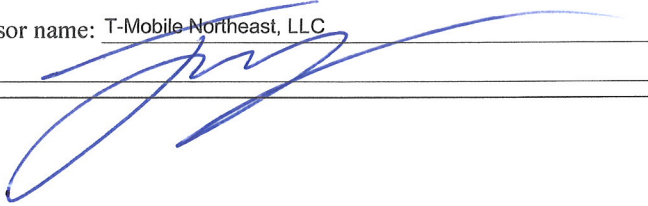
Instructions for Completing

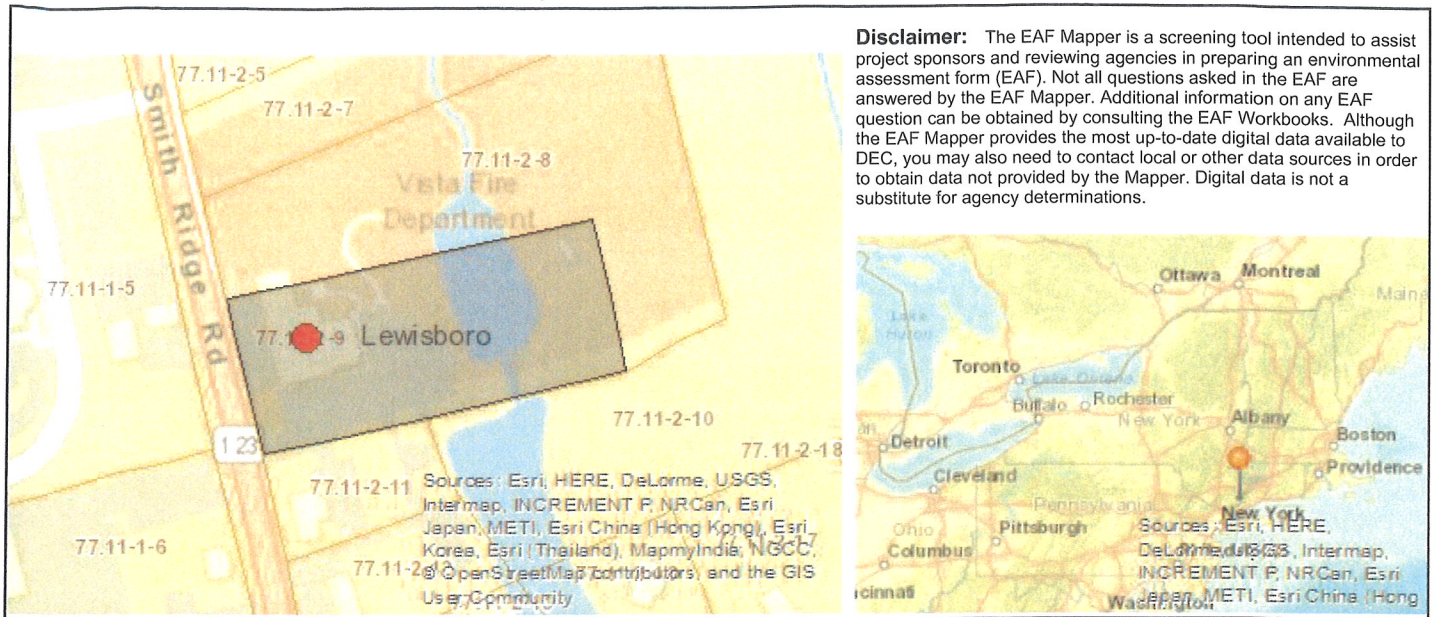
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: T-Mobile Northeast, LLC - NY09-130A			
Project Location (describe, and attach a location map): 377 Smith Ridge Road, South Salem, NY 10590			
Brief Description of Proposed Action: T-Mobile proposes to collocate a FCC licensed wireless telecommunication facility on the existing 160 foot tall monopole on the property. The facility will include 7 antennas mounted at a height of 123'-11" tall on the existing tower and installing 3 equipment cabinets on a new concrete pad on the ground within the existing multi-carrier fenced equipment compound.			
Name of Applicant or Sponsor: T-Mobile Northeast, LLC		Telephone: 201-767-41222 E-Mail: frankf@ferrarostamos.com	
Address: c/o Frank Ferraro, Esq., Ferraro & Stamos, LLP, 22 Paris Avenue, Suite 105			
City/PO: Rockleigh		State: NJ	Zip Code: 07647
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Special permit from Lewisboro Planning Board		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		5.95 acres	
b. Total acreage to be physically disturbed?		.0045 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		5.95 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ Facility is unmanned and will not require water service	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Facility is unmanned and will not required wastewater utilities	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="checked" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="checked" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="checked" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>T-Mobile Northeast, LLC</u> Date: <u>10/26/16</u></p> <p>Signature: </p>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



T-MOBILE NORTHEAST LLC

SITE #: NY09130B
SITE NAME: SMITH RIDGE ROAD
377 SMITH RIDGE ROAD
SOUTH SALEM, NY 10590
WESTCHESTER COUNTY

CONSTRUCTION DRAWINGS
ALL SCALES RELATIVE TO 24"X36" PAGE SIZE

COM-EX
ENGINEERING OF NY

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PURLING, NEW YORK 12470
PHONE: 862.209.4300
FAX: 862.209.4301

COMEX ENGINEERING OF NY, PLLC, STATE OF NY
CERTIFICATE OF AUTHORIZATION # 27-3179723



T-MOBILE NORTHEAST LLC

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PARSIPPANY, NJ 07054
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FAX: (973) 292-8853

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SCALE:	AS NOTED
JOB NO:	16012-SMA

DIRECTION TO SITE

START: HEAD NORTHWEST ON SYLVAN WAY TOWARD US-202 N
1. SLIGHT RIGHT ONTO US-202 N
2. USE THE RIGHT LANE TO TAKE THE RAMP ONTO I-80 E
3. TAKE EXIT 43 FOR I-287 N
4. MERGE ONTO I-287 E/I-87 S TOWARD TAPPAN ZEE BR/NEW YORK CITY
5. TAKE EXIT 9N-9S FOR HUTCHINSON PKWY TOWARD WHITESTONE BR/MERRIT PKWY
6. MERGE ONTO WESTCHESTER AVE, THEN MERGE ONTO HUTCHINSON PKWY N
7. CONTINUE ONTO CT-15N
8. TAKE EXIT 38 TOWARD CT-123 N/NEW CANAAN AVE
9. CONTINUE ON CT-123 N/NEW CANAAN AVE
10. CONTINUE ONTO NY-123 N
11. ARRIVE AT 377 SMITH RIDGE RD

SITE CONFIGURATION 4Sec-707C

SITE LOCATION INFORMATION

SITE ID NUMBER: NY09130B
SITE ADDRESS: 377 SMITH RIDGE ROAD
SOUTH SALEM, NY 10590
JURISDICTION: TOWNSHIP OF LEWISBORO
COUNTY: WESTCHESTER COUNTY
BLOCK: N/A
LOT: N/A
PARCEL ID: 98.34-88.50.A
PROPERTY OWNER: HOMELAND TOWER LLC, 46 MILL PLAIN ROAD, 2ND FLOOR
DANBURY, CT 06811
APPLICANT: T-MOBILE NORTHEAST LLC
4 SYLVAN WAY
PARSIPPANY, N.J. 07054

SITE CHARACTERISTICS

LATITUDE: N 41.214444
LONGITUDE: W 73.515083
STRUCTURE TYPE: MONOPOLE
LOCATION OF PROPOSED EQUIPMENT: PROPOSED T-MOBILE EQUIPMENT PAD
STRUCTURE HEIGHT: ±150'-0" AGL
ANTENNA (RAD CENTER): ALPHA - ±120'-0" AGL
BETA - ±120'-0" AGL
GAMMA - ±120'-0" AGL

SHEET INDEX

SHEET NO.	SHEET DESCRIPTION
T-1	TITLE SHEET
C-1	FINAL SITE PLAN & NOTES
C-2	PROPOSED EQUIPMENT PLAN & ANTENNA PLAN
C-3	ELEVATION
C-4	DETAILS
C-5	DETAILS
E-1	ELECTRICAL NOTES
E-2	ELECTRICAL PLAN AND DETAILS
E-3	GROUNDING PLAN AND DETAILS
E-4	GROUNDING DETAILS



CALL TOLL FREE: 888-DIG-SAFE
(888-344-7233)



NICHOLAS D. BARILE
PROFESSIONAL ENGINEER, N.Y. L.C. No. 090133

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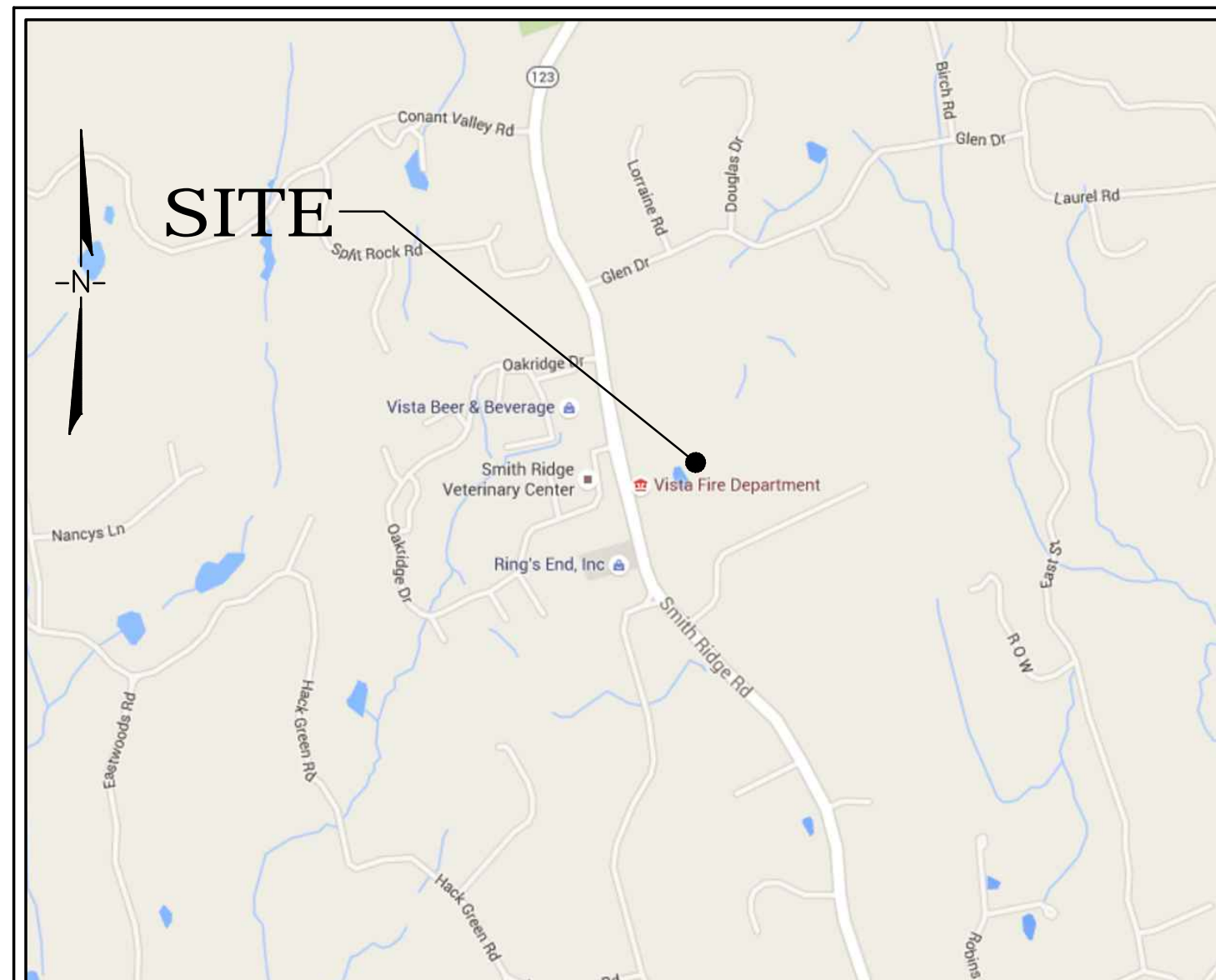
TITLE SHEET

DRAWING SHEET: 1 OF 10

T-1

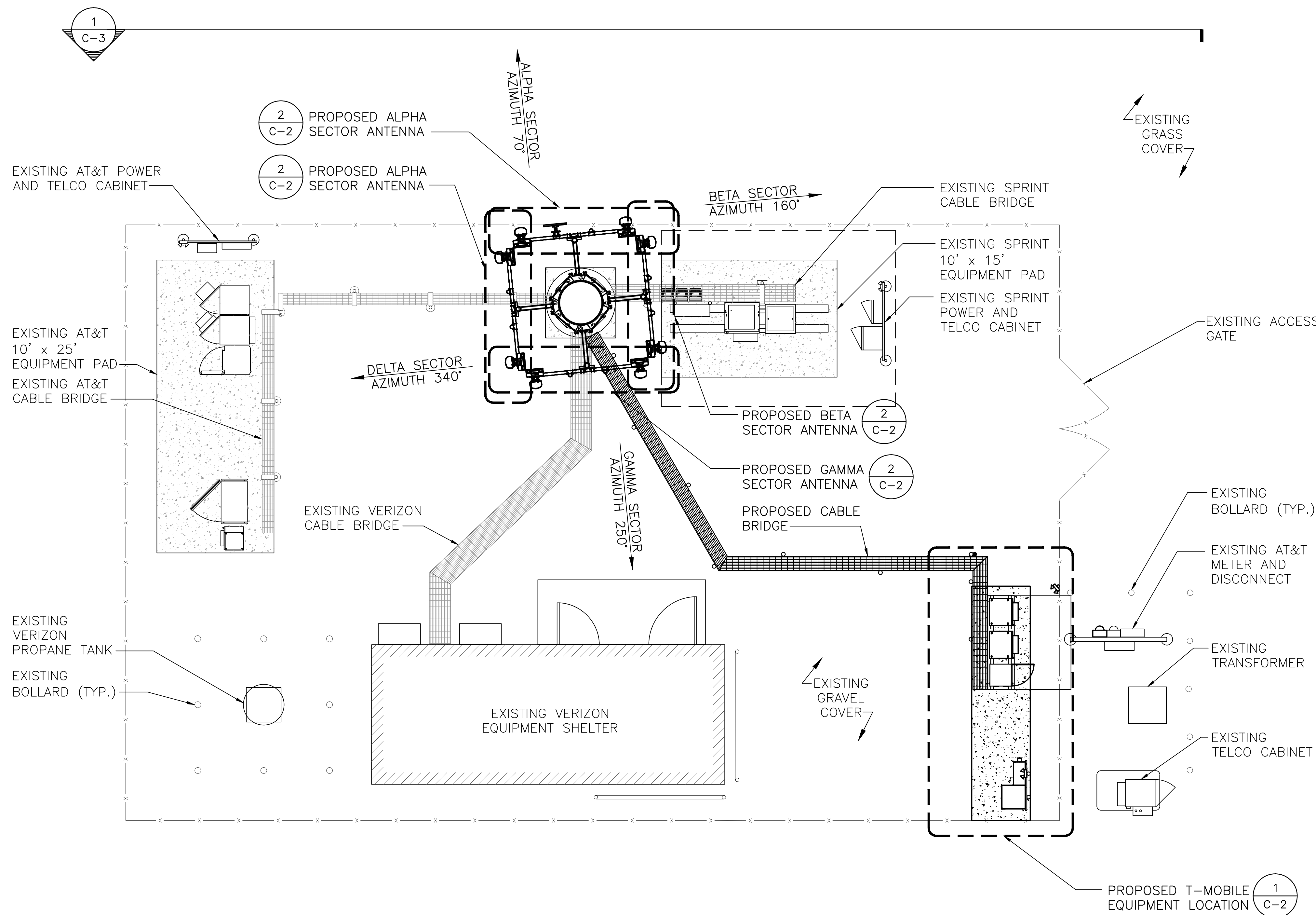
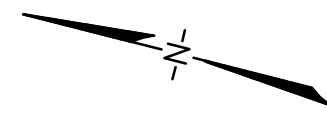
KEY MAP

SCALE: N.T.S.



APPROVALS

		APPROVED	APPROVED AS NOTED	DISAPPROVED/REVISE
CONSTRUCTION MANAGER	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SITE ACQUISITION	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
RF ENGINEER	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
OWNER/OWNER REPRESENTATIVE	DATE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



1 C-1 FINAL SITE PLAN
SCALE: N.T.S.

GENERAL NOTES:

- SUBJECT PROPERTY IS KNOWN AS SECTION 98.34-88-50.A, IN THE TOWNSHIP OF LEWISBORO, NY AS SHOWN ON AN OFFICIAL TOWNSHIP TAX MAP.
- THE APPLICANT PROPOSES TO INSTALL TWO (2) ANTENNAS AND THREE (3) RRU's PER SECTOR ON PROPOSED MOUNTS ON THE EXISTING TOWER (8 ANTENNAS AND 12 RRU's TOTAL). THE USE IS A MOBILE COMMUNICATIONS TELEPHONE EXCHANGE AND IS NOT INTENDED FOR PERMANENT EMPLOYEE OCCUPANCY.
- CONTRACTOR SHALL NOT COMMENCE ANY WORK UNTIL HE OBTAINS, AT HIS OWN EXPENSE, ALL INSURANCE REQUIRED BY T-MOBILE, THE PROPERTY OWNER AND/OR PROPERTY MANAGEMENT COMPANY.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND EACH OF THE DRAWINGS HAVE BEEN REVISED TO INDICATE "ISSUED FOR PERMIT."
- INFORMATION SHOWN ON THIS SET OF PLANS TAKEN FROM EXISTING SPRINT DRAWINGS PREPARED BY LETS AMERICA, INC. DATED 01/04/16 AND LIMITED COM-EX FIELD VISIT ON 04/06/16. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITIES OR OTHER PUBLIC AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK. MINOR OMISSIONS OR ERRORS IN THE BID DOCUMENTS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THIS PROJECT IN ACCORDANCE WITH THE OVERALL INTENT OF THESE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
- THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- POWER TO THE FACILITY IS MONITORED BY AN EXISTING METER.
- ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
- CONTRACTOR SHALL MAKE A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
- IF ANY PIPING EXISTS BENEATH THE SITE AREA, CONTRACTOR MUST LOCATE IT AND CONTACT OWNERS REPRESENTATIVE.
- THE CONSTRUCTION CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ALL CONSTRUCTION MEANS AND METHODS. THE CONSTRUCTION CONTRACTOR IS ALSO RESPONSIBLE FOR ALL JOB SITE SAFETY.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, ANGLES AND EXISTING CONDITIONS AT THE SITE PRIOR TO FABRICATION AND/OR INSTALLATION OF ANY WORK IN THE CONTRACT AREA AND SUBMIT TO THE ENGINEER ANY DISCREPANCIES IN THE DRAWINGS.
- THE CONTRACTOR IS TO REVIEW ALL DRAWINGS AND SPECIFICATIONS IN THE CONTRACT DOCUMENT SET. THE CONTRACTOR SHALL COORDINATE ALL WORK SHOWN IN THE SET OF DRAWINGS. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF DRAWINGS TO ALL SUB-CONTRACTORS AND RELATED PARTIES. THE SUB-CONTRACTOR SHALL EXAMINE ALL THE DRAWINGS AND SPECIFICATIONS FOR THE INFORMATION THAT AFFECTS THEIR WORK.
- DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
- ALL MATERIAL PROVIDED BY T-MOBILE IS TO BE REVIEWED BY THE CONTRACTOR AND ALL APPLICABLE SUB-CONTRACTORS PRIOR TO INSTALLATION. ANY DEFICIENCIES TO PROVIDE MATERIALS SHALL BE BROUGHT TO THE CONSTRUCTION MANAGER'S ATTENTION IMMEDIATELY.
- THE MATERIALS INSTALLED SHALL MEET REQUIREMENTS OF CONTRACTORS DOCUMENTS. NO SUBSTITUTIONS ARE ALLOWED.
- THE CONTRACTOR SHALL RECEIVE CLARIFICATION AND AUTHORIZATION IN WRITING TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND TO BE IN THE FIELD.
- ERECTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMEN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST-ACCEPTED PRACTICE. ALL MEMBERS SHALL BE LAND PLUMB AND TRUE AS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE HIS WORK AND SCHEDULE HIS ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROPERTY OWNER AND/OR PROPERTY MANAGEMENT COMPANY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OR WHERE LOCAL CODES OR REGULATIONS MAY TAKE PRECEDENCE.
- THE CONTRACTOR SHALL REPAIR ALL EXISTING SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND WITH ADJACENT SURFACES.
- THE CONTRACTOR SHALL KEEP CONTRACT AREA CLEAN, HAZARD FREE AND DISPOSE OF ALL DEBRIS AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. LEAVE PREMISES IN CLEAN CONDITIONS AND FREE FROM PAINT SPOTS, DUST OR SMUDGES OF ANY NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
- BEFORE FINAL ACCEPTANCE OF THE WORK, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT, TEMPORARY WORKS, UNUSED AND USELESS MATERIALS, RUBBISH AND TEMPORARY STRUCTURES.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE 2012 WITH LOCAL AMENDMENTS AND THE TIA/EIA-222-G STRUCTURAL STANDARD FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS.

COM-EX
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PHONE: 862.209.4300
FAX: 862.209.4301

COMEX ENGINEERING OF NY, PLLC, STATE OF NY
CERTIFICATE OF AUTHORIZATION # 27-3179723

T-Mobile

T-MOBILE NORTHEAST LLC

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OFFICE: (973) 397-4800
FAX: (973) 292-8893

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JOB NO:	16012-SMA



NICHOLAS D. BARILE
PROFESSIONAL ENGINEER, N.Y. LIC. No. 090133

SITE #: NY09130B
SITE NAME: SMITH RIDGE ROAD
337 SMITH RIDGE ROAD
SOUTH SALEM, NY 10590
WESTCHESTER COUNTY

DRAWING TITLE:

**FINAL
SITE PLAN
& NOTES**

DRAWING SHEET: 2 OF 10

C-1

LEGEND	
INSTALLATION NOTES	
①	INSTALL PURCELL SFX17-2824 CABINET
②	INSTALL PBC-05 BATTERY BACKUP CABINET
③	INSTALL (1) RBS6601 WITH DUW30 AND INSTALL (1) RBS6601 WITH DUS41 IN PURCELL SFX17-2824 CABINET
④	INSTALL CMA-BDHH/6521/E0-6 ANTENNA ON NEW PIPE MAST AT POSITION 1 WITH (1) RRUS11 B2 AND (1) RRUS11 B4 INSTALLED BEHIND ANTENNA
⑤	INSTALL APXVF24-C-A20 ANTENNA ON NEW PIPE MAST AT POSITION 4 WITH (1) RRUS11 B12 INSTALLED BEHIND ANTENNA
⑥	PROPOSED ANTENNA MOUNTING FRAME
⑦	INSTALL (6) HYBRID CABLES PER SECTOR
⑧	INSTALL 5'x20' CONCRETE PAD
⑨	INSTALL GPS ANTENNA
⑩	INSTALL PPC CABINET ON H-FRAME
⑪	INSTALL AAV CHARLES CUBE CABINET ON H-FRAME
⑫	PROPOSED STEEL EQUIPMENT RAIL
⑬	INSTALL TIMED WORK LIGHT ON FENCE POST
⑭	INSTALL MW DISH

SECTOR	ANTENNA INFORMATION										
	POSITION (FROM REAR LEFT TO RIGHT)	PROPOSED									
		MODEL	QUANTITY	ANT. AGL	E-TILT	M-TILT	TMA/RRU	CABLE QTY.	CABLE TYPE	CABLE LENGTH	
ALPHA 70°	Ⓡ1	CMA-BDHH/6521/E0-6	1	120'	3	0	0/2	4	HYBRID	±206'	
	Ⓡ2	RFS-MA0528-28AN	1	—	—	—	—	—	—	—	
	Ⓡ3	EMPTY	—	—	—	—	—	—	—	—	
	Ⓡ4	APXVF24-C-A20	1	120'	3	0	0/1	2	HYBRID	±206'	
BETA 160°	Ⓦ1	CMA-BDHH/6521/E0-6	1	120'	3	0	0/2	4	HYBRID	±206'	
	Ⓦ2	EMPTY	—	—	—	—	—	—	—	—	
	Ⓦ3	EMPTY	—	—	—	—	—	—	—	—	
	Ⓦ4	APXVF24-C-A20	1	120'	3	0	0/1	2	HYBRID	±206'	
GAMMA 250°	Ⓟ1	CMA-BDHH/6521/E0-6	1	120'	3	0	0/2	4	HYBRID	±206'	
	Ⓟ2	EMPTY	—	—	—	—	—	—	—	—	
	Ⓟ3	EMPTY	—	—	—	—	—	—	—	—	
	Ⓟ4	APXVF24-C-A20	1	120'	3	0	0/1	2	HYBRID	±206'	
DELTA 340°	ⓐ1	CMA-BDHH/6521/E0-6	1	120'	3	0	0/2	4	HYBRID	±206'	
	ⓐ2	EMPTY	—	—	—	—	—	—	—	—	
	ⓐ3	EMPTY	—	—	—	—	—	—	—	—	
	ⓐ4	APXVF24-C-A20	1	120'	3	0	0/1	2	HYBRID	±206'	

INFORMATION PROVIDED FROM T-MOBILE
RFDS DATED 03/17/16

COM-EX
ENGINEERING OF NY

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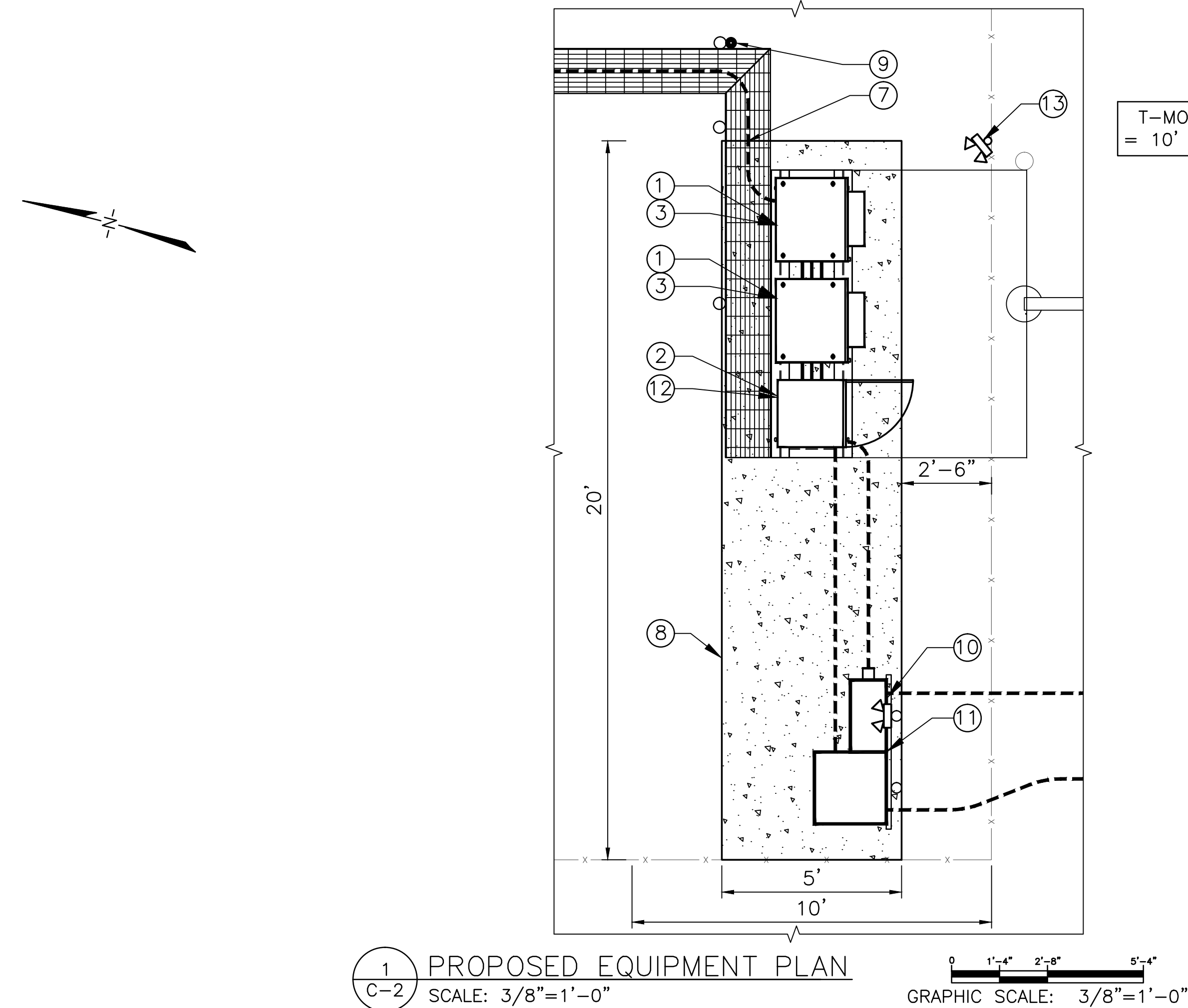
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T-MOBILE NORTHEAST LLC

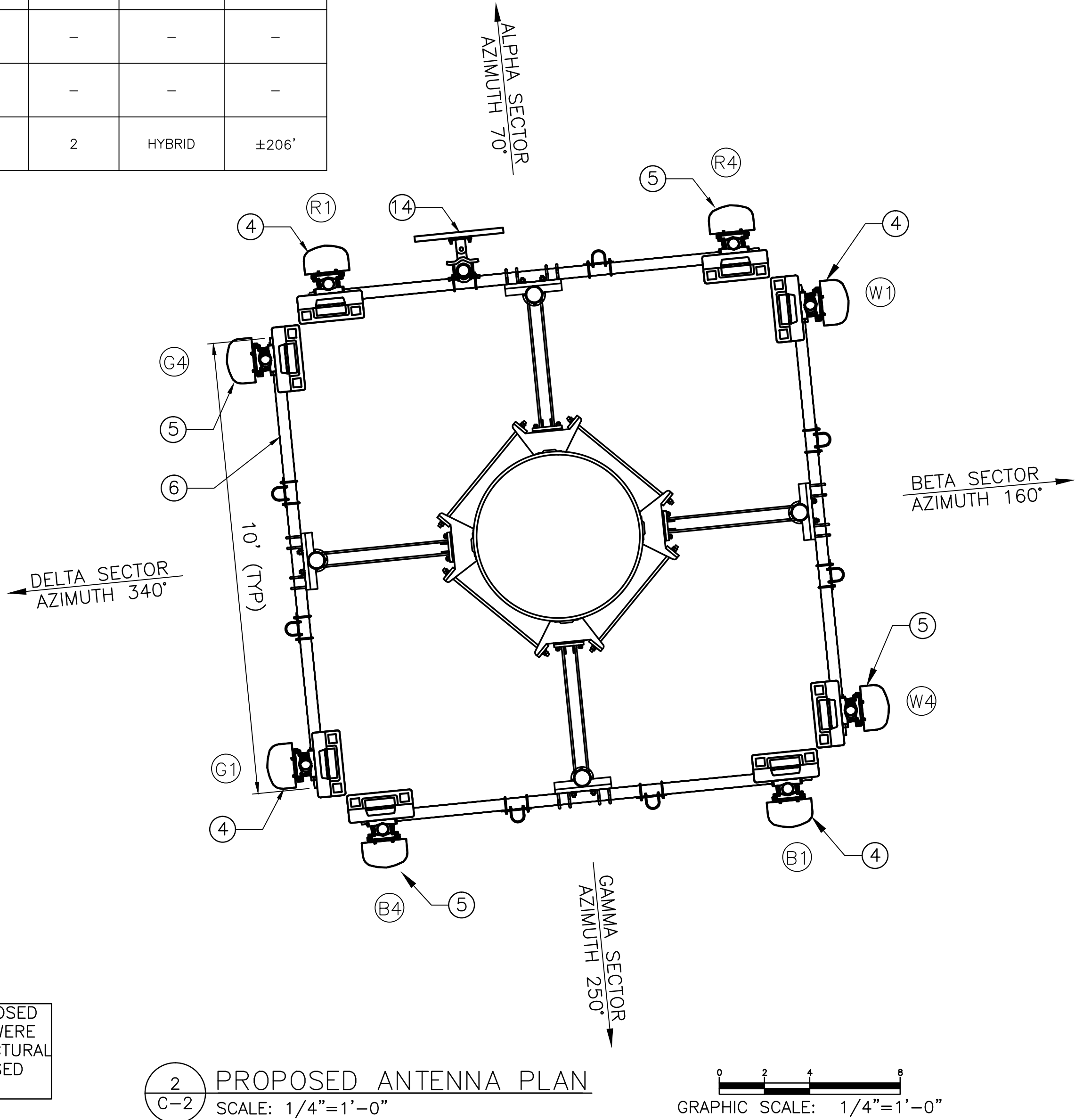
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CONTRACTOR TO VERIFY ALL PROPOSED ANTENNAS, MOUNTS AND CABLES WERE CONSIDERED AND PASSED A STRUCTURAL ANALYSIS PERFORMED BY A LICENSED ENGINEER PRIOR TO INSTALLATION.



STATE OF NEW YORK
NICHOLAS D. BARILE
090133
REGISTERED PROFESSIONAL ENGINEER

NICHOLAS D. BARILE
PROFESSIONAL ENGINEER, N.Y. LIC. No. 090133

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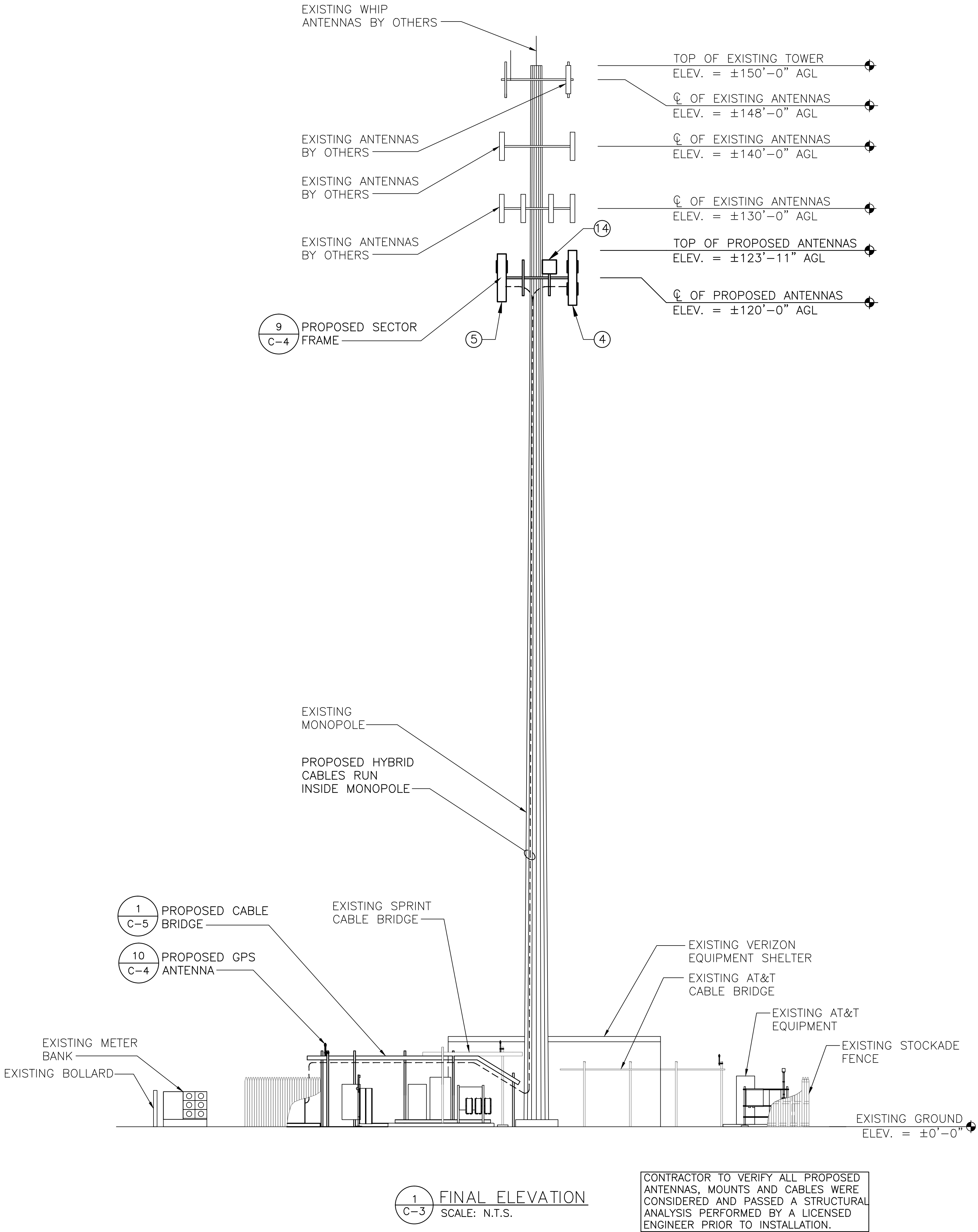
DRAWING TITLE:

PROPOSED EQUIPMENT
PLAN &
ANTENNA PLAN

DRAWING SHEET: 3 OF 10

C-2

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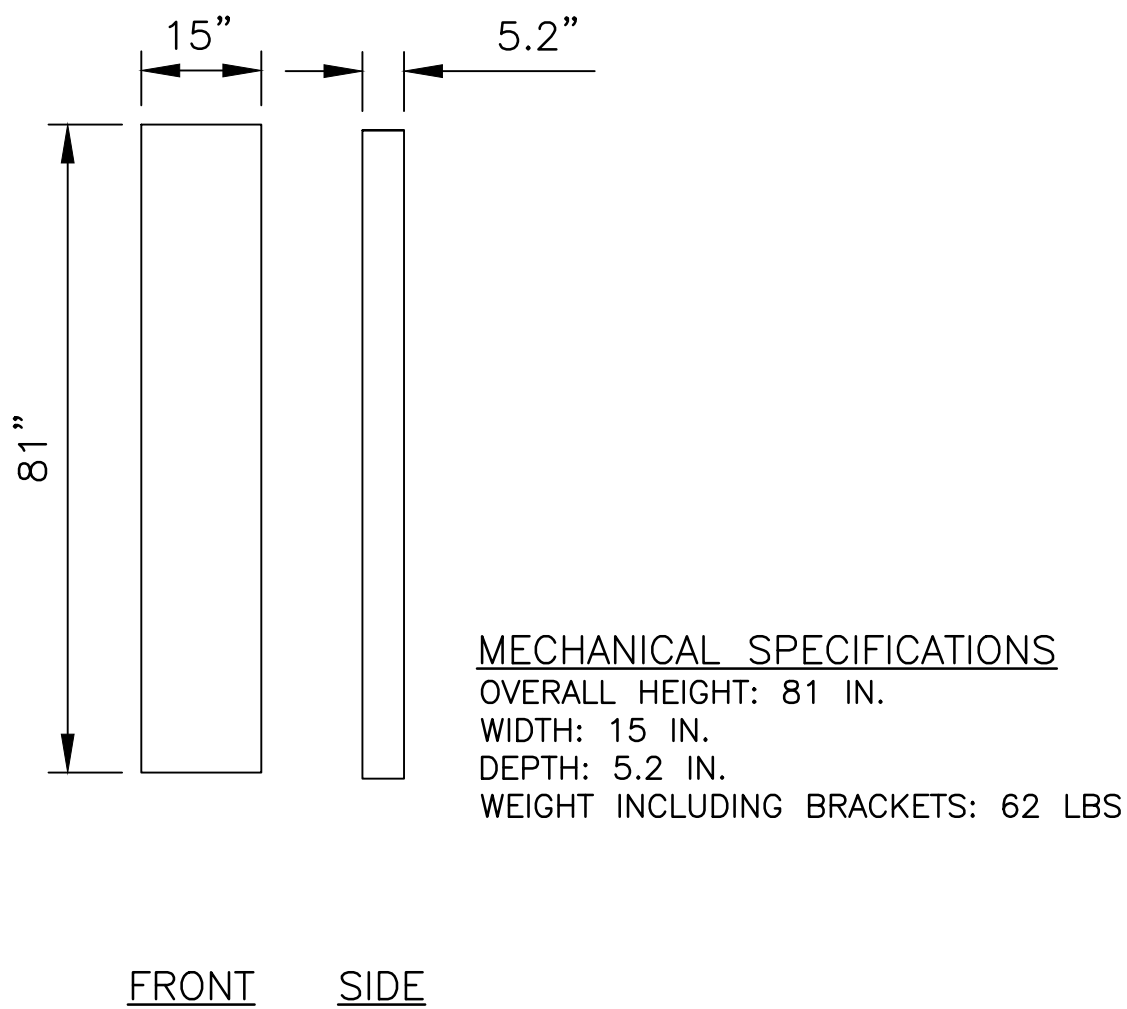
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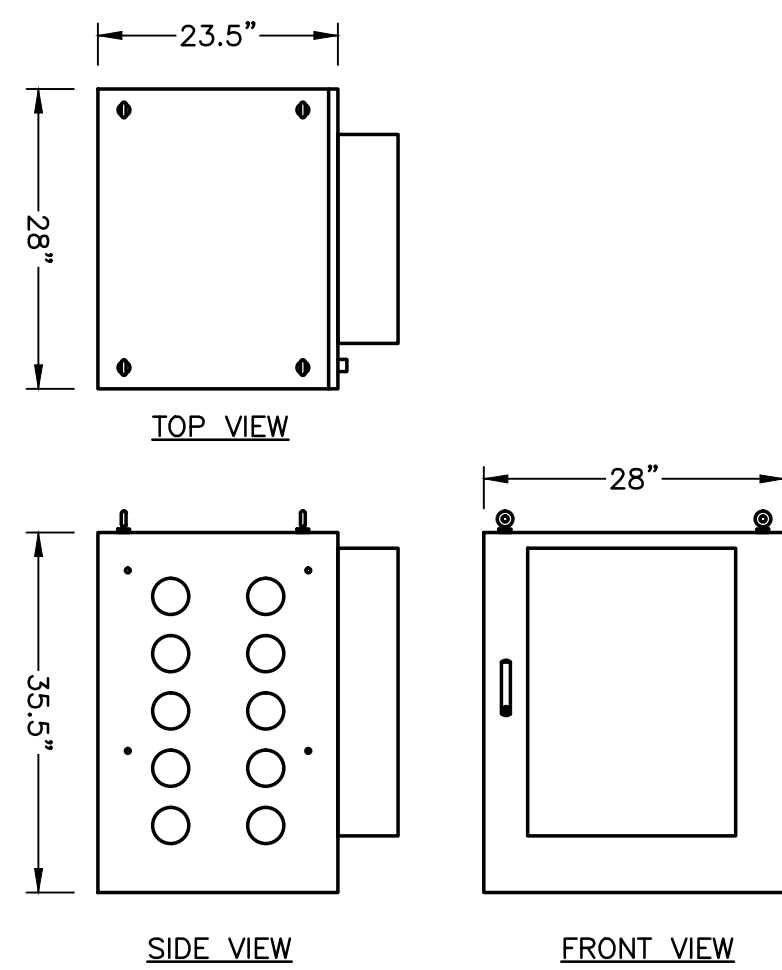
ELEVATION

DRAWING SHEET: 4 OF 10

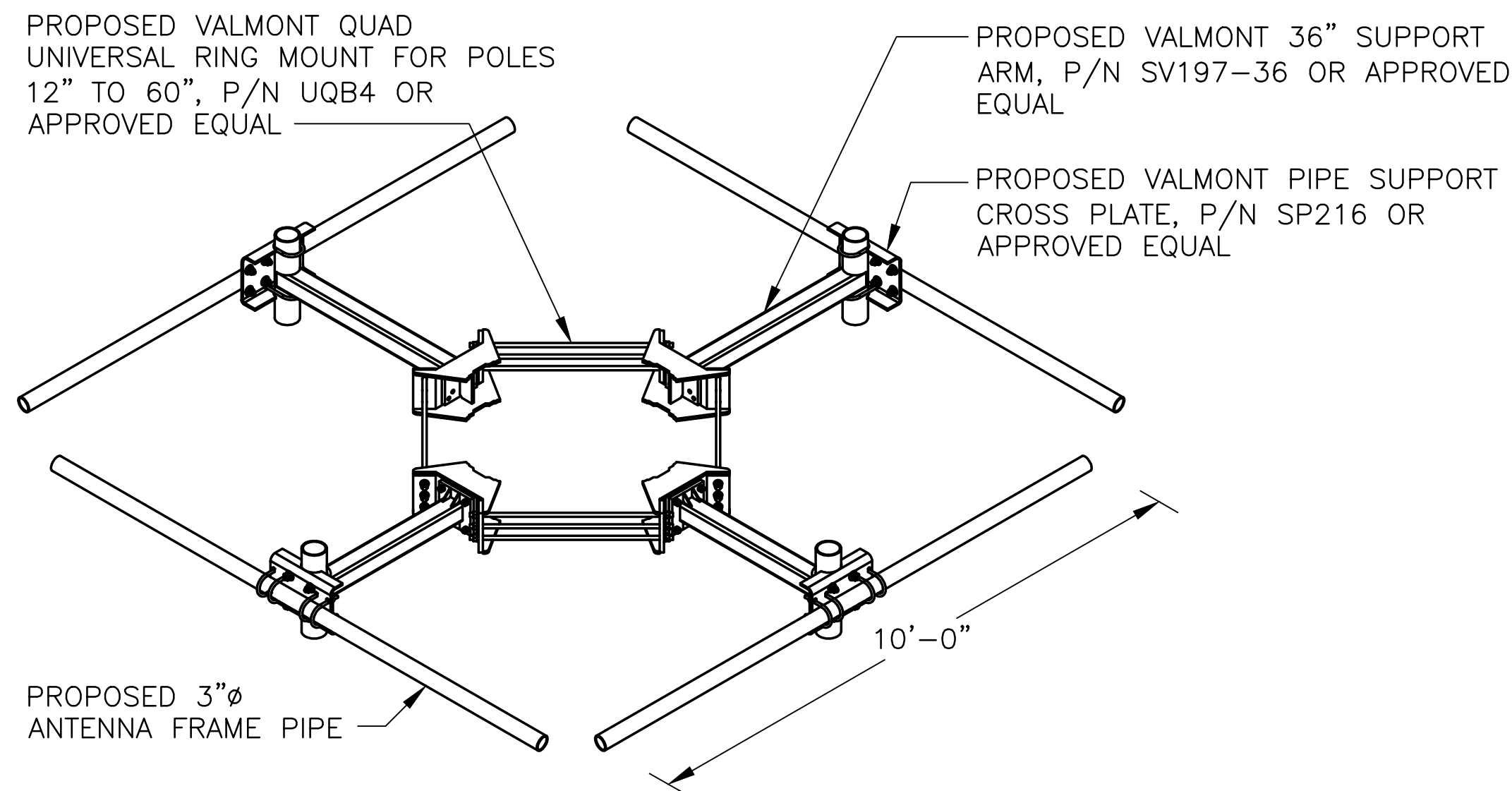
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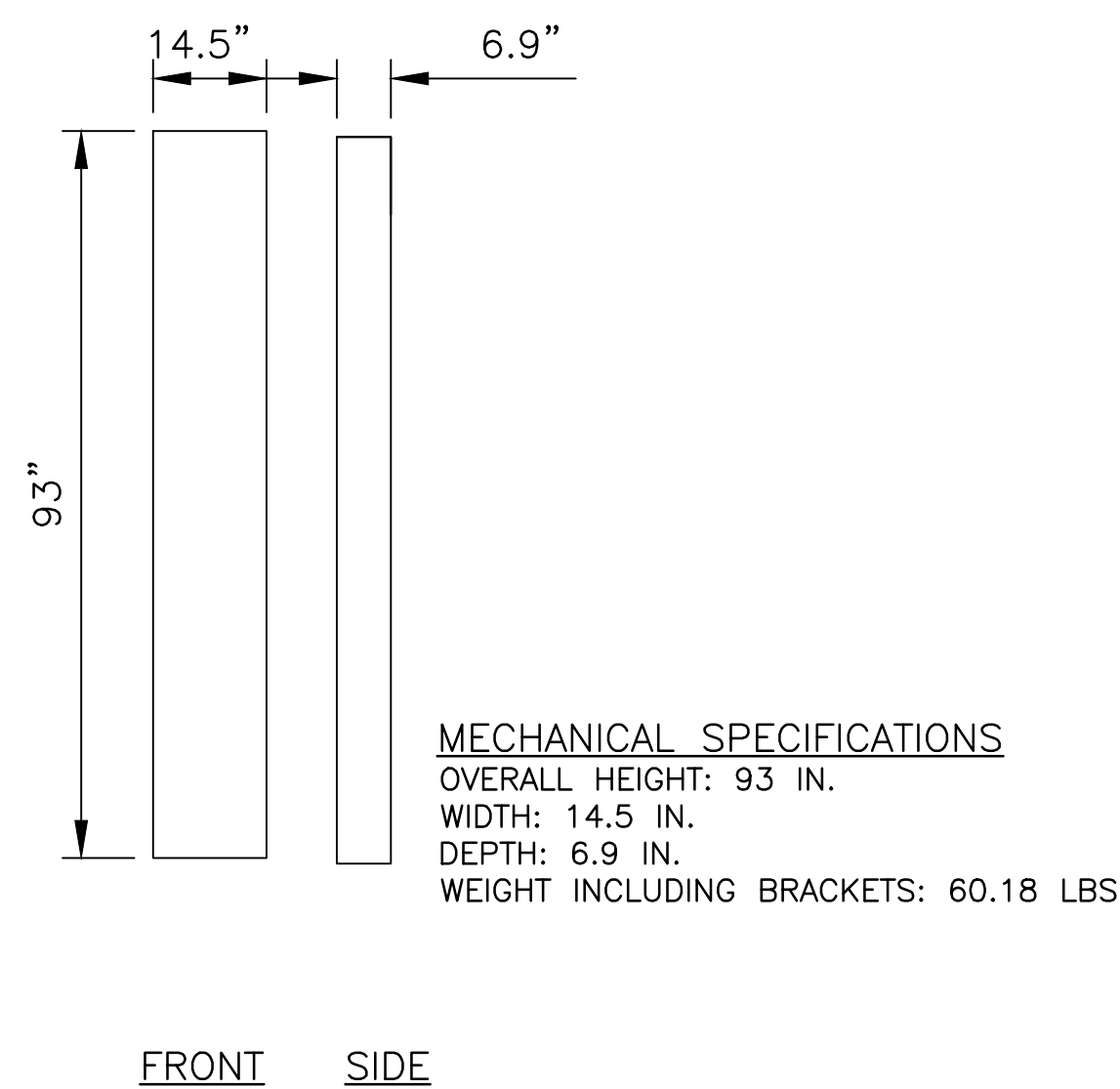
1 CMA-BDHH/6521/E0-6 ANTENNA DETAIL
C-4 SCALE: N.T.S.



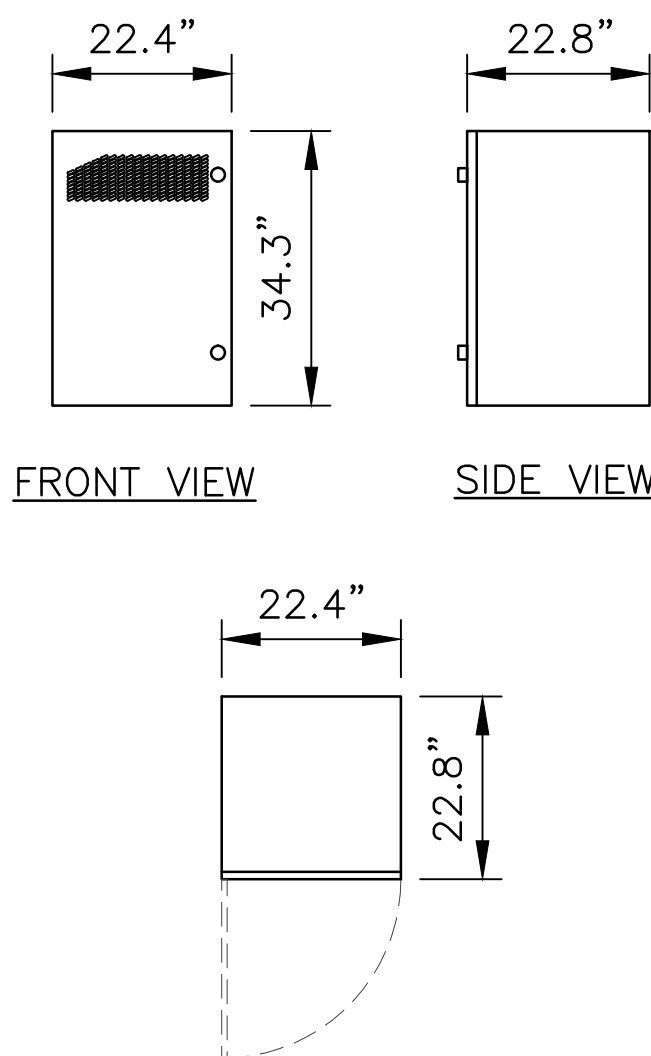
7 PURCELL SFX17-2824 CABINET DETAIL
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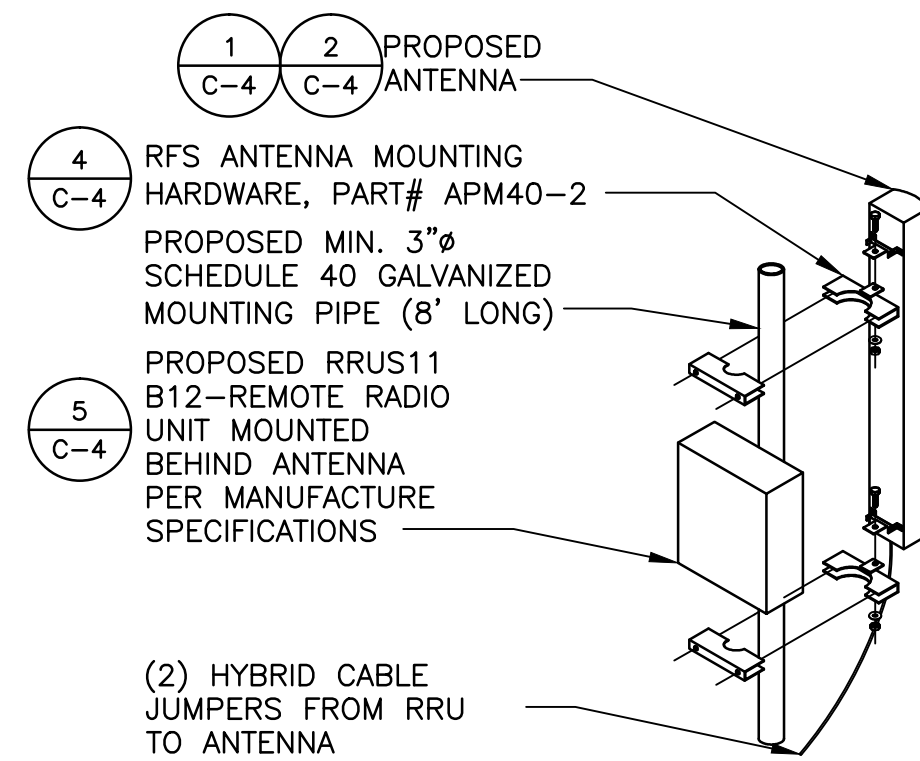
9 ANTENNA MOUNTING FRAME DETAIL
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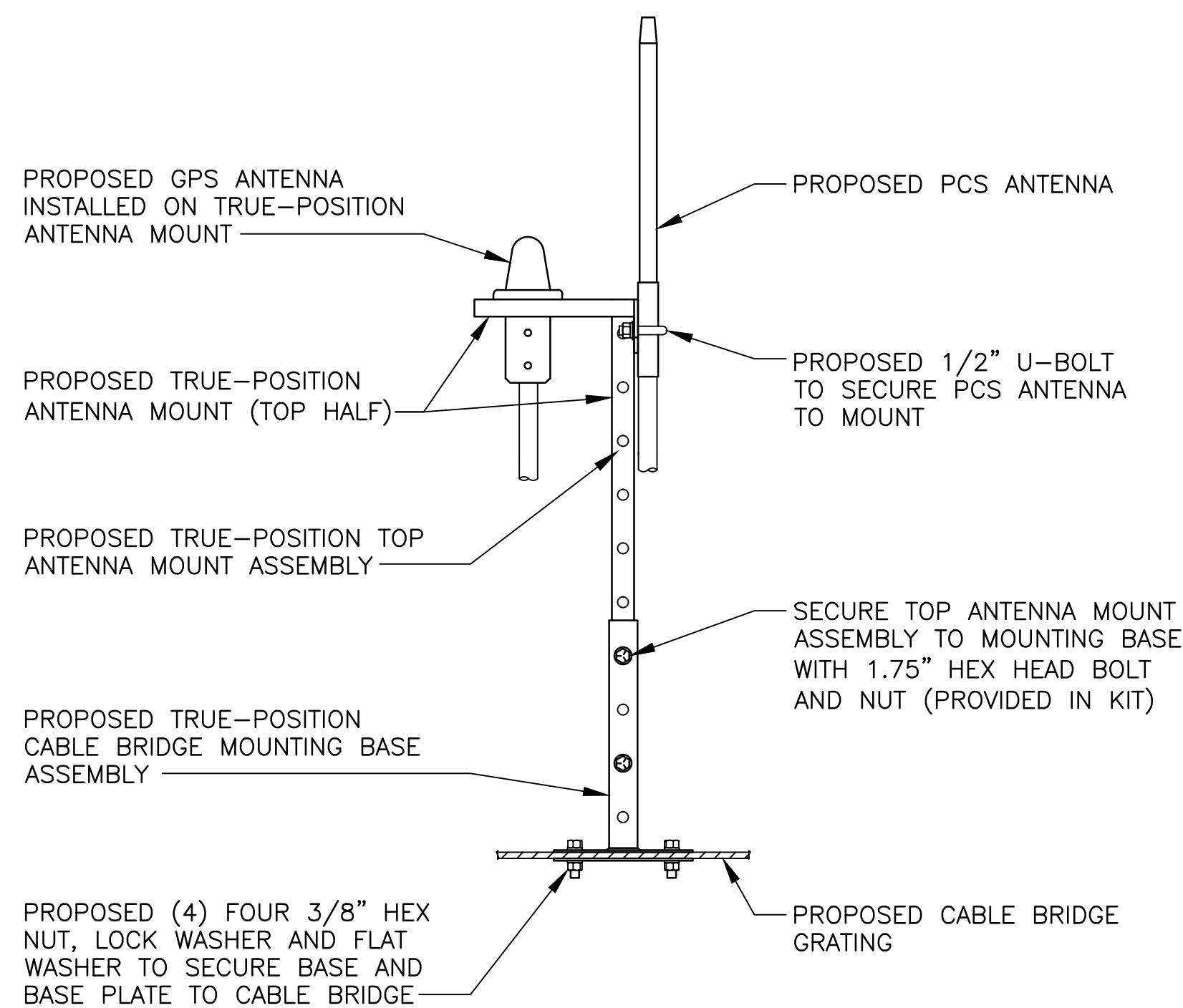
2 APXVF24-C-A20 ANTENNA DETAIL
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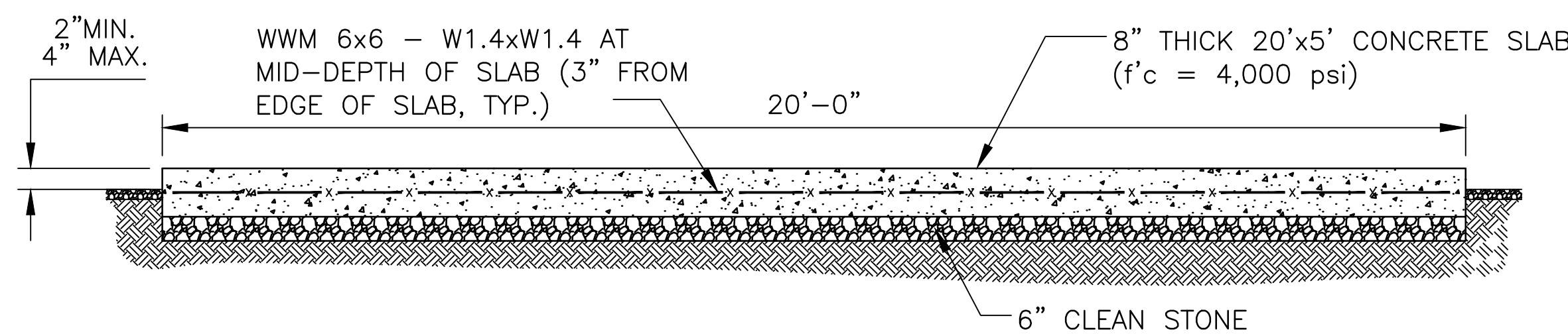
8 BATTERY BACKUP CABINET PBC-05 DETAIL
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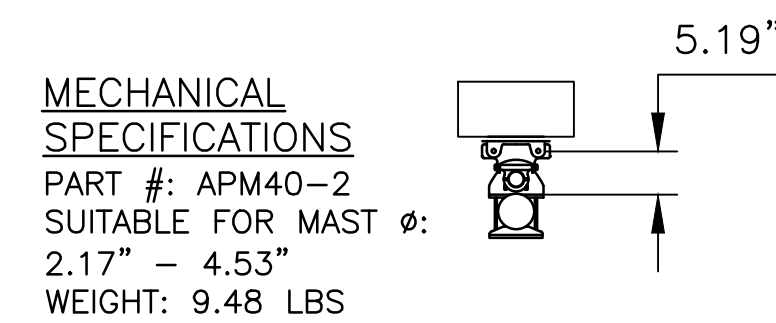
3 TYPICAL ANTENNA INSTALLATION DETAIL
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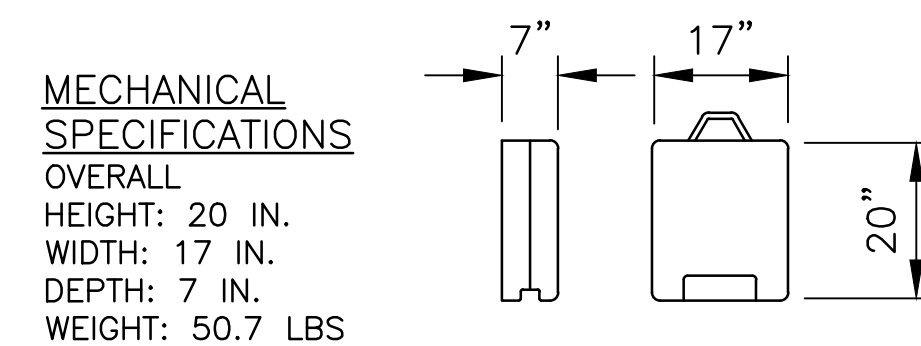
10 GPS ANTENNA DETAIL
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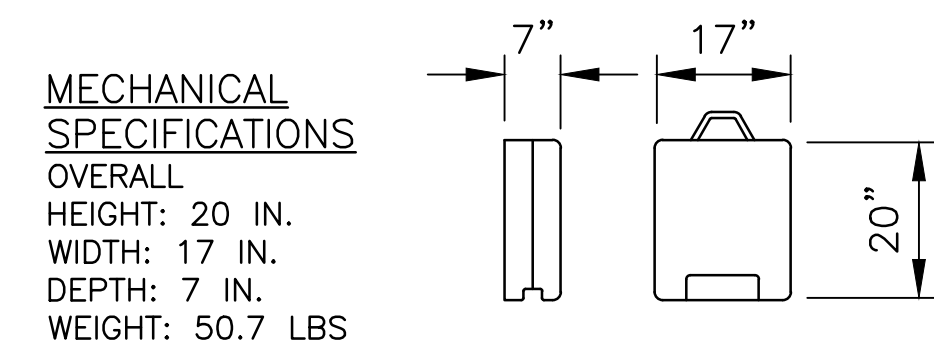
11 5'x20' CONCRETE PAD DETAIL
C-4 SCALE: N.T.S.



4 TYPICAL ANTENNA MOUNT DETAIL
C-4 SCALE: N.T.S.



5 RRUS11 B12-REMOTE RADIO UNIT
C-4 SCALE: N.T.S.



6 RRUS11 B4-REMOTE RADIO UNIT
C-4 SCALE: N.T.S.

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SCHEDULE OF REVISIONS

7		
6		
5		
4		
3	08/23/16	ISSUED FOR CONSTRUCTION
2	08/17/16	REVISED PER CLIENT COMMENTS
1	08/08/16	REVISED PER CLIENT COMMENTS
0	04/22/16	INITIAL SUBMISSION
REV NO.	DATE	DESCRIPTION OF CHANGES

DRAWN BY:	AM
CHECKED BY:	NDB
SCALE:	AS NOTED
JOB NO:	16012-SMA



NICHOLAS D. BARILE
PROFESSIONAL ENGINEER, N.Y. LIC. No. 090133

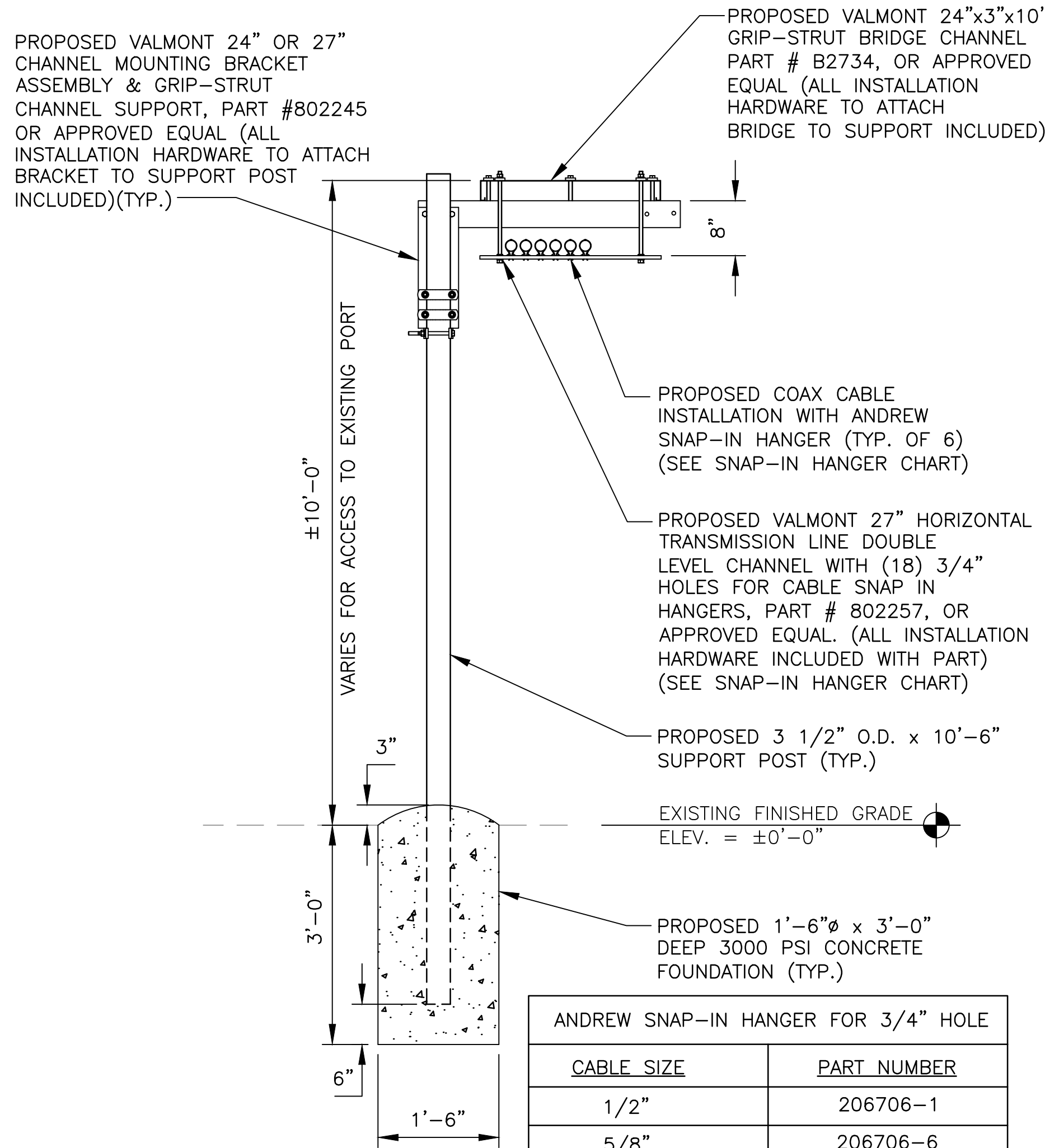
SITE #: NY09130B
SITE NAME: SMITH RIDGE ROAD
337 SMITH RIDGE ROAD
SOUTH SALEM, NY 10590
WESTCHESTER COUNTY

DRAWING TITLE:

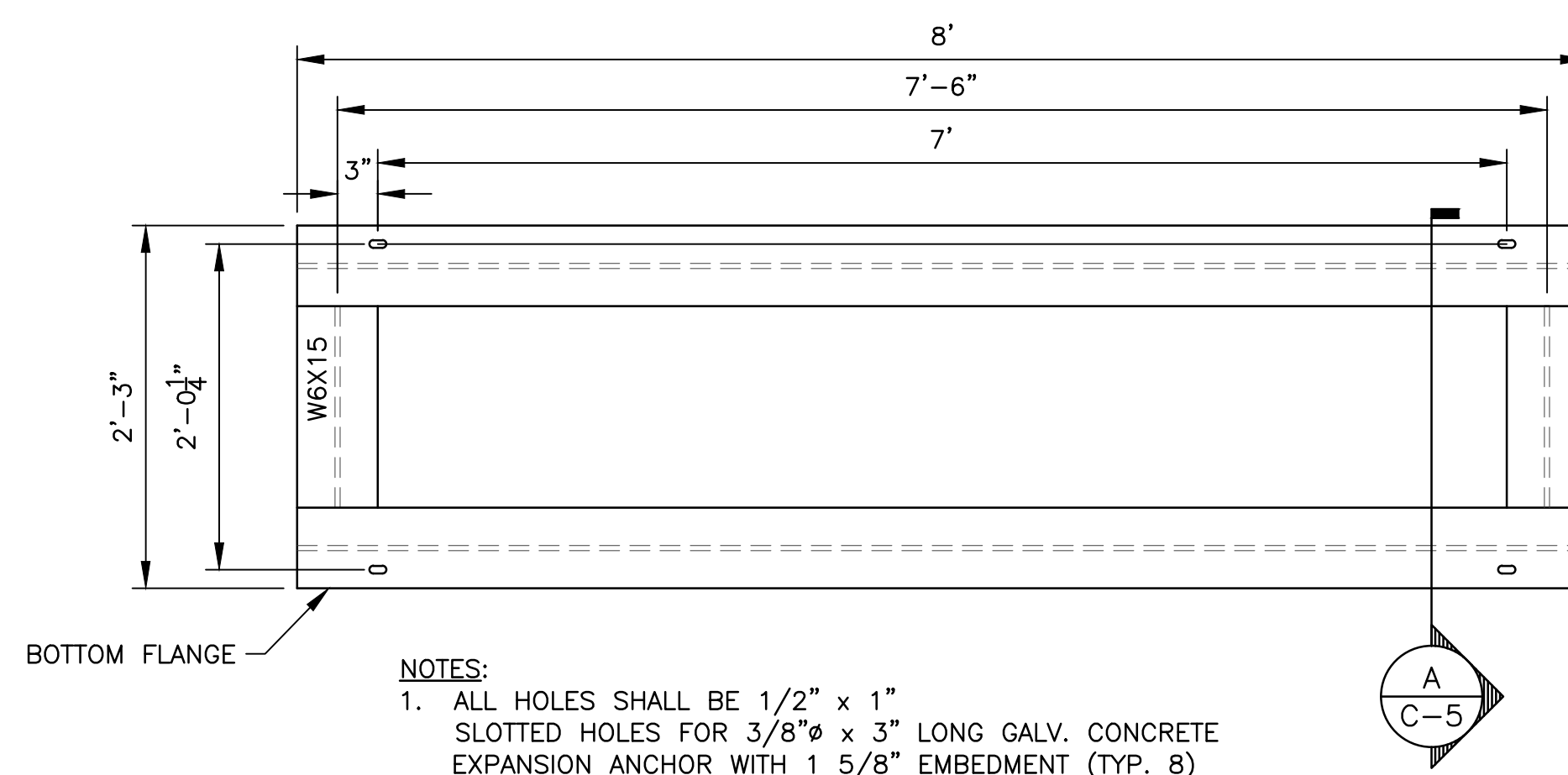
DETAILS

DRAWING SHEET: 5 OF 10

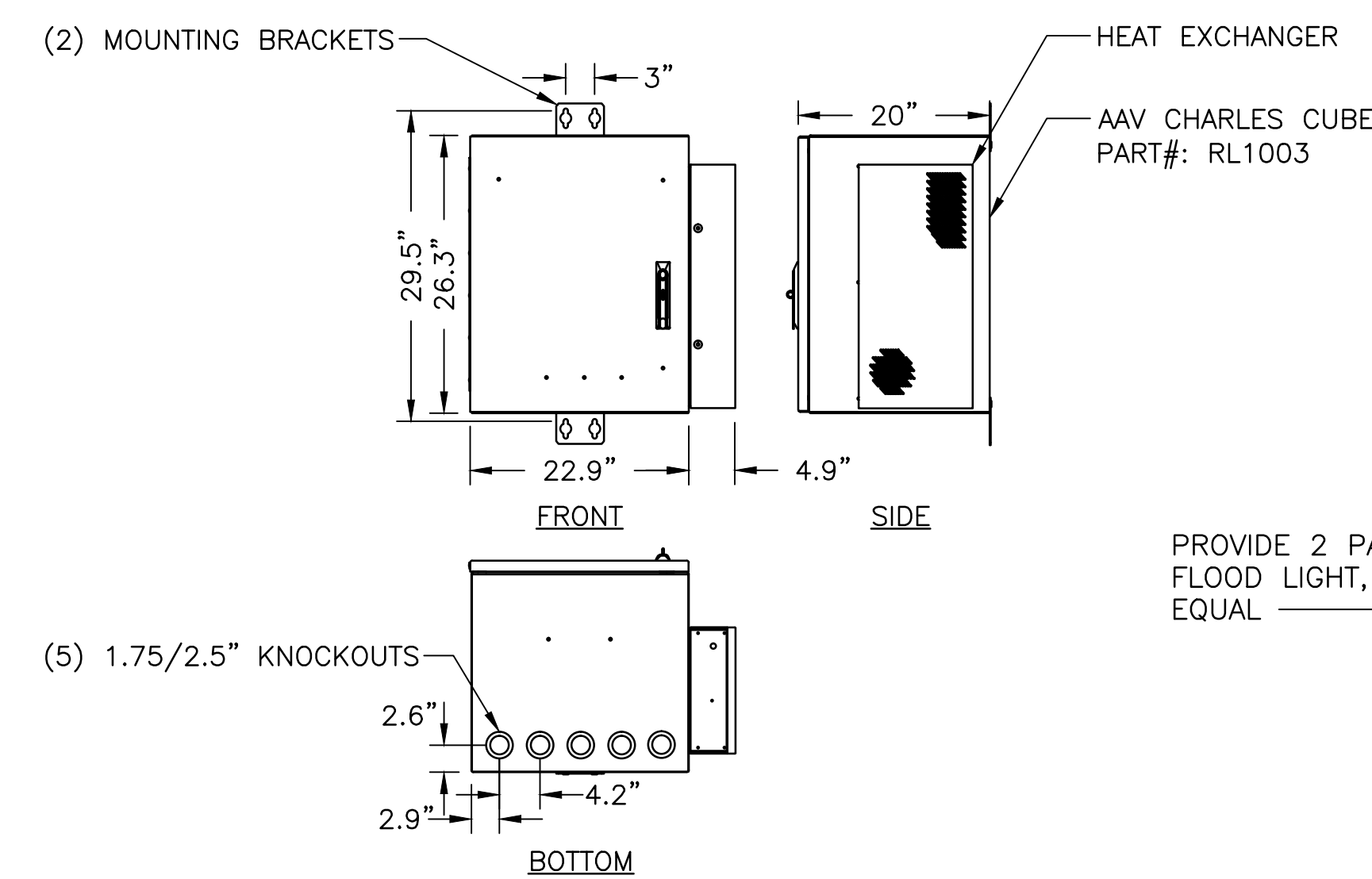
C-4



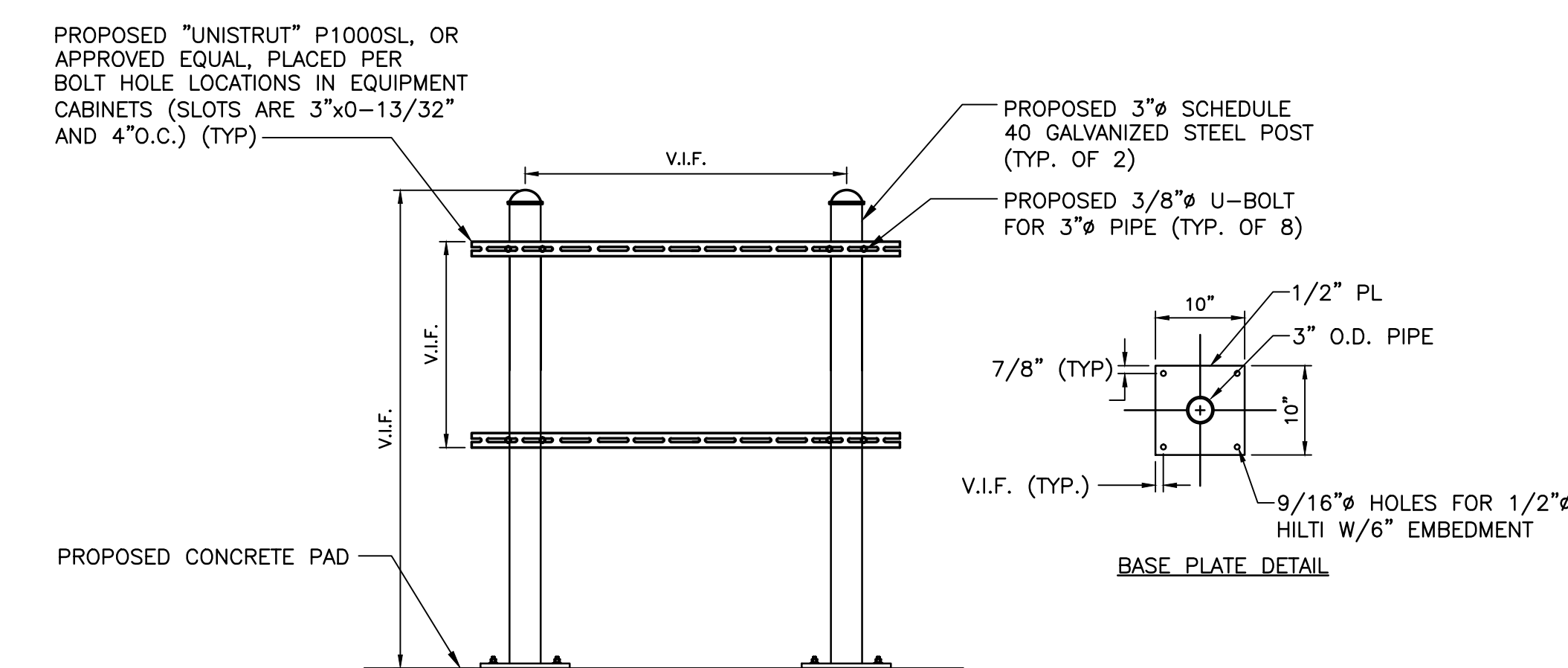
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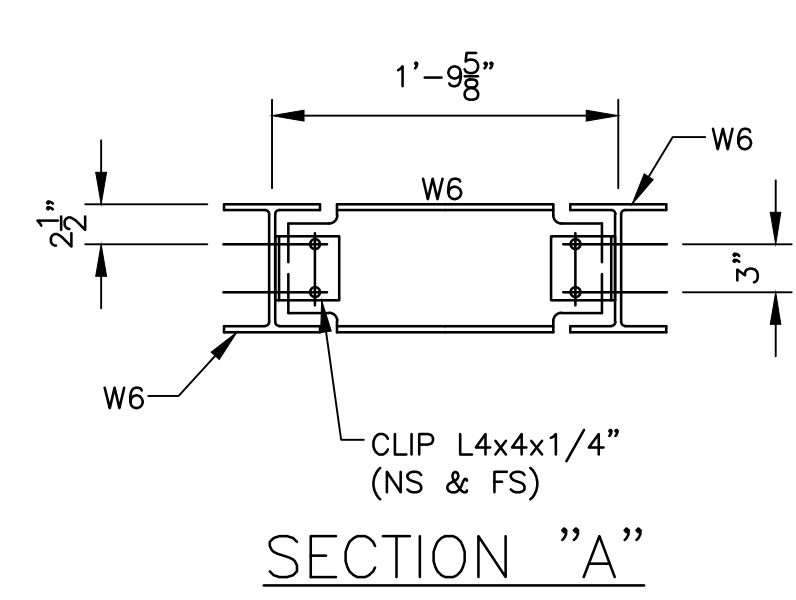
5 STEEL EQUIPMENT RAIL DETAIL
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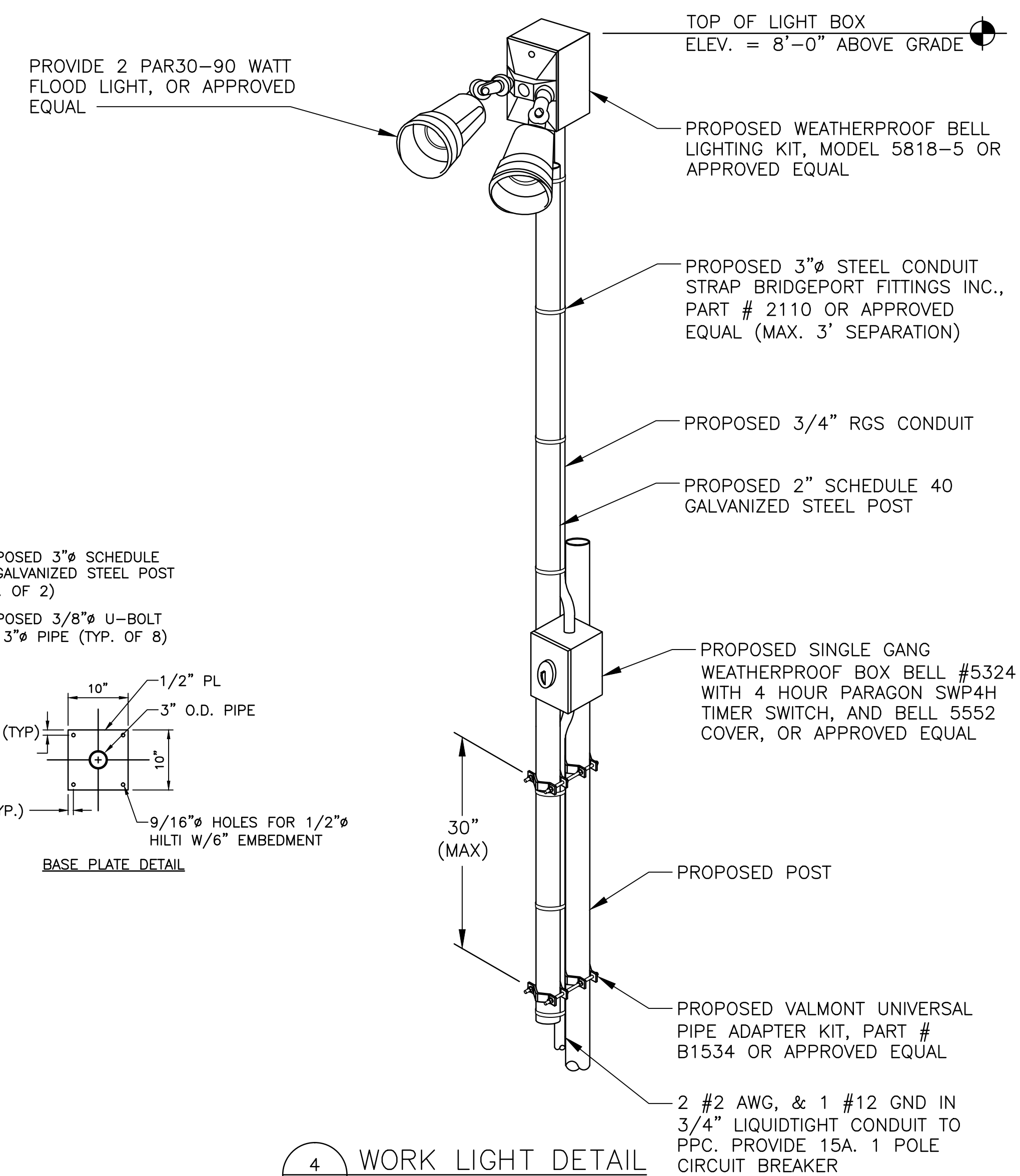
2 AAV CABINET DETAIL
SCALE: N.T.S.



3 H-FRAME DETAIL
SCALE: N.T.S.



6 DISH ANTENNA DETAIL
SCALE: N.T.S.



4 WORK LIGHT DETAIL
SCALE: N.T.S.

CONTRACTOR TO VERIFY ALL PROPOSED ANTENNAS, MOUNTS AND CABLES WERE CONSIDERED AND PASSED A STRUCTURAL ANALYSIS PERFORMED BY A LICENSED ENGINEER PRIOR TO INSTALLATION.

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SCALE: AS NOTED
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NICHOLAS D. BARILE
PROFESSIONAL ENGINEER, N.Y. L.C. No. 090133

SITE #: NY09130B
SITE NAME: SMITH RIDGE ROAD
337 SMITH RIDGE ROAD
SOUTH SALEM, NY 10590
WESTCHESTER COUNTY

DRAWING TITLE:

DETAILS

DRAWING SHEET: 6 OF 10

C-5

1. GENERAL REQUIREMENTS:

- 1.1 THE WORK TO BE DONE UNDER THIS PROJECT INCLUDES PROVIDING ALL EQUIPMENT, MATERIALS, LABOR AND SERVICES, AND PERFORMING ALL OPERATIONS FOR COMPLETE AND OPERATING SYSTEMS. ANY WORK NOT SPECIFICALLY COVERED BUT NECESSARY TO COMPLETE THIS INSTALLATION, SHALL BE PROVIDED. ALL EQUIPMENT AND WIRING TO BE NEW AND PROVIDED UNDER THIS CONTRACT UNLESS OTHERWISE NOTED.
- 1.2 ENTIRE INSTALLATION, INCLUDING MATERIALS, EQUIPMENT AND WORKMANSHIP, SHALL CONFORM TO THE 2005 EDITION OF THE NATIONAL ELECTRIC CODE (NEC) AS WELL AS ALL APPLICABLE LAWS AND REGULATIONS AND REGULATORY BODIES HAVING JURISDICTION OVER THIS WORK:
- 1.3 THE TERM "FURNISH" SHALL MEAN TO OBTAIN AND SUPPLY TO THE JOB SITE. THE TERM "INSTALL," SHALL MEAN TO FIX IN POSITION AND CONNECT FOR USE. THE TERM "PROVIDE" SHALL MEAN TO FURNISH AND INSTALL. THE TERM "CONTRACTOR" SHALL MEAN ELECTRICAL CONTRACTOR.
- 1.4 ONLY WRITTEN CHANGES AND/OR MODIFICATIONS APPROVED BY THE ENGINEER, CONSULTING ENGINEER OR OWNER'S REPRESENTATIVE WILL BE RECOGNIZED.
- 1.5 THE ELECTRICAL CONTRACTOR SHALL SUBMIT, FOR THE ENGINEER'S APPROVAL, DETAILED SHOP DRAWINGS OF ALL EQUIPMENT SPECIFIED.
- 1.6 CONTRACTOR SHALL COORDINATE WITH SPECIFICATIONS PROVIDED BY OTHER TRADES.
- 1.7 PROVIDE OPERATING AND MAINTENANCE MANUALS, PER SPECIFICATIONS, AND GIVE INSTRUCTIONS TO USER FOR ALL EQUIPMENT AND SYSTEMS PROVIDED UNDER THIS CONTRACT AFTER ALL ARE CLEANED AND OPERATING.
- 1.8 KEEP PREMISES FREE FROM RUBBISH. REMOVE ALL ELECTRICAL RUBBISH FROM SITE.
- 1.9 ALL WORK SHALL BE INSTALLED CONCEALED UNLESS OTHERWISE NOTED.
- 1.10 THE WORK SHALL INCLUDE ALL PANELS, DEVICES, FEEDERS AND BRANCH CIRCUIT WIRING AS REQUIRED FOR THE DISTRIBUTION SYSTEM INDICATED AND CALLED FOR ON THE DRAWINGS, REQUIRED BY SPECIFICATIONS AND AS NECESSARY FOR COMPLETE FUNCTIONAL SYSTEMS PRESENTED AND INTENDED.
- 1.11 THE CONTRACTOR SHALL FURNISH ALL MATERIAL, LABOR, TOOLS, EQUIPMENT, CONSUMABLES AND SERVICES REQUIRED FOR OBTAINING, DELIVERY, INSTALLATION, CONNECTION, DISCONNECTION, REMOVAL, RELOCATION, REPAIR, REPLACEMENT, TESTING AND COMMISSIONING OF ALL EQUIPMENT AND DEVICES INCLUDED IN OR NECESSARY FOR THE WORK, AS APPLICABLE. THIS INCLUDES SCAFFOLDING, LADDERS, RIGGING, HOISTING, ETC.
- 1.12 ELECTRICAL WORK SHALL INCLUDE ALL REQUIRED CUTTING, PATCHING AND THE FULL RESTORATION OF WALL AND FLOOR STRUCTURE AND SURFACES. ALL EQUIPMENT, WALLS, FLOORS, ETC., DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER, AT THE CONTRACTORS EXPENSE.
- 1.13 BEFORE SUBMITTING HIS BID, THE CONTRACTOR SHALL FULLY AQUAINT HIMSELF/HERSELF WITH THE JOB CONDITIONS AND DIFFICULTIES THAT WILL PERTAIN TO THE EXECUTION OF THIS WORK. SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED, WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE.
- 1.14 THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES.
- 1.15 UPON COMPLETION OF THE ELECTRICAL WORK, THE CONTRACTOR SHALL TEST THE COMPLETE ELECTRICAL SYSTEM FOR SHORTS, GROUNDS, AND PROPER OPERATION, IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE.
- 1.16 UPON COMPLETION OF WORK, THE CONTRACTOR SHALL CLEAN AND ADJUST ALL EQUIPMENT AND LIGHTING AND TEST SYSTEMS TO THE SATISFACTION OF OWNER AND ENGINEER. RESULTS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
- 1.17 THE CONTRACTOR SHALL FIELD VERIFY DIMENSIONS OF FINISHED CONSTRUCTION PRIOR TO FABRICATION AND INSTALLATION OF FIXTURES AND EQUIPMENT.
- 1.18 EXACT ROUTING OF CONDUITS AND "MC" CABLES SHALL BE DETERMINED IN THE FIELD.
- 1.19 IF THE OWNER AND/OR HIS REPRESENTATIVE CONSIDERS ANY WORK TO BE INFERIOR, THE RESPECTIVE CONTRACTOR SHALL REPLACE SAME WITH CONTRACT STANDARD WORK WITHOUT ADDITIONAL CHARGE. ALL WORK SHALL BE DONE IN A NEAT, WORKMANLIKE MANNER, LEFT CLEAN AND FREE FROM DEFECTS, AND COMPLETELY OPERABLE.
- 1.20 THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AS SHOWN ON THE DRAWINGS AND/OR AS SPECIFIED. ALL MATERIALS SHALL BE NEW, AND BEAR THE UL LABEL. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER.
- 1.21 DRAWINGS ARE TO BE CONSIDERED DIAGRAMMATIC, AND SHALL BE FOLLOWED AS CLOSELY AS CONDITIONS ALLOW TO COMPLETE THE INTENT OF THE CONTRACT. THE DRAWINGS AND SPECIFICATIONS COMPLIMENT ONE ANOTHER, AND WHAT IS SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, AND VICE VERSA, IS TO BE INCLUDED IN THE SCOPE OF WORK.
- 1.22 ALL EQUIPMENT CONNECTIONS SHALL BE INSTALLED PER APPLICABLE SEISMIC REQUIRMENTS.
- 1.23 ENGINEER WILL MAKE A FINAL INSPECTION WITH THE OWNER AND CONTRACTOR AND WILL NOTIFY THE CONTRACTOR IN WRITING OF ALL PARTICULARS IN WHICH THIS INSPECTION REVEALS THAT THE WORK IS INCOMPLETE OR DEFECTIVE. THE CONTRACTOR SHALL IMMEDIATELY TAKE SUCH MEASURES AS ARE NECESSARY TO COMPLETE SUCH WORK OR REMEDY SUCH DEFICIENCIES.
- 1.24 THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, TRENCHING AND BACKFILL REQUIRED FOR ELECTRICAL WORK. BACKFILL SHALL BE SUITABLE MATERIAL PROPERLY COMPACTED TO 95% DENSITY IN EACH LAYER OF SIX (6) INCH DEPTH. CONDUIT SHALL BE MINIMUM 36" BELOW FINISHED GRADE.

2. PROJECT COORDINATION:

- 2.1 THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS AT THE SITE AND NOTIFY THE OWNER OF ANY DISCREPANCIES, PRIOR TO COMMENCING WITH THE WORK.
- 2.2 THE CONTRACTOR SHALL REVIEW AND COORDINATE WITH THE DOCUMENTS OF ALL TRADES.
- 2.3 THE CONTRACTOR SHALL FURNISH A SCHEDULE INDICATING HIS PORTION OF TIME, WITHIN THE OVERALL SCHEDULE, REQUIRED TO COMPLETE THE WORK, IN CONJUNCTION WITH ALL TRADES. ALL WORK THAT MAY AFFECT OPERATION OF BUILDING SYSTEMS SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- 2.4 REFER TO THE CONSTRUCTION DRAWINGS AND APPROPRIATE VENDORS APPROVED DIMENSIONED LAYOUT DRAWINGS FOR THE LOCATIONS OF ALL ELECTRICAL DEVICES AND EQUIPMENT.
- A. EXTERIOR, BUILDING MOUNTED LUMINARIES
- B. SWITCHES
- 2.5 REFER TO THE PLUMBING DRAWINGS FOR THE LOCATIONS OF THE FOLLOWING:
- A. GENERATOR
- 2.6 SHUT DOWN OF POWER SHALL BE COORDINATED WITH THE OWNER, ARCHITECT AND PROJECT MANAGER AT LEAST 14 WORKING DAYS PRIOR TO SHUT DOWN. SHUT DOWNS LONGER THAN 2 DAYS SHALL BE COORDINATED WITH THE ABOVE PERSONNEL AT LEAST ONE MONTH IN ADVANCE. TEMPORARY POWER FOR CONSTRUCTION SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR FOR SHUT DOWNS OVER 2 DAYS.
- 2.7 ALL CONDUITS AND DEVICE BOXES SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR, INCLUDING ALL TECHNOLOGY CONDUITS AND BOXES.
- 2.8 EXACT LOCATIONS OF OUTLETS AND EQUIPMENT SHALL BE COORDINATED WITH ARCHITECTURAL AND MILLWORK PLANS. ALL OUTLET AND EQUIPMENT LAYOUTS SHALL BE VERIFIED AND COORDINATED WITH WORK OF OTHER TRADES.
- 2.9 PROVIDE TEMPORARY LIGHTING AND POWER IN ACCORDANCE WITH ARTICLE 305 OF THE NEC. TEMPORARY LIGHTING FIXTURES IN UNFINISHED AREAS SHALL REMAIN CONNECTED UNTIL REMOVAL IS REQUESTED BY THE CONTRACTOR.
- 2.10 COLORS AND FINISHES OF ALL LIGHTING FIXTURES SHALL BE AS DETERMINED BY THE PROPERTY OWNER FROM THOSE AVAILABLE AS STANDARD OF THE EQUIPMENT SPECIFIED. PROVIDE CUSTOM ENGRAVING FOR ALL DIMMER SWITCHES.
- 2.11 THE CONTRACTOR SHALL CONTACT THE BUILDING MANAGER TO OBTAIN A COPY OF THE GENERAL REQUIREMENTS AND/OR CONDITIONS TO BE USED FOR THIS PROJECT.
- 2.12 INSTALL NEW WORK AND CONNECT TO EXISTING WORK WITH MINIMUM INTERFERENCE TO EXISTING FACILITIES. ALARM AND EMERGENCY SYSTEMS SHALL NOT BE INTERRUPTED. TEMPORARY SHUT DOWNS OF ANY SYSTEM SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER AND ARCHITECT.
- 2.13 CONTRACTOR SHALL VERIFY ALL EQUIPMENT POWER REQUIREMENTS AND REQUIRED OUTLET TYPES WITH EQUIPMENT MANUFACTURER AND OWNER PRIOR TO POWER DISTRIBUTION AND RECEPTACLE INSTALLATION.

3. PROTECTION OF WORK:

- 3.1 EFFECTIVELY PROTECT ALL MATERIALS AND EQUIPMENT FROM ENVIRONMENTAL AND PHYSICAL DAMAGE UNTIL FINAL ACCEPTANCE. CLOSE AND PROTECT ALL OPENINGS DURING CONSTRUCTION. PROVIDE NEW MATERIALS AND EQUIPMENT TO REPLACE ITEMS DAMAGED.

4. WARRANTIES AND BONDS:

- 4.1 ALL MATERIALS, EQUIPMENT AND WORKMANSHIP SHALL BE GUARANTEED IN WRITING FOR A MINIMUM OF ONE YEAR AFTER FINAL ACCEPTANCE BY OWNER.
- 4.2 OBTAIN AND DELIVER TO THE OWNER'S REPRESENTATIVE ALL GUARANTEES AND CERTIFICATES OF COMPLIANCE.

5. PERMITS:

- 5.1 CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTION FEES FOR ELECTRICAL WORK.

6. RACEWAYS:

- 6.1 ALL CONDUIT SHALL BE MINIMUM SIZE OF 3/4" FOR POWER CIRCUITS AND CONTROL CIRCUITS EXCEPT WHERE FLEXIBLE CONDUIT IS CALLED FOR ON PROJECT DOCUMENTS. ALL EXTERIOR EXPOSED CONDUIT SHALL BE GRC (GALVANIZED RIGID METAL CONDUIT). ALL UNDERGROUND, IN SLAB OR UNDER SLAB SHALL BE RNC (RIGID NONMETALLIC CONDUIT). CHANGE TO RIGID METALLIC CONDUIT OR INTERMEDIATE METALLIC CONDUIT BEFORE EXITING OUT OF CONCRETE OR PENETRATING A WALL, FLOOR OR ROOF. EMT IS ALLOWED IN INTERIOR DRY LOCATIONS WHERE NOT SUBJECT TO DAMAGE.
- 6.2 ALL FLEXIBLE CONDUIT IN WET OR DRY AREAS SHALL BE LIQUID TIGHT CONDUIT. NONMETALLIC FLEXIBLE CONDUIT IS SPECIFICALLY PROHIBITED.
- 6.3 CONDUIT SHALL BE RUN AT RIGHT ANGLES AND PARALLEL TO BUILDING LINES, SHALL BE NEATLY RACKED AND SECURELY FASTENED. JUNCTION BOXES SHALL BE PROVIDED WHERE REQUIRED TO FACILITATE INSTALLATION OF WIRES.
- 6.4 ALL CONDUIT AND ELECTRICAL EQUIPMENT SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE IN AN APPROVED MANNER.
- 6.5 ALL EMPTY RACEWAYS SHALL BE FURNISHED WITH A 200 LB. TEST NYLON DRAG LINE.
- 6.6 ARRANGEMENT OF CONDUIT AND EQUIPMENT SHALL BE AS INDICATED, UNLESS MODIFICATION IS REQUIRED TO AVOID INTERFERENCES.
- 6.7 ALL RACEWAY AND WIRING SHALL BE CONCEALED IN FINISHED AREAS. RACEWAY IN MECHANICAL ROOMS, BASEMENTS AND CRAWL SPACES MAY BE SURFACE MOUNTED.
- 6.8 FOR CONDUITS CROSSING EXPANSION JOINTS, PROVIDE EXPANSION FITTINGS FOR SIZE 1-1/4", AND LARGER. PROVIDE SECTIONS OF FLEXIBLE CONDUIT WITH GROUNDING JUMPERS FOR SIZES 1" AND SMALLER.
- 6.9 THE CONTRACTOR SHALL SEAL ALL PENETRATIONS THROUGH FIRE RATED WALLS AND FLOORS WITH APPROVED FIRE RATED SEALANT. ALL PENETRATIONS THROUGH ALL WALLS AND FLOORS SHALL BE SEALED FOR ALL SLAB PENETRATIONS THE METHOD, DEPTHS AND LOCATIONS SHALL BE PRE-APPROVED BY THE BUILDING ENGINEER PRIOR TO THE START OF WORK.
- 6.10 THE CONTRACTOR SHALL INSTALL DETECTABLE UNDERGROUND TAPES FOR THE PROTECTION, LOCATION AND IDENTIFICATION OF UNDERGROUND CONDUIT INSTALLATION.
- 6.11 EXACT ROUTING OF CONDUITS AND CABLES SHALL BE DETERMINED IN FIELD.
- 6.12 ALL PENETRATIONS THROUGH FLOORS SHALL BE FIRE STOPPED AND SEALED WITH APPROVED SEALANT.
- 6.13 ELECTRICAL RACEWAY CONNECTIONS TO VIBRATING EQUIPMENT AND MACHINERY SUCH AS MOTORS, TRANSFORMERS, ETC., SHALL BE MADE WITH FLEXIBLE LIQUID TIGHT METALLIC CONDUIT.
- 6.14 SECURE ALL SUPPORTS TO BUILDING STRUCTURE UTILIZING TOGGLE BOLTS IN HOLLOW MASONRY, EXPANSION SHIELDS OR INSERTS IN CONCRETE AND BRICK. MACHINE SCREWS IN METAL, BEAM CLAMPS IN FRAMEWORK AND WOOD SCREWS IN WOOD. NAILS, RAWL PLUGS AND WOOD PLUGS ARE NOT PERMITTED. WHERE REQUIRED BY STRUCTURE, PROVIDE THRU BOLTS AND FISH PLATES. SUPPORT RACEWAY RISERS AT EACH FLOOR LEVEL. RUN EXPOSED RACEWAYS PARALLEL WITH OR AT RIGHT ANGLES TO BUILDING LINES.
- 6.15 DO NOT RUN RACEWAYS CLOSER THAN 6 INCHES WHEN PARALLEL TO HOT WATER OR STEAM PIPES. WHEN CROSSING WATER OR STEAM PIPES CROSS A MINIMUM OF 3 INCHES ABOVE. IF CROSSING BELOW IS UNAVOIDABLE, PROVIDE DRIP SHIELDS EXTENDING 6 INCHES BEYOND THE WATER OR STEAMPIPE. BOXES INSTALLED IN PROXIMITY TO WATER OR STEAM PIPE SHALL BE RATED NEMA 4X.

7. BOXES:

- 7.1 INTERIOR OUTLET BOXES SHALL BE METALLIC, EXCEPT AS NOTED. FAN MOUNTING BOXES SHALL BE RATED FOR THE APPLICATION AND FOR THE WEIGHT OF THE FAN. EXTERIOR OUTLET BOXES SHALL BE CAST ALUMINUM AND SHALL BE MADE WEATHERTIGHT.
- 7.2 INTERIOR JUNCTION BOXES SHALL BE SHEET STEEL. EXTERIOR JUNCTION BOXES SHALL BE NONMETALLIC, WITH SCREW COVERS. BOXES SHALL BE SUPPORTED INDEPENDENTLY OF CONDUITS.
- 7.3 MOUNTING HEIGHTS OF EQUIPMENT AND DEVICES SHALL BE AS FOLLOWS:
- A. RECEPTACLES (WALL MOUNTED) - 18" A.F.F.
- B. RECEPTACLES (COUNTER HEIGHT) - 9" ABOVE COUNTER
- C. RECEPTACLES (EXTERIOR) - 24" ABOVE FINISHED GRADE
- D. COMMUNICATION OUTLETS - SAME AS RECEPTACLES
- E. LIGHTING SWITCHES AND CONTROLS - 44" A.F.F.
- F. PANELBOARDS AND CABINETS - 78" TO TOP OF ENCLOSURE
- 7.4 WHERE MULTIPLE SWITCHES AND RECEPTACLES ARE INDICATED AT THE SAME LOCATION, THEY SHALL BE MOUNTED BEHIND A COMMON FACEPLATE. TECHNOLOGY OUTLETS SHALL BE SEPARATED FROM AND BE PROVIDED WITH SEPARATE FACEPLATES FROM THE ASSOCIATED POWER RECEPTACLES.
- 7.5 RECEPTACLES SHALL BE ACCESSIBLE EXCEPT A DEDICATED RECEPTACLE MAY BE OBSTRUCTED BY THE REMOVABLE EQUIPMENT IT SERVES.
- 7.6 OUTLET BOXES IN EXISTING CONCRETE FLOORS WITH ACCESS FROM BELOW SHALL BE FIRE RATED, POKE-THROUGH TYPE FOR POWER AND LOW TENSION SERVICE. SERVICE FITTING HEADS SHALL BE ANODIZED ALUMINUM AND SHALL CONTAIN DEVICES AS SHOWN ON THE DRAWINGS. BOXES SHALL BE AS MANUFACTURED BY STEEL CITY OR HUBBELL.
- 7.7 SET BOXES SQUARE AND TRUE WITH BUILDING FINISH. INSTALL RECEPTACLE AND SWITCH OUTLETS IN ADVANCE OF FURRING AND FIREPROOFING. SECURE TO BUILDING STRUCTURE IN ACCORDANCE WITH NEC REQUIREMENTS.
- 7.8 FURNISH OUTLET BOXES WITH RAISED COVERS AND FIXTURE STUDS WHERE REQUIRED. WHERE NO FIXTURE OR DEVICE IS INSTALLED, PROVIDE OUTLET BOX WITH BLANK COVER. OFFSET BACK-TO-BACK OUTLETS WITH MINIMUM 6 INCH HORIZONTAL SEPARATION.

8. WIRING:

- 8.1 ALL WIRE SHALL BE COPPER WITH TYPE THHN/THWN 600 VOLT INSULATION, MINIMUM #12 AWG FOR POWER AND LIGHTING CIRCUITS AND #16 AWG FOR CONTROL CIRCUITS.
- 8.2 UNDER NO CIRCUMSTANCES SHALL FEEDERS BE SPLICED.
- 8.3 ALL COMPUTER CIRCUITS SHALL HAVE SEPARATE NEUTRAL CONDUCTORS. ALL OTHER CIRCUITS MAY SHARE GROUND AND NEUTRAL CONDUCTORS.
- 8.4 WHERE EQUIPMENT, LIGHTING FIXTURES AND WIRING DEVICES ARE SHOWN WITH CIRCUIT NUMBERS ONLY, THE MINIMUM BRANCH CIRCUITTING REQUIREMENTS SHALL BE AS FOLLOWS:
- A. LIGHTING FIXTURES - (2)#12 & #12 GND.
- B. RECEPTACLES - (2)#12 & #12 GND.
- C. BRANCH CIRCUIT BREAKERS (120 VOLT) - 1P, 20A
- D. HOMERUNS TO PANEL BOARDS SHALL CONTAIN NO MORE THAN THREE CIRCUITS.
- E. WHERE LIGHTING SWITCH INDICATIONS ARE NOT SHOWN SWITCHES SHALL BE CONNECTED TO CONTROL ALL SWITCHED FIXTURES WITHIN THE CORRESPONDING SPACE.
- 8.5 CONTRACTOR SHALL INCREASE SIZE OF CIRCUIT WIRING/CONDUCTORS TO COMPENSATE FOR VOLTAGE DROP.
- 8.6 WIRE SIZES SHALL BE INCREASED TO COMPENSATE FOR VOLTAGE DROP AS FOLLOWS:
- A. 120V AND 208V CIRCUITS LONGER THAN 80' SHALL UTILIZE MIN. #10 AWG.
- B. 208V CIRCUITS LONGER THAN 150' SHALL UTILIZE MIN. #10 AWG.

9. GROUNDING:

- 9.1 PROVIDE A COMPLETE EQUIPMENT GROUND SYSTEM FOR THE ELECTRICAL SYSTEM AS REQUIRED BY ARTICLE 250, OF THE NEC, AND AS SPECIFIED HEREIN.
- 9.2 ALL BRANCH CIRCUITS FOR POWER WIRING SHALL CONTAIN A COPPER GROUND WIRE. NO FLEXIBLE METAL CONDUIT OF ANY KIND OR LENGTH SHALL BE USED AS THE EQUIPMENT GROUNDING CONDUCTOR.
10. DEVICES:
- 10.1 THE CONTRACTOR SHALL VERIFY COLOR, LOCATION AND MOUNTING HEIGHT OF ALL DEVICES WITH ARCHITECT PRIOR TO INSTALLATION.
- 10.2 RECEPTACLES SHALL BE DUPLEX TYPE, 20 AMP, 125 VOLT RATING, WITH SIDE AND BACK WIRING. HUBBELL 5362 OR APPROVED EQUAL.
- 10.3 GROUND FAULT INTERRUPTERS SHALL BE SPECIFICATION GRADE. HUBBELL GF5362 OR APPROVED EQUAL.
- 10.4 SWITCHES SHALL BE SPECIFICATION GRADE, 20 AMP AT 120/277 VOLTS, QUIET, AC, SINGLE OR DOUBLE POLE, THREE OR FOUR WAY AS REQUIRED, ROCKER STYLE WITH BACK AND SIDE WIRING.
- 10.5 ALL RECEPTACLES MARKED WP SHALL BE GROUND FAULT PROTECTED AND WEATHER TIGHT WHILE IN USE.
- 10.6 THE COLOR OF FACEPLATES SHALL MATCH COLOR OF DEVICE WHICH IT COVERS. ALL PLATES SHALL BE METALLIC.

11. PANELBOARDS:

- 11.1 PANELBOARDS: SWITCHING UNITS SHALL BE 120/240V, 1-PHASE, 3-WIRE, 200A, 45KAIC CIRCUIT BREAKER TYPE UNLESS OTHERWISE NOTED ON PANEL SCHEDULES. BUS BARS SHALL BE HARD DRAWN COPPER, MINIMUM 98% CONDUCTIVITY, AND SILVER OR TIN-PLATED JOINTS. CABINETS SHALL BE GALVANIZED SHEET STEEL BACK BOX, WITH DOOR AND TRIM AND LAPPED AND WELDED CORNERS. HARDWARE SHALL BE CHROME-PLATED WITH FLUSH LOCK/LATCH HANDLE ASSEMBLY (UP TO 48 IN. HIGH DOORS) OR VAULT HANDLE, LOCK AND 3-POINT CATCH (LARGER THAN 48 IN. HIGH DOORS). HINGES SHALL BE SEMI-CONCEALED, 5-KNUCKLE STEEL WITH NONFERREROUS PINS, 180-DEG OPENING, LOCATED A MAXIMUM .26 IN. ON CENTERS. PROVIDE DOOR-IN-DOOR CONSTRUCTION. MINIMUM GUTTER SPACES FOR LIGHTING PANELS SHALL BE 5- BOTTOM. DIRECTORY HOLDER SHALL BE METAL FRAME WITH CLEAR PLASTIC, TRANSPARENT COVER.
- 11.2 PROVIDE A NEW TYPE WRITTEN CIRCUIT DIRECTORY FOR EACH PANEL AFFECTED BY THIS PROJECT.
- 11.3 WHEREVER POSSIBLE, PANELBOARDS SHALL BE RECESSED IN WALL. SURFACE MOUNTED PANELBOARDS SHALL BE MOUNTED ON A PLYWOOD BACKBOARD. PLYWOOD SHALL BE MOUNTED ON TOP OF GYPSUM BOARD. PLYWOOD SHALL BE PAINTED ON ALL SIDES AND EDGES. COORDINATE WITH OWNER FOR COLOR.
- 11.4 PROVIDE LIGHTNING SURGE PROTECTION FOR MAIN SWITCHBOARD OR MAIN SERVICE PANEL BOARD. PROVIDE GROUNDING OF SURGE DEVICE PER THE NEC.
- 11.5 CIRCUIT NUMBERS SHOWN SHALL BE GENERALLY FOLLOWED, HOWEVER, CONTRACTOR IS RESPONSIBLE FOR BALANCING LOADS ON ALL PHASES AND MAY ALTER ASSIGNMENT OF CIRCUITS FOR BALANCING PHASES.
- 11.6 CIRCUIT SCHEDULES ARE INTENDED TO REPRESENT THE GENERAL WIRING NEEDS OF THE EQUIPMENT SERVICED FROM THE PANEL. THE EXACT CIRCUIT ARRANGEMENT WILL BE DETERMINED BY PANEL SHOP DRAWING AND ARRANGEMENT WILL BE DETERMINED BY PANEL SHOP DRAWING AND PANELS ACTUALLY FURNISHED.

12. LIGHTING:

- 12.4 PROVIDE LIGHTING FIXTURES AS SHOWN ON THE CONSTRUCTION DRAWINGS, COMPLETE WITH ALL STEMS, RODS, SUPPORTS, PLASTER FRAMES, ETC., NECESSARY FOR AN INSTALLATION IN OR ON THE MATERIAL FINISHES PROVIDED. PROVIDE ALL LAMPS FOR LIGHTING FIXTURES. FIXTURES SHALL HAVE ENERGY SAVING LAMPS, AND WHERE APPLICABLE, ENERGY SAVING BALLASTS WITH HIGH POWER FACTOR.

- 12.5 SEE DRAWINGS AND SPECIFICATIONS FOR FIXTURE REQUIREMENTS.

13. IDENTIFICATION:

- 13.1 PROVIDE BLACK PHENOLIC IDENTIFICATION PLATES, WITH WHITE LETTERS ON ALL ELECTRICAL EQUIPMENT FURNISHED IN THIS CONTRACT. ATTACH WITH SUITABLE ADHESIVE.

- 13.2 INSTALL NAMEPLATES ON ALL MAJOR EQUIPMENT. INCLUDE STARTERS, TRANSFORMERS, PANELBOARDS, DISCONNECT SWITCHES AND OTHER ELECTRICAL BOXES AND CABINETS INSTALLED UNDER THIS CONTRACT.

- 13.3 APPLY CABLE/CONDUCTOR IDENTIFICATION MARKERS ON EACH CABLE AND CONDUCTOR IN EACH BOX, ENCLOSURE OR CABINET.

14. RECORD DRAWINGS:

- 14.1 THE CONTRACTOR SHALL SUBMIT SIX (6) COPIES OF SHOP DRAWINGS. THE APPROVAL OF SHOP DRAWINGS SHALL ONLY BE CONSTRUED TO APPLY TO THE GENERAL LAYOUT AND CONFORMANCE TO THE DESIGN CONCEPT OF THE PROJECT AND FOR THE COMPLIANCE WITH THE GENERAL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL RETAIN THE RESPONSIBILITY FOR ANY DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- 14.2 PROVIDE SHOP DRAWINGS FOR THE LIGHTING FIXTURES, PANEL BOARDS, CIRCUIT BREAKERS, WIRING DEVICES, FIRE ALARM DEVICES AND SEALS FOR FIRE AND WATER STOPPING.
- 14.3 DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A RECORD SET OF INSTALLATION PRINTS. HE SHALL NEATLY AND CLEARLY RECORD ON THESE PRINTS ALL DEVIATIONS FROM THE CONTRACT DRAWINGS IN SIZES, LOCATIONS AND DETAILS.
- 14.4 UPON PROJECT COMPLETION, THE CONTRACTOR SHALL COMPLETE THE MARK UP OF ALL PROJECT DRAWINGS TO RECORD INSTALLED CONDITIONS.
- 14.5 REPRODUCIBLE "RECORD" DRAWINGS PREPARED IN CAD (AUTOCAD 2002) FORMAT SHALL BE PROVIDED TO VERIZON INDICATING THE AS INSTALLED CONDITIONS OF THE WORK. A FULL SIZE PRINT OUT OF THE "RECORD" DRAWING FILE SHALL BE PROVIDED TO VERIZON AFTER COMPLETION OF THE INSTALLATION.
- 14.6 UPON COMPLETION AND ACCEPTANCE OF WORK, THE CONTRACTOR SHALL FURNISH WRITTEN INSTRUCTIONS AND EQUIPMENT MANUALS AND DEMONSTRATE TO VERIZON THE PROPER OPERATIONS AND MAINTENANCE OF ALL EQUIPMENT AND APPARATUS FURNISHED UNDER THIS CONTRACT.

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COMEX ENGINEERING OF NY, PLLC, STATE OF NY
CERTIFICATE OF AUTHORIZATION # 27-3179723



T-MOBILE NORTHEAST LLC

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7		
6		
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4		
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0	04/22/16	INITIAL SUBMISSION
REV NO.	DATE	DESCRIPTION OF CHANGES

DRAWN BY: AM

CHECKED BY: NDB

SCALE: AS NOTED

JOB NO: 16012-SMA



NICHOLAS D. BARILE

PROFESSIONAL ENGINEER, N.Y. LIC. No. 090133

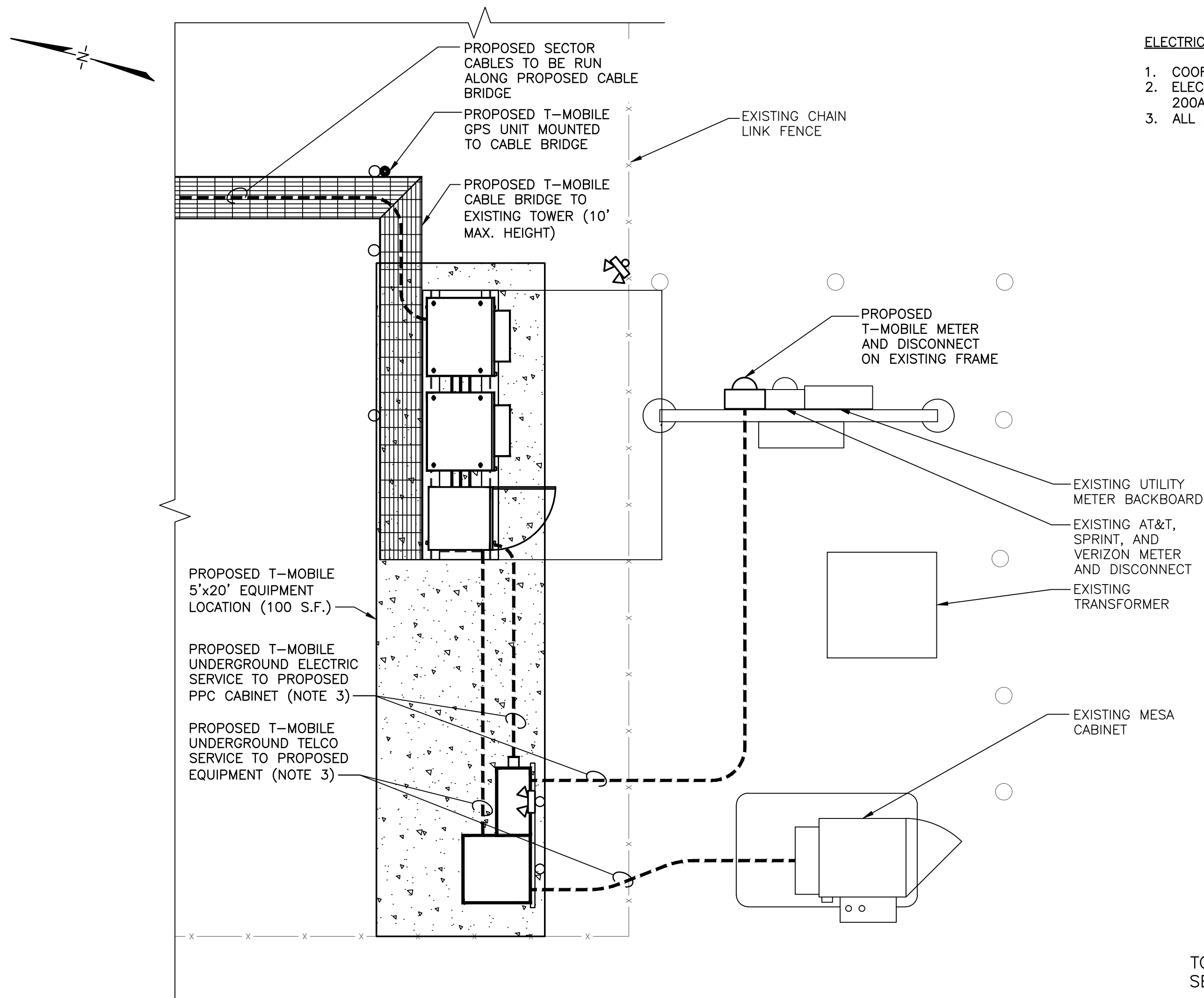
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SITE NAME: SMITH RIDGE ROAD
337 SMITH RIDGE ROAD
SOUTH SALEM, NY 10590
WESTCHESTER COUNTY

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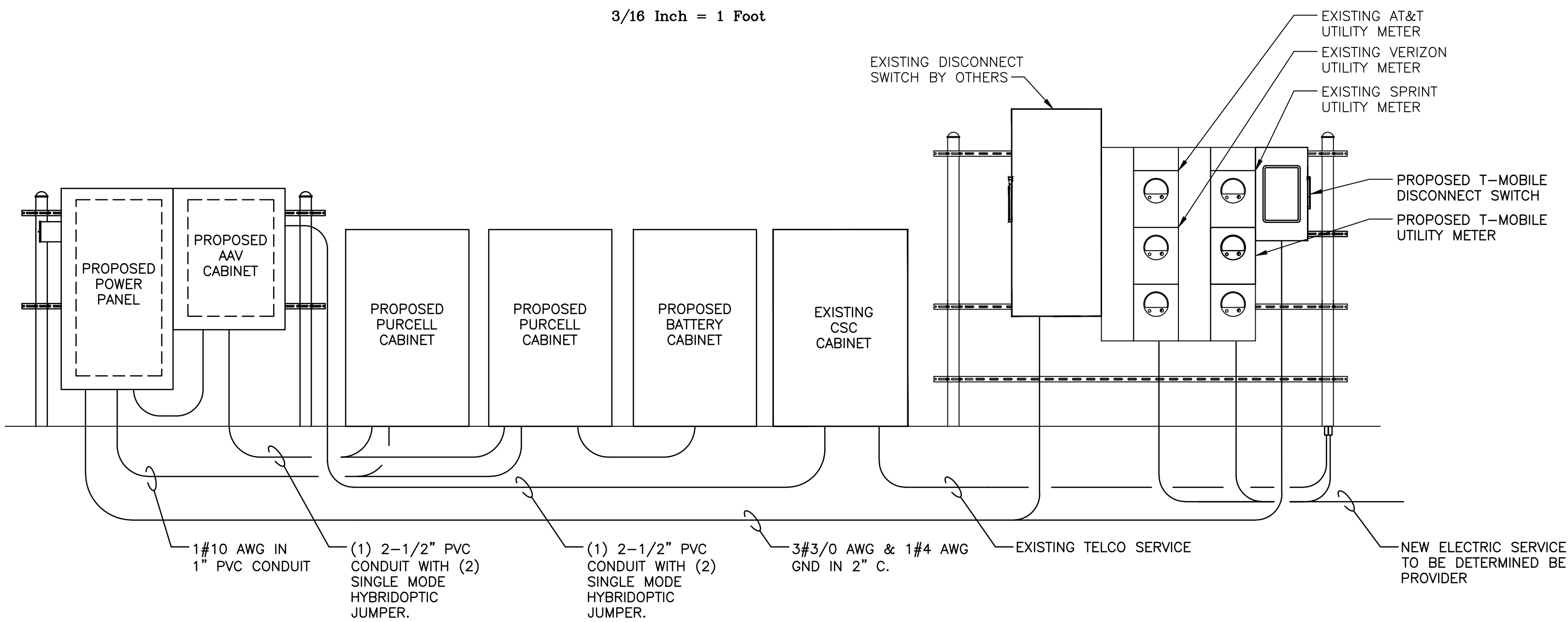
ELECTRICAL
NOTES

DRAWING SHEET: 7 OF 10

E-1



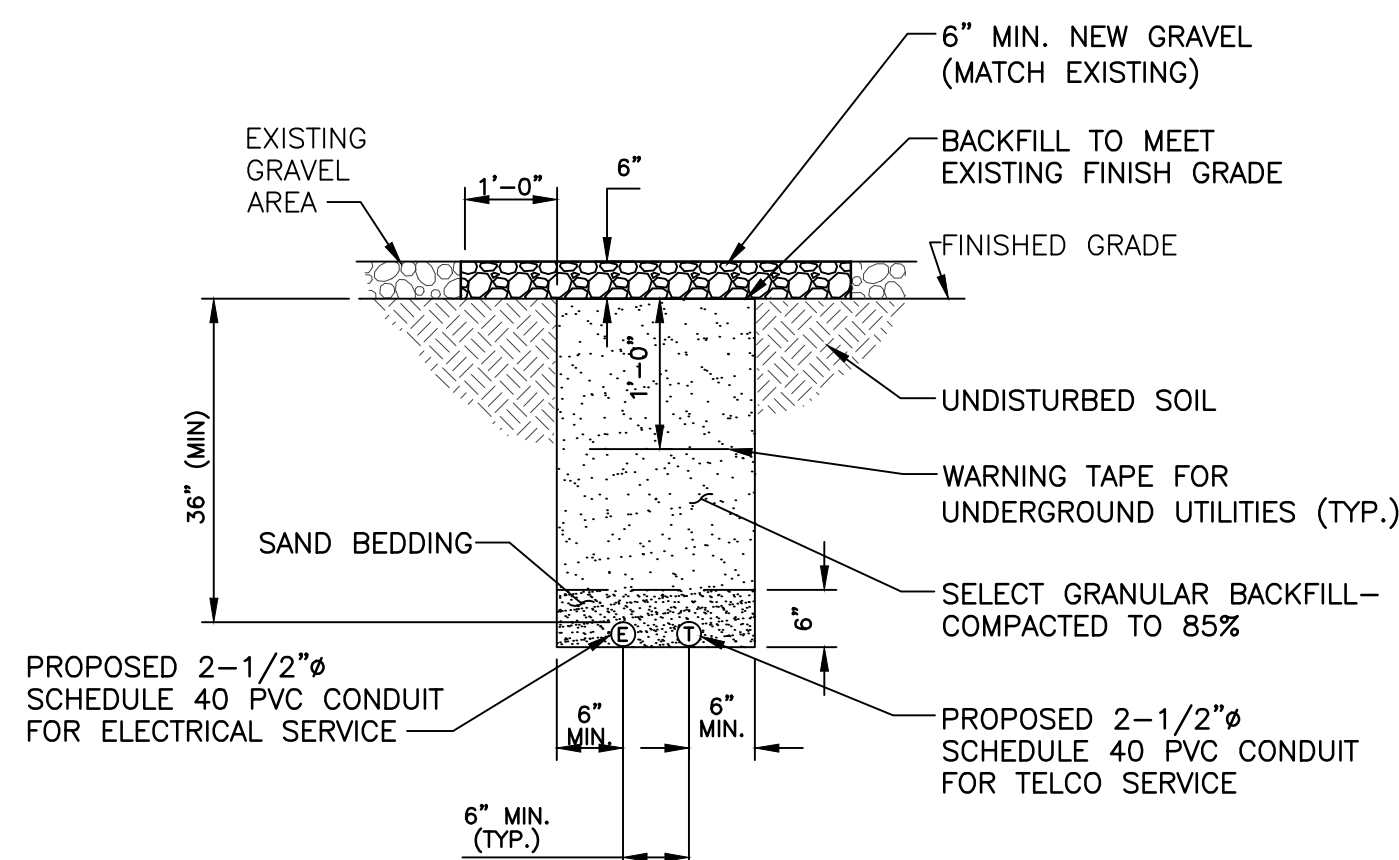
1 ELECTRIC & TELCO PLAN
E-2 SCALE: 3/16"=1'-0"
3/16 Inch = 1 Foot



4 POWER & SERVICE ENTRY DIAGRAM
E-2 N.T.S.

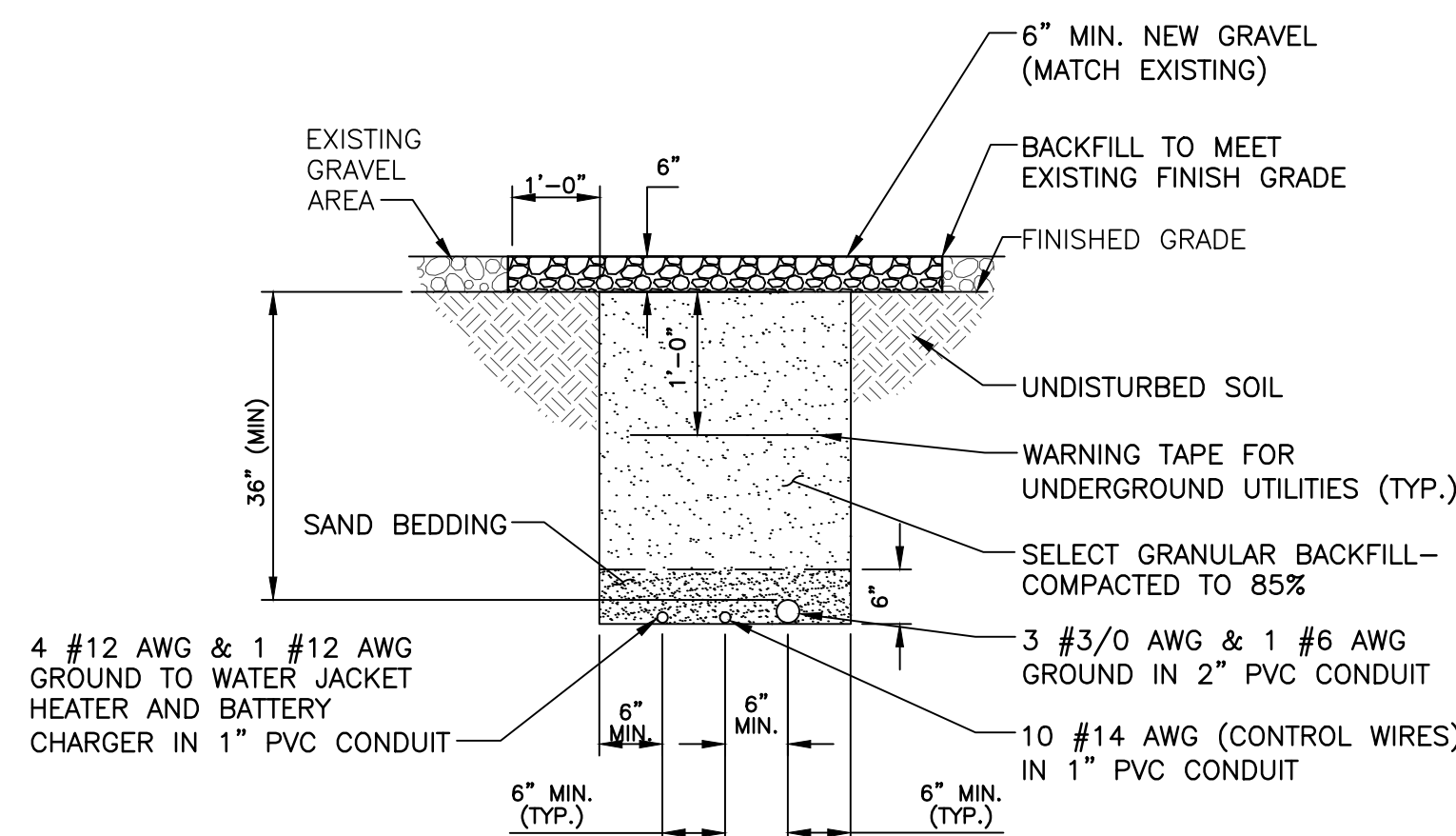
ELECTRICAL NOTES:

1. COORDINATE WORK WITH UTILITY COMPANY.
2. ELECTRICAL SERVICE TO THE NEW LOAD CENTER SHALL BE 200A, 120/240 VOLT, SINGLE PHASE, 3 WIRE.
3. ALL ABOVE GROUND CONDUIT SHALL BE RGS.



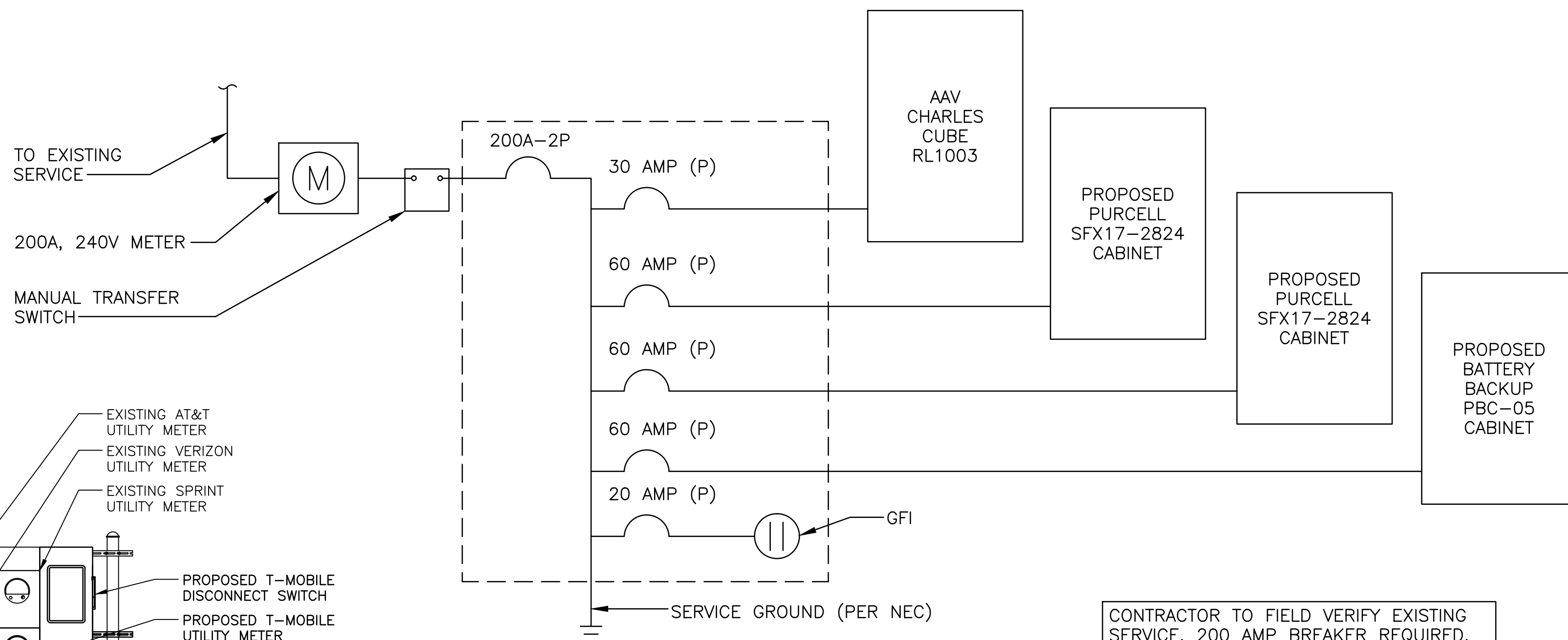
NOTE:
1. EXCAVATE EXISTING SUBGRADE AS REQUIRED TO INSTALL CONDUITS IN ACCORDANCE WITH OSHA AND ALL APPLICABLE CODES.

2 UNDERGROUND TRENCH DETAIL
E-2 N.T.S.



NOTE:
1. EXCAVATE EXISTING SUBGRADE AS REQUIRED TO INSTALL CONDUITS IN ACCORDANCE WITH OSHA AND ALL APPLICABLE CODES.

3 UNDERGROUND TRENCH DETAIL
E-2 N.T.S.



5 ONE-LINE POWER DIAGRAM
E-2 SCALE: N.T.S.

CONTRACTOR TO FIELD VERIFY EXISTING SERVICE. 200 AMP BREAKER REQUIRED. CONTRACTOR TO UTILIZE LICENSED ELECTRICIAN TO DESIGN, SECURE PERMITS FOR AND INSTALL UPGRADES AS NEEDED.

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NICHOLAS D. BARILE
PROFESSIONAL ENGINEER, N.Y. L.C. No. 090133

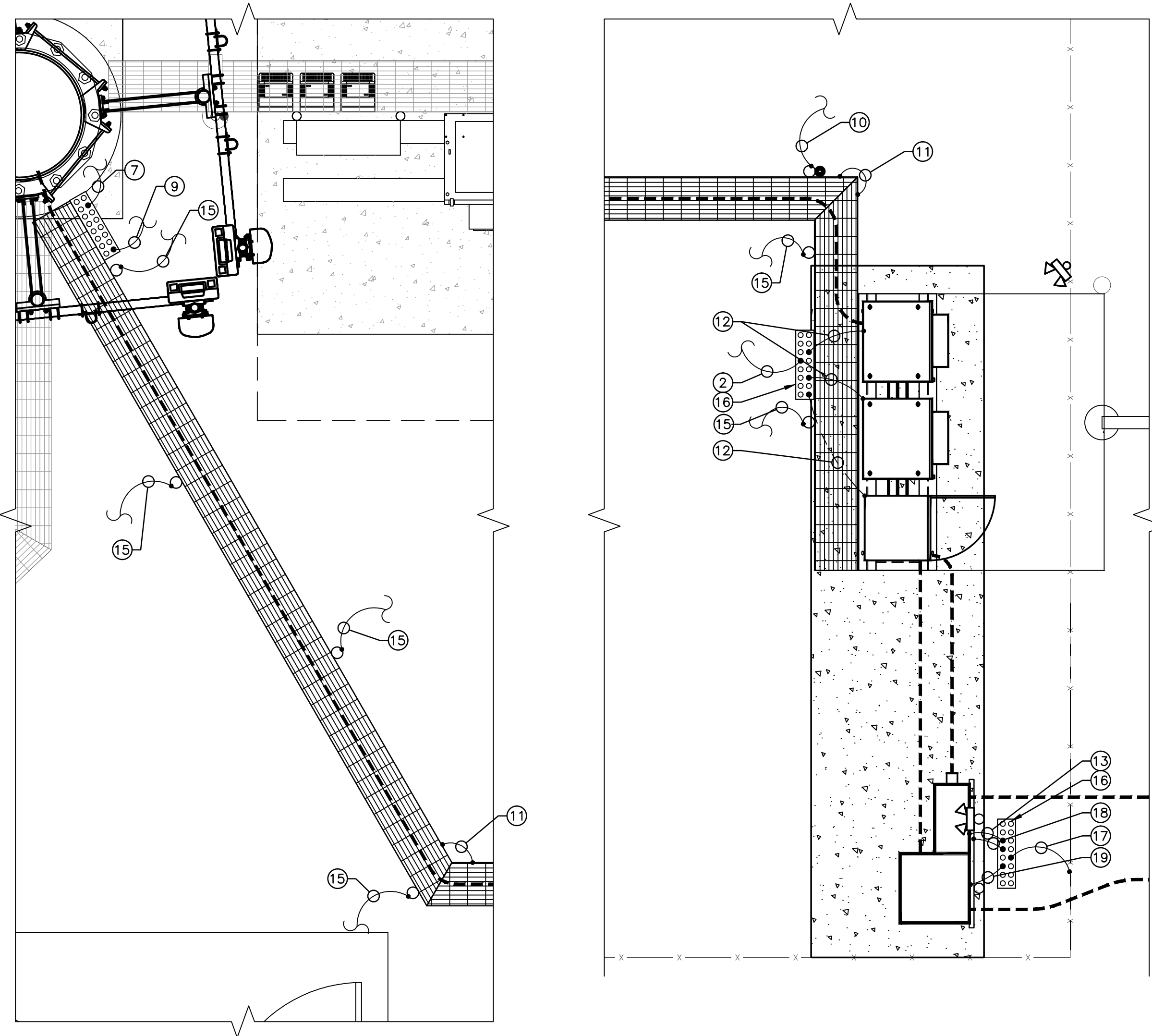
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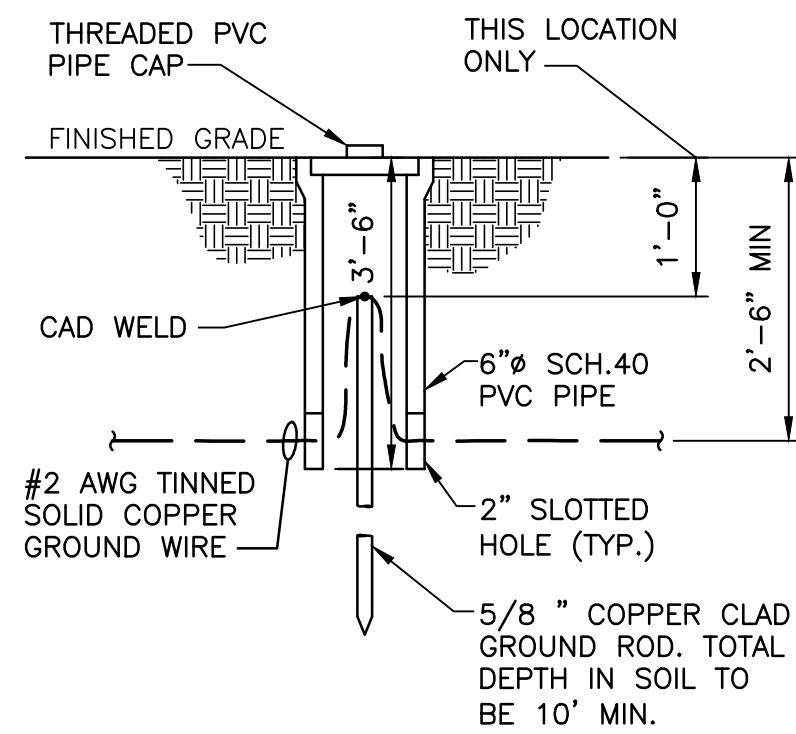
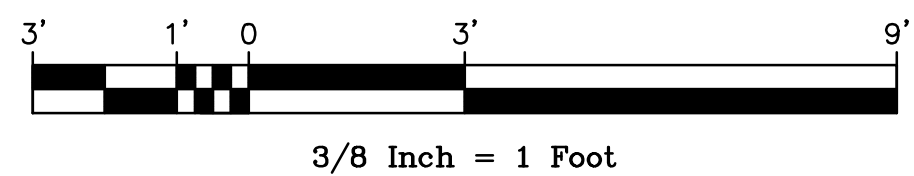
ELECTRICAL
PLAN
AND
DETAILS

DRAWING SHEET: 8 OF 10

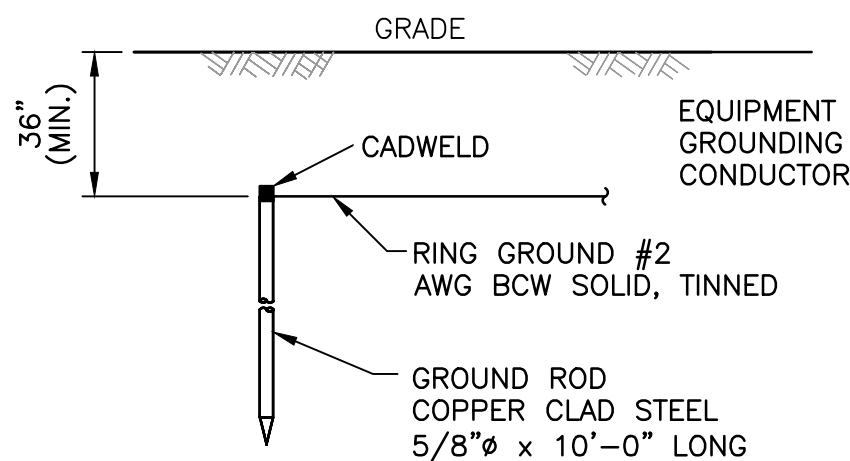
E-2



1 EQUIPMENT GROUNDING PLAN
E-3 SCALE: 3/8"=1'-0"



2 GROUND ROD INSPECTION WELL DETAIL
E-3 N.T.S.



3 GROUND ROD DETAIL
E-3 N.T.S.

GROUNDING NOTES:

- GROUND ROD INSPECTION WELL (TYP. 2)
- #2 AWG. SOLID TINNED CU. TO BOND MAIN GROUND BAR TO GROUND RING (TYP. 2)
- #2 AWG. SOLID TINNED CU. 30" BELOW GRADE (GROUND RING)
- 5/8"Ø x 10' CU. CLAD GROUND RING (TYP. 6)
- MAIN GROUND BAR INSTALLED ON EQUIPMENT FRAME
- BASE GROUND BAR INSTALLED ON TOWER BELOW CABLE TRAY
- #2 AWG. SOLID TINNED CU. TO ANTENNAS HEIGHT, ROUTE ALONG CABLES
- #2 AWG. SOLID TINNED CU. TO BOND BASE GROUND BAR TO EXISTING TOWER GROUND RING (TYP. 2)
- #2 AWG. SOLID TINNED CU. TO BOND BASE GROUND BAR TO EXISTING TOWER (TYP. 2)
- #2 AWG. SOLID TINNED CU. TO BOND GPS MOUNT TO CABLE BRIDGE POST (TYP. 2)
- #2 AWG. STRANDED INSULATED CU. TO BOND CABLE BRIDGE SECTIONS (TYP.)
- #2 AWG. STRANDED INSULATED CU. TO BOND EQUIPMENT CABINETS TO MAIN GROUND BAR (TYP.)
- #2 AWG. SOLID TINNED CU. TO BOND POWER DISTRIBUTION CABINET TO GROUND RING
- 3/0 AWG. CU. SERVICE GROUND WIRE
- #2 AWG. SOLID TINNED CU. TO BOND PROPOSED CABLE BRIDGE TO GROUND RING (TYP.)
- MAIN GROUND BAR INSTALLED ON H-FRAME
- #2 AWG. SOLID TINNED CU. TO BOND GROUND BAR TO GROUND RING
- #2 AWG. SOLID TINNED CU. TO BOND PROPOSED H-FRAME TO GROUND BAR
- #2 AWG. SOLID TINNED CU. TO BOND OVP TO GROUND BAR (TYP.)

GROUNDING NOTES:

- THE EQUIPMENT BONDING JUMPER SHALL BE PERMITTED TO BE INSTALLED INSIDE OR OUTSIDE OF A RACEWAY OR ENCLOSURE. WHERE INSTALLED ON OUTSIDE, THE LENGTH OF THE EQUIPMENT BONDING JUMPER SHALL NOT EXCEED 6 FEET AND SHALL BE ROUTED WITH THE RACEWAY OR ENCLOSURE. REFER TO NEC 2008 - 250.102 (E)
- ALL GROUNDING DEVICES SHALL BE U.L. APPROVED OR LISTED FOR THEIR INTENDED USE.
- ALL WIRES SHALL BE AWG THHN/THWN COPPER UNLESS NOTED OTHERWISE.
- GROUNDING CONNECTIONS TO GROUND RODS, GROUND RING WIRE, TOWER BASE AND FENCE POSTS SHALL BE EXOTHERMIC ("CADWELDS") UNLESS NOTED OTHERWISE. CLEAN SURFACES TO SHINY METAL. WHERE GROUND WIRES ARE CADWELDED TO GALVANIZED SURFACES, SPRAY CADWELD WITH GALVANIZING PAINT.
- GROUNDING CONNECTIONS TO GROUND BARS ARE TO BE TWO-HOLE BRASS MECHANICAL CONNECTORS WITH STAINLESS STEEL HARDWARE (INCLUDING SCREW SET.) CLEAN GROUND BAR TO SHINY METAL. AFTER MECHANICAL CONNECTION, TREAT WITH PROTECTIVE ANTIOXIDANT COATING.
- GROUND COAXIAL CABLE SHIELDS AT BOTH ENDS WITH MANUFACTURER'S GROUNDING KITS.
- ROUTE GROUNDING CONDUCTORS THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. BEND GROUNDING LEADS WITH A MINIMUM 12" RADIUS.
- INSTALL #2 AWG GREEN-INSULATED STRANDED WIRE FOR ABOVE GRADE GROUNDING AND #2 BARE TINNED COPPER WIRE FOR BELOW GRADE GROUNDING UNLESS OTHERWISE NOTED.
- GROUNDING CONNECTIONS SHALL BE EXOTHERMIC TYPE ("CADWELDS") TO ANTENNA MOUNTS AND GROUND RING. REMAINING GROUNDING CONNECTIONS SHALL BE COMPRESSION FITTINGS. CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO-HOLE LUGS.
- EXOTHERMIC WELDS SHALL BE MADE IN ACCORDANCE WITH ERICO PRODUCTS BULLETIN A-AT.
- CONSTRUCTION OF GROUND RING AND CONNECTIONS TO EXISTING GROUND RING SYSTEM SHALL BE DOCUMENTED WITH PHOTOGRAPHS PRIOR TO BACKFILLING SITE. PROVIDE PHOTOS TO CARRIER'S CONSTRUCTION MANAGER.
- ALL GROUND LEADS EXCEPT THOSE TO THE EQUIPMENT ARE TO BE #2/0 TINNED. ALL EXTERIOR GROUND BARS TINNED COPPER.
- PRIOR TO INSTALLING LUGS ON GROUND WIRES, APPLY THOMAS & BETTS KOPR-SHIELD (TM OF JET LUBE INC.). PRIOR TO BOLTING GROUND WIRE LUGS TO GROUND BARS, APPLY KOPR-SHIELD OR EQUAL.
- ENGAGE AN INDEPENDENT ELECTRICAL TESTING FIRM TO TEST AND VERIFY THAT IMPEDANCE DOES NOT EXCEED FIVE OHMS TO GROUND BY MEANS OF "FALL OF POTENTIAL TEST". TEST SHALL BE WITNESSED BY AT&T REPRESENTATIVE, AND RECORDED ON CARRIER'S "GROUND RESISTANCE TEST" FORM.
- WHERE BARE COPPER GROUND WIRES ARE ROUTED FROM ANY CONNECTION ABOVE GRADE TO GROUND RING, INSTALL WIRE IN 3/4" PVC SLEEVE, FROM 1' BELOW GRADE AND SEAL TOP WITH SILICONE MATERIAL.
- PREPARE ALL BONDING SURFACES FOR GROUNDING CONNECTIONS BY REMOVING ALL PAINT AND CORROSION DOWN TO SHINY METAL. FOLLOWING CONNECTION, APPLY APPROPRIATE ANTI-OXIDIZATION PAINT.
- ANY SITE WHERE THE EQUIPMENT (BTS, CABLE BRIDGE, PPC, GENERATOR, ETC.) IS LOCATED WITHIN 6 FEET OF METAL FENCING, THE BGR SHALL BE BONDED TO THE NEAREST FENCE POST USING (2) RUNS OF #2 BARE TINNED COPPER WIRE.

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AS NOTED

JOB NO:

16012-SMA



NICHOLAS D. BARILE

PROFESSIONAL ENGINEER, N.Y. LIC. No. 090133

SITE #: NY09130B
SITE NAME: SMITH RIDGE ROAD
337 SMITH RIDGE ROAD
SOUTH SALEM, NY 10590
WESTCHESTER COUNTY

DRAWING TITLE:

**GROUNDING
PLAN
AND
DETAILS**

DRAWING SHEET: 9 OF 10

E-3

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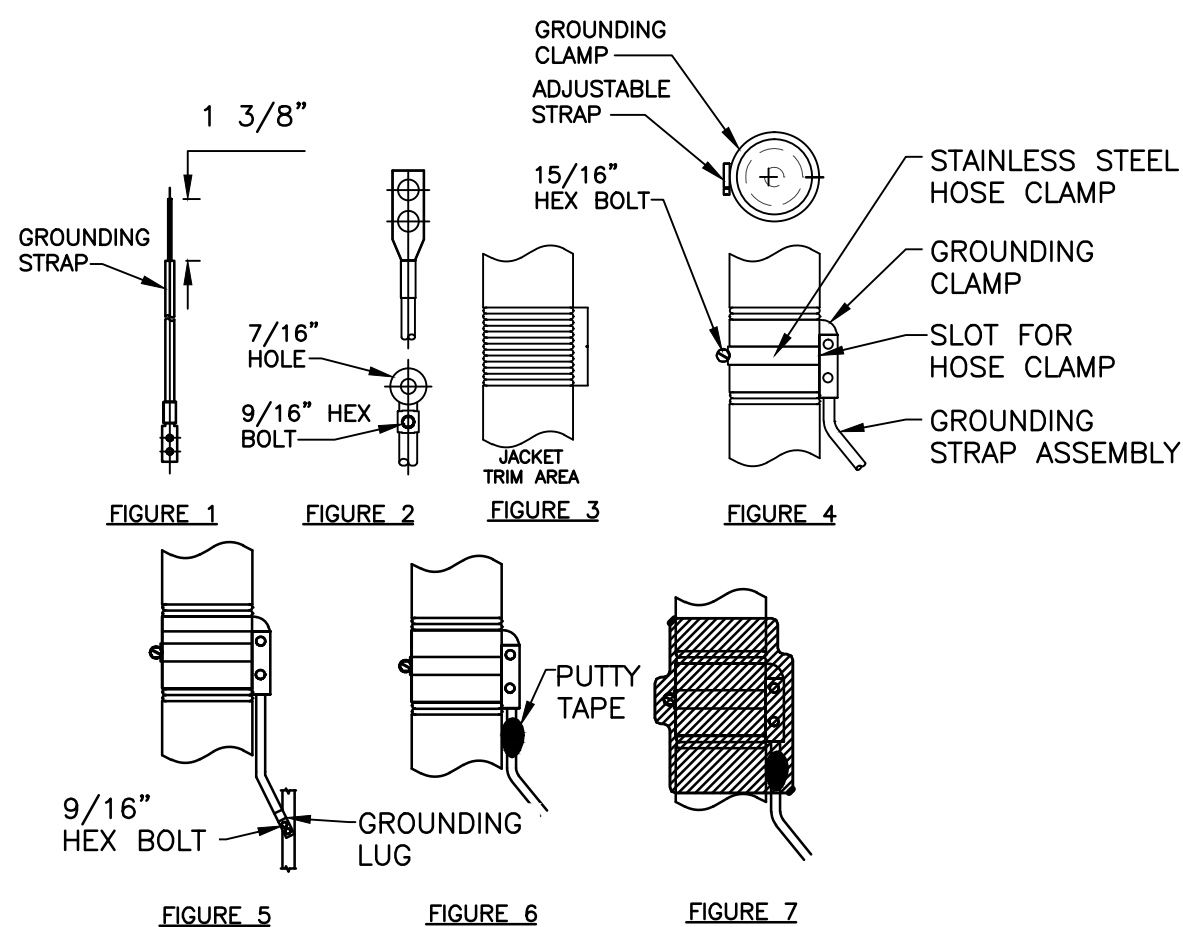
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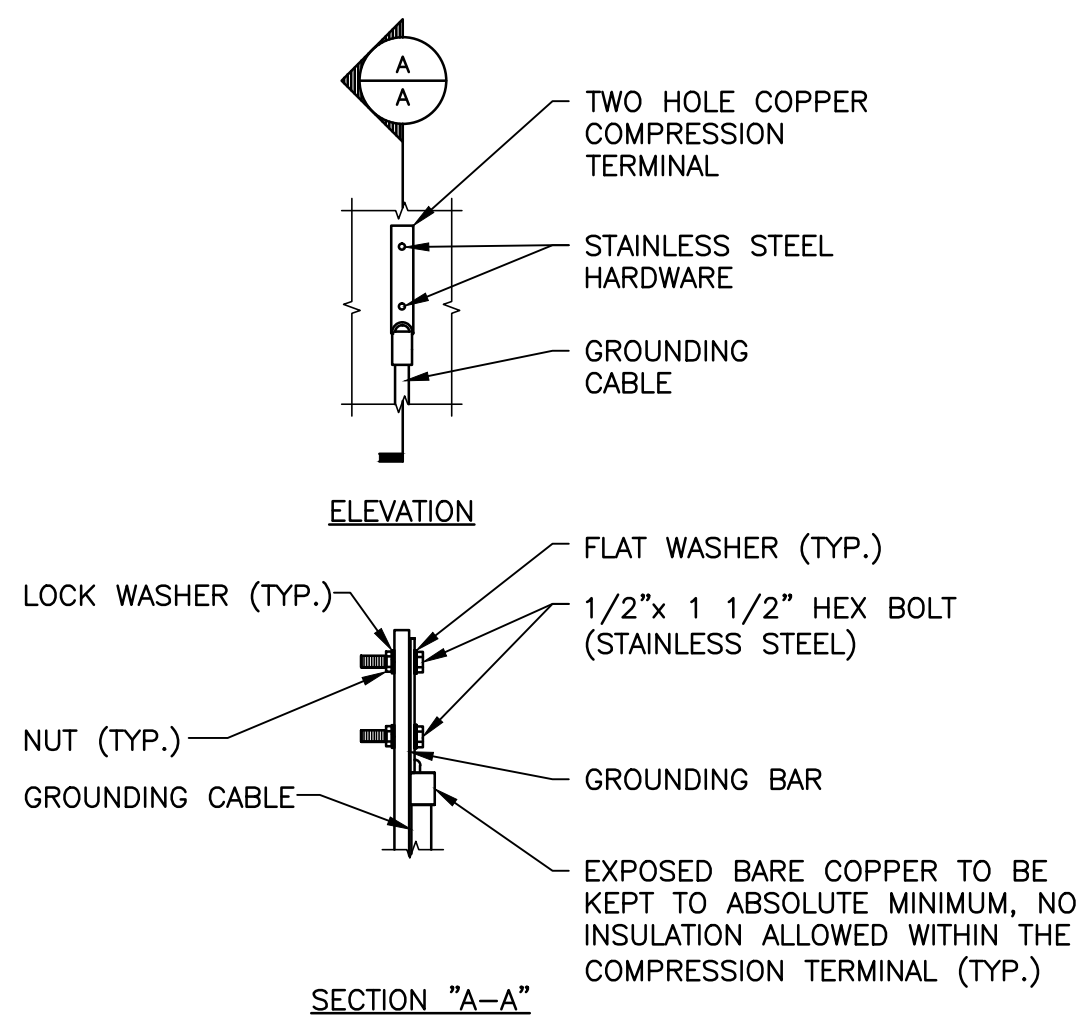
GROUNDING
DETAILS

DRAWING SHEET: 10 OF 10

E-4

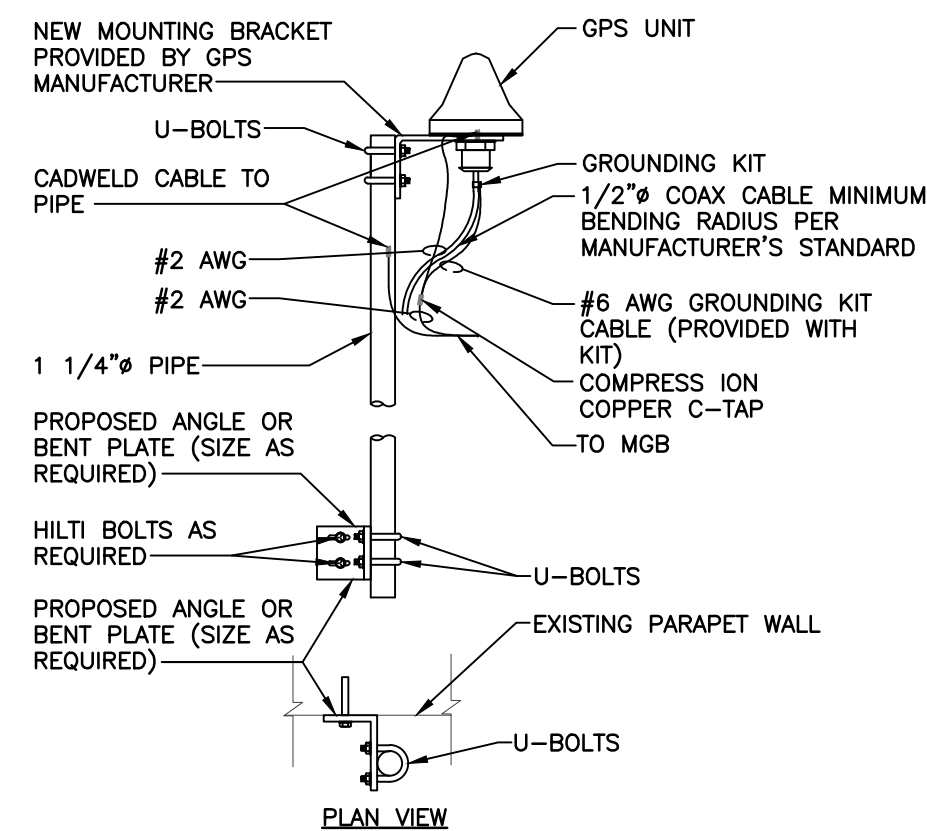


1
E-4
TYPICAL GROUNDING CONNECTIONS
N.T.S.



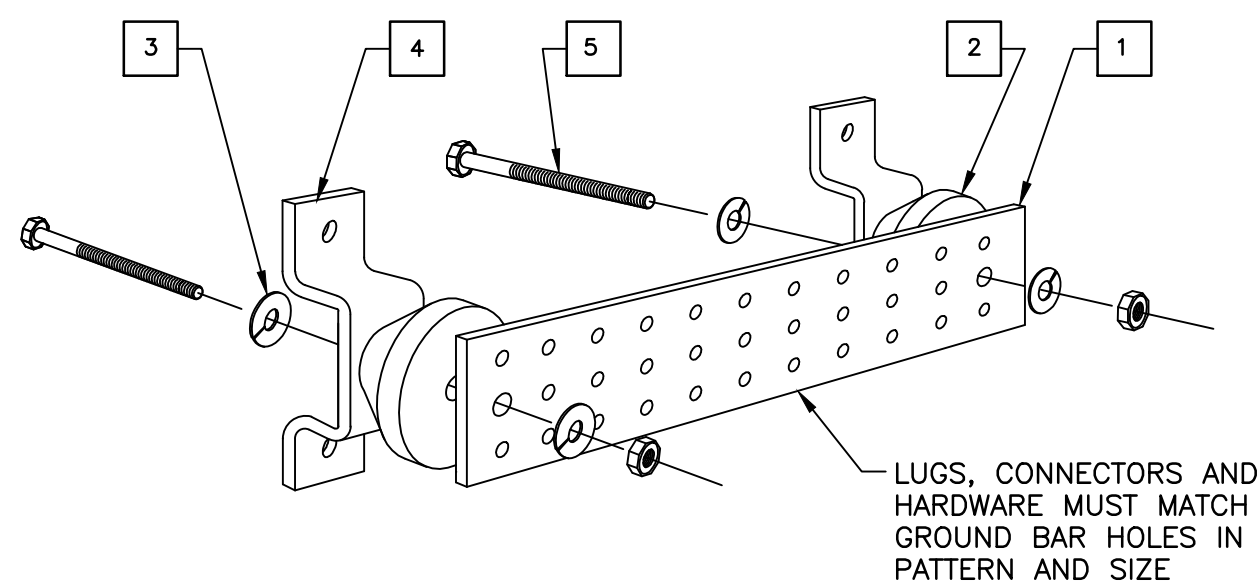
- NOTE:
- "DOUBLING UP" OR "STACKING" OF CONNECTIONS IS NOT PERMITTED.
 - OXIDE INHIBITING COMPOUND TO BE USED AT ALL LOCATIONS.

4
E-4
TYPICAL GROUNDING CONNECTIONS
N.T.S.



ITEM#	DESCRIPTION	QUANTITY (EACH)
1	1-1/4" SCH. 40 GALV. PIPE (A-53)	1
2	2"x3"-1/4" THREADED U-BOLT WITH DOUBLE HEX NUTS AND WASHER, GALV.	2
3	STD. U-BOLT FOR 1-1/4" PIPE WITH DOUBLE HEX NUTS AND WASHER, GALV.	2

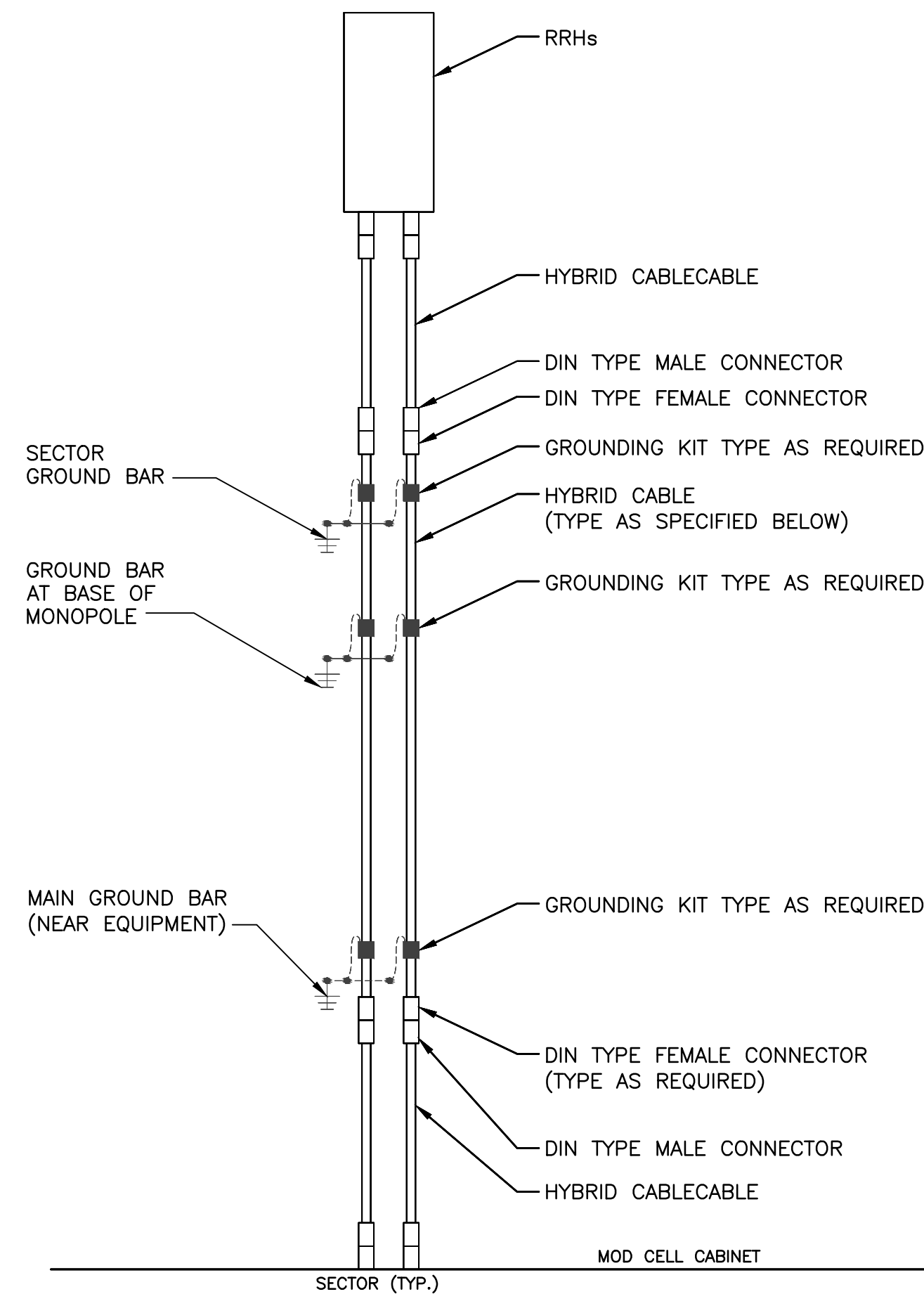
2
E-4
GPS GROUNDING DETAIL
N.T.S.



- LEGEND
- COPPER GROUND BAR, 7/16"x 4" X 20", NEWTON INSTRUMENT CO. CAT. NO. B-6142. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION.
 - INSULATORS, NEWTON INSTRUMENT CAT. NO. 3061-4.
 - 5/8" LOCKWASHERS, NEWTON INSTRUMENT CO. CAT. NO. 3015-8.
 - WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO. CAT NO. A-6056.
 - 5/8-11 X 1" H.H.C.S.BOLTS, NEWTON INSTRUMENT CO. CAT NO. 3012-1

GROUND BAR SCHEDULE				
TYPE	QTY.	MANUFACTURER	CAT. NO.	REMARKS
MGB	2	HARGER	GB14420TMGB	OR EQUAL
CGB	3	HARGER	GB14412TMGB	OR EQUAL

5
E-4
TYPICAL GROUND BAR DETAIL
N.T.S.



- NOTES:
- SEE LAYOUT DRAWINGS FOR ANTENNA LOCATION.
 - DO NOT INSTALL ANTENNA GROUND KIT ON CABLE BEND.

3
E-4
ANTENNA GROUNDING DETAIL
N.T.S.

CBRE on behalf of T-Mobile Site ID – NY09130B Site Name – Smith Ridge Road Site Compliance Report

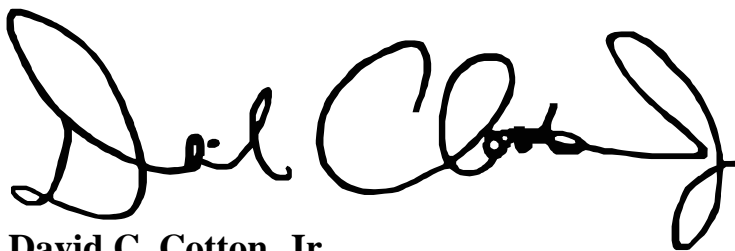
**377 Smith Ridge Road
South Salem, NY 10590**

Latitude: N41-12-52.00
Longitude: W73-30-54.30
Structure Type: Monopole

Report generated date: October 17, 2016
Report by: Leo Romero
Customer Contact: David M Akerblom

**T-Mobile Will Be Compliant based on FCC Rules
and Regulations.**

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**David C. Cotton, Jr.
Licensed Professional Engineer
State of New York, 086838
Date: 2016-October-18**

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CBRE on behalf of T-Mobile Smith Ridge Road - NY09130B Radio Frequency (RF) Site Compliance Report



377 Smith Ridge Road, South Salem, NY 10590

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1 Executive Summary

CBRE on behalf of T-Mobile has contracted with Sitesafe, Inc. (Sitesafe), an independent Radio Frequency (RF) regulatory and engineering consulting firm, to determine whether the proposed communications site, NY09130B - Smith Ridge Road, located at 377 Smith Ridge Road, South Salem, NY, is in compliance with Federal Communication Commission (FCC) Rules and Regulations for RF emissions.

This report contains a detailed summary of the RF environment at the site including:

- diagram of the site;
- inventory of the make / model of all antennas
- theoretical MPE based on modeling.

This report addresses exposure to radio frequency electromagnetic fields in accordance with the FCC Rules and Regulations for all individuals, classified in two groups, "Occupational or Controlled" and "General Public or Uncontrolled." This **site will be compliant** with the FCC rules and regulations, as described in OET Bulletin 65.

This document and the conclusions herein are based on the information provided by T-Mobile.

If you have any questions regarding RF safety and regulatory compliance, please do not hesitate to contact Sitesafe's Customer Support Department at (703) 276-1100.

2 Regulatory Basis

2.1 FCC Rules and Regulations

In 1996, the Federal Communication Commission (FCC) adopted regulations for the evaluating of the effects of RF emissions in 47 CFR § 1.1307 and 1.1310. The guideline from the FCC Office of Engineering and Technology is Bulletin 65 ("OET Bulletin 65"), *Evaluating Compliance with FCC Guidelines for Human Exposure to Radio Frequency Electromagnetic Fields*, Edition 97-01, published August 1997. Since 1996 the FCC periodically reviews these rules and regulations as per their congressional mandate.

FCC regulations define two separate tiers of exposure limits: Occupational or "Controlled environment" and General Public or "Uncontrolled environment". The General Public limits are generally five times more conservative or restrictive than the Occupational limit. These limits apply to accessible areas where workers or the general public may be exposed to Radio Frequency (RF) electromagnetic fields.

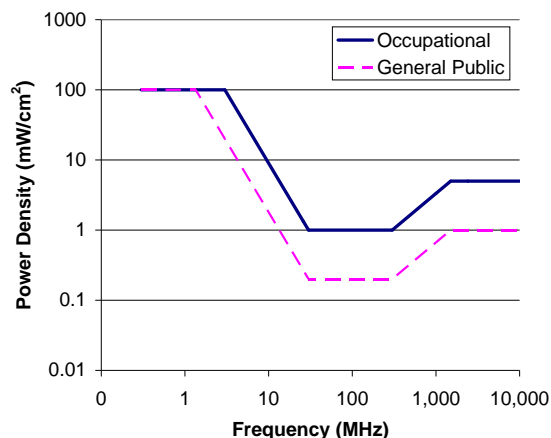
Occupational or Controlled limits apply in situations in which persons are exposed as a consequence of their employment and where those persons exposed have been made fully aware of the potential for exposure and can exercise control over their exposure.

An area is considered a Controlled environment when access is limited to these aware personnel. Typical criteria are restricted access (i.e. locked or alarmed doors, barriers, etc.) to the areas where antennas are located coupled with proper RF warning signage. A site with Controlled environments is evaluated with Occupational limits.

All other areas are considered Uncontrolled environments. If a site has no access controls or no RF warning signage it is evaluated with General Public limits.

The theoretical modeling of the RF electromagnetic fields has been performed in accordance with OET Bulletin 65. The Maximum Permissible Exposure (MPE) limits utilized in this analysis are outlined in the following diagram:

FCC Limits for Maximum Permissible Exposure (MPE)
Plane-wave Equivalent Power Density



Limits for Occupational/Controlled Exposure (MPE)

Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time E ² , H ² or S (minutes)
0.3-3.0	614	1.63	(100)*	6
3.0-30	1842/f	4.89/f	(900/f ²)*	6
30-300	61.4	0.163	1.0	6
300-1500	--	--	f/300	6
1500-100,000	--	--	5	6

Limits for General Population/Uncontrolled Exposure (MPE)

Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm ²)	Averaging Time E ² , H ² or S (minutes)
0.3-1.34	614	1.63	(100)*	30
1.34-30	824/f	2.19/f	(180/f ²)*	30
30-300	27.5	0.073	0.2	30
300-1500	--	--	f/1500	30
1500-100,000	--	--	1.0	30

f = frequency in MHz

*Plane-wave equivalent power density

2.2 OSHA Statement

The General Duty clause of the OSHA Act (Section 5) outlines the occupational safety and health responsibilities of the employer and employee. The General Duty clause in Section 5 states:

(a) Each employer –

- (1) shall furnish to each of his employees employment and a place of employment which are free from recognized hazards that are causing or are likely to cause death or serious physical harm to his employees;
- (2) shall comply with occupational safety and health standards promulgated under this Act.

(b) Each employee shall comply with occupational safety and health standards and all rules, regulations, and orders issued pursuant to this Act which are applicable to his own actions and conduct.

OSHA has defined Radiofrequency and Microwave Radiation safety standards for workers who may enter hazardous RF areas. Regulation Standards 29 CFR § 1910.147 identify a generic Lock Out Tag Out procedure aimed to control the unexpected energization or start up of machines when maintenance or service is being performed.

3 Site Compliance

3.1 Site Compliance Statement

Upon evaluation of the cumulative RF emission levels from all operators at this site, Sitesafe has determined that:

This **site will be compliant** with the FCC rules and regulations, as described in OET Bulletin 65.

The compliance determination is based on theoretical modeling, RF signage placement recommendations, proposed antenna inventory and the level of restricted access to the antennas at the site. Any deviation from the T-Mobile's proposed deployment plan could result in the site being rendered non-compliant.

3.2 Actions for Site Compliance

Based on common industry practice and our understanding of FCC and OSHA requirements, this section provides a statement of recommendations for site compliance. RF alert signage recommendations have been proposed based on theoretical analysis of MPE levels. Barriers can consist of locked doors, fencing, railing, rope, chain, paint striping or tape, combined with RF alert signage.

Sitesafe found one or more issues that led to our determination. The site will be made compliant if the following changes are implemented:

Base of Tower

- Ensure that a Caution sign is installed at the base of the tower.
- Ensure that an RF Guideline sign is installed at the base of the tower.

4 Safety Plan and Procedures

The following items are general safety recommendations that should be administered on a site by site basis as needed by the carrier.

General Maintenance Work: Any maintenance personnel required to work immediately in front of antennas and / or in areas indicated as above 100% of the Occupational MPE limits should coordinate with the wireless operators to disable transmitters during their work activities.

Training and Qualification Verification: All personnel accessing areas indicated as exceeding the General Population MPE limits should have a basic understanding of EME awareness and RF Safety procedures when working around transmitting antennas. Awareness training increases a workers understanding to potential RF exposure scenarios. Awareness can be achieved in a number of ways (e.g. videos, formal classroom lecture or internet based courses).

Physical Access Control: Access restrictions to transmitting antennas locations is the primary element in a site safety plan. Examples of access restrictions are as follows:

- Locked door or gate
- Alarmed door
- Locked ladder access
- Restrictive Barrier at antenna (e.g. Chain link with posted RF Sign)

RF Signage: Everyone should obey all posted signs at all times. RF signs play an important role in properly warning a worker prior to entering into a potential RF Exposure area.

Assume all antennas are active: Due to the nature of telecommunications transmissions, an antenna transmits intermittently. Always assume an antenna is transmitting. Never stop in front of an antenna. If you have to pass by an antenna, move through as quickly and safely as possible thereby reducing any exposure to a minimum.

Maintain a 3 foot clearance from all antennas: There is a direct correlation between the strength of an EME field and the distance from the transmitting antenna. The further away from an antenna, the lower the corresponding EME field is.

Site RF Emissions Diagram: Section 5 of this report contains an RF Diagram that outlines various theoretical Maximum Permissible Exposure (MPE) areas at the site. The modeling is a worst case scenario assuming a duty cycle of 100% for each transmitting antenna at full power. This analysis is based on one of two access control criteria: General Public criteria means the access to the site is uncontrolled and anyone can gain access. Occupational criteria means the access is restricted and only properly trained individuals can gain access to the antenna locations.

5 Analysis

5.1 RF Emissions Diagram

The RF diagram(s) below display theoretical spatially averaged percentage of the Maximum Permissible Exposure for all systems at the site unless otherwise noted. These diagrams use modeling as prescribed in OET Bulletin 65 and assumptions detailed in Appendix B.

The key at the bottom of each diagram indicates if percentages displayed are referenced to FCC General Population Maximum Permissible Exposure (MPE) limits. Color coding on the diagram is as follows:

- Gray represents areas predicted to be at 5% of the MPE limits, or below.
- Green represents areas predicted to be between 5% and 100% of the MPE limits.
- Blue represents areas predicted to be between 100% and 500% of the MPE limits.
- Yellow represents areas predicted to be between 500% and 5000% of the MPE limits.
- Red areas indicated predicted levels greater than 5000% of the MPE limits.

General Population diagrams are specified when an area is accessible to the public; i.e. personnel that do not meet Occupational or RF Safety trained criteria, could gain access.

If trained occupational personnel require access to areas that are delineated as **Blue** or above 100% of the limit, Sitesafe recommends that they utilize the proper personal protection equipment (RF monitors), coordinate with the carriers to reduce or shutdown power, or make real-time power density measurements with the appropriate power density meter to determine real-time MPE levels. This will allow the personnel to ensure that their work area is within exposure limits.

The key at the bottom also indicates the level or height of the modeling with respect to the main level. The origin is typically referenced to the main rooftop level, or ground level for a structure without access to the antenna level. For example:

Average from 0 feet above to 6 feet above origin

and

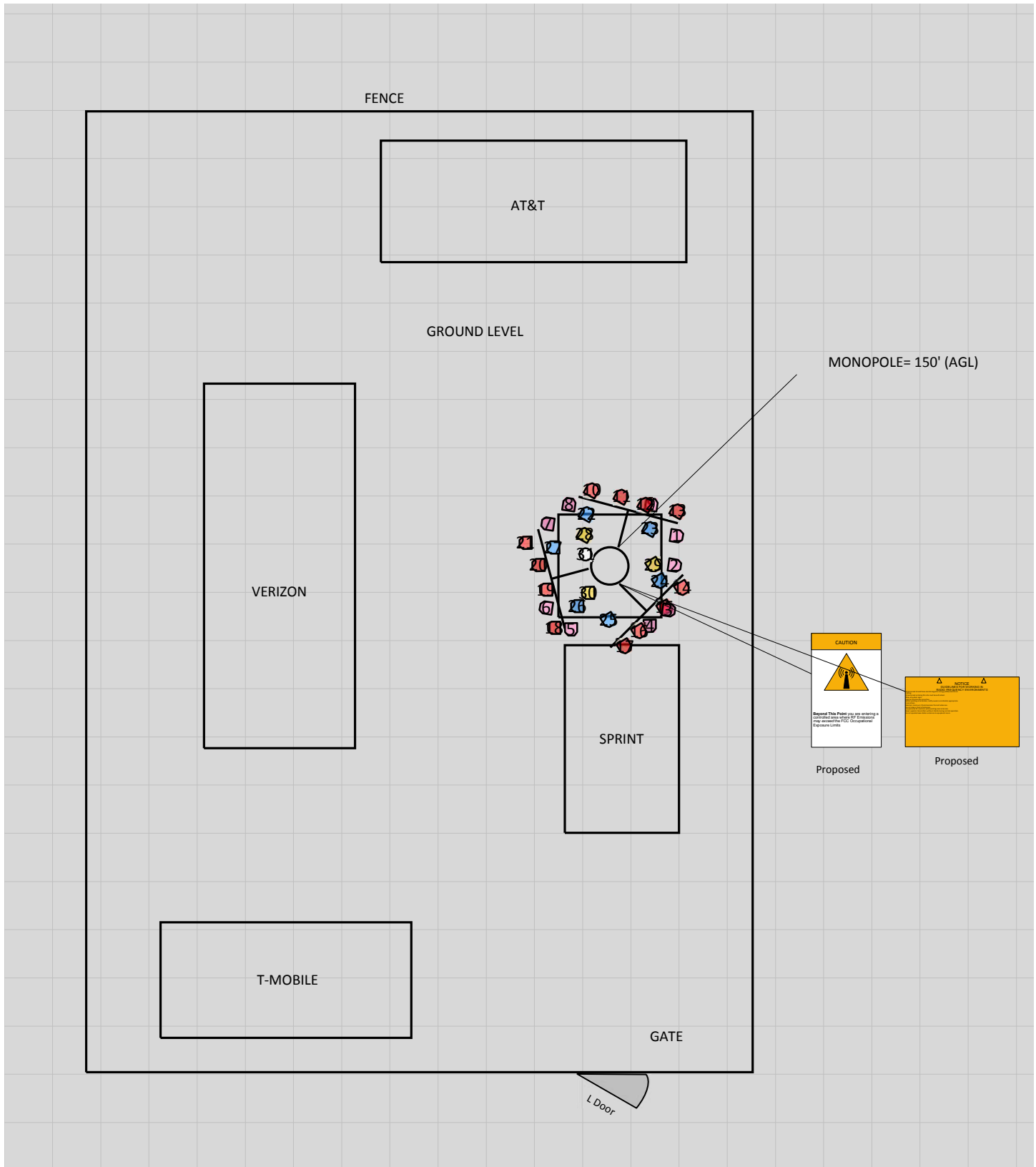
Average from 20 feet above to 26 feet above origin

The first indicates modeling at the main rooftop (or ground) level averaged over 6 feet. The second indicates modeling at a higher level (possibly a penthouse level) of 20 feet averaged over 6 feet.

Abbreviations used in the RF Emissions Diagrams

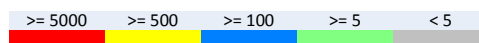
PH=##'	Penthouse at ## feet above main roof
--------	--------------------------------------

RF Exposure Simulation For: Smith Ridge Road Composite View



% of FCC Public Exposure Limit
Spatial average 0' - 6'

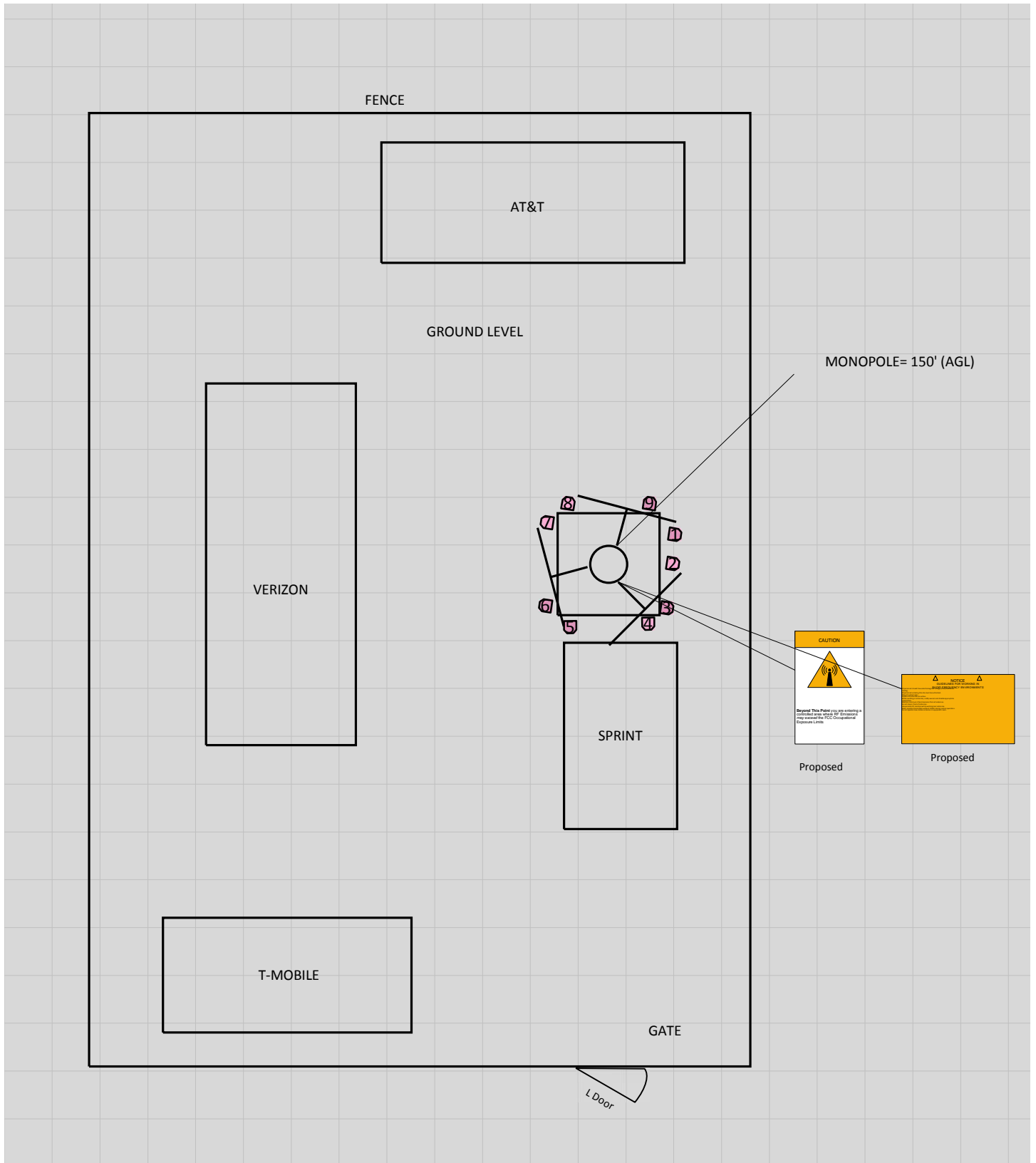
(Feet)
0 5.3 10.7
www.sitesafe.com
Site Name: Smith Ridge Road
10/17/2016 12:17:43 PM



AT&T MOBILITY LLC	VERIZON WIRELESS	T-MOBILE	METROPICS	CRICKET COMMUNICATIONS	CLEARWIRE	SPRINT

SitesafeTC Version: 1.0.0.0 - 0.0.0.249
Sitesafe OET-65 Model
Near Field Boundary: 1.5 * Aperture
Reflection Factor: 1
Spatially Averaged

RF Exposure Simulation For: Smith Ridge Road T-Mobile Contribution



% of FCC Public Exposure Limit
Spatial average 0' - 6'

(Feet)

0 5.4 10.7

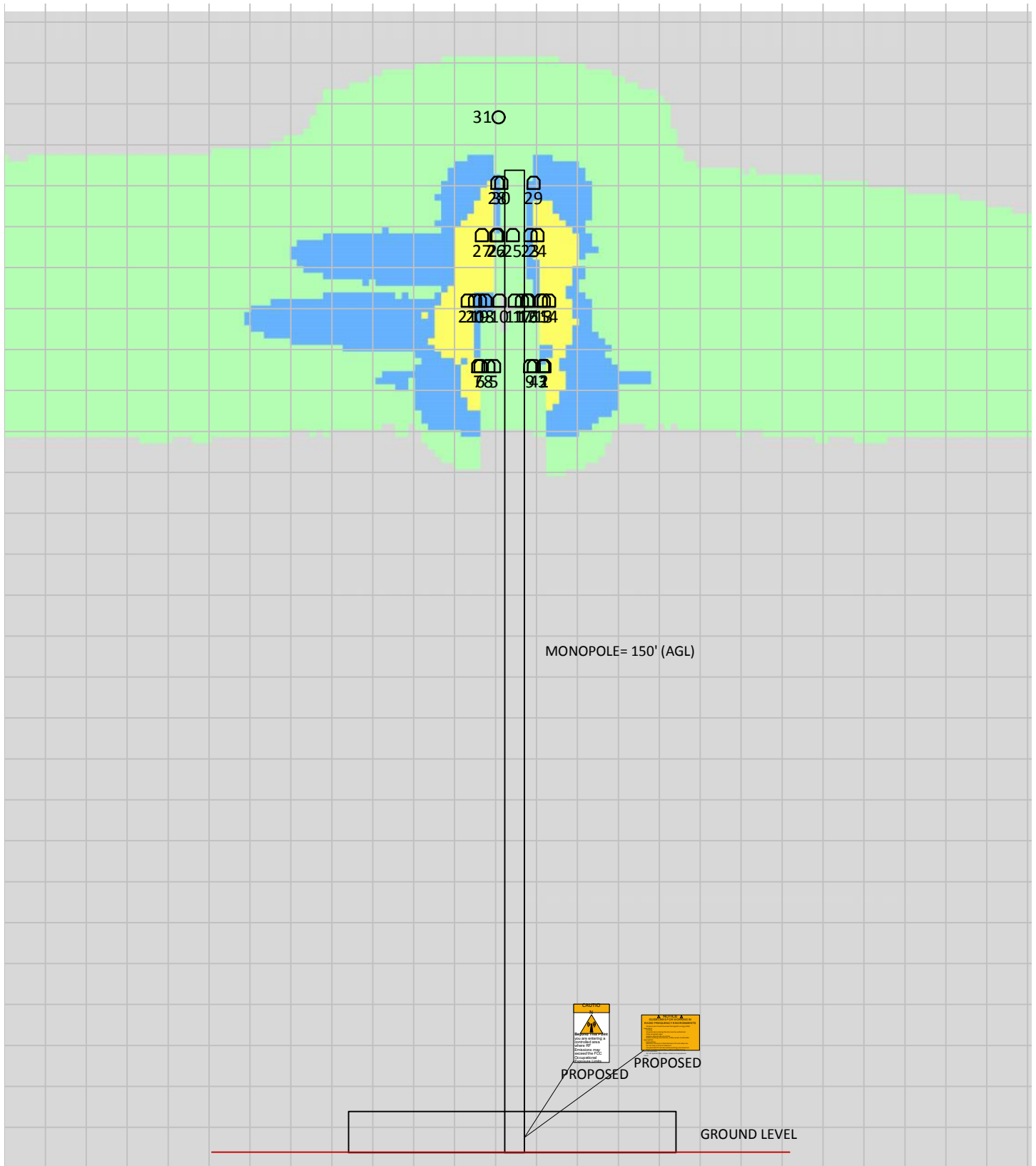
www.sitesafe.com
Site Name: Smith Ridge Road
10/17/2016 12:20:33 PM

>= 5000 >= 500 >= 100 >= 5 < 5

AT&T MOBILITY LLC	VERIZON WIRELESS	T-MOBILE	METROPICS	CRICKET COMMUNICATIONS	CLEARWIRE	SPRINT

SitesafeTC Version: 1.0.0.0 - 0.0.0.249
Sitesafe OET-65 Model
Near Field Boundary: 1.5 * Aperture
Reflection Factor: 1
Spatially Averaged

RF Exposure Simulation For: Smith Ridge Road Elevation View



% of FCC Public Exposure Limit
Spatial average 0' - 6'

(Feet)
0 10.5 20.9
www.sitesafe.com
Site Name: Smith Ridge Road
10/17/2016 12:25:36 PM

>= 5000 >= 500 >= 100 >= 5 < 5

AT&T MOBILITY LLC	VERIZON WIRELESS	T-MOBILE	METROPCS	CRICKET COMMUNICATIONS	CLEARWIRE	SPRINT

SitesafeTC Version: 1.0.0.0 - 0.0.0.249
Sitesafe OET-65 Model
Near Field Boundary: 1.5 * Aperture
Reflection Factor: 1
Spatially Averaged

6 Antenna Inventory

The Antenna Inventory shows all transmitting antennas at the site. This inventory was provided by the customer, and was utilized by Sitesafe to perform theoretical modeling of RF emissions. The inventory coincides with the site diagrams in this report, identifying each antenna's location at NY09130B - Smith Ridge Road. The antenna information collected includes the following information:

- Licensee or wireless operator name
- Frequency or frequency band
- Transmitter power – Effective Radiated Power ("ERP"), or Equivalent Isotropic Radiated Power ("EIRP") in Watts
- Antenna manufacturer make, model, and gain

For other carriers at this site, the use of "Generic" as an antenna model, or "Unknown" for an operator means the information with regard to carrier, their FCC license and/or antenna information was not available nor could it be secured while on site. Equipment, antenna models and nominal transmit power were used for modeling, based on past experience with radio service providers.

The following antenna inventory, on this and the following page, were provided by the customer and were utilized to create the site model diagrams:

Table 3: Antenna Inventory

Ant #	Operated By	TX Freq (MHz)	ERP (Watts)	Antenna Gain (dBd)	Az (Deg)	Antenna Model	Ant Type	Len (ft)	Horizontal Half Power Beamwidth (Deg)	Location		
										X	Y	Z (AGL)
1	T-MOBILE (Proposed)	1900	4417.2	18.67	70	Cellmax CMA-BDHH/6521-E0-6	Panel	6.8	65	100.7'	115.1'	120'
1	T-MOBILE (Proposed)	2100	4956.2	19.17	70	Cellmax CMA-BDHH/6521-E0-6	Panel	6.8	65	100.7'	115.1'	120'
2	T-MOBILE (Proposed)	5250	20	16.01	70	RFS MA0528-28AN	Panel	2.2	90	100.5'	112.8'	120'
3	T-MOBILE (Proposed)	700	1652.5	14.4	70	RFS APXVF24-C-A20	Panel	7.8	67	100'	109.3'	120'
4	T-MOBILE (Proposed)	1900	4417.2	18.67	160	Cellmax CMA-BDHH/6521-E0-6	Panel	6.8	65	98.6'	108.1'	120'
4	T-MOBILE (Proposed)	2100	4956.2	19.17	160	Cellmax CMA-BDHH/6521-E0-6	Panel	6.8	65	98.6'	108.1'	120'
5	T-MOBILE (Proposed)	700	1652.5	14.4	160	RFS APXVF24-C-A20	Panel	7.8	67	92.4'	107.8'	120'
6	T-MOBILE (Proposed)	1900	4417.2	18.67	250	Cellmax CMA-BDHH/6521-E0-6	Panel	6.8	65	90.5'	109.5'	120'
6	T-MOBILE (Proposed)	2100	4956.2	19.17	250	Cellmax CMA-BDHH/6521-E0-6	Panel	6.8	65	90.5'	109.5'	120'
7	T-MOBILE (Proposed)	700	1652.5	14.4	250	RFS APXVF24-C-A20	Panel	7.8	67	90.6'	116'	120'
8	T-MOBILE (Proposed)	1900	4417.2	18.67	340	Cellmax CMA-BDHH/6521-E0-6	Panel	6.8	65	92.3'	117.5'	120'
8	T-MOBILE (Proposed)	2100	4956.2	19.17	340	Cellmax CMA-BDHH/6521-E0-6	Panel	6.8	65	92.3'	117.5'	120'
9	T-MOBILE (Proposed)	700	1652.5	14.4	340	RFS APXVF24-C-A20	Panel	7.8	67	98.7'	117.5'	120'
10	VERIZON WIRELESS	850	1135.4	12.77	0	Generic Panel	Panel	4.6	65	94.1'	118.6'	130'
11	VERIZON WIRELESS	1900	2094.8	15.43	0	Generic Panel	Panel	4.6	65	96.4'	118.1'	130'
12	VERIZON WIRELESS	751	1964.2	12.14	0	Generic Panel	Panel	4.6	65	98.2'	117.5'	130'
13	VERIZON WIRELESS	2100	4001.1	15.23	0	Generic Panel	Panel	4.6	65	100.7'	117'	130'
14	VERIZON WIRELESS	850	1135.4	12.77	120	Generic Panel	Panel	4.6	65	101.1'	111'	130'
15	VERIZON WIRELESS	1900	2094.8	15.43	120	Generic Panel	Panel	4.6	65	99.7'	109.5'	130'
16	VERIZON WIRELESS	751	1964.2	12.14	120	Generic Panel	Panel	4.6	65	97.8'	107.6'	130'
17	VERIZON WIRELESS	2100	4001.1	15.23	120	Generic Panel	Panel	4.6	65	96.6'	106.5'	130'
18	VERIZON WIRELESS	850	1135.4	12.77	240	Generic Panel	Panel	4.6	65	91.1'	107.9'	130'

Table 3: Antenna Inventory

Ant #	Operated By	TX Freq (MHz)	ERP (Watts)	Antenna Gain (dBd)	Az (Deg)	Antenna Model	Ant Type	Len (ft)	Horizontal Half Power Beamwidth (Deg)	Location		
										X	Y	Z (AGL)
19	VERIZON WIRELESS	1900	2094.8	15.43	240	Generic Panel	Panel	4.6	65	90.5'	110.9'	130'
20	VERIZON WIRELESS	751	1964.2	12.14	240	Generic Panel	Panel	4.6	65	89.9'	112.8'	130'
21	VERIZON WIRELESS	2100	4001.1	15.23	240	Generic Panel	Panel	4.6	65	88.9'	114.5'	130'
22	AT&T MOBILITY LLC	850	1513.9	12.77	0	Generic Panel	Panel	4.6	65	93.7'	116.8'	140'
22	AT&T MOBILITY LLC	1900	2793.1	15.43	0	Generic Panel	Panel	4.6	65	93.7'	116.8'	140'
23	AT&T MOBILITY LLC	737	982.1	12.14	0	Generic Panel	Panel	4.6	65	98.6'	115.6'	140'
23	AT&T MOBILITY LLC	1900	2094.8	15.43	0	Generic Panel	Panel	4.6	65	98.6'	115.6'	140'
24	AT&T MOBILITY LLC	850	1513.9	12.77	120	Generic Panel	Panel	4.6	65	99.4'	111.5'	140'
24	AT&T MOBILITY LLC	1900	2793.1	15.43	120	Generic Panel	Panel	4.6	65	99.4'	111.5'	140'
25	AT&T MOBILITY LLC	737	982.1	12.14	120	Generic Panel	Panel	4.6	65	95.4'	108.5'	140'
25	AT&T MOBILITY LLC	1900	2094.8	15.43	120	Generic Panel	Panel	4.6	65	95.4'	108.5'	140'
26	AT&T MOBILITY LLC	850	1513.9	12.77	240	Generic Panel	Panel	4.6	65	92.9'	109.6'	140'
26	AT&T MOBILITY LLC	1900	2793.1	15.43	240	Generic Panel	Panel	4.6	65	92.9'	109.6'	140'
27	AT&T MOBILITY LLC	737	982.1	12.14	240	Generic Panel	Panel	4.6	65	91.1'	114.2'	140'
27	AT&T MOBILITY LLC	1900	2094.8	15.43	240	Generic Panel	Panel	4.6	65	91.1'	114.2'	140'
28	SPRINT	862	881.2	13.43	0	Generic Panel	Panel	6.3	65	93.5'	115.2'	148'
28	SPRINT	1900	2536	16.26	0	Generic Panel	Panel	6.3	65	93.5'	115.2'	148'
29	SPRINT	862	881.2	13.43	120	Generic Panel	Panel	6.3	65	98.9'	112.8'	148'
29	SPRINT	1900	2536	16.26	120	Generic Panel	Panel	6.3	65	98.9'	112.8'	148'
30	SPRINT	862	881.2	13.43	240	Generic Panel	Panel	6.3	65	93.8'	110.6'	148'
30	SPRINT	1900	2536	16.26	240	Generic Panel	Panel	6.3	65	93.8'	110.6'	148'

Table 3: Antenna Inventory

Ant #	Operated By	TX Freq (MHz)	ERP (Watts)	Antenna Gain (dBd)	Az (Deg)	Antenna Model	Ant Type	Len (ft)	Horizontal Half Power Beamwidth (Deg)	Location		
										X	Y	Z (AGL)
31	WESTCHESTER, COUNTY OF	473	25	5.97	270	Generic Omni	Omni	9.5	360	93.6'	113.6'	158'

NOTE: X, Y and Z indicate relative position of the antenna to the origin location on the site, displayed in the model results diagram. Specifically, the Z reference indicates antenna height **above ground level (AGL)**. ERP values provided by the client and used in the modeling may be greater than are currently deployed. For other carriers at this site the use of "Generic" as an antenna model or "Unknown" for a wireless operator means the information with regard to carrier, their FCC license and/or antenna information was not available nor could it be secured while on site. Equipment, antenna models and nominal transmit power were used for modeling, based on past experience with radio service providers.

7 Engineer Certification

The professional engineer whose seal appears on the cover of this document hereby certifies and affirms that:

I am registered as a Professional Engineer in the jurisdiction indicated in the professional engineering stamp on the cover of this document; and

That I am an employee of Sitesafe, Inc., in Arlington, Virginia, at which place the staff and I provide RF compliance services to clients in the wireless communications industry; and

That I am thoroughly familiar with the Rules and Regulations of the Federal Communications Commission (FCC) as well as the regulations of the Occupational Safety and Health Administration (OSHA), both in general and specifically as they apply to the FCC Guidelines for Human Exposure to Radio-frequency Radiation; and

That I have thoroughly reviewed this Site Compliance Report and believe it to be true and accurate to the best of my knowledge as assembled by and attested to by Leo Romero.

October 17, 2016

Appendix A – Statement of Limiting Conditions

Sitesafe will not be responsible for matters of a legal nature that affect the site or property.

Due to the complexity of some wireless sites, Sitesafe performed this analysis and created this report utilizing best industry practices and due diligence. Sitesafe cannot be held accountable or responsible for anomalies or discrepancies due to actual site conditions (i.e., mislabeling of antennas or equipment, inaccessible cable runs, inaccessible antennas or equipment, etc.) or information or data supplied by T-Mobile, the site manager, or their affiliates, subcontractors or assigns.

Sitesafe has provided computer generated model(s) in this Site Compliance Report to show approximate dimensions of the site, and the model is included to assist the reader of the compliance report to visualize the site area, and to provide supporting documentation for Sitesafe's recommendations.

Sitesafe may note in the Site Compliance Report any adverse physical conditions, such as needed repairs, observed during the survey of the subject property or that Sitesafe became aware of during the normal research involved in performing this survey. Sitesafe will not be responsible for any such conditions that do exist or for any engineering or testing that might be required to discover whether such conditions exist. Because Sitesafe is not an expert in the field of mechanical engineering or building maintenance, the Site Compliance Report must not be considered a structural or physical engineering report.

Sitesafe obtained information used in this Site Compliance Report from sources that Sitesafe considers reliable and believes them to be true and correct. Sitesafe does not assume any responsibility for the accuracy of such items that were furnished by other parties. When conflicts in information occur between data provided by a second party and physical data collected by Sitesafe, the physical data will be used.

Appendix B – Assumptions and Definitions

General Model Assumptions

In this site compliance report, it is assumed that all antennas are operating at **full power at all times**. Software modeling was performed for all transmitting antennas located on the site. Sitesafe has further assumed a 100% duty cycle and maximum radiated power.

The site has been modeled with these assumptions to show the maximum RF energy density. Sitesafe believes this to be a worst-case analysis, based on best available data. Areas modeled to predict emissions greater than 100% of the applicable MPE level may not actually occur, but are shown as a worst-case prediction that could be realized real time. Sitesafe believes these areas to be safe for entry by occupationally trained personnel utilizing appropriate personal protective equipment (in most cases, a personal monitor).

Thus, at any time, if power density measurements were made, we believe the real-time measurements would indicate levels below those depicted in the RF emission diagram(s) in this report. By modeling in this way, Sitesafe has conservatively shown exclusion areas – areas that should not be entered without the use of a personal monitor, carriers reducing power, or performing real-time measurements to indicate real-time exposure levels.

Use of Generic Antennas

For the purposes of this report, the use of “Generic” as an antenna model, or “Unknown” for an operator means the information about a carrier, their FCC license and/or antenna information was not provided and could not be obtained while on site. In the event of unknown information, Sitesafe will use our industry specific knowledge of equipment, antenna models, and transmit power to model the site. If more specific information can be obtained for the unknown measurement criteria, Sitesafe recommends remodeling of the site utilizing the more complete and accurate data. Information about similar facilities is used when the service is identified and associated with a particular antenna. If no information is available regarding the transmitting service associated with an unidentified antenna, using the antenna manufacturer's published data regarding the antenna's physical characteristics makes more conservative assumptions.

Where the frequency is unknown, Sitesafe uses the closest frequency in the antenna's range that corresponds to the highest Maximum Permissible Exposure (MPE), resulting in a conservative analysis.

Definitions

5% Rule – The rules adopted by the FCC specify that, in general, at multiple transmitter sites actions necessary to bring the area into compliance with the guidelines are the shared responsibility of all licensees whose transmitters produce field strengths or power density levels at the area in question in excess of 5% of the exposure limits. In other words, any wireless operator that contributes 5% or greater of the MPE limit in an area that is identified to be greater than 100% of the MPE limit is responsible taking corrective actions to bring the site into compliance.

Compliance – The determination of whether a site is safe or not with regards to Human Exposure to Radio Frequency Radiation from transmitting antennas.

Decibel (dB) – A unit for measuring power or strength of a signal.

Duty Cycle – The percent of pulse duration to the pulse period of a periodic pulse train. Also, may be a measure of the temporal transmission characteristic of an intermittently transmitting RF source such as a paging antenna by dividing average transmission duration by the average period for transmission. A duty cycle of 100% corresponds to continuous operation.

Effective (or Equivalent) Isotropic Radiated Power (EIRP) – The product of the power supplied to the antenna and the antenna gain in a given direction relative to an isotropic antenna.

Effective Radiated Power (ERP) – In a given direction, the relative gain of a transmitting antenna with respect to the maximum directivity of a half wave dipole multiplied by the net power accepted by the antenna from the connecting transmitter.

Gain (of an antenna) – The ratio of the maximum intensity in a given direction to the maximum radiation in the same direction from an isotropic radiator. Gain is a measure of the relative efficiency of a directional antennas as compared to an omni directional antenna.

General Population/Uncontrolled Environment – Defined by the FCC, as an area where RFR exposure may occur to persons who are **unaware** of the potential for exposure and who have no control of their exposure. General Population is also referenced as General Public.

Generic Antenna – For the purposes of this report, the use of “Generic” as an antenna model means the antenna information was not provided and could not be obtained while on site. In the event of unknown information, Sitesafe will use our industry specific knowledge of antenna models to select a worst case scenario antenna to model the site.

Isotropic Antenna – An antenna that is completely non-directional. In other words, an antenna that radiates energy equally in all directions.

Maximum Measurement – This measurement represents the single largest measurement recorded when performing a spatial average measurement.

Maximum Permissible Exposure (MPE) – The rms and peak electric and magnetic field strength, their squares, or the plane-wave equivalent power densities associated with these fields to which a person may be exposed without harmful effect and with acceptable safety factor.

Occupational/Controlled Environment – Defined by the FCC, as an area where Radio Frequency Radiation (RFR) exposure may occur to persons who are **aware** of the potential for exposure as a condition of employment or specific activity and can exercise control over their exposure.

OET Bulletin 65 – Technical guideline developed by the FCC's Office of Engineering and Technology to determine the impact of Radio Frequency radiation on Humans. The guideline was published in August 1997.

OSHA (Occupational Safety and Health Administration) – Under the Occupational Safety and Health Act of 1970, employers are responsible for providing a safe and healthy workplace for their employees. OSHA's role is to promote the safety and health of America's working men and women by setting and enforcing standards; providing training, outreach and education; establishing partnerships; and encouraging continual process improvement in workplace safety and health. For more information, visit www.osha.gov.

Radio Frequency Radiation – Electromagnetic waves that are propagated from antennas through space.

Spatial Average Measurement – A technique used to average a minimum of ten (10) measurements taken in a ten (10) second interval from zero (0) to six (6) feet. This measurement is intended to model the average energy an average sized human body will absorb while present in an electromagnetic field of energy.

Transmitter Power Output (TPO) – The radio frequency output power of a transmitter's final radio frequency stage as measured at the output terminal while connected to a load.

Appendix C – Rules & Regulations

Explanation of Applicable Rules and Regulations

The FCC has set forth guidelines in OET Bulletin 65 for human exposure to radio frequency electromagnetic fields. Specific regulations regarding this topic are listed in Part 1, Subpart I, of Title 47 in the Code of Federal Regulations. Currently, there are two different levels of MPE - General Public MPE and Occupational MPE. An individual classified as Occupational can be defined as an individual who has received appropriate RF training and meets the conditions outlined below. General Public is defined as anyone who does not meet the conditions of being Occupational. FCC and OSHA Rules and Regulations define compliance in terms of total exposure to total RF energy, regardless of location of or proximity to the sources of energy.

It is the responsibility of all licensees to ensure these guidelines are maintained at all times. It is the ongoing responsibility of all licensees composing the site to maintain ongoing compliance with FCC rules and regulations. Individual licensees that contribute less than 5% MPE to any total area out of compliance are not responsible for corrective actions.

OSHA has adopted and enforces the FCC's exposure guidelines. A building owner or site manager can use this report as part of an overall RF Health and Safety Policy. It is important for building owners/site managers to identify areas in excess of the General Population MPE and ensure that only persons qualified as Occupational are granted access to those areas.

Occupational Environment Explained

The FCC definition of Occupational exposure limits apply to persons who:

- are exposed to RF energy as a consequence of their employment;
- have been made aware of the possibility of exposure; and
- can exercise control over their exposure.

OSHA guidelines go further to state that persons must complete RF Safety Awareness training and must be trained in the use of appropriate personal protective equipment.

In order to consider this site an Occupational Environment, the site must be controlled to prevent access by any individuals classified as the General Public. Compliance is also maintained when any non-occupational individuals (the General Public) are prevented from accessing areas indicated as Red or Yellow in the attached RF Emissions diagram. In addition, a person must be aware of the RF environment into which they are entering. This can be accomplished by an RF Safety Awareness class, and by appropriate written documentation such as this Site Compliance Report.

All T-Mobile employees who require access to this site must complete RF Safety Awareness training and must be trained in the use of appropriate personal protective equipment.

Appendix D – General Safety Recommendations

The following are *general recommendations* appropriate for any site with accessible areas in excess of 100% General Public MPE. These recommendations are not specific to this site. These are safety recommendations appropriate for typical site management, building management, and other tenant operations.

1. All individuals needing access to the main site (or the area indicated to be in excess of General Public MPE) should wear a personal RF Exposure monitor, successfully complete proper RF Safety Awareness training, and have and be trained in the use of appropriate personal protective equipment.
2. All individuals needing access to the main site should be instructed to read and obey all posted placards and signs.
3. The site should be routinely inspected and this or similar report updated with the addition of any antennas or upon any changes to the RF environment including:
 - adding new antennas that may have been located on the site
 - removing of any existing antennas
 - changes in the radiating power or number of RF emitters
4. Post the appropriate **NOTICE**, **CAUTION**, or **WARNING** sign at the main site access point(s) and other locations as required. Note: Please refer to RF Exposure Diagrams in Appendix B, to inform everyone who has access to this site that beyond posted signs there may be levels in excess of the limits prescribed by the FCC. The signs below are examples of signs meeting FCC guidelines.



5. Ensure that the site door remains locked (or appropriately controlled) to deny access to the general public if deemed as policy by the building/site owner.
6. For a General Public environment the four color levels identified in this analysis can be interpreted in the following manner:
 - Gray represents area at below 5% of the General Public MPE limits or below. This level is safe for a worker to be in at any time.
 - Green represents areas predicted to be between 5% and 100% of the General Public MPE limits. This level is safe for a worker to be in at any time.

- Blue represents areas predicted to be between 100% and 500% of the General Public MPE limits. This level is safe for a worker to be in at any time.
- Yellow represents areas predicted to be between 500% and 5000% of the General Public MPE limits. This level is safe for a worker to be in.
- Red areas indicated predicted levels greater than 5000% of the General Public MPE limits. This level is not safe for the General Public to be in.

7. For an Occupational environment the four color levels identified in this analysis can be interpreted in the following manner:

- Areas indicated as Gray are at 5% of the Occupational MPE limits or below. This level is safe for a worker to be in at any time.
- Green represents areas predicted to be between 5% and 20% of the Occupational MPE limits. This level is safe for a worker to be in at any time.
- Yellow represents areas predicted to be between 20% and 100% of the Occupational MPE limits. Only individuals that have been properly trained in RF Health and Safety should be allowed to work in this area. This is not an area that is suitable for the General Public to be in.
- Red areas indicated predicted levels greater than 100% of the Occupational MPE limits. This level is not safe for the Occupational worker to be in for prolonged periods of time. Special procedures must be adhered to such as lock out tag out procedures to minimize the workers exposure to EME.

8. Use of a Personal Protective Monitor: When working around antennas, Sitesafe strong recommends the use of a Personal Protective Monitor (PPM). Wearing a PPM will properly forewarn the individual prior to entering an RF exposure area.

Keep a copy of this report available for all persons who must access the site. They should read this report and be aware of the potential hazards with regards to RF and MPE limits.

Additional Information

Additional RF information is available by visiting both www.Sitesafe.com and www.fcc.gov/oet/rfsafety. OSHA has additional information available at: <http://www.osha-slc.gov/SLTC/radiofrequencyradiation>.

May 25, 2016

Ms. Mikala Mann
InSite Towers, LLC
1199 N. Fairfax St.
Suite 700
Alexandria, VA 22314

Re: **Post Modification** Structural Analysis Report
Structure: 150 ft TransAmerican Monopole
Site Address: 377 Smith Ridge Road, South Salem, NY 10590 (Westchester Co)
Latitude: 41.2144°N, Longitude: 73.5151°W
Site Name: InSite – Vista
T-Mobile – Smith Ridge Road
Site Number: InSite – NY001
T-Mobile – NY09130A
B&P Job No.: 16703.003
Status: **Tower Acceptable (101% Capacity with Proposed Mods)**

Dear Ms. Mann:

Per your request, Bennett & Pless, LLC has completed this Post Modification structural analysis for the above referenced project to verify the tower's compliance after the modifications have been installed to the following design criteria:

Standard:	TIA/EIA-222-G <i>Structural Standard for Antenna Supporting Structures and Antennas</i>
Building Code:	2010 Building Code of New York State
Design Basic Wind Speed without Ice:	100 mph (3 sec gust)
Design Basic Wind Speed with Ice:	50 mph (3 sec gust)
Ice Thickness:	3/4" radial
Serviceability Basic Wind Speed:	60 mph (3 sec gust)

Please refer to the following structural analysis report, which gives complete details of the tower loading, results, information provided, and necessary assumptions. Also refer the Modification Drawings by Bennett and Pless dated 5/25/16.

We trust you find this report satisfactory. Please do not hesitate to contact us if you should have any questions or concerns.

Best Regards,
Bennett and Pless Engineering

John Bozzetto, P.E.
Manager, South Florida Office



5/25/16

Warning: It is a violation of the law of the State of New York for any person, unless acting under the direction of a licensed professional engineer to alter an item in any way.

1 LOADING CONFIGURATION

The following antennas, mounts, transmission lines, and other appurtenances were considered for the structural analysis:

Elev. (ft) ⁽¹⁾	Appurtenance	Line	I/O ⁽²⁾	Notes
150	(1) 12' Dipole Antenna (1) 4' Yagi Antenna	(2) 1/2"	I	Vista FD Existing
148.0	(3) RFS APXV86-906513L-C-A20 (3) RFS APXVRR13-C-A20 (3) ALU 2x50W RRUs (3) ALU 4x45W RRUs (3) T-Arm Mount	(2) 1 5/8" (3) 1 1/4" Hybrid	I	Sprint Existing
140.0	(6) Andrew DBXLH-8585A-R2M Panels (3) Andrew SBNH-1D6565C Panels (3) Alcatel-Lucent RRH 700 RRUs (3) Alcatel-Lucent RRH AWS RRUs (6) Andrew ETM190G-12UB TMA's (6) Andrew ETD819HS-12UB TMA's (1) Raycap DC6-48-60-18-8F Surge Suppressor (6) Andrew CBC819 Diplexers (1) Low Profile Platform	(18) 1-5/8" (2) Fiber (1) Power	I I I	AT&T Existing
130.0	(6) Antel LPA-80080/4CF Panels (3) Antel BXA-185090/8CF Panels (3) Antel BXA-70080/4CF Panels (6) Typical TMA's (1) Low Profile Platform	(18) 1-5/8"	I	Verizon Existing
120.0	(4) CellMax CMA-BDHH/6521/E0-6 Panels (4) RFS APXVF24-C-A20 Panels (4) Ericsson RRUS11 B2 RRUs (4) Ericsson RRUS11 B4 RRUs (4) Ericsson RRUS11 B12 RRUs (1) Low Profile Platform	(4) 1/2" Fiber (1) 1/2"	I I	T-Mobile Proposed
70.0	(2) GPS Unit w/ Mount Pipe	(2) 1/2"	I	Verizon Existing

- 1) Elevations reference centerline of panel, yagi, and dish antennas, and base of whip antennas, in relation to the base of the tower.
- 2) "I/O" designates whether the lines are placed inside or outside of the pole. Contact Structural Components for further analysis if the lines cannot be placed as indicated.

2 RESULTS

The analysis was performed using tnxTower v7.0.5.1, a structural analysis program developed by Tower Numerics Inc. specifically for the communication tower industry.

2.1 TOWER MEMBER STRESS LEVELS

The tower has the following stress ratios in its structural members after modifications have been installed.

Elev. (ft)	Member	Stress Ratio
0 - 150	Monopole Shaft	1.01
0	Base Plate	0.96
0	Anchor Bolts	1.00

Stress ratio (SR) criteria:

$SR \leq 1.00$ is completely within code limits.

$SR \leq 1.05$ is considered within acceptable tolerance of code limits.

$SR > 1.05$ is outside acceptable tolerance of code limits and requires structural modifications.

2.2 FOUNDATION REACTIONS

The reactions listed below are for the design wind speed listed.

Reaction Type	No Ice Reactions	Foundation Status
Moment (Ft-Kips)	3055	*Passes
Shear (Kips)	26	
Axial (kips)	30	

* See Appendix A for foundation calculations

3 PROVIDED INFORMATION AND ASSUMPTIONS

Information about the tower was provided by InSite Towers, LLC. Bennett & Pless, Inc. did not visit the site.

Data	Document	Author	Date	File
Tower	Original Tower Design Modification Drawings	DaVinci Engineering, Inc. B&P Engineering	04/08/2010 05/25/16	10235-1037 15703.003
Existing and Proposed Loads	T-Mobile Collocation Application Structural Analysis Report	InSite Towers, LLC B&P Engineering	03/25/2016 01/25/2016	NY09130A 15703.003
Foundation	Original Tower Design	DaVinci Engineering, Inc.	04/08/2010	10235-1037
Soils	Geotechnical Report	Terracon Consultants, Inc.	02/02/2010	J2105105

The following assumptions were made in order to complete the analysis. These assumptions must be checked. If they do not accurately represent the existing or proposed tower, foundation, soil, and loading conditions, we must be notified so that we can make the appropriate changes to our analysis, conclusions, and recommendations.

1. The tower and foundation are constructed as shown in the provided drawings, previous structural analysis reports, mapping reports, photos, and/or other documents.
2. The tower and foundation are in good condition with no corrosion, damage or fatiguing issues which could reduce the carrying capacity of the tower.
3. The tower has been properly maintained in accordance with industry standards.
4. The tower and foundation have not been modified except as indicated in the provided information or in this report.

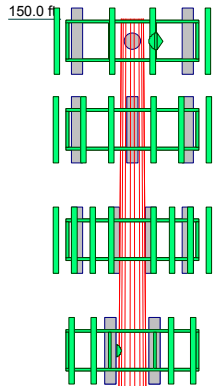
4 CONCLUSIONS

To the best of our knowledge and belief the tower does satisfy the requirements of the applicable codes and standards having jurisdiction over the work for the loadings and conditions as outlined in this report provided that the **proposed structural modifications as shown in the Bennett & Pless Modification Drawings dated May 25, 2016 are installed.**

Appendix A

Tower Profile and Calculations

Section	1	2	3	4	5	
Length (ft)	53.00	15.50	19.50	35.00	42.00	
Number of Sides	18	18	18	18	18	
Thickness (in)	0.1875	0.2500	0.3990	0.4410	0.4840	
Socket Length (ft)	4.50		5.00	5.50	38.0360	
Top Dia (in)	24.0000	30.7380	33.0000	34.3376	44.5000	
Bot Dia (in)	31.7730	33.0000	35.8720	39.7720		
Grade	A572-65					
Weight (K)	3.0	1.3	2.9	6.1	9.0	22.2



97.0 ft

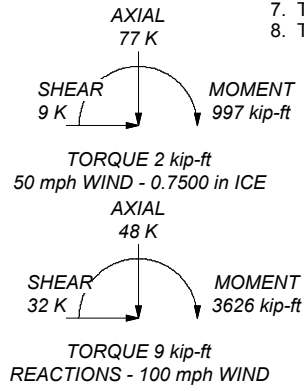
86.0 ft

66.5 ft

36.5 ft

0.0 ft

ALL REACTIONS
ARE FACTORED



DESIGNED APPURTENANCE LOADING

TYPE	ELEVATION	TYPE	ELEVATION
12" Dipole (Vista Fire Dept.)	150	(2) LPA-80080/8CF w/Mount Pipe (Verizon)	130
4" Yagi (Vista Fire Dept.)	150	BXA-185090/8CF w/Mount Pipe (Verizon)	130
APXV86-906513L-C-A20 (Sprint)	148	BXA-185090/8CF w/Mount Pipe (Verizon)	130
APXV86-906513L-C-A20 (Sprint)	148	BXA-185090/8CF w/Mount Pipe (Verizon)	130
APXVRR13-C-A20 (Sprint)	148	BXA-185090/8CF w/Mount Pipe (Verizon)	130
APXVRR13-C-A20 (Sprint)	148	BXA-70080/4CF (Verizon)	130
APXVRR13-C-A20 (Sprint)	148	BXA-70080/4CF (Verizon)	130
RRH 2X50W (Sprint)	148	(2) TMA (Verizon)	130
RRH 2X50W (Sprint)	148	(2) TMA (Verizon)	130
RRH 4X45W (Sprint)	148	(2) TMA (Verizon)	130
RRH 4X45W (Sprint)	148	Low Profile Platform (Verizon)	130
Low Profile Platform (Sprint)	148	(2) LPA-80080/8CF w/Mount Pipe (Verizon)	130
18" Dish (Sprint)	148	(2) LPA-80080/8CF w/Mount Pipe (Verizon)	130
18" Dish (Sprint)	148	CMA-BDHH/6521/E0-6 (T-Mobile)	120
(2) DBXLH-8585A-R2M (ATTI)	140	CMA-BDHH/6521/E0-6 (T-Mobile)	120
SBNH-1D6565C (ATTI)	140	APXVF24-C-A20 (T-Mobile)	120
SBNH-1D6565C (ATTI)	140	APXVF24-C-A20 (T-Mobile)	120
SBNH-1D6565C (ATTI)	140	APXVF24-C-A20 (T-Mobile)	120
RRH AWS (24.4x10.6x6.7" 43 lbs) (ATTI)	140	RRUS11 B2 (T-Mobile)	120
RRH AWS (24.4x10.6x6.7" 43 lbs) (ATTI)	140	RRUS11 B2 (T-Mobile)	120
RRH 700 (12.2x10.8x2.1" 51 lbs) (ATTI)	140	RRUS11 B2 (T-Mobile)	120
RRH 700 (12.2x10.8x2.1" 51 lbs) (ATTI)	140	RRUS11 B4 (T-Mobile)	120
RRH 700 (12.2x10.8x2.1" 51 lbs) (ATTI)	140	RRUS11 B4 (T-Mobile)	120
(2) Andrew ETD819HS-12UB (ATTI)	140	RRUS11 B4 (T-Mobile)	120
(2) Andrew ETD819HS-12UB (ATTI)	140	RRUS 11 B12 (T-Mobile)	120
(2) Andrew ETD819HS-12UB (ATTI)	140	RRUS 11 B12 (T-Mobile)	120
(2) ETM190G-12UB (ATTI)	140	RRUS 11 B12 (T-Mobile)	120
(2) ETM190G-12UB (ATTI)	140	RRUS 11 B12 (T-Mobile)	120
(2) ETM190G-12UB (ATTI)	140	Low Profile Platform (T-Mobile)	120
DC6-48-60-18-8F (ATTI)	140	CMA-BDHH/6521/E0-6 (T-Mobile)	120
(2) CBCT819 (ATTI)	140	CMA-BDHH/6521/E0-6 (T-Mobile)	120
(2) CBCT819 (ATTI)	140	EX-5 V3 (T-Mobile)	120
Low Profile Platform (ATTI)	140	PCTEL GPS-TMG-HR-26N (Verizon)	70
(2) DBXLH-8585A-R2M (ATTI)	140	PCTEL GPS-TMG-HR-26N (Verizon)	70
(2) DBXLH-8585A-R2M (ATTI)	140		

MATERIAL STRENGTH

GRADE	Fy	Fu	GRADE	Fy	Fu
A572-65	65 ksi	80 ksi			

TOWER DESIGN NOTES

1. Tower is located in Westchester County, New York.
2. Tower designed for Exposure C to the TIA-222-G Standard.
3. Tower designed for a 100 mph basic wind in accordance with the TIA-222-G Standard.
4. Tower is also designed for a 50 mph basic wind with 0.75 in ice. Ice is considered to increase in thickness with height.
5. Deflections are based upon a 60 mph wind.
6. Tower Structure Class II.
7. Topographic Category 1 with Crest Height of 0.00 ft
8. TOWER RATING: 101%

Bennett & Pless Phone: FAX:	Job: 16703.002 Project: NY001 (Vista)		
	Client: InSite Towers	Drawn by: JBozzetto	App'd:
	Code: TIA-222-G	Date: 05/24/16	Scale: NTS
	Path:	Dwg No. E-1	
	<small>C:\Users\jbozzetto\Desktop\New folder\NY001\ Vista) 2016-05-17 T-Mobile Rev Gmod.dwg</small>		

tnxTower Bennett & Pless Phone: FAX:	Job 16703.002	Page 1 of 11
	Project NY001 (Vista)	Date 23:18:55 05/24/16
	Client InSite Towers	Designed by JBozzetto

Tower Input Data

There is a pole section.

This tower is designed using the TIA-222-G standard.

The following design criteria apply:

Tower is located in Westchester County, New York.

Basic wind speed of 100 mph.

Structure Class II.

Exposure Category C.

Topographic Category 1.

Crest Height 0.00 ft.

Nominal ice thickness of 0.7500 in.

Ice thickness is considered to increase with height.

Ice density of 56 pcf.

A wind speed of 50 mph is used in combination with ice.

Temperature drop of 50 °F.

Deflections calculated using a wind speed of 60 mph.

A non-linear (P-delta) analysis was used.

Pressures are calculated at each section.

Stress ratio used in pole design is 1.

Local bending stresses due to climbing loads, feed line supports, and appurtenance mounts are not considered.

Options

Consider Moments - Legs	Distribute Leg Loads As Uniform	√ Use ASCE 10 X-Brace Ly Rules
Consider Moments - Horizontals	Assume Legs Pinned	√ Calculate Redundant Bracing Forces
Consider Moments - Diagonals	√ Assume Rigid Index Plate	Ignore Redundant Members in FEA
Use Moment Magnification	√ Use Clear Spans For Wind Area	SR Leg Bolts Resist Compression
√ Use Code Stress Ratios	√ Use Clear Spans For KL/r	√ All Leg Panels Have Same Allowable
√ Use Code Safety Factors - Guys	Retension Guys To Initial Tension	Offset Girt At Foundation
Escalate Ice	√ Bypass Mast Stability Checks	√ Consider Feed Line Torque
Always Use Max Kz	√ Use Azimuth Dish Coefficients	Include Angle Block Shear Check
Use Special Wind Profile	√ Project Wind Area of Appurt.	Use TIA-222-G Bracing Resist. Exemption
√ Include Bolts In Member Capacity	Autocalc Torque Arm Areas	Use TIA-222-G Tension Splice Exemption
Leg Bolts Are At Top Of Section	Add IBC .6D+W Combination	Poles
√ Secondary Horizontal Braces Leg	Sort Capacity Reports By Component	√ Include Shear-Torsion Interaction
Use Diamond Inner Bracing (4 Sided)	√ Triangulate Diamond Inner Bracing	Always Use Sub-Critical Flow
√ SR Members Have Cut Ends	Treat Feed Line Bundles As Cylinder	Use Top Mounted Sockets
SR Members Are Concentric		

Tapered Pole Section Geometry

Section	Elevation	Section Length	Splice Length	Number of Sides	Top Diameter	Bottom Diameter	Wall Thickness	Bend Radius	Pole Grade
	ft	ft	ft		in	in	in	in	
L1	150.00-97.00	53.00	4.50	18	24.0000	31.7730	0.1875	0.7500	A572-65 (65 ksi)
L2	97.00-86.00	15.50	0.00	18	30.7380	33.0000	0.2500	1.0000	A572-65 (65 ksi)

tnxTower Bennett & Pless Phone: FAX:	Job	16703.002	Page	2 of 11
	Project	NY001 (Vista)	Date	23:18:55 05/24/16
	Client	InSite Towers	Designed by	JBozzetto

Section	Elevation ft	Section Length ft	Splice Length ft	Number of Sides	Top Diameter in	Bottom Diameter in	Wall Thickness in	Bend Radius in	Pole Grade
L3	86.00-66.50	19.50	5.00	18	33.0000	35.8720	0.3990	1.5960	A572-65 (65 ksi)
L4	66.50-36.50	35.00	5.50	18	34.3376	39.7720	0.4410	1.7640	A572-65 (65 ksi)
L5	36.50-0.00	42.00		18	38.0360	44.5000	0.4840	1.9360	A572-65 (65 ksi)

Tapered Pole Properties

Section	Tip Dia. in	Area in ²	I in ⁴	r in	C in	I/C in ³	J in ⁴	It/Q in ²	w in	w/t
L1	24.3702	14.1714	1015.2211	8.4534	12.1920	83.2694	2031.7780	7.0871	3.8940	20.768
	32.2631	18.7973	2369.2392	11.2129	16.1407	146.7868	4741.5959	9.4004	5.2620	28.064
L2	31.8790	24.1923	2841.0075	10.8232	15.6149	181.9419	5685.7533	12.0984	4.9699	19.88
	33.5091	25.9871	3521.4238	11.6262	16.7640	210.0587	7047.4812	12.9960	5.3680	21.472
L3	33.5091	41.2868	5543.8317	11.5734	16.7640	330.6986	11094.9580	20.6473	5.1058	12.796
	36.4254	44.9239	7141.8549	12.5929	18.2230	391.9149	14293.1073	22.4662	5.6112	14.063
L4	35.6556	47.4462	6887.3316	12.0333	17.4435	394.8367	13783.7257	23.7276	5.2673	11.944
	40.3855	55.0529	10759.3969	13.9625	20.2042	532.5333	21532.9513	27.5317	6.2237	14.113
L5	39.4823	57.6880	10277.5519	13.3310	19.3223	531.9011	20568.6273	28.8495	5.8425	12.071
	45.1865	67.6181	16550.8939	15.6257	22.6060	732.1461	33123.5658	33.8155	6.9802	14.422

Tower Elevation	Gusset Area (per face)	Gusset Thickness	Gusset Grade	Adjust. Factor A _f	Adjust. Factor A _r	Weight Mult.	Double Angle Stitch Bolt Spacing Diagonals in	Double Angle Stitch Bolt Spacing Horizontals in	Double Angle Stitch Bolt Spacing Redundants in
ft	ft ²	in							
L1 150.00-97.00				1	1	1			
L2 97.00-86.00				1	1	1			
L3 86.00-66.50				1	1	1			
L4 66.50-36.50				1	1	1			
L5 36.50-0.00				1	1	1			

Feed Line/Linear Appurtenances - Entered As Round Or Flat

Description	Sector	Component Type	Placement ft	Total Number	Number Per Row	Start/End Position	Width or Diameter in	Perimeter in	Weight plf

Switchblade Reinf (<unassigned>)	A	Surface Af (CaAa)	86.00 - 0.00	1	1	0.333 0.333	3.5000	14.0000	18.60
Switchblade Reinf (<unassigned>)	B	Surface Af (CaAa)	86.00 - 0.00	1	1	0.333 0.333	3.5000	14.0000	18.60
Switchblade Reinf (<unassigned>)	C	Surface Af (CaAa)	86.00 - 0.00	1	1	0.500 0.500	3.5000	14.0000	18.60

Feed Line/Linear Appurtenances - Entered As Area

<i>tnxTower</i> <i>Bennett & Pless</i> Phone: FAX:	Job	16703.002	Page	3 of 11
	Project	NY001 (Vista)	Date	23:18:55 05/24/16
	Client	InSite Towers	Designed by	JBozzetto

<i>Description</i>	<i>Face or Leg</i>	<i>Allow Shield</i>	<i>Component Type</i>	<i>Placement ft</i>	<i>Total Number</i>		<i>C_AA_A ft²/ft</i>	<i>Weight plf</i>
LDF4RN-50A (1/2 FOAM) (Vista Fire Dept.) ***	C	No	Inside Pole	150.00 - 5.00	2	No Ice 1/2" Ice 1" Ice	0.00 0.00 0.00	0.15 0.15 0.15
LDF7-50A (1-5/8 FOAM) (Sprint)	C	No	Inside Pole	148.00 - 5.00	2	No Ice 1/2" Ice 1" Ice	0.00 0.00 0.00	0.82 0.82 0.82
1 1/4" Hybriflex (Sprint) ***	C	No	Inside Pole	148.00 - 5.00	3	No Ice 1/2" Ice 1" Ice	0.00 0.00 0.00	0.66 0.66 0.66
LDF7-50A (1-5/8 FOAM) (AT&T)	C	No	Inside Pole	140.00 - 5.00	18	No Ice 1/2" Ice 1" Ice	0.00 0.00 0.00	0.82 0.82 0.82
0.34" (Power) (AT&T)	C	No	Inside Pole	140.00 - 5.00	1	No Ice 1/2" Ice 1" Ice	0.00 0.00 0.00	0.05 0.05 0.05
Fiber Line (0.28") (AT&T) ***	C	No	Inside Pole	140.00 - 5.00	2	No Ice 1/2" Ice 1" Ice	0.00 0.00 0.00	0.03 0.03 0.03
LDF7-50A (1-5/8 FOAM) (Verizon)	C	No	Inside Pole	130.00 - 5.00	12	No Ice 1/2" Ice 1" Ice	0.00 0.00 0.00	0.82 0.82 0.82
LDF7-50A (1-5/8 FOAM) (Verizon)	C	No	Inside Pole	130.00 - 5.00	3	No Ice 1/2" Ice 1" Ice	0.00 0.00 0.00	0.82 0.82 0.82
LDF7-50A (1-5/8 FOAM) (Verizon) ***	C	No	Inside Pole	130.00 - 5.00	3	No Ice 1/2" Ice 1" Ice	0.00 0.00 0.00	0.82 0.82 0.82
1/2" FIBER CABLE (T-Mobile)	A	No	Inside Pole	120.00 - 5.00	4	No Ice 1/2" Ice 1" Ice	0.00 0.00 0.00	0.08 0.08 0.08
LDF4RN-50A (1/2 FOAM) (T-Mobile) ***	A	No	Inside Pole	120.00 - 5.00	1	No Ice 1/2" Ice 1" Ice	0.00 0.00 0.00	0.15 0.15 0.15
LDF5-50A (7/8 FOAM) (Verizon)	C	No	Inside Pole	70.00 - 5.00	2	No Ice 1/2" Ice 1" Ice	0.00 0.00 0.00	0.33 0.33 0.33

Feed Line/Linear Appurtenances Section Areas

<i>Tower Section</i>	<i>Tower Elevation ft</i>	<i>Face</i>	<i>A_R ft²</i>	<i>A_F ft²</i>	<i>C_AA_A In Face ft²</i>	<i>C_AA_A Out Face ft²</i>	<i>Weight K</i>
L1	150.00-97.00	A	0.000	0.000	0.000	0.000	0.01
		B	0.000	0.000	0.000	0.000	0.00
		C	0.000	0.000	0.000	0.000	1.33
L2	97.00-86.00	A	0.000	0.000	0.000	0.000	0.01
		B	0.000	0.000	0.000	0.000	0.00
		C	0.000	0.000	0.000	0.000	0.37
L3	86.00-66.50	A	0.000	0.000	11.375	0.000	0.37
		B	0.000	0.000	11.375	0.000	0.36
		C	0.000	0.000	11.375	0.000	1.02
L4	66.50-36.50	A	0.000	0.000	17.500	0.000	0.57
		B	0.000	0.000	17.500	0.000	0.56

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<i>Tower Section</i>	<i>Tower Elevation ft</i>	<i>Face</i>	<i>A_R</i> <i>ft²</i>	<i>A_F</i> <i>ft²</i>	<i>C_AA_A</i> <i>In Face ft²</i>	<i>C_AA_A</i> <i>Out Face ft²</i>	<i>Weight</i> <i>K</i>
L5	36.50-0.00	C	0.000	0.000	17.500	0.000	1.58
		A	0.000	0.000	21.292	0.000	0.69
		B	0.000	0.000	21.292	0.000	0.68
		C	0.000	0.000	21.292	0.000	1.76

Feed Line/Linear Appurtenances Section Areas - With Ice

<i>Tower Section</i>	<i>Tower Elevation ft</i>	<i>Face or Leg</i>	<i>Ice Thickness in</i>	<i>A_R</i> <i>ft²</i>	<i>A_F</i> <i>ft²</i>	<i>C_AA_A</i> <i>In Face ft²</i>	<i>C_AA_A</i> <i>Out Face ft²</i>	<i>Weight</i> <i>K</i>
L1	150.00-97.00	A	1.710	0.000	0.000	0.000	0.000	0.01
		B		0.000	0.000	0.000	0.000	0.00
		C		0.000	0.000	0.000	0.000	1.33
L2	97.00-86.00	A	1.661	0.000	0.000	0.000	0.000	0.01
		B		0.000	0.000	0.000	0.000	0.00
		C		0.000	0.000	0.000	0.000	0.37
L3	86.00-66.50	A	1.631	0.000	0.000	17.735	0.000	0.62
		B		0.000	0.000	17.735	0.000	0.61
		C		0.000	0.000	17.735	0.000	1.27
L4	66.50-36.50	A	1.567	0.000	0.000	27.284	0.000	0.96
		B		0.000	0.000	27.284	0.000	0.94
		C		0.000	0.000	27.284	0.000	1.97
L5	36.50-0.00	A	1.415	0.000	0.000	32.733	0.000	1.14
		B		0.000	0.000	32.733	0.000	1.12
		C		0.000	0.000	32.733	0.000	2.20

Feed Line Center of Pressure

<i>Section</i>	<i>Elevation ft</i>	<i>CP_X</i> <i>in</i>	<i>CP_Z</i> <i>in</i>	<i>CP_X</i> <i>Ice in</i>	<i>CP_Z</i> <i>Ice in</i>
L1	150.00-97.00	0.0000	0.0000	0.0000	0.0000
L2	97.00-86.00	0.0000	0.0000	0.0000	0.0000
L3	86.00-66.50	-0.2034	-0.6307	-0.2901	-0.8994
L4	66.50-36.50	-0.2018	-0.6288	-0.2898	-0.9029
L5	36.50-0.00	-0.2000	-0.6266	-0.2862	-0.8969

Shielding Factor Ka

<i>Tower Section</i>	<i>Feed Line Record No.</i>	<i>Description</i>	<i>Feed Line Segment Elev.</i>	<i>K_a</i> <i>No Ice</i>	<i>K_a</i> <i>Ice</i>
L3	20	Switchblade Reinf	66.50 - 86.00	0.0000	0.0000
L3	21	Switchblade Reinf	66.50 - 86.00	0.0000	0.0000
L3	22	Switchblade Reinf	66.50 - 86.00	0.0000	0.0000
L4	20	Switchblade Reinf	36.50 - 66.50	0.0000	0.0000
L4	21	Switchblade Reinf	36.50 - 66.50	0.0000	0.0000
L4	22	Switchblade Reinf	36.50 - 66.50	0.0000	0.0000

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Discrete Tower Loads

<i>Description</i>	<i>Face or Leg</i>	<i>Offset Type</i>	<i>Offsets: Horz Lateral Vert ft ft ft</i>	<i>Azimuth Adjustment °</i>	<i>Placement ft</i>	<i>C_AA_A Front ft²</i>	<i>C_AA_A Side ft²</i>	<i>Weight K</i>
12' Dipole (Vista Fire Dept.)	C	None		0.0000	150.00	No Ice 2.80 1/2" Ice 4.22 1" Ice 5.67	2.80 4.22 5.67	0.03 0.05 0.08
4' Yagi (Vista Fire Dept.)	B	None		0.0000	150.00	No Ice 2.00 1/2" Ice 3.50 1" Ice 5.00	2.00 3.50 5.00	0.05 0.07 0.08

APXV86-906513L-C-A20 (Sprint)	A	From Leg	4.00 0.00 0.00	0.0000	148.00	No Ice 6.67 1/2" Ice 7.10 1" Ice 7.54	2.82 3.15 3.50	0.03 0.07 0.11
APXV86-906513L-C-A20 (Sprint)	B	From Leg	4.00 0.00 0.00	0.0000	148.00	No Ice 6.67 1/2" Ice 7.10 1" Ice 7.54	2.82 3.15 3.50	0.03 0.07 0.11
APXV86-906513L-C-A20 (Sprint)	C	From Leg	4.00 0.00 0.00	0.0000	148.00	No Ice 6.67 1/2" Ice 7.10 1" Ice 7.54	2.82 3.15 3.50	0.03 0.07 0.11
APXVRR13-C-A20 (Sprint)	A	From Leg	4.00 0.00 0.00	0.0000	148.00	No Ice 7.35 1/2" Ice 7.80 1" Ice 8.26	2.60 2.94 3.29	0.03 0.07 0.11
APXVRR13-C-A20 (Sprint)	A	From Leg	4.00 0.00 0.00	0.0000	148.00	No Ice 7.35 1/2" Ice 7.80 1" Ice 8.26	2.60 2.94 3.29	0.03 0.07 0.11
APXVRR13-C-A20 (Sprint)	B	From Leg	4.00 0.00 0.00	0.0000	148.00	No Ice 7.35 1/2" Ice 7.80 1" Ice 8.26	2.60 2.94 3.29	0.03 0.07 0.11
RRH 2X50W (Sprint)	C	From Leg	4.00 0.00 0.00	0.0000	148.00	No Ice 2.43 1/2" Ice 2.65 1" Ice 2.87	2.02 2.22 2.43	0.06 0.08 0.11
RRH 2X50W (Sprint)	B	From Leg	4.00 0.00 0.00	0.0000	148.00	No Ice 2.43 1/2" Ice 2.65 1" Ice 2.87	2.02 2.22 2.43	0.06 0.08 0.11
RRH 2X50W (Sprint)	C	From Leg	4.00 0.00 0.00	0.0000	148.00	No Ice 2.43 1/2" Ice 2.65 1" Ice 2.87	2.02 2.22 2.43	0.06 0.08 0.11
RRH 4X45W (Sprint)	A	From Leg	4.00 0.00 0.00	0.0000	148.00	No Ice 3.01 1/2" Ice 3.26 1" Ice 3.52	2.97 3.21 3.46	0.06 0.09 0.12
RRH 4X45W (Sprint)	B	From Leg	4.00 0.00 0.00	0.0000	148.00	No Ice 3.01 1/2" Ice 3.26 1" Ice 3.52	2.97 3.21 3.46	0.06 0.09 0.12
RRH 4X45W (Sprint)	C	From Leg	4.00 0.00 0.00	0.0000	148.00	No Ice 3.01 1/2" Ice 3.26 1" Ice 3.52	2.97 3.21 3.46	0.06 0.09 0.12
Low Profile Platform (Sprint)	C	None		0.0000	148.00	No Ice 18.00 1/2" Ice 24.00 1" Ice 30.00	18.00 24.00 30.00	1.20 1.50 1.80

(2) DBXLH-8585A-R2M (AT&T)	A	From Leg	4.00 0.00	0.0000	140.00	No Ice 5.10 1/2" Ice 5.43	3.28 3.58	0.03 0.07

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Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert ft ft ft	Azimuth Adjustment °	Placement ft	C _A A _A Front ft ²	C _A A _A Side ft ²	Weight K
(2) DBXLH-8585A-R2M (AT&T)	B	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	1" Ice 5.76 No Ice 5.10 1/2" Ice 5.43 1" Ice 5.76	3.89 3.28 3.58 3.89	0.10 0.03 0.07 0.10
(2) DBXLH-8585A-R2M (AT&T)	C	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 5.10 1/2" Ice 5.43 1" Ice 5.76	3.28 3.58 3.89	0.03 0.07 0.10
SBNH-1D6565C (AT&T)	A	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 11.45 1/2" Ice 12.06 1" Ice 12.69	7.70 8.29 8.89	0.07 0.13 0.21
SBNH-1D6565C (AT&T)	B	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 11.45 1/2" Ice 12.06 1" Ice 12.69	7.70 8.29 8.89	0.07 0.13 0.21
SBNH-1D6565C (AT&T)	C	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 11.45 1/2" Ice 12.06 1" Ice 12.69	7.70 8.29 8.89	0.07 0.13 0.21
RRH AWS (24.4x10.6x6.7" 43 lbs) (AT&T)	A	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 2.51 1/2" Ice 2.75 1" Ice 2.99	1.59 1.80 2.01	0.04 0.06 0.08
RRH AWS (24.4x10.6x6.7" 43 lbs) (AT&T)	B	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 2.51 1/2" Ice 2.75 1" Ice 2.99	1.59 1.80 2.01	0.04 0.06 0.08
RRH AWS (24.4x10.6x6.7" 43 lbs) (AT&T)	C	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 2.51 1/2" Ice 2.75 1" Ice 2.99	1.59 1.80 2.01	0.04 0.06 0.08
RRH 700 (12.2x10.8x2.1" 51 lbs) (AT&T)	A	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 1.28 1/2" Ice 1.43 1" Ice 1.60	0.25 0.35 0.45	0.05 0.06 0.07
RRH 700 (12.2x10.8x2.1" 51 lbs) (AT&T)	B	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 1.28 1/2" Ice 1.43 1" Ice 1.60	0.25 0.35 0.45	0.05 0.06 0.07
RRH 700 (12.2x10.8x2.1" 51 lbs) (AT&T)	C	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 1.28 1/2" Ice 1.43 1" Ice 1.60	0.25 0.35 0.45	0.05 0.06 0.07
(2) Andrew ETD819HS-12UB (AT&T)	A	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 2.82 1/2" Ice 3.05 1" Ice 3.28	1.62 1.80 1.99	0.02 0.04 0.07
(2) Andrew ETD819HS-12UB (AT&T)	B	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 2.82 1/2" Ice 3.05 1" Ice 3.28	1.62 1.80 1.99	0.02 0.04 0.07
(2) Andrew ETD819HS-12UB (AT&T)	C	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 2.82 1/2" Ice 3.05 1" Ice 3.28	1.62 1.80 1.99	0.02 0.04 0.07
(2) ETM190G-12UB (AT&T)	A	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 1.06 1/2" Ice 1.21 1" Ice 1.37	0.45 0.57 0.71	0.02 0.02 0.03
(2) ETM190G-12UB (AT&T)	B	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 1.06 1/2" Ice 1.21 1" Ice 1.37	0.45 0.57 0.71	0.02 0.02 0.03
(2) ETM190G-12UB (AT&T)	C	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 1.06 1/2" Ice 1.21 1" Ice 1.37	0.45 0.57 0.71	0.02 0.02 0.03
DC6-48-60-18-8F (AT&T)	C	None	0.00	0.0000	140.00	No Ice 2.22 1/2" Ice 2.44 1" Ice 2.66	2.22 2.44 2.66	0.04 0.06 0.08
(2) CBCT819 (AT&T)	A	From Leg	0.00 4.00 0.00	0.0000	140.00	No Ice 0.14 1/2" Ice 0.22	0.08 0.13	0.01 0.01

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	Client		InSite Towers		Designed by		JBozzetto	

<i>Description</i>	<i>Face or Leg</i>	<i>Offset Type</i>	<i>Offsets: Horz Lateral Vert ft ft ft</i>	<i>Azimuth Adjustment °</i>	<i>Placement ft</i>	<i>C_AA_A Front ft²</i>	<i>C_AA_A Side ft²</i>	<i>Weight K</i>
(2) CBCT819 (AT&T)	B	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	1" Ice 0.31 No Ice 0.14 1/2" Ice 0.22 1" Ice 0.31	0.19 0.08 0.13 0.19	0.01 0.01 0.01 0.01
(2) CBCT819 (AT&T)	C	From Leg	0.00 4.00 0.00 0.00	0.0000	140.00	No Ice 0.14 1/2" Ice 0.22 1" Ice 0.31	0.08 0.13 0.19	0.01 0.01 0.01
Low Profile Platform (AT&T)	C	None	0.0000	0.0000	140.00	No Ice 18.00 1/2" Ice 24.00 1" Ice 30.00	18.00 24.00 30.00	1.20 1.50 1.80

(2) LPA-80080/8CF w/Mount Pipe (Verizon)	A	From Leg	4.00 0.00 0.00	0.0000	130.00	No Ice 6.31 1/2" Ice 6.89 1" Ice 7.48	14.07 15.50 16.77	0.05 0.14 0.23
(2) LPA-80080/8CF w/Mount Pipe (Verizon)	B	From Leg	4.00 0.00 0.00	0.0000	130.00	No Ice 6.31 1/2" Ice 6.89 1" Ice 7.48	14.07 15.50 16.77	0.05 0.14 0.23
(2) LPA-80080/8CF w/Mount Pipe (Verizon)	C	From Leg	4.00 0.00 0.00	0.0000	130.00	No Ice 6.31 1/2" Ice 6.89 1" Ice 7.48	14.07 15.50 16.77	0.05 0.14 0.23
BXA-185090/8CF w/Mount Pipe (Verizon)	A	From Leg	4.00 0.00 0.00	0.0000	130.00	No Ice 3.72 1/2" Ice 4.34 1" Ice 4.84	3.53 4.57 5.32	0.04 0.07 0.11
BXA-185090/8CF w/Mount Pipe (Verizon)	B	From Leg	4.00 0.00 0.00	0.0000	130.00	No Ice 3.72 1/2" Ice 4.34 1" Ice 4.84	3.53 4.57 5.32	0.04 0.07 0.11
BXA-185090/8CF w/Mount Pipe (Verizon)	C	From Leg	4.00 0.00 0.00	0.0000	130.00	No Ice 3.72 1/2" Ice 4.34 1" Ice 4.84	3.53 4.57 5.32	0.04 0.07 0.11
BXA-70080/4CF (Verizon)	A	From Leg	4.00 0.00 0.00	0.0000	130.00	No Ice 3.69 1/2" Ice 4.06 1" Ice 4.43	2.79 3.10 3.43	0.01 0.04 0.07
BXA-70080/4CF (Verizon)	B	From Leg	4.00 0.00 0.00	0.0000	130.00	No Ice 3.69 1/2" Ice 4.06 1" Ice 4.43	2.79 3.10 3.43	0.01 0.04 0.07
BXA-70080/4CF (Verizon)	C	From Leg	4.00 0.00 0.00	0.0000	130.00	No Ice 3.69 1/2" Ice 4.06 1" Ice 4.43	2.79 3.10 3.43	0.01 0.04 0.07
(2) TMA (Verizon)	A	From Leg	4.00 0.00 0.00	0.0000	130.00	No Ice 1.95 1/2" Ice 2.13 1" Ice 2.31	0.52 0.64 0.76	0.03 0.04 0.05
(2) TMA (Verizon)	B	From Leg	4.00 0.00 0.00	0.0000	130.00	No Ice 1.95 1/2" Ice 2.13 1" Ice 2.31	0.52 0.64 0.76	0.03 0.04 0.05
(2) TMA (Verizon)	C	From Leg	4.00 0.00 0.00	0.0000	130.00	No Ice 1.95 1/2" Ice 2.13 1" Ice 2.31	0.52 0.64 0.76	0.03 0.04 0.05
Low Profile Platform (Verizon)	C	None	0.0000	0.0000	130.00	No Ice 18.00 1/2" Ice 24.00 1" Ice 30.00	18.00 24.00 30.00	1.20 1.50 1.80

CMA-BDHH/6521/E0-6 (T-Mobile)	A	From Leg	4.00 2.00 0.00	-30.0000	120.00	No Ice 11.59 1/2" Ice 12.22 1" Ice 12.85	4.94 5.43 5.94	0.07 0.13 0.20
CMA-BDHH/6521/E0-6 (T-Mobile)	A	From Leg	4.00 2.00 0.00	60.0000	120.00	No Ice 11.59 1/2" Ice 12.22 1" Ice 12.85	4.94 5.43 5.94	0.07 0.13 0.20

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	Client	InSite Towers	Designed by	JBozzetto

Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert ft ft ft	Azimuth Adjustment °	Placement ft		C _A A _A Front ft ²	C _A A _A Side ft ²	Weight K
CMA-BDHH/6521/E0-6 (T-Mobile)	B	From Leg	4.00 2.00 0.00	30.0000	120.00	No Ice 1/2" Ice 1" Ice	11.59 12.22 12.85	4.94 5.43 5.94	0.07 0.13 0.20
CMA-BDHH/6521/E0-6 (T-Mobile)	C	From Leg	4.00 2.00 0.00	0.0000	120.00	No Ice 1/2" Ice 1" Ice	11.59 12.22 12.85	4.94 5.43 5.94	0.07 0.13 0.20
APXVF24-C-A20 (T-Mobile)	A	From Leg	4.00 -2.00 0.00	-30.0000	120.00	No Ice 1/2" Ice 1" Ice	13.11 13.81 14.52	7.20 7.77 8.35	0.05 0.12 0.20
APXVF24-C-A20 (T-Mobile)	A	From Leg	4.00 -2.00 0.00	60.0000	120.00	No Ice 1/2" Ice 1" Ice	13.11 13.81 14.52	7.20 7.77 8.35	0.05 0.12 0.20
APXVF24-C-A20 (T-Mobile)	B	From Leg	4.00 -2.00 0.00	30.0000	120.00	No Ice 1/2" Ice 1" Ice	13.11 13.81 14.52	7.20 7.77 8.35	0.05 0.12 0.20
APXVF24-C-A20 (T-Mobile)	C	From Leg	4.00 -2.00 0.00	0.0000	120.00	No Ice 1/2" Ice 1" Ice	13.11 13.81 14.52	7.20 7.77 8.35	0.05 0.12 0.20
RRUS11 B2 (T-Mobile)	A	From Leg	4.00 0.00 0.00	-30.0000	120.00	No Ice 1/2" Ice 1" Ice	3.26 3.50 3.75	1.34 1.52 1.70	0.06 0.08 0.10
RRUS11 B2 (T-Mobile)	A	From Leg	4.00 0.00 0.00	60.0000	120.00	No Ice 1/2" Ice 1" Ice	3.26 3.50 3.75	1.34 1.52 1.70	0.06 0.08 0.10
RRUS11 B2 (T-Mobile)	B	From Leg	4.00 0.00 0.00	30.0000	120.00	No Ice 1/2" Ice 1" Ice	3.26 3.50 3.75	1.34 1.52 1.70	0.06 0.08 0.10
RRUS11 B2 (T-Mobile)	C	From Leg	4.00 0.00 0.00	0.0000	120.00	No Ice 1/2" Ice 1" Ice	3.26 3.50 3.75	1.34 1.52 1.70	0.06 0.08 0.10
RRUS11 B4 (T-Mobile)	A	From Leg	4.00 0.00 0.00	-30.0000	120.00	No Ice 1/2" Ice 1" Ice	3.26 3.50 3.75	1.34 1.52 1.70	0.06 0.08 0.10
RRUS11 B4 (T-Mobile)	A	From Leg	4.00 0.00 0.00	60.0000	120.00	No Ice 1/2" Ice 1" Ice	3.26 3.50 3.75	1.34 1.52 1.70	0.06 0.08 0.10
RRUS11 B4 (T-Mobile)	B	From Leg	4.00 0.00 0.00	30.0000	120.00	No Ice 1/2" Ice 1" Ice	3.26 3.50 3.75	1.34 1.52 1.70	0.06 0.08 0.10
RRUS11 B4 (T-Mobile)	C	From Leg	4.00 0.00 0.00	0.0000	120.00	No Ice 1/2" Ice 1" Ice	3.26 3.50 3.75	1.34 1.52 1.70	0.06 0.08 0.10
RRUS 11 B12 (T-Mobile)	A	From Leg	4.00 0.00 0.00	-30.0000	120.00	No Ice 1/2" Ice 1" Ice	2.83 3.04 3.26	1.18 1.33 1.48	0.05 0.07 0.10
RRUS 11 B12 (T-Mobile)	A	From Leg	4.00 0.00 0.00	60.0000	120.00	No Ice 1/2" Ice 1" Ice	2.83 3.04 3.26	1.18 1.33 1.48	0.05 0.07 0.10
RRUS 11 B12 (T-Mobile)	B	From Leg	4.00 0.00 0.00	30.0000	120.00	No Ice 1/2" Ice 1" Ice	2.83 3.04 3.26	1.18 1.33 1.48	0.05 0.07 0.10
RRUS 11 B12 (T-Mobile)	C	From Leg	4.00 0.00 0.00	0.0000	120.00	No Ice 1/2" Ice 1" Ice	2.83 3.04 3.26	1.18 1.33 1.48	0.05 0.07 0.10
Low Profile Platform (T-Mobile)	C	None		0.0000	120.00	No Ice 1/2" Ice 1" Ice	18.00 24.00 30.00	18.00 24.00 30.00	1.20 1.50 1.80

tnxTower Bennett & Pless Phone: FAX:	Job	16703.002	Page	9 of 11
	Project	NY001 (Vista)	Date	23:18:55 05/24/16
	Client	InSite Towers	Designed by	JBozzetto

Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert ft ft ft	Azimuth Adjustment °	Placement ft		C _{AA} Front ft ²	C _{AA} Side ft ²	Weight K

PCTEL GPS-TMG-HR-26N (Verizon)	B	From Leg	0.50 0.00 0.00	0.0000	70.00	No Ice 1/2" Ice 1" Ice	0.08 0.12 0.18	0.08 0.12 0.18	0.01 0.01 0.01
PCTEL GPS-TMG-HR-26N (Verizon)	C	From Leg	0.50 0.00 0.00	0.0000	70.00	No Ice 1/2" Ice 1" Ice	0.08 0.12 0.18	0.08 0.12 0.18	0.01 0.01 0.01

Dishes

Description	Face or Leg	Dish Type	Offset Type	Offsets: Horz Lateral Vert ft	Azimuth Adjustment °	3 dB Beam Width °	Elevation ft	Outside Diameter ft	Aperture Area ft ²	Weight K
18" Dish (Sprint)	A	Paraboloid w/Radome	From Leg	0.75 0.00 0.00	0.0000		148.00	1.50	No Ice 1/2" Ice 1" Ice	1.77 1.97 2.17
18" Dish (Sprint)	B	Paraboloid w/Radome	From Leg	0.75 0.00 0.00	0.0000		148.00	1.50	No Ice 1/2" Ice 1" Ice	1.77 1.97 2.17

EX-5 V3 (T-Mobile)	C	Paraboloid w/o Radome	From Leg	0.00 0.00 0.00	0.0000		120.00	1.17	No Ice 1/2" Ice 1" Ice	1.07 1.23 1.39

Compression Checks

Pole Design Data

Section No.	Elevation ft	Size	L ft	L _u ft	Kl/r	A in ²	P _u K	φP _n K	Ratio $\frac{P_u}{\phi P_n}$
L1	150 - 97 (1)	TP31.773x24x0.1875 4.8.2 (1.01 CR) - 1	53.00	0.00	0.0	18.4046	-12.05	1144.93	0.011
L2	97 - 86 (2)	TP33x30.738x0.25	15.50	0.00	0.0	25.9871	-14.92	1780.93	0.008
L3	86 - 66.5 (3)	TP35.872x33x0.399	19.50	0.00	0.0	43.9913	-19.29	3268.34	0.006
L4	66.5 - 36.5 (4)	TP39.772x34.3376x0.441	35.00	0.00	0.0	53.8576	-30.17	4001.35	0.008
L5	36.5 - 0 (5)	TP44.5x38.036x0.484	42.00	0.00	0.0	67.6181	-47.74	5023.69	0.010

Pole Bending Design Data

<i>tnxTower</i> <i>Bennett & Pless</i> <i>Phone:</i> <i>FAX:</i>	Job	16703.002	Page	11 of 11
	Project	NY001 (Vista)	Date	23:18:55 05/24/16
	Client	InSite Towers	Designed by	JBozzetto

<i>Section No.</i>	<i>Elevation ft</i>	<i>Component Type</i>	<i>Size</i>	<i>Critical Element</i>	<i>P K</i>	<i>$\emptyset P_{allow}$ K</i>	<i>% Capacity</i>	<i>Pass Fail</i>
						Pole (L1)	101.0	Acceptable
						RATING =	101.0	Acceptable

Structural Components, LLC

By: JB
Date: 5/24/2016
Principal:

Job #: 016703
Project: NY001 Vista
Client: Insite

Sheet:
Subject:

Monopole Splice Calculator
Assumptions / Criteria

ASCE/SEI 48-05
AISC
TIA

Notes:
Anchor bolt stress for TIA-222-G assumes detail type d connection per figure 4-4. Free length between concrete and leveling nut does not exceed 1" bolt diameter.

Height feet	bolt dia. in	bolt circle dia in	fy ksi	fu ksi	Per Piece A reinf only in ²	Per Piece lx reinf only in ⁴	quantity n	dist centroid to centroid in	dist centroid to outer reinf. Fiber in	Properties Ax total in ²	Ix total in ⁴	Sx total in ³	LRFD Mmax k-ft	ASD Mmax k-ft	4/3rds Mmax k-ft
bolt	2.25	51.5	75	100	3.248	1.258	14	25.75	1.125	45.47	15091.53	561.55	3158.69	2105.79	2807.73
reinf	2.75	60.25	105	125	4.928	2.807	3	30.13	1.375	14.79	6713.06	213.11	1678.26	1118.84	1491.79
total			105	125			17	26.82		60.25	21804.58	812.89	4836.96	3224.64	4299.52

Max usable reinf stress 75.00 ksi O.K. "only applies when reinforcement anchor rods are installed"

Moment required 3626.00 k-ft
Axial required 48.00 k
Shear required 32.00 k

ASD		LRFD		
Ω	2.00	Φ	0.90	0.75
Allowable Stress	1.33	Φ _{AR}	0.80	
Axial Max Bolt	194.9 k	Axial Max Bolt	243.6 k	
Axial Max reinf*	250.0 k	Axial Max reinf	335.0 k	
Shear Max Bolt	108.3 k	Shear Max Bolt	109.6 k	
Stress at reinf	60.9 ksi	Stress at reinf	4.0 ksi	
Axial to Bolt	169.5 k	Axial to Bolt	169.5 k	
Axial to reinf	300.2 k	Axial to reinf	300.2 k	
Shear to Bolt	1.9 k	Shear to Bolt	1.9 k	

*governed by base termination connections.

Splice Plate Analysis

Odd/Even Active Bolt #	Odd TRUE	Even TRUE
Round or Square	1 (round=1,square=0)	1 (round=1,square=0)
Plate Thickness	2.25 in	2.25 in
Pole Base Diameter	44.5 in	44.5 in
Plate Yield	60 ksi	60 ksi
Bendline	25.92 in	25.92 in
Inclusion Angle	60.44 deg	60.44 deg
D ₁	3.50 in	2.85 in
D ₂	0.95 in	0.00 in
D ₃	0.00 in	0.00 in
D ₄	0.00 in	0.00 in
BL ₁	169.5 k	165.3 k
BL ₂	152.9 k	0.0 k
BL ₃	0.0 k	0.0 k
BL ₄	0.0 k	0.0 k
M ₁	593.1 kip*in	943.6 kip*in
M ₂	290.6 kip*in	0.0 kip*in
M ₃	0.0 kip*in	0.0 kip*in
M ₄	0.0 kip*in	0.0 kip*in

ASD

Bending Stress 40.4 ksi 43.1 ksi
Allowable Stress 50.0 ksi 50.0 ksi
Ratio 0.808 0.863

LRFD

Bending Stress 40.4 ksi 43.1 ksi
Allowable Stress 45.0 ksi 45.0 ksi
Ratio 0.898 0.959


LRFD Ratings

Plate	96%
Bolt	67%
Reinforcement	100%

Appendix B

Customer Application

WORKSHEET 1 OF 2 (COMPLETE BOTH WORKSHEET TABS)

		<h2>CUSTOMER APPLICATION</h2>		A Site Application Fee to be paid upon submission of this Customer Application.	
		DATE SUBMITTED: 03/25/16			
CUSTOMER INFORMATION					
COMPANY NAME: T-Mobile		PHONE: N/A			
ENTITY Type: i.e. Inc., LLP LLC		FAX: N/A			
STATE of Inc. Delaware		SERVICE (PCS, SMR): N/A			
CUSTOMER ADDRESSES					
COMPANY Address: 4 Sylvan Way		CITY/STATE: Parsippany NJ		ZIP : 7054	
BILLING Address: 12920 SE 38th Street		CITY/STATE: Bellevue, WA		ZIP : 98006	
NOTICE Address 1: 12920 SE 38th Street		CITY/STATE: Bellevue, WA		ZIP : 98006	
NOTICE Address 2:		CITY/STATE:		ZIP :	
CUSTOMER CONTACTS					
PRIMARY CONTACT: Jeremy Sorvino		PHONE: 201.314.6322			
TITLE: Project Manager		E-MAIL Address: jeremy.sorvino@smartlinkllc.com			
SIGNATORY NAME: Kevin Griswold		PHONE:			
TITLE: Director		E-MAIL Address:			
EMERGENCY CONTACT: Michael Lyons		PHONE:			
TITLE: Property manager		E-MAIL Address: michael.lyons8@t-mobile.com			
TECHNICAL/OPS: Steve Palmer		PHONE:			
TITLE: Manager		E-MAIL Address: steve.palmer@t-mobile.com			
RF ENGINEER: Per Ljungberg		PHONE: 973.397.4908			
TITLE: RF		E-MAIL Address: per.ljungberg@t-mobile.com			
BILLING CONTACT: Lynn Delgatto		PHONE:			
TITLE: PC		E-MAIL Address: Lynn.Delgatto@t-mobile.com			
LEGAL CONTACT: John Velasquez		PHONE:			
TITLE: Legal		E-MAIL Address: John.Velasquez@t-mobile.com			
SITE INFORMATION					
CUSTOMER Site # / Name: NY09130A / Smith Ridge Road		INSITE Site # and Name: NY001 Vista			
SITE LATITUDE: 41.2144		SITE LONGITUDE: -73.5151			
SITE ADDRESS: 377 Smith Ridge Rd		CITY: South Salem			
STATE: NY ZIP: 10590		STRUCTURE TYPE: Tower			
USE THIS SECTION TO PROVIDE A DESCRIPTION OF COLOCATION OR MODIFICATION REQUEST					
Install 1 Site Support Cabinet, Purcell - SFX17-2824, with a battery backup cabinet PBC-05. In the SSC, install 1 RBS6601, with a DUW30, 1 RBS6601, with a DUS41 and 1 additional RBS6601, with a DUS41. Install 1 9x18 Fiber Hybrid cable to each sector. Install Mechanical down tilt brackets on all antennas. Integrate RET in the OSS on all technologies for all sectors.					
USE THIS SECTION TO LIST EQUIPMENT TO BE REMOVED					
APPLICATION PREPARED BY					
NAME: Jeremy Sorvino		PHONE: 201-314-6322			
COMPANY: Smartlink		ADDRESS: 14 walsh drive Parsippany NJ 07054			
TITLE: Project Manager		E-MAIL Address: jeremy.sorvino@smartlinkllc.com			

**EXHIBIT
Equipment**

Site Name and #: NY001 Vista

Licensee Name: T-Mobile

The mounting method and exact location of the space and equipment listed herein shall be subject to InSite's approval.

SYSTEM REQUIREMENTS						
POWER provided by:	Utility Company direct			TELCO provided by: Microwave		
Power Requirements:	Amps: 200	Volts: 240	No. of Outlets: N/A			
Generator Provided by:	N/A	Make: N/A	Model: N/A	Fuel Type: N/A	Capacity: N/A	
Batteries:	Quantity: 12	Make: E11	Model: PBC-05			
SPACE REQUIREMENTS & RADIO INVENTORY						
Type of Space Required:	Ground: Yes	Floor: No	Total Square Feet: 200 sq ft			
Dimensions of Equipment Floor/Ground Space: 10' x 20'			Equipment Height: N/A			
No. of Transmitters (Tx):	None	Transmitter Make/Model: N/A			Transmitter Power Output: N/A	
No. of Receivers (Rx):	None	Receiver Make/Model: N/A			Transmitter ERP: N/A	
EQUIPMENT LOADING DESCRIPTION (FINAL CONFIGURATION)						
	Sector 1	Sector 2	Sector 3	Sector 4	DISH(ES)	OTHER
Antenna Type (1):	Panel	Panel	Panel	Panel	Parabolic	N/A
# of Antennas (1)/ Sector:	One (1)	One (1)	One (1)	One (1)	One (1)	None
Tx, Rx or Both:	Both	Both	Both	Both	Receive	N/A
Antenna Manufacturer (1):	CellMax	CellMax	CellMax	CellMax	Exalt	N/A
Antenna Model (1):	CMA-BDHH/6521/E0-6	CMA-BDHH/6521/E0-6	CMA-BDHH/6521/E0-6	CMA-BDHH/6521/E0-6	EX-5 V3	N/A
Antenna Dimensions (1):	81" x 14.7" x 5.2"	81" x 14.7" x 5.2"	81" x 14.7" x 5.2"	81" x 14.7" x 5.2"	14" x 14" x 3.8"	N/A
Antenna Weight (1):	62 lbs	62 lbs	62 lbs	62 lbs	14 lbs	N/A
Antenna RAD Ctr (1):	120 ft	120 ft	120 ft	120 ft	120 ft	N/A
Antenna Type (2):	Panel	Panel	Panel	Panel	N/A	N/A
# of Antennas (2)/ Sector:	One (1)	One (1)	One (1)	One (1)	None	None
Tx, Rx or Both:	Both	Both	Both	Both	N/A	N/A
Antenna Manufacturer (2):	RFS	RFS	RFS	RFS	N/A	N/A
Antenna Model (2):	APXVF24-C-A20	APXVF24-C-A20	APXVF24-C-A20	APXVF24-C-A20	N/A	N/A
Antenna Dimensions (2):	93" x 14.5" x 6.9"	93" x 14.5" x 6.9"	93" x 14.5" x 6.9"	93" x 14.5" x 6.9"	N/A	N/A
Antenna Weight (2):	51 lbs	51 lbs	51 lbs	51 lbs	N/A	N/A
Antenna RAD Ctr (2):	120 ft	120 ft	120 ft	120 ft	N/A	N/A
# of RRU/RRHs/ Sector (1):	One (1)	One (1)	One (1)	One (1)		
RRU/RRH Manufacturer (1):	Ericsson	Ericsson	Ericsson	Ericsson		
RRU/RRH Model (1):	RRUS11 B2	RRUS11 B2	RRUS11 B2	RRUS11 B2		
RRU/RRH Dimensions (1):	19.7" x 17" x 7"	19.7" x 17" x 7"	19.7" x 17" x 7"	19.7" x 17" x 7"		
RRU/RRH Weight (1):	57 lbs	57 lbs	57 lbs	57 lbs		
RRU/RRH RAD Ctr (1):	120 ft	120 ft	120 ft	120 ft		
# of RRU/RRHs/ Sector (2):	One (1)	One (1)	One (1)	One (1)		
RRU/RRH Manufacturer (2):	Ericsson	Ericsson	Ericsson	Ericsson		
RRU/RRH Model (2):	RRUS11 B4	RRUS11 B4	RRUS11 B4	RRUS11 B4		
RRU/RRH Dimension (2):	19.7" x 17" x 7"	19.7" x 17" x 7"	19.7" x 17" x 7"	19.7" x 17" x 7"		
RRU/RRH Weight (2):	57 lbs	57 lbs	57 lbs	57 lbs		
RRU/RRH RAD Ctr (2):	120 ft	120 ft	120 ft	120 ft		
# of RRU/RRHs/ Sector (3):	One (1)	One (1)	One (1)	One (1)		
RRU/RRH Manufacturer (3):	Ericsson	Ericsson	Ericsson	Ericsson		
RRU/RRH Model (3):	RRUS11 B12	RRUS11 B12	RRUS11 B12	RRUS11 B12		
RRU/RRH Dimension (3):	19.7" x 17" x 7"	19.7" x 17" x 7"	19.7" x 17" x 7"	19.7" x 17" x 7"		
RRU/RRH Weight (3):	57 lbs	57 lbs	57 lbs	57 lbs		
RRU/RRH RAD Ctr (3):	120 ft	120 ft	120 ft	120 ft		
# of TMAs/ Sector:	None	None	None	None		
# of Diplexers/ Sector:	None	None	None	None		
# of Surge Suppressors/Sctr:	None	None	None	None		
OTHER:	None	None	None	None		
Transmit Frequencies:	1945-1950, 1940-1945, 2130-2150, 2150-2155, 728-734 MHz				5.47 GHz	N/A
Receive Frequencies:	1865-1870, 1860-1865, 1730-1750, 1750-1755, 698-704 MHz				5.72 GHz	N/A
# of Lines:	One (1)	One (1)	One (1)	One (1)	One (1)	None
Line Size:	1/2" Fiber	1/2" Fiber	1/2" Fiber	1/2" Fiber	1/2"	N/A
Mount Type:	Pipe Mount	Pipe Mount	Pipe Mount	Pipe Mount	N/A	N/A
Mount Size:	Other	Other	Other	Other	N/A	N/A

TOWN OF LEWISBORO

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on November 15, 2016 at 7:30 p.m., or soon thereafter, at the Town Offices @ Orchard Square Plaza, Lower Level, Cross River, New York, regarding the following:

Cal. #pending

Application for Special Activity Use Permit Approval submitted by T-Mobile Northeast LLC at Vista Fire Department, 377 Smith Ridge Road, South Salem, New York (Vista Fire District, owner of record - Sheet 50A, Block 9834, Lots 84, 88 & 94) to permit collocation of nine antennas on an existing monopole and installations of three equipment cabinets within an existing fenced compound. The property consists of approximately 5.94 acres and is located within an R-1A One-Family Residential District. A copy of materials and proposed site documents may be inspected at the office of the Planning Board Secretary, 20 Orchard Square, Suite L, Cross River, New York during regular Planning Board hours. Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to attend the Public Hearing and all will be provided an opportunity to be heard.

**PLANNING BOARD
TOWN OF LEWISBORO**

**By: Jerome Kerner
Chairman**

Dated October 25, 2016

The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Planning Board in advance.

AFFIDAVIT OF MAILING

IN THE MATTER OF AN APPLICATION BY FRANK FERRARO, ESQ., FERRARO & STAMOS LLP, FOR T-MOBILE NORTHEAST LLC, FOR SPECIAL ACTIVITY USE PERMIT APPROVAL AT VISTA FIRE DEPARTMENT, 377 SMITH RIDGE ROAD, SOUTH SALEM, NEW YORK, BLOCK 9834, LOTS 84, 88 & 94, TO PERMIT COLLOCATION OF NINE ANTENNAS ON AN EXISTING MONOPOLE AND INSTALLATION OF THREE EQUIPMENT CABINETS WITHIN AN EXISTING FENCED COMPOUND.

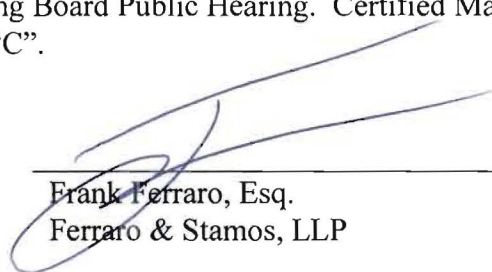
STATE OF NEW JERSEY)

ss:

COUNTY OF BERGEN)

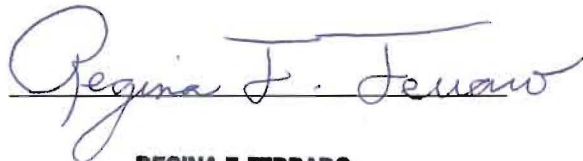
I, Frank Ferraro, Esq., of full age, being duly sworn according to law, depose and say:

1. I am the attorney for the applicant, T-Mobile Northeast LLC.
2. On October 31, 2016, I mailed notices (Exhibit "A") to the persons named on the attached 250' property owner list as defined to me by the Tax Assessor's Office (Exhibit "B"), via Certified U.S. Mail, Return Receipt Requested, noticing the November 15, 2016 Planning Board Public Hearing. Certified Mail Receipts attached hereto as Exhibit "C".



Frank Ferraro, Esq.
Ferraro & Stamos, LLP

Sworn and Subscribed to
before me this 31st day
of October, 2016.



REGINA F. FERRARO

A NOTARY PUBLIC OF NEW JERSEY
MY COMMISSION EXPIRES MAY 9, 2018

09827-23-049B
Lewisboro Supply Co. Inc.
382 Smith Ridge Rd.
South Salem, NY 10590

09834-018-0050
Joseph & Jeanine Haberny
371 Smith Ridge Rd.
South Salem, NY 10590

09834-081-050A
James & Elizabeth Grant

09848-003-050A
E B Trees Inc.
20 Wakeman Rd.
South Salem, NY 10590

09829-10-049D
Smith Ridge Associates Inc.
202 Oakridge Commons
South Salem, NY 10590

09827-079-049B
Lewisboro Supply Co. Inc.

09834-067-0050
Alan & Dianne Mahony
369 Smith Ridge Rd.
South Salem, NY 10590

09834-019-050A
Five Nepperhan Avenue LLC
3102 Route 9
Cold Spring, NY 10516

09848-004-050A
Randy Samuelson
5 Tommy's Ln.
South Salem, NY 10590

09834-015-0050
Frank & Susan McDermott
2 Murray Place
South Salem, NY 10590

09834-071-050A
James & Elizabeth Grant
Lewisboro Garden Center
389 Smith Ridge Rd.
South Salem, NY 10590

09848-001-050A
Four Hundred One Storage Corp.
P.O. Box 751
South Salem, NY 10590

09848-005-50A
Arlene Ritchey
7 Tommy's Ln.
South Salem, NY 10590

7015 0920 0002 3272 0277

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382 Smith Ridge Rd.
South Salem, NY 10590

PS Form 3800, July 2014 See Reverse for Instructions

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Return Receipt Fee (Endorsement Required)	2.70	
Restricted Delivery Fee (Endorsement Required)	6.47	
Total	12.94	

Sent To: Frank & Susan McDermott
2 Murray Place
South Salem, NY 10590

PS Form 3800, July 2014 See Reverse for Instructions

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Return Receipt Fee (Endorsement Required)	2.70	
Restricted Delivery Fee (Endorsement Required)	6.47	
Total Postage & Fees	12.94	

Sent To: Joseph & Jeanine Haberny
371 Smith Ridge Road
South Salem, NY 10590

PS Form 3800, July 2014 See Reverse for Instructions

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Certified Fee	3.30	
Return Receipt Fee (Endorsement Required)	2.70	
Restricted Delivery Fee (Endorsement Required)	6.47	
Total Postage & Fees	12.94	

Sent To: Alan & Dianne Mahony
369 Smith Ridge Road
South Salem, NY 10590

PS Form 3800, July 2014 See Reverse for Instructions

7015 0920 0002 3272 0314

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OFFICIAL USE

Postage	\$.47	Postmark Here OCT 31 2016 NORTHVALE, NJ 07647 U.S.P.S.
Certified Fee	3.30	
Return Receipt Fee (Endorsement Required)	2.70	
Restricted Delivery Fee (Endorsement Required)	6.47	
Total Postage & Fees	12.94	

Sent To: James & Elizabeth Grant
Lewisboro Garden Center
389 Smith Ridge Road
South Salem, NY 10590

PS Form 3800, July 2014 See Reverse for Instructions

7015 0920 0002 3272 0321

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Certified Fee	3.30	
Return Receipt Fee (Endorsement Required)	2.70	
Restricted Delivery Fee (Endorsement Required)	6.47	
Total Postage & Fees	12.94	

Sent To: Five Nepperhan Avenue LLC
3102 Route 9
Cold Spring, NY 10516

PS Form 3800, July 2014 See Reverse for Instructions

7015 0920 0002 3272 0338

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Postage	\$.47	Postmark Here OCT 31 2016 U.S.P.S.
Certified Fee	3.30	
Return Receipt Fee (Endorsement Required)	2.70	
Restricted Delivery Fee (Endorsement Required)	6.47	
Total Postage & Fees		

Sent To
Four Hundred One Storage Corp.
P. O. Box 751
South Salem, NY 10590

PS Form 3800, July 2014

7015 0920 0002 3272 0345

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Certified Fee	3.30	
Return Receipt Fee (Endorsement Required)	2.70	
Restricted Delivery Fee (Endorsement Required)	6.47	
Total Postage & Fees		

Sent To
E B Trees Inc.
20 Wakeman Road
South Salem, NY 10590

PS Form 3800, July 2014

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Certified Fee	3.30	
Return Receipt Fee (Endorsement Required)	2.70	
Restricted Delivery Fee (Endorsement Required)	6.47	
Total Postage & Fees		

Sent To
Randy Samuelson
5 Tommy's Lane
South Salem, NY 10590

PS Form 3800, July 2014

7015 0920 0002 3272 0369

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OFFICIAL USE

Postage	\$.47	Postmark Here OCT 31 2016 U.S.P.S.
Certified Fee	3.30	
Return Receipt Fee (Endorsement Required)	2.70	
Restricted Delivery Fee (Endorsement Required)	6.47	
Total Postage & Fees		

Sent To
Arlene Ritchey
7 Tommy's Lane
South Salem, NY 10590

PS Form 3800, July 2014

7015 0920 0002 3272 0376

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OFFICIAL USE

Postage	\$.47	Postmark Here OCT 31 2016 U.S.P.S.
Certified Fee	3.30	
Return Receipt Fee (Endorsement Required)	2.70	
Restricted Delivery Fee (Endorsement Required)	6.47	
Total Postage & Fees		

Sent To
Smith Ridge Associates Inc.
202 Oakridge Commons
South Salem, NY 10590

PS Form 3800, July 2014

AFFIDAVIT OF POSTING

IN THE MATTER OF AN APPLICATION FOR SPECIAL ACTIVITY USE PERMIT APPROVAL SUBMITTED BY T-MOBILE NORTHEAST LLC AT VISTA FIRE DEPARTMENT, 377 SMITH RIDGE ROAD, SOUTH SALEM, NEW YORK, BLOCK 9834, LOTS 84, 88 & 94, TO PERMIT COLLOCATION OF NINE ANTENNAS ON AN EXISTING MONOPOLE AND INSTALLATION OF THREE EQUIPMENT CABINETS WITHIN AN EXISTING FENCED COMPOUND. THE PROPERTY CONSISTS OF APPROXIMATELY 5.94 ACRES AND IS LOCATED WITHIN AN R-1A ONE-FAMILY RESIDENTIAL DISTRICT.


STATE OF NEW JERSEY)

ss:

COUNTY OF BERGEN)

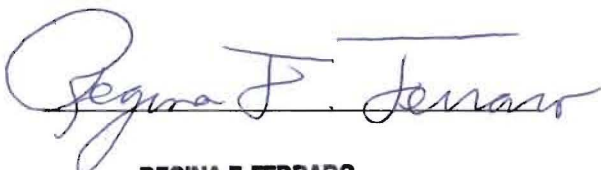
I, Frank Ferraro, Esq., of full age, being duly sworn according to law, depose and say:

1. I am the attorney for the applicant, T-Mobile Northeast LLC.
2. On October 28, 2016, a sign was posted in a grassy area next to the egress/ingress fire truck driveways on the front premises of Vista Fire Department, 377 Smith Ridge Road, South Salem, New York, noticing the November 25, 2016 Planning Board Public Hearing as was provided to me by the Town of Lewisboro Planning Board.
3. Photographs of the aforementioned posted sign at the location cited above are attached hereto.



Frank Ferraro, Esq.
Ferraro & Stamos, LLP

Sworn and Subscribed to
before me this 28th day
of October, 2016.



**REGINA F. FERRARO
A NOTARY PUBLIC OF NEW JERSEY
MY COMMISSION EXPIRES MAY 9, 2018**

NOTICE

This property is the subject of an application before the
Lewisboro Planning Board.
A Public Hearing has been scheduled at which time all interested parties
will be afforded an opportunity to be heard.

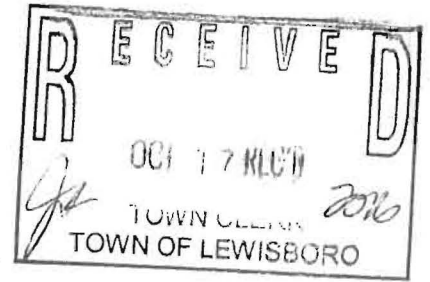
*Please contact the Planning Board Secretary at
914-763-5592*

*or visit
www.lewisborogov.com
for additional information*



**RESOLUTION
TOWN OF LEWISBORO
ZONING BOARD OF APPEALS**

**IN THE MATTER OF THE APPLICATION OF
Anthony Martini
FOR A VARIANCE OF
ARTICLE IV §220-23(E)
of the Lewisboro Zoning Ordinance
CAL. NO. 25-16-BZ**



INTRODUCED BY: Board Member Krellenstein

SECONDED BY: Board Member Mandelker

DATE OF CONSIDERATION/ADOPTION: September 28, 2016

WHEREAS, Anthony Martini, [owners of record Anthony & Mari Martini] has made application to the Lewisboro Zoning Board of Appeals (the “ZBA”) for an area variance of Article IV, Section 220-23(E) of the Lewisboro Town Code, seeking a rear yard setback variance in order to construct an in-ground pool on the subject premises located at 152 Elmwood Road, South Salem, New York, Tax Map Sheet 47, Block 10056, Lot 44 (“the property”), where the Code requires a fifty foot (50’) rear yard setback and the pool is proposed to be constructed twenty-three feet (23’) from the rear yard lot line; and the applicant sought a variance of twenty-seven feet (27’), and

WHEREAS, this application for an area variance constitutes a Type II action under 6 NYCRR Part 617, and therefore, requires no further review under the State Environmental Quality Review Act (SEQRA), and

WHEREAS, a public hearing was held at the Town Offices at Orchard Square, 20 Cross River Shopping Plaza, Lower Level, 20 North Salem Road, Cross River, New York in this matter on September 28, 2016 and a site walk was conducted on September 24, 2016 to consider the application, after which a vote was taken with regard to the variance as forth above, and

WHEREAS, The Lewisboro Zoning Board of Appeals has given careful consideration to the facts presented in the application at the public hearing based upon the criteria set forth in Section 267-b(3)(b) of the Town Law of the State of New York, and finds as follows:

1. The property is an approximate 7.8074 acre parcel in the SCR-2A zoning district owned by Anthony & Mari Martini the applicant, and is improved with a single-family residence.
2. The applicant wishes to construct an in-ground pool in an area that would be located closer than fifty feet (50’) from the rear lot line as required by Article IV, Section 220-23(E) of the Lewisboro Town Code, in that the applicant desires to construct the pool twenty-three feet (23’) from the rear property line, thereby requiring a rear yard setback variance of twenty-seven feet (27’).

3. There will be no undesirable change in the character of the neighborhood or detriment to nearby properties.
4. There is no practical alternative to the variance requested due to the constraints and topography of the property.
5. The Board found that the variance is not substantial.
6. There will not be an adverse effect or impact to the physical or environmental conditions of the neighborhood.
7. The Board determined that the need for a variance was not self-created due to the terrain of the property.

WHEREAS, pursuant to Section 267-b(3)(c), the ZBA hereby determines that the minimum area variance necessary in this application is a variance of twenty-seven feet (27') from the required fifty foot (50') rear property line thereby permitting the in-ground pool to be constructed twenty-three feet (23') from the rear yard lot line.

NOW, THEREFORE BE IT RESOLVED, that the Lewisboro Zoning Board of Appeals hereby grants an area variance of twenty-seven feet (27') from the fifty foot (50') rear property line requirement of Article IV, Section 220-23(E) of the Lewisboro Town Code, in order to permit the construction of the in-ground pool twenty-three feet (23') from the rear yard lot line, which is located in the SCR-2A zoning district pursuant to Section 267-b(4) of the Town Law of the State of New York:

VOTE:

Board Member Krellenstein	-	In Favor
Board Member Rendo	-	In Favor
Chairman Price	-	In Favor
Board Member Mandelker	-	In Favor
Board Member Casper	-	Absent

VOTE:

Resolution carried by a vote of 4 to 0.



Robin Price, Jr., Chairman

Dated in South Salem, New York

This 14 day of OCTOBER, 2016

Expiration: The variance shall be deemed to authorize only the particular use or uses specified in the decision, and unless other provisions are set forth by the Zoning Board of Appeals in connection with its decision, shall expire if work is not initiated pursuant thereto within one (1) year of the date said decision is filed with the Office of the Town Clerk or if said use or uses

shall cease for more than one (1) year. Applicants wishing to seek an extension are advised to make application therefore to the Zoning Board of Appeals sufficiently in advance of expiration so as to allow their request for extension to be calendared and heard by the Zoning Board of Appeals prior to the date of expiration. Any such application must include a chronological listing of work (which may include efforts to obtain other regulatory approvals) initiated pursuant to the variance.

STATE OF NEW YORK

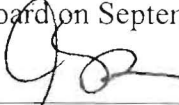
)

) ss.:

COUNTY OF WESTCHESTER

I, Aimee M. Hodges, Secretary of the Zoning Board of Appeals, do hereby certify that the above is an excerpt/summary/fair representation of the Resolution adopted by the Zoning Board of Appeals of the Town of Lewisboro at a meeting of said Board on September 28, 2016.

Dated: 10/4/2016



Aimee M. Hodges
Secretary Zoning Board of Appeals

MEMORANDUM

TO: Chairman Jerome Kerner, AIA and
Members of Lewisboro Planning Board

CC: Ciorsdan Conran
Judson Siebert, Esq.

FROM: Jan K. Johannessen, AICP
Joseph M. Cermele, P.E., CFM
David J. Sessions, RLA, AICP
Town Consulting Professionals

DATE: November 9, 2016

RE: Wetland Activity Permit
Daniela Infield for Truesdale Lake Property Owners Association
Hoyt Street
Sheet 36A, Block 11172, Lot 24

The Truesdale Lake Property Owners Association is proposing to replace an existing wooden dock with a 4' x 16' straight roll-in aluminum framed dock with cedar decking. The replacement dock is approximately the same size as the existing dock and has been approved by the Truesdale Estates Association (TEA). As the proposed dock is approximately the same size as the existing, is considered temporary, and will not be affixed to the lake bottom, this office has no objections or concerns regarding the proposal. It is our understanding that no other outside agency approvals/permits are required.

Plan & Documents Reviewed:

- Wetland Permit Application
- Dock Application Permission
- Hoyt Street Boat Access Replacement Dock Information
- Site Photo and Map
- Modular Marine Dock Systems Specification

JKJ/JMC/DJS/dc

T:\Lewisboro\Correspondence\LW4106JJ-LWPB-Infield(TruesdaleLkProp)-Review-Memo-11-9-16.docx

Application No.: 53-16WP
Fee: _____ Date: 10/20/16

TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION

Town Offices @ Orchard Square, Suite L (Lower Level), 20 North Salem Road, Cross River, NY 10518
Phone: (914) 763-3060
Fax: (914) 533-0097

Project Information

Project Address: Hoyt Street (Lot 24) South Salem, NY
Sheet: 36A Block: 11172 Lot(s): 24

Project Description (identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): Replace existing dock w/ new dock of same dimensions.

Owner's Information

Owner's Name: Daniela Infield for Truesdale Lake Property Owners Association Phone: (914) 548-1663
Owner's Address: 48 Lakeshore Dr. So Salem Email: Dinfield@gmail.com
10590

Applicant's Information (if different)

Applicant's Name: _____ Phone: _____
Applicant's Address: _____ Email: _____

Authorized Agent's Information (if applicable)

Agent's Name: _____ Phone: _____
Agent's Address: _____ Email: _____

To Be Completed By Owner/Applicant

1. What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)
☒ Administrative ☐ Planning Board
2. Is the project located within the NYCDEP Watershed? ☒ Yes ☐ No
3. Total area of proposed disturbance: ☒ < 5,000 s.f. ☐ 5,000 s.f. - < 1 acre ☐ ≥ 1 acre
4. Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: Yes, we have received permission from the Truesdale Estates Association to install + maintain this dock (see attached)

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner/Applicant Signature: Daniela Infield Date: 10/5/16
Director, Roads + Property
Truesdale Lake Property
Owners Association

AFFIDAVIT OF OWNERSHIP

STATE OF NY
COUNTY OF Westchester ss:

DANIELA INFELD, being duly sworn, deposes and says that
she/he resides at 48 Calce Stone Drive, Suite Salem, NY
in the County of: Westchester

State
of: New York

And that she/he is (check one) (1) the owners, or (2) ☒ the Director
Title
of TRUESDALE LAKE PROPERTY OWNERS ASSOCIATION
name of corporation, partnership or other legal entity

which is the owner, in fee of all that certain lot, piece or parcel of land situated, lying
and being in the Town of Lewisboro, New York, aforesaid and known and designated
on the Tax Map in the Town of Lewisboro as Lot Number 24
Block 111721 on sheet 36A

For (check one):

☐ SKETCH PLAN REVIEW ☐ PRELIMINARY SUBDIVISION PLAT ☐ FINAL SUBDIVISION PLAT
☐ SITE DEVELOPMENT PLAN ☐ SPECIAL USE PERMIT ☐ WAIVER OF SITE PLAN PROCEDURES
☒ WETLAND PERMIT ☐ STORMWATER PERMIT ☐ FILING WITH WESTCHESTER COUNTY CLERK

Daniela Infeld
Signed

Sworn to before me this

5th day of October, 2016
Tami S. Altschiller
Notary public (affix stamp)

TAMI S. ALTSCHILLER
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 02AL4989131
Qualified in Westchester County
Commission Expires December 2, 2017

Truesdale Estates Association
PO Box 363
South Salem, NY 10590

Dock Application Permission

9/30/16

Daniela Infield c/o TLPOA
Hoyt Street TLPOA Landing
South Salem, NY 10590

Dear Daniela Infield,

Attached for your signature is the Truesdale Estates Association's (TEA) response to your request to build and/or maintain a dock that encroaches onto the TEA property from your property as specified in the drawings that you submitted to the TEA.

Please return two signed copies of this application approval to the Truesdale Estates Association.

Sincerely,

A handwritten signature in black ink, appearing to read "Howard Citron", written in a cursive style.

Howard Citron
Dock Committee Representative, Truesdale Estates Association
914-763-5364

Dock Application Permission

GENERAL PERMISSION TO INSTALL AND MAINTAIN DOCK

Truesdale Estates Association (TEA), a homeowner's association incorporated in the Town of Lewisboro, County of Westchester, and State of New York, owns a parcel of land situated in the Town of Lewisboro, County of Westchester and State of New York, which is more particularly described as Assessor's Map 36, Lot 10810-008 as shown on the tax assessor's map in the Lewisboro Town House and as described in the Town Clerk's records.


The TLPOA, represented by Daniela Infield (APPLICANT), a homeowner's Association with property known as Hoyt Street TLPOA Landing requested permission to build the proposed dock encroaching over the property owned by Truesdale Estates Association (TEA).

The construction work to be undertaken is described in the attached dock drawing (Attachment B) as submitted by Daniela Infield. Stipulated in the application Daniela Infield agrees to the TEA's *Reasonable Use Criteria(RUC) for Building and Maintaining a Dock on Truesdale Lake*, as defined in Attachment A.

Based on the apparent conformance of the applicant's work proposal as described in attachment B, and applicant's commitment to continue to adhere to the TEA's Reasonable Use Criteria (RUC) as defined in attachment A, the TEA hereby consents to the applicant's proposed use of the TEA lake and lake bed. Failure to uphold the stated, and agreed upon, Reasonable Use Criteria will result in this permission being revoked.

By signing below, all parties understand and agree to abide by the terms and conditions set forth above.

Approved by Duly Authorized Persons:


[TEA President Name]


[Applicant Name]


Witness [TLPOA Dock Committee Representative]

In South Salem, NY , on the 18 day of October 2016.

Hoyt Street Boat Access Replacement Dock Information

4' x 16' Straight Roll-In Dock Kits Includes:

- (2) 4 x 8 Frames
- (4) 4 x 4 Cedar Deck Panels
- (1) End Rail
- (2) Post Brackets
- (2) 4' Posts
- (2) Foot Plates for Posts
- (2) Vinyl Caps for posts
- Nuts and Bolts
- (2) 24" Plastic Dock Wheels
- (1) Axle Converters (Pair)
- (1) HD Stop Clamps (Pair)
- (1) 8'6" Axle Pipe

12-in. deep aluminum truss frames are expertly crafted with welded and bolted connections. Patriot Docks uses 7/16 in. diameter aluminum chord rods, not 3/8 in. like most of their competitors. Pipe is all 1-1/2" schedule 40 electro-galvanized steel, not lighter weight steel tubing. Patriot Dock's pipe brackets are extra-long with two - not one - stainless steel set bolts. Patriot Docks have a limited Lifetime Warranty



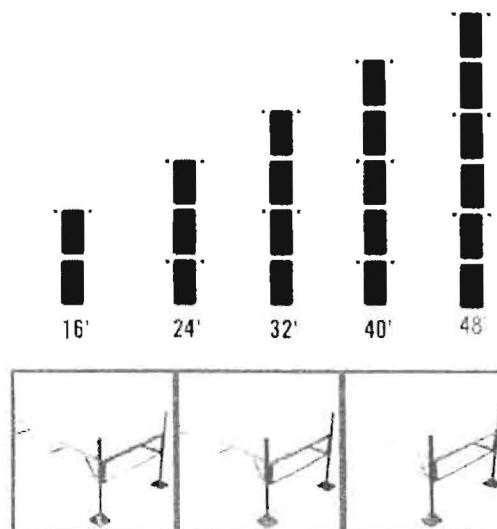
MODULAR MARINE DOCK SYSTEMS

Configurations

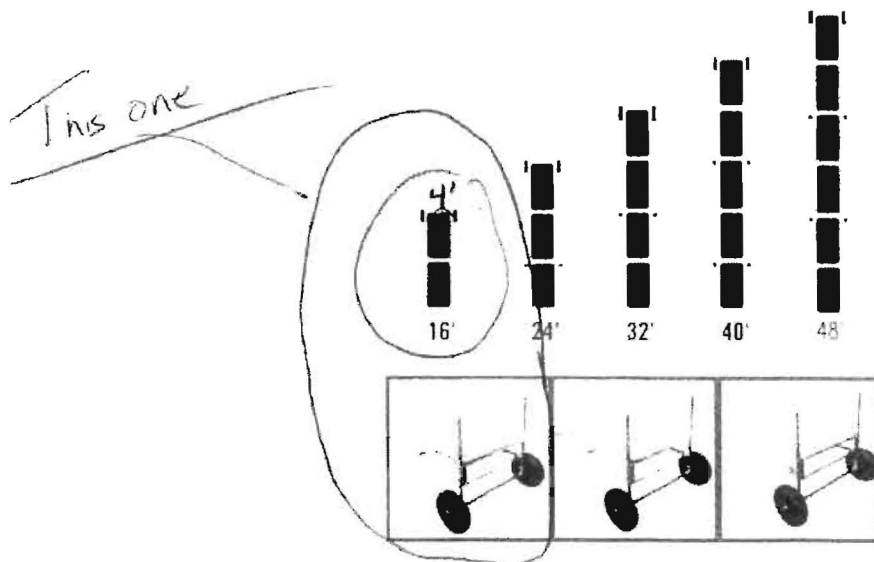
[Home](#)
[Truss Docks](#)
[Configurations](#)
[Deck Options](#)
[Dock Jack](#)
[Accessories](#)
[Photo Gallery](#)
[Dealers](#)
[About Us](#)
[FAQ](#)

Patriot Dock components are modular to make it easy to customize the size and configuration for maximum versatility. We have prepared many dock packages which can be combined to almost any layout. Your dealer can put together the plan that works best for you. Check out some sample packages below. You can add more sections or combine packages to make just about any configuration. We can make dock systems over 100 feet long by combining configurations or by adding sections. Be sure to compare total package price of Patriot Docks compared to all other options. Patriot Docks are the price leaders in the industry- big volume translates to low costs.

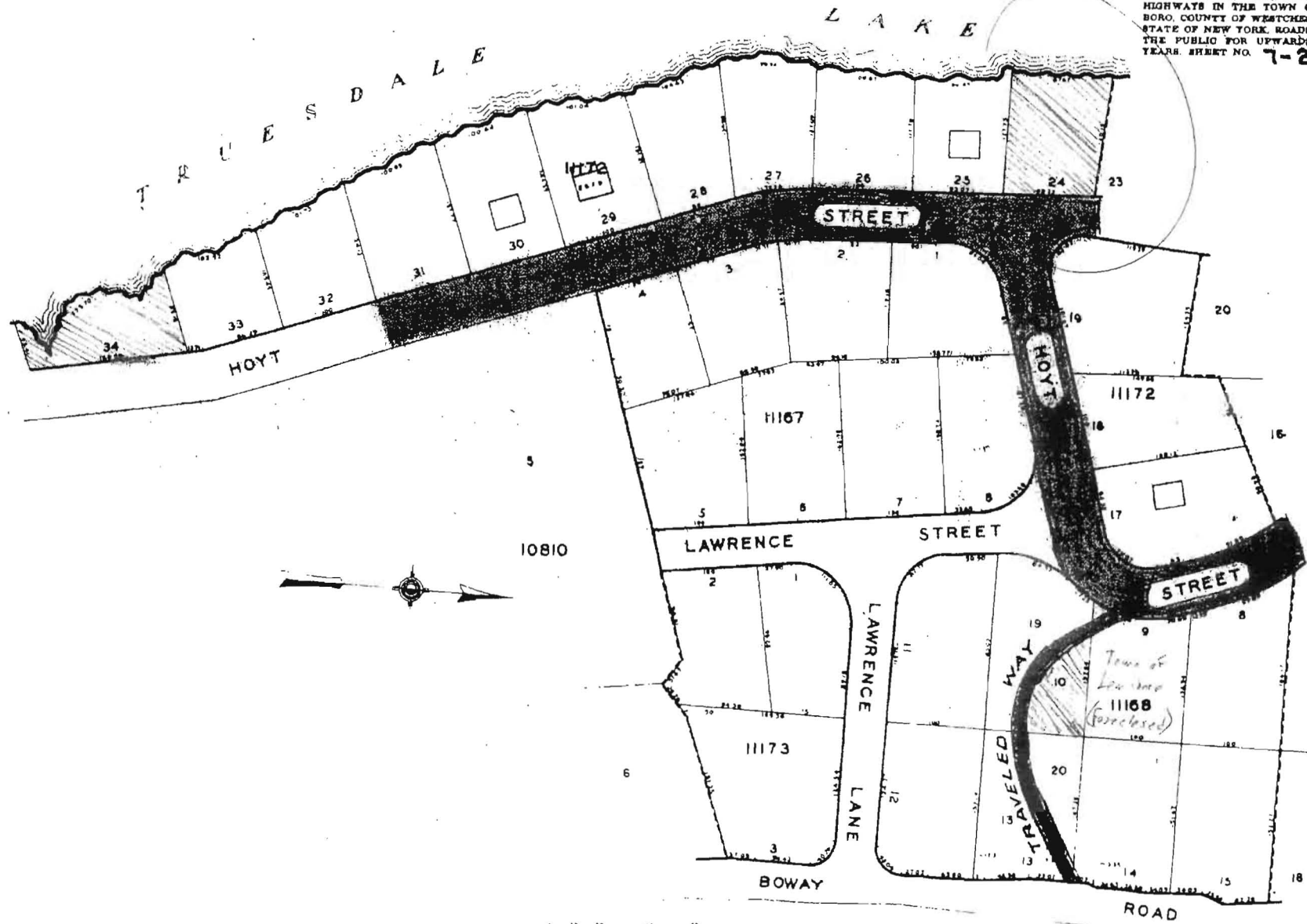
Straight Sectional Docks



Patio Sectional Docks



IN THE MATTER OF THE ASCERTAINING,
DESCRIBING AND RECORDING AS TOWN
HIGHWAYS IN THE TOWN OF LEWIS-
BORO, COUNTY OF WESTCHESTER, AND
STATE OF NEW YORK, ROADS USED BY
THE PUBLIC FOR UPWARDS OF TEN
YEARS. SHEET NO. 7-2





TAX PAYMENT AFFIDAVIT REQUIREMENT

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

INSTRUCTIONS

The applicant is to complete the information box below and on the opposite side and return to:
Receiver of Taxes, Town of Lewisboro, Town House, Main Street, South Salem, New York 10590

For Planning Board applications, the Receiver of Taxes will return this form and the affidavit to the Planning Board office. For filing actions with the Westchester County Clerk, Division of Land Records, the Receiver of Taxes will return this form and the affidavit to the applicant by mail if a stamped and self-addressed envelope is submitted with this form.

IF ANY TAXES ARE FOUND TO BE DUE ON THE PROPERTY RELATING TO THE APPLICATION, THEN THAT APPLICATION CAN NOT BE ACCEPTED BY THE PLANNING BOARD UNTIL THE TAXES ARE PAID.

TO BE COMPLETED BY APPLICANT

(PLEASE TYPE OR PRINT)

TRUEB DALE LAKE HOYT STREET DOCK
 name of applicant PROPERTY OWNERS ASSOCIATION project name
 property description: 36/A property assessed to: TLPOA, Inc.
 ▶ tax sheet 111721 ▶ name PO BOX 193
 ▶ block 24 ▶ address SOUTH SALEM NY 10590
 ▶ lot

application type (check one):

- ☐ SKETCH PLAN REVIEW ☐ PRELIMINARY SUBDIVISION PLAT ☐ FINAL SUBDIVISION PLAT
☐ SITE DEVELOPMENT PLAN ☐ SPECIAL PERMIT USE ☐ WAIVER OF SITE PLAN PROCEDURES
☒ WETLANDS PERMIT ☐ FILING WITH THE WESTCHESTER COUNTY CLERK

Janet L. Donohue
 JANET L. DONOHUE
 NOTARY PUBLIC, STATE OF NEW YORK
 NO. 01006259627
 Qualified in Westchester County
 Commission Expires April 16, 2020

[Signature]
 receiver of taxes

10/20/2016
 date

**WB Lewisboro AFFH Residential Development
Noise Assessment
Town of Lewisboro, New York**

Introduction

The property proposed for the WB Lewisboro AFFH Residential Development is currently undeveloped vacant land. The development site is located on the east side of NYS Route 22, immediately east of Interstate 684 and approximately three-quarters of a mile south of Route 138. The subject property is bounded on the north and east by vacant land, to the south by low density residential properties and on the west by NYS Route 22. Interstate 684 lies directly west of NYS Route 22 and the highway parallels the Metro North rail line.

The residential development proposed for the site is a 46-unit multi-family affordable development in five buildings. The proposed residential buildings are set-back some distance from Route 22. Buildings 1 and 2 are approximately 210 to 220 feet from the north-bound travel lane of Route 22 and these buildings are approximately 330 to 380 feet from Interstate 684 (Building 1 and 2 respectively).

This noise assessment is intended to provide an analysis of the existing highway traffic noise in the vicinity of the proposed WB Lewisboro residential development and the potential impacts of that noise on future residents.

Noise Background

Noise can be defined as undesirable or "unwanted sound". Even though noise is somewhat subjective, it affects the full range of human activities and must be considered in local and regional planning. Most of the sounds heard in the environment are not composed of a single frequency, but are a band of frequencies, each with a different intensity or level. Levels of noise are measured in units called decibels. Since the human ear cannot perceive all pitches or frequencies equally well, these measures are adjusted or weighted to correspond to human hearing.

This adjusted unit is known as the A-weighted decibel, or dBA. Since dBA describes a noise level at just one instant and since ambient noise levels are constantly varying, other ways of describing noise levels, especially over extended periods, are needed. A commonly used descriptor is the Leq.

The Leq noise level is the level of a constant noise source which has been averaged over a period of time, based upon a measurement over a certain time period. A one decibel change in noise is the smallest change detectable by the human ear under suitable laboratory conditions. Under normal conditions, a change in noise level of two or three decibels is required for the average person to notice a difference. Table 1 shows the typical perception of noise change. Ten dBA represents a doubling or halving of the loudness of sound.

To the average person in an outside environment and close to the noise source, a noise level increase of 2 to 3 dBA is barely perceptible, an increase of 5 dBA is noticeable, and an increase of 20 dBA is perceived as a dramatic change. Annoyance frequently results from increases of 10 dBA or more, depending on the frequency and duration of the noise events.

Table 1	
PERCEPTION OF NOISE CHANGES	
Change (dBA)	Human Perception of Change
2-3	Barely perceptible
5	Readily noticeable
10	A doubling or halving of the loudness of sound
20	A dramatic change
40	Difference between a faintly audible sound and a very loud sound
SOURCE: Bolt Beranek and Neuman, Inc., <u>Fundamentals and Abatement of Highway Traffic Noise</u> , Report No. PB-222-703. Prepared for Federal Highway Administration, June 1973.	

Noise Standards

The Town of Lewisboro has noise standards provided in the Town Code (Chapter 160. Noise). The purpose of the chapter is to “prevent unreasonable, unreasonably loud, disturbing or unnecessary noise which unreasonably interferes with the sleep, comfort, repose, health or safety of others”. The Code applies to specific activities and noise sources including construction, the playing of music, loudspeakers, yelling and the operations of vehicles, among others. No specific sound levels or standards are provided in Chapter 160, but any “unreasonable, unreasonably loud, disturbing or unnecessary noise” is prohibited.

Article VIII - Performance Standards of the Zoning Code (Chapter 220) sets specific standards that apply to “control noise perceptible beyond the boundaries of the site of the use”. The performance standards specifically apply to nonresidential uses, and the following uses and activities are exempted: “4) transient noises from moving sources, such as automobiles, trucks, airplanes and railroads”. Therefore, there are no specific noise levels in the Town Code that apply to the proposed WB Lewisboro development.

The New York State Department of Environmental Conservation (NYSDEC) policy and guidance document “*Assessing and Mitigating Noise Impacts*” (2000) provides noise impact assessment methods, examines the circumstances under which sounds create significant noise impacts, and identifies noise avoidance and mitigation measures. The policy is primarily provided to “evaluate the potential for adverse impacts of sound generated and emanating to receptors outside of the facility or property”, during the Department’s review of an application for a permit. Nevertheless, the NYSDEC policy and guidance document provides methods to assess potential noise impacts, and those methods were used for this noise assessment, as appropriate. The document discusses thresholds for significant sound pressure level (or decibel level-dBA) increases above ambient sound levels. The document does not provide specific noise thresholds, but

rather how the increases in noise from a new noise source may impact surrounding land uses and receptors.

The United States Department of Housing and Urban Development (HUD) has adopted environmental criteria, and guidelines for determining acceptability of federally assisted projects (24 CFR Part 51 – Environmental Criteria and Standards). The standards consider an exterior noise level of 65 dBA to be acceptable for residential uses. These standards reflect an EPA goal that continuous exterior noise levels do not exceed 65 decibels.

The 65 decibel criterion is more restrictive than the criteria used by the Federal Highway Administration (FHWA) design standards for noise. The FHWA uses 67 decibels as a noise criterion for residential areas (23 CFR 772 – *Procedures for Abatement of Highway Traffic Noise and Construction Noise*). The FHWA regulations apply to any highway or multi-modal projects that require FHWA approval or Federal funding. Although the proposed WB Lewisboro residential development is not a FHWA or HUD funded project, the noise standards applied to HUD and FHWA projects can be used for reference and as a comparison of noise levels.

Table 2 HUD SITE ACCEPTABILITY STANDARDS	
	Outdoor Noise (dBA)
Acceptable	Not exceeding 65
Normally Unacceptable	65 to 75
Unacceptable	Above 75
Source: Title 24, Code of Federal Regulations, Part 51.103 (c), Exterior Standards.	

Ambient Noise Measurements

In order to assess existing noise conditions, noise measurements were collected by Tim Miller Associates, Inc. on September 27, 2016 and on October 31 through November 1 (24 hour period) at three locations: 1) near the southwestern corner of proposed Building 1, 2) at the crest of the bedrock outcrop above Route 22 in the northwest portion of the site, and 3) in the location of the proposed play area between Buildings 2 and 3. The measurement locations are shown in Figure 1 and the results of the measurements are summarized in Table 3, below.

Noise measurements were collected with Soundpro DL data logging noise meters. The meters were calibrated before measurements using an acoustical calibrator.

September 27, 2016 Measurements

Weather conditions during the measurements on September 27, 2016 were overcast and cool, with no noticeable wind. Measurements were collected on a continuous basis during the morning of September 27, 2016. This measurement period provides average noise levels during a typical morning commuting period and extending to mid-day.

October 31 to November 1, 2016 Measurements

Measurements were collected over a 24-hour period beginning in the morning of October 31, 2016 and extending to the morning of November 1, 2016. Weather conditions during this period were partly cloudy to clear and cool. A moderate wind was present during the daytime period, but less so during evening and overnight periods. This measurement period provides average noise levels during a typical afternoon commuting period (4:00 PM to 7:00 PM, the morning commuting period (6:00 AM to 9:00 AM) and over a 24-hour period (9:00 AM to 9:00 AM).

The monitoring periods and measurement results are provided in Table 3, below.

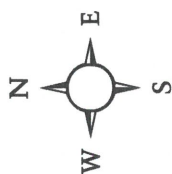
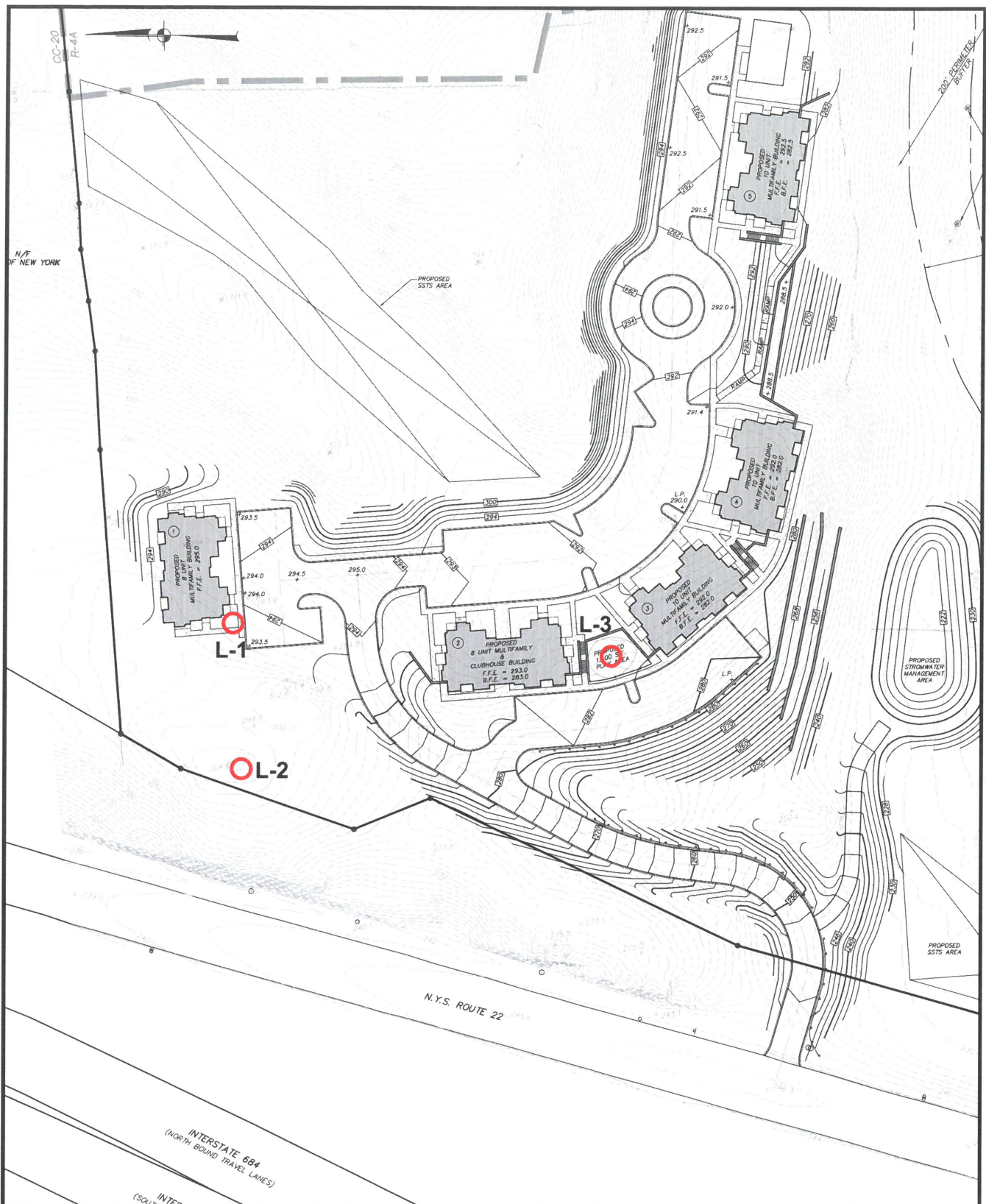
Table 3 Noise Measurements		
Location	September 27, 2016 AM Period	Noise Level dBA - Leq
Location 1	7:18 AM – 1:08 PM	58.8
Location 2	7:22 AM – 12:39 PM	66.8
Location 3	7:22 AM – 11:45 AM	58.1
	October 31, 2016 PM Period	
Location 1	4:00 PM – 7:00 PM	57.6
Location 2	4:00 PM – 7:00 PM	66.6
Location 3	4:00 PM – 7:00 PM	58.9
	November 1, 2016 AM Period	
Location 1	6:00 AM – 9:00 AM	58.1
Location 2	6:00 AM – 9:00 AM	66.8
Location 3	6:00 AM – 9:00 AM	60.7
	Oct. 31 thru Nov.1, 2016 24 hour Period	
Location 1	9:00 AM to 9:00 AM	56.5
Location 2	9:00 AM to 9:00 AM	65.2
Location 3	9:00 AM to 9:00 AM	58.1

During measurements, the traffic noise from I-684 and Route 22 was noticeable and the dominant sound at the monitoring locations. Noise from the periodic passage of Metro-North trains, including air-horns was also observed during monitoring. No other noise from off-site sources were observed. Noise from wind and the rustling of leaves was observed during daytime periods on October 31st, but no wind was present on the morning of November 1st.

As indicated in the results, the average noise levels at the three monitoring locations were quite consistent on different days and during the morning and afternoon commuting periods. Noise levels were lower when averaged over a 24-hour period, as would be anticipated.

Conclusions

The average noise levels (Leq) measured at outdoor locations near the proposed residential buildings (Locations 1 and 3) at the subject site were below HUD and FHWA noise standards for residential settings.





Hazen and Sawyer
498 Seventh Avenue, 11th Floor
New York, NY 10018 • 212.539.7000

November 2, 2016

Town of Lewisboro Planning Board
20 North Salem Road
Cross River, New York, 10518

**Re: Request for Emergency Completion of Work for Well #4
New York American Water's Wild Oaks Water System
Nash Road, Lewisboro, NY
Sheet 8, Block 11137, Lot 123**

Dear Chairman Jerome Kerner:

This letter is intended to request emergency approval to complete the construction of the piping and electrical conduit to connect Well #4 of New York American Water's (NYAW) Wild Oaks Water System. This deep bedrock well is currently under temporary emergency authorization by Westchester County Department of Health (WCDOH) and New York State Department of Environmental Conservation (NYSDEC) to be used as the source of water supply through November 12, 2016; an extension is being requested until the permanent Water Withdrawal Permit is issued by NYSDEC. This emergency authorization was sought due to the drought conditions in combination with lower than typical surface water elevations on the Wild Oaks property causing a drastic reduction in the water quantity and quality of the two shallow sand and gravel wells responsible for supplying drinking water and fire protection to the surrounding community (approximately 610 customers and 223 service connections). The existing shallow Well pumps #1 and #2 were not meeting the system demands, producing significantly less water than their rated capacity of 75 gpm and had poor water quality. In addition, the filters required replacement several times per week and water had to be trucked in to maintain adequate water levels in the water storage tank that services this area for both potable water and fire protection. The emergency authorization by WCDOH allowed NYAW to attach a temporary surface connection and hose to the Well #4 pump which resulted in the stabilizing of the water supply. Hazen and Sawyer on behalf of NYAW will be applying for further extensions from NYSDEC to continue pumping Well #4 until construction of Well #4 and the adjacent Well #6 is complete and the permanent Water Withdrawal Permit is issued.

The construction of Well #4 and an additional well that is no longer being pursued, Well #5, was to be completed under a Town of Lewisboro Site Development Permit and Wetland Activity Permit, Attachment 1 (Permit ID #4-15 P.B. and #6-15 W.P.). Although a resolution was granted by the Planning Board for the construction of Well #4, the resolution was never ratified because the conditions of the resolution were not met within six-months of the date of issuance of the resolution. The reason for this lapse in the required submittals was because it was discovered that the originally planned Well #5 was not going to provide sufficient yield for the water supply system. As a result, NYAW proposed drilling a new test well, Well #6, and received a Wetland Activity Permit for this action. Hazen and Sawyer intended to replace Well #5 with Well #6 via a permit modification. However, poor site conditions resulted in delays



in the drilling and subsequent pump tests for Well #6, which extended beyond the six-month period of the initial Planning Board resolution. In October of 2016 construction on Well #4 pipeline (approximately 300 feet) connecting Well #4 to the existing well house was initiated without the Town Site Development and Wetland Activity Permits.

With this letter, Hazen and Sawyer is respectfully requesting that the Planning Board provide emergency approval to complete construction of Well #4 (installation of conduit and pitiless adapter for Well #4) to ensure a high quality, stable drinking water supply to its approximately 610 users. The concern over relying on the temporary connection of Well #4 is that the hose connecting the well to the distribution system has the potential to freeze over winter. During the fall and winter seasonal demands, the Well pump operates approximately 6 hours on and 6 hours off and flow will not continually be running in the temporary hose. Additionally, the ground may freeze, preventing further trenching during the winter months for installation of the electrical conduit required for the permanent well connections.

NYAW will apply for a new Site Development Application and Wetland Activity Permit for the conversion of Wells #4 and #6 from test wells to a permanent bedrock well. The attached drawing C-1 (Attachment 2) dated August 2016 and submitted to WCDOH highlights in yellow the differences between the original application to the Planning Board in May 2015 and the current proposed project. Approximately 5 feet of pipe from Well #6 are required to connect to the transmission main as well as two electrical conduits from the well to the pump house. In addition, the piping and conduits initially proposed to connect to Well #5, have been removed from the project as Well # 5 is not being connected to the system.

Project Background

New York American Water (NYAW) initiated an investigation for drilling new drinking water wells at the Wild Oaks Water System property, located on Nash Road, in 2014. NYAW's purpose for seeking new wells in this water supply system, which services approximately 610 customers, was because the existing sand and gravel wells (Wells #1 and #2) capacity and water quality is declining and the wells are designated as Groundwater Under the Direct Influence of Surface Water (GWUDIS).

The first step taken towards installing new wells and decommissioning the GWUDIS Well #1 and #2 was to drill test wells (Wells #4 and #5) on the property. In order to drill two deep bedrock test wells, NYAW applied for a Wetland Activity Permit in July of 2014 and was granted this permit (Permit ID #51-14) in September of 2014. While this drilling and associated pump testing was occurring, a Site Development Permit and Wetland Activity Permit were applied for from the Planning Board that would authorize the conversion of the two test wells into permanent bedrock wells and the installation of their connections to the distribution system. The Planning Board Resolution that prefaced final authorization was issued in June of 2015 (Permit ID #4-15 P.B and #6-15 W.P.).

The 72-hour pump tests for Wells #4 and #5 were delayed due to poor site conditions, and were finally conducted in late May 2015 when it was discovered that Well #5 would not provide sufficient yield to be a permanent water supply well. Therefore, a third Wetland Activity Permit was applied for from the

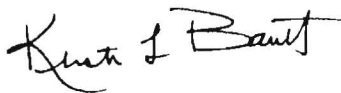
Hazen

Planning Board to conduct another test well (Well #6). This permit was granted in October of 2015 (Permit ID #54-15). Again, poor site conditions prevented the timely drilling and pump testing of Well #6, and the well was finally drilled in May of 2016. However, by this time, the Planning Board Resolution for construction of Well #4 and #5 had expired.

During the summer of 2016, a notable decline in water quantity and water quality was observed from the existing Wells #1 and #2. This decline was due to lack of precipitation and a significant drop in the water elevation of the surface waters located adjacent to the wells. The treatment system's 1 and 5-micron filters needed to be replaced every 1-2 days and entrained air was observed in the water. As a result of the wells producing much less than their rated capacity, the water storage tank located on Fairmount Road had to be refilled with trucked-in water. These conditions necessitated requesting emergency authorization from NYSDEC and WCDOH (Attachments 3 and 4) to use Well #4. When emergency authorization from WCDOH and NYSDEC was granted on September 13, 2016, a surface hose was connected to the Well #4 pump and connected to the existing treatment system. At this time, construction of the permanent piping connecting Well #4 to the existing pump house was initiated without the Town of Lewisboro Wetland Activity Permit and Planning Board Permit.

Hazen and Sawyer regrets the expiration of the Planning Board Resolution that would have permitted the construction of Well #4. A resubmittal to the Planning Board that will retroactively cover the construction already performed for the emergency use of Well #4 as well as the construction required to permanently connect Well #6 will be prepared by Hazen and Sawyer, or we will work with the Planning Board to achieve these goals by other means proposed by the Planning Board. Hazen and Sawyer and NYAW have the utmost respect for the Town of Lewisboro Planning Board, and wish to continue working successfully with you to meet our goals of providing safe, high quality drinking water for residents of Lewisboro.

Very truly yours,



Kristen Barrett, PE
Senior Associate

Enclosures:

- Attachment 1: Previously Approved Wetland Activity Permits and Site Development Permit (ID #'s 51-14, 4-15 P.B., #6-15 W.P., and 54-15)
- Attachment 2: Civil Site Plan C-1 August 2016
- Attachment 3: NYSDEC Emergency Authorization to Use Well #4 (NYSDEC No. 3-5530-00103/00004)
- Attachment 4: NYSDOH letter to NYSDEC Emergency Use Well #4

cc: Richard Ruge (NYAW)
Ross Diamond (Hazen)

WETLAND IMPLEMENTATION PERMIT

TOWN OF LEWISBORO

Town Offices @ Orchard Square, Suite L (Lower Level)
20 North Salem Road, Cross River, NY 10518
Phone: (914) 763-3060
Fax: (914) 533-0097

Date Issued: September 25, 2014

Permit #: 51-14 W.P.

Permit is hereby issued to: New York American Water
260 Harrison Avenue, Harrison, New York 10528

Description of Approved Activity: The applicant is proposing to drill and construct two (2) bedrock test wells within the Town's 150-foot wetland buffer. The wells will be constructed using an 8-inch diameter casing and an 8-inch borehole will be drilled into the underlying bedrock; the total depth of the wells will be determined during the drilling process based on field conditions. While this project was originally processed and reviewed by the Planning Board, at its meeting held on September 16, 2014, the Planning Board determined that the Wetland Permit could be processed administratively through the office of the Town Wetland Inspector.

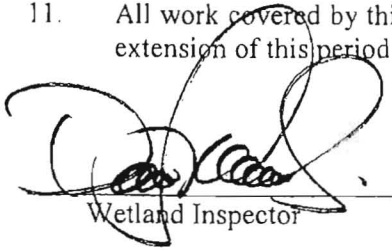
Location of Proposed Activity: Nash Road

Sheet: 8 Block: 11137 Lot(s): 123

Conditions:

1. No land disturbance activity shall be permitted within the wetlands or within 150 feet of the wetlands, except as specifically approved herein.
2. The following drawings, prepared by Leggette, Brashears & Graham, Inc. and dated August 26, 2014, are hereby approved subject to the conditions set forth below:
 - "Proposed Bedrock Test Well Locations" (Plate 1)
 - "Blow-Ups of Proposed Bedrock Test Well Locations" (Plate 2)
3. Reference is made to a letter prepared by Leggette, Brashears & Graham, Inc., dated July 17, 2014, and Exhibits I through VI attached thereto.
4. Reference is made to a letter prepared by Leggette, Brashears & Graham, Inc., dated August 27, 2014, and Appendix I through IV attached thereto.
5. Reference is made to the Westchester County Department of Health (WCDH) approval letter, dated September 17, 2014.

6. Unless otherwise approved by the Town Wetland Inspector, equipment mats shall be used along the construction access route to Well #4 when moving the drill rig and other equipment.
7. The Town Wetland Inspector and Town Engineer shall be notified 48 hours prior to construction and may inspect and monitor well drilling operations.
8. All disturbed areas shall be raked, seeded and mulched following construction as specified on the plans approved herein.
9. Following completion of all site work, a final site inspection shall be conducted by the Town Wetland Inspector; please call 914-763-3060 to schedule an appointment.
10. The issuance of this permit does not necessarily authorize the commencement of site work. No site work shall commence until the conditions of this permit have been satisfied (the conditions required to be satisfied prior to the commencement of any site work) and until the owner/applicant has obtained any and all required permits from other Town, County, State or Federal Departments and/or Agencies.
11. All work covered by this permit is to be completed before September 25, 2016, unless an extension of this period is requested in writing and granted.



Wetland Inspector

**RESOLUTION
LEWISBORO PLANNING BOARD**

**SITE DEVELOPMENT PLAN APPROVAL
WETLAND ACTIVITY PERMIT APPROVAL**

**NEW YORK AMERICAN WATER
WILD OAKS WATER SYSTEM
NASH ROAD**

Sheet 8, Block 11137, Lot 123
Cal. #4-15 P.B. and Cal. #6-15 W.P.

June 16, 2015

WHEREAS, the subject property consists of ± 1.8 acres of land, is located off of Nash Road within the R-4A Zoning District, and is identified on the Town Tax Maps as Sheet 8, Block 11137, Lot 123 ("the subject property"); and

WHEREAS, New York American Water ("the owner/applicant") operates the Wild Oaks Water System on the subject property, a drinking water system composed of sand and gravel groundwater supply wells and on-site treatment which serves approximately 600 customers within the Town of Lewisboro; and

WHEREAS, the subject property is accessed via an existing gravel road off of Nash Road and contains an existing pump house, which receives water from the two (2) currently existing sand and gravel wells and treats the water with chlorine and UV light before distributing it into the larger system; and

WHEREAS, the subject property contains a series of ponds, watercourses and wetlands which are jurisdictional to the Town of Lewisboro under Chapter 217, Wetlands and Watercourses, of the Town Code; and

WHEREAS, on September 25, 2014, following review by the Planning Board and referral to the Wetland Inspector for administrative approval, the owner/applicant received a Wetland Permit (Wetland Permit #51-14 W.P.) associated with the drilling of two (2) bedrock test wells (Test Well #4 and #5) on the subject property and within the Town of Lewisboro 150-foot wetland buffer; and

WHEREAS, Test Wells #4 and #5 have been installed and the owner/applicant is now proposing to convert these two (2) test wells into active bedrock supply wells and connect them to the existing treatment and distribution system ("the proposed action"); and

WHEREAS, the proposed action will involve installing a pump into each of the two (2) test wells, capping the well and tying the new well into the existing pump house via a 4-inch diameter restrained-joint ductile iron pipe; and

WHEREAS, additional water supply wells are needed within the Wild Oaks Water System to replace the existing sand and gravel wells, which are directly influenced by surface water and runoff; and

WHEREAS, replacement of the existing sand and gravel wells with bedrock wells will reduce the influence of surface water on the water supply and increase the raw water quality in the system; and

WHEREAS, both test wells are located within the Town's regulated wetland buffer area and the proposed action will result in ± 0.056 acres of wetland buffer disturbance and ± 0.041 acres of disturbance to the wetland proper; and

WHEREAS, the proposed disturbance to the wetland and wetland buffer is temporary in nature and disturbed areas will be restored to the existing condition via the installation of a native wetland seed mix following construction; and

WHEREAS, the owner/applicant has developed an erosion and sediment control plan which will be implemented prior and during construction in accordance with Town and New York State Department of Environmental Conservation (NYSDEC) standards; and

WHEREAS, on-site wetlands were delineated by Hazen and Sawyer Environmental Engineers and Scientists ("Hazen and Sawyer") and reference is made to a Wetland Delineation Report, dated July 2014; and

WHEREAS, reference is made to a letter from the Army Corps of Engineers, dated April 28, 2015, which states that the proposed action can be accomplished under the Army Nationwide General Permit Number 12; and

WHEREAS, the proposed public water supply requires approval from the Westchester County Department of Health (WCDH); and

WHEREAS, the owner/applicant has made application to the WCDH and the permit application is currently under review; and

WHEREAS, the application was referred to and reviewed by the Conservation Advisory Council (CAC); and

WHEREAS, the proposed action is a Type II Action and is categorically exempt from the State Environmental Quality Review Act (SEQRA); and

WHEREAS, the public hearing on the Site Development Plan and Wetland Activity Permit was opened and closed on June 16, 2015, at which time all interested parties were afforded an opportunity to be heard; and

WHEREAS, the Planning Board is familiar with the subject property and the general surrounding area; and

WHEREAS, the Planning Board has considered the submitted Wetland Activity Permit Application, Site Development Plan Application, other materials submitted by the owner/applicant in support of its proposal, the written and verbal comments from the Board's professional consultants, written and verbal comments provided by the CAC, testimony of the owner/applicant, and verbal comments made during Planning Board meetings.

NOW THEREFORE BE IT RESOLVED THAT, the Planning Board hereby grants Site Development Plan Approval, subject to the below conditions; and

BE IT FURTHER RESOLVED THAT, the Planning Board hereby approves the following drawings, hereafter referred to as "the approved Site Development Plans", prepared by Hazen and Sawyer and dated (last revised) May 2015, subject to the below conditions:

- Pipeline Project Civil Site Plan (Sheet C-1)
- Pipeline Project Civil Landscape Plan (Sheet C-2)
- Pipeline Project Erosion and Sediment Control Details (Sheet C-3)
- Pipeline Project Civil Details (Sheet C-4)

BE IT FURTHER RESOLVED THAT, Site Development Plan Approval, defined as the signing of the approved Site Development Plans by the Planning Board Chairman, shall expire unless a Building Permit is applied for within one (1) year of the date of the signing of the plans or if all required improvements are not completed within three (3) years of the signing of the plans or if the construction or use shall cease for more than one (1) year; and

BE IT FURTHER RESOLVED THAT, the Planning Board may extend conditional approval and approval of the Site Development Plans by not more than two (2) additional periods of 90 days each if, in the Planning Board's opinion, such extension is warranted by the particular circumstances; and

BE IT FURTHER RESOLVED THAT, any subsequent alterations, modifications, additions or changes to the approved and/or constructed improvements shall require the prior review and written approval by the Planning Board as a new, modified and/or amended application for Site Development Plan Approval; and

BE IT FURTHER RESOLVED THAT, failure to comply with the approved Site Development Plans or any of the conditions set forth herein shall be deemed a violation of Site Development Plan Approval, which may lead to the revocation of said approval or the revocation by the Building Inspector of any issued Building Permit or Certificate of Occupancy; and

BE IT FURTHER RESOLVED THAT, in comparing the magnitude of the proposed action and impacts to the wetland and wetland buffer, the Planning Board has determined that the proposed action will not result in an adverse impact to on or off-site wetlands and watercourses; and

BE IT FURTHER RESOLVED THAT, in the granting of this Wetland Activity Permit, the Planning Board has considered/evaluated wetland and wetland buffer functions and the role of

the wetland and wetland buffer areas in the hydrologic and ecological system and has determined that the impact of the proposed action upon the public health and safety; special concern, rare, threatened and endangered species; water quality and wetland and wetland buffer functions has been avoided or minimized to the maximum extent practicable. In this determination, the Planning Board has taken into account the factors listed under Section 217-8A of the Wetland and Watercourse Law; and

BE IT FURTHER RESOLVED THAT, the Planning Board has reviewed the criteria listed under Section 217-8B of the Wetland and Watercourse Law and has determined that any impacts to the affected wetland buffer are necessary and unavoidable and have been minimized to the maximum extent practicable; and

BE IT FURTHER RESOLVED THAT, the Planning Board hereby finds that the Wetland Activity Permit Application pertaining to the proposed action is consistent with the provisions and policies of Chapter 217 of the Code of the Town of Lewisboro and said permit is hereby approved, subject to the conditions set forth below; and

BE IT FURTHER RESOLVED THAT, all work associated with this Wetland Activity Permit shall be conducted in strict compliance with the Site Development Plans approved herein; and

BE IT FURTHER RESOLVED THAT, this Wetland Activity Permit shall expire without further written notice if the requirements of this Resolution are not completed, as set forth herein. As provided pursuant to the Town's Wetlands and Watercourses Law, this Wetland Activity Permit is subject to revocation should the owner/applicant not comply with the terms and conditions of this Resolution; and

BE IT FURTHER RESOLVED THAT, this Wetland Activity Permit shall expire two (2) years from the date of this Resolution, unless an extension is granted by the Planning Board in accordance with Section 217-9F(5) of the Town's Wetland and Watercourses Law; and

BE IT FURTHER RESOLVED THAT, the time frames set forth in this Resolution of Approval may only be amended or extended by the Planning Board. Any request for extension shall be made in writing and shall state the circumstances for the requested extension. In considering any such requests, the Planning Board may require an Amendment review and may require a public hearing; and

BE IT FURTHER RESOLVED THAT, this approval shall be deemed to authorize only the particular use(s) and improvements specified herein and illustrated on the approved Site Development Plans referenced above; and

BE IT FURTHER RESOLVED THAT, Conditions 1-10 must be completed within six (6) months of the date of this Resolution or as extended by the Planning Board. Should the below-listed conditions not be completed within the allotted time frame, this Resolution shall become null and void unless an extension is requested by the owner/applicant (in writing) within said six (6) month period and granted by the Planning Board.

Conditions to be Satisfied Prior to the Signing of the Site Development Plans by the Secretary and Chairman:

1. Each and every sheet of the approved Site Development Plans shall contain a common revision date with notation stating "Planning Board Approval", shall contain an original seal and signature of the design professional and shall contain an original signature of the owner(s).
2. The owner/applicant shall submit to the Planning Board Secretary an engineering/inspection fee equal to 5% of the estimated cost of construction; said estimate shall be provided by the owner/applicant, in writing, and approved by the Town Engineer.
3. The owner/applicant shall obtain and submit all necessary permits from the WCDH.
4. The 72-hour pump test results shall be submitted and reviewed by the Town Engineer.
5. The owner/applicant shall address any outstanding written comments from the Town's consultants.
6. The owner/applicant shall submit a "check set" (2 copies) of the approved Site Development Plans, prepared in final form and in accordance with the conditions of this Resolution, for review by the Planning Board's consultants.
7. Following review and revision (if necessary) of the final plans, the owner/applicant shall furnish the Planning Board with two (2) complete mylar sets of the approved Site Development Plans for final review by the Town's consultants and endorsement by the Town Engineer, Planning Board Chairman and Secretary.
8. The owner/applicant shall obtain a Wetland Implementation Permit, as issued by the Town Wetland Inspector.
9. The owner/applicant shall provide a written statement to the Planning Board Secretary acknowledging that they have read and will abide by all conditions of this Resolution.
10. The owner/applicant shall pay to the Town of Lewisboro, by certified check, all outstanding professional review fees.

Conditions to be Satisfied Prior to the Issuance of a Building Permit:

11. Following the endorsement of the Final Site Development Plans by the Town Engineer, Planning Board Chairman and Secretary, one (1) mylar set will be returned to the owner/applicant for copying and the second mylar set will be retained by the Planning Board as a record copy.

12. Within 10 days after endorsement of the Final Site Development Plans by the Town Engineer, Planning Board Chairman and Planning Board Secretary, the owner/applicant shall deliver to the Planning Board Secretary nine printed sets of the plans, collated and folded.

Conditions to be Satisfied Prior to Commencement of Work:

13. Forty-eight (48) hours advance notice must be given to the Town Engineer prior to commencement of work.

Conditions to be Satisfied During Construction:

14. During construction, the Town's consultants may conduct site inspections, as necessary, to determine compliance with the provisions of this Resolution and the approved Site Development Plans.
15. A copy of this Resolution and the approved Site Development Plans shall be kept on site at all times.

Conditions to be Satisfied Prior to the Issuance of a Building Department or Wetland Certificate of Compliance

16. An as-built survey prepared by a NYS Licensed Land Surveyor demonstrating compliance with the approved Site Development Plans shall be submitted to the Building Inspector and Planning Board.
17. The Building Inspector and Town's consultants shall conduct a final site visit to determine conformance with the approved plans.
18. The owner/applicant shall obtain a Wetland Certificate of Compliance from the Town of Lewisboro Wetland Inspector.
19. The owner/applicant shall pay to the Town of Lewisboro, by certified check, all outstanding professional review fees.

ADOPTION OF RESOLUTION

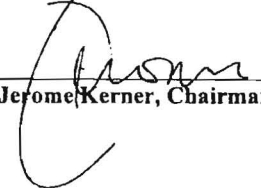
WHEREUPON, the Resolution herein was declared adopted by the Planning Board of the Town of Lewisboro as follows:

The motion was moved by: Mr. O'Donnell

The motion was seconded by: Mr. Tetelman

The vote was as follows:

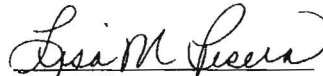
JEROME KERNER	<u>Aye</u>
JOHN O'DONNELL	<u>Aye</u>
RON TETELMAN	<u>Aye</u>
ROBERT GOETT	<u>Aye</u>
GREG LASORSA	<u>Absent</u>


Jerome Kerner, Chairman


June 16, 2015

**STATE OF NEW YORK
COUNTY OF WESTCHESTER
TOWN OF LEWISBORO**

I, Lisa M. Pisera, Secretary to the Planning Board of the Town of Lewisboro, County of Westchester, State of New York, do hereby certify that I have compared the preceding copy of a resolution adopted by the Planning Board of the Town Lewisboro, County Westchester at a meeting held on the 16th day of June, 2015 and that the same is a true and correct copy of said original and of the whole thereof.


Lisa M. Pisera
Planning Board Secretary

Dated at Cross River, New York
This 17th day of June, 2015

WETLAND IMPLEMENTATION PERMIT

TOWN OF LEWISBORO

Town Offices @ Orchard Square, Suite L (Lower Level)
20 North Salem Road, Cross River, NY 10518
Phone: (914) 763-3060
Fax: (914) 533-0097

Date Issued: October 13, 2015

Permit #: 54-15 W.P.

Permit is hereby issued to: New York American Water
260 Harrison Avenue, Harrison, New York 10528

Description of Approved Activity: The applicant is proposing the installation of a test well (Test Well #6). While this project was originally processed and reviewed by the Planning Board, at its meeting held on September 29, 2015, the Planning Board determined that the Wetland Permit could be processed administratively through the office of the Town Wetland Inspector.

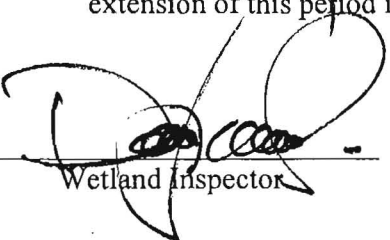
Location of Proposed Activity: Nash Road

Sheet: 8 Block: 11137 Lot(s): 123

Conditions:

1. No land disturbance activity shall be permitted within the wetlands or within 150 feet of the wetlands, except as specifically approved herein.
2. The following drawings, prepared by Leggette, Brashears & Graham, Inc. (LBG), are hereby approved subject to the conditions set forth below:
 - Proposed Bedrock Test Well Location (Plate 1), dated August 26, 2015
 - Blow-Up of Proposed Bedrock Test Well Location (Plate 2), dated August 26, 2015
 - May 2015 Pumping Test Program (Plate 1), dated June 16, 2015
 - Site Location Map (Figure 1), dated August 20, 2015
3. Reference is made to the *Description of Activities – Bedrock Test Well Drilling Report*.
4. Reference is made to the *Wetland Delineation Report*, prepared by Hazen and Sawyer, dated July 2014.
5. Reference is made to the *Application for Well Site Permit Report*, prepared by LBG, dated August 13, 2015.

6. Reference is made to the *72-Hour Pumping Test Program Conducted on Wells 4 and 5, May 18 through May 30, 2015* Report, prepared by LBG, dated July 31, 2015.
7. Unless otherwise approved by the Town Wetland Inspector, equipment mats shall be used along the construction access route to Well #6 when moving the drill rig and other equipment.
8. The Town Wetland Inspector and Town Engineer shall be notified 48 hours prior to construction and may inspect and monitor well drilling operations.
9. All disturbed areas shall be raked, seeded and mulched following construction as specified on the plans approved herein.
10. Following completion of all site work, a final site inspection shall be conducted by the Town Wetland Inspector; please call 914-763-3060 to schedule an appointment.
11. The issuance of this permit does not necessarily authorize the commencement of site work. No site work shall commence until the conditions of this permit have been satisfied (the conditions required to be satisfied prior to the commencement of any site work) and until the owner/applicant has obtained any and all required permits from other Town, County, State or Federal Departments and/or Agencies.
12. All work covered by this permit is to be completed before October 13, 2017, unless an extension of this period is requested in writing and granted.



Wetland Inspector



Robert P. Astorino
County Executive

Sherlita Amler, M.D.
Commissioner of Health

September 6, 2016

Daniel T. Whitehead
Regional Permit Administrator
New York State DEC
Division of Environmental Permits, Region 3
21 South Putt Corners Road,
New Paltz, NY 12561-1620

Dear Mr. Whitehead,


On July 21, 2016, Westchester County Department of Health (WCDH) received a request from New York American Water (NYAW) to place the newly constructed Well #4 of the Wild Oaks Water system into emergency service. The use of Well 4 was requested as the existing shallow wells #1 and #2 and Well # 3 were not producing enough water to meet system demands, as they were producing significantly less water (approximately 40 gpm) than their rated capacity. In addition, the water quality of the shallow wells had deteriorated requiring the 1 and 5 micron filters to be replaced in one to two days. Entrained air was also observed, likely due to the low water level within the wells. Due to the loss in the wells productivity the Wild Oaks Water System Storage Tank's level could not be maintained and the tank level had dropped significantly. To maintain flow in the system NYAW had to truck in water to add to the storage tank to supplement the water from the wells.

The Wild Oaks water system serves 610 residents and also provides fire flow for the community. The water supply's inability to provide an adequate quantity of water at an adequate pressure constitutes a potential health hazard in accordance with Part 5, Subpart 5-1 of the New York State Sanitary Code. In addition, the water supply's inability to provide water for adequate fire protection constitutes an emergency condition presenting an immediate threat to the residents and community. As defined by NYCRR Part 621.2(j) "Emergency means a natural, accidental, or intentional human-caused event or circumstance which presents an immediate threat to life, health, property, general welfare or natural resources."

As a result of the above, permission was granted for temporary emergency installation and use of the new deep well, Well #4, in order to meet the system demands and maintain an adequate water storage tank level to provide immediate protection of life, health, general welfare, property. The temporary installation was completed and the well placed in service on Friday, July 22.

Please feel free to contact me if you have any questions or require additional information at 914-864-7296 or dat5@westchestergov.com.

Yours Truly,


Delroy Taylor P.E.
Associate Engineer
Bureau of Environmental Quality

DT:mr

Department of Health
25 Moore Ave
Mt. Kisco, New York 10549

Telephone: (914) 813-5000

Fax: (914) 864-7341



NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3

21 South Platt Corners Road, New Paltz, NY 12561-1620

P: (845) 256-3054 | F: (845) 255-4659

www.dec.ny.gov

October 13, 2016

Stacy Stieber
Leggette, Brashears & Graham, Inc.
4 Research Drive, Suite 204
Shelton, CT 06484

RE: DEC No. 3-5530-00103/00004
Well #4 Wild Oaks Water System, New York American Water
Town of Lewisboro, Westchester County

EMERGENCY AUTHORIZATION RENEWAL

Ms. Stieber:

On August 15, 2016 the New York State Department of Environmental Conservation (DEC) received correspondence, from Leggette, Brashears & Graham, Inc., on behalf of New York American Water, notifying the DEC of the emergency use of "Well 4" of the Wild Oaks Water System (Wild Oak). According to the notification, the emergency use of Well #4 was required due to the inability of the three permitted wells (Production Wells 1 and 2 and bedrock Well 3) to meet the system's demand.

The August 15th notification contained insufficient information for the DEC to make a finding of an emergency as per NYS Uniform Procedures Act (6 NYCRR Part 621.12). On August 16, 2016, as per 621.12(d)(5), DEC staff requested additional information to make a determination on a finding of an emergency.

On September 13, 2016, the DEC received a response to this information request including documentation, dated September 6, 2016 from Delroy Taylor, Westchester County Department of Health (WCDH). The documentation contained confirmation of Wild Oak's inability to provide an adequate quantity of water at an adequate pressure for the system's 610 residents, constituting a potential health hazard in accordance with Part 5, Subpart 5-1 of the New York State Sanitary Code.

On September 13, 2016 the DEC made a determination that an emergency exists in accordance with the requirements of 6 NYCRR Part 621.12 and issued an emergency authorization with an expiration date of October 13, 2016.

On October 11, 2016 the DEC received a request from Leggette, Brashears & Graham, Inc., on behalf of New York American Water, for a 30-day extension of the September 13th, 2016 emergency authorization to continue use of Well #4 of the Wild Oak's well field. Based upon the review of this September 13, 2016 renewal request,

New York American Water is hereby authorized to continue use of Well #4 of Wild Oak as an emergency water supply source for an additional 30 days. This emergency authorization will expire on **November 12, 2016**. Therefore, on or before November 13, 2016, the project must be concluded or a complete application submitted to the Department.

If you have any questions on the extent of work authorized or New York American Water's obligations under this Emergency Authorization, please contact me at (845) 256-3801.

Sincerely,

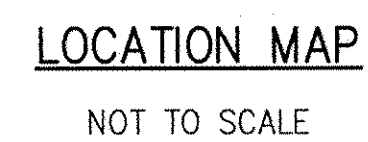


Daniel Whitehead
Regional Permit Administrator
Region 3

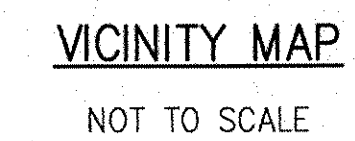
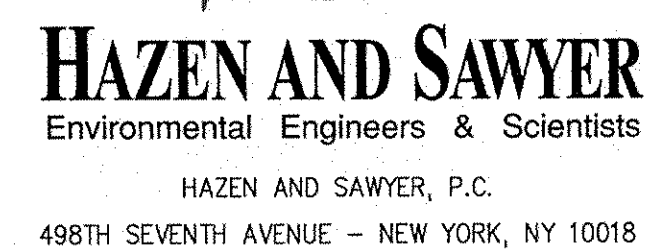
ecc: Richard Ruge, New York American Water
Delroy Taylor, P.E., WCDH
E, Kim, NYS DEC DOW
S. Karimipour, Regional Water Engineer, NYS DEC



WILD OAKS WELL HOUSE



DRAWING	TITLE
GENERAL	
G-1	COVER AND INDEX OF DRAWINGS
G-2	GENERAL NOTES
CIVIL	
C-1	SITE PLAN
C-2	LANDSCAPE PLAN
C-3	EROSION AND SEDIMENT CONTROL DETAILS
C-4	DETAILS
MECHANICAL	
M-1	FLOOR PLAN
M-2	PUMP SCHEDULE AND MISCELLANEOUS DETAILS
STRUCTURAL	
S-1	DETAILS
ELECTRICAL	
E-1	NOTES, SINGLE LINE AND DETAILS



DATE _____

WARNING

IT IS A VIOLATION OF SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER IN ANY MANNER ANY SPECIFIC DATA OR REPORT TO WHICH THE SEAL OF A PROFESSIONAL ENGINEER HAS BEEN APPLIED, IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE, THE DATE, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

GENERAL NOTES:

- 1. SITE INFORMATION HAS BEEN PROVIDED BY SITE SURVEY PREPARED BY KIRK ROTHER P.E. CONSULTING ENGINEERING PLLC DATED JUNE 16, 2014 WITH AN ASSUMED DATUM.
- 2. CONTRACTOR SHALL VERIFY FIELD CONDITIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND DIMENSIONS WHERE NEW WORK WILL MATCH EXISTING. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF WORK.
- 3. CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FROM THE APPROPRIATE AUTHORITIES, DEPARTMENTS, AND/OR AGENCIES HAVING JURISDICTION PRIOR TO COMMENCING WORK.
- 4. CONTRACTOR SHALL TAKE CARE TO AVOID DAMAGE TO EXISTING PAVEMENT, TREES, VEGETATION, STRUCTURES, AND UTILITIES THAT ARE NOT INDICATED TO BE DEMOLISHED OR REMOVED. ANY DAMAGE TO EXISTING PAVEMENT, TREES, VEGETATION, STRUCTURES, AND UTILITIES NOT INDICATED TO BE DEMOLISHED OR REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 5. UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEY INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE TO THEM. THE CONTRACTOR SHALL CONTACT DIG SAFELY NEW YORK AT PHONE NUMBER 1-800-962-7962 OR 811 TO REQUEST UNDERGROUND UTILITY LOCATION MARK-OUT AT LEAST TWO (2) WORKING DAYS BUT NO MORE THAN TEN (10) WORKING DAYS PRIOR TO BEGINNING EXCAVATION, INCLUDING SOIL DRILLING. THE CONTRACTOR SHALL ALSO CONTACT AND REQUEST UTILITY LOCATION MARK-OUT FROM BURIED UTILITY OWNERS WITH UTILITIES ON THE PROJECT SITE THAT ARE NOT PARTICIPANTS OF DIG SAFELY NEW YORK.
- 6. WHERE PROPOSED WORK IS IN THE VICINITY OF UTILITY POLES, SUCH THAT SUPPORT OF THE POLE(S) WILL BE REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY OF THE WORK. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE UTILITY FOR SUPPORT OF THE POLE.
- 7. WHERE OVERHEAD POWER LINES ARE PRESENT, CONTRACTOR MUST CONTACT THE UTILITY PRIOR TO CONSTRUCTION ACTIVITIES TO DETERMINE THE MINIMUM REQUIRED EQUIPMENT CLEARANCE (MEC) DISTANCE BASED UPON LINE STRENGTH.
- 8. DURING EXCAVATION AND PLACEMENT OF UTILITIES THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS AND SHALL SUBMIT TO THE ENGINEER FOR APPROVAL OF SHEET PILING, SHORING AND/OR BRACING DESIGNS AS MAY BE NECESSARY TO COMPLY WITH THESE REGULATIONS.
- 9. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS GENERATED DURING THE PROJECT OFF SITE AT A PROPERLY PERMITTED DISPOSAL FACILITY.
- 10. CONTRACTOR SHALL MAKE EVERY EFFORT TO SAVE AND MAINTAIN ALL PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES. A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE SHALL REPLACE PROPERTY IRONS, MONUMENTS, AND OTHER PERMANENT POINTS OF REFERENCE DESTROYED BY THE CONTRACTOR.

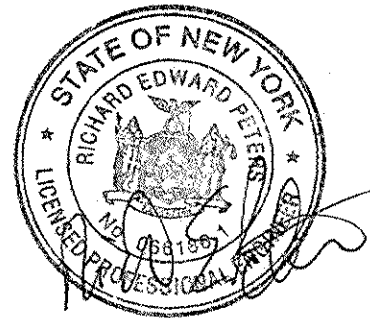
WATER MAIN PIPING NOTES:

- 1. CONTRACTOR SHALL MAINTAIN ACCESS TO PRIVATE PROPERTY AT ALL TIMES.
- 2. CONTRACTOR SHALL MAINTAIN ITS WORK WITHIN THE LIMITS OF THE PROPERTY.
- 3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES TO PROTECT EXISTING PIPELINES OR UTILITIES WHETHER SHOWN OR NOT.
- 4. ALL PRACTICAL AND NECESSARY EFFORTS SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT UNNECESSARY TREE REMOVAL AND OR DAMAGE.
- 5. THE LOCATION OF EXISTING UTILITIES HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THE INFORMATION IS NOT GUARANTEED. THEREFORE THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL UTILITY LINES AND SERVICES DAMAGED DURING CONSTRUCTION, INCLUDING IRRIGATION LINES AND SERVICES. THE APPROPRIATE UTILITY SHALL BE NOTIFIED OF ALL DAMAGED LINES PRIOR TO REPAIR. ALL NECESSARY REPAIRS SHALL BE PERFORMED IMMEDIATELY UPON DAMAGE OF THE LINE.
- 7. THE CONTRACTOR IS REQUIRED TO OBTAIN WRITTEN APPROVAL FROM THE ENGINEER FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.
- 8. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY REQUIRED PLAN DEVIATIONS.
- 9. CONTRACTOR WILL PROVIDE A MINIMUM VERTICAL CLEARANCE OF 6" BETWEEN ALL LINES THAT CROSS. PIPE CROSSING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF TEN STATE STANDARDS.
- 10. RESTRAINED, PUSH ON JOINT PIPE SHALL BE USED FOR ALL PIPING ON THIS PROJECT. ALL FITTINGS SHALL BE MECHANICAL JOINT FITTINGS.
- 11. THE MINIMUM DEPTH OF COVER OVER WATER MAINS AND FORCEMAINS IS 48" EXCEPT WHERE SHOWN DIFFERENTLY ON PLANS.
- 12. PIPE DEFLECTION SHALL NOT EXCEED 50% OF THE MAXIMUM DEFLECTION RECOMMENDED BY THE MANUFACTURER.
- 13. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAY OR WALKWAY SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- 14. TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS SHALL NOT BE LEFT OPEN DURING NIGHT TIME HOURS WITHOUT ADEQUATE PROTECTION.
- 15. CONTRACTOR SHALL PROMPTLY REPAIR AND RESTORE EXISTING PAVEMENT, SIDEWALKS, CURBS, DRIVEWAYS, PIPES, RESIDENTIAL AND COMMERCIAL SPRINKLER LINES, CONDUIT, CABLES, ETC. AND LANDSCAPE AREAS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.
- 16. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AS REQUIRED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT AND/OR WHEN REQUIRED FOR PUBLIC SAFETY.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF WORK, FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
- 18. CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL EXISTING UTILITY CASTINGS INCLUDED VALVE BOXES, MAINTENANCE ACCESS STRUCTURES, HAND HOLES, PULL BOXES, INLETS AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAID WITH ASPHALT.
- 19. DISINFECTION AND BACTERIOLOGICAL TESTING SHALL BE PERFORMED IN ACCORDANCE WITH AWWA STANDARD C651-05. MAINS AND SERVICES SHALL NO BE PLACED INTO SERVICE UNTIL ACCEPTABLE BACTERIOLOGICAL RESULTS ARE OBTAINED AND PERMISSION TO PLACE THE SERVICE IN OPERATIONS HAS BEEN RECEIVED.
- 20. PRESSURE AND LEAKAGE TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C600-10.

File: G:\90185-000-NYCDRAWINGS\WLD OAKS\GENERAL-G-2 Saved by Jbaker Date: 10/19/2015 11:03 AM BY: JBAKER
PLOT DATE: 10/19/2015 11:03 AM
XREF's: JWS 0-19

WARNING
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				DESIGNED	MZ
				DRAWN	MZ/JFB
				CHECKED	KLB
				PROJ.ENGR.	OT
				PROJ.DIR.	REP
A	BID SET	OCT 2015	KLB		
NO.	ISSUED FOR	DATE	BY		



HAZEN AND SAWYER
Environmental Engineers & Scientists
498 Seventh Avenue
New York, New York 10018



NEW YORK
AMERICAN WATER

WILD OAKS GROUNDWATER WELL REPLACEMENT

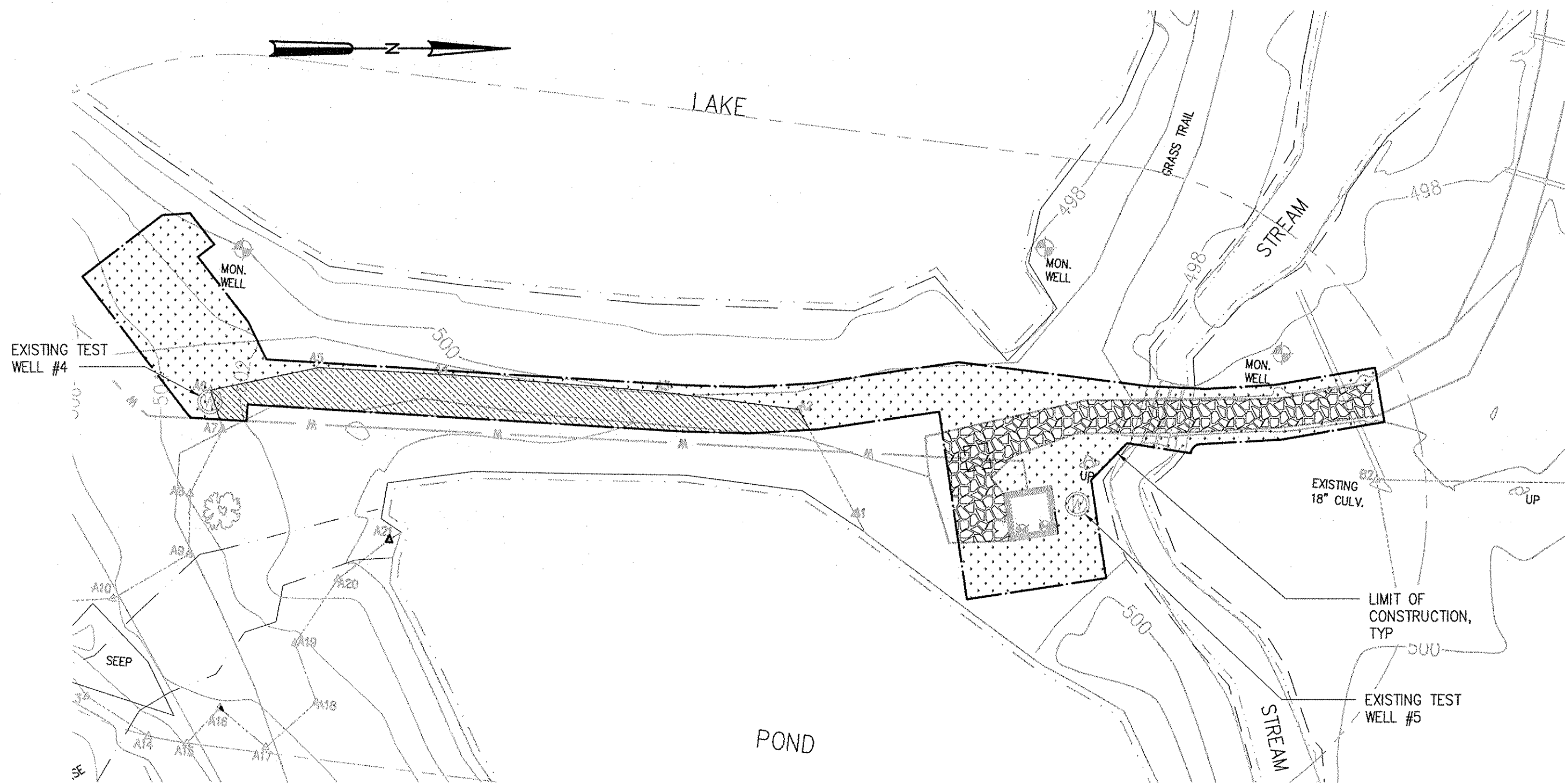
GENERAL
GENERAL NOTES

THE SCALE BAR SHOWN BELOW MEASURES ONE INCH LONG ON THE ORIGINAL DRAWING.	DATE OCTOBER 2015	
	H&S JOB NUMBER	90185-000
	CONTRACT NUMBER	DRAWING NUMBER
	-	G-2

BID SET

SEEDING NOTES:

1. SIX (6) WEEKS PRIOR TO SEEDING, EACH SEED MIX SPECIES GERMINATION AND PURITY TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
2. ALL SEEDING OPERATIONS MUST BE SCHEDULED AND APPROVED AT LEAST FIVE (5) DAYS IN ADVANCE TO ENSURE THE ENGINEER IS PRESENT TO OBSERVE THE WORK. ALL SEED SHALL BE INTERAGENCY CERTIFIED UNDER THE AUSPICES OF A STATE SEED IMPROVEMENT COOPERATIVE AND SHALL BEAR THEIR SEALS OF CERTIFICATION ON EACH 50 POUND BAG. PERMANENT SEED SHALL BE 75% PURE LIVE SEED MINIMUM.
3. SEED BROUGHT TO THE PROJECT SITE SHALL BE IN UNOPENED BAGS SHOWING THE NET WEIGHT, COMPOSITION OF MIX, SUPPLIERS NAME AND GUARANTEE OF ANALYSIS. SEED SHALL BE STORED IN ORIGINAL UNOPENED PACKAGES, KEPT DRY, AND NOT OPENED UNTIL NEEDED FOR USE. DAMAGED OR FAULTY PACKAGES SHALL NOT BE USED AND WILL BE REJECTED. SEED SHALL HAVE BEEN HARVESTED FOR PLANTING IN THE CURRENT GROWING SEASON, AND SHALL HAVE BEEN PACKED WITHIN THE LAST 9 MONTHS.
4. SEED MIXTURE SHALL BE AS SPECIFIED IN THE CONTRACT DRAWINGS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
5. SEED MATERIALS WILL BE INSPECTED BY THE ENGINEER UPON ARRIVAL AT THE JOB SITE AND PRIOR TO PLANTING. ANY MATERIALS NOT IN COMPLIANCE WITH SPECIFICATIONS WILL NOT BE ACCEPTED AND SHALL BE REMOVED FROM THE JOB SITE IMMEDIATELY.
6. ALL SEED MATERIALS SHALL BE PROTECTED FROM DRYING OUT AND FROM WIND DAMAGE DURING DELIVERY.
7. SEEDBED PREPARATION SHALL CONSIST OF SCARIFYING ALL COMPACTED AREAS AND REMOVE ALL DEBRIS AND OBSTACLES SUCH AS ROCKS AND STUMPS.
8. DO NOT BROADCAST SEED BY MECHANICAL APPLICATION WHEN THE WIND VELOCITY IS SUCH AS TO PREVENT UNIFORM SEED DISTRIBUTION.
9. WETLAND RESTORATION AREAS SHALL BE SEEDDED WITH FACW MEADOW SEED MIX AT A RATE OF 40 LBS/AC. OATS (ARIUM SATIVA) SHALL BE ADDED TO THE FACW MEADOW SEED MIX AT A RATE OF 10 LBS/AC. SEED MIX SHALL BE OBTAINED FROM ERNST CONSERVATION SEEDS INC. (MIX NO. ERNMX-122), 8884 MERCER PIKE, MEADVILLE, PA 16335, (800) 873-3321, OR APPROVED EQUAL.
10. UPLAND RESTORATION AREAS SHALL BE SEEDDED WITH DEER RESISTANT MEADOW SEED MIX AT A RATE OF 40 LBS/AC. OATS (ARIUM SATIVA) SHALL BE ADDED TO THE DEER RESISTANT MEADOW SEED MIX AT A RATE OF 10 LBS/AC. SEED MIX SHALL BE OBTAINED FROM ERNST CONSERVATION SEEDS INC. (MIX NO. ERNMX-155), 8884 MERCER PIKE, MEADVILLE, PA 16335, (800) 873-3321, OR APPROVED EQUAL.
11. OPTIMUM SEEDING TIMES ARE IN THE SPRING FROM APRIL 1 - JUNE 1 AND IN LATE SUMMER AND EARLY FALL FROM SEPTEMBER 1 - OCTOBER 15. IF CONSTRUCTION IS COMPLETED DURING MID-SUMMER, SEEDING MAY BE DONE IF WATERING WILL BE PROVIDED. AFTER OCTOBER 15 AND UP TO APRIL 1, MULCH SHOULD BE APPLIED UNTIL THE PERMANENT SEEDING CAN BE DONE DURING THE RECOMMENDED SEEDING DATES.
12. SEED SHALL BE BROADCAST BY HAND OR MECHANICALLY USING A DROP-HOPPER. SEEDS SHALL BE BLENDED THOROUGHLY WITH A SAND FILLER AND UNIFORMLY BROADCAST OVER THE ENTIRE AREA THEN GENTLY HAND RAKED 1/8 TO 1/4 INCH INTO THE SOIL.
13. FOLLOWING THE SEEDING OPERATION, FERTILIZER SHALL BE APPLIED AS NEEDED, ACCORDING TO RECOMMENDATIONS FROM SOIL TESTING. WHEN REQUIRED, 10-10-10 FAST RELEASE FERTILIZER SHALL BE BROADCAST AT A RATE OF 400 LBS/ACRE THROUGHOUT THE SEEDDED AREA BY HAND OR MECHANICALLY USING A CYCLONE BROADCASTER. SEED SHALL BE WATERED AS RECOMMENDED BY THE SEED MANUFACTURER TO ACHIEVE SPECIFIED GROWTH COVERAGE.
14. SEEDDED AREAS SHALL BE COVERED WITH ECS-18 SINGLE NET STRAW BIODEGRADABLE ROLLED EROSION CONTROL PRODUCT FURNISHED BY EAST COAST EROSION BLANKETS 443 BRICKER ROAD, BERRYVILLE, PA 19056 (800) 582-4005 OR APPROVED EQUAL. ALTERNATIVELY, MULCHING STRAW OF OAT OR WHEAT STALKS (NOT HAY) SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE (100 - 200 BALES / ACRE). SHALL BE UNIFORMLY DISTRIBUTED OVER THE SOWN SEEDS, AND HELD IN PLACE THROUGH USE OF A STRAW CRIMPER.
15. SEEDDED AREAS SHALL BE WATERED AT A MINIMUM OF ONCE PER WEEK UNTIL SEED HAS GERMINATED AND BECOME ESTABLISHED.
16. ACCEPTABLE SEEDING WILL BE WHEN 85% COVERAGE OF THE OPEN AREA WITH THE SEEDDED SPECIES HAS BEEN ACCOMPLISHED. ANY AREA NOT MEETING THIS REQUIREMENT SHALL BE RESEEDDED WITH THE ORIGINAL SEED MIX.



LANDSCAPING PLAN

SCALE: 1"=30'

DEER RESISTANT MEADOW MIX		
SCIENTIFIC NAME	COMMON NAME	PERCENTAGE
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	38
ELMYRUS VIRGINICUS	VIRGINIA WILDRYE	17.5
SORGHASTRUM NUTANS	INDIANGRASS	9
ECHINACEA PURPUREA	PURPLE CONEFLOWER	4
CHAMAECRISTA FASCICULATA	PARTRIDGE PEA	4
RUDBECKIA HIRTA	BLACKEYED SUSAN	3
PENSTEMON DIGITALIS	TALL WHITE BEARDTONGUE	3
TRIDENS FLAVUS	PURPLETOP	3
ASTER OBLONGIFOLIUS	AROMATIC ASTER	3
TRADESCANTIA OHIENSIS	OHIO SPIDERWORT	3
LIATRIS SPICATA	BLAZING STAR	3
COREOPSIS LANCEOLATA	LANCELEAF COREOPSIS	2.5
ASCLEPIAS TUBEROSA	BUTTERFLYWEED	2.25
HELIOPSISHELIANTHOIDES	OXEYE SUNFLOWER	2
BAPTISIA AUSTRALIS	FALSE INDIGO	0.5
MONARDA FISTULOSA	WILD BERGAMOT	0.5
SOLIDAGO NEMORALIS	GRAY GOLDENROD	0.5
SENNA HEBECARPA	WILD SENNA	0.5
SOLIDAGO JUNCEA	EARLY GOLDENROD	0.5
PYCNANTHEMUM INCANUM	HOARY MOUNTAINMINT	0.25

FACW MEADOW SEED MIX		
SCIENTIFIC NAME	COMMON NAME	PERCENTAGE
CAREX VULPINOIDEA	FOX SEDGE	30
ELYMUS VIRGINICUS	VIRGINIA WILD RYE	20
CAREX LURIDA	LURID SEDGE	14
SCIRPUS ATROVIRENS	GREEN BULRUSH	6
CAREX LUPULINA	HOP SEDGE	5
CAREX SCOPARIA	BLUNT BROOM SEDGE	4
VERBENA HASTATA	BLUE VERVAIN	3.6
HELIOPSIS HELIANTHUS	OXYE SUNFLOWER	2
JUNCUS EFFUSUS	SOFT RUSH	2
GLYCERIA CANADENSIS	RATTLESNAKE GRASS	2
EUPATORIUM PERFOLIATUM	BONESET	2
ONOCLEA SENSIBILIS	SENSITIVE FERN	2
ASCLEPIAS INCARNATA	SWAMP MILKWEED	1.2
EUPATORIUM FISTULOSUM	JOE PYE WEED	1
ASTER UMBELLATUS	FLAT TOPPED WHITE ASTER	1
SISYRINCHIUM ANGUSTIFOLIUM	NARROWLEAF BLUE EYED GRASS	1
HELIANTHUS ANGUSTIFOLIUS	SWAMP SUNFLOWER	1
SCIRPUS CYPERINUS	WOOLGRASS	1
MIMULUS RINGENS	SQUARE STEMMED MONKEYFLOWER	0.8
LOBELIA SIPHILTICA	GREAT BLUE LOBELIA	0.3
PYCNANTHEMUM TENUIFOLIUM	SLENDER MOUNTIANMINT	0.1

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				DESIGNED	MZ
				DRAWN	MZ
				CHECKED	KLB
				PROJ.ENGR.	OT
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HAZEN AND SAWYER
Environmental Engineers & Scientists

498 Seventh Avenue
New York, New York 10018



NEW YORK
AMERICAN WATER

WILD OAKS GROUNDWATER WELL REPLACEMENT

CIVIL
LANDSCAPE PLAN

THE SCALE BAR
SHOWN BELOW
MEASURES ONE
INCH LONG ON
THE ORIGINAL
DRAWING.

DATE OCTOBER 2015

H&S JOB
NUMBER 90185-000

CONTRACT
NUMBER

DRAWING
NUMBER

-

C-2

EROSION AND SEDIMENT CONTROL (ESC) NOTES:

1. ALL EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE IN PLACE BEFORE, OR AS SOON AS PRACTICAL AFTER, ANY LAND CLEARING OR CONSTRUCTION ACTIVITIES BEGIN.

2. CLEARING SHALL BE LIMITED AS MUCH AS POSSIBLE TO AREAS REQUIRED FOR CURRENT CONSTRUCTION ACTIVITIES. MASS CLEARING AND GRADING SHALL BE AVOIDED.

3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED WITHIN 24 HOURS FOLLOWING ALL RAINFALL EVENTS BUT IN NO CASE LESS THAN ONCE A WEEK.

4. CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AS REQUIRED TO MAINTAIN PERFORMANCE OF MEASURE. REMOVED SEDIMENT SHALL BE DISPOSED OF IN A SUCH A MANNER AS TO ENSURE FURTHER SEDIMENT TRANSPORT DOES NOT OCCUR.

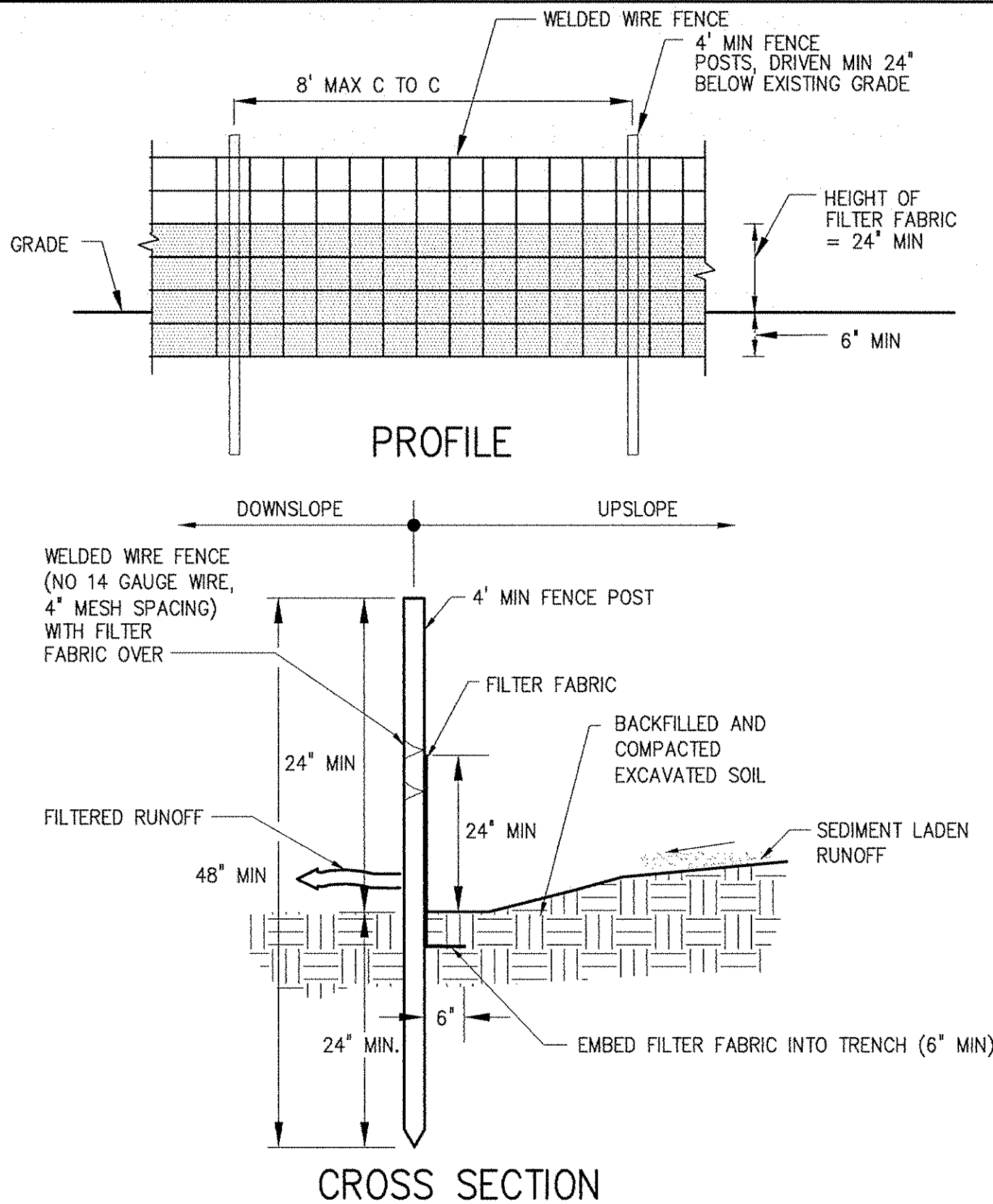
5. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. THIS REQUIREMENT DOES NOT APPLY IN THE FOLLOWING INSTANCES:

A. PRIOR TO GROUND FREEZING, ALL DISTURBED AREAS SHALL BE STABILIZED AND FURTHER SOIL DISTURBANCE ACTIVITIES SHALL BE CEASED UNTIL SUFFICIENT GROUND THAW HAS OCCURRED.

B. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN FOURTEEN (14) DAYS, TEMPORARY STABILIZATION MEASURES NEED NOT BE INITIATED ON THAT PORTION OF THE SITE.

C. ALL DISTURBED AREAS, EXCEPT FOR CONCRETE AND PAVED AREAS SHALL BE FERTILIZED, SEEDED AND MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS AND THE SEEDING SCHEDULE, AND RE-SEEDED AS NECESSARY, TO ESTABLISH AND MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

7. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT THE DEPOSITION OF MATERIALS ONTO TRAVERSED PUBLIC THOROUGHFARE(S) BY MAINTAINING A STABILIZED CONSTRUCTION ENTRANCE, AND BY WASHING ALL VEHICLE WHEELS. ALL MATERIALS DEPOSITED ONTO PUBLIC THOROUGHFARE(S) SHALL BE REMOVED IMMEDIATELY. PROPER PRECAUTIONS SHALL BE TAKEN TO ENSURE THAT MATERIALS DEPOSITED ONTO PUBLIC THOROUGHFARE(S) ARE REMOVED SO THAT THEY DO NOT ENTER YARD INLETS, CATCH BASINS, STORM SEWERS, WETLANDS, SURFACE WATER BODIES, OR ROADSIDE SWALES.



NOTES:

1. WELDED WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES. POSTS SHALL BE STEEL, EITHER 'T' OR 'U' TYPE OR 2 INCH SQUARE HARDWOOD.

2. FILTER FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION FOR ADDED STRENGTH.

3. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.

4. SEDIMENT SHALL BE REMOVED FROM THE UPSTREAM FACE OF THE FENCE WHEN IT HAS REACHED A DEPTH OF 1/2 THE BARRIER HEIGHT.
5. REPAIR OR REPLACE (FABRIC, POSTS, ETC.) WHEN DAMAGED.

6. FENCE SHALL BE INSPECTED DAILY FOR SIGN OF DETEIORATION AND SEDIMENT REMOVAL. MATERIAL SHALL BE REMOVED WHEN BULGES OR HOLES DEVELOP IN THE SILT FENCE, OR AS REQUIRED BY THE ENGINEER.

7.

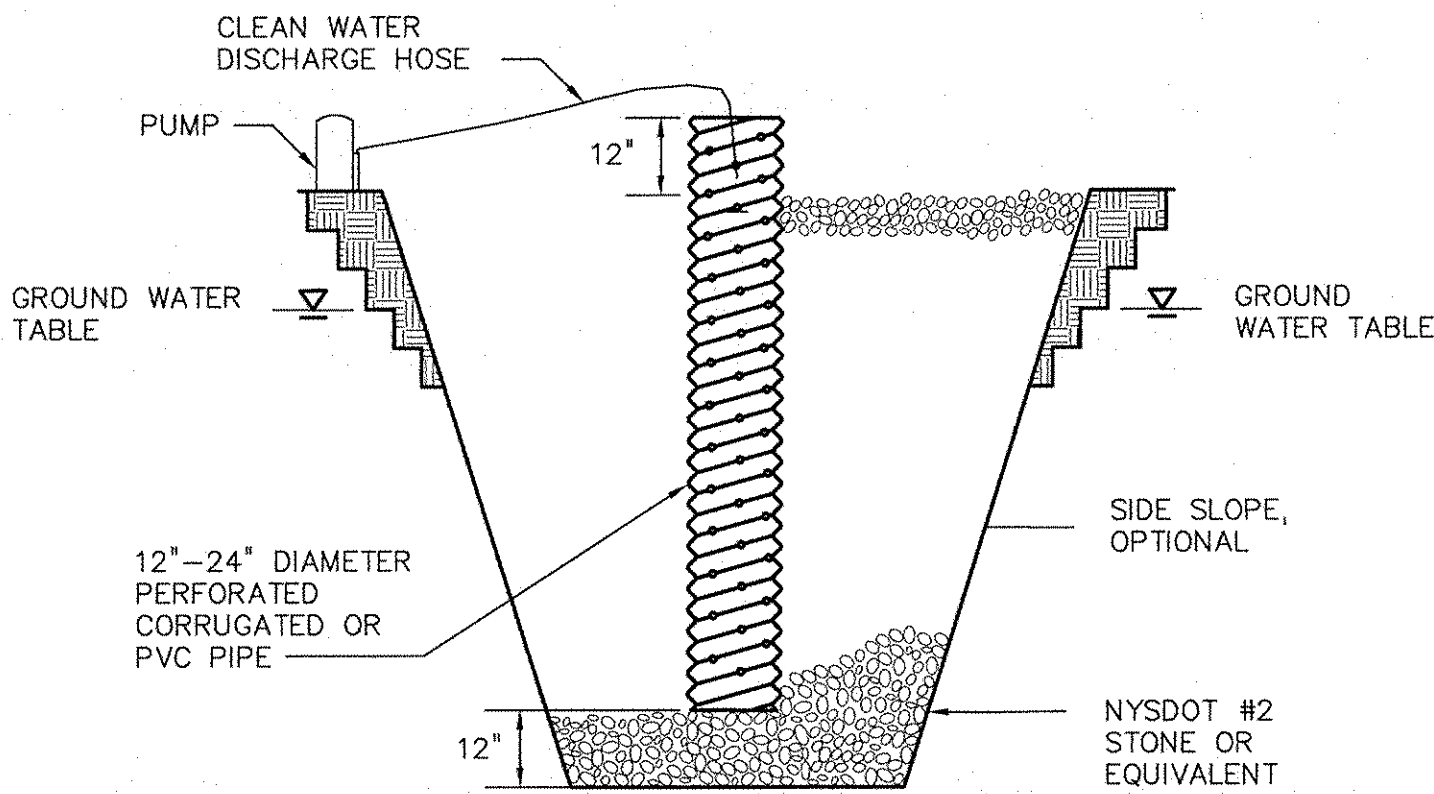
8. MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUNOFF TO A SILT FENCE ARE:

9. MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1 ACRE PER 100 FEET OF FENCE.

SLOPE STEEPNESS	MAXIMUM SLOPE LENGTH (FT)
2:1	50
3:1	75
4:1	125
5:1	175
FLATTER THAN 5:1	200

REINFORCED SILT FENCE DETAIL

NOT TO SCALE

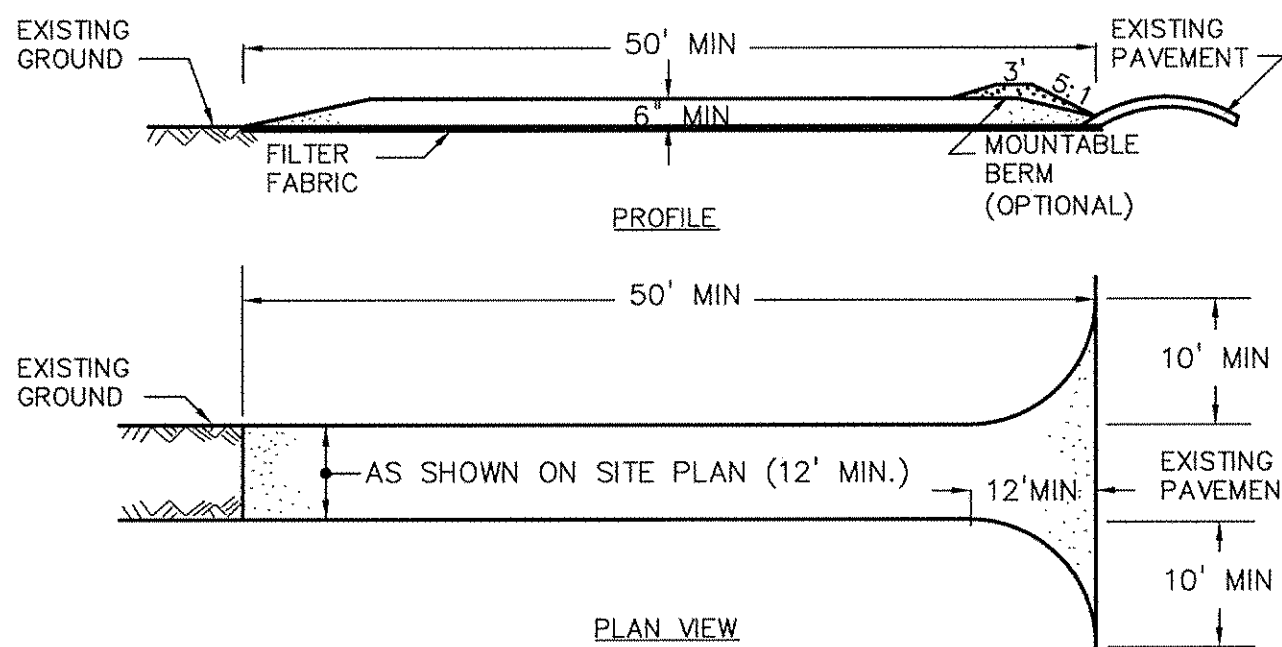


CONSTRUCTION SPECIFICATIONS

1. PIT DIMENSIONS SHOWN ARE OPTIONAL.
2. THE STANDPIPE SHOULD BE CONSTRUCTED BY PERFORATING A 12-24" DIAMETER
3. A BASE OF 2" AGGREGATE SHOULD BE PLACED IN THE PIT TO A DEPTH OF 12". AFTER INSTALLING THE STANDPIPE, THE PIT SURROUNDING THE STANDPIPE SHOULD BE BACKFILLED WITH 2" AGGREGATE, CORRUGATED OR PVC PIPE.
4. THE STANDPIPE SHOULD EXTEND 12-18" ABOVE THE LIP OF THE PIT.
5. IF DISCHARGE WILL BE PUMPED DIRECTLY TO A STORM DRAINAGE SYSTEM, THE STANDPIPE SHOULD BE WRAPPED WITH FILTERCLOTH BEFORE INSTALLATION. IF DESIRED, 1/4"-1/2" HARDWARE CLOTH MAY BE PLACED AROUND THE STANDPIPE, PRIOR TO ATTACHING THE FILTERCLOTH.

SUMP PIT DETAIL

NOT TO SCALE



NOTES:

1. STONE SIZE - USE NYSDOT SIZE NO. 3 COARSE AGGREGATE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.

2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).

3. THICKNESS - NOT LESS THAN SIX (6) INCHES.

4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.

5. FILTER FABRIC - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.

6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE
- ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.

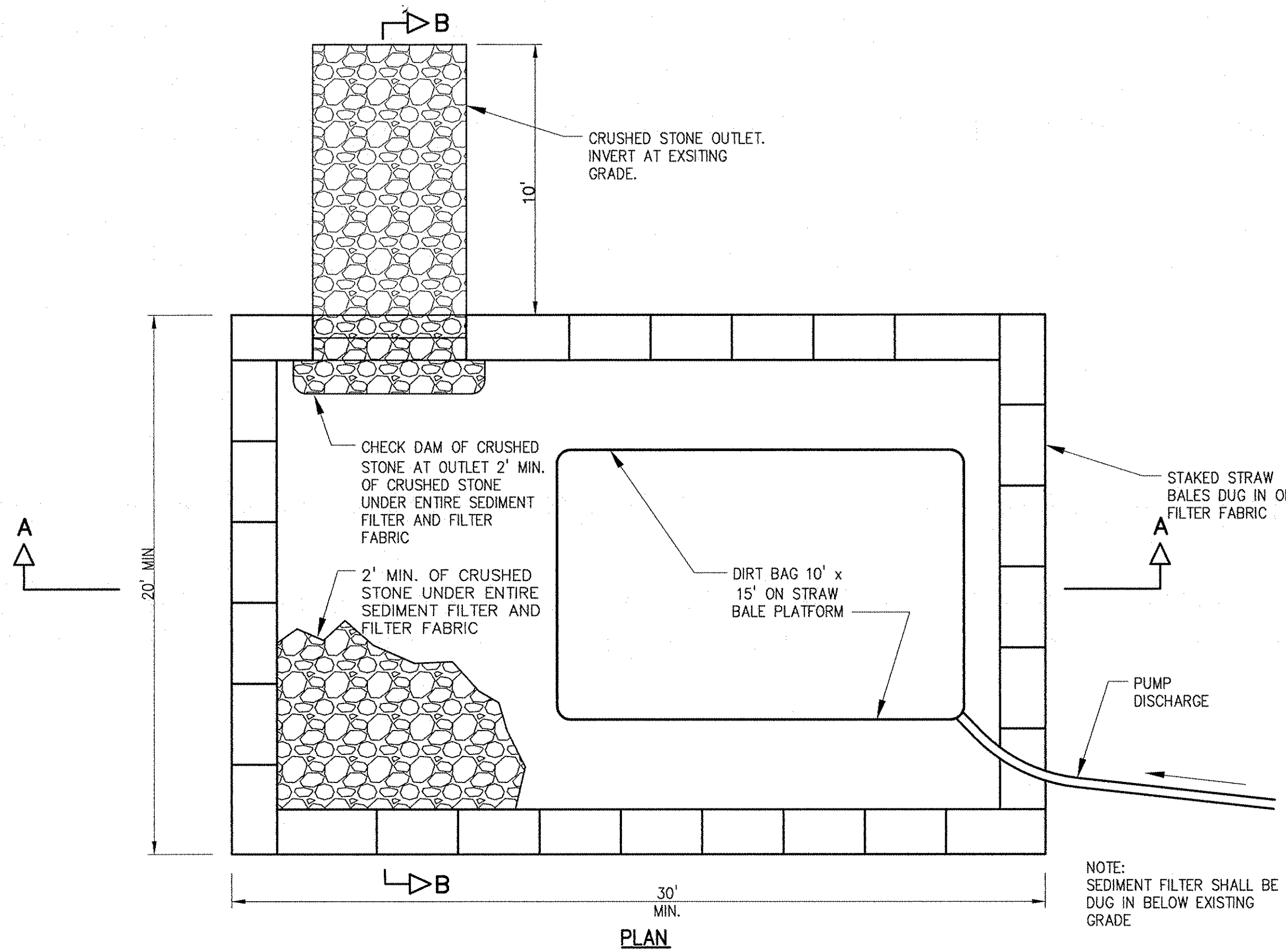
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

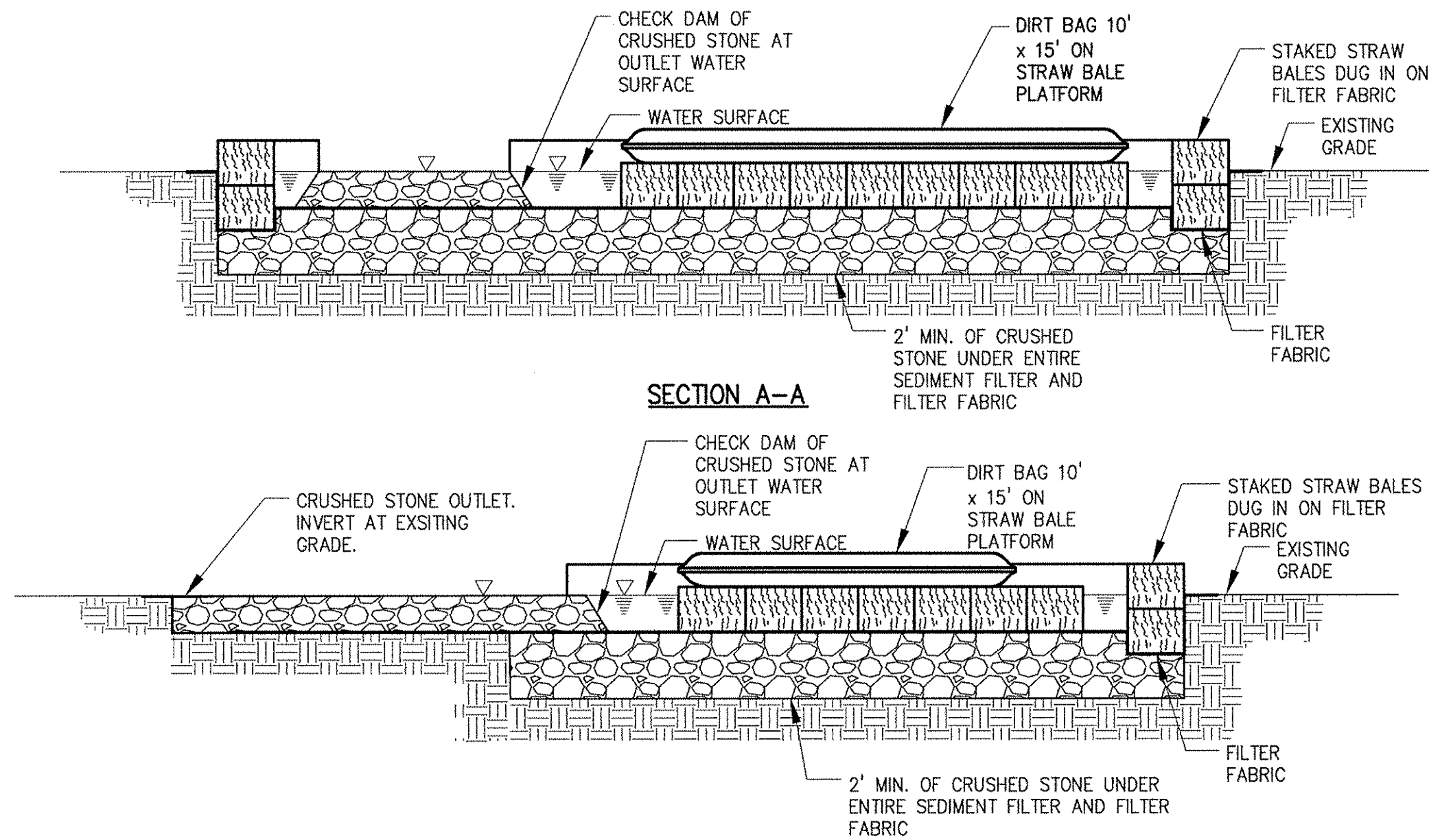
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



SECTION A-A



SECTION B-B

SEDIMENT TRAP DETAIL

NOT TO SCALE

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NEW YORK
AMERICAN WATER

WILD OAKS GROUNDWATER WELL REPLACEMENT

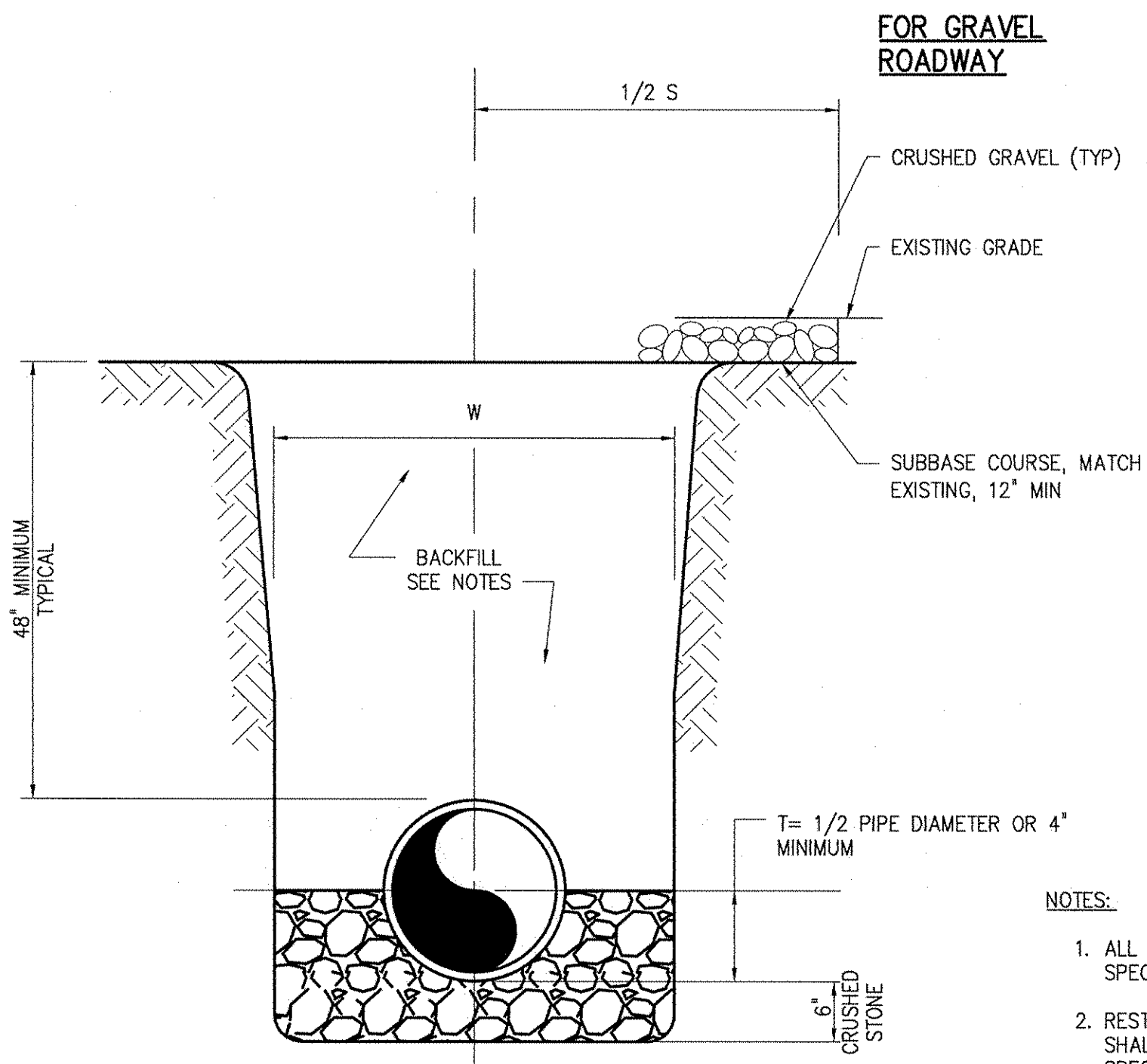
EROSION AND SEDIMENT CONTROL
DETAILS

THE SCALE BAR SHOWN BELOW MEASURES ONE INCH LONG ON THE ORIGINAL DRAWING.	DATE OCTOBER 2015
H&S JOB NUMBER 90185-000	CONTRACT NUMBER -
	DRAWING NUMBER C-3

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	OCT 2015
	KLB
	DATE
	BY





TRENCH EXCAVATION LIMITS		
INTERNAL DIAMETER OF PIPE	WIDTH OF TRENCH	
	MAX	W=MIN
4'-6"	3'-9"	2'-0"
8'-10"	3'-9"	2'-2"
12"	3'-9"	O.D.+2'
14'-16"	4'-2"	O.D.+2'
18"	4'-4"	O.D.+2'
20', 21"	4'-8"	O.D.+2'
24"	4'-11"	O.D.+2'
27"	5'-9"	O.D.+2'
30"	6'-7"	O.D.+2'
DEPTH OF CUT	S	
	MAXIMUM PAVEMENT REPLACEMENT WIDTH	
0-6'	S=W+4'	
>6-8'	S=W+8'	
>8-10'	S=W+12'	
>10-12'	S=W+16'	
>12-14'	S=W+20'	
>14-16'	S=W+24'	
>16-18'	S=W+28'	
>18'	S=W+32'	

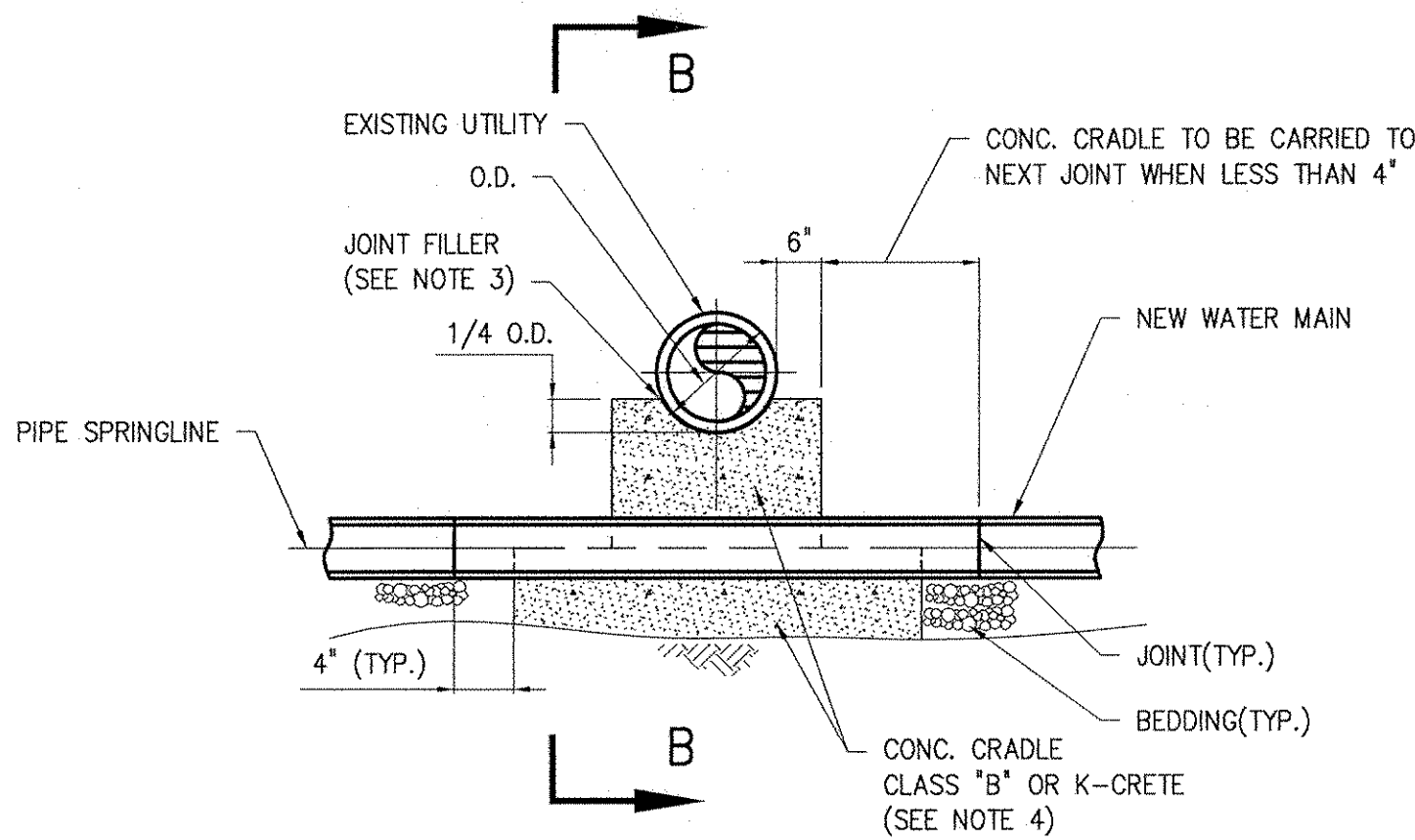
W = TRENCH WIDTH AT BOTTOM OF PIPE. TRENCH SIDE SLOPES SHALL BE IN ACCORDANCE WITH OSHA REQUIREMENTS.

NOTES:

- ALL TRENCHES SHALL BE BACKFILLED WITH FILL AS PER SPECIFICATIONS.
- RESTORATION OF GRAVEL ROADWAY AND GRASS AREAS SHALL BE IN ACCORDANCE WITH THE DETAIL SPECIFICATIONS.

TYPICAL TRENCH

NOT TO SCALE



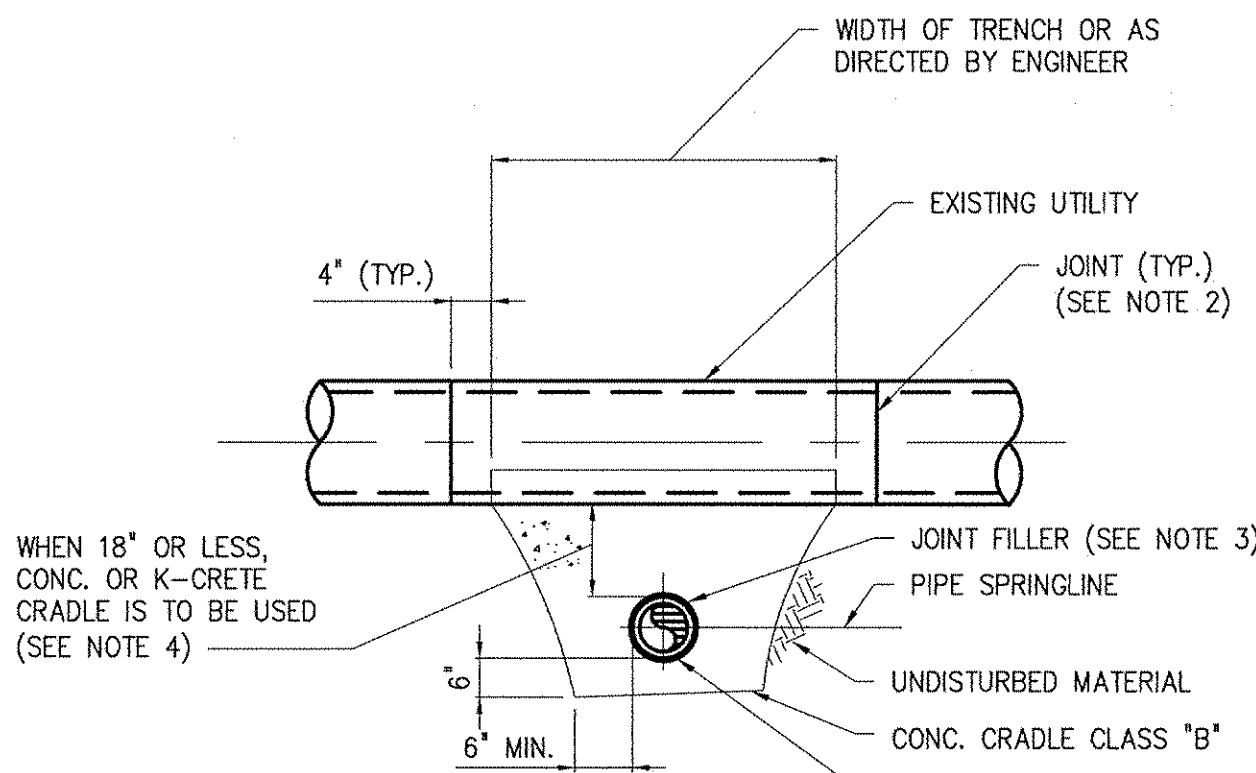
PLAN VIEW

NOTES:

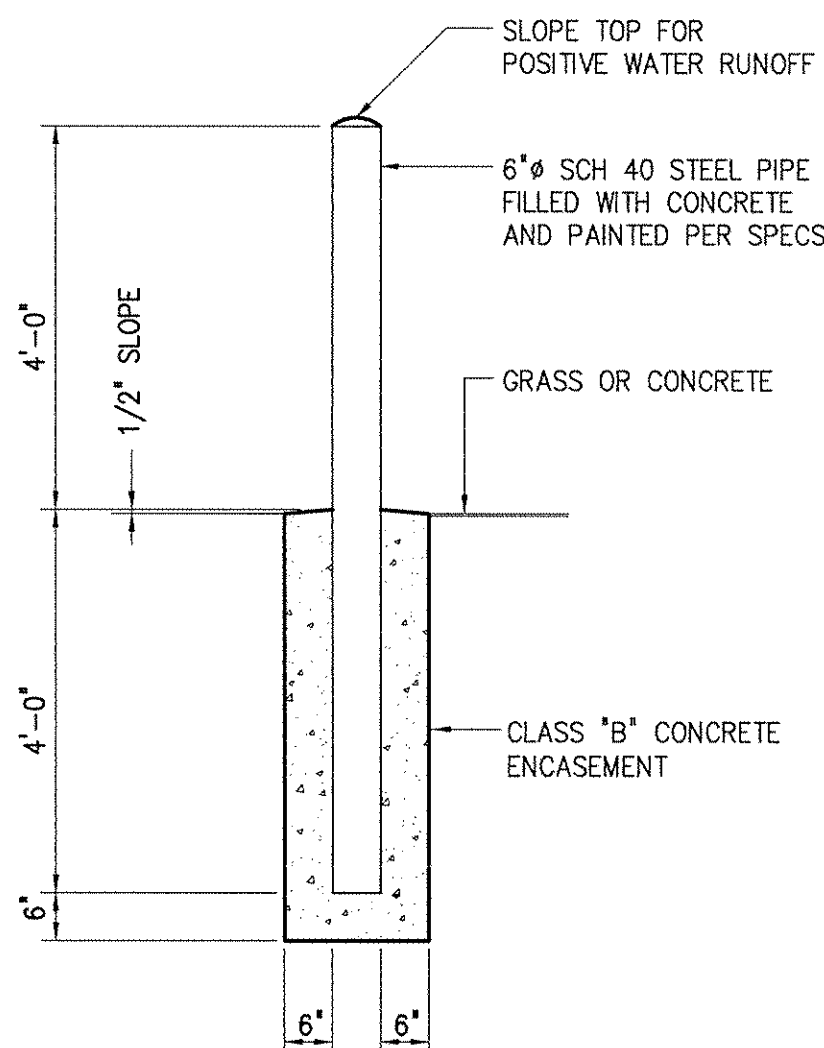
- IF LESS THAN 18" CLEARANCE, WESTCHESTER COUNTY DEPARTMENT OF HEALTH APPROVAL WILL BE REQUIRED.
- ARRANGE SO NEITHER NEW OR EXISTING PIPE HAS JOINT IN CONTACT WITH CONCRETE.
- JUTE OR SIMILAR BITUMINOUS IMPREGNATED JOINT FILLER SHALL BE INSTALLED BETWEEN BOTH PIPES AND CONCRETE.
- IF 10' OF HORIZONTAL SEPARATION OR 18" VERTICAL SEPARATION CANNOT BE MADE, THE CONTRACTOR WILL ENCASE THE NEW WATER MAIN IN K-CRETE. WHERE THE DISTANCE IS LESS THAN 5 FEET THE NEW WATER MAIN CAN BE ENCASED IN CLASS 'B' CONCRETE.

NEW PIPE UNDER EXIST. UTILITIES

NOT TO SCALE

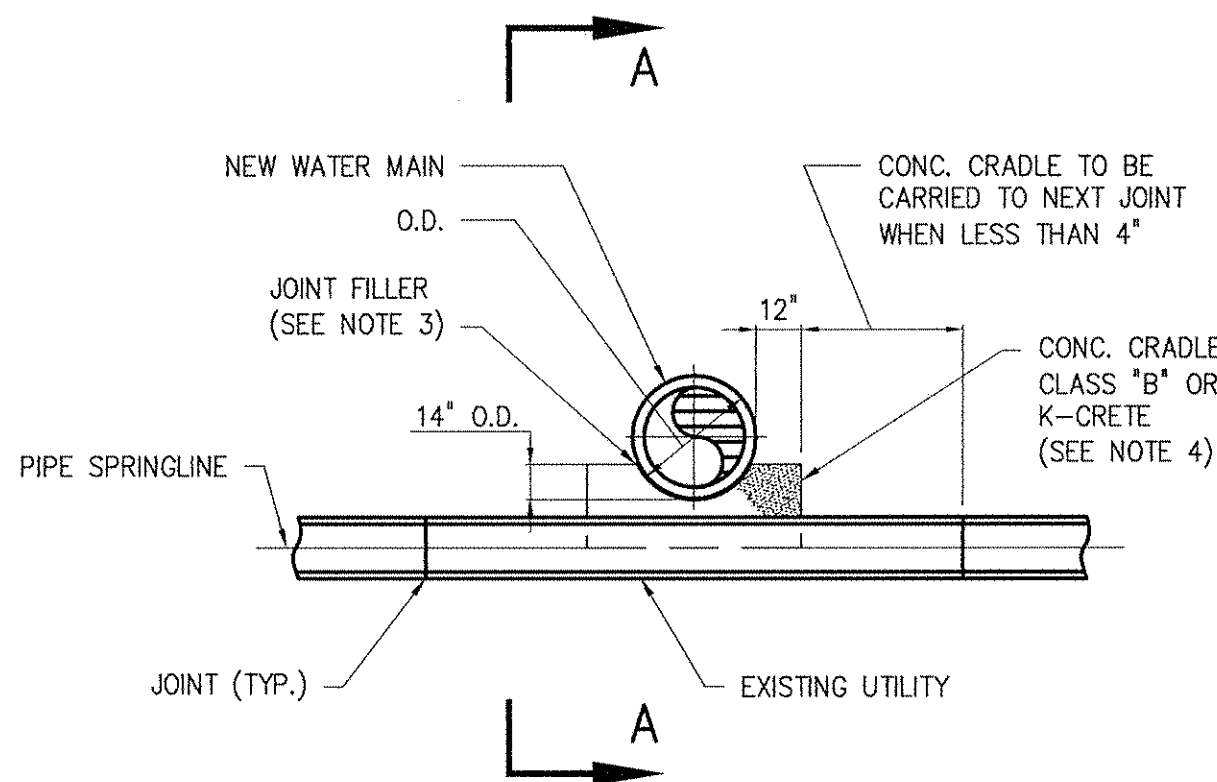


SECTION B-B



BOLLARD DETAIL

NOT TO SCALE



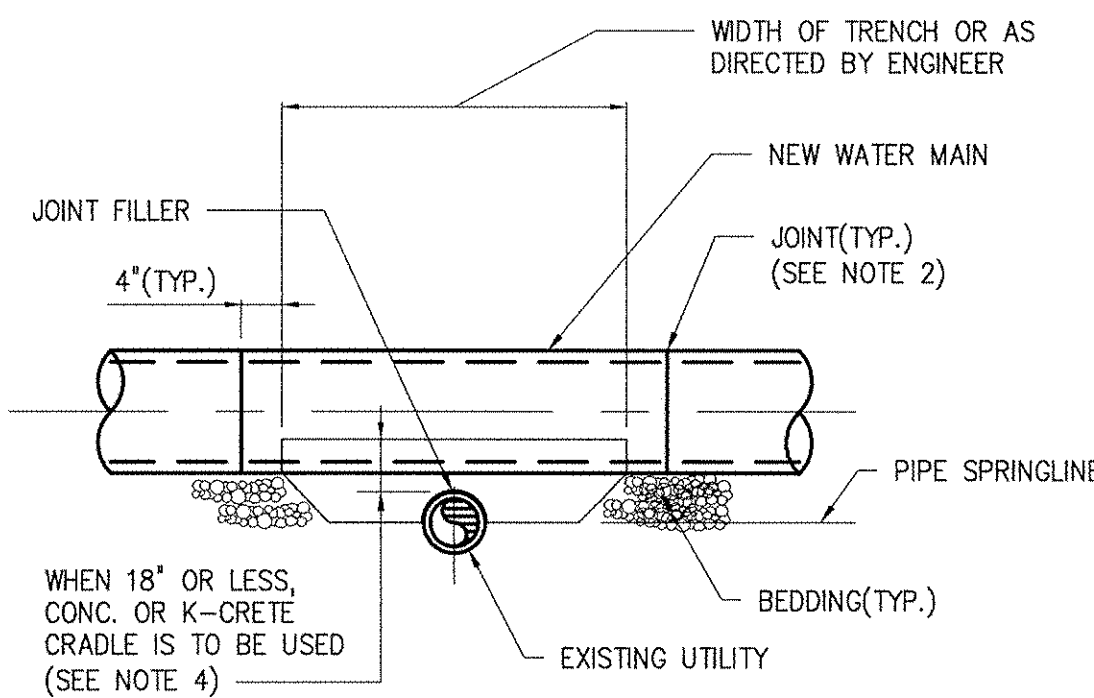
PLAN VIEW

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NEW PIPE OVER EXIST. UTILITY

NOT TO SCALE



SECTION A-A

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WILD OAKS GROUNDWATER WELL REPLACEMENT

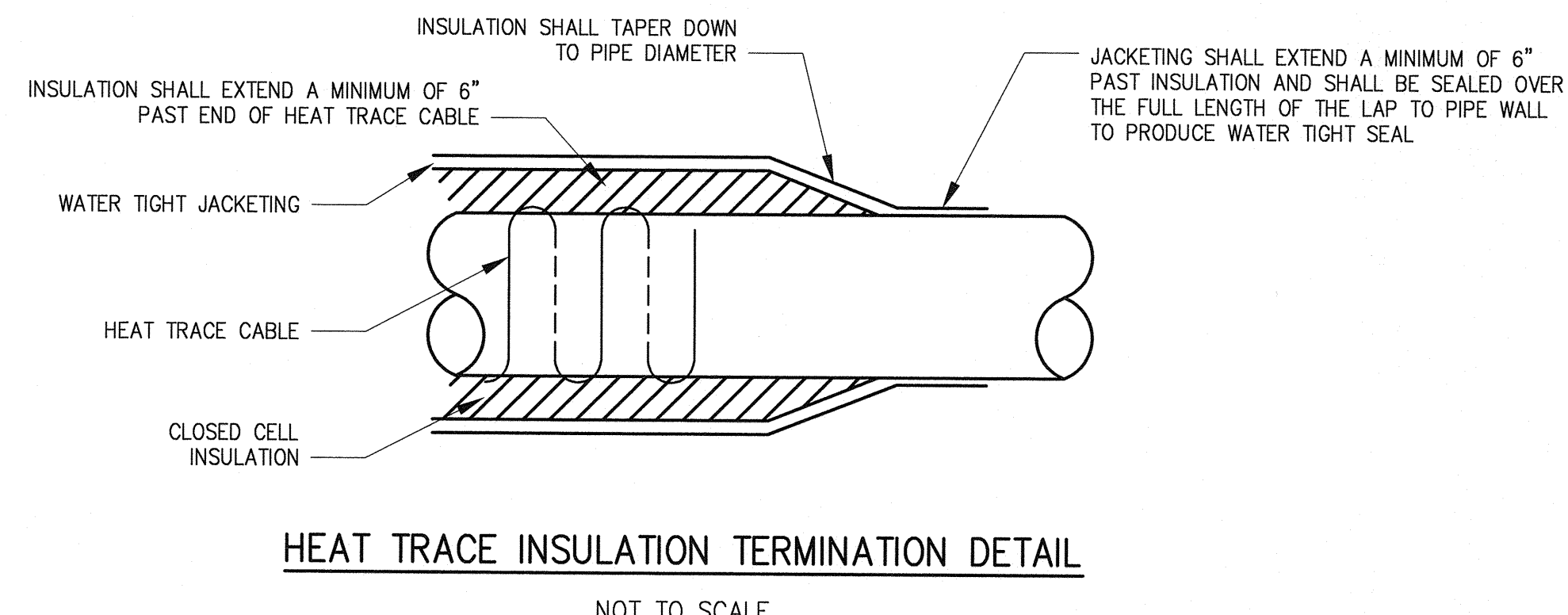
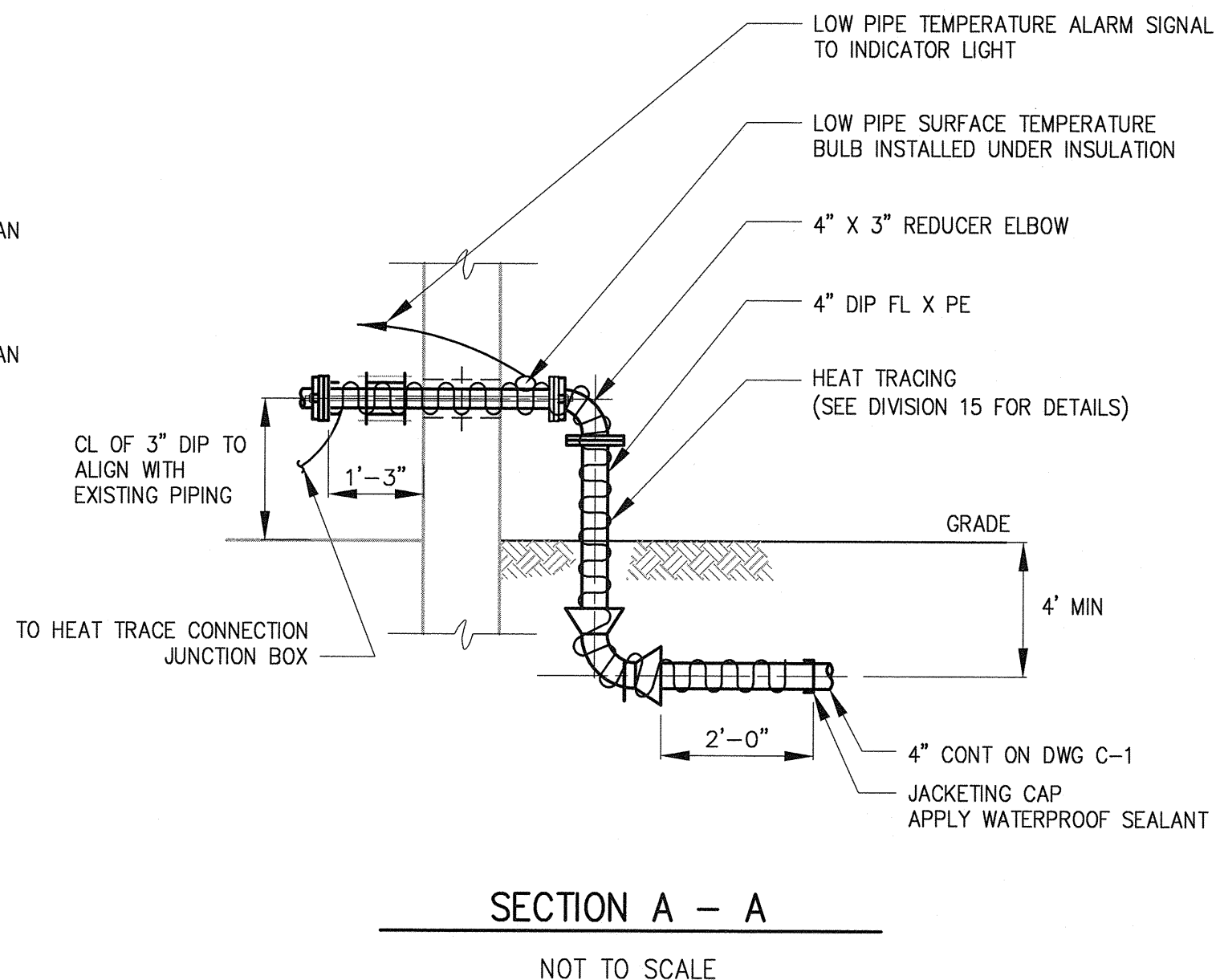
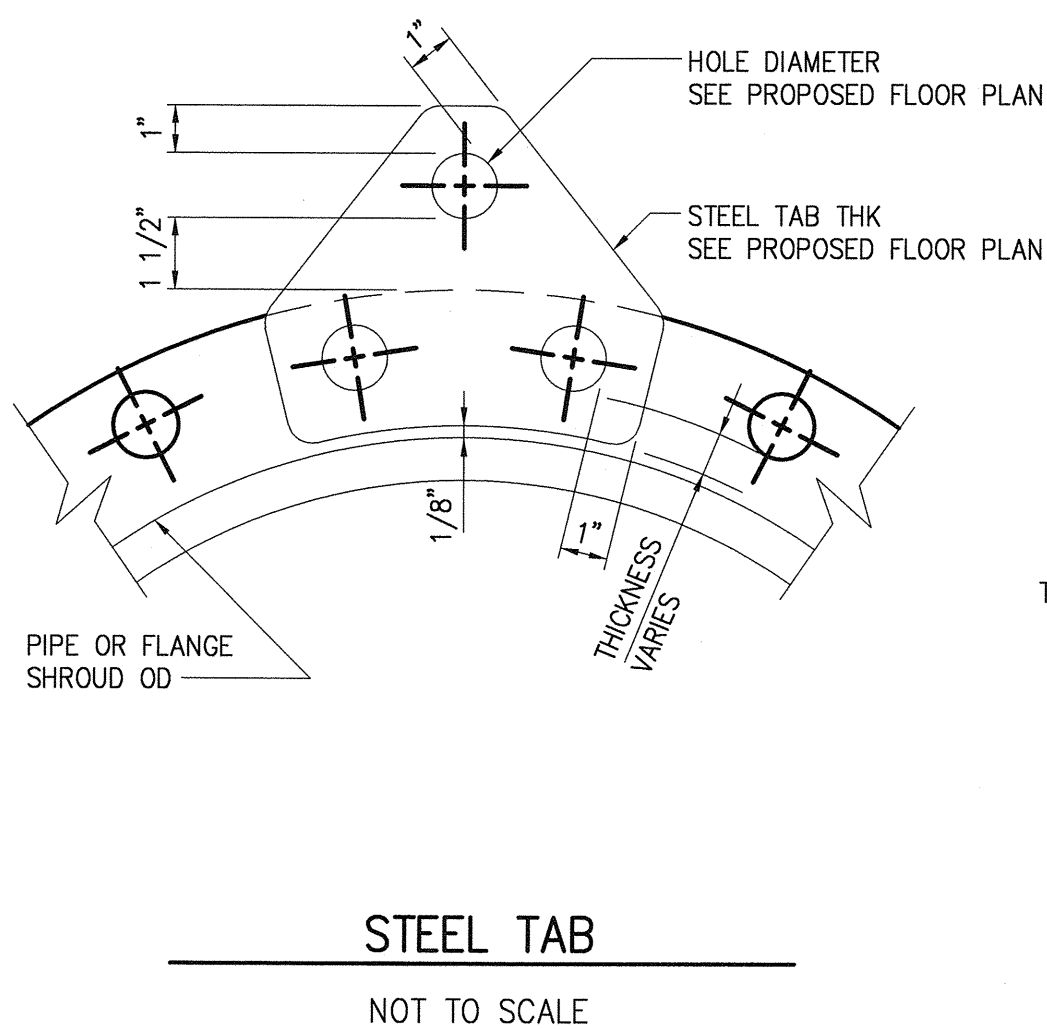
CIVIL
DETAILS

THE SCALE BAR SHOWN BELOW MEASURES ONE INCH LONG ON THE ORIGINAL DRAWING.		DATE	OCTOBER 2015
		H&S JOB NUMBER	90185-000
CONTRACT NUMBER	-	DRAWING NUMBER	C-4

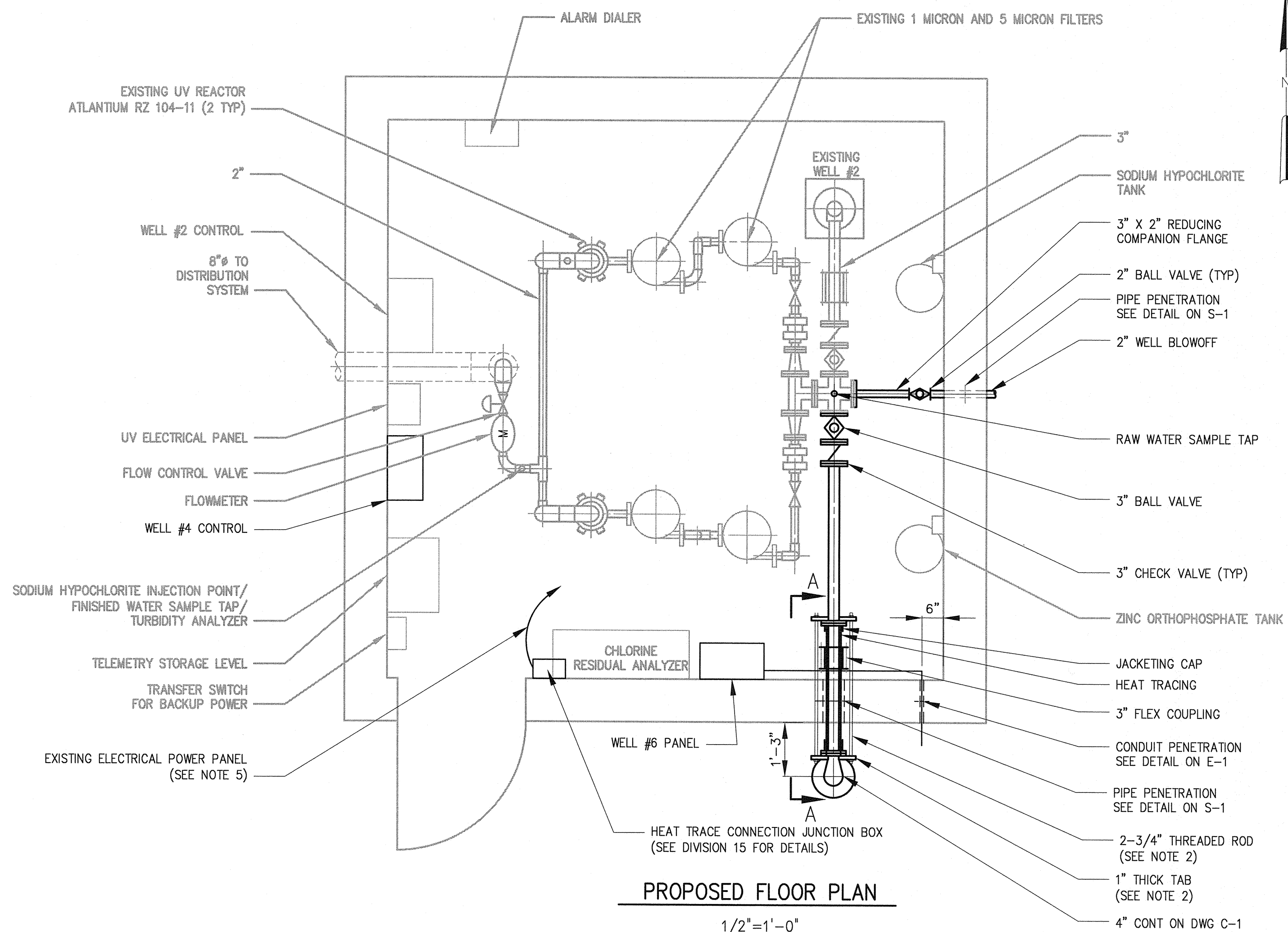
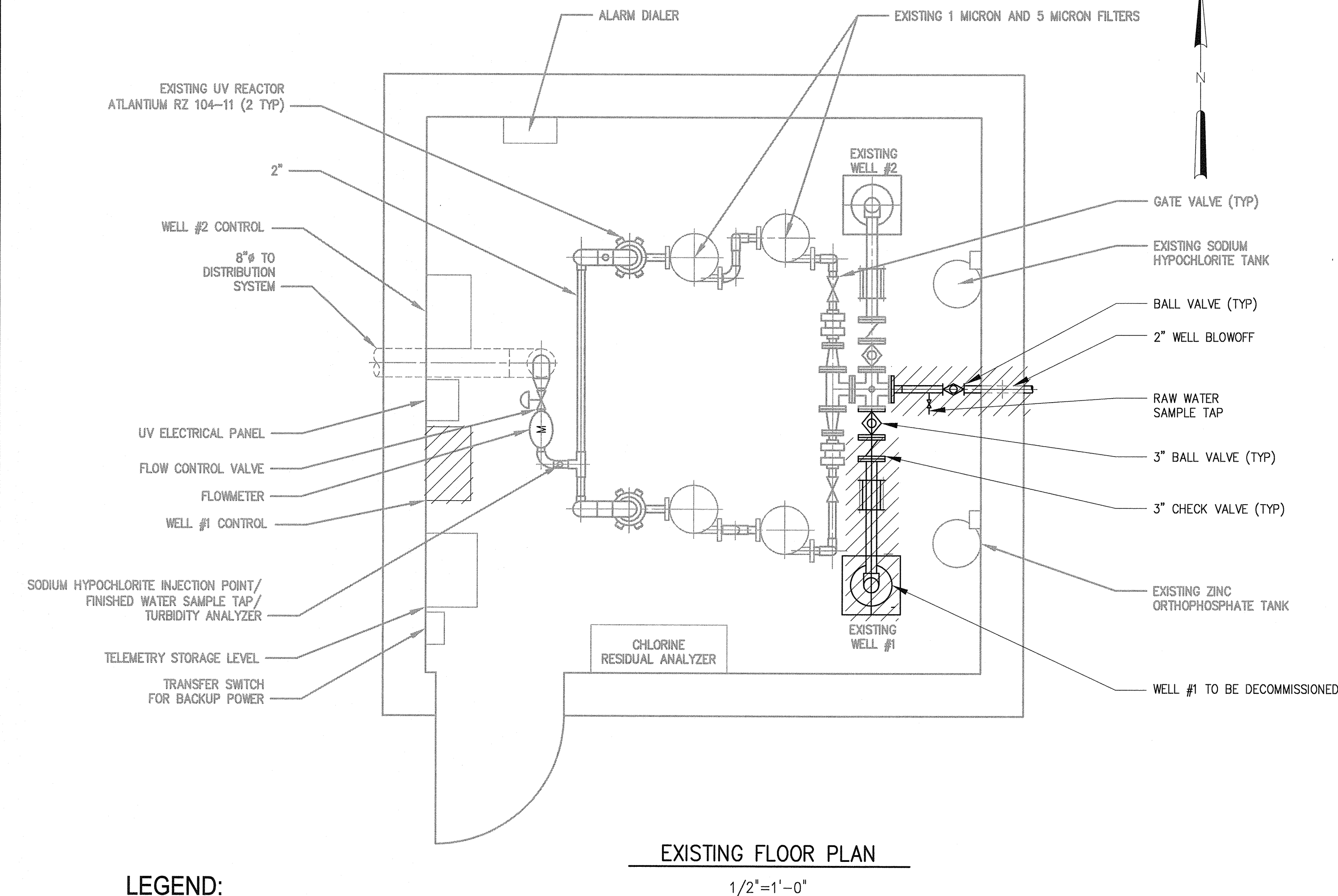
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B	WCDH REVISIONS PUMP 6	AUG 2016	KLB		
A	BID SET	OCT 2015	KLB		
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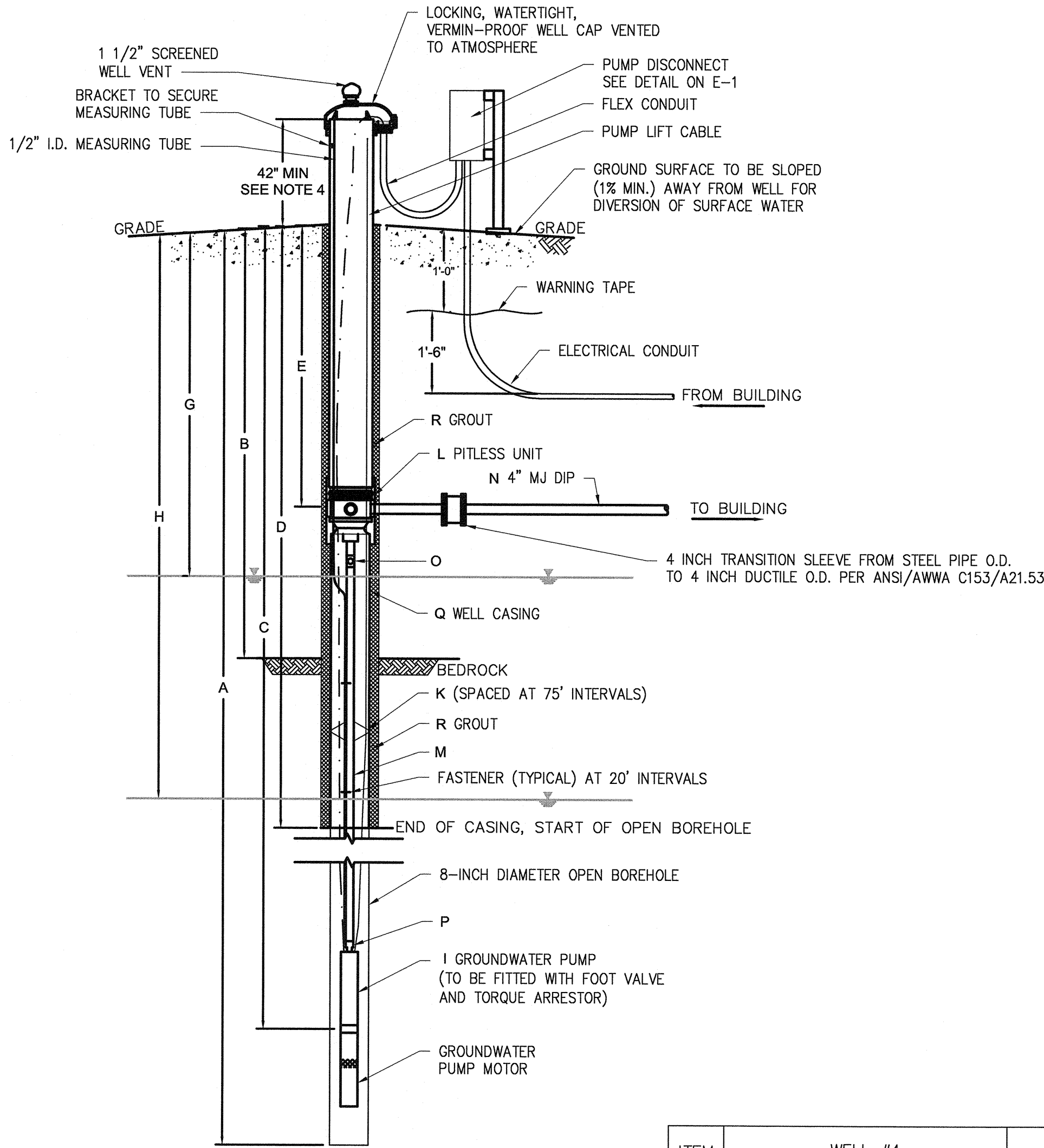


1/2"=1'-0" 12" 0 1 3'



- NOTES:
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSION.
 - THREADED ROD AND TAB SHALL BE ASTM A36.
 - CONTRACTOR SHALL PROVIDE 208V POWER SUPPLY TO HEAT TRACE CONNECTION JUNCTIONS BOX BY FURNISHING AND INSTALLING NEW BREAKERS IN AVAILABLE SPACE OF EXISTING 208/120V POWER PANEL LOCATED IN WELL HOUSE BUILDING. CONTRACTOR SHALL FURNISH AND INSTALL ONE (1) NEW 20 AMP 2-POLE BREAKER IN EXISTING POWER PANEL.
 - ALL POWER CONDUITS ARE SHOWN DIAGRAMMATICALLY EXACT RUNS SHALL BE DETERMINED BY THE ELECTRICAL CONTRACTOR IN THE FIELD.
 - CONTRACTOR SHALL RUN ONE (1) 3/4" C RGS, 2#12 & 1#12 GND.

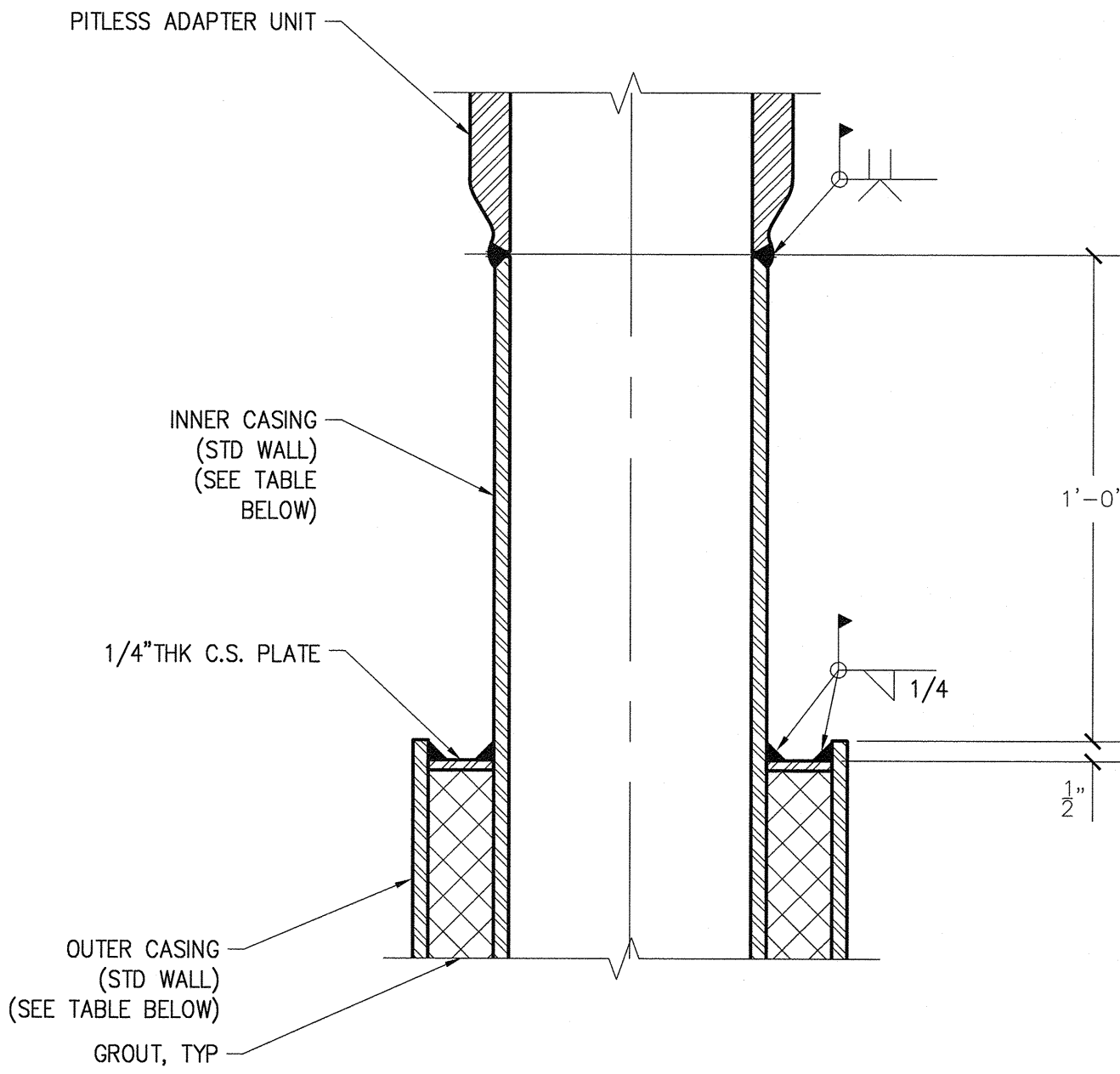
WCDH REVIEW



STANDARD WELL PROFILE
NOT TO SCALE

- NOTES:
1. TBD: TO BE DETERMINED
 2. FT BG: FEET BELOW GRADE
 3. A TORQUE ARRESTOR SHALL BE INSTALLED ON THE RISER PIPE IMMEDIATELY ABOVE THE PUMP TO MINIMIZE MOVEMENT OF THE PUMP AND RISER PIPE WHEN THE PUMP STARTS.
 4. PERMANENT CASING FOR ALL GROUNDWATER SOURCES SHALL PROJECT AT LEAST 42" INCHES ABOVE GROUND SURFACE.
 5. HISTORIC FLOOD LEVEL AT THE WILD OAKS SITE IS WITHIN 1 FT ABOVE FINISHED FLOOR ELEVATION AT THE WELL HOUSE.

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PITLESS ADAPTER CONNECTION DETAIL
NOT TO SCALE

ITEM	WELL #4	WELL #6	COMMENTS
A	425	420	TOTAL DEPTH OF WELL (FT BG)
B	54	50	DEPTH TO BEDROCK (FT BG)
C	360	365	PUMP PLACEMENT DEPTH (FT BG)
D	54' (12" CASING) 104' (8" CASING)	38' (12" CASING) 100' (8" CASING)	DEPTH OF CASING MINIMUM 50 FT BG OR 10 FT INTO BEDROCK IF DEPTH BEDROCK IS GREATER THAN 50 FT
E	4.5	4.5	DEPTH OF PITLESS CONNECTION (FT BG)
F	MINIMUM 1.5 SEE NOTE 4	MINIMUM 1.5 SEE NOTE 4	HEIGHT OF WELL CAP ABOVE GRADE (FT)
G	0 (ARTESIAN)	0 (ARTESIAN)	STATIC WATER LEVEL (FT BG)
H	320	260	PUMPING WATER LEVEL (FT BG)
I	SEE PUMP DATA TABLE	SEE PUMP DATA TABLE	SUBMERSIBLE PUMP, MANUFACTURER AND MODEL
J	SEE PUMP DATA TABLE	SEE PUMP DATA TABLE	PUMP DESIGN FLOW AND TOTAL DYNAMIC HEAD
K	-	-	CENTRALIZER, MANUFACTURER AND MODEL
L	BAKER MONITOR	BAKER MONITOR	PITLESS CONNECTION, MANUFACTURER AND MODEL
M	3"	3"	RISER PIPE DIAMETER
N	4"	4"	DISCHARGE PIPE DIAMETER
O	YES	YES	CHECK VALVE
P	YES	YES	REDUCER
Q	8-INCH	8-INCH	CASING DIAMETER
R	BOTTOM OF WELL CASING TO GRADE	BOTTOM OF WELL CASING TO GRADE	GROUT

- NOTES:
1. THIS PITLESS UNIT SHALL CONFORM TO THE STANDARDS FOR WATER WORKS. THIS UNIT WILL BE COMPLETELY ASSEMBLED AND TESTED BEFORE SHIPPING. MAXIMUM RATED DISCHARGE PRESSURE IS 300 PSI.
 2. WELL CAP ASSEMBLY SHALL ACCOMMODATE TWO 1-INCH PVC PROBES. ONE FOR PRESSURE INSTRUMENT INSTALLATION AND ONE FOR MANUAL WATER LEVEL MEASUREMENT.
 3. PROVIDE NFS61 APPROVED EPOXY COATING.
 4. PROVIDE SEALED ELECTRICAL CONDUIT CONNECTIONS.

PUMP DATA TABLE							
NAME	MANUFACTURER	MODEL	FLOW (gpm)	TDH (ft)	SPEED (rpm)	HORSEPOWER	USE
WELL #4 SUBMERSIBLE PUMP	GRUNDFOS	85S200	80	610	3600	20 HP	PUMPS FROM GROUNDWATER WELL TO TREATMENT AND DISTRIBUTION
WELL #6 SUBMERSIBLE PUMP	GRUNDFOS	85S200	80	550	3600	20 HP	PUMPS FROM GROUNDWATER WELL TO TREATMENT AND DISTRIBUTION

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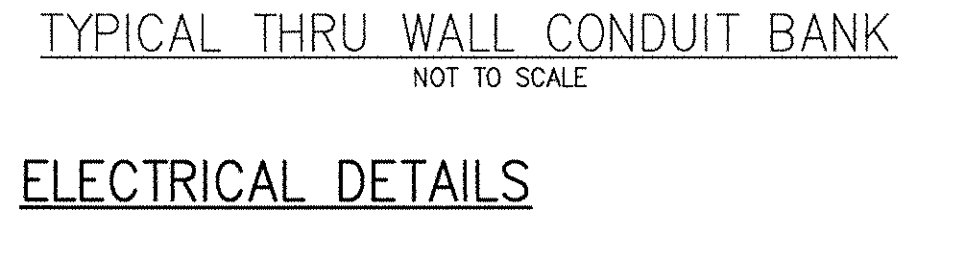
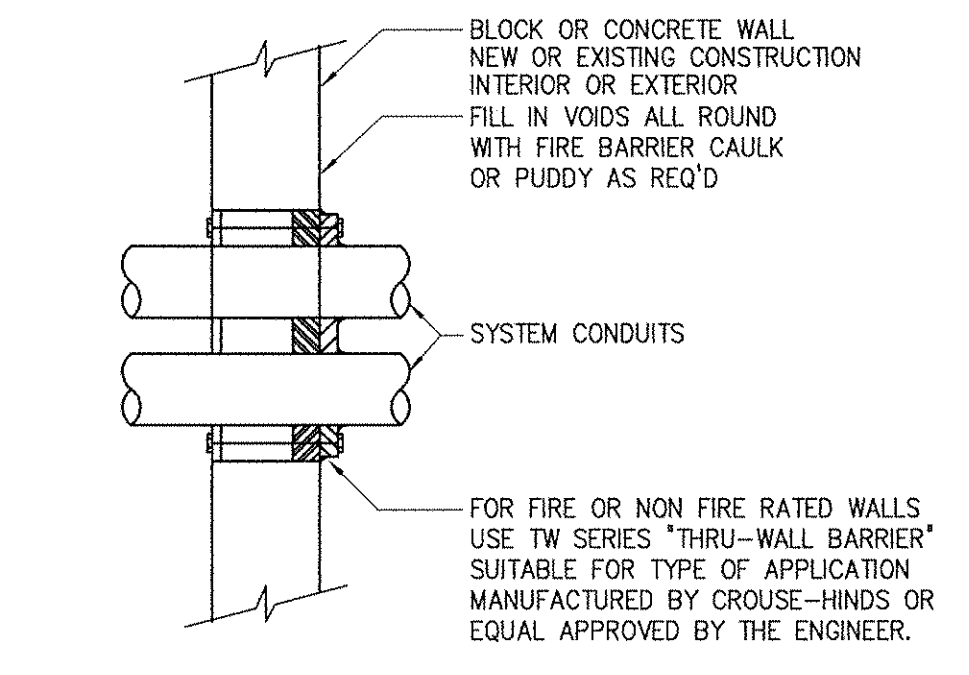
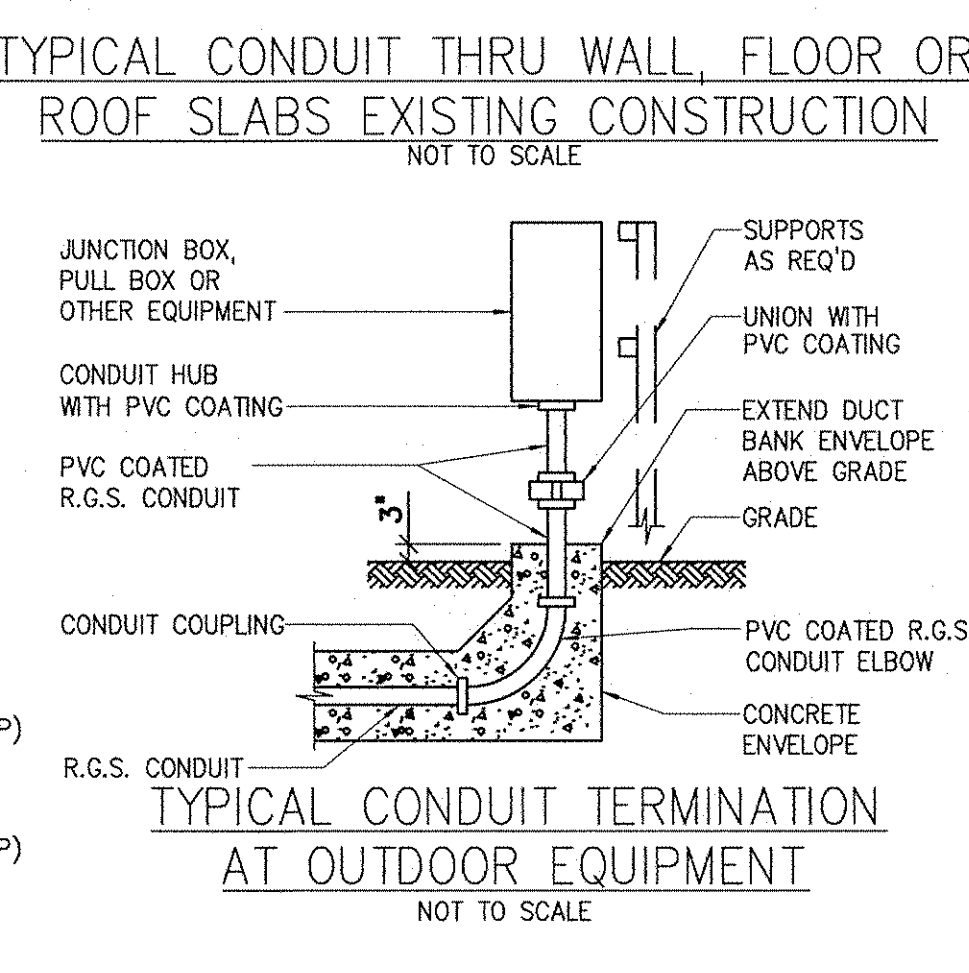
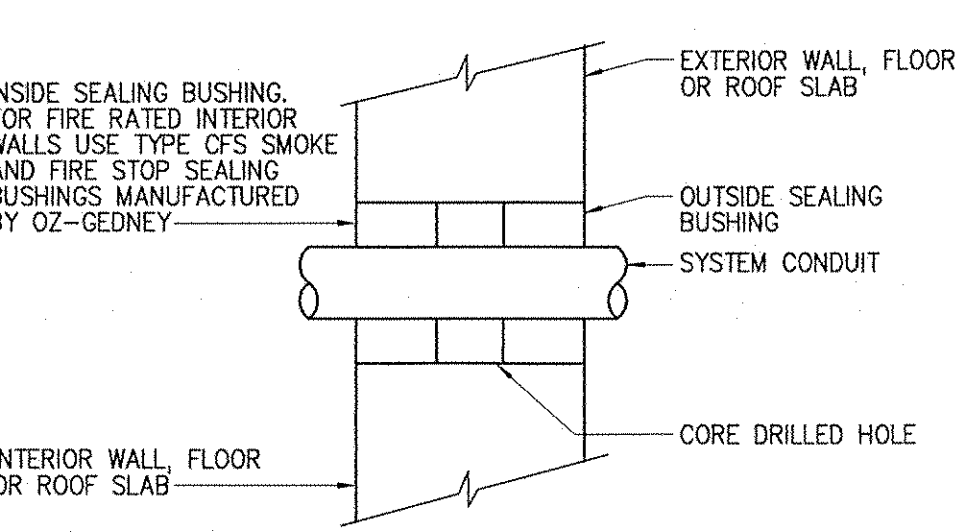
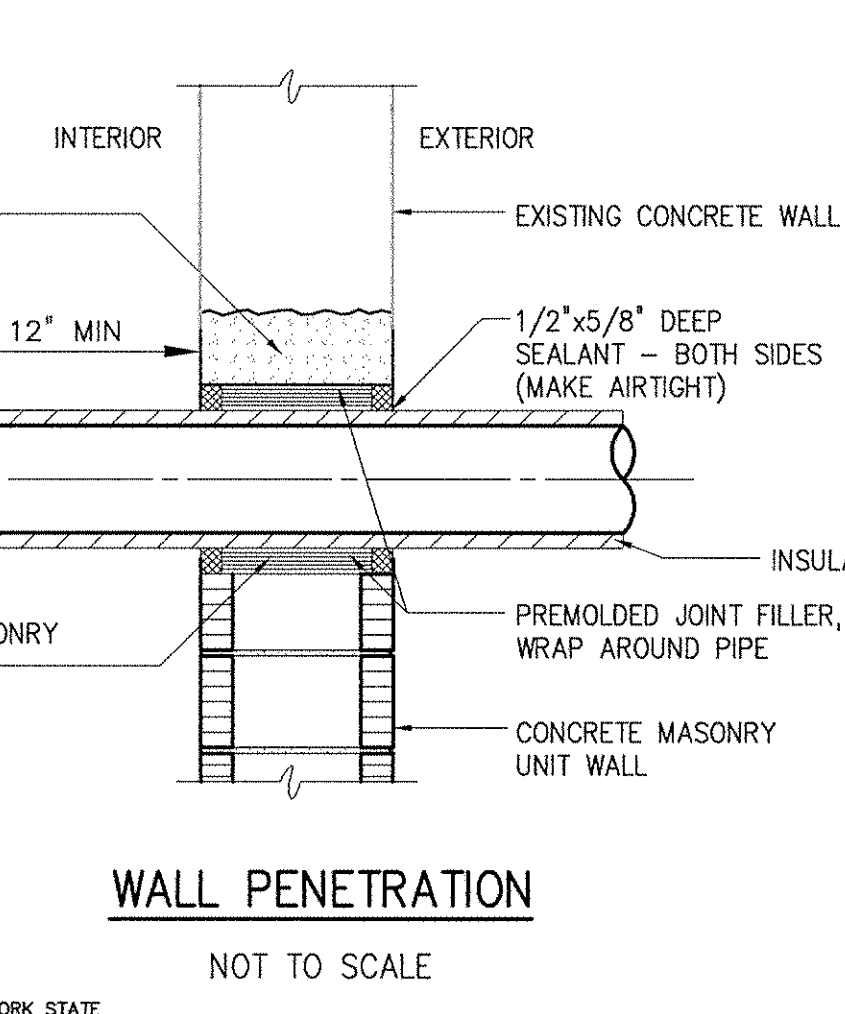
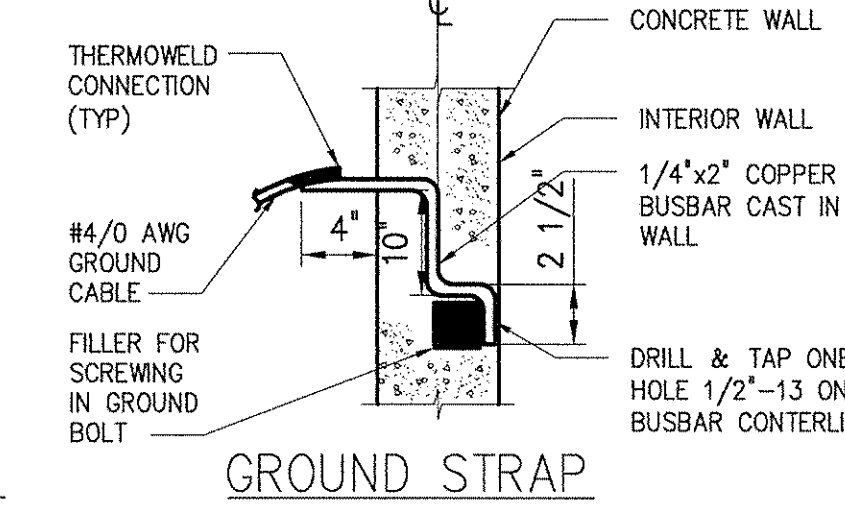
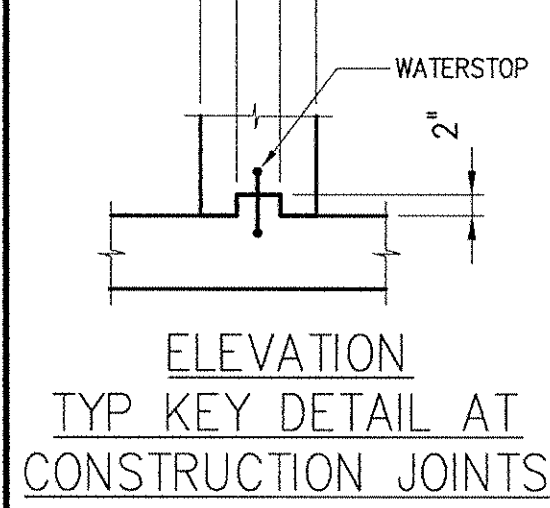
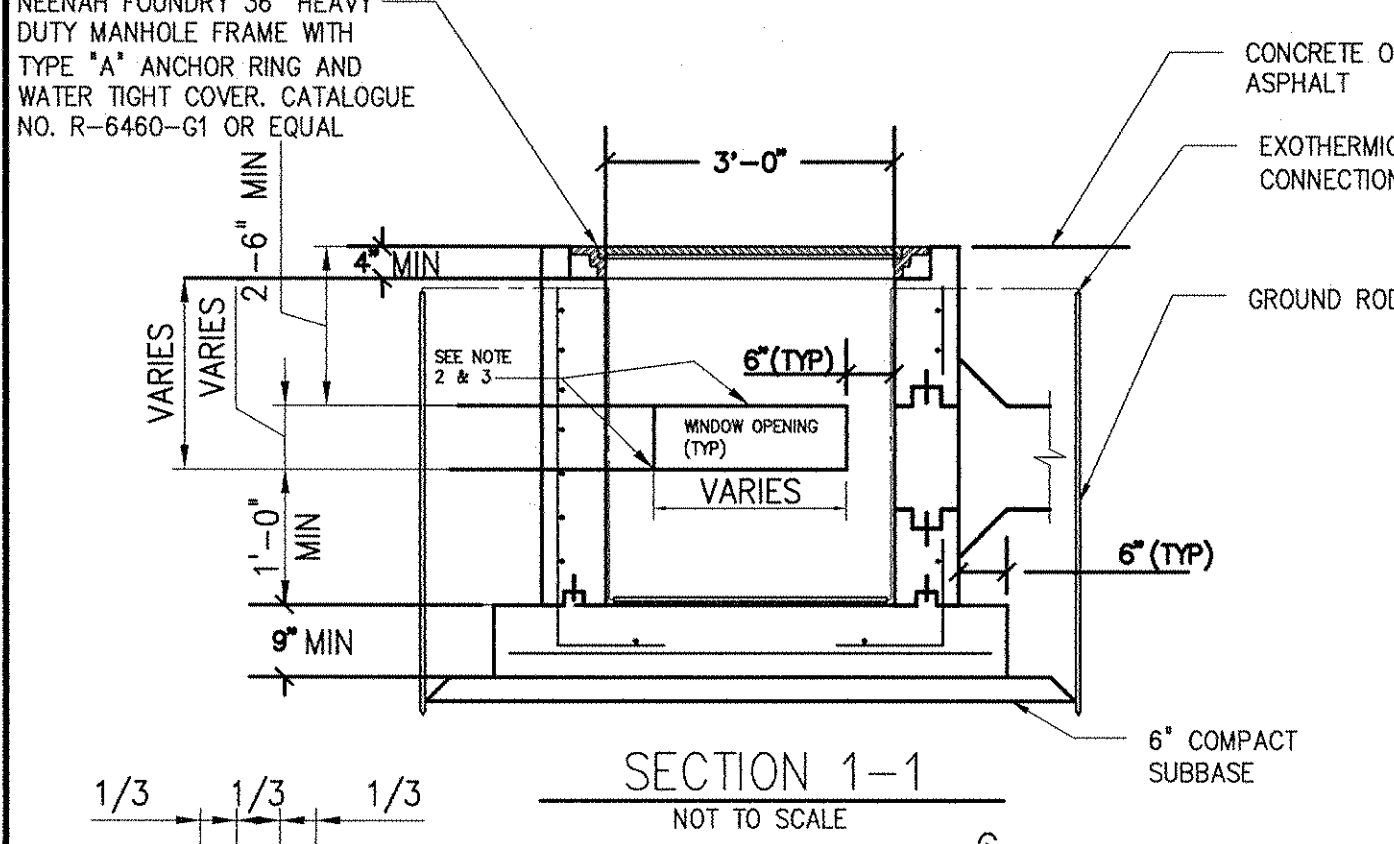
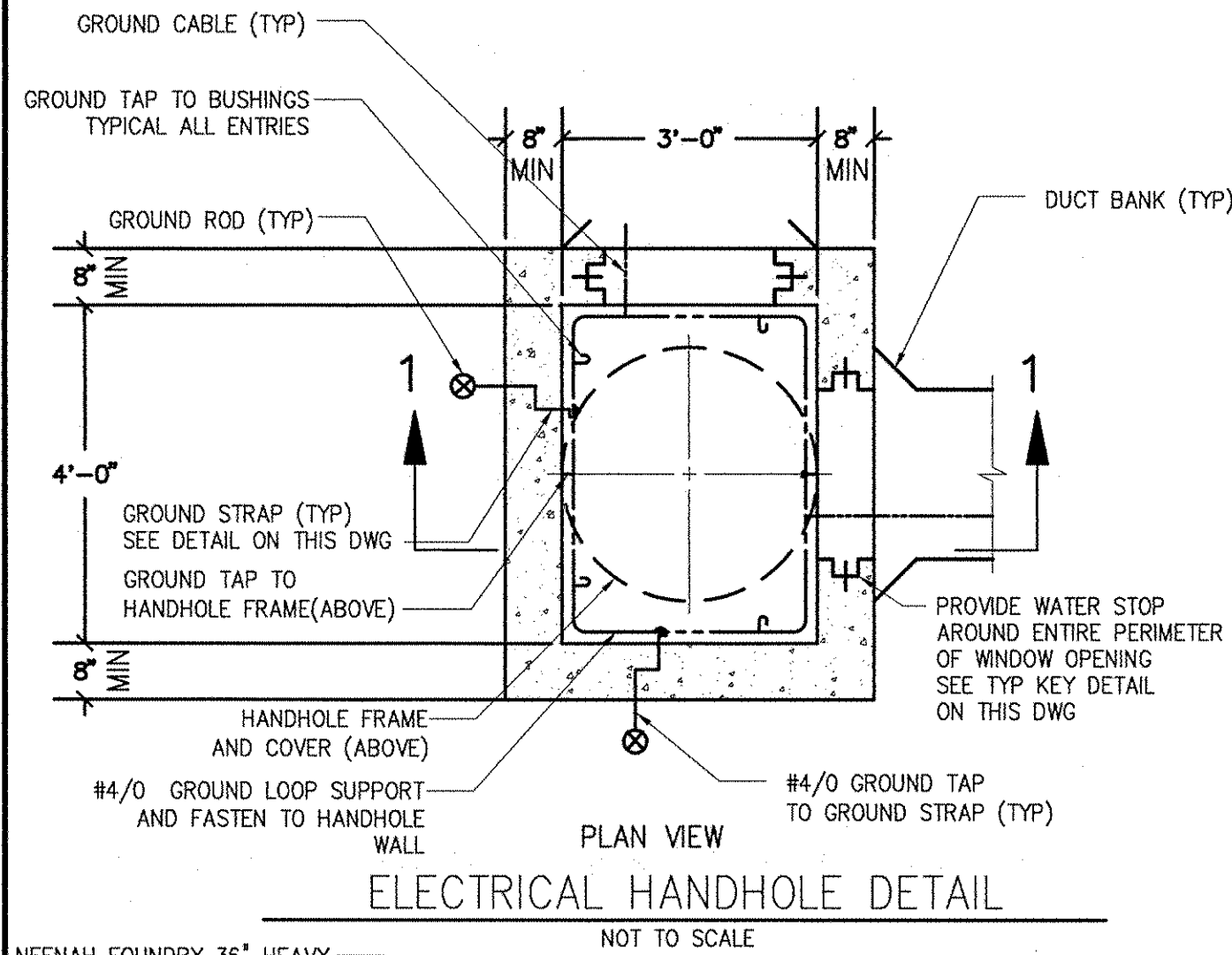


WILD OAKS GROUNDWATER WELL REPLACEMENT

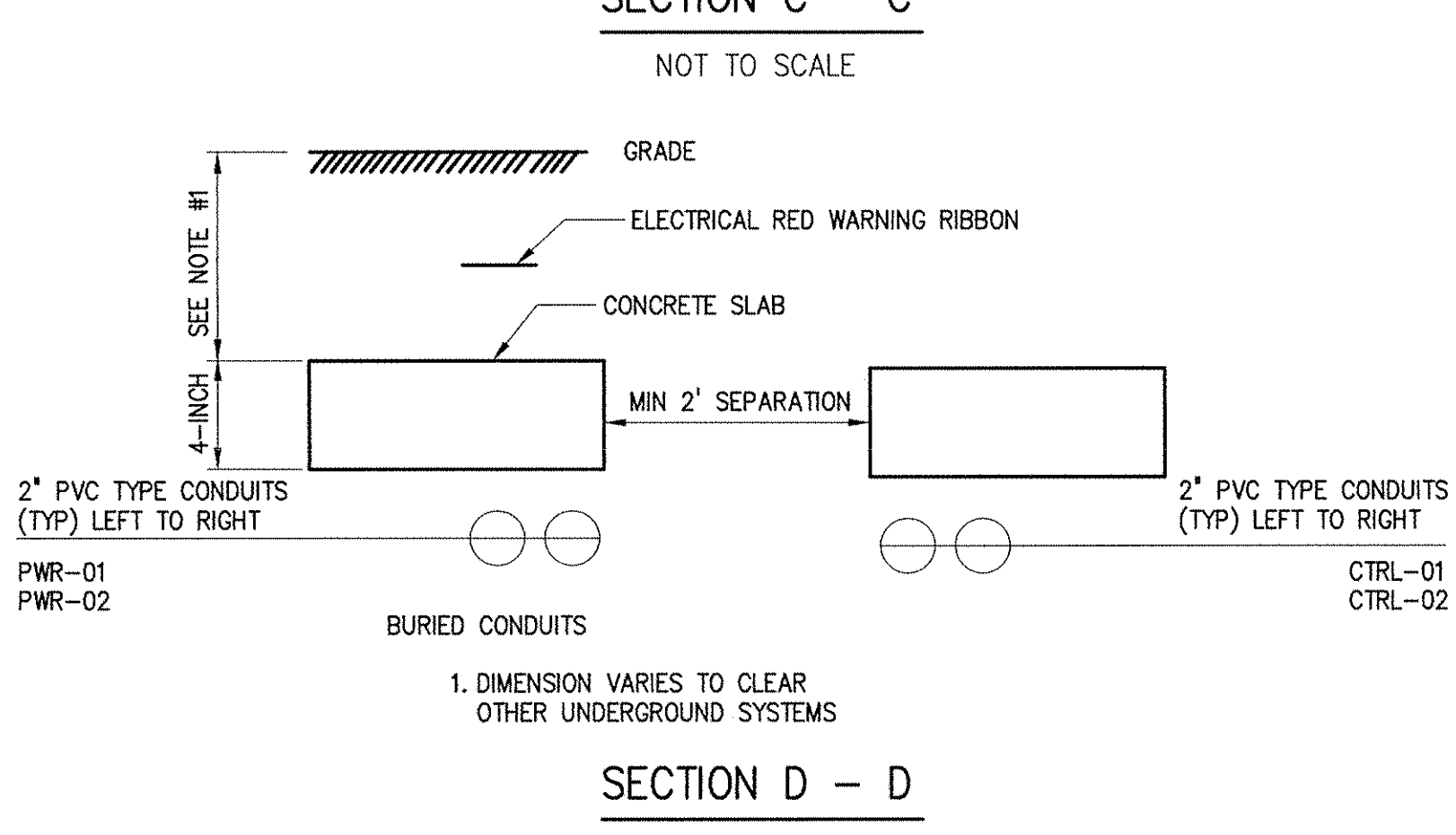
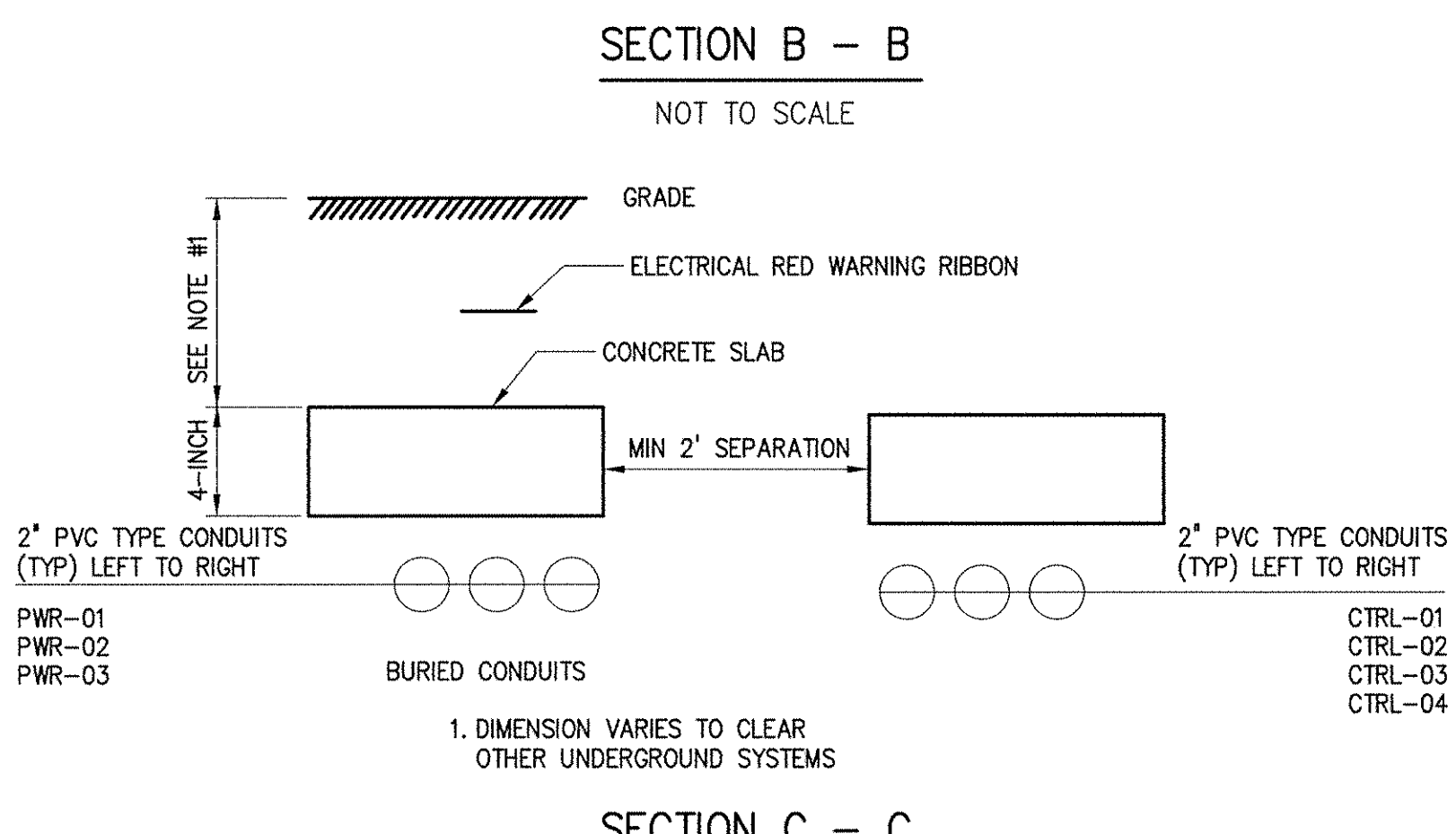
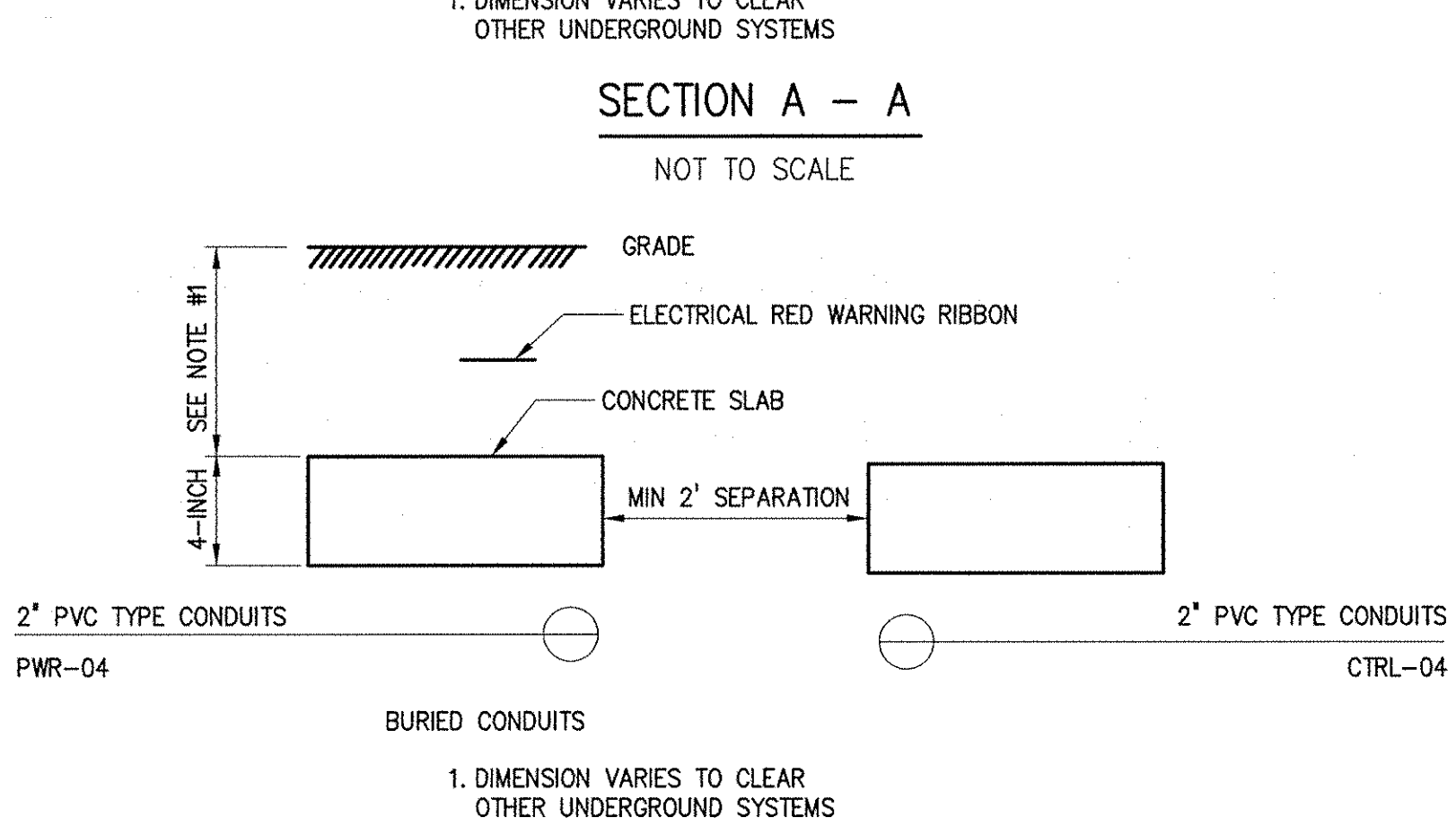
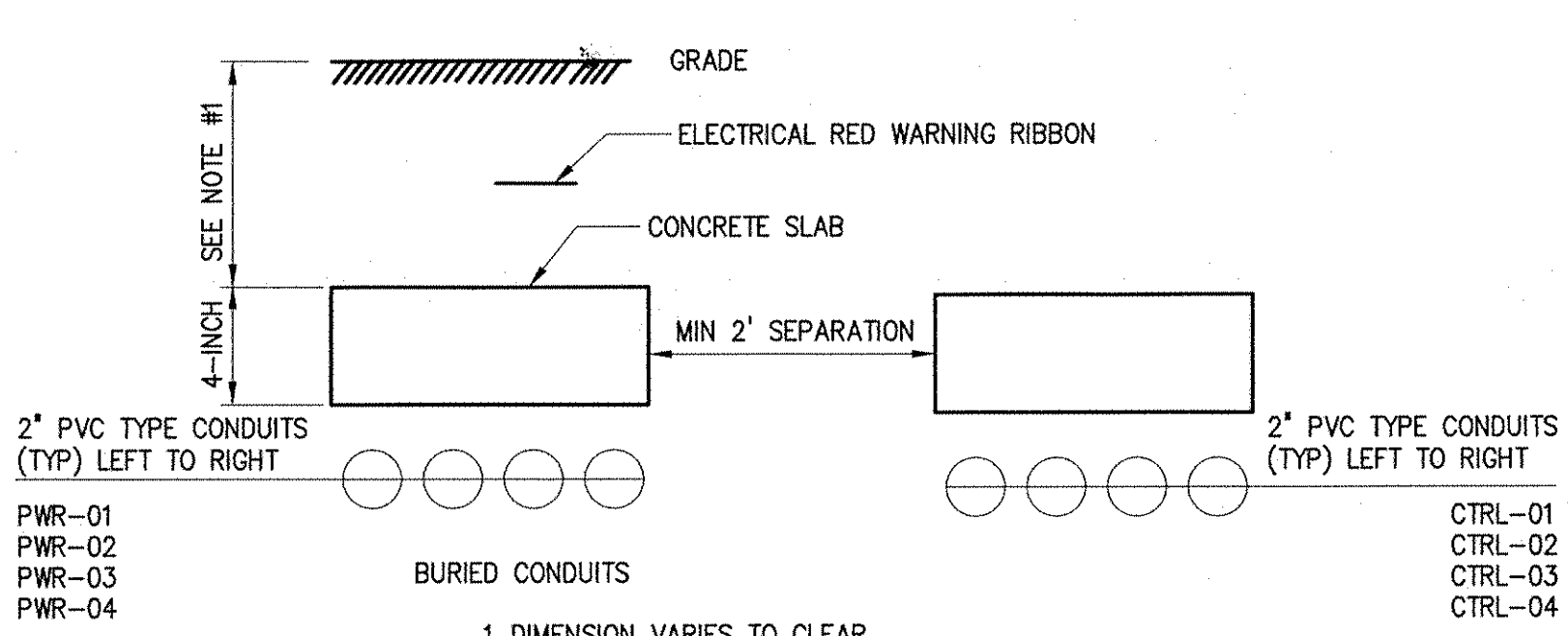
MECHANICAL
PUMP SCHEDULE AND
MISCELLANEOUS DETAILS

THE SCALE BAR SHOWN BELOW MEASURES ONE INCH LONG ON THE ORIGINAL DRAWING.	DATE OCTOBER 2015	
	H&S JOB NUMBER	90185-000
	CONTRACT NUMBER	DRAWING NUMBER
	-	M-2

WCDOH REVIEW



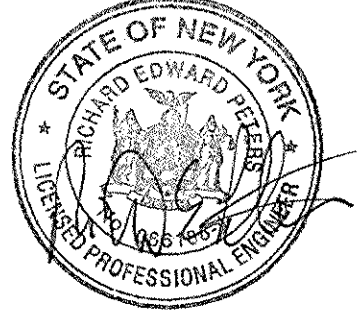
- ELECTRICAL HAND HOLE NOTES:
1. WATERPROOFING ELECTRICAL HANDHOLES SHALL BE IN ACCORDANCE WITH SPECIFICATION 16134.
 2. HANDHOLE WINDOW OPENINGS SIZES SHALL BE BASED ON DUCTBANK/CONDUIT CONFIGURATIONS. THE LOCATION AND ELEVATION OF THE DUCTBANK/CONDUIT ENTERING THE HANDHOLE SHALL BE DETERMINED BY THE CONTRACTOR BASED ON ACTUAL FIELD CONDITIONS.
 3. WINDOW DIMENSIONS MAY VARY BASED ON ACTUAL DUCTBANK/CONDUIT ELEVATION AND POINT OF PENETRATION INTO HANDHOLE.
 4. AFTER INSTALLATION OF THE HANDHOLES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING ALL WATER LEAKS THAT MAY OCCUR DUE TO INSTALLATION OF DUCTBANK/CONDUITS THRU WINDOW OPENINGS AND WATER LEAKS AT CONSTRUCTION JOINTS.
 5. FOR NOTES ON STRUCTURAL ELEMENTS SEE GENERAL STRUCTURAL NOTES AND STANDARD DETAILS ON STRUCTURAL DRAWINGS.
 6. ALL HANDHOLES COVERS SHALL BE OF HEAVY DUTY CASTINGS SUITABLE FOR HIGHWAY TRAFFIC WITH H2O WHEEL LOADS AND 30% IMPACT ALLOWANCE.
 7. ADJUST GROUND ROD LENGTH AND NUMBERS AS NECESSARY TO MEET GROUNDING REQUIREMENTS.
 8. WALL AND SLAB THICKNESS AND REINFORCING SHOWN ARE CONCEPTUAL ACTUAL CONFIGURATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH SPECIFICATION 16134.
 9. ELECTRICAL HANDHOLE LOCATIONS REQUIRING A CHIMNEY SHALL BE COORDINATED WITH CIVIL, HANDHOLE COVER SHALL BE FLUSH WITH GRADE.



NOTES:
FOR CABLE AND CONDUIT SCHEDULE SEE DRAWING E-1

WARNING
IT IS A VIOLATION OF SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER IN ANY WAY PLANS, SPECIFICATIONS, PLATS OR REPORTS TO WHICH THE SEAL OF A PROFESSIONAL ENGINEER HAS BEEN APPLIED. IF AN ITEM BEARING THE SEAL OF A PROFESSIONAL ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE, THE DATE, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

DESIGNED	DK
DRAWN	JFB
CHECKED	KLB
PROJ.ENGR.	OT
PROJ.DIR.	REP
A	BID SET
NO.	ISSUED FOR
OCT 2015	KLB
DATE	BY



HAZEN AND SAWYER
Environmental Engineers & Scientists
498 Seventh Avenue
New York, New York 10018

NEW YORK
AMERICAN WATER
WILD OAKS GROUNDWATER WELL REPLACEMENT

STRUCTURAL
DETAILS

THE SCALE BAR SHOWN BELOW MEASURES ONE INCH LONG ON THE ORIGINAL DRAWING.	DATE OCTOBER 2015
H&S JOB NUMBER	90185-000
CONTRACT NUMBER	-
DRAWING NUMBER	S-1

BID SET

GENERAL NOTES

- DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. FOLLOW DRAWINGS IN LAYING OUT WORK AND CHECK DRAWINGS OF OTHER TRADES TO VERIFY SPACE CONDITIONS. MAINTAIN HEADROOM AND PROJECT SPACE CONDITIONS CONSISTENT WITH PROJECT AREA.
- THE ROUTING AND LOCATION OF CONDUIT RUNS ARE GENERALLY NOT DIMENSIONAL ON THE DRAWINGS BUT SHALL BE DETERMINED IN THE FIELD SUIT THE LOCATIONS OF EQUIPMENT, TO CONFORM TO CIVIL AND MECHANICAL FEATURES AND TO AVOID INTERFERENCES.
- ALL EXPOSED CONDUIT SHALL BE RUN PARALLEL TO BUILDING WALLS AND BEAMS EXCEPT WHERE OTHERWISE SHOWN ON PLAN.
- EXPOSED CONDUIT SHALL BE SUPPORTED FROM WALLS AND/OR CEILING BY APPROVED HANGERS OF ANGLE OR CHANNEL CONSTRUCTION.
- EXPANSION FITTINGS SHALL BE FURNISHED AND INSTALLED WHERE CONDUITS EXPOSED OR CONCEALED PASS THROUGH STRUCTURAL JOINTS. OZ/GEDNEY TYPE "EX" FOR EXPOSED AND TYPE "DX" FOR CONCEALED OR APPROVED EQUAL.
- EXACT CONDUIT STUB-UP LOCATIONS ARE TO BE DETERMINED BY THE ELECTRICAL CONTRACTOR BASED ON THE CERTIFIED MANUFACTURER'S DRAWINGS OF THE RESPECTIVE EQUIPMENT. CONDUITS SHALL BE INSTALLED TO AGREE WITH THE EQUIPMENT FURNISHED.
- CONDUIT FOR POWER AND LIGHTING PASSING THROUGH CONCRETE FLOORS OR WALLS BELOW GRADE SHALL BE INSTALLED WITH CONDUIT SEALING FITTINGS. OZ/GEDNEY TYPE "FSK", "WSK" OR APPROVED EQUAL.
- IN GENERAL THE FOLLOWING MOUNTING DIMENSIONS ABOVE FINISHED FLOOR SHALL BE ADHERED TO EXCEPT AS NOTED ON PLANS:
RECEPTACLES = 1' - 6" TO CENTER LINE
LIGHTING SWITCHES = 4' - 6" TO CENTER LINE
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ELECTRICAL EQUIPMENT WITH LUGS AND TERMINATIONS TO MATCH ALL FEEDER AND CIRCUIT REQUIREMENTS.
- WHEREVER THE INSTALLATION OF ELECTRICAL EQUIPMENT AS SHOWN ON THE DRAWINGS IS IMPRACTICAL DUE TO LOCAL INTERFERENCE OR OTHER REASONS THE CONTRACTOR SHALL INSTALL THE EQUIPMENT AT NEW LOCATIONS AS DIRECTED BY THE ENGINEER.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE OTHER CONTRACTORS FOR FINAL LOCATIONS OF FIELD INSTRUMENTS, LOCAL CONTROL STATION/CONTROL PANELS, & MECHANICAL EQUIPMENT PRIOR TO SUBMITTAL OF CONDUIT LAYOUTS AND CONNECTIONS.
- THE ELECTRICAL CONTRACTOR SHALL INSTALL GROUND WIRES IN ALL POWER & CONTROL. SIZES SHALL BE AS PER N.E.C. MINIMUM SIZE SHALL BE #12 AWG.
- FINAL TAGGING FOR ALL PROCESS INSTRUMENTATION AND CONTROL EQUIPMENT MUST BE COORDINATED WITH THE CONTRACT DRAWINGS PRIOR TO SUBMITTAL OF POINT-TO-POINT WIRING DIAGRAMS AND CONDUIT LAYOUT DRAWINGS.
- ALL CONDUITS AND FITTINGS INSTALLED OUTDOORS SHALL BE TYPE RIGID NONMETALLIC CONDUIT (RNC), PVC SCHEDULE 80. ALL STRUT MATERIAL AND MOUNTING HARDWARE SHALL BE (316) STAINLESS STEEL, EQUIPMENT ENCLOSURES & JUNCTION BOXES SHALL BE NEMA 4X (316) STAINLESS STEEL.
- ALL CONDUITS AND WIRING PASSING THRU WALLS AND FLOORS SHALL BE SEALED TO PREVENT THE PASSAGE OF MOISTURE WHERE REQUIRED. CONDUIT SEALING FITTINGS SHALL BE TRIPLE-COATED WITH ZINC ELECTROPLATE, DICHROMATE AND EPOXY POWDER AS MANUFACTURED BY APPLETON OR APPROVED EQUAL.
- THE CONTRACTOR SHALL FIREPROOF/SEAL ALL INTERIOR CONDUITS PASSING THRU WALLS, FLOORS AND CEILINGS IN ACCORDANCE WITH SPEC SECTION 07840 FIRESTOPPING. ADDITIONALLY, THE CONTRACTOR SHALL FIREPROOF/SEAL ALL EXTERIOR CONDUITS PENETRATING THRU WALLS, FLOORS AND ROOFS NOT COVERED BY THE GENERAL CONTRACTOR IN ACCORDANCE WITH SPEC SECTION 07840.
- PROVIDE JUNCTION BOXES AS REQUIRED TO COMBINE POWER CIRCUITS OR TO EXTEND THE POWER CIRCUITS.
- ALL CONCRETE WORK FOR DUCT BANK, LIGHTING POLE BASES ETC SHALL BE COORDINATED WITH CIVIL/STRUCTURAL DESIGNS AND APPROVED BY THEM BEFORE COMMENCING INSTALLATION.
- ALL EMPTY CONDUITS SHALL BE PROVIDED WITH #12 AWG STEEL DRAG WIRES. THE CONTRACTOR SHALL NOT INSTALL MORE THAN THE NUMBER OF CIRCUITS SHOWN IN ANY HOMERUN CIRCUIT.

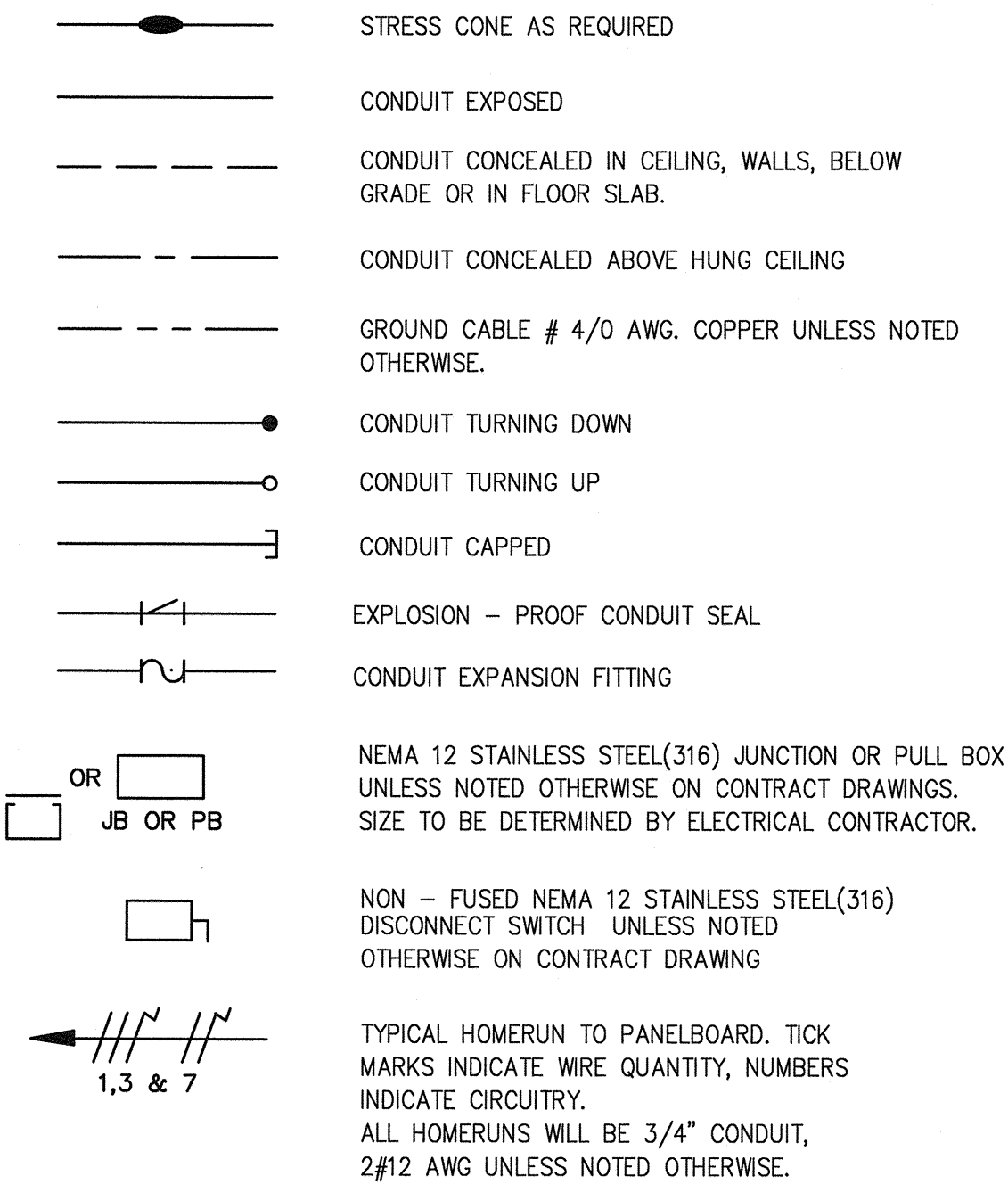
ABBREVIATIONS

A	AMPERE
AFF	ABOVE FINISHED FLOOR
ATS	AUTOMATIC TRANSFER SWITCH
C.I	CAST IRON
CP	CATHODIC PROTECTION
DFT	DRY FILM THICKNESS
DIA	DIAMETER
DWG	DRAWING
FO	FIBER OPTIC
RMC	RIGID METALLIC CONDUIT
MH	MANHOLE
MCB	MAIN CIRCUIT BREAKER
MTS	MANUAL TRANSFER SWITCH
HH	HANDHOLE
NTS	NOT TO SCALE
NEC	NATIONAL ELECTRICAL CODE
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NETA	INTERNATIONAL ELECTRICAL TESTING ASSOCIATION
NTS	NOT TO SCALE
RGS	RGID GALVANIZED STEEL CONDUIT
PVC	POLYVINYL CHLORIDE
TYP	TYPICAL
VA	VOLT-AMPS

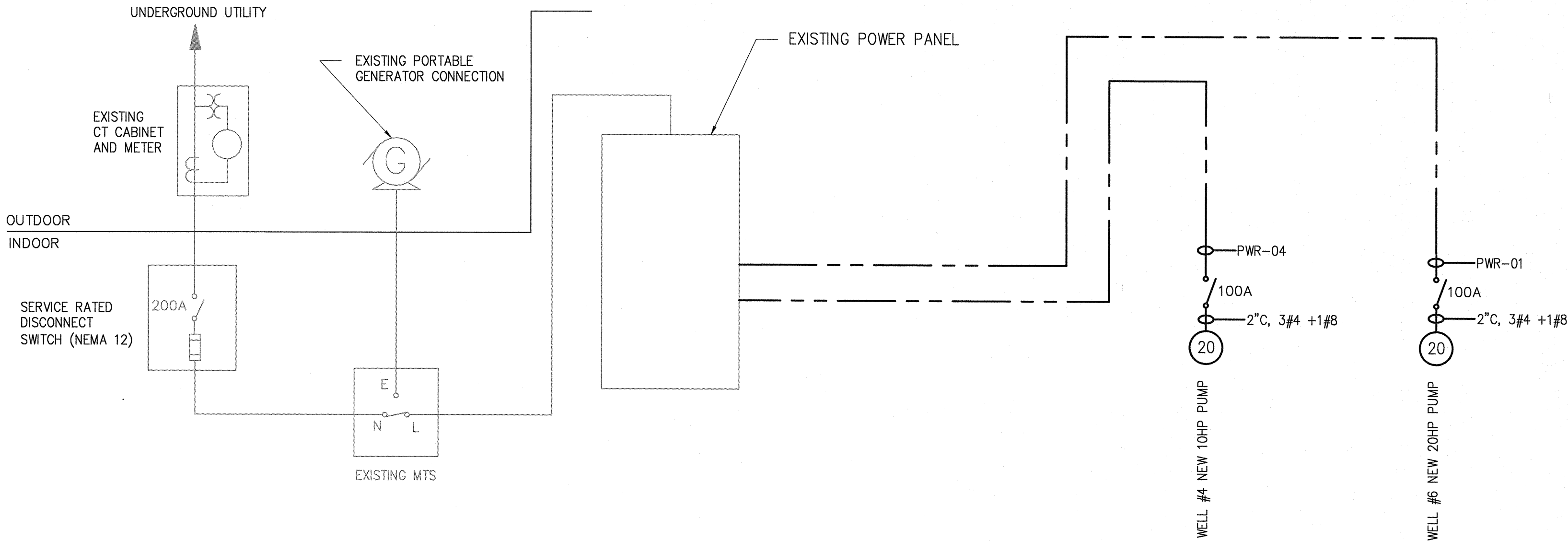
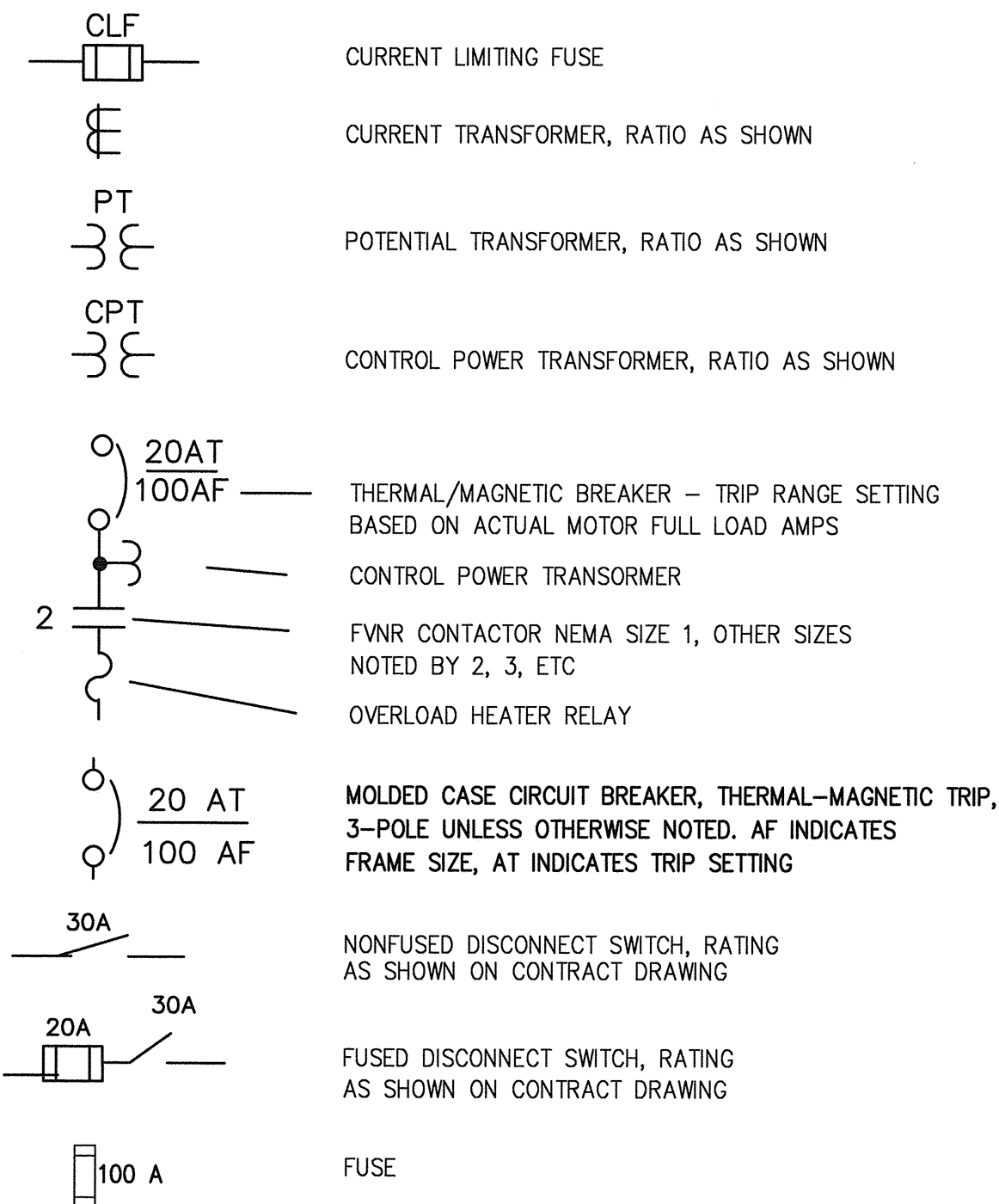
WARNING

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POWER LAYOUT DRAWING SYMBOLS



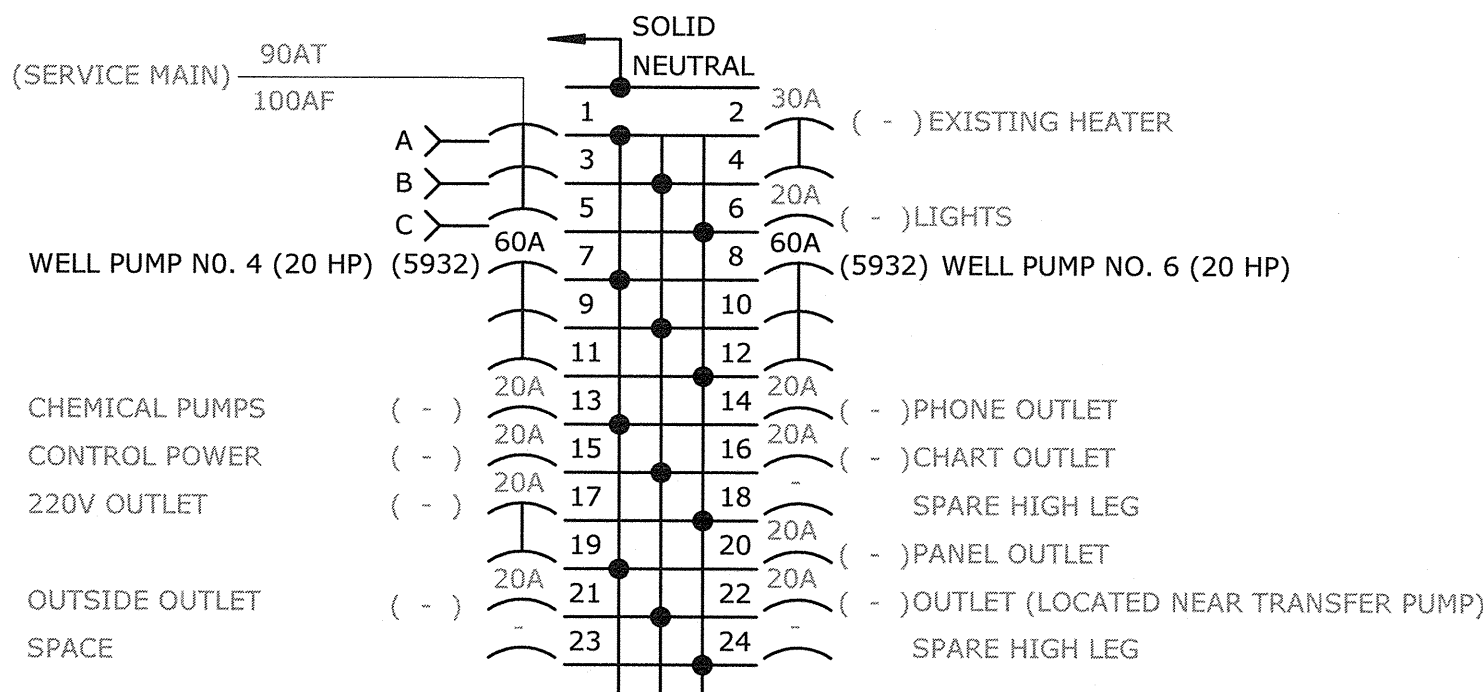
SINGLE LINE DIAGRAM SYMBOLS



NOTES:

- EXISTING ELECTRICAL SYSTEM SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- FOR ELECTRICAL EQUIPMENT AND DEVICE LAYOUT REFER TO MECHANICAL DRAWING NO. M-1 AND CIVIL DRAWING NO. C-1.
- FOR ELECTRICAL CONDUIT ROUTING LAYOUT REFER TO MECHANICAL DRAWING NO. M-1 AND CIVIL DRAWING NO. C-1.
- SEE MODIFIED EXISTING PANEL SCHEDULE LOCATED ON THIS DRAWING.
- SEE CABLE AND CONDUIT SCHEDULE ON THIS DRAWING.
- WELL PUMPS SHALL HAVE A FOUR-WAY SELECTOR SWITCH TO ALLOW ONLY ONE OF THE FOUR WELLS TO OPERATE. SELECTOR SWITCH PROVIDED BY OTHERS.

MODIFIED EXISTING SINGLE LINE DIAGRAM



LOAD-WATTS						
	AN	BN	CN	AB	BC	CA
SUB TOT	X	X	X	X	X	X
TOTAL	11,864					

EXISTING POWER PANEL

240V/120V, 3PH, 60HZ, 4 WIRE

NOTES:

- EXISTING ELECTRICAL SYSTEM SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY EXISTING LOAD ON EXISTING POWER PANEL.
- FOR ELECTRICAL EQUIPMENT AND DEVICE LAYOUT REFER TO MECHANICAL DRAWING NO. M-1 AND CIVIL DRAWING NO. C-1.
- FOR ELECTRICAL CONDUIT ROUTING LAYOUT REFER TO MECHANICAL DRAWING NO. M-1 AND CIVIL DRAWING NO. C-1.
- CONTRACTOR SHALL VERIFY DISTRIBUTION PANEL FOR SPARE BREAKER.
- CONTRACTOR SHALL FURNISH AND INSTALL 20 AMP DOUBLE PULL CIRCUIT BREAKER FOR WELL PUMP NO.S 4 & 6

MODIFIED EXISTING POWER PANEL SCHEDULE

CABLE AND CONDUIT SCHEDULE

CONDUIT #	CONDUIT SIZE	CONDUIT TYPE	CONDUIT FILL	FROM	TO	COMMENTS
PWR-01	2"	RGS/PVC SCHD 80	3#4 & 1#8 GND	EXISTING POWER PANEL	WELL PUMP MOTOR NO.6	VIA DISCONNECT SWITCH
PWR-02	2"	RGS/PVC SCHD 80	SPARE	EXISTING POWER PANEL	FUTURE WELL LOCATION	CAPPED AND SEALED
PWR-03	2"	RGS/PVC SCHD 80	SPARE	EXISTING POWER PANEL	ELECTRICAL HANDHOLE	CAPPED AND SEALED
PWR-04	2"	RGS/PVC SCHD 80	3#4 & 1#8 GND	EXISTING POWER PANEL	WELL PUMP MOTOR NO.4	VIA DISCONNECT SWITCH
CTRL-01	2"	RGS/PVC SCHD 80	2#16 TWSP	WELL PUMP PANEL NO.6	WELL PUMP MOTOR NO.6	
CTRL-02	2"	RGS/PVC SCHD 80	SPARE	CAPPED AND STUB UP 6" AFF CAPPED AND SEAL IN BUILDING	FUTURE WELL LOCATION	CAPPED AND SEALED
CTRL-03	2"	RGS/PVC SCHD 80	SPARE	CAPPED AND STUB UP 6" AFF CAPPED AND SEAL IN BUILDING	COMMUNICATION HANDHOLE	CAPPED AND SEALED
CTRL-04	2"	RGS/PVC SCHD 80	2#16 TWSP	WELL PUMP PANEL NO.4	WELL PUMP MOTOR NO.4	

				DESIGNED	RC
				DRAWN	RC
				CHECKED	KLJB
				PROJ.ENGR.	KLJB
				PROJ.DIR.	REP
B	WCDH REVISIONS PUMP 6	AUG 2016	KLJB		
A	BID SET	OCT 2015	KLJB		
NO.	ISSUED FOR	DATE	BY		



HAZEN AND SAWYER
Environmental Engineers & Scientists

498 Seventh Avenue
New York, New York 10018



WILD OAKS GROUNDWATER WELL REPLACEMENT

WILD OAKS WELL HOUSE
ELECTRICAL
NOTES, SINGLE LINE AND DETAILS

THE SCALE BAR SHOWN BELOW MEASURES ONE INCH LONG ON THE ORIGINAL DRAWING.

DATE	OCTOBER 2015
H&S JOB NUMBER	90185-000
CONTRACT NUMBER	-
DRAWING NUMBER	E-1

WETLAND CERTIFICATE OF COMPLIANCE

TOWN OF LEWISBORO

Town Offices @ Orchard Square, Suite L (Lower Level)
20 North Salem Road, Cross River, NY 10518
Phone: (914) 763-3060
Fax: (914) 533-0097

Date: October 13, 2016

Permit #: 3-15 W.V.

Permit issued to: Kenneth Jacobson
46-20 216th Street
Bayside, New York 11361

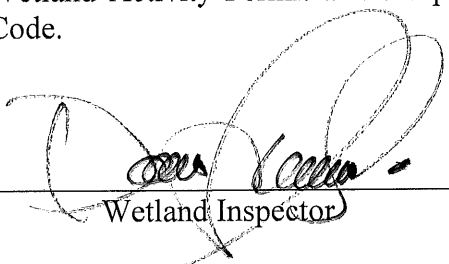
Project location: 1208 Route 35

Sheet: 31 Block: 10805 Lot(s): 42

Date of Inspection: October 5, 2016

Comments: All work has been completed in substantial accordance with the Wetland Implementation Permit and the site is stabilized.

The above referenced parcel(s) has been inspected and a determination has been made that work conducted within the regulated area has been completed in substantial accordance with the issued Wetland Activity Permit and the provisions of Chapter 217 of the Town of Lewisboro Town Code.



Wetland Inspector

10.13.16

Date

Application No.: 51-16 WP
Fee: \$255 Date: 10/18/16

TOWN OF LEWISBORO
WETLAND PERMIT APPLICATION

Town Offices @ Orchard Square, Suite L (Lower Level), 20 North Salem Road, Cross River, NY 10518
Phone: (914) 763-3060
Fax: (914) 533-0097

Project Information

Project Address: 92 WACCABUC RD GOLDENS BRIDGE NY 10526
Sheet: 10 Block: 1152 Lot(s): 6

Project Description (identify the improvements proposed within the wetland/wetland buffer and the approximate amount of wetland/wetland buffer disturbance): CUT DEAD TREES, REPAIR STONE WORK CAUSED BY TREE DAMAGE, INSTALL WATERFALL, DRILL EXISTING WELL DEEPER, INSTALL WATER FEED TO POND

Owner's Information

Owner's Name: ARTHUR MOGIL Phone: 914-473-6792
Owner's Address: 92 WACCABUC RD GOLDENS BRIDGE NY 10526 Email: MCCTYMOGIL@aol.com

Applicant's Information (if different)

Applicant's Name: _____ Phone: _____
Applicant's Address: _____ Email: _____

Authorized Agent's Information (if applicable)

Agent's Name: _____ Phone: _____
Agent's Address: _____ Email: _____

To Be Completed By Owner/Applicant

1. What type of Wetland Permit is required? (see §217-5C and §217-5D of the Town Code)
☒ Administrative ☐ Planning Board
2. Is the project located within the NYCDEP Watershed? ☐ Yes ☐ No
3. Total area of proposed disturbance: ☐ < 5,000 s.f. ☒ 5,000 s.f. - < 1 acre ☐ ≥ 1 acre
4. Does the proposed action require any other permits/approvals from other agencies/departments? (Planning Board, Town Board, Zoning Board of Appeals, Building Department, Town Highway, ACARC, NYSDEC, NYCDEP, WCDOH, NYSDOT, etc): Identify all other permits/approvals required: _____

Note: Initially, all applications shall be submitted with a plan that illustrates the existing conditions and proposed improvements. Said plan must include a line which encircles the total area of proposed land disturbance and the approximate area of disturbance must be calculated (square feet). The Planning Board and/or Town Wetland Inspector may require additional materials, information, reports and plans, as determined necessary, to review and evaluate the proposed action. If the proposed action requires a Planning Board Wetland Permit, the application materials outlined under §217-7 of the Town Code must be submitted, unless waived by the Planning Board. The Planning Board may establish an initial escrow deposit to cover the cost of application/plan review and inspections conducted by the Town's consultants.

For administrative wetland permits, see attached Administrative Wetland Permit Fee Schedule.

Owner/Applicant Signature:  Date: 9/15/2016

TAX PAYMENT AFFIDAVIT REQUIREMENT

taxes pd
10/18/16

Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.

Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.

INSTRUCTIONS

The applicant is to complete the information box below and on the opposite side and return to:
Receiver of Taxes, Town of Lewisboro, Town House, Main Street, South Salem, New York 10590

For Planning Board applications, the Receiver of Taxes will return this form and the affidavit to the Planning Board office. For filing actions with the Westchester County Clerk, Division of Land Records, the Receiver of Taxes will return this form and the affidavit to the applicant by mail if a stamped and self-addressed envelope is submitted with this form.

IF ANY TAXES ARE FOUND TO BE DUE ON THE PROPERTY RELATING TO THE APPLICATION, THEN THAT APPLICATION CAN NOT BE ACCEPTED BY THE PLANNING BOARD UNTIL THE TAXES ARE PAID.

TO BE COMPLETED BY APPLICANT

(PLEASE TYPE OR PRINT)

ANTHONY MOGIL
name of applicant

92 WACCABUC RD
project name

property description:

tax sheet 10
block 11152
lot 6

property assessed to:

name 92 WACCABUC RD
address GOLDENS BRIDGE NY
10526

application type (check one):

- ☐ SKETCH PLAN REVIEW ☐ PRELIMINARY SUBDIVISION PLAT ☐ FINAL SUBDIVISION PLAT
☐ SITE DEVELOPMENT PLAN ☐ SPECIAL PERMIT USE ☐ WAIVER OF SITE PLAN PROCEDURES
☒ WETLANDS PERMIT ☐ FILING WITH THE WESTCHESTER COUNTY CLERK

JANET L. DONOHUE
NOTARY PUBLIC, STATE OF NEW YORK
No. 01008239827
Qualified in Westchester County
Commission Expires April 16, 2020

receiver of taxes

date

10/18/16

AFFIDAVIT OF OWNERSHIP

STATE OF New York
COUNTY OF Westchester) ss:

ARTHUR MOGIL, being duly sworn, deposes and says that

she/he resides at 92 WACCABUC RD, GOLDENS BRIDGE NY 10526

in the County of: WESTCHESTER

State
of: NY

And that she/he is (check one) (1) the owners, or (2) the _____
Title

of _____
name of corporation, partnership or other legal entity

which is the owner, in fee of all that certain lot, piece or parcel of land situated, lying
and being in the Town of Lewisboro, New York, aforesaid and known and designated
on the Tax Map in the Town of Lewisboro as Lot Number _____

Block _____ on sheet _____.

For (check one):

- ☐ SKETCH PLAN REVIEW ☐ PRELIMINARY SUBDIVISION PLAT ☐ FINAL SUBDIVISION PLAT
☐ SITE DEVELOPMENT PLAN ☐ SPECIAL USE PERMIT ☐ WAIVER OF SITE PLAN PROCEDURES
☐ WETLAND PERMIT ☐ STORMWATER PERMIT ☐ FILING WITH WESTCHESTER COUNTY CLERK

[Signature]
Signed

Sworn to before me this

18th day of October, 2016

Samantha Lincledon
Notary public (affix stamp)

SAMANTHA L INCLEDON
Notary Public - State of New York
No. 01IN6304669
Qualified In Westchester County
My Commission Expires June 2, 2018











Waterfall Rock



NO: _____

**PLANNING BOARD SUMMONS
NOTICE OF HEARING
VIOLATION OF WETLAND AND WATERCOURSE LAW
OF THE TOWN OF LEWISBORO**

TO: Arthur Mogil and Mary McCarty Mogil

92 Waccabuc Road, Goldens Bridge, New York 10526

Sheet: 10 Block: 11152 Lot: 6

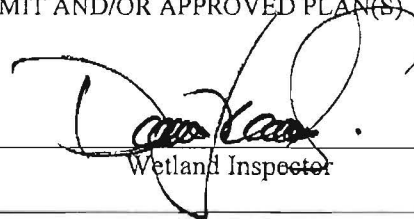
You are hereby summoned to appear personally before the Planning Board, Town of Lewisboro at Orchard Square, 20 Orchard Square, Suite L (Lower Level), Cross River, New York 10518 on June 21, 2016 at 7:30 p.m. to answer a charge of violation of the Wetland and Watercourse Law of the Town of Lewisboro as described in the attached Notice of Violation.

Please take notice that there exists a violation of Chapter 217, Wetlands and Watercourses, of the Town of Lewisboro Town Code, as follows:

X REGULATED ACTIVITY CONDUCTED WITHOUT BENEFIT OF WRITTEN WETLAND PERMIT (Sections 217-2.B.(2) and (3) of the Wetland and Watercourses Law)

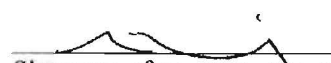
— NONCOMPLIANCE WITH APPROVED PERMIT AND/OR APPROVED PLAN(S)

Issued this 15th day of June, 2016



Wetland Inspector

I, Arthur Mogil plead guilty to the charges listed above and admit all liability for these actions. I understand with this admission of liability the Planning Board may assess a civil penalty in accordance with Section 217-11 of Chapter 217, Wetlands and Watercourses.



Signature of owner or agent

NOTICE TO ALLEGED VIOLATER

- A. Listing of alleged violations per attached Noticed of Violation.
- B. You have the right to present evidence.
- C. You have the right to examine and cross examine witnesses.
- D. You have the right to be represented by counsel.
- E. In the event you fail to appear, this shall constitute a default and the hearing may proceed in our absence and a determination made solely upon the evidence submitted by the Wetland Inspector or his/her agent.

6/21/2016

Ciorsdan Conran

From: Keith Staudohar <keith@croninengineering.net>
Sent: Monday, October 17, 2016 2:43 PM
To: Ciorsdan Conran
Cc: Brad Schwartz; fernando pinheiro
Subject: Re: Pinheiro 7-14WP and 1-14SW

Ciorsdan,

With this email, the Applicant is respectfully requesting one (1) year time extensions for both the Wetlands Activity Permit (7-14WP) and Stormwater Permit (1-14SW) which are due to expire on November 18, 2016.

Please note the following:

- A- There has been no construction at the site. The site remains in the same condition as when approved.
- B- The Applicant would like the permits extended and available for him as may be necessary.
- C- The Applicant is uncertain as to when to start construction.
- D- There has been no change in circumstance involved with or affecting the regulated resource.

Keith

From: Ciorsdan Conran
Sent: Monday, October 17, 2016 9:32 AM
To: 'Keith Staudohar'
Subject: RE: Pinheiro 7-14WP and 1-14SW

Hi Keith-

Here's the little check list on what a WP extension request should include.

Please give me a call/email if you have further questions.

Thank you,

Ciorsdan

From: Keith Staudohar [<mailto:keith@croninengineering.net>]
Sent: Thursday, October 06, 2016 1:33 PM
To: Ciorsdan Conran
Cc: fernando pinheiro; Brad Schwartz
Subject: Pinheiro 7-14WP and 1-14SW

Thanks Ciorsdan,

I appreciate the heads-up. With this email I am notifying the Applicant and we will advise you accordingly.

Thanks,

Keith



DE LALLA & ASSOCIATES, LLC.
LANDSCAPE ARCHITECTS

October 28, 2016

Mr. Jerome Kerner
Chairman, Planning Board
Cross River Shopping Center @
Orchard Square
Suite L/Lower Level
Cross River, NY 10518

Re: Popoli/Sicuranza Subdivision
NYS Route 35
South Salem, NY 10590
(Sheet 40, Block 10552, Lots 3, 4 & 5)

Dear Mr. Kerner,

I am writing to request an additional 90 day extension of time until March 5, 2017, for the Final Subdivision Plat Approval granted by the Planning Board on December 8, 2009. The applicants have signed a contract to sell the property to a group interested in installing the private road and building homes on the five undeveloped lots. The applicants have indicated that they are still waiting to finalize the agreement with the bank and still need additional time to complete the process. Therefore we are requesting the application be placed on the next agenda of Planning Board to consider this request.

Please do not hesitate to contact me if you have any questions or require any additional information.

Sincerely,


James A. DeLalla, RLA

Cc: Mr. Pat Popoli
Mr. Angelo Sicuranza
Michael Sirignano Esq.