

**AGENDA PACKET**

**APRIL 16, 2019 MEETING**

	<b><u>CAL#</u></b>	<b><u>PAGE</u></b>
<b><u>AGENDA</u></b>		<b>3</b>
<b><u>"SILVERMINE PRESERVE," SILVERMINE DRIVE &amp; LOCKWOOD ROAD, SOUTH SALEM</u></b>	<b>Cal#03-13PB</b>	<b>Cal# 03-16WP</b>
Extension Request Letter; Geraldine Totorella, Esq.; dated March 18, 2019		<b>5</b>
<b><u>PETRUCELLI/BADAGLIACCA, OSCALETA ROAD, SOUTH SALEM</u></b>	<b>Cal #8-12PB</b>	
Extension Request Email; Michael Sirignano, Esq.; dated April 5, 2019		<b>7</b>
<b><u>BROWN'S RESERVOIR DAM REHABILITATION, SOUTH SALEM</u></b>	<b>Cal# 7-10PB</b>	
Kellard Sessions Review Memo, dated April 11, 2019		<b>8</b>
Cover letter with 2018 report, First District Water Dept., dated March 15, 2019		<b>9</b>
Planning Board Resolution, dated June 28, 2011		<b>22</b>
Assignment of Funds on Deposit, dated January 13, 2012		<b>34</b>
<b><u>WACCABUC COUNTRY CLUB WASH FACILITY, 90 MEAD STREET, WACCABUC</u></b>	<b>Cal #08-18WP</b>	<b>Cal #81-18WP</b>
Kellard Sessions Review Memo, dated April 11, 2019	<b>Cal#10-18SW</b>	<b>37</b>
Cover letter, Doyle Coffin Architecture, dated March 18, 2019		<b>41</b>
Survey and engineering drawings, Insite Engineering, dated March 19, 2019		<b>44</b>
DEC NOI, dated March 19, 2019		<b>61</b>
<b><u>DEDVUKAJ VACANT LAND, 170 ELMWOOD ROAD, SOUTH SALEM</u></b>	<b>Cal #66-17WP</b>	
Public Hearing notice and materials		<b>75</b>
CAC Review Memo, dated April 4, 2019		<b>85</b>
Comment emails, D. Carelli (April 16, 2018) and V. Johnson (dated May 7, 2018) and S. Katz (dated May 7, 2018 and March 22, 2019)		<b>86</b>

<b><u>TOWN BOARD TO AMEND SECTION 220-43.6</u></b>	N/A	
Proposed Local Law revising Chapter 220 “Gas Service Station,” undated		<b>96</b>
Westchester County Planning Board, Referral Review, dated March 28, 2019		<b>98</b>
<b><u>MCGUINNESS RESIDENCE, 17 SCHOOLHOUSE ROAD, SOUTH SALEM</u></b>	<b>Cal#03-16WV</b>	<b>Cal #6-17WP</b>
No new materials		
<b><u>Cal#01-19WV</u></b>	<b>Cal#01-19WV</b>	
N/A		
<b><u>KRANZ VACANT LAND, ELMWOOD ROAD, SOUTH SALEM</u></b>	<b>Cal #09-19WP</b>	<b>Cal #05-19SW</b>
Building Inspector Review Memo, dated April 10, 2019		<b>99</b>
CAC Review Memo, dated April 4, 2019		<b>100</b>
NYSDEC Notice of Complete Application, dated March 20, 2019		<b>101</b>
NYSDEC Notice of Incomplete Application, dated October 3, 2018		<b>104</b>
<b><u>7-ELEVEN/GAS STATION, 873 OLD POST ROAD, CROSS RIVER</u></b>	<b>Cal# 3-19PB</b>	
Kellard Sessions Review Memo, dated April 11, 2019		<b>106</b>
CAC Review Memo, dated April 4, 2019		<b>112</b>
Planning applications, dated March 12, 2019		<b>113</b>
Site plans, Stonefield Engineering and Design, dated March 8, 2019		<b>140</b>
Survey, Gallas Surveying Group, dated February 15, 2019		<b>145</b>
Comment email, E. Maylands, dated March 24, 2019		<b>146</b>
<b><u>GRIGOR/PASICOV RESIDENCE, 24 GILBERT STREET, SOUTH SALEM</u></b>	<b><u>Cal #24-17WP</u></b>	<b><u>Cal #6-17SW</u></b>
No new materials		

**TOWN OF LEWISBORO**  
**Westchester County, New York**



**Planning Board**  
**79 Bouton Road**  
**South Salem, New York 10590**

**Tel: (914) 763-5592**  
**Fax: (914) 875-9148**  
**Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)**

**AGENDA**

**Tuesday, April 16, 2019**

**79 Bouton Road, South Salem**  
**Justice Court**

Note: Meeting will start at 7:30 p.m. and end at or before 11:00 p.m.

**I. EXTENSION OF TIME REQUESTS**

**Cal# 3-13PB, 03-16WP**

**“Silvermine Preserve,” Silvermine Drive & Lockwood Road, South Salem, NY, 10590 Sheet 48, Block 10057, Lot 15 and Sheet 51, Block 10057, Lot 104 (Ridgeview Designer Builders, Inc. & Daniel Higgins, owners of record) - Applications for Subdivision, Wetland Activity and Stormwater Permits for the construction of a 13-lot subdivision.**

**Cal #8-12PB**

**Petrucelli/Badagliacca, Oscaleta Road, South Salem, NY 10590 Sheet 33B, Block 11157, Lot 46 (Steven Petrucelli and Teresa Badagliacca, owners of record) - Request for a 90-day Extension of Time to resolution granting Preliminary/Final Subdivision Plat, Negative Declaration Under SEQRA, dated October 21, 2014.**

**II. REQUEST FOR RELEASE OF WETLAND MITIGATION BOND**

**Cal# 7-10PB**

**Brown’s Reservoir Dam Rehabilitation, South Salem, NY 10590, Sheet 0051, Block 09835, Lot 1 (First Taxing District of the City of Norwalk, owner of record) - Request for release of wetland mitigation bond.**

**III. PUBLIC HEARINGS**

**Cal #08-18PB, Cal #81-18WP, Cal #10-18SW**

**Waccabuc Country Club, 90 Mead Street, Waccabuc NY 10597, Sheet 22, Block 10802, Lots 61 & 37 (Waccabuc Country Club, owner of record) – Application for Site Development Plan relating to a chemical wash facility.**

**Cal #66-17WP, Cal #12-17SW**

**Dedvukaj vacant land, 170 Elmwood Road, South Salem, NY 10590, Sheet 47, Block 10056, Lot 38 (Yuliya and Zef Dedvukaj, owners of record) – Application for a single-family residence, driveway, septic system and well.**

**IV. DISCUSSION OF TOWN BOARD PROPOSAL TO AMEND LEWISBORO TOWN CODE**

**Town Board to amend Section 220-43.6 – Amending the Town Code to provide Special Use permit provisions for gasoline service stations.**

**V. WETLAND VIOLATIONS**

**Cal #3-16WV, 06-17WP**

**McGuinness Residence, 17 Schoolhouse Road, South Salem, NY 10590, Sheet 22, Block 10802, Lot 35 (Annette and Peter McGuinness, owners of record)**

**Cal#1-19WV**

**VI. SITE VISIT REPORT**

Cal #09-19WP, Cal #05-19SW

**Kranz vacant land, Elmwood Road, South Salem, NY 10590, Sheet 43, Block 10302, Lot 23 (Alexander Kranz, owner of record) – Application for a single-family residence, driveway, septic system and well.**

**VII. SKETCH PLAN REVIEWS**

Cal# 3-19PB

**7-Eleven/Gas Station, 873 Old Post Road, Cross River, NY 10618, Sheet 20, Block 10800, Lots 2 & 8 (GHI Real Estate Corp, owner of record) – Application for a 7-Eleven convenience store and a gas station.**

**VIII. WETLAND REVIEW**

Cal #24-17WP, #6-17SW

**Grigor/Pasicov Residence, 24 Gilbert Street, South Salem, NY 10590, Sheet 36F, Block 10806, Lot 22 (Stephanie Pasicov, owner of record) - Application to renovate a two-bedroom house.**

**IX. MINUTES OF January 15, 2019; MINUTES OF January 24, 2019; MINUTES OF February 26, 2019 and MINUTES OF March 19, 2019.**

**X. NEXT MEETING DATE: May 21, 2019**



HOCHERMAN TORTORELLA & WEKSTEIN, LLP  
CLIENT-CENTERED ♦ SOLUTION-ORIENTED

One North Broadway, Suite 701  
White Plains, New York 10601-2319  
P: (914) 421-1800 | F: (914) 421-1856  
www.htwlegal.com

Geraldine N. Tortorella  
Adam L. Wekstein

Noelle C. Wolfson  
Henry M. Hocherman, Retired

March 18, 2019

*Via Electronic Mail ([Planning@lewisborogov.com](mailto:Planning@lewisborogov.com)) and First Class Mail*

Hon. Janet Andersen, Chairwoman  
and Members of the Planning Board  
Town of Lewisboro  
79 Bouton Road  
South Salem, New York 10590

Re: *Conditional Preliminary Subdivision Approval for the Silvermine Preserve Subdivision  
Silvermine Drive and Lockwood Road, Town of Lewisboro  
Tax Identification Nos.: Sheet 48, Block 10057, Lot 15 and  
Sheet 51, Block 10057, Lot 104  
Fourth Request for Extension*

Dear Chairwoman Andersen and Members of the Planning Board:

As you may recall, by Resolution dated April 18, 2017 (and stamped "Received" on April 20, 2017), your Board granted Conditional Preliminary Subdivision Approval ("Preliminary Approval") for the Silvermine Preserve Subdivision (the "Subdivision"). On October 17, 2018, your Board extended Preliminary Approval to and including April 15, 2019.

I previously advised you that Eric Moss had to retain a new surveyor, Terry Bergendorff Collins, P.C. ("TBC"), to re-survey the Property and prepare a new Final Subdivision Plat. The new Plat has been further delayed but our client expects to have it in hand shortly, after which Timothy Allen, P.E. will be able to file an application with the Westchester County Health Department ("WCHD") for approval. WCHD approval is a prerequisite to a complete application for final subdivision approval. Therefore, we will not be in a position to file for final subdivision approval by the April 15, 2019 expiration date.

For this reason, we request another six-month extension of Preliminary Approval, to and including October 15, 2019. This is our fourth request for an extension of Preliminary Approval, which your Board has the authority to grant pursuant to Lewisboro Subdivision Regulations Section 195-14(J).

Kindly schedule this extension request for consideration and action at the Board's next available meeting and let us know if an appearance is requested or required. Thank you in advance for your courtesy.

Respectfully yours,

Hocherman Tortorella & Wekstein, LLP

By:

  
Geraldine N. Tortorella

Hon. Janet Andersen, Chairwoman  
and Members of the Planning Board  
March 18, 2019  
Page 2

GNT:hc

cc: *(via electronic mail)*  
Jan Johannessen, AICP  
Joseph Cermele, P.E.  
Judson Siebert, Esq.  
Timothy Allen, P.E.  
Beth Evans, PWS  
Mr. Eric Moss

S:\# MATTERS\Moss 0056\Lewisboro (Silvermine) 002\Letters\Planning Board Fourth Ext Rqst Prelim App 3-18-19.docx

**From:** Michael Sirignano <michael@sirignano.us>  
**Sent:** Friday, April 5, 2019 2:47 PM  
**To:** planning@lewisborogov.com  
**Subject:** Re: Petrucelli

Ciorsdan,

Yes please submit my request for a further extension. As I'm without a secretary today, please let this email constitute my request.

Thanks,  
Michael

Michael Fuller Sirignano, Esq.  
Attorney & Counselor at Law  
Old Post Road Professional Building  
892 Route 35, PO Box 784  
Cross River, NY 10518  
Telephone: (914) 763-5500  
Fax: (914) 763-9589

On Apr 5, 2019, at 2:31 PM, "[planning@lewisborogov.com](mailto:planning@lewisborogov.com)" <[planning@lewisborogov.com](mailto:planning@lewisborogov.com)> wrote:

Hi Michael-

Will you be sending me an ext request?

Ciorsdan

Ciorsdan Conran

Planning Board Administrator

email: [Planning@lewisborogov.com](mailto:Planning@lewisborogov.com)

tel # 914-763-5592, fax # 914-875-9148

mailing and physical address: 79 Bouton Road, South Salem, NY 10590

Typical hours: 8:30 a.m. – 1 p.m. and 2 p.m. - 4:30 p.m.

**MEMORANDUM**

TO: Chairperson Janet Andersen and  
Members of Lewisboro Planning Board

CC: Ciorsdan Conran  
Judson Siebert, Esq.  
Joseph Angiello

FROM: Jan K. Johannessen, AICP  
Joseph M. Cermele, P.E., CFM  
Town Consulting Professionals

DATE: April 11, 2019

RE: Wetland Mitigation Bond Release  
Browns Reservoir  
East Street  
Sheet 51, Block 9835, Lots 1 & 2

---

By Resolution dated June 28, 2011, the Planning Board granted Site Development Plan Approval and a Wetland Activity Permit in connection with a proposal to rehabilitate the Browns Reservoir Dam, as required by the New York State Department of Environmental Conservation (NYSDEC) dam safety and design requirements. The work has been completed and a Wetland Certificate of Compliance was issued on August 3, 2015. Condition #11 of the approving Resolution required the applicant to post a Wetland Mitigation Bond in the amount equal to the cost of the mitigation, as installed. The Bond is to be released following a 5-year maintenance period and the submission of monitoring reports at the end of each reporting year. Wetland mitigation was completed in accordance with the approved plans and monitoring reports were submitted for the 2014 through 2018 growing seasons. Following a final inspection of the mitigation areas, this office has no objection to the release of the Wetland Mitigation Bond in the amount of \$100,000.00.

JKJ/JMC/dc

T:\Lewisboro\Correspondence\2019-04-11\_LWPB\_Browns Reservoir\_Wetland Mit Bond Memo.docx



## FIRST DISTRICT WATER DEPARTMENT

---

12 New Canaan Avenue  
Post Office Box 27  
Norwalk, Connecticut 06852

Office: 203-847-7387  
Fax: 203-846-3482  
Email: [info@firstdistrictwater.org](mailto:info@firstdistrictwater.org)

COMMISSIONERS  
Marija V. Bryant, Chairman  
Thomas J. Cullen, Esq.  
Elsa Peterson Obuchowski

DISTRICT TREASURER  
Jalin T. Sead

GENERAL MANAGER  
DISTRICT ENGINEER  
Dominick M. Di Gangi, P.E.

March 15, 2019

Town of Lewisboro Planning Board  
79 Bouton Road  
South Salem, NY 10590

**BROWNS RESERVOIR DAM REHABILITATION PROJECT  
LEWISBORO, NEW YORK  
NYSDEC DAM ID # 232-4361  
NATDAM ID # NY00763**

**Sheet 51, Block 9835, Lots 1 and 2, Cal. #7-10 P.B**

Gentlemen:

The First Taxing District Water Department has completed the required five year monitoring period of the wetland areas that were both restored and created as part of the Browns Reservoir Dam Rehabilitation Project. This satisfies condition 35 of the Resolution Lewisboro Planning Board, Site Development Approval and Wetland Activity Permit Approval; dated: June 28, 2011. The First Taxing District requests the release of the mitigation bond.

Included with the letter is a copy of the Mitigation Monitoring Report 2018, prepared by Tim Miller Associates. If you have any questions, or require additional information, please do not hesitate to contact my office.

Very truly yours,

Dominick M. DiGangi, P.E.  
General Manager  
District Engineer

CC: Jan Johannessen, Town Consultant  
Mike Elliott, PE, First Taxing District Water Department  
Don Ukers, PE, First Taxing District Water Department

**TIM  
MILLER  
ASSOCIATES, INC.**

---

10 North Street, Cold Spring, NY 10516 (845) 265-4400 265-4418 fax [www.timmillerassociates.com](http://www.timmillerassociates.com)

December 21, 2018

Mr. Michael Elliott  
First Taxing District Water Department  
12 New Canaan Avenue  
Norwalk, CT 06851

RE: Mitigation Monitoring Report 2018  
Browns Dam, Lewisboro, NY

Dear Mr. Elliott,

Tim Miller Associates has completed the required monitoring of the "Wetland A" and "Wetland D" wetland mitigation areas at Browns Dam in Lewisboro, New York pursuant to your permit requirements with the Town of Lewisboro and the U.S. Army Corp of Engineers (permit #NAN-2010-00494). Monitoring work is detailed in the following attachments and summarized below:

Figures 1 & 2 illustrating photo locations  
Attachment 1: Photos  
Attachment 2: Woody shrub and tree tally

The goals of this mitigation project included both restoration and creation of wetlands within the Wetland A and Wetland D areas as follows:

**Wetland D - Created wetlands 0.41 acres**

**Wetland A - Creation Area A 0.05 acres, Creation Area B 0.04 acres, Creation Area C 0.05 acres. Wetland A Restoration (sediment removal and re-seeding) 0.60 acres**

Site visits were conducted on June 11 and October 22, 2018 to document the condition of the mitigation area. Work included photo documentation of wetland conditions at established photo stations, assessment of woody tree and shrub plantings and observation of wetland vegetation, soils and hydrology.

**Dominant Plant Species, Frequency and Areal Coverage**

**Wetland D**

Wetland D continues to be primarily a palustrine emergent wetland, with over 90% of the areal covering being herbaceous emergent vegetation. The wetland is well-vegetated after the fourth growing season, with robust herbaceous growth. Areal cover was approximately 90% in the higher areas, with lower coverage in the depressional areas as described below. The dominant herbaceous species are putative *Scirpus polyphyllus*, *Juncus acuminatus*, *Juncus tenuis* and *Juncus effusus*. Purple leaf willow herb (*Epilobium coloratum*), tussock sedge (*Carex stricta*),

turtlehead (*Chelone glabra*), blue vervain (*Verbena hastata*) and swamp milkweed (*Asclepias incarnata*) were also observed in the herbaceous layer and are likely derived from the seed mix that was applied with the first planting. Other non-dominant hydrophytes include *Eleocharis tenuis*, *Schoenoplectus tabernaemontani*, *Agrostis scabra*, *Ludwigia palustris*, *Juncus marginatus*, *Carex* spp., and *Cyperus strigosus*.

In a number of locations in Wetland D there is microtopography that creates shallow pooling areas, where the species dominance changes to species that are better adapted to longer inundation periods during the growing season. Broad-leaved cattail (*Typha latifolia*) is the dominant species in these areas. Absolute cover in this sub-community is generally on the order of 50% - 60%, with muddy flats present within the pooled areas. Among the more important associates of *Typha latifolia* are *Leersia oryzoides*, *Bidens frondosa*, *Ludwigia palustris*, *Sparganium* sp., *Panicum dichotomiflorum*, *Echinochloa crus-galli*, *Alisma* sp., and *Bidens tripartita*. In one wetter depression, *Typha latifolia* is present but not a dominant species; *Sparganium* spp. is the dominant species, with *Eleocharis acicularis* and *Juncus effusus* as the most important associates. *Typha latifolia* is the only species with a high frequency throughout this sub-community. Speckled alder (*Alnus serrulata*) and highbush blueberry (*Vaccinium corymbosum*) are now growing to a size where they are a significant part of this sub-community.

Regarding woody vegetation in Wetland D, a replacement planting was completed in October of 2018. Four red maples (*Acer rubrum*) and three swamp white oak (*Quercus bicolor*) were planted as replacement for trees that did not make it through the recent growing season. It is expected that this is primarily the result of deer browsing following collapse of the northern portion of the deer fence. The entire perimeter of Wetland D was ringed with a new, stouter deer fence in early 2018.

Current survival of planted trees and shrubs is now approximately 80% in Wetland D, with the majority of plantings from 2017 doing well. As noted above, seven trees were replaced. The vegetative density in Wetland D is now such that further replacement of shrubs is no longer necessary. With the replacement and improvement of the deer fence, many of the shrubs and small trees that had been considered lost have resprouted and are growing. A number of volunteers, including red maple, eastern cottonwood (*Populus deltoides*), mountain laurel (*Kalmia latifolia*) and pussy willow (*Salix discolor*). Green ash (*Fraxinus pennsylvanica*), sassafras (*Sassafras albidum*), sycamore (*Platanus occidentalis*), American beech (*Fagus grandifolia*) and tulip poplar (*Liriodendron tulipifera*) were also observed in the woody layer.

Soils in Wetland D continue to be variable, with a lens of low chroma hydric organic soils continuing to form at the surface in the lower, more frequently inundated areas. Additional time with anaerobic conditions for at least part of the growing season is necessary before consistent hydric wetland soils develop. Surface water was evident in the shallow depressional areas described above; it is possible that ultimately the hydrology in this wetland will be driven by poor to very poorly drained surface soils and surface runoff rather than a significant groundwater component.

### **Wetland A**

Wetland A consists of three separate wetland creation areas that were developed as an expansion of an existing forested wetland/drainage corridor. Both the restoration and creation areas in Wetland A are now vegetated and have full areal coverage. However, *Microstegium vimineum* (aka stiltgrass) remains a nuisance throughout Wetland A, and continued management is required. In response to this, pulling of the *Microstegium* and exposure of the

other herbaceous and shrub plants was completed in October. A large number of shrubs that were thought to be lost were observed as alive and well following the removal of the stiltgrass. Thus the vegetation community in this part of the wetland is developing nicely. The seed mix has germinated and a number of species from that mix are now thriving within this wetland corridor.

**Photo Documentation:** Attached are photos from the nine photo stations established by Eric Davison at Environmental Planning Services LLC for both Wetland D and Wetland A. Figures 1 and 2 show the location and direction of each photo. Photos were taken September 13, 2017.

#### **Groundwater Monitoring Well Data**

The summer of 2018 was exceptionally wet in southeastern Westchester County. While average rainfall total for the period between March 1 and September 30 is 26.49 inches, more than 40 inches fell during the same time period in 2018. Standing pools of water were common in both Wetland A and Wetland D, due to the dense, poorly drained subsoils that have developed in both areas. Wetland D in particular was saturated over significant parts of the area. Wetland A also benefitted from occasional overbank flows during large storm events earlier in the spring. The hydrology of the wetlands will continued to be monitored; the current development of the vegetation indicates that in general the hydrology necessary to support a hydrophytic plant community is available on the site. Groundwater was observed at 4 inches in Well GW#7 (in Wetland D). Water was observed at 5 inches in GW#5 and 8 inches in GW#4 in Wetland A. These are excellent readings for wetland development.

#### **Remediation**

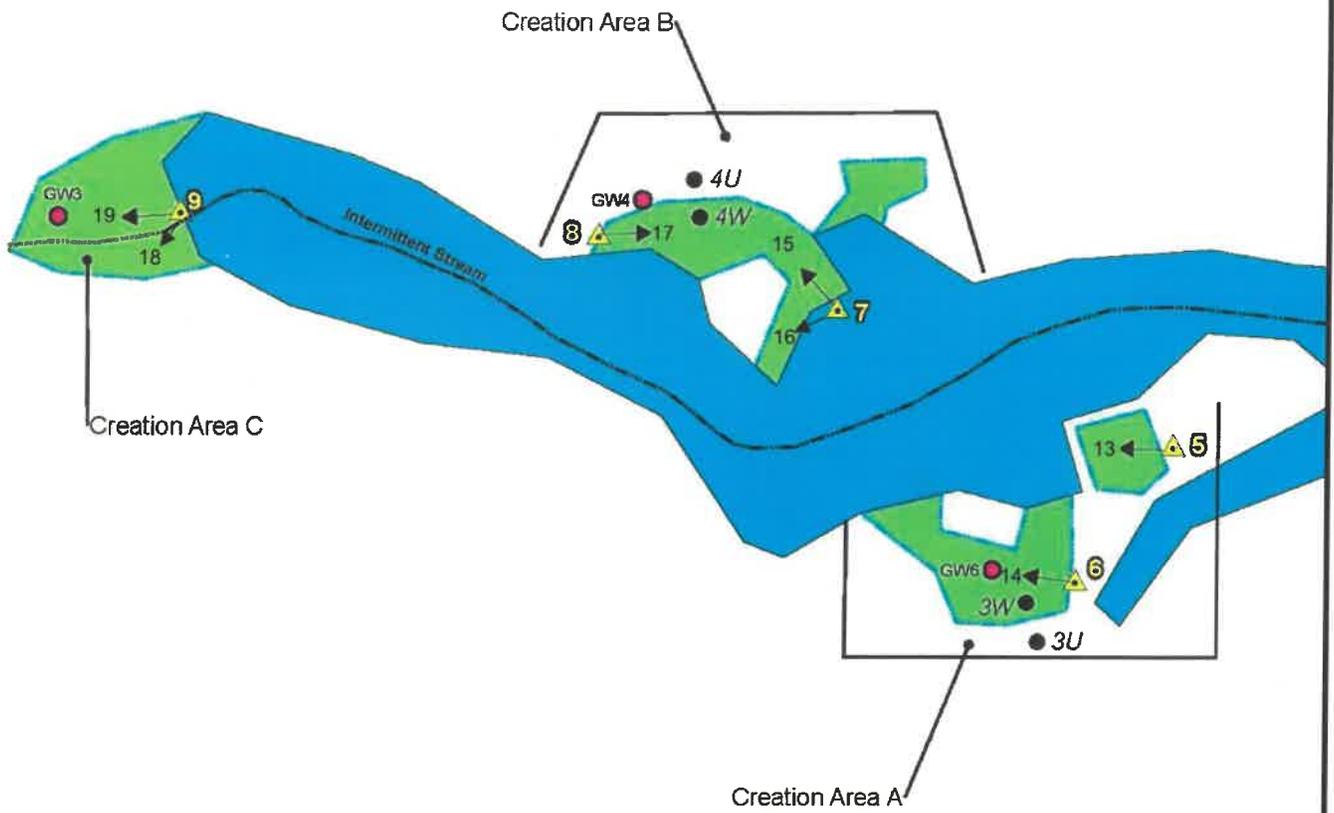
In our opinion, no additional planting of trees or shrubs is required at this time for Wetland D. While some of the trees that were planted in 2017 did not survive the dry conditions and deer browsing, the number and diversity of volunteer plants and the healthy herbaceous vegetation shows that the wetland is developing properly. The deer fencing has been significantly improved, and it is expected that browsing in Wetland D will be much less of an issue. In Wetland A, the continued removal of the dense *Microstegium* by hand should result in conditions where trees and shrubs would increase significantly in size with a higher degree of success. A means to protect individual trees and shrubs will then be devised to protect them from deer predation if necessary.

If you have any questions regarding my findings please feel free to contact me.

Sincerely,



Steve Marino, PWS  
Certified Professional Wetland Scientist  
Tim Miller Associates, Inc.



Tim Miller Associates, Inc.  
 Environmental and Planning Services  
 10 North Street, Cold Spring, NY  
 845 265 4400

**FIGURE 2**  
**Wetland A**  
**Browns Dam**  
**Lewisboro, NY**  
**2018 Monitoring**

**Legend**

- Original Wetland Boundary
- Created Wetland Boundary

- 9 Photo Station Location/Number
- 18 ← Photo Location / Direction

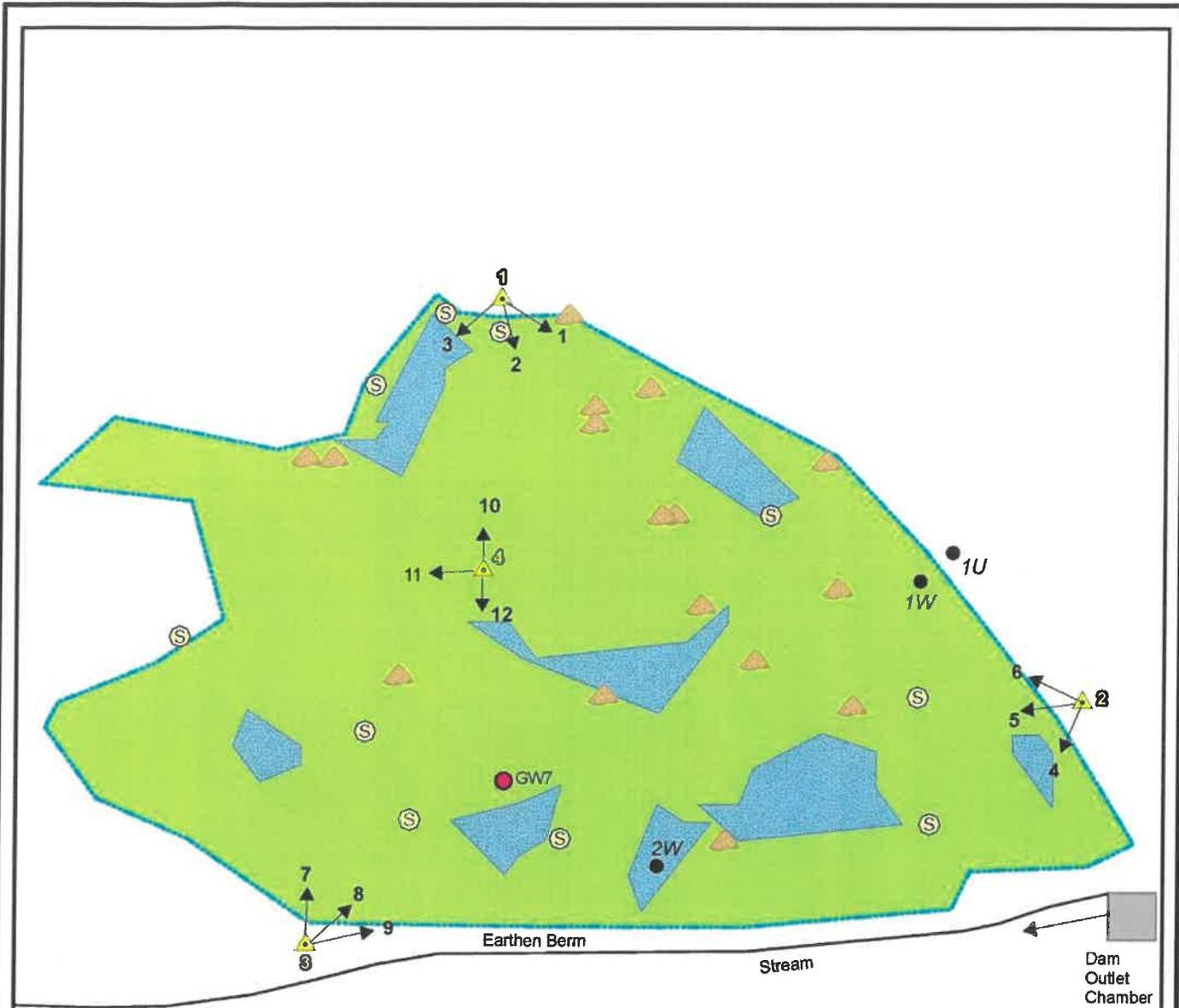
- Groundwater Well
- Data Plot Center

Not to Scale



Basemap source:

Environmental Planning Services  
 89 Belknap Road  
 West Hartford, CT 06117  
 860-236-1578  
 www.epact.com



Tim Miller Associates, Inc.  
 Environmental and Planning Services  
 10 North Street, Cold Spring, NY  
 845 265 4400

**FIGURE 1**  
 Wetland D Mitigation  
 Browns Dam  
 Lewisboro, NY  
 2018 Monitoring

Legend	
	Wetland Boundary
	Photo Stations
	Photo Number and Direction
	Groundwater Well #7
	Data Plot Center
	Boulder
	Stump
	Marsh (PEM1)
	Seasonally-Flooded Pools (sub-type)

Not to Scale

N

Basemap source:  
 Environmental Planning Services  
 89 Belknap Road  
 West Hartford, CT 06117  
 860-236-1578  
 www.epsct.com

**Station 1**



**Station 1**



**Station 1**





Station 2

Station 2



Station 2



Station 3

Station 3



Station 3



Station 4

Station 4



Station 4



**Station 5**



**Station 6**



**Station 7**



**Station 7**



**Station 8**

**Station 9**



**Station 9**

**RESOLUTION  
LEWISBORO PLANNING BOARD**

**SITE DEVELOPMENT PLAN APPROVAL  
WETLAND ACTIVITY PERMIT APPROVAL**

**1<sup>ST</sup> TAXING DISTRICT OF THE CITY OF NORWALK  
BROWNS RESERVOIR DAM REHABILITATION**

Sheet 51, Block 9835, Lots 1 and 2  
Cal. #7-10 P.B.

**June 28, 2011**

**WHEREAS**, Browns Reservoir Dam (“the dam”) was built between 1908 and 1910 to impound the Browns Reservoir (“the reservoir”) as a drinking water supply for the City of Norwalk, Connecticut; and

**WHEREAS**, the 1<sup>st</sup> Taxing District of the City of Norwalk (“the owner/applicant”) is proposing to rehabilitate the dam to meet New York State Department of Environmental Conservation (NYSDEC) dam safety stability and design requirements, rehabilitate and improve the low level outlet works and spillway, and improve the operation and maintenance characteristics of the dam (“the proposed action”); and

**WHEREAS**, in order to bring the dam into compliance with the current NYSDEC requirements for stability and enhanced public safety, the owner/applicant is proposing improvements to the low level outlet system, the masonry spillway, and the earth embankments; and

**WHEREAS**, more specifically, the proposed action involves the following:

1. Clear and grub all existing trees, shrubs and vegetation on the existing dam and downstream of the dam to accommodate the new embankment slope; this will involve  $\pm 7$  acres of land disturbance.
2. The existing downstream valve chamber on the right embankment will be demolished. The low level outlet pipes will be extended and a new impact structure will be constructed downstream of the new embankment toe.
3. The existing gatehouse on the dam crest will be demolished so that the existing low level outlet valves and operators can be replaced. The existing gatehouse foundation will be extended to the new crest height and will be slightly expanded.
4. The right embankment dam crest will be raised by four feet to prevent overtopping during the inflow design storm event. Approximately 32,900 cubic yards of fill soils will be placed on the embankment downstream slopes to establish the new crest elevation and downstream slopes of 3H:1V. Approximately 4,000 cubic yards of sand and gravel fill

will be installed on the downstream embankment slopes as a defensive design measure for seepage control.

5. The spillway will be reinforced with  $\pm 1,000$  cubic yards of concrete at the toe for added stability.
6. Approximately 300 cubic yards of rip rap stone will be installed at several locations to control erosion and protect downstream slopes from normal operational discharges.
7. The existing unpaved access road at the toe of the dam will be extended to the full length of the embankment dam to provide enhanced operations and maintenance.
8. Grass cover will be established and maintained on all disturbed areas to limit erosion.
9. No other changes to the reservoir's 365.5 acre property are anticipated.

**WHEREAS**, the reservoir is a Class C-High Hazard Dam and failure of the dam could cause loss of life, serious damage to structures and buildings and important public utilities and roadways; and

**WHEREAS**, proposed physical changes to the subject property cannot be avoided as the project is being designed to meet the minimum requirements of the NYSDEC; and

**WHEREAS**, it is anticipated that construction will last approximately 18 months; and

**WHEREAS**, reference is made to a traffic study, prepared by Paul C. Rizzo Associates, Inc. and dated June 23, 2010; and

**WHEREAS**, construction traffic will be intermittent during the overall construction duration, with periods of more intense activity based on the various phases of work; and

**WHEREAS**, removal and delivery truck traffic will enter the site via Silver Spring Road and exit the site via East Street. Construction phases include site preparation ( $\pm 92$  total truck trips), low-level outlet rehabilitation ( $\pm 21$  total truck trips), spillway improvements ( $\pm 180$  total truck trips), and embankment improvements ( $\pm 4,500$  total truck trips); and

**WHEREAS**, the number of truck trips and impacts to the surrounding road network cannot be avoided. All contractor parking and deliveries will be restricted to on-site areas with no stacking of delivery vehicles on public roads. During the 18 month construction period, construction traffic loads on local roads will vary from light (2 to 3 truck trips per day) to fairly intense ( $\pm 18$  truck trips per day). A maximum of  $\pm 18$  truck trips per day is anticipated during the peak construction period, which is anticipated to last up to 6 months (embankment improvement phase); and

**WHEREAS**, the largest impact on local roads will involve delivery of soil/rock materials during the embankment improvement phase. The most likely source of soil/rock material will be from

commercial quarries located north of the subject property. Trucks will arrive and leave the site by way of Ct. Route 33. Local roads that will be impacted include Roscoe Road, Vista Road and small portions of Silver Spring Road and East Street; and

**WHEREAS**, pre-construction and post-construction surveys will be conducted for the primary truck routes. Any damage to public roads caused by the trucking operations will be repaired by the owner/applicant during the course of the project; and

**WHEREAS**, the owner/applicant will coordinate and cooperate with the Town Highway Superintendent during the entire project to ensure prompt repair of any damage caused by construction truck traffic. The owner/applicant's maintenance responsibilities regarding Wilton Road, East Street and Silver Spring Roads include driving surface maintenance, roadway restoration, and dust control; and

**WHEREAS**, wetlands adjacent to the dam have been delineated and their functions and values evaluated. Four wetland systems occur in the project area, identified as Wetlands A through D; and

**WHEREAS**, Wetlands A through D are jurisdictional to the Town of Lewisboro and the Army Corps of Engineers (ACOE); Wetland B is also jurisdictional to the NYSDEC; and

**WHEREAS**, reference is made to the "Wetland Delineation and Functions and Values Assessment", prepared by Environmental Planning Services and dated (last revised) April 16, 2010, the "Biodiversity Assessment & Wetland Mitigation Plan", prepared by Environmental Planning Services, dated June 24, 2010, and the ACOE Mitigation Plan, dated December 2010, amended on April 1, 2011 and again on April 11, 2011; and

**WHEREAS**, the new embankment footprint will permanently remove  $\pm 1.02$  acres of freshwater wetlands and  $\pm 5.47$  acres of wetland buffer; this disturbance cannot be avoided by changes to the project design; and

**WHEREAS**, to off-set the impacts associated with wetland and wetland buffer disturbance, the following mitigation measures will be employed:

- Approximately 0.54 acres of new wetland area will be created (associated with Wetland A and Wetland D).
- Approximately 0.59 acres of existing wetland area will be restored through gravel and sediment removal (associated with Wetland A).
- A sediment trap will be installed to capture runoff and sediment from East Street, before it reaches Wetland A.
- Wetland seed mixes, trees and shrubs will be installed within the wetland creation and restoration areas.
- Existing invasive non-native plant species in the mitigation area will be eradicated or otherwise removed.
- For the first five years following the implementation of the wetland mitigation plan, the owner/applicant will provide wetland mitigation monitoring reports to the Town of

Lewisboro. The owner/applicant will be required to provide a wetland planting monitoring bond and will be required to maintain an 85% wetland planting survival rate throughout the five year monitoring period.

**WHEREAS**, on March 31, 2011, the NYSDEC issued an Article 15 Dam Permit, and Article 24 Freshwater Wetland Permit, and a Water Quality Certification; and

**WHEREAS**, the owner/applicant has submitted a permit application to the ACOE and addressed the ACOE technical comments; however, the ACOE permit is pending; and

**WHEREAS**, the subject property is not located within the New York City East of Hudson Watershed; and

**WHEREAS**, the owner/applicant requires coverage under the NYSDEC SPDES General Permit for Stormwater Discharges and has prepared a Stormwater Pollution Prevention Plan (SWPPP); and

**WHEREAS**, reference is made to the SWPPP prepared by Paul C. Rizzo Associates, Inc., dated April 2010; and

**WHEREAS**, the owner/applicant has submitted the required Notice of Intent (NOI) and SWPPP Acceptance Form; and

**WHEREAS**, following a review of the SWPPP and NOI by the Town Engineer, the Town Supervisor signed the SWPPP Acceptance Form on September 16, 2010; and

**WHEREAS**, the application was referred to the Westchester County Planning Board in accordance with Section 239-m of the General Municipal Law. According to a letter from Edward Buroughs, AICP, dated July 27, 2010, the County Planning Board had no comments; and

**WHEREAS**, the proposed action has been determined to be an Unlisted Action, pursuant to the New York State Environmental Quality Review Act (SEQRA), 6 NYCRR Part 617.4; and

**WHEREAS**, the Planning Board issued a Negative Declaration of Significance on September 14, 2010; and

**WHEREAS**, the public hearing on the Site Development Plan and Wetland Activity Permit was opened on August 10, 2010, adjourned to, reconvened and closed on June 14, 2011, at which times all interested parties were afforded an opportunity to be heard; and; and

**WHEREAS**, no public comment was offered during the above-mentioned public hearings; and

**WHEREAS**, the Planning Board is familiar with the subject property, the general surrounding area and has conducted a site visit; and

**WHEREAS**, the Planning Board has considered the submitted Site Development Plans, Wetland Activity Permit Application and mitigation plans, Stormwater Pollution Prevention Plan, traffic analysis, correspondence from outside agencies, permits issued from outside agencies, other materials submitted by the owner/applicant in support of its proposal, the written and verbal comments from the Board's professional consultants, the verbal commentary made during Planning Board meetings and public hearings, testimony of the owner/applicant, observations made at site visits, and the comments and recommendations of the CAC.

**NOW THEREFORE BE IT RESOLVED THAT**, the Planning Board hereby approves the following drawings, which shall constitute the Site Development Plans, prepared by Paul C. Rizzo Associates, Inc. and dated (last revised) January 18, 2011, subject to the below conditions:

- Title Sheet
- General Notes, Symbols, Legends, and Abbreviations (Sheet 1)
- Existing Conditions Site Plan (Sheet 2)
- Tree Survey Plan (Sheet 3)
- Construction and Laydown Area Plan (Sheet 4)
- Erosion and Sedimentation Control Measures Embankments and Spillway-Sheet 1 (Sheet 5)
- Erosion and Sedimentation Control Measures Embankments and Spillway-Sheet 2 (Sheet 6)
- Erosion and Sedimentation Control Measures Embankments and Spillway-Sheet 3 (Sheet 7)
- Erosion and Sedimentation Control Measures Embankments and Spillway-Sheet 4 (Sheet 8)
- Erosion and Sedimentation Control Measures Embankments and Spillway-Sheet 5 (Sheet 9)
- Embankment Clearing and Grubbing Tree and Burrow Hole Removal Details (Sheet 10)
- Spillway Modifications Plan, Elevation, Section, and Details (Sheet 11)
- Spillway Modifications Right Embankment Elevation Training Wall Plan, Sections, and Details (Sheet 12)
- Spillway Modifications Left Embankment Elevation Training Wall Sections, and Details (Sheet 13)
- Right Embankment Improvements Plan (Sheet 14)
- Right Embankment Improvements Sections and Details-Sheet 1 (Sheet 15)
- Right Embankment Improvements Sections and Details-Sheet 2 (Sheet 16)
- Right Embankment Improvements Sections and Details-Sheet 3 (Sheet 17)
- Right Embankment Improvements Typical Embankment Sections and Details (Sheet 18)
- Right Embankment Improvements Access Road #1 Profile (Sheet 19)
- Right Embankment Improvements Access Road #2 & #3 Profiles, Misc. Details, and Sections (Sheet 20)
- Left Embankment Improvements Plan, Sections, and Access Road Profile (Sheet 21)
- Access Road, Culvert Plans, and Sections (Sheet 22)
- Low Level Outlet Impact Stilling Basin Plan, Elevation, Sections, and Details (Sheet 23)
- Low Level Outlet Gatehouse Modifications Demolition Plan and Sections (Sheet 24)
- Low Level Outlet Gatehouse Modifications Foundation Plans, Sections, and Details-Sheet 1 (Sheet 25)
- Low Level Outlet Gatehouse Modifications Foundation Plans, Sections, and Details-Sheet 2 (Sheet 26)
- Low Level Outlet Gatehouse Modifications Piping Plans, Details, and Sections-Sheet 1 (Sheet 27)
- Low Level Outlet Gatehouse Modifications Piping Plans, Details, and Sections-Sheet 2 (Sheet 28)
- Low Level Outlet Gatehouse Modifications Piping Plans, Details, and Sections-Sheet 3 (Sheet 29)
- Low Level Outlet Gatehouse Modifications Typical Ladder Segments, Misc. Details, and Sections (Sheet 30)
- Electrical and Telephone Plans and Details-Sheet 1 (Sheet 31)
- Electrical and Telephone Plans and Details-Sheet 2 (Sheet 32)

**BE IT FURTHER RESOLVED THAT**, the Planning Board hereby approves the following drawings, which shall constitute the Wetland Mitigation Plans, prepared by Paul C. Rizzo Associates, Inc. and dated (last revised) June 1, 2011, subject to the below conditions:

- Wetlands Mitigation Plan (SK-1)
- Wetland Mitigation Profile, Section and Details (SK-2)
- Wetland Creation Area-D and Wetland Planting Plans (SK-3)

**BE IT FURTHER RESOLVED THAT**, Site Development Plan approval, defined as the signing of the plan by the Planning Board Chairman, shall expire unless a Building Permit is applied for within one year of the date of the signing of the Site Development Plan, or if all required improvements are not completed within three years of approval, or if the construction or use shall cease for more than one year; and

**BE IT FURTHER RESOLVED THAT**, the Planning Board hereby finds that the Wetland Activity Permit Application pertaining to proposed action is consistent with the provisions and policies of Chapter 217 of the Code of the Town of Lewisboro and said permit is hereby approved, subject to the conditions set forth below; and

**BE IT FURTHER RESOLVED THAT**, all work associated with this Wetland Activity Permit shall be conducted in strict compliance with the Site Development Plans and Wetland Mitigation Plans approved herein; and

**BE IT FURTHER RESOLVED THAT**, this Wetland Activity Permit shall expire without further written notice if the requirements of this Resolution are not completed, as set forth herein. As provided pursuant to the Town's Wetlands and Watercourses Law, this Wetland Activity Permit is subject to revocation should the owner/applicant not comply with the terms and conditions of this Resolution; and

**BE IT FURTHER RESOLVED THAT**, this Wetland Activity Permit shall expire 2 years from the date of this Resolution, unless an extension is granted by the Planning Board in accordance with Section 217-9F(5) of the Town's Wetland and Watercourses Law; and

**BE IT FURTHER RESOLVED THAT**, should Site Development Plan approval expire, this Wetland Activity Permit shall also be deemed expired; and

**BE IT FURTHER RESOLVED THAT**, the time frames set forth in this Resolution of Approval may only be amended or extended by the Planning Board. Any request for extension shall be made in writing and shall state the circumstances for the requested extension. In considering any such requests, the Planning Board may require an Amendment review and may require a public hearing; and

**BE IT FURTHER RESOLVED THAT**, this approval shall be deemed to authorize only the particular use(s) and improvements specified herein and illustrated on the approved Site Development Plans and Wetland Mitigation Plans referenced above; and

**BE IT FURTHER RESOLVED THAT**, Conditions 1-19 must be completed within 6 months of the date of this Resolution or as extended by the Planning Board. Should the below-listed conditions not be completed within the allotted time frame, this Resolution shall become null and void unless an extension is requested by the owner/applicant (in writing) within said six month period and granted by the Planning Board.

**Conditions to be Satisfied Prior to the Signing of the Site Development Plans and Wetland Mitigation Plans by the Secretary and Chairman:**

1. Each and every sheet of the Site Development Plans and Wetland Mitigation Plans shall contain a common revision date with notation stating "Planning Board Approval", shall contain an original seal and signature of the design professional and shall contain an original signature of the owner(s).
2. The owner/applicant shall obtain and submit all necessary permits from the Army Corps of Engineers.
3. The approximate number and location of trees/shrubs to be planted within the wetland mitigation areas shall be illustrated/identified on Sheets SK-1 and SK-3.
4. Additional notes shall be added to Sheet SK-1 regarding wetland mitigation sequencing, to the satisfaction of the Town Wetland Inspector.
5. The following note shall be added to Sheet SK-1: "Groundwater monitoring shall occur within the wetland creation areas for a minimum of 12 months. Prior to commencing work on the wetland creation and wetland restoration areas, groundwater monitoring data and a final wetland grading and planting plan shall be submitted to the Town Wetland Inspector for review and approval".
6. The Planning Board requires an 85% wetland planting survival rate (see Condition #11); notes on Sheet SK-1 shall be revised accordingly, to the satisfaction of the Town Wetland Inspector.
7. The following note shall be added under "Sediment Removal Area Notes" on SK-1: "To the maximum extent practical, sediment and gravel shall be removed by hand. If during construction the contractor or wetland scientist determines that machinery is necessary to remove such material, the wetland scientist or contractor shall contact the Town Wetland Inspector to schedule a site inspection. If the Town Wetland Inspector determines that the use of machinery would not negatively impact the wetland area, the Wetland Inspector may allow for such use of machinery, with parameters and guidelines provided to the owner/applicant's wetland scientist and contractor."
8. A number of the notes provided on Sheets SK-1 through SK-3 allow the owner/applicant's "wetland scientist" to make field determinations, assessments, modifications and/or changes that could affect the outcome/success of the wetland mitigation. All such notes shall be revised to require consultation with the Town Wetland Inspector prior to such modifications or changes, to the satisfaction of the Town Wetland Inspector.
9. The owner/applicant shall provide a written cost of construction estimate to the Planning Board Secretary for review and approval by the Town Engineer. The owner/applicant

shall submit to the Planning Board Secretary an engineering/inspection fee equal to 5% of the estimated cost of construction, as determined by the Town Engineer.

10. The owner/applicant shall submit a wetland mitigation planting cost estimate for review and approval by the Town Wetland Inspector.
11. Wetland mitigation plantings shall be bonded or secured in an amount equal to the approved cost estimate. Said bond, or other security acceptable to the Planning Board, shall be submitted to the Planning Board Secretary. 50% of the bonded amount shall be released after a period of 1 year, measured from the submission date of the as-built map (see Condition #34) and provided that the Town Wetland Inspector verifies that a minimum of 85% of the planted material has survived. 20% of the original bonded amount shall be released after a period of 2 years and 10% shall be released each year thereafter, provided that 85% of the planted material continues to survive, as determined by the Town Wetland Inspector. Should an 85% survival rate not be achieved at any time during the 5 year maintenance period, dead or diseased plants/shrubs/trees shall be removed and replaced in kind to achieve said rate.
12. The owner/applicant shall address any outstanding written comments from the Town's consultants.
13. A stormwater basin maintenance easement and associated survey shall be prepared to the satisfaction of the Planning Board Attorney and Town Engineer. This easement shall provide for access to stormwater management facilities at reasonable times for periodic inspection by the Town to ensure that the facilities are being maintained in proper working condition to meet design standards and any other provision required by this approval. Proof of filing with the Westchester County Clerk's Office shall be provided to the Planning Board.
14. The owner/applicant shall submit Site Development Plans and Wetland Mitigation Plans, prepared in final form and in accordance with the conditions of this Resolution, for review by the Town's consultants.
15. Any revisions required as a result of the consultant's review of the Final Site Development Plans and Final Wetland Mitigation Plans shall be made. Following Town staff review, the owner/applicant shall furnish the Planning Board with two complete mylar sets of the Final Site Development Plans and Final Wetland Mitigation Plans, complete with all required original signatures, for final review by the Town Engineer and endorsement by the Town Engineer, Planning Board Secretary and Planning Board Chairman.
16. The name of the qualified inspector that will be responsible for weekly inspections of the subject property shall be provided to the Planning Board Secretary (see Condition #25).
17. The owner/applicant shall obtain from the Wetland Inspector a Wetland Activity Implementation Permit.

18. The owner/applicant shall provide a written statement to the Planning Board Secretary acknowledging that they have read and will abide by all conditions of this Resolution.
19. The owner/applicant shall pay to the Town of Lewisboro, by certified check, all outstanding professional review fees.

**Conditions to be Satisfied Prior to the Issuance of a Building Permit:**

20. Following the endorsement of the Final Site Development Plans and Final Wetland Mitigation Plans by the Town Engineer, Planning Board Chairman and Secretary, one mylar set will be returned to the owner/applicant for copying and the second mylar set will be retained by the Planning Board as a record copy.
21. Within 10 days after endorsement of the Final Site Development Plans and Final Wetland Mitigation Plans by the Town Engineer, Planning Board Chairman and Planning Board Secretary, the owner/applicant shall deliver to the Planning Board Secretary nine printed sets of the plans, collated and folded.

**Conditions to be Satisfied Prior to Commencement of Work:**

22. One week advance notice must be given to the Lewisboro Planning Board Office (914-763-5592) prior to commencement of work.
23. Prior to commencement of any site work, a pre-condition survey of the Town roads to be used as primary truck routes shall be conducted by the owner/applicant. A site walk shall be conducted with the owner/applicant, contractor, Town Highway Superintendent and Town Engineer. The owner/applicant shall document the condition of the roadways, to the satisfaction of the Town Engineer.
24. Prior to commencement of any site work or construction activity, a site visit shall be conducted with the owner/applicant, contractor, Building Inspector, Town Consulting Engineer, Town Consulting Planner, Town Wetland Inspector, Town Highway Superintendent, and any other involved agency wishing to attend. Prior to the site visit, all erosion and sedimentation controls shall be properly installed by the owner/applicant and the limits of disturbance shall be staked by a NYS Licensed Land Surveyor and a construction fence installed along said limits.

**Conditions to be Satisfied During Construction:**

25. The owner/applicant shall employ the services of a qualified inspector (as defined in the NYSDEC SPDES General Permit) to inspect all erosion and sediment control practices to ensure integrity and effectiveness, all post-construction stormwater management practices to ensure that they are constructed in conformance with the SWPPP, all areas of disturbance that have not achieved final stabilization and all points of discharge from the subject property. Reports, which shall be prepared in conformance with the NYSDEC

SPDES General Permit (GP-0-10-001), shall be submitted on a weekly basis to the Planning Board Secretary.

26. All contractor parking and deliveries shall be restricted to on-site areas with no stacking of delivery vehicles on public roads.
27. During construction, the Town's consultants may conduct site inspections, as necessary, to determine compliance with the provisions of this Resolution and the approved Site Development Plans and Wetland Mitigation Plans.
28. Construction truck traffic is limited to Monday through Friday, from 7am to 7pm.
29. Material delivery trucks shall arrive and leave the site by way of Ct. Route 33. Removal and delivery truck traffic shall enter the site via Silver Spring Road and shall exit the site via East Street. The owner/applicant shall be limited to using the following Town roads: Wilton Road, Silver Spring Road and East Street.
30. Any damage to public roads caused by the trucking operations will be repaired by the owner/applicant during the course of the project, to the satisfaction of the Town Highway Superintendent and Town Engineer. During construction, the owner/applicant shall assume full responsibility, except for snow plowing, for those portions of Wilton Road, East Street and Silver Spring Road that are used for primary truck routes. The owner/applicant's maintenance responsibilities to Wilton Road, East Street and Silver Spring Roads include driving surface maintenance, roadway restoration and dust control.
31. A copy of this Resolution, approved Site Development Plans, approved Wetland Mitigation Plans, approved SWPPP and any and all site inspection reports shall be kept on site at all times.

**Conditions of the Wetland Activity Permit:**

32. Wetland mitigation work shall be completed by a contractor with prior experience in wetland mitigation, wetland construction and wetland restoration, as determined by the owner/applicant. Prior to the commencement of any wetland creation or restoration, the name of said contractor shall be provided to the Planning Board Secretary.
33. Groundwater monitoring shall occur within the wetland creation areas for a minimum of 12 months. Prior to commencing work on the wetland creation and wetland restoration areas, groundwater monitoring data and a final wetland grading and planting plan shall be submitted to the Town Wetland Inspector for review and approval.
34. Following completion of the wetland creation and wetland restoration work, an as-built map, demonstrating compliance with the approved Wetland Mitigation Plans, shall be submitted to the Planning Board Secretary. Said map shall identify final grades of the newly created wetlands and shall identify location, quantities and specie type of all planted material.

35. For the first five years following the implementation of the Wetland Mitigation Plans, as measured from the submission of the as-built map (see Condition #34), annual written monitoring reports, prepared in accordance with the notes provided on Sheet SK-1, shall be submitted by a qualified professional to the Planning Board Secretary. Said reports are due no later than December 31<sup>st</sup> of the year being monitored.

**Conditions to be Satisfied Prior to the Issuance of a Building Department or Wetland Certificate of Compliance**

36. A post-construction survey of the Town roads that were used as primary truck routes during construction shall be conducted by the owner/applicant. A site walk shall be conducted with the owner/applicant, contractor, Town Highway Superintendent and Town Engineer. The owner/applicant will be required to document the condition of the roadways, to the satisfaction of the Town Engineer. Any damage to public roads caused by the trucking operations shall be repaired by the owner/applicant and to the satisfaction of the Town Highway Superintendent and Town Engineer.
37. An as-built survey prepared by a NYS Licensed Land Surveyor demonstrating compliance with the approved Site Development Plans shall be submitted to the Building Inspector and Planning Board.
38. The Building Inspector and Town Consultants shall conduct a site visit to determine conformance with the approved Site Development Plans, Wetland Mitigation Plans and this Resolution. A Certificate of Compliance shall not issue until the Town Engineer has submitted a report to the Building Inspector identifying that the site has been developed in accordance with the approved Site Development Plans.
39. Upon completion of all site work, the applicant shall obtain a Certificate of Compliance from the Building Department and Town Wetland Inspector.
40. The owner/operator shall submit a completed Notice of Termination (NOT) to the Planning Board Secretary for review by the Town Engineer.

**ADOPTION OF RESOLUTION**

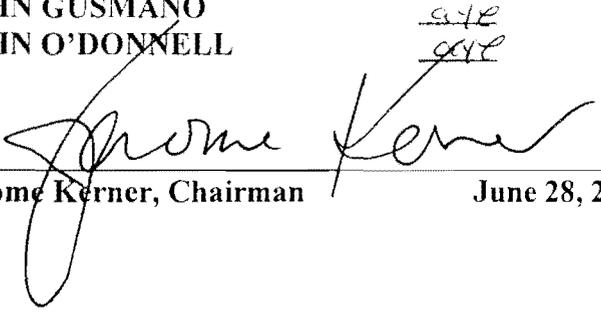
**WHEREUPON**, the Resolution herein was declared adopted by the Planning Board of the Town of Lewisboro as follows:

The motion was moved by: Joe DeCamada

The motion was seconded by: Richard Ellrott

The vote was as follows:

JEROME KERNER	<u>aye</u>
JOSEPH DECAMINADA	<u>aye</u>
RICHARD ELLRODT	<u>aye</u>
JOHN GUSMANO	<u>aye</u>
JOHN O'DONNELL	<u>aye</u>

  
Jerome Kerner, Chairman

June 28, 2011

ASSIGNMENT OF FUNDS ON DEPOSIT  
IN LIEU OF BOND ("Assignment of Funds")

The undersigned commissioner representing First Taxing District, City of Norwalk (the "Taxing District") and Stamford First Bank ("First Bank") hereby agree that the sum of One Hundred Thousand and 00/100 Dollars (\$100,000) will be held in a five (5) year Certificate of Deposit ("CD") at First Bank, Account Number 4050082, entitled First District Water Department Browns Reservoir Dam. A copy or evidence of or a receipt for such CD Account is annexed hereto. Notwithstanding anything contained herein to the contrary, the Taxing District and First Bank hereby agree that the funds being held in the CD will not be released to the Taxing District until this Assignment is released, in writing, by the Town of Lewisboro, at which time said funds may be released to the Taxing District.

This Assignment of Funds shall be for five (5) years from the date of signing of this Assignment of Funds, and thereafter, this Assignment shall be automatically renewed yearly on the anniversary date of this Assignment, until such time the Town of Lewisboro provides a written release of this Assignment. Upon the issuance of said release, the funds may be released to the Taxing District. This Assignment supersedes any prior Assignment of Funds on Deposit executed by any of the commissioners of the Taxing District. This assignment is made and accepted pursuant to the Resolution of the Town of Lewisboro Planning Board dated June 28, 2011 (Cal. #7-10PB).

Portions of the funds may be released to the Taxing District in accordance with Condition No. 11 on Page 8 of said Planning Board Approval.

It is further agreed that First Bank shall release upon written demand executed by the Supervisor of the Town of Lewisboro, NY all sums on deposit up to the full sum set forth above to the Town of Lewisboro. First Bank shall be protected fully in relying upon the written demand of the Town of Lewisboro.

The Taxing District shall indemnify and hold First Bank harmless against any loss, liability, claim, damage, injury, demand or expense, including reasonable legal fees, arising out of or in connection with the performance of First Bank's obligation hereunder, including the costs and expenses of defending itself against any claim or liability arising out of or in connection with the performance of its duties hereunder, except for any loss, liability, claim, damage, injury, demand or expense resulting from First Bank's bad faith, gross negligence or willful misconduct. Under no circumstances shall any Depository Institution be liable or responsible for consequential, incidental or special damages.

The Taxing District and First Bank agree that the CD Account referenced in this Assignment of Funds shall be enforced.

The Taxing District agrees that if it becomes necessary for the Town of Lewisboro to take any legal action against any signatory of this Assignment of Funds, the Town of Lewisboro shall be entitled to its reasonable costs, expenses and attorney's fees.

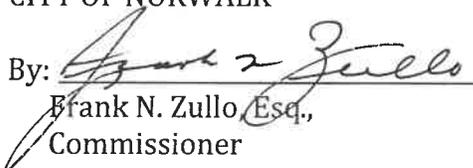
It shall be the responsibility of both the Taxing District and First Bank to inform the Town of Lewisboro of any change of address. The Town of Lewisboro will mail notices and other communications only to the last referenced address of the Taxing District and First Bank, as set forth below or in a change of address.

The parties have hereunto set their hands and seals on this 13<sup>th</sup> day of January, 2012.

FIRST TAXING DISTRICT,  
CITY OF NORWALK

STAMFORD FIRST BANK

By:

  
Frank N. Zullo, Esq.,  
Commissioner

By:

  
Neil Dickson

Address: 12 New Canaan Avenue  
Norwalk, Connecticut 06852

Telephone No. 203-847-7387

The Bank of New Canaan  
208 Elm Street  
New Canaan, CT 06840  
(203) 972-3838

Account Snapshot

01/11/2012  
STOS2000

Branch: 41 - Stamford First Bank  
Phone:  
Fax:

Date: 01/11/2012  
Period: 01/06/2012 to 01/06/2012  
1 (Days)

Personal Banker: Jennifer Burns

First Taxing District Water Department  
12 New Canaan Avenue  
Norwalk, CT 06852

ACCOUNT #: CDA - 40500882 CD- 5 Yr - 100K Personal

Transaction Information

Effective Date	Entered Date	CK #	Description	Amount	Balance
1/6/2012	1/6/2012		Opening Deposit	\$100,000.00	\$100,000.00
1/6/2012	1/6/2012		Original Cr Rate: 1.640 %	\$0.00	\$100,000.00

**MEMORANDUM**

TO: Chairperson Janet Andersen and  
Members of Lewisboro Planning Board

CC: Ciorsdan Conran  
Judson Siebert, Esq.  
Joseph Angiello

FROM: Jan K. Johannessen, AICP   
Joseph M. Cermele, P.E., CFM  
Town Consulting Professionals

DATE: April 11, 2019

RE: Site Development Plan, Wetland Permit and Stormwater Permit  
Waccabuc Country Club  
Chemical Wash Station & Bulk Storage Units  
90 Mead Street  
Sheet 22, Block 10802, Lot 61 & 37

---

**PROJECT DESCRIPTION**

The subject property is comprised of ±4.06 acres of land and is part of a larger site owned by the Waccabuc Country Club. The property is located at 90 Mead Street and is within the R-4A Zoning District. The applicant is proposing the construction of a 30' x 105' chemical wash station for the maintenance of its equipment, drainage, utility and related improvements. Previously proposed bulk storage buildings appear to have been removed from the plan. The subject property contains a watercourse that is jurisdictional to the Town of Lewisboro and a portion of the wash building and the storage sheds are located within the 150-foot buffer.

**SEQRA**

The proposed action has been preliminarily identified as a Type II Action and is categorically exempt from the State Environmental Quality Review Act (SEQRA).

**REQUIRED APPROVALS**

1. Site Development Plan Approval, a Wetland Permit and a Town Stormwater Permit is required from the Planning Board; a public hearing is underway.
2. The subject property is located within the Special Character Overlay District and the application has been referred to and approved by the Architecture and Community Appearance Review Council (ACARC).
3. According to the Building Inspector, several variances are required from the Zoning Board of Appeals.
4. Coverage under the New York State Department of Environmental Conservation (NYSDEC) SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-15-002) is required.

**COMMENTS**

1. As previously requested, the Bulk Storage sheds are no longer proposed and, as such, these improvements along with associated stormwater mitigation and any references to Phase II shall be removed from Drawings C-1 and C-2.
2. As previously requested, the applicant has provided a draft Notice of Intent (NOI) for review. We offer the following comment:
  - Include the Federal Tax ID on Page 1.
  - Include the Tax Map Numbers in the project site information.
  - Question #2 should identify a "Redevelopment with increase in impervious area".
  - Question #12 should be answered "Yes".
  - Question #13 should be answered "No".
  - Question #22 should be answered "No".
  - Skip Questions #23 and #27 - #39.
  - Question #42 should be answered "Yes".
  - Question #43 should be answered "Yes".

An SWPPP MS4 Acceptance Form will also be required for review.

3. As previously requested, the plan shall include all rim and invert elevations, pipe material and slope for the proposed rerouting of the sanitary sewer service. The plan shall demonstrate adequate cover and no conflicts with all storm sewer and water service crossings. Provide details for service connections and separation to water services.

Chairpersen Janet Andersen

April 11, 2019

Page 3 of 4

4. As previously requested, provide construction details for all improvements, including, but not limited to, sewer and water service connections, water valve pit/valves, water bar, pipe bollards, etc.
5. The building mounted light details on Sheet L2 shall be revised to identify the proposed selected features so that proposed wattage and other selected components can be identified.
6. The limit of disturbance shown on Drawing C-1 shall be adjusted to include all improvement areas and to exclude those that are no longer part of the proposed scope of work; the disturbance limit line shall be updated accordingly.
7. The weir invert, thickness and material of construction illustrated on the Standard Manhole Detail shall be specified.
8. As discussed, the project engineer shall evaluate and address the rim elevation and functionality of the existing inlet located at the northern terminus of the existing stone box culvert and which discharges to the adjacent stream; any repairs or alterations should be identified.
9. As requested by the Planning Board, the note on Sheet C-2 referring to the replacement of the foundation and floor of the existing barn shall be removed.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

**PLANS REVIEWED, PREPARED BY MARCHETTI CONSULTING ENGINEERS, DATED MARCH 19, 2019:**

- Site Utility Drainage, Soil & Erosion Control Plan (C-1)
- Grading Plan (C-2)
- Details & Sections (C-3, C-4)

**PLAN REVIEWED, PREPARED BY DOYLE COFFIN ARCHITECTURE, DATED MARCH 18, 2019:**

- Architectural Site Plan (AS1.1)
- Floor Plan, Door Schedule & Door Details (A1.1)
- Roof Plan & Details (A1.2)
- Elevations & Building Section (A1.3)
- Ref. Ceiling Plan, Building Sections, Details & Symbols (A1.4)

**PLANS REVIEWED, PREPARED BY A2 LAND CONSULTING, LLC, DATED MARCH 17, 2019:**

- Mitigation Plan (L1 and L2)

Chairpersen Janet Andersen

April 11, 2019

Page 4 of 4

**DOCUMENTS REVIEWED:**

- Letter, prepared by Doyle Coffin Architecture, dated March 18, 2019
- Notice of Intent, dated January 31, 2019
- Base Map, prepared by Insite Engineering, dated January 31, 2019
- Mechanical Plans for the Recycle System, prepared by Carbtrol, dated August 30, 2018

JKJ/JMC/dc

T:\Lewisboro\Correspondence\2019-04-11\_LWPB\_Waccabuc CC\_Review Memo.docx



Doyle Coffin Architecture, LLC  
158 Danbury Road  
Ridgefield, Connecticut 06877  
203 | 431 | 6001  
203 | 431 | 9764 fax  
info@doylecoffinarchitecture.com  
doylecoffinarchitecture.com

exceptional  
architectural design  
since 1973

March 18, 2019

Mr. Jerome Kerner, AIA, Chairman and Members of Lewisboro Planning Board  
Town of Lewisboro  
79 Bouton Road  
South Salem, NY 10590

Re. Annotated responses to Kellard Sessions Memorandum dated March 14, 2019 referencing the Site Development, Wetland Permit, and Stormwater Permit for the Chemical Wash Station at Waccabuc Country Club, 90 Mead Street.

Dear Mr. Kerner and Members of the Lewisboro Planning Board,

The following is our annotated list of responses to the Kellard Sessions Memorandum dated March 14, 2019.

**Response to Required Approvals:**

2. DCA presented the project before ACARC November 14, 2018. ACARC took no exceptions regarding the project and the project was approved as presented. ACARC resolution dated December 12, 2018.

**Responses to Comments:**

1. See attached drawing sets; Base Map Survey, C-1, C-2, C-3, C-4, L1, L2, AS1.0, A1.1, A1.2, A1.3, A1.4, DWG-SPL, 5795/7, 5982.6SP, 4480, 4904/1.
2. Bulk Storage Sheds have been removed from the drawings.
3. Variances added to Zoning Table on AS1.0.
4. Variance related to Bulk Storage no longer apply.
5. The applicant is prepared to discuss the outcome of the NYCDEP consultation about the bulk storage facility. However, the bulk storage facility is no longer part of this application, and has been removed from the plans, The NYC DEP consultation is no longer relevant.

David D. Coffin, AIA, Founder  
Peter T. Coffin, AIA, Partner  
John M. Doyle, AIA, Partner  
Alex Bellina, AIA, Associate  
Michelle Myers, AIA, Associate

6. Drawing L1 and L2 have been revised to reflect the current site layout (bulk storage removed).
7. Draft NOI is included in this submission. An MS-4 is not required because we are not discharging storm water runoff to a Lewisboro storm system.
8. Limits of paving and gravel drives noted on AS1.0 and Civil Engineering plans.
9. Driveway dimensions added to drawing AS1.0.
10. All rim, invert, pipe materials, and slope for piping is shown on the Civil Engineering plans. Sanitary piping elevations are unknown at this time. Field adjustments are required and will be made and verified in the field.
11. North Arrows added to plan where not previously shown.
12. Temporary silt fences are shown installed downgrade of disturbances and parallel to contours. Silt fencing has been eliminated at access drives and water bars installed as an alternative.
13. The existing fuel station shall remain. No new fuel station is proposed.
14. Additional construction details have been added including, catch basins, man holes, pavement, pipe bollards, etc.
15. Bollards have been added to Civil Engineering drawings.
16. A representative from Carbtrol and the Waccabuc Country Club Golf Course Superintendent will attend the hearing and will be prepared to discuss the chemical handling process.
17. Building mounted light fixtures are shown on the Civil Engineering drawings, L1, A1.3, A1.4. See A2 for Light fixture cut product information.



DOYLE | COFFIN  
ARCHITECTURE

Doyle Coffin Architecture, LLC  
158 Danbury Road  
Ridgefield, Connecticut 06877  
203 | 431 | 6001  
203 | 431 | 9764 fax  
info@doylecoffinarchitecture.com  
doylecoffinarchitecture.com

exceptional  
architectural design  
since 1973

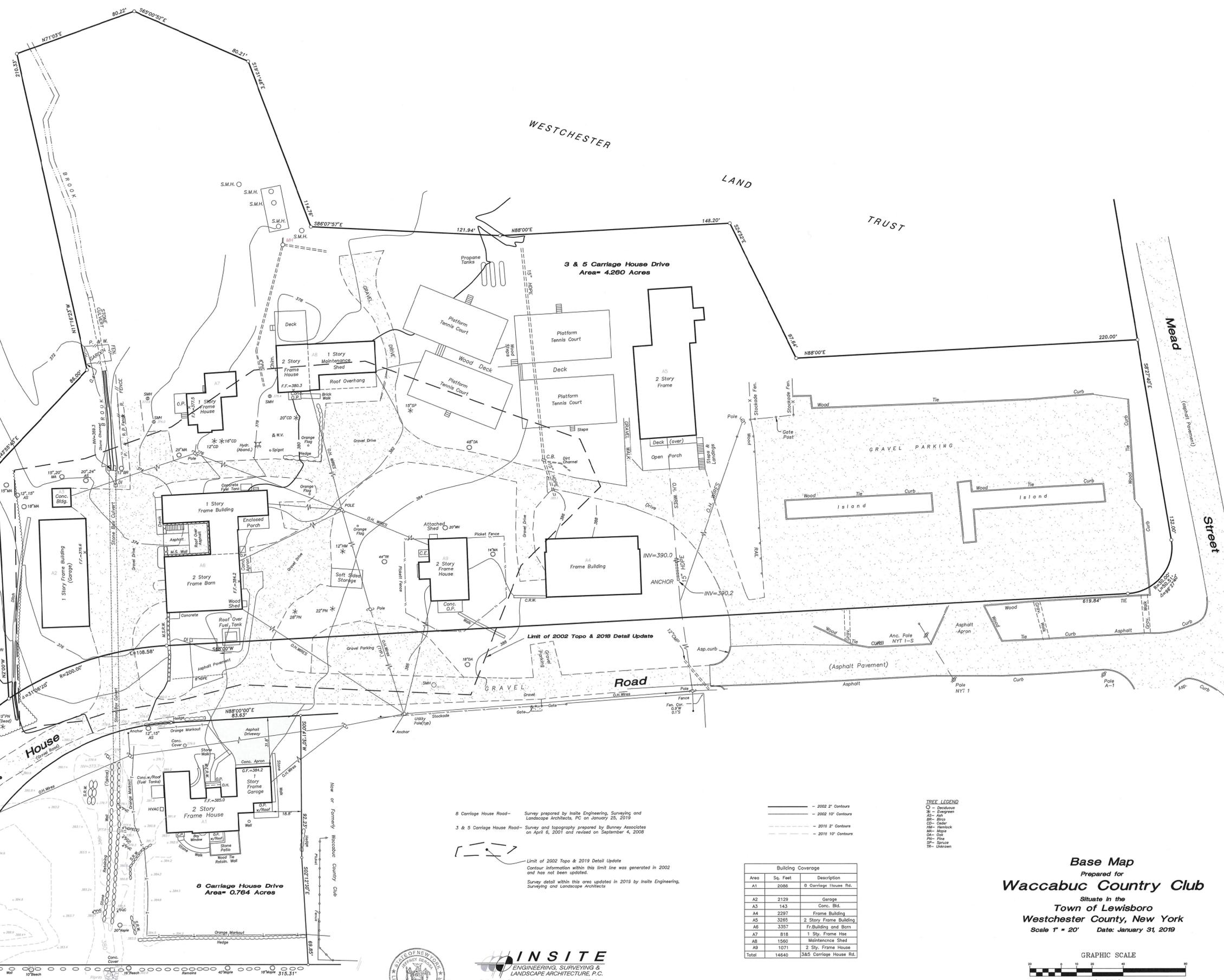
18. Location of existing and proposed water service has been rerouted to avoid new proposed infiltration facility and a crossing detail of sewer and water services has been shown.

Thank you.

Sincerely,

John M. Doyle, AIA, LEED AP

David D. Coffin, AIA, Founder  
Peter T. Coffin, AIA, Partner  
John M. Doyle, AIA, Partner  
Alex Bellina, AIA, Associate  
Michelle Myers, AIA, Associate



8 Carriage House Road - Survey prepared by Insite Engineering, Surveying and Landscape Architects, PC on January 25, 2019  
 3 & 5 Carriage House Road - Survey and topography prepared by Bunney Associates on April 6, 2001 and revised on September 4, 2008

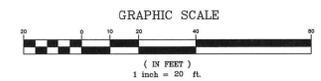
Limit of 2002 Topo & 2019 Detail Update  
 Contour information within this limit line was generated in 2002 and has not been updated.  
 Survey detail within this area updated in 2019 by Insite Engineering, Surveying and Landscape Architects

--- 2002 2' Contours  
 --- 2002 10' Contours  
 --- 2018 2' Contours  
 --- 2018 10' Contours

**TREE LEGEND**  
 ○ - Deciduous  
 \* - Evergreen  
 AS - Ash  
 BR - Birch  
 CA - Cedar  
 HA - Hemlock  
 MA - Maple  
 OA - Oak  
 PA - Pine  
 SP - Spruce  
 TR - Tulare

Building Coverage		
Area	Sq. Feet	Description
A1	2006	8 Carriage House Rd.
A2	2129	Garage
A3	143	Conc. Bid.
A4	2297	Frame Building
A5	3265	2 Story Frame Building
A6	3357	Fr. Building and Barn
A7	818	1 Story Frame House
A8	1560	Maintenance Shed
A9	1071	2 Story Frame House
Total	14640	3&5 Carriage House Rd.

**Base Map**  
 Prepared for  
**Waccabuc Country Club**  
 Situate in the  
 Town of Lewisboro  
 Westchester County, New York  
 Scale 1" = 20' Date: January 31, 2019



**INSITE**  
 ENGINEERING, SURVEYING &  
 LANDSCAPE ARCHITECTURE, P.C.  
 3 Garrett Place • Carmel, New York 10512  
 Phone (845) 225-9930 • Fax (845) 225-9717  
 www.insite-eng.com

© 2019 Insite Engineering, Surveying & Landscape Architecture, P.C. All Rights Reserved.

Drawings and Specifications, as instruments of professional service, are and shall remain the property of the Engineer. Documents are not to be used, in whole or in part, for other projects or purposes or by any other parties than those authorized by contract without the specific written authorization of the Engineer. The use of this document is contingent upon payment to the engineer for services rendered. Non-payment shall give the Engineer the authority to bar document use by any and all parties. If owner disputes any Engineer's statements for services, it is required that the owner advise the engineer in writing within ten (10) days. Remaining, undisputed portions are due and payable upon receipt. The owner shall indemnify the Engineer against any claims alleging damages or delays incurred in the event the Engineer exercises the right to bar document use for non-payment. Contractors must check all dimensions on site. Only figured dimensions are to be worked from. Discrepancies must be reported immediately to the Engineer before proceeding.

**LEGEND**

C.O.	CLEAN OUT
R.L.	RAIN LEADER
✳✳✳	EROSION CONTROL FENCING
EOH	ELECTRIC OVER HEAD
EUG	ELECTRIC UNDERGROUND
SAN	SANITARY WASTE
W	NEW WATER
W	EXISTING WATER
384	EXISTING CONTOUR
384	NEW CONTOUR
T.O.W.	TO OF WALL
B.O.W.	BOTTOM OF WALL
✳✳✳	CURB TO BE REMOVED
UD	CUT AREA
UD	UNDERDRAIN
TP-1	TEST PT-1 LOCATION
P-1	PERCOLATION TEST LOCATION
L	BUILDING LIGHT FIXTURE

No.	DESCRIPTION	DATE
1	ISSUE FOR PRICING	2018-09-13
	REVISION	2018-10-10
	REVISION	2019-02-04
	REVISED SCOPE	2019-02-25
	REVISED AS PER COMMENTS	2019-03-19

**STAMP & SIGN:**

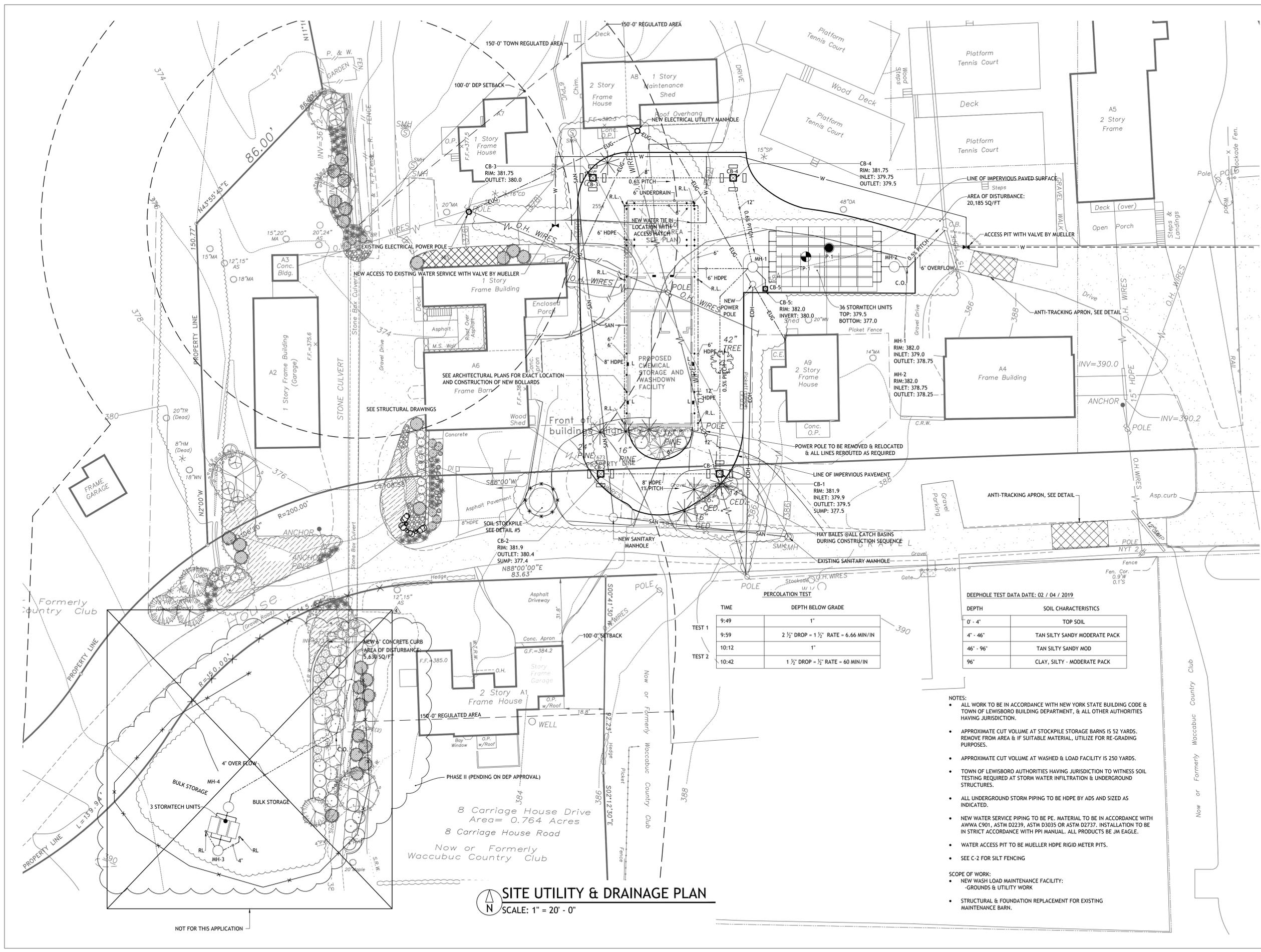
**WACCABUC COUNTRY CLUB**  
 90 MEAD STREET  
 LEWISBORO, NY 10597

**SITE UTILITY DRAINAGE, SOIL & EROSION CONTROL PLAN**

PROJECT NUMBER: #2018-29  
 DATE: 2018-09-13  
 DRAWN BY: EF/RN  
 CHECKED BY: PGM

**C-1**

SCALE: AS NOTED



**PERCOLATION TEST**

TIME	DEPTH BELOW GRADE
TEST 1	9:49 1"
	9:59 2 1/2" DROP - 1 1/2" RATE = 6.66 MIN/IN
	10:12 1"
TEST 2	10:42 1 1/2" DROP = 1/2" RATE = 60 MIN/IN

**DEEPTHOLE TEST DATA DATE: 02 / 04 / 2019**

DEPTH	SOIL CHARACTERISTICS
0' - 4'	TOP SOIL
4' - 46'	TAN SILTY SANDY MODERATE PACK
46' - 96'	TAN SILTY SANDY MOD
96'	CLAY, SILTY - MODERATE PACK

- NOTES:**
- ALL WORK TO BE IN ACCORDANCE WITH NEW YORK STATE BUILDING CODE & TOWN OF LEWISBORO BUILDING DEPARTMENT, & ALL OTHER AUTHORITIES HAVING JURISDICTION.
  - APPROXIMATE CUT VOLUME AT STOCKPILE STORAGE BARN IS 52 YARDS. REMOVE FROM AREA & IF SUITABLE MATERIAL, UTILIZE FOR RE-GRADING PURPOSES.
  - APPROXIMATE CUT VOLUME AT WASHED & LOAD FACILITY IS 250 YARDS.
  - TOWN OF LEWISBORO AUTHORITIES HAVING JURISDICTION TO WITNESS SOIL TESTING REQUIRED AT STORM WATER INFILTRATION & UNDERGROUND STRUCTURES.
  - ALL UNDERGROUND STORM PIPING TO BE HDPE BY ADS AND SIZED AS INDICATED.
  - NEW WATER SERVICE PIPING TO BE PE. MATERIAL TO BE IN ACCORDANCE WITH AWWA C901, ASTM D2239, ASTM D3035 OR ASTM D2737. INSTALLATION TO BE IN STRICT ACCORDANCE WITH PPI MANUAL. ALL PRODUCTS BE JM EAGLE.
  - WATER ACCESS PIT TO BE MUELLER HDPE RIGID METER PITS.
  - SEE C-2 FOR SILT FENCING
- SCOPE OF WORK:**
- NEW WASH LOAD MAINTENANCE FACILITY: -GROUNDS & UTILITY WORK
  - STRUCTURAL & FOUNDATION REPLACEMENT FOR EXISTING MAINTENANCE BARN.

**SITE UTILITY & DRAINAGE PLAN**  
 SCALE: 1" = 20' - 0"

NOT FOR THIS APPLICATION

**MARCHETTI CONSULTING ENGINEERS**

25 High Ridge Rd  
Pound Ridge, NY 10576  
P (914) 764-9011  
F (914) 764-9012

info@marchetticonsultingengineers.com

Drawings and Specifications, as instruments of professional service, are and shall remain the property of the Engineer. Documents are not to be used, in whole or in part, for other projects or purposes or by any other parties than those authorized by contract without the specific written authorization of the Engineer. The use of this document is contingent upon payment to the engineer for services rendered. Non-payment shall give the Engineer the authority to bar document use by any and all parties. If owner disputes any Engineer's statements for services, it is required that the owner advise the engineer in writing with ten (10) days. Remaining, undisputed portions are due and payable upon receipt. The owner shall indemnify the Engineer against any claims alleging damages or delays incurred in the event the Engineer exercises the right to bar document use for non-payment. Contractors must check all dimensions on site. Only figured dimensions are to be worked from. Discrepancies must be reported immediately to the Engineer before proceeding.

**LEGEND**

C.O.	CLEAN OUT
R.L.	RAIN LEADER
* * *	EROSION CONTROL FENCING
EOH	ELECTRIC OVER HEAD
EUG	ELECTRIC UNDERGROUND
SAN	SANITARY WASTE
W	NEW WATER
-W-	EXISTING WATER
384	EXISTING CONTOUR
384	NEW CONTOUR
T.O.W.	TO OF WALL
B.O.W.	BOTTOM OF WALL
* * *	CURB TO BE REMOVED
UD	CUT AREA
UD	UNDERDRAIN
TP-1	TEST PT-1 LOCATION
P-1	PERCOLATION TEST LOCATION
L	BUILDING LIGHT FIXTURE

No.	DESCRIPTION	DATE
1	ISSUE FOR PRICING	2018-09-13
	REVISION	2018-10-10
	REVISION	2019-02-04
4	REVISED SCOPE	2019-02-25
5	REVISED AS PER COMMENTS	2019-03-19

STAMP & SIGN:



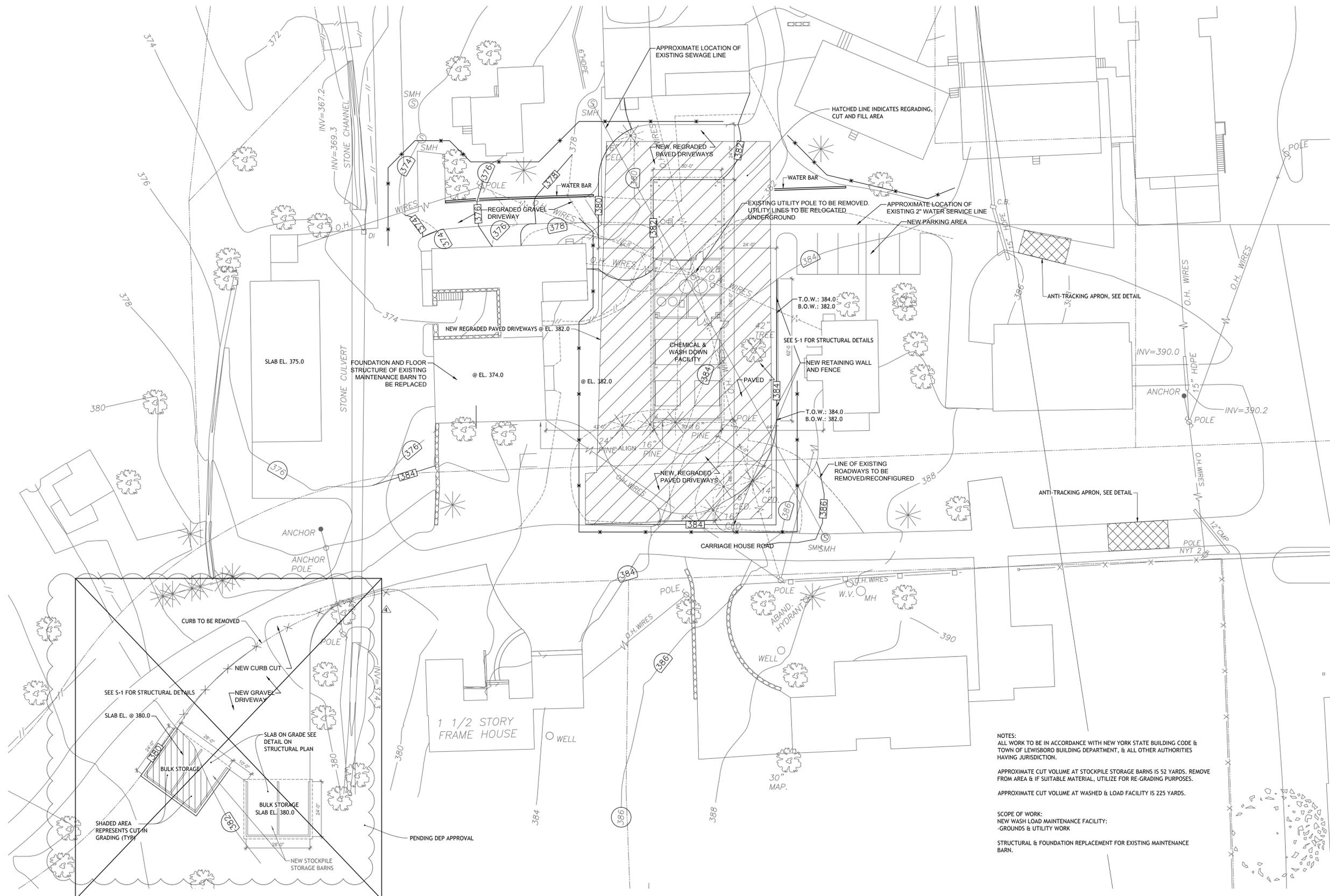
**WACCABUC COUNTRY CLUB**  
90 MEAD STREET  
LEWISBORO, NY 10597

**GRADING PLAN**

PROJECT NUMBER:	#2018-29
DATE:	2018-09-13
DRAWN BY:	EF
CHECKED BY:	PGM

**C-2**

SCALE: AS NOTED



NOTES:  
ALL WORK TO BE IN ACCORDANCE WITH NEW YORK STATE BUILDING CODE & TOWN OF LEWISBORO BUILDING DEPARTMENT, & ALL OTHER AUTHORITIES HAVING JURISDICTION.

APPROXIMATE CUT VOLUME AT STOCKPILE STORAGE BARN IS 52 YARDS. REMOVE FROM AREA & IF SUITABLE MATERIAL, UTILIZE FOR RE-GRADING PURPOSES.

APPROXIMATE CUT VOLUME AT WASHED & LOAD FACILITY IS 225 YARDS.

SCOPE OF WORK:  
NEW WASH LOAD MAINTENANCE FACILITY:  
-GROUNDS & UTILITY WORK

STRUCTURAL & FOUNDATION REPLACEMENT FOR EXISTING MAINTENANCE BARN.

**GRADING PLAN**  
SCALE: 1" = 20' - 0"

NOT FOR THIS APPLICATION

Drawings and Specifications, as instruments of professional service, are and shall remain the property of the Engineer. Documents are not to be used, in whole or in part, for other projects or purposes or by any other parties than those authorized by contract without the specific written authorization of the Engineer. The use of this document is contingent upon payment to the engineer for services rendered. Non-payment shall give the Engineer the authority to bar document use by any and all parties. If owner disputes any Engineer's statements for services, it is required that the owner advise the engineer in writing within ten (10) days. Remaining, undisputed portions are due and payable upon receipt. The owner shall indemnify the Engineer against any claims alleging damages or delays incurred in the event the Engineer exercises the right to bar document use for non-payment. Contractors must check all dimensions on site. Only figured dimensions are to be worked from. Discrepancies must be reported immediately to the Engineer before proceeding.

**LEGEND**

C.O.	CLEAN OUT
R.L.	RAIN LEADER
✖ ✖ ✖	EROSION CONTROL FENCING
— EOH —	ELECTRIC OVER HEAD
— EUG —	ELECTRIC UNDERGROUND
— SAN —	SANITARY WASTE
— W —	NEW WATER
- - - W - - -	EXISTING WATER
384	EXISTING CONTOUR
384	NEW CONTOUR
T.O.W.	TO OF WALL
B.O.W.	BOTTOM OF WALL
✖ ✖ ✖	CURB TO BE REMOVED
UD	CUT AREA
UD	UNDERDRAIN
TP-1	TEST PT-1 LOCATION
P-1	PERCOLATION TEST LOCATION
L	BUILDING LIGHT FIXTURE

No.	DESCRIPTION	DATE
1	ISSUE FOR PRICING	2018-09-13
	REVISION	2018-10-10
	REVISION	2019-02-04
4	REVISED SCOPE	2019-02-25
5	REVISED AS PER COMMENTS	2019-03-19

STAMP & SIGN:



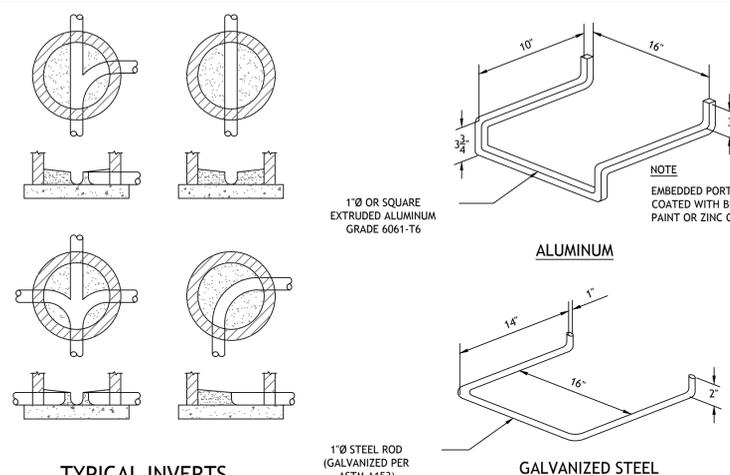
**WACCABUC COUNTRY CLUB**  
90 MEAD STREET  
LEWISBORO, NY 10597

**DETAILS & SECTIONS**

PROJECT NUMBER: #2018-29  
DATE: 2018-09-13  
DRAWN BY: EF  
CHECKED BY: PGM

**C-3**

SCALE: AS NOTED



**NOTES**

CASTINGS DESIGNATED AS "HEAVY DUTY" SHALL SAFELY WITHSTAND AASHTO HS20 HIGHWAY LOADING.

ALL STEEL TO BE STRUCTURAL GRADE CONFORMING TO ASTM A36.

CAST IRON SHALL CONFORM TO ASTM A48 CLASS 30.

SEAT OF MANHOLE FRAMES, EDGES AND BOTTOM OF COVERS SHALL BE MACHINED TO A TRUE SURFACE SO COVERS WILL NOT BIND OR ROCK ON FRAMES.

FIRST STEP FROM TOP OF MANHOLE SHALL BE SHORTENED SO AS TO EXTEND NOT MORE THAN 4" FROM WALL OF MANHOLE. ALL OTHER STEPS SHALL EXTEND 6" FROM WALL.

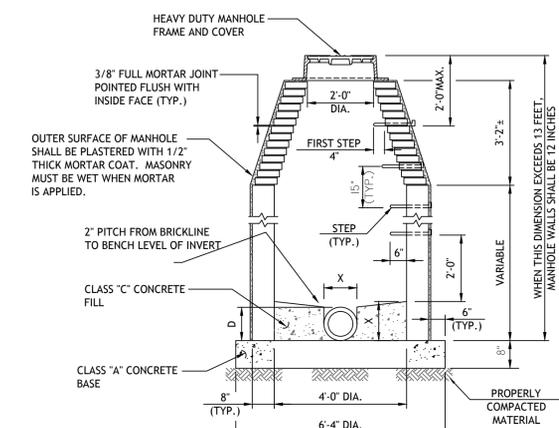
APPROVED CONCRETE BLOCK MAY BE USED IN LIEU OF BRICK IN THE CONSTRUCTION OF CATCH BASINS AND STORM MANHOLES.

WHERE SHOWN, STEEL ITEMS SHALL BE HOT-DIP GALVANIZED IN ACCORDANCE WITH ASTM A123 FOR STEEL SHAPES AND PLATES, OR ASTM A153 FOR HARDWARE.

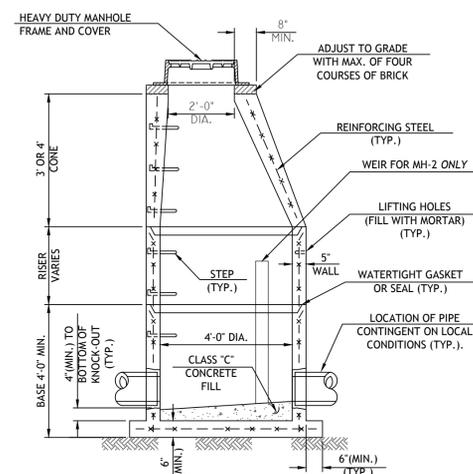
REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING:  
BAR REINFORCEMENT - ASTM A615 GRADE 60  
WELDED WIRE FABRIC - ASTM A184  
WELDED DEFORMED WIRE FABRIC - ASTM A497

UNREINFORCED PIPES SHALL BE CUT FLUSH WITH INSIDE FACE OF C.B. WALL. REINFORCED PIPES SHALL BE CUT TO PROVIDE 1" RECESS INTO FACE OF C.B. WALL. CUT END SHALL THEN BE PATCHED WITH MORTAR FLUSH WITH WALL.

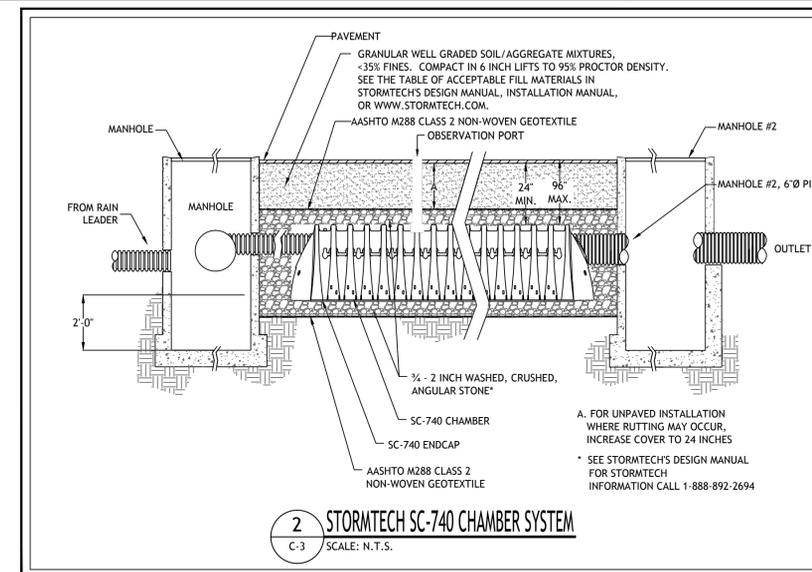
ALL UNUSED KNOCK-OUTS SHALL BE BRICKED UP WHERE DIRECTED BY THE ENGINEER.



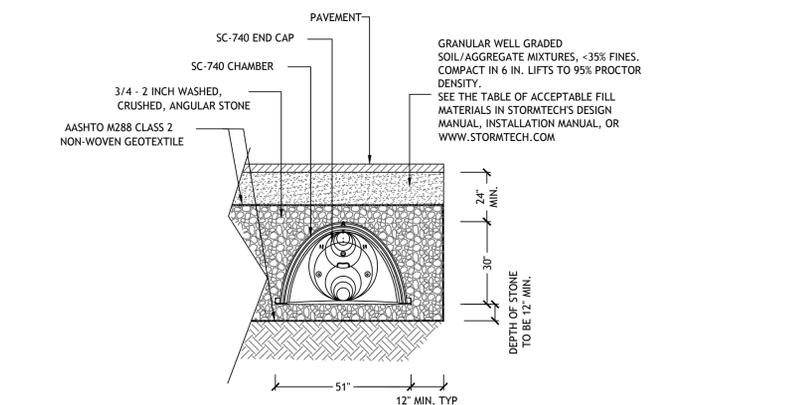
**1 STANDARD MANHOLE**  
C-3 SCALE: N.T.S.



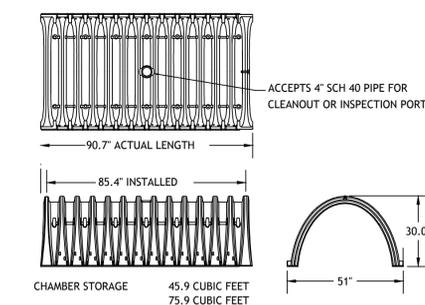
**2 STANDARD MANHOLE**  
C-3 SCALE: N.T.S.



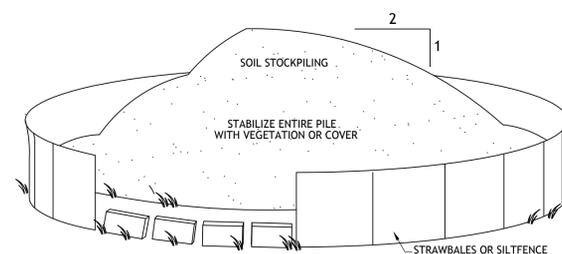
**3 STORMTECH SC-740 CHAMBER SYSTEM TYPICAL CROSS SECTION DETAIL**  
C-3 SCALE: N.T.S.



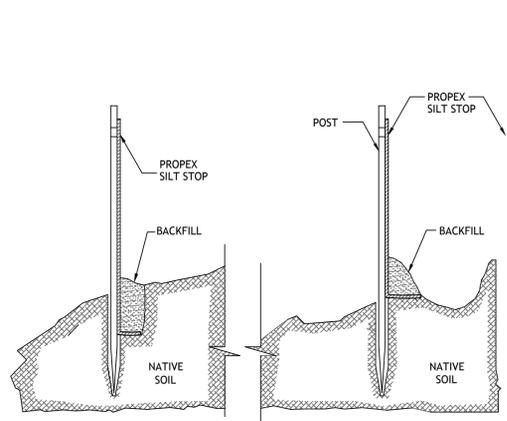
**6 STORMTECH SC-740 CHAMBER SYSTEM TYPICAL CROSS SECTION DETAIL**  
C-3 SCALE: N.T.S.



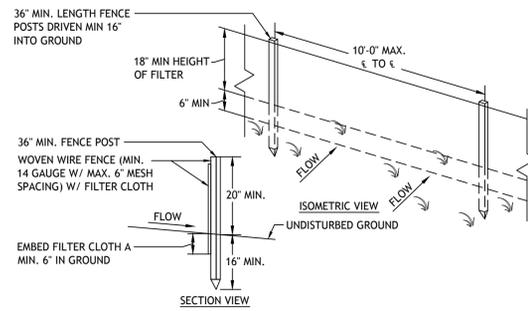
**4 STORMTECH SC-740 CHAMBER INFILTRATOR**  
C-3 SCALE: N.T.S.



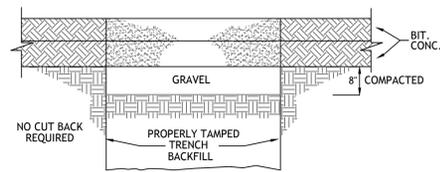
**5 STOCKPILE SOIL DETAIL**  
C-3 SCALE: N.T.S.



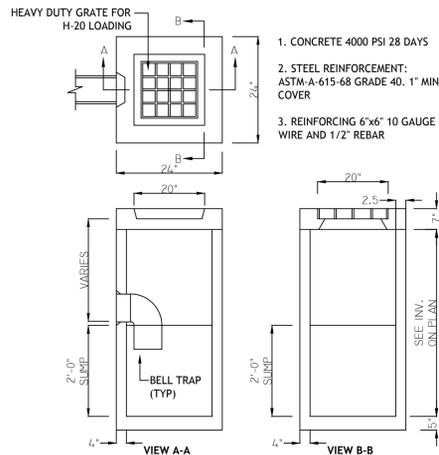
**7 SILT FENCE DETAIL**  
C-4 SCALE: N.T.S.



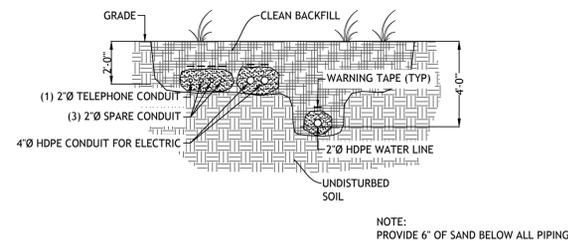
- CONSTRUCTION SPECIFICATIONS**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE, OR HARDWOOD.
  2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
  3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
  4. PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
  5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



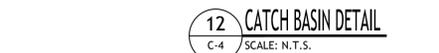
**8 GRAVEL AND DIRT ROADS**  
C-4 SCALE: N.T.S.



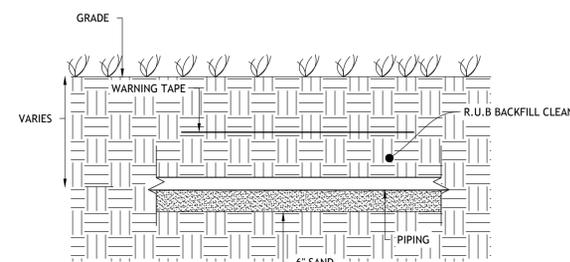
**14 TYP PIPE TRENCH DETAIL**  
C-4 SCALE: N.T.S.



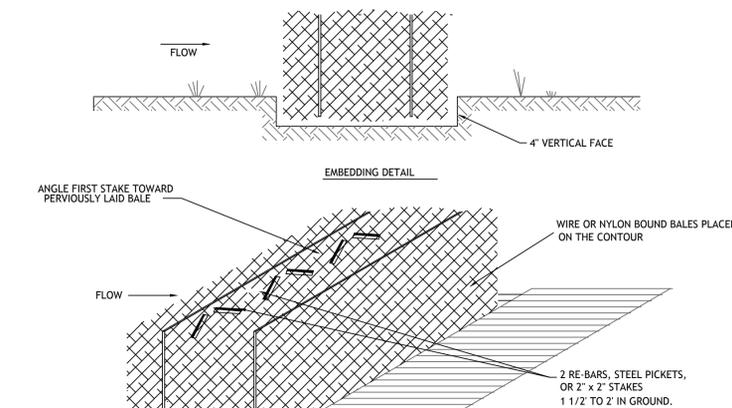
**9 TYPICAL UTILITY TRENCH DETAIL**  
C-4 SCALE: N.T.S.



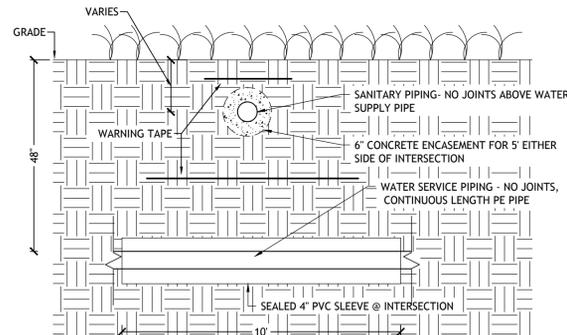
**12 CATCH BASIN DETAIL**  
C-4 SCALE: N.T.S.



**15 PLAN VIEW OF MANIFOLD ENTERING & EXITING**  
C-4 SCALE: N.T.S.

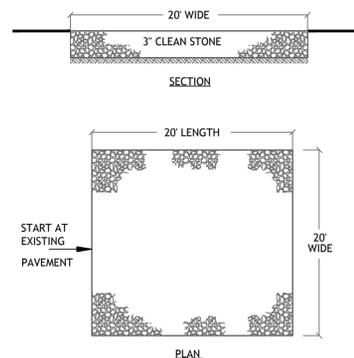


**16 HAY BALE ANCHORING DETAIL**  
C-4 SCALE: N.T.S.

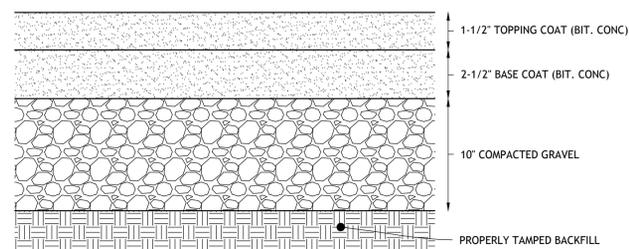


**10 SANITARY AND WATER CROSSING DETAIL**  
C-4 SCALE: N.T.S.

**NOTES:**  
\* MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.  
\* PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PERFORMED AFTER EACH RAIN.



**13 ANTI-TRACKING APRON**  
C-4 SCALE: N.T.S.



**11 DRIVEWAY PAVEMENT SECTION**  
C-4 SCALE: N.T.S.

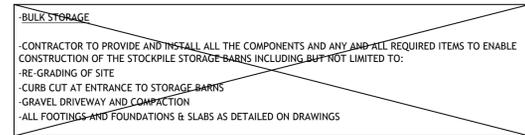
**SCOPE OF WORK:**

-THE FOLLOWING IS A LIST OF REQUIRED WORK AT THE SITE. ALL WORK TO BE IN ACCORDANCE WITH TOWN OF LEWISBORO BUILDING, PLANNING AND ZONING AND WATER CONTROL AGENCIES AS WELL AS STATE OF NEW YORK BUILDING CODES. THIS LIST IS NOT INTENDED BE ALL INCLUSIVE ALL REQUIRED WORK AND MATERIAL TO BE SUPPLIED AS TO PROVIDE COMPLETED STRUCTURES.

**CHEMICAL & WASH DOWN FACILITY**

CONTRACTOR TO PROVIDE AND INSTALL ALL OF THE COMPONENTS AND ANY AND ALL OTHER REQUIRED ITEMS TO ENABLE CONSTRUCTION OF THE WASH & LOAD MAINTENANCE FACILITY INCLUDING BUT NOT LIMITED TO:

- ALL GRADING OF SITE AND ADJACENT DRIVE AREAS.
- ALL FOOTINGS AND FOUNDATIONS, ALL RETAINING WALLS AS DETAILED ON STRUCTURAL DRAWINGS FOR BUILDING.
- ALL PAVED AND UNPAVED AREAS CONSISTING OF BASE, GRAVEL, BASE AND FINISH ASPHALT TOPPING AS DETAILED AND AS REQUIRED.
- ALL UTILITY SERVICE HOOKUPS TO NEW BUILDING INCLUDING UNDERGROUND POTABLE WATER, SANITARY WASTE, STORM WATER AND ELECTRIC SERVICE WITH RELOCATION OF SAME AS REQUIRED.
- POTABLE WATER TO BE TIED TO EXISTING 2" MAIN AS SHOWN WITH HIGH DENSITY POLYETHYLENE (HDPE) PIPING.
- SANITARY TO BE TIED INTO EXISTING SERVICE WITH SCHEDULE 80 & 40 HDPE.
- A COMPLETE STORM WATER RETENTION SYSTEM AND OVERFLOW WITH ALL STRUCTURES AND PIPING AS SHOWN ON PLANS PIPING TO BE HDPE
- A NEW ELECTRIC POWER POLE AND RELOCATION OF OVERHEAD ELECTRIC SERVICE TO UNDERGROUND SERVICE TO ADJACENT BUILDING. ALL POWER LINES TO BE COPPER IN SCHEDULE 40 OR 80 HDPE.
- RETAINING WALL AND FENCING AS SHOWN



- BULK STORAGE**
- CONTRACTOR TO PROVIDE AND INSTALL ALL THE COMPONENTS AND ANY AND ALL REQUIRED ITEMS TO ENABLE CONSTRUCTION OF THE STOCKPILE STORAGE BARN INCLUDING BUT NOT LIMITED TO:
- RE GRADING OF SITE
  - CURB CUT AT ENTRANCE TO STORAGE BARN
  - GRAVEL DRIVEWAY AND COMPACTION
  - ALL FOOTINGS AND FOUNDATIONS & SLABS AS DETAILED ON DRAWINGS
  - FOUNDATION & SLAB INSTALLATION AT MAINTENANCE BUILDING
- CONTRACTOR TO PROVIDE AND INSTALL ALL REQUIRED SHORING, EXCAVATION, SLABS, FOUNDATIONS AS PER THE DRAWINGS AND NOT LIMITED TO:
- SHORING AND UNDERPINNING OF EXISTING BUILDING AND COLLAPSING FOUNDATION AREA
  - EXCAVATION AND PLACEMENT OF FOOTINGS AND FOUNDATION AT SAME AREA AS SHOWN ON DRAWINGS
  - LEVELING AND GRADING, COMPACTING, AND GRAVEL AND CONCRETE PLACEMENT AT GARAGE AREA OF MAINTENANCE BUILDING INCLUDING, ALL GRAVEL, VAPOR BARRIER, COMPACTION, CONCRETE AND REINFORCEMENT PLACEMENT.
  - REPLACEMENT OF ALL EXISTING WOOD COLUMNS WITH 8"x8"x1/2" HSS STEEL COLUMNS ON 4'x4'x12" REINFORCED FOOTINGS.
  - ALL REQUIRED CONNECTIONS OF EXISTING BUILDING TO NEW ELEMENTS

**MARCHETTI CONSULTING ENGINEERS**  
25 High Ridge Rd  
Pound Ridge, NY 10576  
P (914) 764-9011  
F (914) 764-9012  
info@marchetticonsultingengineers.com

Drawings and Specifications, as instruments of professional service, are and shall remain the property of the Engineer. Documents are not to be used, in whole or in part, for other projects or purposes or by any other parties than those authorized by contract without the specific written authorization of the Engineer. The use of this document is contingent upon payment to the engineer for services rendered. Non-payment shall give the Engineer the authority to bar document use by any and all parties. If owner disputes any Engineer's statements for services, it is required that the owner advise the engineer in writing within ten (10) days. Remaining, undisputed portions are due and payable upon receipt. The owner shall indemnify the Engineer against any claims alleging damages or delays incurred in the event the Engineer exercises the right to bar document use for non-payment. Contractors must check all dimensions on site. Only figured dimensions are to be worked from. Discrepancies must be reported immediately to the Engineer before proceeding.

**LEGEND**

C.O.	CLEAN OUT
R.L.	RAIN LEADER
✖ ✖ ✖	EROSION CONTROL FENCING
— EOH —	ELECTRIC OVER HEAD
— EUG —	ELECTRIC UNDERGROUND
— SAN —	SANITARY WASTE
— W —	NEW WATER
- - - W - - -	EXISTING WATER
384	EXISTING CONTOUR
384	NEW CONTOUR
T.O.W.	TOP OF WALL
B.O.W.	BOTTOM OF WALL
✖ ✖ ✖	CURB TO BE REMOVED
▨	CUT AREA
UD	UNDERDRAIN
● TP-1	TEST PT-1 LOCATION
● P-1	PERCOLATION TEST LOCATION
■ L	BUILDING LIGHT FIXTURE

No.	DESCRIPTION	DATE
1	ISSUE FOR PRICING	2018-09-13
	REVISION	2018-10-10
	REVISION	2019-02-04
4	REVISED SCOPE	2019-02-25
5	REVISED AS PER COMMENTS	2019-03-19

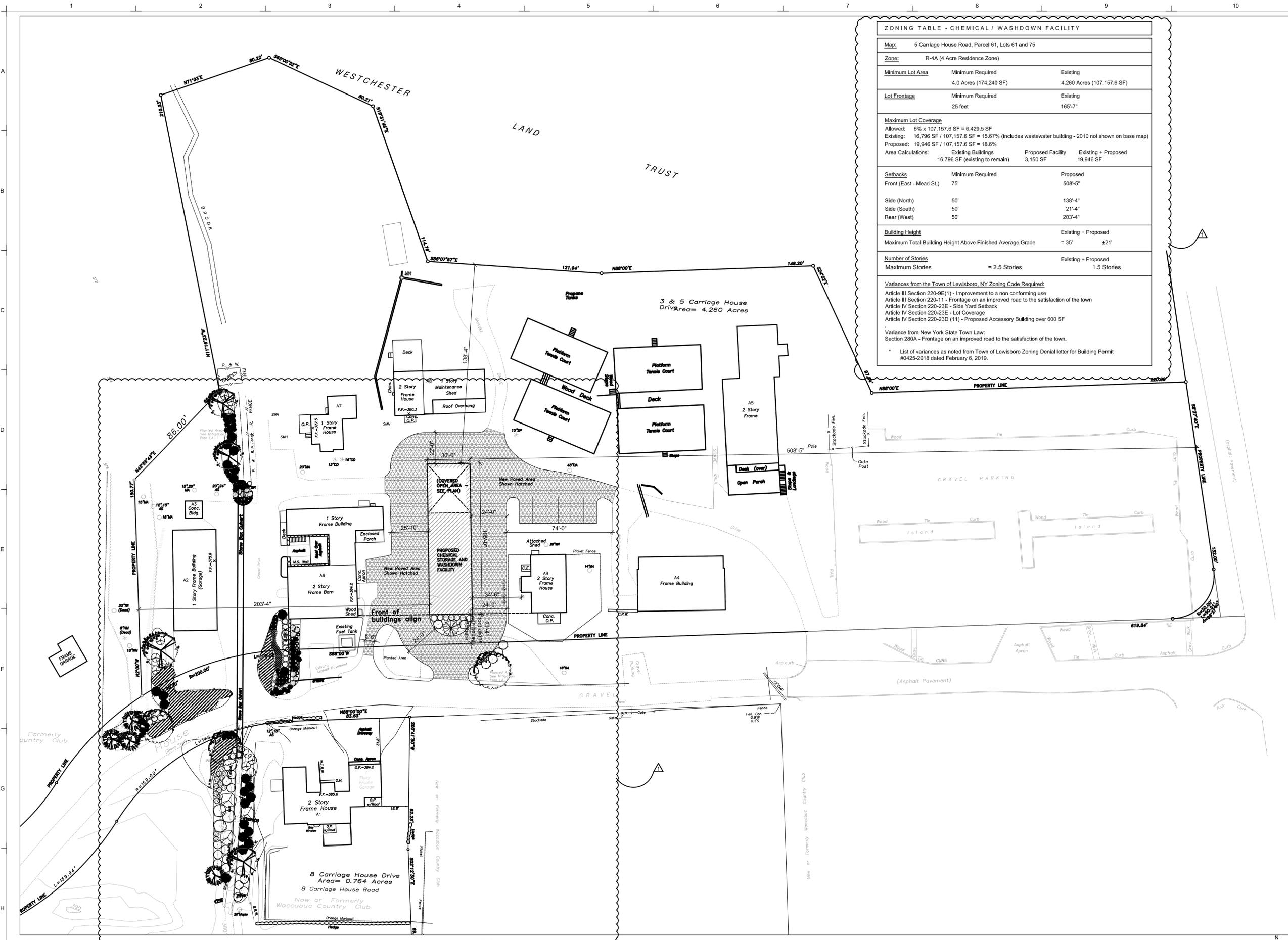
**STAMP & SIGN:**

**WACCABUC COUNTRY CLUB**  
90 MEAD STREET  
LEWISBORO, NY 10597

**DETAILS & SECTIONS**

PROJECT NUMBER: #2018-29  
DATE: 2018-09-13  
DRAWN BY: EF  
CHECKED BY: PGM

**C-4**  
SCALE: AS NOTED



ZONING TABLE - CHEMICAL / WASHDOWN FACILITY			
Map:	5 Carriage House Road, Parcel 61, Lots 61 and 75		
Zone:	R-4A (4 Acre Residence Zone)		
Minimum Lot Area	Minimum Required 4.0 Acres (174,240 SF)	Existing 4.260 Acres (107,157.6 SF)	
Lot Frontage	Minimum Required 25 feet	Existing 165'-7"	
Maximum Lot Coverage	Allowed: 6% x 107,157.6 SF = 6,429.5 SF Existing: 16,796 SF / 107,157.6 SF = 15.67% (Includes wastewater building - 2010 not shown on base map) Proposed: 19,946 SF / 107,157.6 SF = 18.6%		
Area Calculations:	Existing Buildings 16,796 SF (existing to remain)	Proposed Facility 3,150 SF	Existing + Proposed 19,946 SF
Setbacks	Minimum Required	Proposed	
Front (East - Mead St.)	75'	508'-5"	
Side (North)	50'	138'-4"	
Side (South)	50'	21'-4"	
Rear (West)	50'	203'-4"	
Building Height	Existing + Proposed Maximum Total Building Height Above Finished Average Grade = 35' ±21'		
Number of Stories	Existing + Proposed Maximum Stories = 2.5 Stories Existing + Proposed 1.5 Stories		
Variances from the Town of Lewisboro, NY Zoning Code Required:			
Article III Section 220-9E(1) - Improvement to a non conforming use			
Article III Section 220-11 - Frontage on an improved road to the satisfaction of the town			
Article IV Section 220-23E - Side Yard Setback			
Article IV Section 220-23E - Lot Coverage			
Article IV Section 220-23D (11) - Proposed Accessory Building over 600 SF			
Variance from New York State Town Law: Section 280A - Frontage on an improved road to the satisfaction of the town.			
* List of variances as noted from Town of Lewisboro Zoning Denial letter for Building Permit #0425-2018 dated February 6, 2019.			

**DOYLE COFFIN ARCHITECTURE**  
 Doyle Coffin Architecture, LLC  
 158 Danbury Road  
 Ridgefield, Connecticut 06877  
 203/431/6001  
 203/431/9764 fax  
 info@doylecoffinarchitecture.com  
 doylecoffinarchitecture.com

**PRELIMINARY NOT FOR CONSTRUCTION**  
 THIS COMPUTER FILE / DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION. DO NOT START CONSTRUCTION WITHOUT A SEALED SET OF CONSTRUCTION DOCUMENTS FROM THE ARCHITECT.

**NOTES**  
 1. Survey Information references "Base Map Survey" dated January 31, 2019; prepared by Insite Engineering, Surveying and Landscape Architecture, P.C., 3 Garrett Place, Carmel, NY 10512

**CHEMICAL MIXING STORAGE AND WASH FACILITY**  
 WACCABUC COUNTRY CLUB  
 MEAD STREET  
 WACCABUC, NY 10597

ISSUED		01/31/19
REVISIONS		
▲	Revised per 3/14/19 Memo	03/18/19

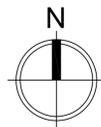
PRINCIPAL	JMD	P.A.	KJT
JOB NUMBER	885	SCALE	AS NOTED

**ZONING**  
**ARCHITECTURAL SITE PLAN**

© 2018 DOYLE COFFIN ARCHITECTURE, LLC

SHEET  
**AS1.0**





- NOTES:
1. BASE INFORMATION TAKEN FROM "SITE UTILITIES & DRAINAGE PLAN" PREPARED BY MARCHETTI CONSULTING ENGINEERS, DATED 9/13/18; REV. 2.4.19
  2. SEE SITE DEVELOPMENT PLANS PREPARED BY MARCHETTI CONSULTING ENGINEERS FOR ALL GRADING, DRAINAGE, UTILITIES, ETC.

**DISTURBANCE / MITIGATION CALCULATION:**

**AREA OF DISTURBANCE\*:**

- 4,064 ± S.F.

**PROPOSED MITIGATION (PLANT BEDS):**

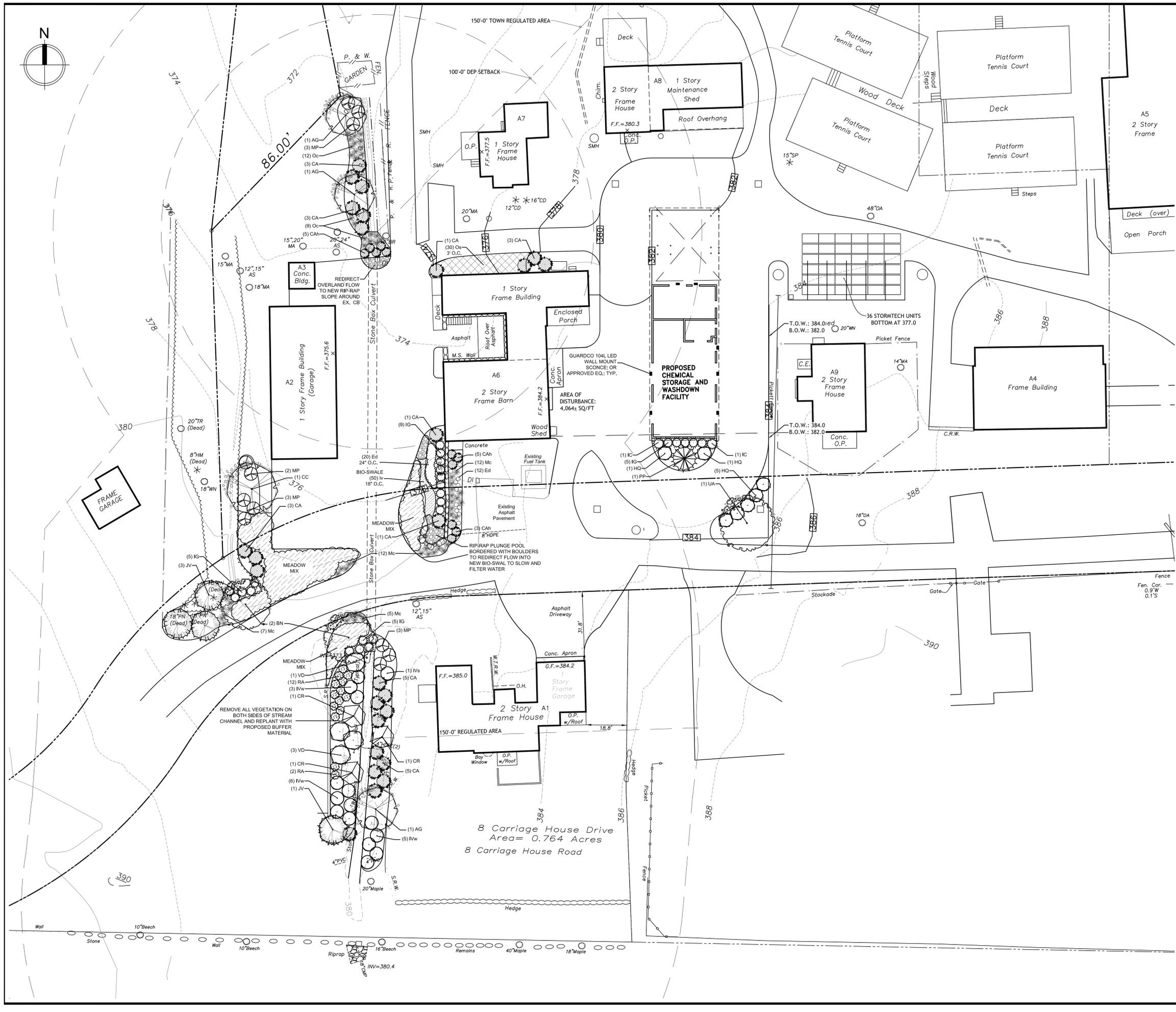
- 5,350 ± S.F.

\*DISTURBANCE IS CALCULATED USING AREAS LOCATED WITHIN THE 150' TOWN REGULATED BUFFER AREA THAT ARE NOT CURRENTLY DEVELOPED (LAWN / AND OR PLANTING AREA).

SEED ALL DISTURBED AREAS WITH GENERAL SEED MIX UNLESS OTHERWISE NOTED.

NEW PLANT MATERIAL TO BE LAID OUT IN FIELD BY LANDSCAPE ARCHITECT

SEE SHEET L2 FOR PLANTING NOTES AND DETAILS



3.17.19		REVISED BASE PLAN / TOWN STAFF COMMENTS
DATE:	REVISION:	
		A2 Land Consulting, LLC 30 Rocky Hill Rd. New Fairfield, CT 06812
		P: 845.531.1504 E: abigail@a2land.com W: www.a2land.com
<b>MITIGATION PLAN</b>		
PREPARED FOR		DATE: 2.7.18
WACCABUC COUNTRY CLUB  90 MEAD STREET LEWISBORO, NY		SCALE: 1" = 20'
		PROJ #: 1915
		DWG FILE: 1915LA
		SHEET: L1
		



Gardco 104L LED wall sconces feature a low-profile design that provides wide flexibility in high performance exterior wall illumination. Full cutoff performance, usable illumination patterns, and powerful wattages combine into a compact and architecturally pleasing design. 104L sconces are available in Type 2, 3, and 4 distributions, and provide output of up to 9500 lumens. Energy saving control options increase energy savings and offer California Title 24 compliance. Emergency Battery Backup option available for path of egress.

Ordering guide example: 104L-32L-700-NW-G1-3-DC-IMR2-EZ

104L	LED	Color	Beam	Mount	Control	Options	Notes
104L-32L-700-NW-G1-3-DC-IMR2-EZ	32L	700	NW	G1	3	DC-IMR2	EZ

1. 104L sconce available with Emergency Battery Backup Gold Rated (EBC) option.
2. 32L sconce is 30" x 30" x 30".
3. Available with 104L-32L-700-NW-G1-3-DC-IMR2-EZ. Beam angle is 30° x 30°.
4. Available with 104L-32L-700-NW-G1-3-DC-IMR2-EZ. Beam angle is 30° x 30°.
5. Not available with Dual Circuit (DC) option.
6. Not available with Emergency Battery Backup (EBC) option.
7. Not available with Streaming Drive (SD) option.
8. Available in 30" x 30" x 30". Contact technical support center for more information.
9. Available in 104L-32L-700-NW-G1-3-DC-IMR2-EZ.
10. Available with 104L-32L-700-NW-G1-3-DC-IMR2-EZ.
11. Not available with 104L-32L-700-NW-G1-3-DC-IMR2-EZ.
12. Not available with 104L-32L-700-NW-G1-3-DC-IMR2-EZ.
13. Not available with 104L-32L-700-NW-G1-3-DC-IMR2-EZ.
14. Not available with 104L-32L-700-NW-G1-3-DC-IMR2-EZ.

104L 10/18 page 1 of 6

## 104L Sconce LED

### Wall Mount

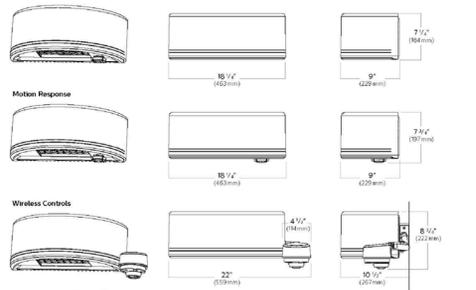
#### Luminaire Accessories (order separately)

**Mounting accessories**  
**Wall Mount**  
 WB - Wall Mounted Base for Surface Conduit.

**System accessories**  
 Wireless system remote control module  
 LCC23-IP2 - 23" beam - specify finish in place of (F)  
 LCC23-IP3 - 33" beam - specify finish in place of (F)

**Wireless system remote controller accessory**  
 Wireless system remote controller accessory that is connected to a lighting system (sold by other) inside a sconce can be connected to wall sconce with 1/2" hole supplied. May be specified by choosing one of two different beam sizes (available in a variety of mounting heights/beam directions). Must specify option (E) in accessories that are placed in the sconce with remote controller. See page for Wireless system detail.

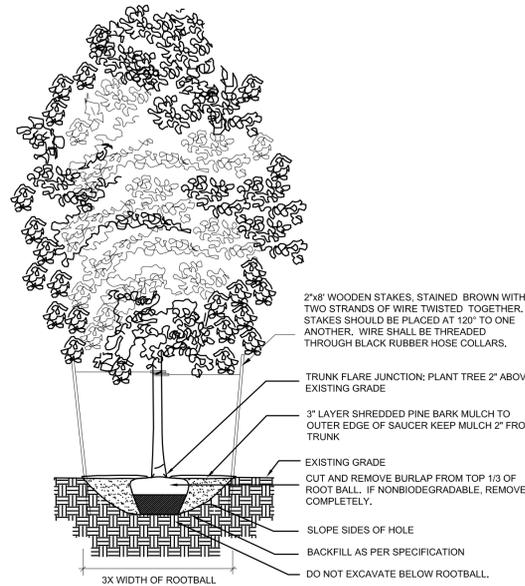
#### Dimensions



Luminaire Weights

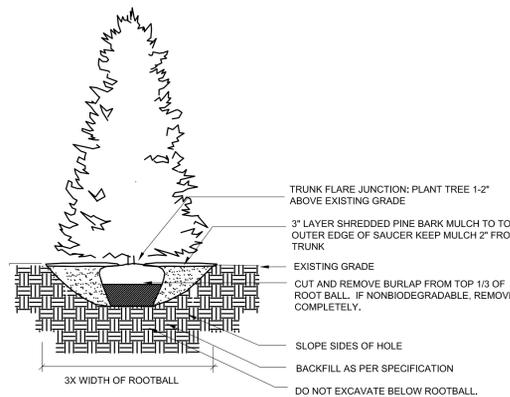
LED Wall Sconce 104L	Weight
Luminaire - IMR2 (104L)	1.2 lbs
Luminaire - IMR2 (104L) system control (104L)	1.3 lbs

104L 10/18 page 2 of 6



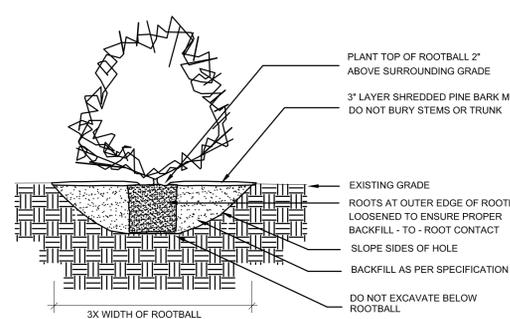
## DECIDUOUS TREE PLANTING

N.T.S.



## EVERGREEN TREE PLANTING

N.T.S.



## SHRUB PLANTING

N.T.S.

## GENERAL PLANTING NOTES

1. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO APPLICABLE A.N.L.A. STANDARDS.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE DRAWINGS AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
3. ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT OR CLIENT. ANY INSTALLATIONS WHICH WERE NOT PRE-APPROVED AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE MOVED, WILL BE DONE AT THE CONTRACTORS EXPENSE.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGE AT HIS OWN EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD, WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
7. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
8. SUBSTITUTIONS PERMITTED ONLY UPON WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
9. PLANT TAGS TO REMAIN ON ALL PLANT MATERIAL UNTIL FINAL ACCEPTANCE, CONTRACTOR TO THEN REMOVE ALL PLANT TAGS.
10. WHERE A SIZE RANGE IS GIVEN IN THE PLANT SCHEDULE, AT LEAST 50% OF THE PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
11. CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.
12. CONTRACTOR TO MAINTAIN ALL PLANT MATERIAL UNTIL 60 DAYS AFTER FINAL ACCEPTANCE.

## SEED MIXES

**GENERAL SEED MIX:**  
 WATER STAR ULTRA MIXTURE  
 AS SUPPLIED BY PLANTER CHOICE NURSERY, OR APPROVED EQUAL.  
 30% Razor Creeping Red Fescue  
 20% Interga Perennial Ryegrass  
 20% APR 2015 Perennial Ryegrass  
 10% Survivor Chequing Red Fescue  
 10% Soprano Perennial Ryegrass  
 10% Blue Bonnet Kentucky Blue  
 50# per 12,500 sq. ft.

**MEADOW MIX:**  
 NATIVE UPLAND WILDLIFE FORAGE AND COVER MEADOW MIX  
 ERNMX-123  
 AS SUPPLIED BY ERNST SEED, OR APPROVED EQUAL.

15.00%	Thripasacum dactyloides	Eastern Gamma Grass
12.00%	Elymus canadensis	Canada Wild Ryegrass
10.00%	Andropogon gerardii	Big Bluestem, Niagra
10.00%	Andropogon scoparius	Little Bluestem
10.00%	Bromus ciliatus	Fringed Brome Grass
10.00%	Panicum virgatum	Switch Grass, Shelter
8.00%	Sorghastrum nutans	Indian Grass
6.00%	Chamaecrista fasciculata	Partridge Pea
5.00%	Panicum amaranth	Atlantic Coastal Panic Grass
5.00%	Poa palustris	Fowl Bluegrass
4.00%	Coneopsis tinctoria	Plains Coneopsis
3.00%	Rudbeckia hirta	Black Eyed Susan
2.00%	Desmodium canadense	Showy Tick Trefol

Seeding Rate: 15lb per acre, or 1/3-1/2 lb per 1,000 sq ft

This mix provides forage and cover for a wide range of desirable wildlife, including butterflies and pollinators.

## PROPOSED PLANTING SCHEDULE

SYM	BOTANICAL-NAME	COMMON-NAME	SIZE	ROOT	QTY
<b>CANOPY, ORNAMENTAL &amp; EVERGREEN TREES:</b>					
BN	Betula nigra 'Heritage'	Heritage Birch	10'-12' Ht.	B&B Clump 2	
CC	Cercis canadensis	Eastern Red Bud	10'-12' Ht.	B&B Clump 1	
JV	Juniperus virginiana	Eastern Red Cedar	5'-6' Ht.	B&B 4	
PP	Picea pungens 'Fat Albert'	'Fat Albert' Spruce	5'-6' Ht.	B&B 1	
UA	Ulmus americana 'Princeton'	'Princeton' Elm	10'-12' Ht.	B&B 1	

## SHRUBS:

AG	Amelanchier x grandiflora 'Autumn Brilliance'	'Autumn Brilliance'	10 Gal.	Cont.	3
CA	Clethra alnifolia 'Ruby Spice'	'Ruby Spice' Clethra	3 Gal.	Cont.	25
CAH	Clethra alnifolia 'Hummingbird'	'Hummingbird' Clethra	3 Gal.	Cont.	11
CR	Comus Racemosa	Gray Dogwood	5 Gal.	Cont.	3
HQ	Hydrangea quercifolia 'Snow Queen'	'Snow Queen' Oakleaf Hydrangea	3 Gal.	Cont.	7
IC	Ilex crenata 'Schwoebel Excelsa'	'Schwoebel Excelsa' Holly	5'-6' Ht.	B&B 2	
IG	Ilex glabra	Inkberry	3 Gal.	Cont.	24
IvS	Ilex verticillata 'Southern Gentleman'	'Southern Gentleman' Winterberry	3 Gal.	Cont.	1
IvW	Ilex verticillata 'Winter Gold'	'Winter Gold' Winterberry	3 Gal.	Cont.	14
MP	Myrica pennsylvanica	Northern Bayberry	7 Gal.	Cont.	11
RA	Rhus aromatica 'Gro-Low'	'Gro-Low' Fragrant Sumac	2 Gal.	Cont.	14
VD	Viburnum dentatum 'Chicago Lustre'	'Chicago Lustre' Northern Arrowwood	3'-4' Ht.	B&B 4	

## HERBACEOUS:

Ed	Eupatorium dubium 'Baby Joe'	'Baby Joe' Joe Pye Weed	1 Gal.	Cont.	32
Iv	Iris versicolor	Blue Flag Iris	2" Plug	Cont.	50
Mc	Muhlenbergia capillaris	Muhly Grass	1 Gal.	Cont.	36
Os	Onoclea sensibilis	Sensitive Fern	1 Gal.	Cont.	21
Oc	Osmunda cinnamomea	Cinnamon Fern	1 Gal.	Cont.	30

## 104L Sconce LED

### Wall Mount

#### LED Wattage and Lumen Values

Model	LED Qty	LED Color	Average Beam	Beam	Typ 1	Typ 2	Typ 4
104L-32L-700-NW-G1	32	700	4000K	37	3700	3700	3700
104L-36L-700-NW-G1	36	700	4000K	37	3700	3700	3700
104L-40L-700-NW-G1	40	700	4000K	37	3700	3700	3700
104L-44L-700-NW-G1	44	700	4000K	37	3700	3700	3700
104L-48L-700-NW-G1	48	700	4000K	37	3700	3700	3700
104L-52L-700-NW-G1	52	700	4000K	37	3700	3700	3700
104L-56L-700-NW-G1	56	700	4000K	37	3700	3700	3700
104L-60L-700-NW-G1	60	700	4000K	37	3700	3700	3700
104L-64L-700-NW-G1	64	700	4000K	37	3700	3700	3700
104L-68L-700-NW-G1	68	700	4000K	37	3700	3700	3700
104L-72L-700-NW-G1	72	700	4000K	37	3700	3700	3700
104L-76L-700-NW-G1	76	700	4000K	37	3700	3700	3700
104L-80L-700-NW-G1	80	700	4000K	37	3700	3700	3700
104L-84L-700-NW-G1	84	700	4000K	37	3700	3700	3700
104L-88L-700-NW-G1	88	700	4000K	37	3700	3700	3700
104L-92L-700-NW-G1	92	700	4000K	37	3700	3700	3700
104L-96L-700-NW-G1	96	700	4000K	37	3700	3700	3700
104L-100L-700-NW-G1	100	700	4000K	37	3700	3700	3700

#### LED Wattage and Lumen Values (Emergency Mode)

Model	LED Qty	LED Color	Average Beam	Beam	Typ 1	Typ 2	Typ 4
104L-32L-700-NW-EBC	32	700	4000K	37	3700	3700	3700
104L-36L-700-NW-EBC	36	700	4000K	37	3700	3700	3700
104L-40L-700-NW-EBC	40	700	4000K	37	3700	3700	3700
104L-44L-700-NW-EBC	44	700	4000K	37	3700	3700	3700
104L-48L-700-NW-EBC	48	700	4000K	37	3700	3700	3700
104L-52L-700-NW-EBC	52	700	4000K	37	3700	3700	3700
104L-56L-700-NW-EBC	56	700	4000K	37	3700	3700	3700
104L-60L-700-NW-EBC	60	700	4000K	37	3700	3700	3700
104L-64L-700-NW-EBC	64	700	4000K	37	3700	3700	3700
104L-68L-700-NW-EBC	68	700	4000K	37	3700	3700	3700
104L-72L-700-NW-EBC	72	700	4000K	37	3700	3700	3700
104L-76L-700-NW-EBC	76	700	4000K	37	3700	3700	3700
104L-80L-700-NW-EBC	80	700	4000K	37	3700	3700	3700
104L-84L-700-NW-EBC	84	700	4000K	37	3700	3700	3700
104L-88L-700-NW-EBC	88	700	4000K	37	3700	3700	3700
104L-92L-700-NW-EBC	92	700	4000K	37	3700	3700	3700
104L-96L-700-NW-EBC	96	700	4000K	37	3700	3700	3700
104L-100L-700-NW-EBC	100	700	4000K	37	3700	3700	3700

#### Luminaire options

**DD - 0-10V** dimming driver with leads supported through back of luminaire for secondary dimming controls by others.

**Dynamometer Automatic Profile Dimming**  
 Automatic dimming profiles (ESD/CHSD/CESD) offer safety, medical, or economy settings for shorter or longer durations. Dimming profiles provide flexibility towards energy savings and white lighting light levels during specific dark hours. 50% dimming is standard. 50% reduction in dimming all night during all dark hours. Other dimming settings are also available if different light levels are required contact Technical Support for details.

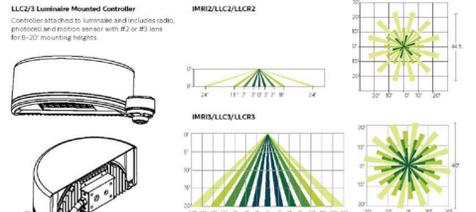
Profile	Schedule	Dimming Level
Economy	10PM - 6AM	50%
Medical	10PM - 6AM	50%
Safety	10PM - 6AM	50%
Rescue	50' - 100'	Dynamic

104L 10/18 page 3 of 6

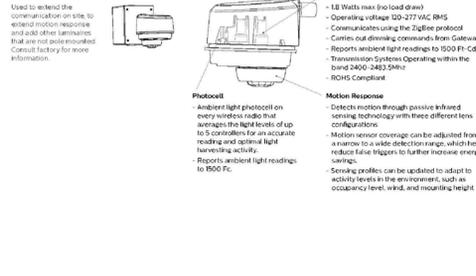
## 104L Sconce LED

### Wall Mount

#### Infrared Motion Response and Wireless system sensor coverage patterns



#### Remote Mount Wireless Controller



104L 10/18 page 4 of 6

3.17.18 REVISED BASE PLAN (TOWN STAFF COMMENTS)

DATE: REVISION:

**A2 LAND CONSULTING**  
 LANDSCAPE ARCHITECTURE  
 LAND USE CONSULTING

**A2 Land Consulting, LLC**  
 30 Rocky Hill Rd.  
 New Fairfield, CT 06812

P: 845.531.1504  
 E: abigail@a2land.com  
 W: www.a2land.com

**MITIGATION PLAN**

PREPARED FOR  
**WACCABUC COUNTRY CLUB**

90 MEAD STREET  
 LEWISBORO, NY

DATE: 2.7.18  
 SCALE: 1" = 20'  
 PROJ #: 1915  
 DWG FILE: 1915LA  
 SHEET: L2

REGISTERED LANDSCAPE ARCHITECT  
 STATE OF NEW YORK



# DOYLE COFFIN ARCHITECTURE

Doyle Coffin Architecture, LLC  
158 Danbury Road  
Ridgefield, Connecticut 06877  
203|431|6001  
203|431|9764 fax  
info@doylecoffinarchitecture.com  
doylecoffinarchitecture.com

### PRELIMINARY NOT FOR CONSTRUCTION

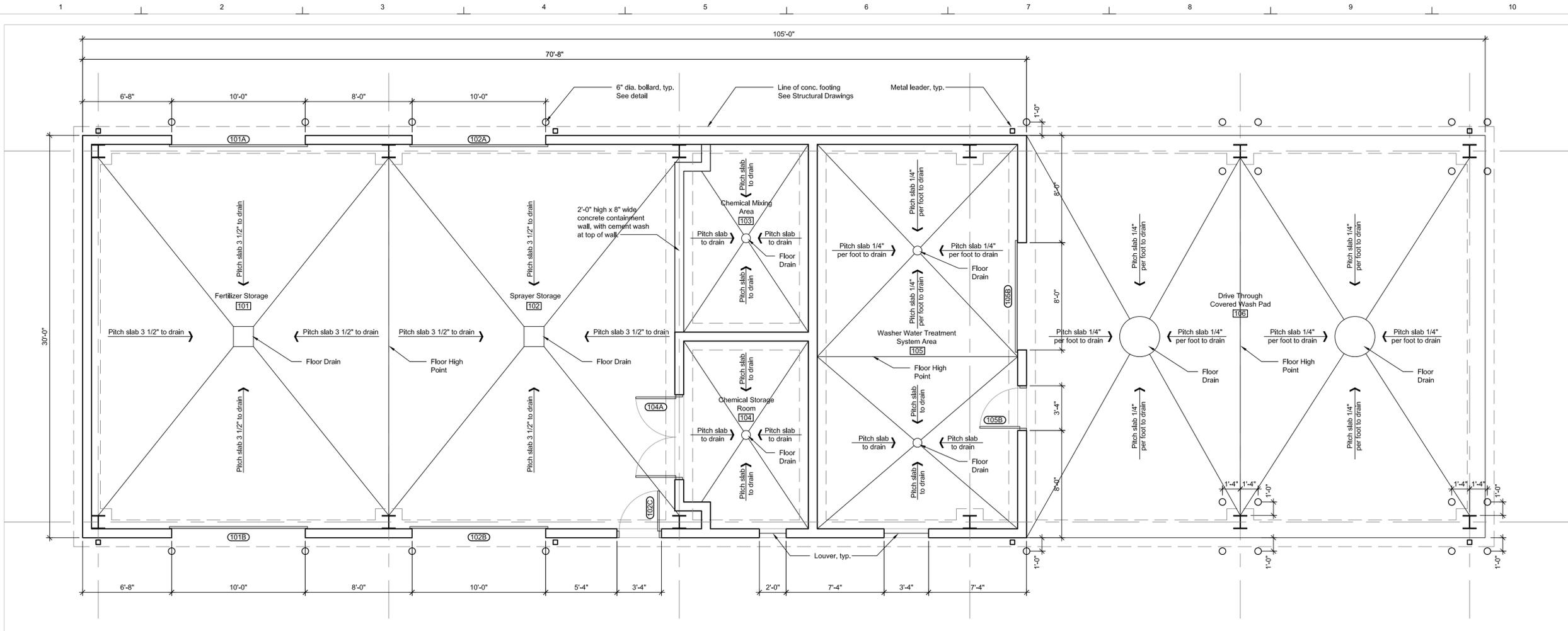
THIS COMPUTER FILE / DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION. DO NOT START CONSTRUCTION WITHOUT A SEALED SET OF CONSTRUCTION DOCUMENTS FROM THE ARCHITECT.

### NOTES

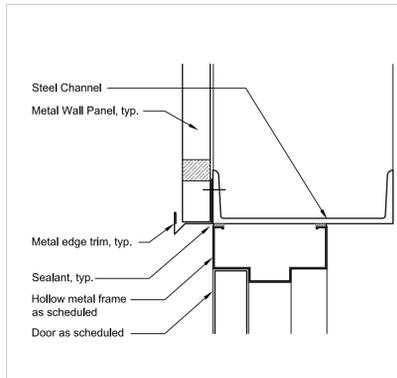
CHEMICAL MIXING STORAGE AND WASH FACILITY FOR  
WACCABUC COUNTRY CLUB

MEAD STREET  
WACCABUC, NY 10597

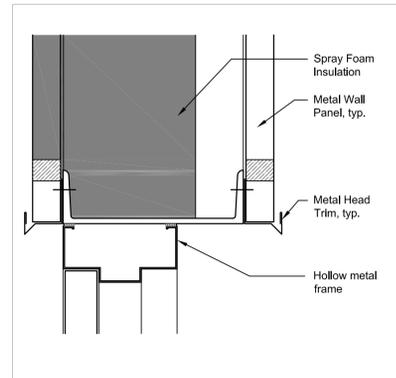
ISSUED 10/11/18  
REVISIONS



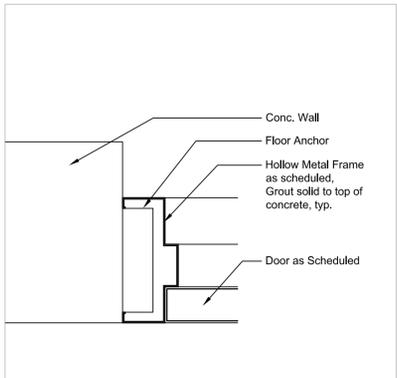
E1 FLOOR PLAN  
1/4" = 1'-0"



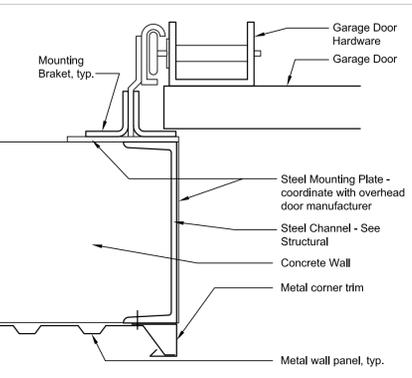
G1 A1.1 HEAD DETAIL @ METAL PANEL WALL  
3" = 1'-0"



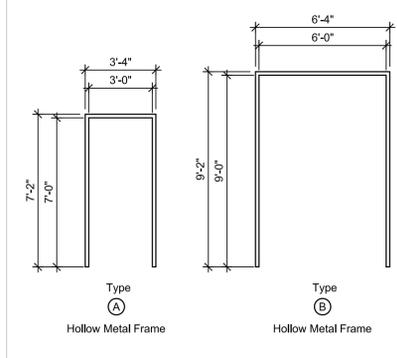
G2 A1.1 HEAD DETAIL AT INSULATED WALL  
3" = 1'-0"



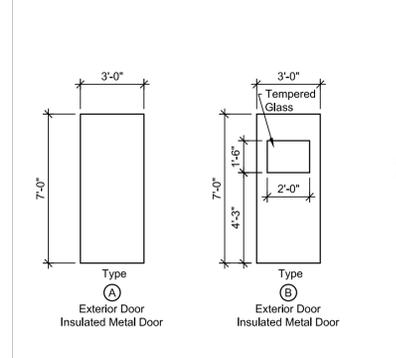
G1 A1.1 JAMB DETAIL @ CONCRETE WALL  
3" = 1'-0"



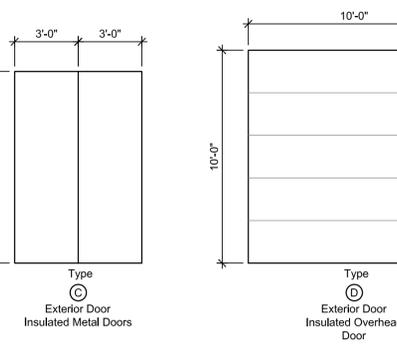
G2 A1.1 JAMB DETAIL @ OVERHEAD DOOR  
3" = 1'-0"



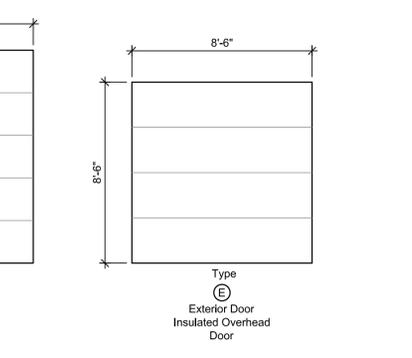
H1 A1.1 FRAME TYPES  
1/4" = 1'-0"



H2 A1.1 DOOR TYPES  
1/4" = 1'-0"



H3 A1.1 DOOR TYPES  
1/4" = 1'-0"



H4 A1.1 DOOR TYPES  
1/4" = 1'-0"

DOOR SCHEDULE									
DOOR		FRAME				FIRE		HARDWARE	
NO.	LOCATION	SIZE	TYPE	THICK	MATERIAL	FINISH	MATERIAL	FINISH	RATING GROUP #
101A	Fertilizer Storage (O.H.)	10'-0"x10'-0"	D	-	-	-	-	-	-
101B	Fertilizer Storage (O.H.)	10'-0"x10'-0"	D	-	-	-	-	-	-
102A	Sprayer Storage (O.H.)	10'-0"x10'-0"	D	-	-	-	-	-	-
102B	Sprayer Storage (O.H.)	10'-0"x10'-0"	D	-	-	-	-	-	-
102C	Sprayer Storage	3'-0"x7'-0"	B	1-3/4"	HM	Painted	HM	Painted	-
104A	Chemical Storage	3'-0"x9'-0"	C	1-3/4"	HM	Painted	HM	Painted	-
105A	Treatment Area (O.H.)	8'-0"x8'-0"	E	-	-	-	-	-	-
105B	Treatment Area	3'-0"x7'-0"	A	1-3/4"	HM	Painted	HM	Painted	-

H8 A1.1 DOOR SCHEDULE

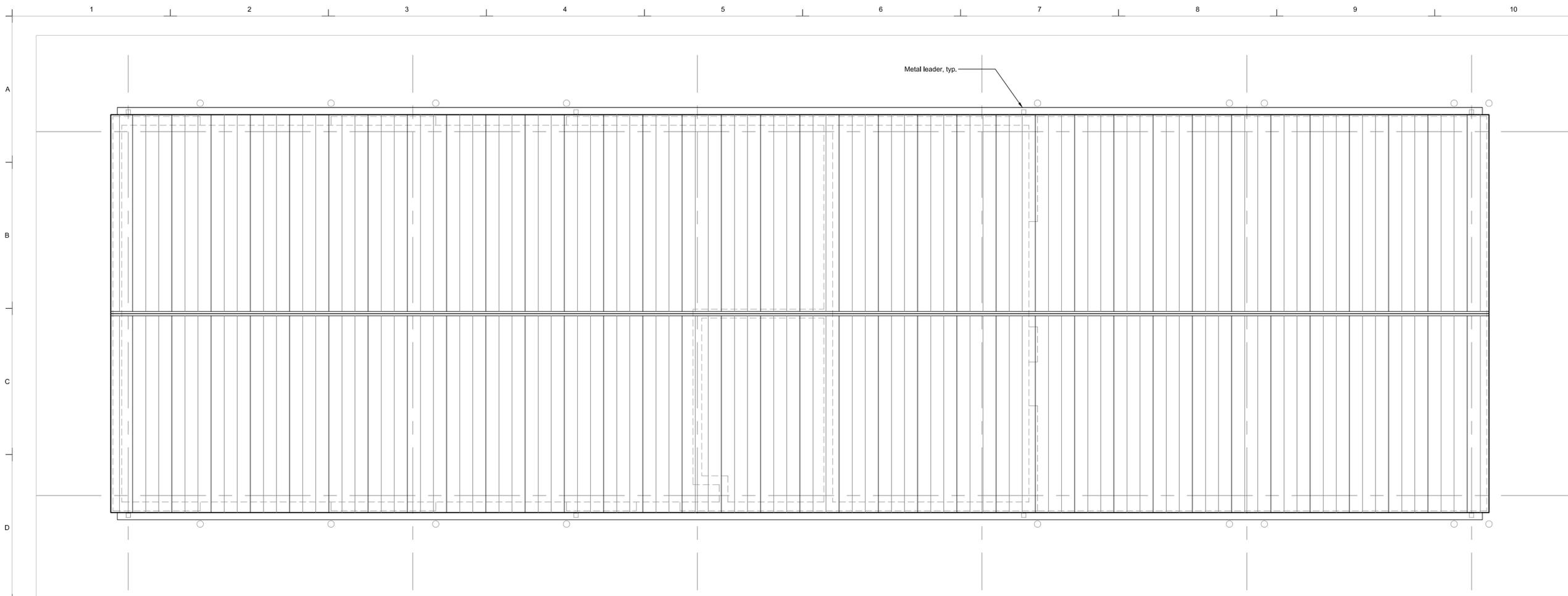
PRINCIPAL JMD P.A. KJT  
JOB NUMBER 885 SCALE AS NOTED

### SCHEMATIC DESIGN FLOOR PLAN, DOOR SCHEDULE & DOOR DETAILS

© 2018 DOYLE COFFIN ARCHITECTURE, LLC



# A1.1



Metal leader, typ.

E1  
A1.2 ROOF PLAN  
1/4" = 1'-0"



**DOYLE COFFIN  
ARCHITECTURE**

Doyle Coffin Architecture, LLC  
158 Danbury Road  
Ridgefield, Connecticut  
06877  
203|431|6001  
203|431|9764 fax  
info@doylecoffinarchitecture.com  
doylecoffinarchitecture.com

**PRELIMINARY NOT FOR CONSTRUCTION**  
THIS COMPUTER FILE / DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION. DO NOT START CONSTRUCTION WITHOUT A SEALED SET OF CONSTRUCTION DOCUMENTS FROM THE ARCHITECT.

NOTES

CHEMICAL MIXING  
STORAGE AND WASH  
FACILITY FOR  
  
WACCABUC COUNTRY  
CLUB  
  
MEAD STREET  
WACCABUC, NY 10597

ISSUED REVISIONS	10/11/18
------------------	----------

PRINCIPAL	JMD	P.A.	KJT
JOB NUMBER	885	SCALE	AS NOTED

**SCHEMATIC DESIGN  
ROOF PLAN &  
DETAILS**

© 2018 DOYLE COFFIN ARCHITECTURE, LLC

SHEET	<b>A1.2</b>
-------	-------------



**DOYLE COFFIN  
ARCHITECTURE**

Doyle Coffin Architecture, LLC  
158 Danbury Road  
Ridgefield, Connecticut  
06877  
203|431|6001  
203|431|9764 fax  
info@doylecoffinarchitecture.com  
doylecoffinarchitecture.com

**PRELIMINARY NOT FOR CONSTRUCTION**

THIS COMPUTER FILE / DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION. DO NOT START CONSTRUCTION WITHOUT A SEALED SET OF CONSTRUCTION DOCUMENTS FROM THE ARCHITECT.

**NOTES**

CHEMICAL MIXING  
STORAGE AND WASH  
FACILITY FOR  
WACCABUC COUNTRY  
CLUB

MEAD STREET  
WACCABUC, NY 10597

ISSUED	10/11/18
REVISIONS	
△ Revised per memo dated 3/14/19	3/18/19

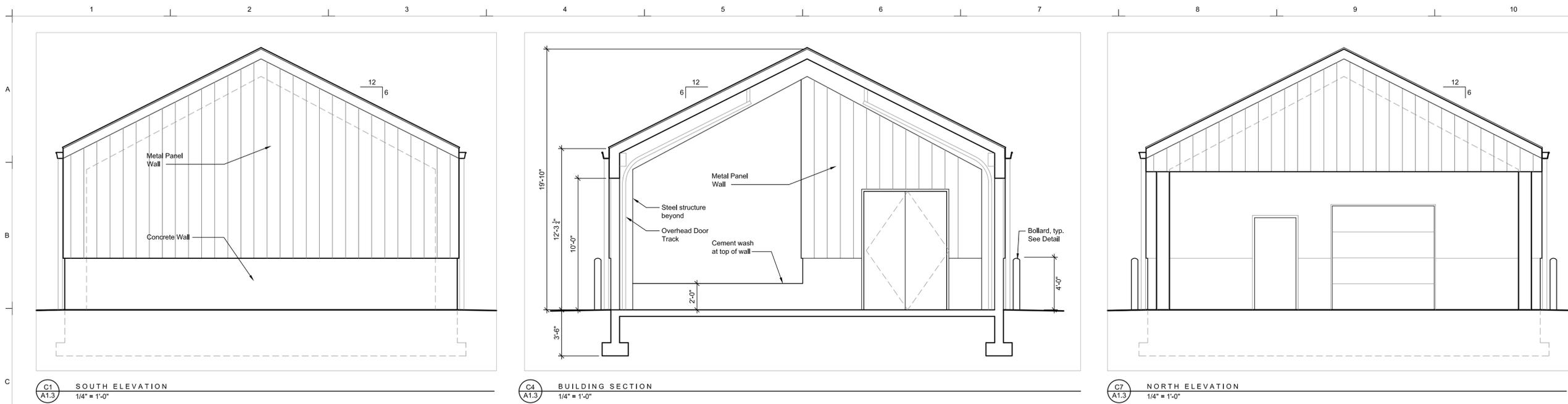
PRINCIPAL	JMD	P.A.	KJT
JOB NUMBER	885	SCALE	AS NOTED

**SCHEMATIC DESIGN  
ELEVATIONS &  
BUILDING  
SECTION**

© 2018 DOYLE COFFIN ARCHITECTURE, LLC

SHEET

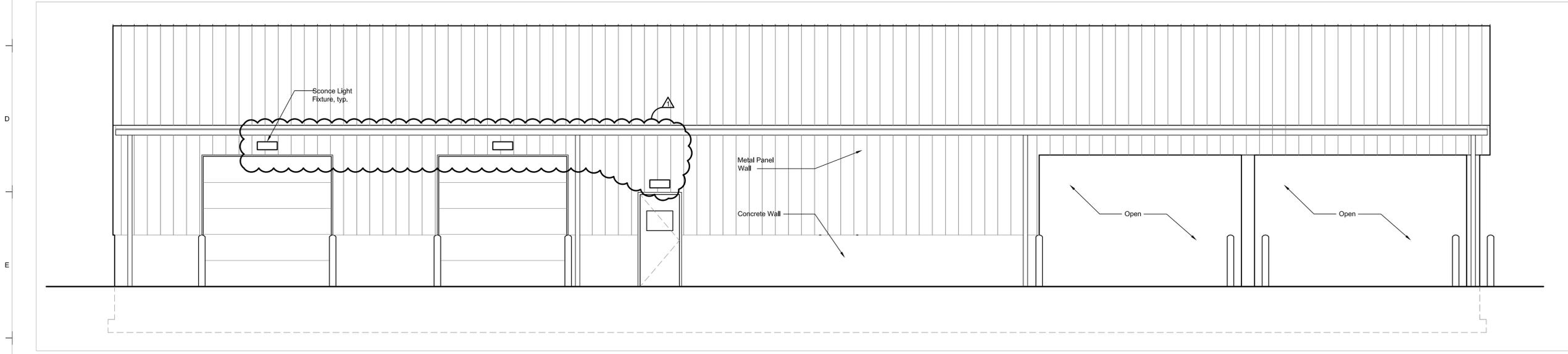
**A1.3**



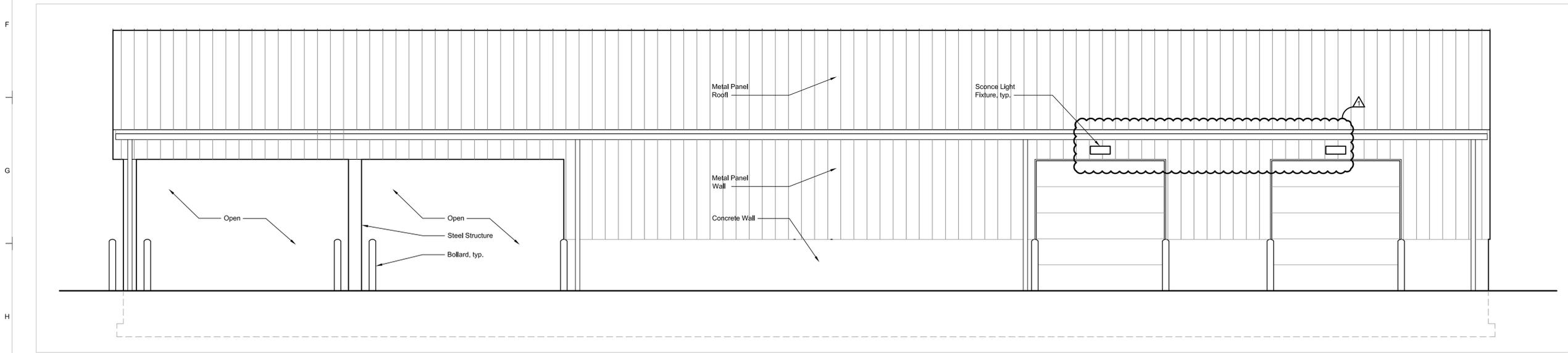
**C1**  
A1.3 SOUTH ELEVATION  
1/4" = 1'-0"

**C4**  
A1.3 BUILDING SECTION  
1/4" = 1'-0"

**C7**  
A1.3 NORTH ELEVATION  
1/4" = 1'-0"



**F1**  
A1.3 EAST ELEVATION  
1/4" = 1'-0"



**H1**  
A1.3 WEST ELEVATION  
1/4" = 1'-0"



# DOYLE COFFIN ARCHITECTURE

Doyle Coffin Architecture, LLC  
158 Danbury Road  
Ridgefield, Connecticut 06877  
203|431|6001  
203|431|9764 fax  
info@doylecoffinarchitecture.com  
doylecoffinarchitecture.com

### PRELIMINARY NOT FOR CONSTRUCTION

THIS COMPUTER FILE / DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION. DO NOT START CONSTRUCTION WITHOUT A SEALED SET OF CONSTRUCTION DOCUMENTS FROM THE ARCHITECT.

### NOTES

### CHEMICAL MIXING STORAGE AND WASH FACILITY FOR WACCABUC COUNTRY CLUB

MEAD STREET  
WACCABUC, NY 10597

ISSUED 10/11/18

REVISIONS  
Revised per memo dated 3/14/19 3/18/19

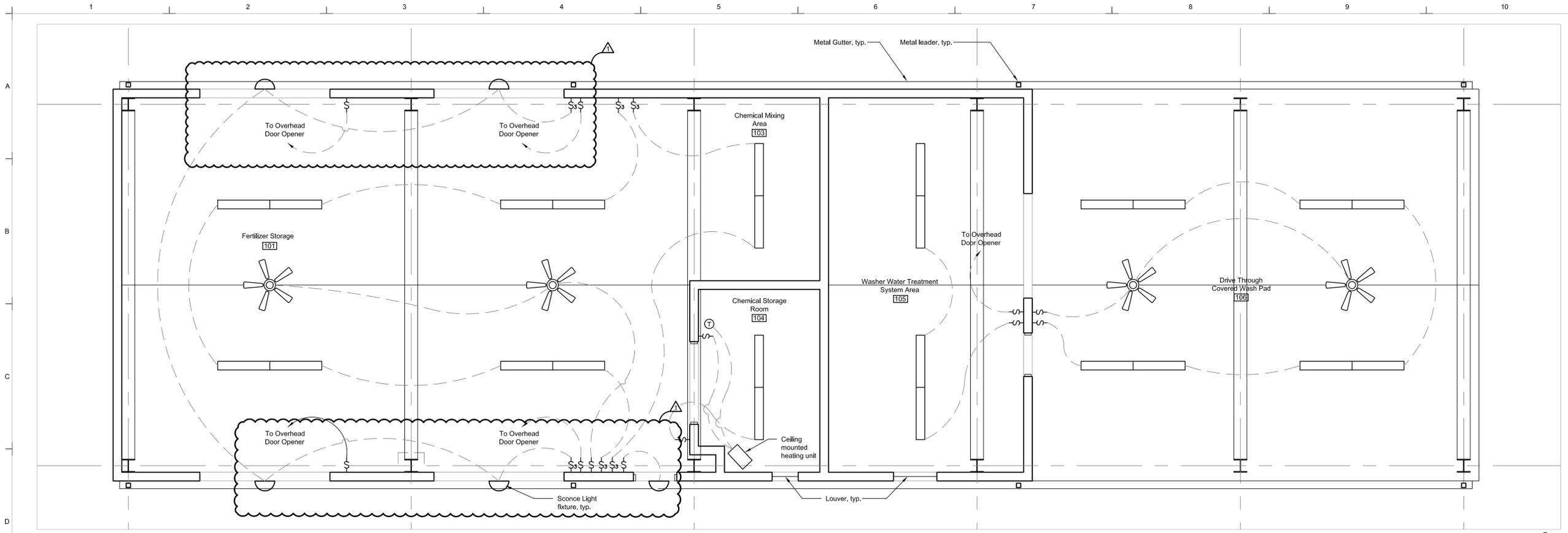
PRINCIPAL JMD P.A. KJT  
JOB NUMBER 885 SCALE AS NOTED

### SCHEMATIC DESIGN REF. CEILING PLAN, BUILDING SECTIONS, DETAILS & SYMBOLS

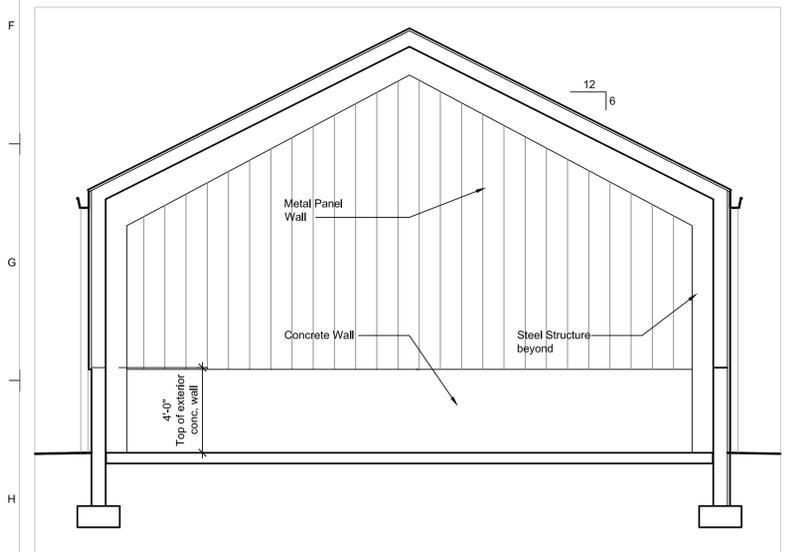
© 2018 DOYLE COFFIN ARCHITECTURE, LLC

SHEET

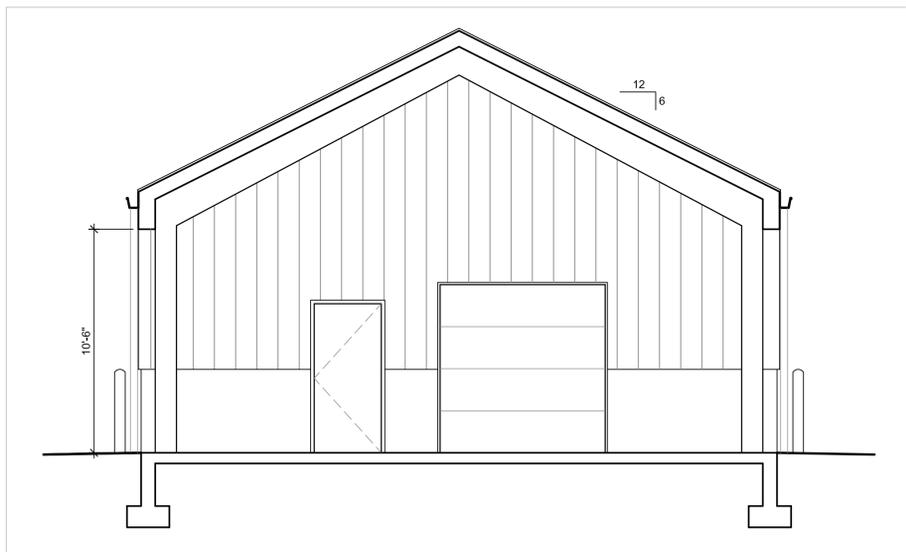
# A1.4



E1 A1.4 REFLECTED CEILING PLAN  
1/4" = 1'-0"



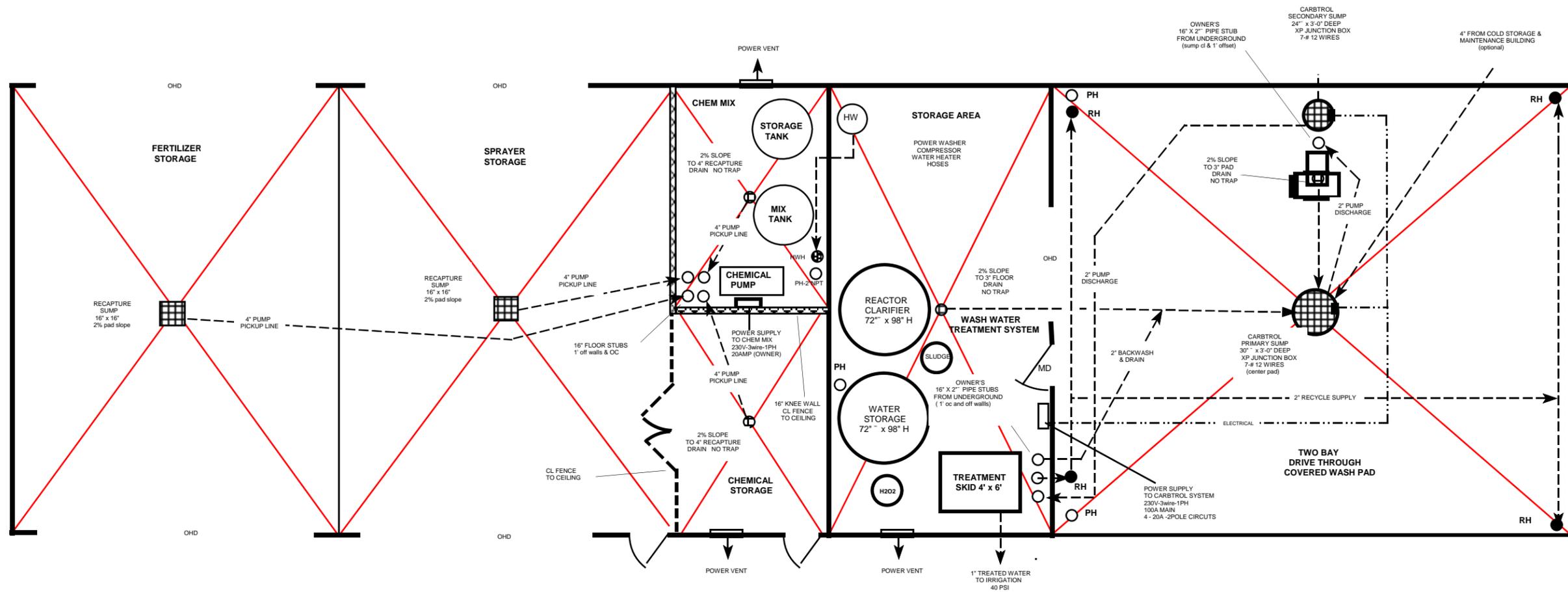
H1 A1.4 BUILDING SECTION  
1/4" = 1'-0"



H4 A1.4 BUILDING SECTION  
1/4" = 1'-0"

ELECTRICAL SYMBOLS			ELECTRICAL SYMBOLS (Continued)			SYMBOLS	
SYMBOL	TYPE	MODEL OR ALLOWANCE	SYMBOL	TYPE	MODEL OR ALLOWANCE	SYMBOL	DESCRIPTION
	Smoke Detector	Wired Smoke Alarm w/ battery backup		4 Way Switch			Emergency Lights
	Carbon Monoxide Detector	Wired Carbon Monoxide Alarm w/ battery backup		Dimmer			Exit Sign
	Ceiling Mounted Fixture			Motion Sensor			Emergency Pull
	Pendant Fixture			Keypad Switch			Call For Aid
	Recessed Fixture			Duplex Outlet	GE duplex recepticle		ADA push-plate opener
	Recessed Wallwasher			Quad Outlet	GE duplex recepticle (2)		24"x24" Ceiling Fixture
	Wall Mounted Sconce			Special Outlet	GE Dryer Power Outlet		HVAC Supply
	Fan/Light			Ground Fault Interrupter	GE GFCI duplex recepticle		HVAC Return
	Low Voltage			Weatherproof Outlet	GE duplex recepticle with double outlet cover		Dry Compressed Air
	Track			Switched Outlet	GE duplex recepticle		Vacuum
	Linear LED/Fluorescent			Floor Outlet			Ceiling mounted space heating unit
	Linear or tropher LED/Fluorescent			Telephone Outlet			
	Ceiling Fan			Data/CATS Outlet			
	Spot Lights			Cable/Television Outlet			
	Single Pole Switch			Garage Door Opener			
	3 Way Switch			Thermostat			
				Speaker			
				Junction Box			
				Service Panel	200 amp circuit breaker		
				Entrance Meter			

H7 A1.4 SYMBOL LEGENDS



NOTE: 1  
polyethylene wash pad  
sumps provided by  
CARBTROL & installed  
by owners contractor  
during slab construction

NOTE: 4  
install bollards to  
protect hydrants &  
grass screen if  
required

NOTE: 2  
power service  
and under slab  
piping & electrical by  
owners contractor

NOTE: 5  
recapture sumps  
provided by Carbtrol  
and installed by owners  
contractor during slab  
construction

NOTE: 3  
water treatment and  
chem mix equipment  
factory wired - final  
tie in by Carbtrol

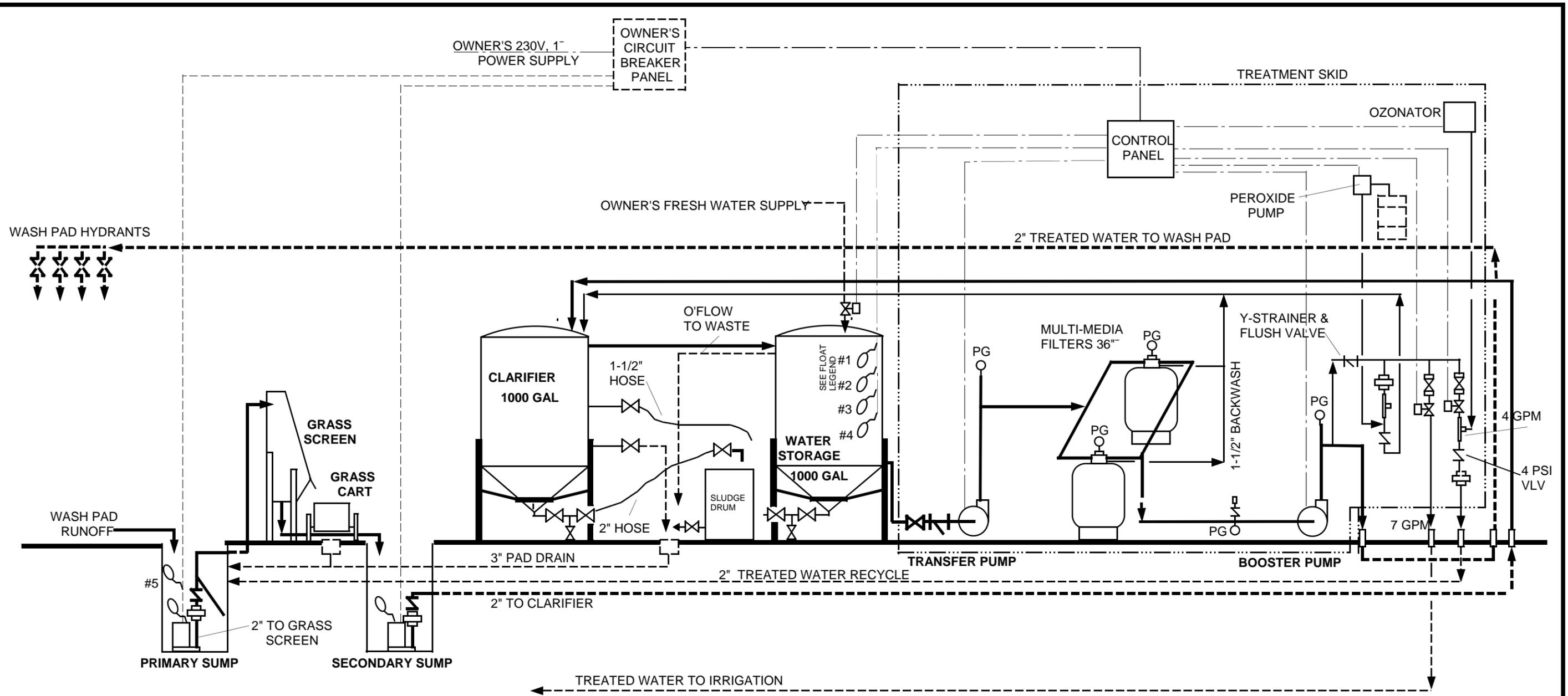
- PH = POTABLE HYDRANT by owner 3/4" hose or 2" NP1
- RH = RECYCLE HYDRANT by owner 3/4" hose
- ⊙ HW = HOT WATER HYDRANT by owner 3/4" hose

PRELIMINARY LAYOUT  
(not to scale)

**CARBTROL**  
CORPORATION

955 CONNECTICUT AVENUE  
BRIDGEPORT CONN. 06607  
(203) 337-4340

SCALE	WACCABUC CC	BY	ARS
DATE 08.30.18		REV-	
<b>ENVIRONMENTAL MANAGEMENT CENTER LAYOUT</b>			
ARRANGEMENT	S	DWG - SPL	



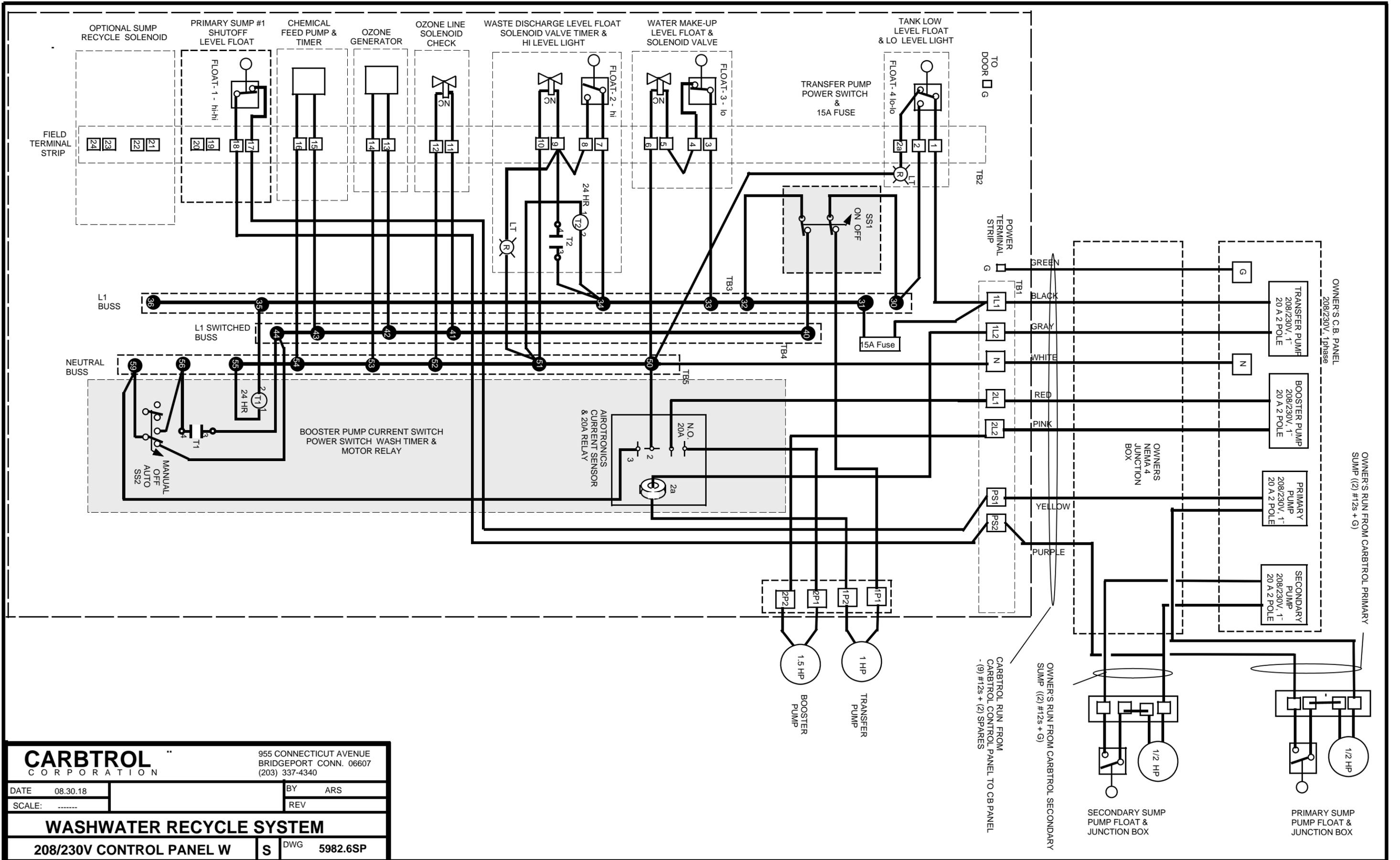
**FLOAT LEGEND**  
ACTION ON RISING FLOAT

#1- SECONDARY SUMP PUMP OFF, (N.C. CONTACT)
#2- WASTE SOL. VLV. OPEN (N.O. CONTACT)
#3- MAKE-UP WATER SOL. VLV. CLOSED (N.C. CONTACT)
#4- TRANSFER PUMP ON (N.O. CONTACT)
#5- TREATED WATER RECYCLE OFF (N.C. CONTACT)

**SYMBOL LEGEND**

————— = PIPING & EQUIPMENT BY CARBTROL	⊗ = TRUE UNION BALL VALVE
----- = ELECTRICAL BY CARBTROL	⊠ = SOLENOID VALVE
- - - - - = PIPING, EQUIPMENT, ELECTRICAL BY OTHERS	∨ = CHECK VALVE
⊙ = FLOAT SWITCH	Y = Y-STRAINER
⊗ = BALL VALVE	⊞ = UNION

<b>CARBTROL CORPORATION</b>		955 CONNECTICUT AVENUE BRIDGEPORT CONN. 06607 (203) 337-4340
SCALE -----	WACCABC CC	BY ARS
DATE 08-30-18		REV
<b>GCW-4a WASHWATER RECYCLE SYSTEM</b>		
<b>FLWSHEET</b>	<b>S</b>	DWG 5795/7



**CARBTROL**  
CORPORATION

955 CONNECTICUT AVENUE  
BRIDGEPORT CONN. 06607  
(203) 337-4340

DATE 08.30.18

BY ARS

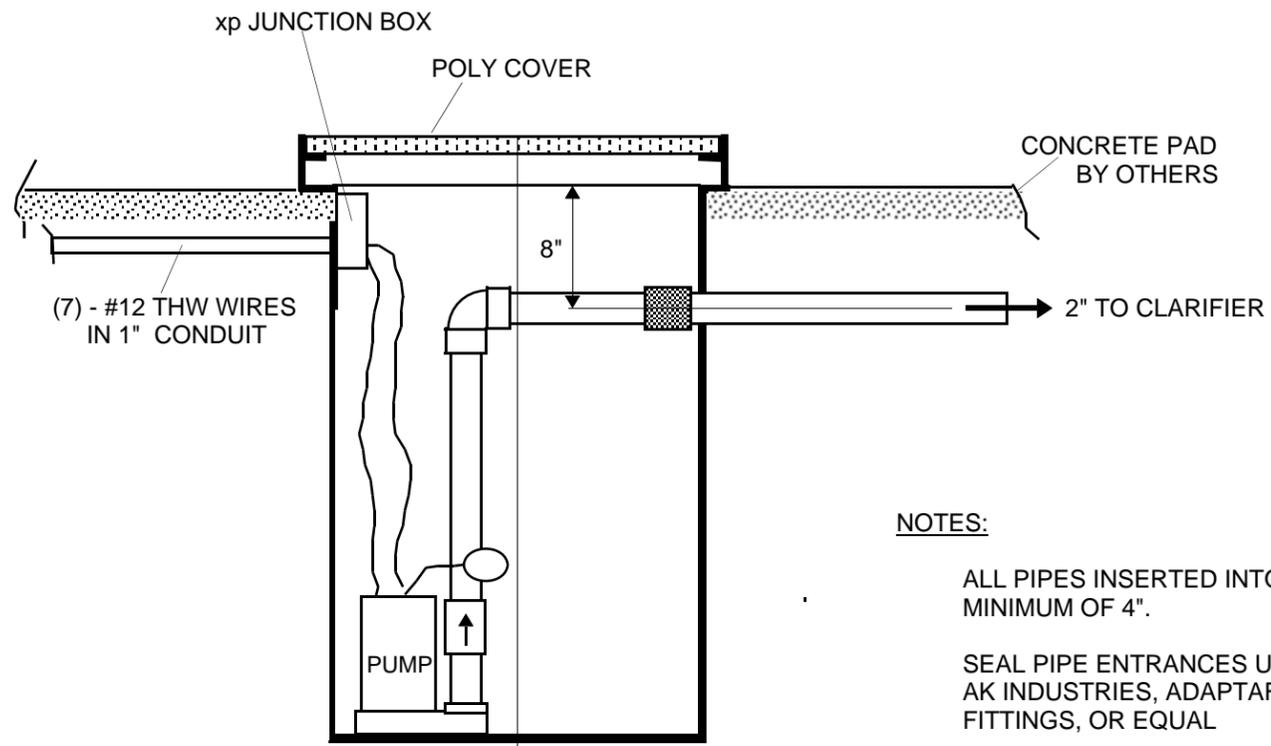
SCALE: -----

REV

**WASHWATER RECYCLE SYSTEM**

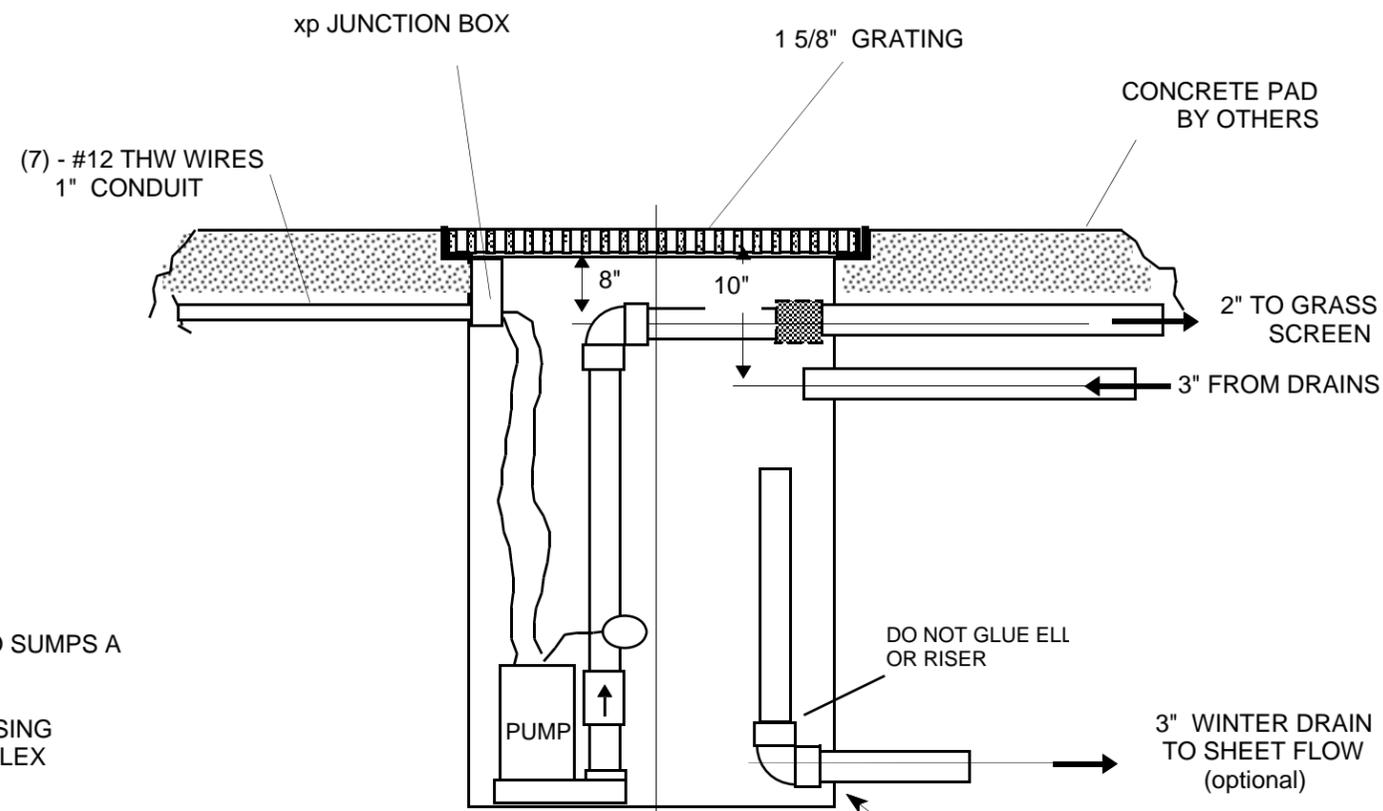
208/230V CONTROL PANEL W

S DWG 5982.6SP



**SECONDARY SUMP**

24" x 36" DEEP  
POLYPROPELENE  
FLANGED TANK  
WITH SUBMERSIBLE  
PUMP AND FLOAT  
BY CARBTROL



**PRIMARY SUMP**

30" x 36" DEEP  
POLYPROPELENE  
FLANGED TANK  
WITH SUBMERSIBLE  
PUMP AND FLOAT  
BY CARBTROL

**NOTES:**

ALL PIPES INSERTED INTO SUMPS A  
MINIMUM OF 4".

SEAL PIPE ENTRANCES USING  
AK INDUSTRIES, ADAPTALEX  
FITTINGS, OR EQUAL

SUB SLAB PIPING, CONDUIT, WIRING MATERIALS,  
AND INSTALLATION BY OTHERS.

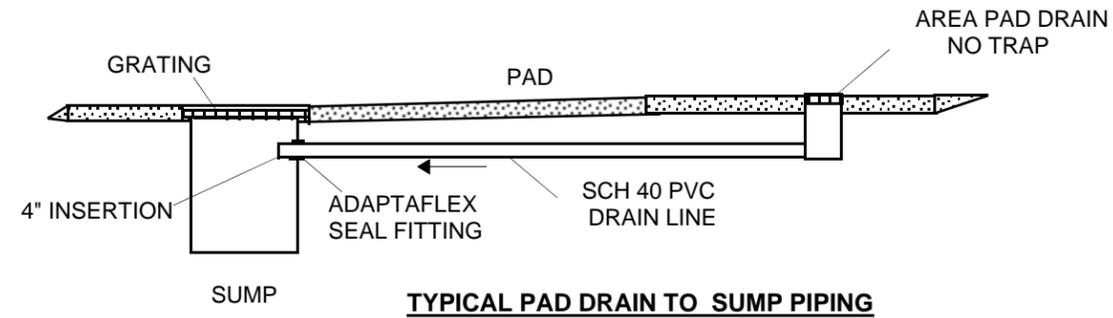
ALL COMPONENT WIRE RUNS ARE CONTINUOUS  
BETWEEN SUMPS AND TREATMENT ROOM  
JUNCTION BOX.

NUMBER ALL WIRE RUNS ON BOTH ENDS  
STARTING WITH NUMBER "30"

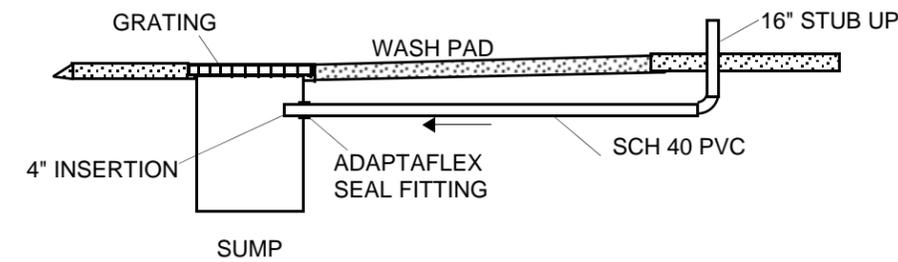
PRIMARY SUMP  
MOTOR WIRES=30, 31, G1.

SECONDARY SUMP  
MOTOR WIRES=40, 41, G2.

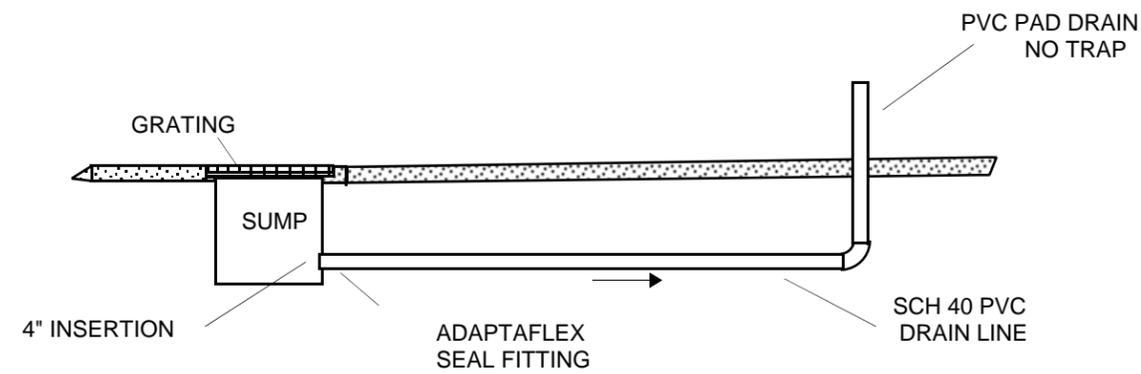
<b>CARBTROL</b> CORPORATION		955 CONNECTICUT AVENUE BRIDGEPORT CONN. 06607 (203) 337-4340	
		SCALE ----	BY ARS
DATE 08.30.18		REV-	
<b>PRIMARY AND SECONDARY SUMPS</b>			
INSTALLATION DETAILS		S	DWG 4480



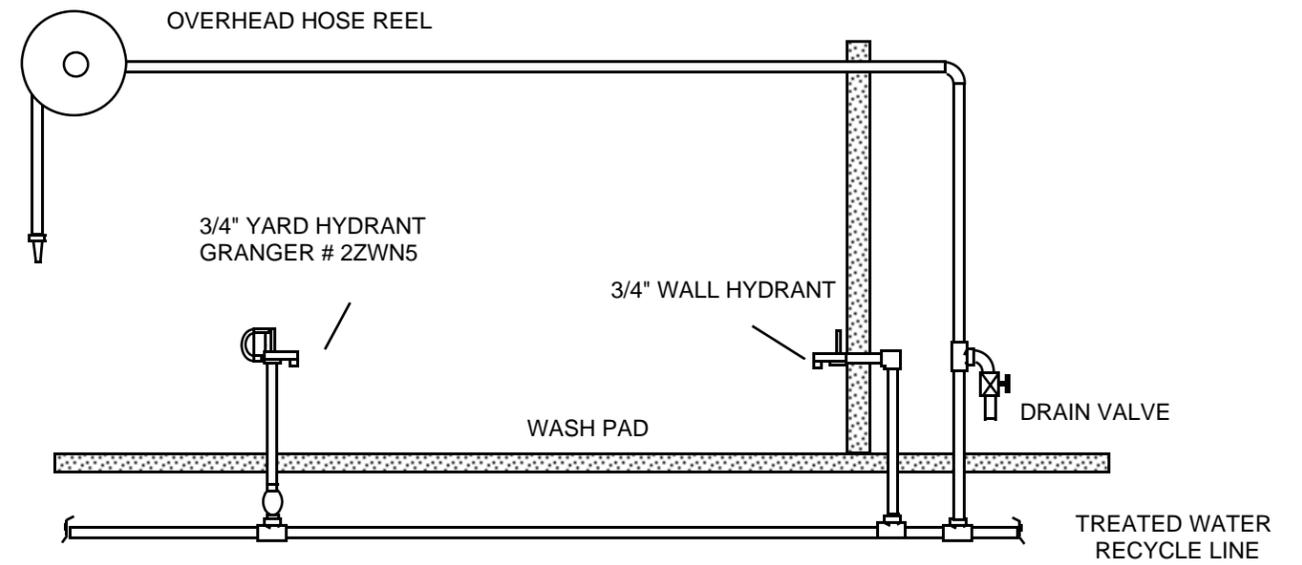
**TYPICAL PAD DRAIN TO SUMP PIPING**



**TYPICAL STUB-UP TO SUMP PIPING**



**TYPICAL RECOVERY SUMP TO STUB UP PIPING**



**TYPICAL OWNERS ALTERNATIVE RH HYDRANT PIPING DETAILS**

THIS DRAWING CONTAINS PROPRIETARY INFORMATION OF CARBTROL CORPORATION. PERMISSION IS GIVEN TO USE THE INFORMATION CONTAINED HEREIN IN CONNECTION WITH THE USE OF CARBTROL PRODUCTS. NO OTHER USE MAY BE MADE OF THIS INFORMATION WITHOUT WRITTEN PERMISSION FROM CARBTROL CORPORATION.

**CARBTROL**  
CORPORATION

955 CONNECTICUT AVENUE  
BRIDGEPORT CONN. 06607  
(203) 337-4340

SCALE -----

BY ARS

DATE 08.30.18

Wah

**VARIOUS UNDERGROUND PIPING**

TYPICAL DETAILS

S DWG 4904/1

# NOTICE OF INTENT

## New York State Department of Environmental Conservation



### Division of Water

625 Broadway, 4th Floor

Albany, New York 12233-3505

NYR        
(for DEC use only)

Stormwater Discharges Associated with Construction Activity Under State Pollutant Discharge Elimination System (SPDES) General Permit # GP-0-15-002  
All sections must be completed unless otherwise noted. Failure to complete all items may result in this form being returned to you, thereby delaying your coverage under this General Permit. Applicants must read and understand the conditions of the permit and prepare a Stormwater Pollution Prevention Plan prior to submitting this NOI. Applicants are responsible for identifying and obtaining other DEC permits that may be required.

**-IMPORTANT-**  
**RETURN THIS FORM TO THE ADDRESS ABOVE**  
OWNER/OPERATOR MUST SIGN FORM

#### Owner/Operator Information

Owner/Operator (Company Name/Private Owner Name/Municipality Name)

W a c c a b u c   C o u n t r y   C l u b

Owner/Operator Contact Person Last Name (NOT CONSULTANT)

J o h n   A s s u m a

Owner/Operator Contact Person First Name

J o h n

Owner/Operator Mailing Address

9 0   M E A D   S T

City

L E W I S B O R O

State

N Y

Zip

1 0 5 9 7 -

Phone (Owner/Operator)

9 1 4 - 7 6 3 - 3 1 4 4

Fax (Owner/Operator)

-   -

Email (Owner/Operator)

FED TAX ID

-       (not required for individuals)

**Project Site Information**

Project/Site Name

W A S H D O W N F A C I L I T Y

Street Address (NOT P.O. BOX)

9 0 M E A D S T

Side of Street

North  South  East  West

City/Town/Village (THAT ISSUES BUILDING PERMIT)

L E W I S B O R O

State

N Y

Zip

1 0 5 9 7 -

County

W E S T C H E S T E R

DEC Region

3

Name of Nearest Cross Street

C A R R I A G E H O U S E R O A D

Distance to Nearest Cross Street (Feet)

5 0

Project In Relation to Cross Street

North  South  East  West

Tax Map Numbers

Section-Block-Parcel

Tax Map Numbers

1. Provide the Geographic Coordinates for the project site in NYTM Units. To do this you **must** go to the NYSDEC Stormwater Interactive Map on the DEC website at:

[www.dec.ny.gov/insmaps/stormwater/viewer.htm](http://www.dec.ny.gov/insmaps/stormwater/viewer.htm)

Zoom into your Project Location such that you can accurately click on the centroid of your site. Once you have located your project site, go to the tool boxes on the top and choose "i" (identify). Then click on the center of your site and a new window containing the X, Y coordinates in UTM will pop up. Transcribe these coordinates into the boxes below. For problems with the interactive map use the help function.

**X Coordinates (Easting)**

7 4

**Y Coordinates (Northing)**

4 1

2. What is the nature of this construction project?

- New Construction
- Redevelopment with increase in impervious area
- Redevelopment with no increase in impervious area

3. Select the predominant land use for both pre and post development conditions.  
**SELECT ONLY ONE CHOICE FOR EACH**

**Pre-Development  
Existing Land Use**

- FOREST
- PASTURE/OPEN LAND
- CULTIVATED LAND
- SINGLE FAMILY HOME
- SINGLE FAMILY SUBDIVISION
- TOWN HOME RESIDENTIAL
- MULTIFAMILY RESIDENTIAL
- INSTITUTIONAL/SCHOOL
- INDUSTRIAL
- COMMERCIAL
- ROAD/HIGHWAY
- RECREATIONAL/SPORTS FIELD
- BIKE PATH/TRAIL
- LINEAR UTILITY
- PARKING LOT
- OTHER

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

**Post-Development  
Future Land Use**

- SINGLE FAMILY HOME
- SINGLE FAMILY SUBDIVISION
- TOWN HOME RESIDENTIAL
- MULTIFAMILY RESIDENTIAL
- INSTITUTIONAL/SCHOOL
- INDUSTRIAL
- COMMERCIAL
- MUNICIPAL
- ROAD/HIGHWAY
- RECREATIONAL/SPORTS FIELD
- BIKE PATH/TRAIL
- LINEAR UTILITY (water, sewer, gas, etc.)
- PARKING LOT
- CLEARING/GRADING ONLY
- DEMOLITION, NO REDEVELOPMENT
- WELL DRILLING ACTIVITY \*(Oil, Gas, etc.)
- OTHER

Number of Lots

--	--	--	--

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

**\*Note:** for gas well drilling, non-high volume hydraulic fractured wells only

4. In accordance with the larger common plan of development or sale, enter the total project site area; the total area to be disturbed; existing impervious area to be disturbed (for redevelopment activities); and the future impervious area constructed within the disturbed area. (Round to the nearest tenth of an acre.)

Total Site Area	Total Area To Be Disturbed	Existing Impervious Area To Be Disturbed	Future Impervious Area Within Disturbed Area
<input type="text" value="2"/> <input type="text" value="4"/>	<input type="text" value="5"/>	<input type="text" value="1"/>	<input type="text" value="1"/>

5. Do you plan to disturb more than 5 acres of soil at any one time?  Yes  No

6. Indicate the percentage of each Hydrologic Soil Group (HSG) at the site.

<input type="text" value="1"/> <input type="text" value="0"/> <input type="text" value="0"/> %	<input type="text" value="0"/> <input type="text" value="0"/> <input type="text" value="0"/> %	<input type="text" value="1"/> <input type="text" value="0"/> <input type="text" value="0"/> %	<input type="text" value="0"/> <input type="text" value="0"/> <input type="text" value="0"/> %
--	--	--	--

7. Is this a phased project?  Yes  No

8. Enter the planned start and end dates of the disturbance activities.

<b>Start Date</b>	<input type="text" value="0"/> <input type="text" value="6"/> / <input type="text" value="1"/> <input type="text" value="5"/> / <input type="text" value="1"/> <input type="text" value="9"/>	<b>End Date</b>	<input type="text" value="0"/> <input type="text" value="9"/> / <input type="text" value="1"/> <input type="text" value="5"/> / <input type="text" value="1"/> <input type="text" value="9"/>
-------------------	---	-----------------	---



15. Does the site runoff enter a separate storm sewer system (including roadside drains, swales, ditches, culverts, etc)?  Yes  No  Unknown

16. What is the name of the municipality/entity that owns the separate storm sewer system?

T O W N O F L E W I S B O R O

17. Does any runoff from the site enter a sewer classified as a Combined Sewer?  Yes  No  Unknown

18. Will future use of this site be an agricultural property as defined by the NYS Agriculture and Markets Law?  Yes  No

19. Is this property owned by a state authority, state agency, federal government or local government?  Yes  No

20. Is this a remediation project being done under a Department approved work plan? (i.e. CERCLA, RCRA, Voluntary Cleanup Agreement, etc.)  Yes  No

21. Has the required Erosion and Sediment Control component of the SWPPP been developed in conformance with the current NYS Standards and Specifications for Erosion and Sediment Control (aka Blue Book)?  Yes  No

22. Does this construction activity require the development of a SWPPP that includes the post-construction stormwater management practice component (i.e. Runoff Reduction, Water Quality and Quantity Control practices/techniques)?  Yes  No  
If No, skip questions 23 and 27-39.

23. Has the post-construction stormwater management practice component of the SWPPP been developed in conformance with the current NYS Stormwater Management Design Manual?  Yes  No





**Post-construction Stormwater Management Practice (SMP) Requirements**

**Important: Completion of Questions 27-39 is not required if response to Question 22 is No.**

27. Identify all site planning practices that were used to prepare the final site plan/layout for the project.

- Preservation of Undisturbed Areas
- Preservation of Buffers
- Reduction of Clearing and Grading
- Locating Development in Less Sensitive Areas
- Roadway Reduction
- Sidewalk Reduction
- Driveway Reduction
- Cul-de-sac Reduction
- Building Footprint Reduction
- Parking Reduction

27a. Indicate which of the following soil restoration criteria was used to address the requirements in Section 5.1.6("Soil Restoration") of the Design Manual (2010 version).

- All disturbed areas will be restored in accordance with the Soil Restoration requirements in Table 5.3 of the Design Manual (see page 5-22).
- Compacted areas were considered as impervious cover when calculating the **WQv Required**, and the compacted areas were assigned a post-construction Hydrologic Soil Group (HSG) designation that is one level less permeable than existing conditions for the hydrology analysis.

28. Provide the total Water Quality Volume (WQv) required for this project (based on final site plan/layout).

**Total WQv Required**

.  0  3  8 **acre-feet**

29. Identify the RR techniques (Area Reduction), RR techniques (Volume Reduction) and Standard SMPs with RRv Capacity in Table 1 (See Page 9) that were used to reduce the Total WQv Required (#28).

Also, provide in Table 1 the total impervious area that contributes runoff to each technique/practice selected. For the Area Reduction Techniques, provide the total contributing area (includes pervious area) and, if applicable, the total impervious area that contributes runoff to the technique/practice.

**Note:** Redevelopment projects shall use Tables 1 and 2 to identify the SMPs used to treat and/or reduce the WQv required. If runoff reduction techniques will not be used to reduce the required WQv, skip to question 33a after identifying the SMPs.

Table 1 - Runoff Reduction (RR) Techniques and Standard Stormwater Management Practices (SMPs)

<u>RR Techniques (Area Reduction)</u>	<u>Total Contributing Area (acres)</u>		<u>Total Contributing Impervious Area (acres)</u>	
<input type="radio"/> Conservation of Natural Areas (RR-1) ...	<input type="text"/>	<input type="text"/>	and/or	<input type="text"/>
<input type="radio"/> Sheetflow to Riparian Buffers/Filters Strips (RR-2) .....	<input type="text"/>	<input type="text"/>	and/or	<input type="text"/>
<input type="radio"/> Tree Planting/Tree Pit (RR-3) .....	<input type="text"/>	<input type="text"/>	and/or	<input type="text"/>
<input type="radio"/> Disconnection of Rooftop Runoff (RR-4) ..	<input type="text"/>	<input type="text"/>	and/or	<input type="text"/>
<u>RR Techniques (Volume Reduction)</u>				
<input type="radio"/> Vegetated Swale (RR-5) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Rain Garden (RR-6) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Stormwater Planter (RR-7) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Rain Barrel/Cistern (RR-8) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Porous Pavement (RR-9) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Green Roof (RR-10) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<u>Standard SMPs with RRv Capacity</u>				
<input type="radio"/> Infiltration Trench (I-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Infiltration Basin (I-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Dry Well (I-3) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input checked="" type="radio"/> Underground Infiltration System (I-4) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Bioretention (F-5) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Dry Swale (O-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<u>Standard SMPs</u>				
<input type="radio"/> Micropool Extended Detention (P-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Wet Pond (P-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Wet Extended Detention (P-3) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Multiple Pond System (P-4) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Pocket Pond (P-5) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Surface Sand Filter (F-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Underground Sand Filter (F-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Perimeter Sand Filter (F-3) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Organic Filter (F-4) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Shallow Wetland (W-1) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Extended Detention Wetland (W-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Pond/Wetland System (W-3) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Pocket Wetland (W-4) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>
<input type="radio"/> Wet Swale (O-2) .....	<input type="text"/>	<input type="text"/>		<input type="text"/>

**Table 2 - Alternative SMPs  
(DO NOT INCLUDE PRACTICES BEING  
USED FOR PRETREATMENT ONLY)**

<u>Alternative SMP</u>	<u>Total Contributing Impervious Area (acres)</u>	
<input type="radio"/> Hydrodynamic .....	<input type="text"/>	<input type="text"/>
<input type="radio"/> Wet Vault .....	<input type="text"/>	<input type="text"/>
<input type="radio"/> Media Filter .....	<input type="text"/>	<input type="text"/>
<input type="radio"/> Other <input type="text"/>	<input type="text"/>	<input type="text"/>

Provide the name and manufacturer of the Alternative SMPs (i.e. proprietary practice(s)) being used for WQv treatment.

Name

Manufacturer

**Note:** Redevelopment projects which do not use RR techniques, shall use questions 28, 29, 33 and 33a to provide SMPs used, total WQv required and total WQv provided for the project.

30. Indicate the Total RRv provided by the RR techniques (Area/Volume Reduction) and Standard SMPs with RRv capacity identified in question 29.

**Total RRv provided**

.    acre-feet

31. Is the Total RRv provided (#30) greater than or equal to the total WQv required (#28).

Yes  No

If Yes, go to question 36.  
If No, go to question 32.

32. Provide the Minimum RRv required based on HSG.  
[Minimum RRv Required = (P)(0.95)(Ai)/12, Ai=(S)(Aic)]

**Minimum RRv Required**

.    acre-feet

32a. Is the Total RRv provided (#30) greater than or equal to the Minimum RRv Required (#32)?

Yes  No

If Yes, go to question 33.

**Note:** Use the space provided in question #39 to summarize the specific site limitations and justification for not reducing 100% of WQv required (#28). A detailed evaluation of the specific site limitations and justification for not reducing 100% of the WQv required (#28) must also be included in the SWPPP.

If No, sizing criteria has not been met, so NOI can not be processed. SWPPP preparer must modify design to meet sizing criteria.

33. Identify the Standard SMPs in Table 1 and, if applicable, the Alternative SMPs in Table 2 that were used to treat the remaining total WQv(=Total WQv Required in 28 - Total RRv Provided in 30).

Also, provide in Table 1 and 2 the total impervious area that contributes runoff to each practice selected.

**Note:** Use Tables 1 and 2 to identify the SMPs used on Redevelopment projects.

33a. Indicate the Total WQv provided (i.e. WQv treated) by the SMPs identified in question #33 and Standard SMPs with RRv Capacity identified in question 29.

**WQv Provided**

--	--	--	--	--	--	--	--	--	--

 . 0 6 1 acre-feet

**Note:** For the standard SMPs with RRv capacity, the WQv provided by each practice = the WQv calculated using the contributing drainage area to the practice - RRv provided by the practice. (See Table 3.5 in Design Manual)

34. Provide the sum of the Total RRv provided (#30) and the WQv provided (#33a). 

--	--	--	--	--	--	--	--	--	--

 . 0 6 1

35. Is the sum of the RRv provided (#30) and the WQv provided (#33a) greater than or equal to the total WQv required (#28)?  **Yes**  **No**

**If Yes, go to question 36.**  
**If No, sizing criteria has not been met, so NOI can not be processed. SWPPP preparer must modify design to meet sizing criteria.**

36. Provide the total Channel Protection Storage Volume (CPv) required and provided or select waiver (36a), if applicable.

<b>CPv Required</b>	<b>CPv Provided</b>																										
<table border="1" style="display: inline-table; border-collapse: collapse;"> <tr> <td style="width: 20px; height: 20px;"></td> </tr> </table> . <table border="1" style="display: inline-table; border-collapse: collapse;"> <tr> <td style="width: 20px; height: 20px;"></td> </tr> </table> acre-feet														<table border="1" style="display: inline-table; border-collapse: collapse;"> <tr> <td style="width: 20px; height: 20px;"></td> </tr> </table> . <table border="1" style="display: inline-table; border-collapse: collapse;"> <tr> <td style="width: 20px; height: 20px;"></td> </tr> </table> acre-feet													

36a. The need to provide channel protection has been waived because:

- Site discharges directly to tidal waters or a fifth order or larger stream.
- Reduction of the total CPv is achieved on site through runoff reduction techniques or infiltration systems.

37. Provide the Overbank Flood (Qp) and Extreme Flood (Qf) control criteria or select waiver (37a), if applicable.

**Total Overbank Flood Control Criteria (Qp)**

<b>Pre-Development</b>	<b>Post-development</b>																						
<table border="1" style="display: inline-table; border-collapse: collapse;"> <tr> <td style="width: 20px; height: 20px;"></td> </tr> </table> . <table border="1" style="display: inline-table; border-collapse: collapse;"> <tr> <td style="width: 20px; height: 20px;"></td> </tr> </table> CFS												<table border="1" style="display: inline-table; border-collapse: collapse;"> <tr> <td style="width: 20px; height: 20px;"></td> </tr> </table> . <table border="1" style="display: inline-table; border-collapse: collapse;"> <tr> <td style="width: 20px; height: 20px;"></td> </tr> </table> CFS											

**Total Extreme Flood Control Criteria (Qf)**

<b>Pre-Development</b>	<b>Post-development</b>																		
<table border="1" style="display: inline-table; border-collapse: collapse;"> <tr> <td style="width: 20px; height: 20px;"></td> </tr> </table> . <table border="1" style="display: inline-table; border-collapse: collapse;"> <tr> <td style="width: 20px; height: 20px;"></td> </tr> </table> CFS										<table border="1" style="display: inline-table; border-collapse: collapse;"> <tr> <td style="width: 20px; height: 20px;"></td> </tr> </table> . <table border="1" style="display: inline-table; border-collapse: collapse;"> <tr> <td style="width: 20px; height: 20px;"></td> </tr> </table> CFS									





**Owner/Operator Certification**

I have read or been advised of the permit conditions and believe that I understand them. I also understand that, under the terms of the permit, there may be reporting requirements. I hereby certify that this document and the corresponding documents were prepared under my direction or supervision. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. I further understand that coverage under the general permit will be identified in the acknowledgment that I will receive as a result of submitting this NOI and can be as long as sixty (60) business days as provided for in the general permit. I also understand that, by submitting this NOI, I am acknowledging that the SWPPP has been developed and will be implemented as the first element of construction, and agreeing to comply with all the terms and conditions of the general permit for which this NOI is being submitted.

**Print First Name**

P a t r i c k

**MI**

**Print Last Name**

H a g a n

**Owner/Operator Signature**



**Date**

03 / 19 / 2019

*Michael Fuller Sirignano*  
*Attorney and Counselor at Law*

*Old Post Road Professional Building*  
*892 Route 35, P.O. Box 784*  
*Cross River, New York 10518*

*Tel: (914) 763-5500*  
*Fax: (914) 763-9589*  
*michael@sirignano.us*

March 28, 2019

Janet Anderson, Chair  
Town of Lewisboro Planning Board  
79 Bouton Road  
South Salem, NY 10590

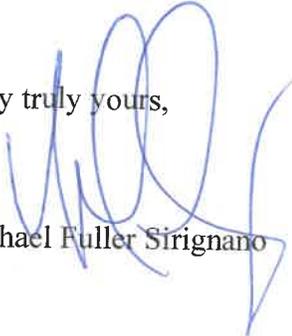
Re: Yuliya & Zef Dedvukaj  
Wetlands Activity Permit and Stormwater Permit Approval  
Cal. # 66-17 WP, Cal. # 12-17SW

Dear Chair Anderson and  
Members of the Planning Board:

On behalf of the Applicants, enclosed please find Affidavit of Certified Mailings of the Notice of Public Hearing scheduled for April 16, 2019.

Please incorporate the enclosed as part of the official record of the proceedings. Thank you for your attention to this matter.

Very truly yours,

  
Michael Fuller Sirignano

MFS/cp  
Enclosure

cc: Mr. & Mrs. Zef Dedvukaj

STATE OF NEW YORK )  
 ) ss.:  
COUNTY OF WESTCHESTER)

Re: Elegant Banquets at Le Chateau

Connie Paganelli, being duly sworn, deposes and says that she is over the age of eighteen years and works at 892 Route 35, Cross River, New York 10518:

On March 28, 2019, I mailed a true copy of the annexed Notice of Public Hearing by mailing the same by certified mail, return receipt requested in a sealed envelope, with postage prepaid thereon, in a post-office or official depository of the U.S. Postal Service within the State of New York, addressed to the last known addresses of the addressees as indicated below:

Eric & Starr Katz  
172 Elmwood Road  
South Salem, NY 10590

Mary Catherine Noecker  
164 Elmwood Road  
South Salem, NY 10590

Town of Lewisboro  
79 Bouton Road  
South Salem, NY 10590

Fred R. & Dolores Barfield  
245 Smith Ridge Road  
South Salem, NY 10590

Keith Martin & Diane Martin as Trustees  
178 Elmwood Road  
South Salem, NY 10590

Rela Golan  
176 Elmwood Road  
South Salem, NY 10590

Leah H. Clark  
158 Elmwood Road  
South Salem, NY 10590

Matthew J. & Julie Portnoy  
243 Smith Ridge Road  
South Salem, NY 10590

Troy D. Parant  
Sara E. Holl  
171 Elmwood Road  
South Salem, NY 10590

Darrin & Anna Oneto  
3 Wakeman Road  
South Salem, NY 10590

Valerie C. Johnson  
165 Elmwood Road  
South Salem, NY 10590

Michael D. & Kelly Goodman  
161 Elmwood Road  
South Salem, NY 10590

Peter H. & Timmy G. Parsons  
157 Elmwood Road  
South Salem, NY 10590

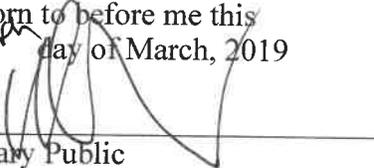
Christopher E. Schabacker  
183 Elmwood Road  
South Salem, NY 10590

Michele A. & Michael L. Smallidge  
2 Wakeman Road  
South Salem, NY 10590

Elio & Dawn Moschetta  
4 Wakeman Road  
South Salem, NY 10590

  
\_\_\_\_\_  
Connie Paganelli

Sworn to before me this  
28<sup>th</sup> day of March, 2019

  
\_\_\_\_\_  
Notary Public

**MICHAEL F. SIRIGNANO**  
Notary Public, State of New York  
No. 4709295  
Qualified in Westchester County  
Commission Expires January 31, 2023

**TOWN OF LEWISBORO**

**NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the Planning Board of the Town of Lewisboro, Westchester County, New York will convene a Public Hearing on April 16, 2019 at 7:30 p.m., or soon thereafter, at the Town Offices at 79 Bouton Road, South Salem, New York, regarding the following:

**Cal# 66-17WP, Cal# 12-17SW**

**Applications for Wetland Activity Permit Approval and Stormwater Activity Permit Approval for Yuliya and Zef Dedvukaj (owners of record), 170 Elmwood Road, South Salem, New York (Sheet 47, Block 10056, Lot 38) for the construction of a single-family residence, driveway, bridge, septic system, well and associated wetland mitigation. The property is located north of the intersection of Wakeman and Elmwood Roads, on the westerly side of Elmwood Road, is approx. 2.00 acres and located within a Special Character Residential Two Acre (SCR-2A) Zoning District.**

**A copy of the application materials and site documents may be inspected at the office of the Planning Board Administrator, 79 Bouton Road, South Salem, New York during regular Planning Board hours. Persons wishing to object to the application should file a notice of objection with the Planning Board together with a statement of the grounds of objection prior to the closing of the Public Hearing. All interested parties are encouraged to attend the Public Hearing and all will be provided an opportunity to be heard.**

**PLANNING BOARD  
TOWN OF LEWISBORO  
By: Janet Andersen  
Chair**

**Dated: March 22, 2019**

**The Town of Lewisboro is committed to equal access for all citizens. Anyone needing accommodations to attend or participate in this meeting is encouraged to notify the Secretary to the Planning Board in advance.**

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)™  
 SOUTH SALEM, NY 10590

Certified Mail Fee \$3.50

Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$12.80  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$6.85

Sent To: *Eric & Stan Katz*  
 Street and Apt. No., or PO Box No. *172 Elmwood Road*  
 City, State, ZIP+4® *South Salem, NY 10590*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)™  
 SOUTH SALEM, NY 10590

Certified Mail Fee \$3.50

Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$12.80  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$6.85

Sent To: *Mary Catherine Noecker*  
 Street and Apt. No., or PO Box No. *164 Elmwood Road*  
 City, State, ZIP+4® *South Salem, NY 10590*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)™  
 SOUTH SALEM, NY 10590

Certified Mail Fee \$3.50

Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$12.80  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$6.85

Sent To: *Fred R. & Yolanda Barfield*  
 Street and Apt. No., or PO Box No. *245 Smith Ridge Road*  
 City, State, ZIP+4® *South Salem, NY 10590*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)™  
 SOUTH SALEM, NY 10590

Certified Mail Fee \$3.50

Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$12.80  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$6.85

Sent To: *Town of Lewisboro*  
 Street and Apt. No., or PO Box No. *79 Oakton Road*  
 City, State, ZIP+4® *South Salem, NY 10590*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**SOUTH SALEM, NY 10590**

Certified Mail Fee	\$3.50	0026
Postage	\$0.55	9
Total Postage and Fees	\$6.85	

Sent To *Rdo Golan*  
 Street and Apt. No., or PO Box No.  
*176 Elmwood Road*  
 City, State, ZIP+4®  
*So. Salem, NY 10590*

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**SOUTH SALEM, NY 10590**

Postage	\$3.50	0026
Certified Fee	\$2.80	9
Return Receipt Fee (Endorsement Required)	\$0.00	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Postage	\$0.55	
Total Postage & Fees	\$6.85	

Sent To *Leah H. Clark*  
 Street, Apt. No., or PO Box No.  
*158 Elmwood Rd*  
 City, State, ZIP+4®  
*So. Salem, NY 10590*

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**SOUTH SALEM, NY 10590**

Certified Mail Fee	\$3.50	0026
Postage	\$0.55	9
Total Postage and Fees	\$6.85	

Sent To *Michael D. + Kelly Goodman*  
 Street and Apt. No., or PO Box No.  
*161 Elmwood Rd*  
 City, State, ZIP+4®  
*So. Salem, NY 10590*

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**SOUTH SALEM, NY 10590**

Certified Mail Fee	\$3.50	0026
Postage	\$0.55	9
Total Postage and Fees	\$6.85	

Sent To *Keith Martin & Nigie Martin as Trustees*  
 Street and Apt. No., or PO Box No.  
*178 Elmwood Road*  
 City, State, ZIP+4®  
*So. Salem, NY 10590*

**U.S. Postal Service™**  
**CERTIFIED MAIL™ RECEIPT**  
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**SOUTH SALEM, NY 10590**

Postage	\$3.50	0026
Certified Fee	\$2.80	9
Return Receipt Fee (Endorsement Required)	\$0.00	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Postage	\$0.55	
Total Postage & Fees	\$6.85	

Sent To *Matthew J. + Julie Portney*  
 Street, Apt. No., or PO Box No.  
*243 Smith Ridge Rd*  
 City, State, ZIP+4®  
*So. Salem, NY 10590*

**U.S. Postal Service™**  
**CERTIFIED MAIL® RECEIPT**  
 Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

**SOUTH SALEM, NY 10590**

Certified Mail Fee	\$3.50	0026
Postage	\$0.55	9
Total Postage and Fees	\$6.85	

Sent To *Valerie C. Johnson*  
 Street and Apt. No., or PO Box No.  
*165 Elmwood Rd*  
 City, State, ZIP+4®  
*So. Salem, NY 10590*

7017 3380 0000 5594 3355

7005 0390 0002 3938 0212

7015 3430 0001 0817 8969

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**SOUTH SALEM, NY 10590**

Certified Mail Fee \$3.50

Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$1.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$6.85

Sent To: *Darin & Anne Opat*  
Street and Apt. No., or PO Box No. *3 Wakeman Rd*  
City, State, ZIP+4 *So. Salem, NY 10590*



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**SOUTH SALEM, NY 10590**

Certified Mail Fee \$3.50

Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$1.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$6.85

Sent To: *Troy D Parent & E. Hall*  
Street and Apt. No., or PO Box No. *17 Elmwood Rd*  
City, State, ZIP+4 *So. Salem, NY 10590*



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

U.S. Postal Service™  
**CERTIFIED MAIL™ RECEIPT**

(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

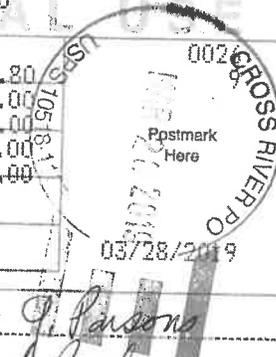
**SOUTH SALEM, NY 10590**

Postage \$3.50

Certified Fee \$2.80  
Return Receipt Fee (Endorsement Required) \$0.00  
Restricted Delivery Fee (Endorsement Required) \$0.00

Total Postage & Fees \$6.85

Sent To: *Peter H. & Jimmy J. Parsons*  
Street, Apt. No., or PO Box No. *157 Elmwood Road*  
City, State, ZIP+4 *So. Salem, NY 10590*



PS Form 3800, June 2002

See Reverse for Instructions

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**SOUTH SALEM, NY 10590**

Certified Mail Fee \$3.50

Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$1.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$6.85

Sent To: *Christopher E. Sakaboda*  
Street and Apt. No., or PO Box No. *193 Elmwood Road*  
City, State, ZIP+4 *So. Salem, NY 10590*



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**SOUTH SALEM, NY 10590**

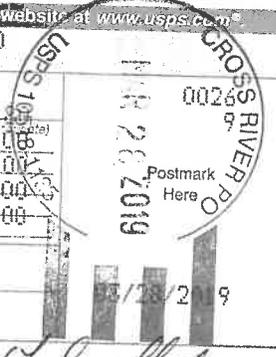
Certified Mail Fee \$3.50

Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$1.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$6.85

Sent To: *Michelle A. & Michael L. Engledge*  
Street and Apt. No., or PO Box No. *2 Wakeman Rd*  
City, State, ZIP+4 *So. Salem, NY 10590*



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

U.S. Postal Service™  
**CERTIFIED MAIL® RECEIPT**

Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)

**SOUTH SALEM, NY 10590**

Certified Mail Fee \$3.50

Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$1.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55

Total Postage and Fees \$6.85

Sent To: *Elio & Dawn Moschella*  
Street and Apt. No., or PO Box No. *4 Wakeman Rd*  
City, State, ZIP+4 *So. Salem, NY 10590*



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

*Michael Fuller Sirignano*  
*Attorney and Counselor at Law*

*Old Post Road Professional Building*  
*892 Route 35, P. O. Box 784*  
*Cross River, New York 10518*

*Tel: (914) 763-5500*  
*Fax: (914) 763-9589*  
*michael@sirignano.us*

April 8, 2019

Janet Anderson, Chair  
Town of Lewisboro Planning Board  
79 Bouton Road  
South Salem, NY 10590

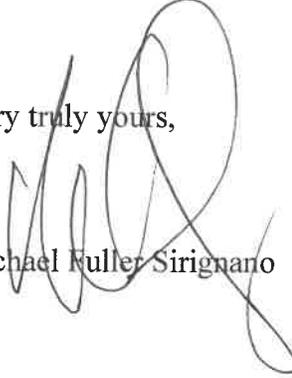
Re: Yuliya & Zef Dedvukaj  
Wetlands Activity Permit and Stormwater Permit Approval  
Cal. # 66-17 WP, Cal. # 12-17SW

Dear Chair Anderson and  
Members of the Planning Board:

On behalf of the Applicants, enclosed please find Affidavit of Posting regarding Public Hearing scheduled for April 16, 2019.

Please incorporate the enclosed as part of the official record of the proceedings. Thank you for your attention to this matter.

Very truly yours,

  
Michael Fuller Sirignano

MFS/cp  
Enclosure

cc: Mr. & Mrs. Zef Dedvukaj

AFFIDAVIT OF POSTING

IN THE MATTER OF AN APPLICATION BY YULIA & ZEF DEDVUKAJ  
SEEKING WETLANDS ACTIVITY PERMIT AND STORMWATER PERMIT  
APPROVALS FOR PROPOSED IMPROVEMENTS TO 170 ELMWOOD ROAD  
IN THE TOWN OF LEWISBORO, NEW YORK AND DESIGNATED ON THE  
OFFICIAL TAX MAP AS SHEET 47, BLOCK 10056, LOT 39.

STATE OF NEW YORK            )  
  ) ss.  
COUNTY OF WESTCHESTER)

ZEF DEDVUKAJ, being duly sworn, deposes and says: I am over 18 years  
of age and I reside in the Town of Lewisboro, County of Westchester and State of  
New York.

On April 1, 2019, a sign was posted at the proposed entrance to the property  
at 170 Elwood Road noticing the April 16, 2019 Planning Board Public Hearing as  
was provided to me by the Town of Lewisboro Planning Department.

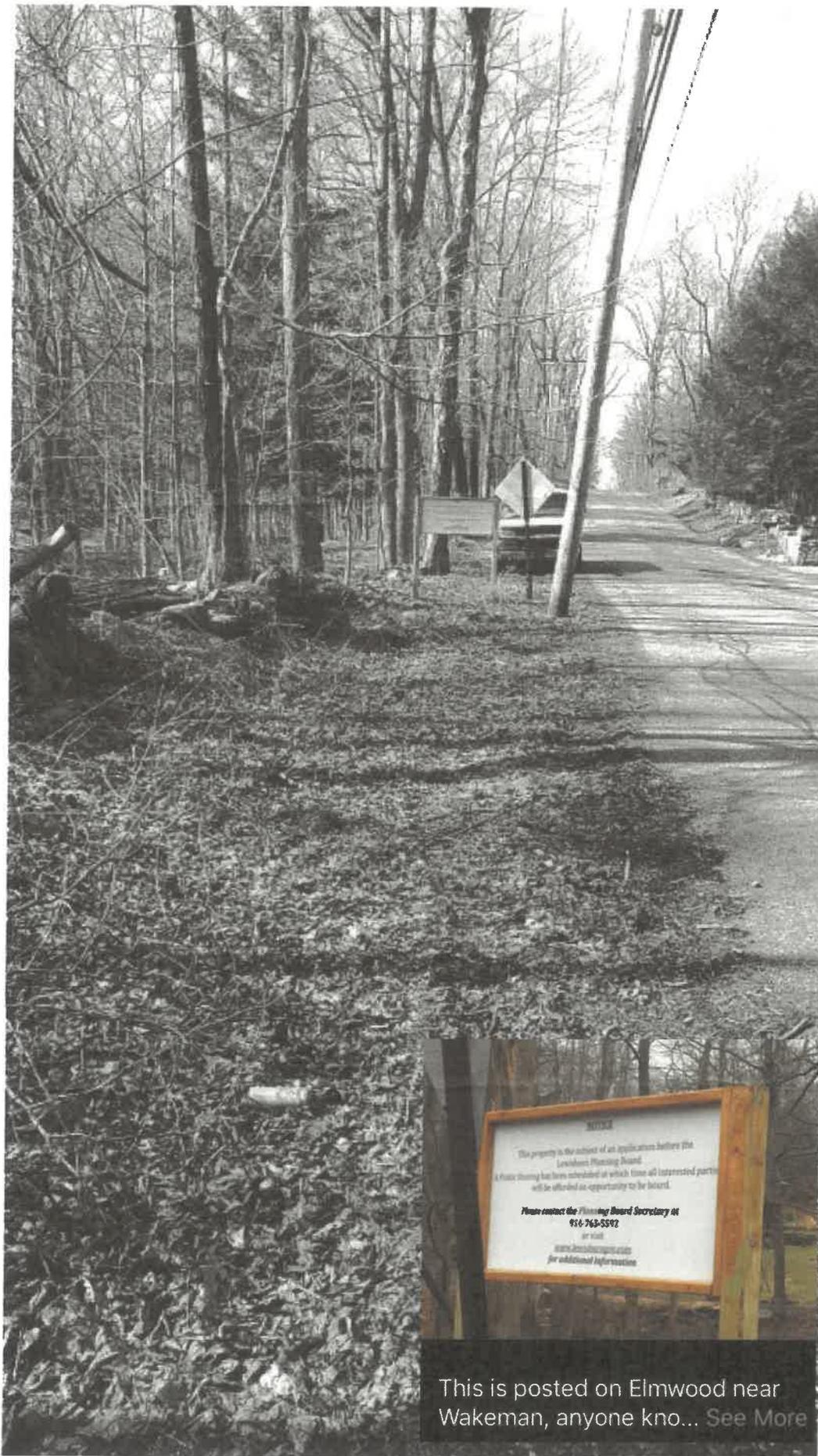
A photograph of said posted sign is attached.

  
\_\_\_\_\_  
ZEF DEDVUKAJ

Sworn to before me this  
8<sup>th</sup> day of April, 2019

\_\_\_\_\_  
Notary Public

MICHAEL F. SIRIGNANO  
Notary Public, State of New York  
No. 4709295  
Qualified in Westchester County  
Commission Expires January 31, 2023



**NOTICE**

This property is the subject of an application before the  
Lawrence Planning Board.  
A public hearing has been scheduled at which time all interested parties  
will be afforded an opportunity to be heard.

**Please contact the Planning Board Secretary at  
936-763-5592**

or visit  
[www.lawrenceplanning.com](http://www.lawrenceplanning.com)  
for additional information.

This is posted on Elmwood near Wakeman, anyone kno... See More

**TO:** Town of Lewisboro Planning Board

**FROM:** Lewisboro Conservation Advisory Council

**SUBJECT:** Dedvukaj Residence - Cal #66-17WP, #12-17SW  
170 Elmwood Road, South Salem  
Sheet 47, Block 10056, Lot 38

**DATE:** April 4, 2019

---

The Conservation Advisory Council (CAC) continues to have the concerns expressed in the previous documents. The site-walk did not alleviate the concerns.

The location of the project, which is entirely in the wetland buffer, poses potential risks to the streams that flow down Wakeman Road and eventually into a City of Norwalk reservoir.

The submissions for the March Planning Board meeting shows documents from NYSDEC, Norwalk Water, and a SWPPP report. These documents impose an extensive set of conditions and requirements on this project. Given this environment, it is important that the site plans and wetland mitigation plan are adequate to protect the wetland and downstream environment.

The current mitigation plan does not meet the one-to-one requirement for mitigation to disturbance. At the recent Planning Board review, the applicants proposed to provide some (unspecified) funds to fix the culvert under Elmwood road which occasionally causes flooding in the area. However, the CAC does not see how this improves the mitigation on the Dedvukaj property.

The CAC is concerned that all these conditions be adequately monitored. Failure to meet any of these conditions on an ongoing basis could result in pollution to the stream with sediment, construction material, fertilizer and other material. The CAC would like to see a comprehensive and detailed inspection plan that ensures all the conditions are met prior to, during and after construction is complete.

It was stated at the Planning Board meeting and at the Site Visit, that blasting would not be used in the construction of the residence. Given that at one time blasting was mentioned as a possibility, the CAC would like to have ban on blasting as a condition of any approval that might occur.

With the property in the wetland and with the residence very close, it is important that care is taken after construction and occupancy takes place that restrictions are placed that prevent fertilizer, chemicals and erosion from contaminating the stream.

In reviewing the plan to remove trees, it appears there is the possibility that some of the trees planned for removal could have ages in excess of one hundred years. If these trees are not invasive (such as Norway maple) then the CAC would like to see if they could be preserved.

**From:** Dina <dina.carelli@gmail.com>  
**Sent:** Monday, April 16, 2018 7:57 PM  
**To:** Planning@lewisborogov.com  
**Subject:** 170 Elmwood Proposal

Dear Planning Board,

It was recently brought to our attention that there is a proposal for a single family home at 170 Elmwood. As nearby residents, we have concerns regarding this proposal and the disruption of a natural habitat which would need clearing and later construction/building.

This interference could also contaminate the flowing water, which connects to the public drinking supply.

The flooding today due to the storm is an additional indication of what could happen, potentially more severe, if this natural habitat was to be disturbed.

We are not in favor of the planning board moving forward with this proposal.

Thank you,  
Dina & Mike Carelli  
[41 Lockwood Road](#)

Sent from my iPhone

**From:** Val <valeriecjohnson@gmail.com>  
**Sent:** Monday, May 7, 2018 5:16 PM  
**To:** planning@lewisborogov.com; cac1chair@lewisborogov.com  
**Subject:** Residential construction request: 170 Elmwood Road

Hello Lewisboro Planning Board,

I am writing regarding the residential construction request at 170 Elmwood Road, South Salem, NY, and to express serious concerns about altering the NYS Wetlands at this address, including the multiple environmental, aesthetic, and common sense violations and variances that this construction request causes and requires responses to.

I live at 165 Elmwood Road, and I understand that you are evaluating a request to permanently alter NYS wetlands, to construct a residential home at 170 Elmwood Road.

I am writing to adamantly oppose this construction request, which violates many Town and NYS level rules so much so that variances are required. I am writing to ask you not to approve variances requested and not to issue construction and other permits.

I have serious concerns about these requests not least of which involve proper procedures and protocols where constructing on designated NYS Wetlands, obtaining all NYS Army Corps of Engineer reviews and permits, on property with very active and expanding wetlands fed by a stream that feeds directly into a NYS Reservoir, in what is becoming, year after year, a flood plain area.

I understand that construction plans violate so many issues and variances that generally speaking, anyone with any common sense would run, not walk away. So, I hereby ask the Planning Board to allow common sense to rule the day and reject all variances and permit requests on the basis of:

1. 170 Elmwood Road property area is less than 2 acres, which Town rules preclude residential construction on. And, as planned, construction is atypically large for such a small plot. I respectfully request the Board deny all construction variance and permit requests at this property address.
2. **The entire property is designated NYS Wetlands.** Please, can the Board describe the NYS Army Corps of Engineers involvements regarding Wetlands' assessments and "non-blanket permits" required relating for 1. deforestation, 2. fill, and 3. impact on and under Elmwood Road as debris-clogged areas cause water backup and flooding onto Elmwood Road.
3. More than a quarter of the property is an active and expanding swamp, on NYS Wetlands. Have hydrology studies and testing been performed at the applicant's expense to assess construction abilities to withstand water in and out? If not, why?
4. The property abuts a mountain which will be blasted to enable construction. What of debris, runoff, and construction runoff into Wetlands and a NYS Reservoir, Scott's? The Board has a duty to protect and enforce. I urge the Board to protect our Wetlands in Lewisboro.
5. Another concern is my home and outbuildings. The blasting will be close to my house and potentially impact my property. What are the surety bonds details and other protections afforded existing neighbors who gain nothing from this request if approved?

As a neighbor, i will experience zero benefit and all expense and headache owing to construction which will: 1. permanently destroy NYS Wetlands, 2. pollute the waters of the US via direct runoff into Scott's Reservoir, 3. Destroy the aesthetic intended and protected by Town zoning rules on Elmwood Road. I strongly urge the Board to deny all permit requests for construction at 170 Elmwood Road.

6. Has NYS Army Corps of Engineers been involved regarding site building permit requests ? The site Wetlands are so large that the ACE Wetlands blanket permit afforded the Town are moot and unable to be relied on.

Which NYS ACE requests and permits have been applied for? Where is the Town/potential builder in the process of coordinating ACE requests and permits required for Wetlands deforestation, fill, blasting, impact on Road and potential for box culvert?

7. Where Elmwood Road itself is affected, who will foot the bills for plans, materials, reconstruction, repermitting, inspections, etc?

8. NYS Wetlands laws allow construction permits only where all other avenues, including existing properties, have been exhausted. There are more than 20 homes for sale on or in the Elmwood Road area. I urge the Board to encourage the applicant to explore and settle on an existing residential resale property and to surrender new construction requests at 170 Elmwood Road.

I thank and appreciate the Board to the extent that you actively protect AND enforce our Lewisboro Town Rules and aesthetics.

Thank you,

Valerie Johnson  
165 Elmwood Road  
South Salem, NY 10590

917-392-1229

**From:** Starr Katz <starr3778@gmail.com>  
**Sent:** Wednesday, March 20, 2019 1:17 PM  
**To:** Ciorsdan Conran  
**Subject:** Re: Lewisboro Planning Board

Hi Planning Board,

There was a meeting last night about this property (170 Elmwood Road) and I was following up with the packet online. I noticed that my letter and photos were taken into consideration in this packet as my surrounding neighbors letters were in the packet. I am very disturbed that the board is on the verge of granting permission to have this project move forward with the house going on a wetlands buffer. Since the first email I wrote, on 5/7/18, Elmwood Road at this spot has flooded at least twice. The town was involved in blocking off the water covered impassable road while plot of land took on a great deal of water from passing rain storms. As I have stated before, this property is not 2 acres as required by zoning to build. With such a small piece to possibly build on where would the water go from these storms if a house was in the place where the water would usually end up? I certainly hope not on my property and washing away my driveway or land.

My same concerns are for the construction of a house where excavation will most likely take place since it's on a boulder ridden slope. How much radon, other pollutants, or structural damage will the neighboring homes have to take on from this project of the building area? Will this project take place at my expense for someone else's convenience? I want to be assured my land and house will not sustain any damages from blasting or digging that may occur at 170 Elmwood. Will there be some sort insurance in place, from the owners of the 170 Elmwood Road, in the event that my property is disturbed during the build?

Thank you for reading.

Regards,  
Starr Katz  
172 Elmwood Road

On Mon, May 7, 2018 at 3:37 PM Ciorsdan Conran <[Planning@lewisborogov.com](mailto:Planning@lewisborogov.com)> wrote:

Thank you Starr-

Know that you letter and photos were sent on to the Planning Board, its consultants and the applicant.

Ciorsdan

Ciorsdan Conran

Planning Board Administrator

email: [Planning@lewisborogov.com](mailto:Planning@lewisborogov.com)

tel # 914-763-5592, fax # 914-875-9148

mailing and physical address: 79 Bouton Road, South Salem, NY 10590

**From:** Starr Katz [mailto:[starr3778@gmail.com](mailto:starr3778@gmail.com)]  
**Sent:** Monday, May 07, 2018 3:16 PM  
**To:** [planning@lewisborogov.com](mailto:planning@lewisborogov.com)  
**Subject:** Re: Lewisboro Planning Board

These are the photos for my last email.

Thank you,

Starr Katz

On Mon, May 7, 2018 at 3:14 PM, Starr Katz <[starr3778@gmail.com](mailto:starr3778@gmail.com)> wrote:

Hello Lewisboro Planning Board,

My family and I live at 172 Elmwood Road and I understand the owner of 170 Elmwood Road would like build a large house. I have some concerns about building on 170 Elmwood Road.

1. The zoning law to build in this part of town (R-2A) require a minimum of 2 acres to build on and this property survey is under 2 acres. 1.962 acres is amount of land that is on a survey done for this property. This small parcel of land is uncharacteristically small to build on on Elmwood Road. Especially since there are many other properties for sale with more acreage in the school district without a wetland issue.

2. Every year NOT every couple years. EVERY YEAR at least one huge storm comes through and floods that property because a good percent of it is wetlands. What will happen to the natural flow of water once this house is in place? Where is the water going to go? Will this build disrupt my own house and flood my driveway? Plus, I see on the plans that upwards of 72 trees will be removed. Where will the water go then? There won't be any trees to drink the water. I don't want to see more sitting pools of water for mosquitoes to live in.

3. Another concern is my home foundation. The blasting will be extremely close to my house. Plus, would the blasting/excavation release radon or other pollution into the air? This is a concern since I have small children.

4. What will the impact be to the wetlands, NYS reservoir, and First District Water since this is on a feeder stream to Scott's Reservoir? The amount of construction that will have to happen will disrupt the wetlands here along with all the creatures and vegetation within it. Along with any pesticides or fertilizers would end up in the water.

5. Have Army Corps of Engineers been involved? Are there any ACE permits that have been applied for?

Attached are some photos from the latest storm that happened on April 16, 2018. Along with the amount of skunk cabbage (a type of wetland plant) on the property.

Thank you,

Starr Katz

(172 Elmwood Road)

Dedkukaj photos from Starr Katz

170 Elmwood Road









TOWN OF LEWISBORO

LOCAL LAW NUMBER \_\_-2019 OF THE TOWN OF LEWISBORO

AMENDMENT TO CHAPTER 220, SECTION 220-43.6  
OF THE LEWISBORO TOWN CODE

BE IT ENACTED by the Town Board of the Town of Lewisboro, Westchester County, New York, as follows:

Section 1. Chapter 220, Section 220-43.6 entitled “Gasoline Service Station” is hereby enacted to read as follows:

**§ 220-43.6. Gasoline service station.**

Gasoline service station, as defined in this chapter, shall be a special use as follows:

- A. Location. The special use listed in this section may be permitted in the RB (Retail Business) and GB (General Business) districts only in locations fronting on or having direct access to major roads as determined by the Planning Board.
- B. Minimum Lot Area. The minimum lot area required for the establishment of a gasoline service station shall be one (1) acre.
- C. Setbacks. The minimum setbacks for a gasoline service station use shall be as set forth in the district within which the use is located.
- D. Buffer area. A landscaped buffer area, meeting at least the minimum requirements of §220-15 of this chapter, shall be required along all lot lines adjoining other properties, except where determined by the approving agency that a lesser width or no buffer will meet the purpose of this requirement.
- E. Distance from other similar use. A gasoline service station use shall not be permitted within a distance of two hundred (200) feet of another existing gasoline service station use. The distance shall be measured in a straight line between the property lines of the subject properties.
- F. Other requirements. Such use shall comply with any other requirements of this

chapter and any special requirements deemed appropriate by the approving agency in accordance with the requirements of §220-32 herein.

Section 2. If any provision of this Local Law is declared illegal, unconstitutional or unenforceable by a court of competent jurisdiction, the remainder of this Local Law shall be declared to have been separately adopted and shall remain in full force and effect.

Section 3. This local law shall take effect immediately upon filing in the Office of the Secretary of State of the State of New York.

Dated:

BY THE ORDER OF THE TOWN BOARD OF  
THE TOWN OF LEWISBORO

JANET DONOHUE, TOWN CLERK

George Latimer  
County Executive

County Planning Board

March 28, 2019

Janet L. Donahue, Town Clerk  
Town of Lewisboro  
P.O. Box 725  
Cross River, NY 10518

**Subject: Referral File No. LEW 18-001 – Zoning Text Amendment: Gasoline Service Stations**

Dear Ms. Donahue:

The Westchester County Planning Board has received a proposed local law that would amend the text of the Lewisboro Zoning Ordinance to add special use regulations for gasoline service stations.

We have reviewed this matter under the provisions of Section 239 L, M and N of the General Municipal Law and Section 277.61 of the County Administrative Code and we find it to be a matter for local determination in accordance with the Town's planning and zoning policies.

Thank you for calling this matter to our attention.

Respectfully,  
WESTCHESTER COUNTY PLANNING BOARD

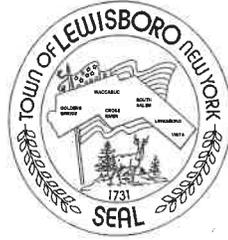
By:



Norma V. Drummond  
Commissioner

NVD/LH

**TOWN OF LEWISBORO**  
Westchester County, New York



**Building Department**  
79 Bouton Road  
South Salem, New York 10590

**Tel: (914) 763-3060**  
**Fax: (914) 875-9148**  
**Email: [jangiello@lewisborogov.com](mailto:jangiello@lewisborogov.com)**

April 10, 2019

Ms. Janet Anderson, Chair  
Town of Lewisboro Planning Board

Re: Cal #09-19WP and 05-19SW  
Krantz vacant land, Elmwood Rd., sheet 43, block 10302, lot 23

Dear Ms. Anderson and Members of the Board,

I have reviewed the plans from Site Design Consultants latest revision dated 2/11/18 and the survey from Link Land Surveyors dated 3/23/2017. The proposed single family dwelling site is compliant with the Town of Lewisboro Zoning Code.

Please do not hesitate to contact me with any questions.

Sincerely,

Joe Angiello  
Building Inspector

**TO:** Town of Lewisboro Planning Board

**FROM:** Lewisboro Conservation Advisory Council

**SUBJECT:** Kranz Residence  
Elmwood Road

**DATE:** April 4, 2019

---

The Conservation Advisory Council (CAC) reviewed the applicant's submission of a sketch plan for a single-family home on Elmwood Road.

The proposed house is to be built on a sloping property with a wetland at the bottom and South side of the property. Almost the entire lot is in the wetland or wetland buffer. The proposed septic system is also in the wetland buffer. On the site walk, the property was very wet in many places restricting mitigation options.

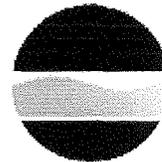
The proposed mitigation plan for the site does not meet the one-to-one criteria of mitigation to disturbance. The CAC would like to see the plans adjusted to the degree possible to meet the criteria.

Noted in the submitted documents was a plan to remove invasive plants using herbicides. The CAC would like to understand which herbicides are being proposed to make sure that glyphosates are not being used.

**New York State Department of Environmental Conservation**

**Division of Environmental Permits**

NYSDEC Region 3 Headquarters  
21 S Putt Corners Rd  
New Paltz, NY 12561  
(845) 256-3054



March 20, 2019

ALEXANDER KRANZ  
189 BENT TREE DR  
PALM BEACH GARDENS, FL 33418

Re: DEC ID # 3-5530-00228/00001  
KRANZ PROEPRTY

Dear Applicant :

Please be advised that your application for a DEC permit(s) is complete and a technical review has commenced. Notice and the opportunity for public comment is required for this application. Enclosed is a Notice of Complete Application for your project. Please have the Notice published in the newspaper identified below once during the week of 3/25/2019 on any day Monday through Friday.

The official newspaper of the Town (City) of LEWISBORO.  
Contact the Town (City) Clerk's office to confirm the official newspaper.

On the Notice of Complete Application, that information presented between the horizontal lines, on the enclosed page(s) should be published. Do not print this letter or the information contained below the second horizontal line. Please request the newspaper publisher to provide you with a Proof of Publication for the Notice. Upon receipt of the Proof of Publication promptly forward it to this office. You must provide the Proof of Publication before a final decision can be rendered on your application. You are responsible for paying the cost of publishing the Notice in the newspaper.

Notification of this complete application is also being provided by this Department in the NYSDEC Environmental Notice Bulletin.

This notification does not signify approval of your application for permit. Additional information may be requested from you at a future date, if deemed necessary to reach a decision on your application. Your project is classified major under the Uniform Procedures Act. Accordingly, a decision is due within 90 days of the date of this notice unless a public hearing is held, which may extend this time frame. If a public hearing is necessary, you will be notified.

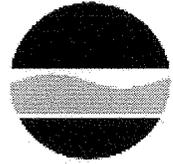
If you have any questions please contact me at the above address or phone number above.

Sincerely,

CHRISTOPHER LANG  
Division of Environmental Permits

THIS IS NOT A PERMIT

---



**New York State Department of Environmental Conservation  
Notice of Complete Application**

*Date:* 03/20/2019

*Applicant:* ALEXANDER KRANZ

*Facility:* KRANZ PROEPRTY  
ELMWOOD RD  
LEWISBORO, NY

*Application ID:* 3-5530-00228/00001

*Permits(s) Applied for:* 1 - Article 24 Freshwater Wetlands

*Project is located:* in LEWISBORO in WESTCHESTER COUNTY

*Project Description:*

The applicant proposes disturbance to the adjacent area of Freshwater Wetland D-36 (Class II) associated with the construction of a single-family residence with driveway, well, septic system, and bioretention basin for stormwater located on a currently vacant parcel on Elmwood Drive (0.25 miles from its intersection with Spring Hill Lane) in the Town of Lewisboro. The project would involve 18,357 square feet of permanent disturbance to the wetland adjacent area. The proposal does not involve any disturbances to the wetland.

*Availability of Application Documents:*

Filed application documents, and Department draft permits where applicable, are available for inspection during normal business hours at the address of the contact person. To ensure timely service at the time of inspection, it is recommended that an appointment be made with the contact person.

*State Environmental Quality Review (SEQR) Determination*

Project is not subject to SEQR because it is a Type II action.

*SEQR Lead Agency* None Designated

*State Historic Preservation Act (SHPA) Determination*

The proposed activity is not subject to review in accordance with SHPA. The application type is exempt and/or the project involves the continuation of an existing operational activity.

*Availability For Public Comment*

Comments on this project must be submitted in writing to the Contact Person no later than 04/11/2019 or 15 days after the publication date of this notice, whichever is later.

*Contact Person*

CHRISTOPHER LANG  
NYSDEC  
21 S Putt Corners Rd  
New Paltz, NY 12561  
(845) 256-3096

---

**CC List for Complete Notice**

Josh Fisher, DEC Bureau of Ecosystem Health  
Joseph Riina, Site Design Consultants  
Bruce Donahue, Environmental Design Consulting  
Town of Lewisboro  
Westchester County DOH  
ENB

# NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3  
21 South Platt Corners Road, New Paltz, NY 12561-1620  
P: (845) 256-3054 | F: (845) 255-4659  
www.dec.ny.gov



Department of  
Environmental  
Conservation

October 3, 2018

Alexander Kranz  
189 Bent Tree Drive  
Palm Beach Gardens, FL 33418

Re: DEC Application No. 3-5530-00228/00001  
Kranz Property  
Town of Lewisboro, Westchester County  
**Notice of Incomplete Application**

Dear Mr. Kranz,

The Department received the above-referenced application for a permit pursuant to Article 24, Freshwater Wetlands submitted on your behalf by Site Design Consultants on September 14, 2018. The application is for disturbances to the adjacent area of DEC-regulated Freshwater Wetland D-36 (Class II) associated with the construction of a single-family residence (with associated driveway, well, septic system, bioretention basin for stormwater), on a currently vacant parcel located on Elmwood Drive in the Town of Lewisboro, Westchester County. The application is incomplete.

The following is required for a complete application:

1. **Site Meeting with DEC Staff** – On-site evaluation of the adjacent area impacts that would be associated with the proposed bioretention basin, and discussion of its siting and intended benefits with a member(s) of the project team, is required.

As the listed Contact/Agent for the application, it is recommended that Joseph Riina of Site Design Consultants contact Josh Fisher of the DEC Bureau of Ecosystem Health at (845) 256-3113 or [joshua.fisher@dec.ny.gov](mailto:joshua.fisher@dec.ny.gov) to schedule this on-site meeting. Based on the findings of this on-site meeting, more information regarding the bioretention basin may be required.

2. **Impact Minimization** – While the DEC understands there are constraints associated with the parcel due to the wetland's location, the topography, and required setbacks/buffers, it appears that the proposed structures could be rearranged, or the project design could be revised, to move the footprints of these structures outside (or partially outside) the wetland adjacent area, thus reducing the amount of impacts to the wetland adjacent area. Please analyze the possibilities for minimizing impacts to the adjacent area to the maximum extent practicable, and submit either of the following:

Re: DEC Application No. 3-5530-00228/00001  
Kranz Property  
Notice of Incomplete Application

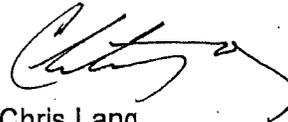
October 3, 2018

- a. If it is determined that the proposed structures can be rearranged/redesigned in a way which would reduce impacts to the wetland adjacent area, please submit revised plans showing the updated site plan. Understanding that there will still have to be impacts to the adjacent area associated with this project due to spatial constraints, revised plans should be accompanied by a narrative discussing how the project has minimized impacts to the maximum practical extent.
- b. Alternatively, if it is determined that the currently proposed design has minimized impacts to the maximum practical extent, please submit a narrative justifying the current arrangement of structures. This narrative would have to include a robust analysis and discussion as to why the house, driveway, and/or retention basin could not be placed further away from the wetland boundary, and thus be located on (or partially on) areas of the parcel which are not within the wetland adjacent area.

Please provide **2 copies** of all submitted materials; submission of a digital copy is recommended.

Your application will remain incomplete until all required information requested above is received, an on-site meeting with DEC staff has been completed, and subsequent required information regarding the bioretention basin, if necessary, is received. If you have any questions, please feel free to contact me at (845) 256-3096 or via email at [christopher.lang@dec.ny.gov](mailto:christopher.lang@dec.ny.gov).

Sincerely,



Chris Lang  
Division of Environmental Permits

ecc: Josh Fisher, DEC BEH  
Joseph Riina, Site Design Consultants  
Town of Lewisboro  
Westchester County DOH

**MEMORANDUM**

TO: Chairperson Janet Andersen and  
Members of Lewisboro Planning Board

CC: Ciorsdan Conran  
Judson Siebert, Esq.  
Joseph Angiello

FROM: Jan K. Johannessen, AICP   
Joseph M. Cermele, P.E., CFM   
Town Consulting Professionals

DATE: April 11, 2019

RE: Site Development Plan and Special Use Permit Approval  
7-11 Gas Station/Convenience Store  
873 Old Post Road (Route 35)  
Sheet 20, Block 10800, Lots 2 & 8

---

**PROJECT DESCRIPTION**

The subject property consists of ±0.70 acre of land and is located at the intersection of NYS Route 35 and North Salem Road; the subject parcel consists of two (2) tax parcels within the RB Zoning District; the parcel is located adjacent to residential uses and the R-1/2A residential zoning district to its south and east. The subject property is currently developed with a three (3) story office building, detached garaged (occupied by a physical training studio), a gravel parking lot, and other ancillary improvements. The proposed action includes the demolition of the existing building and the construction of a ±3,043 s.f. 7-Eleven convenience store and gas station providing six (6) gas pumps and 12 fueling stations. Access is proposed from both NYS Route 35 and North Salem Road.

**SEQRA**

The proposed action has been preliminarily identified as an Unlisted Action under the State Environmental Quality Review Act (SEQRA) and it is recommended that a coordinated review be conducted and that the Planning Board seek to establish itself as the Lead Agency.

**REQUIRED APPROVALS**

1. Site Development Plan Approval, a Special Use Permit, and a Town Stormwater Permit is required from the Planning Board; a public hearing is required to be held by the Planning Board.
2. As currently configured and under the Town's existing zoning regulations, the proposed action appears to require several area variances from the Zoning Board of Appeals (lot coverage, setbacks, landscape buffer).
3. The proposed action requires referral to the Architecture and Community Appearance Review Council (ACARC) for review and recommendations.
4. Proposed access onto North Salem Road requires approval from the Town Highway Superintendent.
5. Approval is required from the Westchester County Department of Health (WCDH) for the proposed septic system and potable well.
6. The proposed underground fuel storage tanks require approval from the WCDH.
7. Approval is required from the New York City Department of Environmental Protection (NYCDEP) for review of a Stormwater Pollution Prevention Plan (SWPPP).
8. Approval from the New York State Department of Transportation (NYSDOT) is required for access onto NYS Route 35.
9. The owner/applicant will require coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-15-002).
10. The application must be referred to the Westchester County Planning Board under Section 239-m of General Municipal Law; the Planning Board Secretary will coordinate this referral

**COMMENTS**

1. The Tax Map provided on the Cover Sheet shall be revised to illustrate zoning district boundary lines.
2. The applicant shall provide a separate layout plan which illustrates surrounding properties and structures, including those existing at each corner of the adjacent intersection.

Chairpersen Janet Andersen

April 11, 2019

Page 3 of 6

3. The proposed action requires a Special Use Permit from the Planning Board; however, no Special Use Permit conditions or standards are provided under the Town's Zoning Code for the proposed use. It is understood that the Town Board is currently considering such conditions and has circulated a local law to the Planning Board for its review and recommendation. As written, the proposed local law would impact the project and, therefore, we defer further review until action is taken by the Town Board, if any.
4. This office will review the submitted EAF following resubmission and response to the comments contained herein.
5. The applicant shall demonstrate consistency with the Town's Master Plan; please provide a narrative response and cite page numbers and sections of the Master Plan, as applicable.
6. It is recommended that the application be referred to the Building Inspector for review; the Board may wish to postpone this referral until a decision is made by the Town Board relating to the proposed zoning changes.
7. We note that the proposed refuse enclosure is proposed within the rear yard zoning setback and that the proposed lot coverage exceeds the maximum allowable. Further, the proposed layout does not comply with the Town's minimum landscape buffer requirements provided under Section 220-15B of the Zoning Code.
8. Notes on Sheet C-3 mistakenly identify the Zoning Board of Appeals as the Board having jurisdiction over the Special Use Permit; further, while we defer to the Building Inspector, we assume the convenience store would be considered an accessory retail use; please revise the notes on Sheet C-3 accordingly.
9. The parking calculation includes the convenience store at 1 space per 125 feet (25 spaces required) but does not include the requirement associated with the gasoline service station (1 space per employee plus 3 spaces per each service); while no service bays are proposed, the parking calculation must reflect the maximum number of employees on the largest work shift. Further, the applicant is counting each fuel dispensing station (12 in total) as required parking spaces; an interpretation from the Building Inspector is required to determine if counting fuel stations toward parking is permissible. The location and dimensions of the parking spaces proposed adjacent to each fuel pump shall be provided on the plan.
10. The NYS Route 35/NYS Route 121 intersection provides no crosswalks or pedestrian safety improvements and there are presently no sidewalks along either road. Given the proximity of the John Jay campus along with other retail uses in the immediate vicinity, it is expected that the proposed use (particularly the 7-Eleven convenience store) will increase pedestrian movements through the intersection. It is our understanding that the NYSDOT will be evaluating pedestrian safety associated with this intersection as part of a separate and distinct study. Pedestrian

movements, safety and connectivity should be further evaluated and considered during the Board's continued review of this project.

11. It is recommended that the applicant prepare a traffic impact study and that the Planning Board retain a professional traffic engineer to review the study on its behalf.
12. The plans shall include driveway profiles to demonstrate compliance with Section 220-55D(2) of the Town Code.
13. The plan should illustrate vehicle maneuvering requirements for the largest vehicle anticipated (fuel tanker) along its expected path of travel to demonstrate adequate access through the site (entering, exiting, fuel delivery).
14. The plan shall illustrate adequate off-street loading facilities, as required by Section 220-57 of the Town Code.
15. Given the total number of proposed parking spaces, at least two (2) accessible parking spaces will be required.
16. Proposed location for any vacuums, air filling stations, BBQ propane tank storage/sales, or other outdoor sales/display areas shall be identified on the plan.
17. A lighting plan shall be submitted for review and shall demonstrate compliance with Section 220-14 of the Zoning Code. It is recommended that the plan eliminate or minimize light trespass over any property line and that the lights under the canopy have a maximum illuminance level of 30 f.c. at grade. The lighting plan shall specify the hours of operation for all exterior lighting and provide details and manufacturer cut sheets for all proposed exterior light fixtures.
18. The applicant shall demonstrate compliance with the landscaping requirements provided under Section 220-55E of the Zoning Code.
19. The plan proposes improvements within the right-of-way of Old Post Road (NYS Route 35), requiring a Highway Work Permit and Commercial Driveway Access Permit from the NYSDOT. The applicant should update the Planning Board in regard to this approval and update the plans accordingly.
20. The plan proposes a curb-cut on North Salem Road. The plan should be referred to the Town Highway Department for review.
21. The plan proposes left turn restrictions at both exit locations. The Planning Board should consider whether the restriction on North Salem Road is appropriate, as this will require residents

Chairpersen Janet Andersen

April 11, 2019

Page 5 of 6

- on Mark Mead Road, that may frequent the site, to travel north or south on Route 35 before returning to their neighborhood.
22. The plan shall include sight line profiles (to the left and right) from each exit drive to demonstrate adequate stopping sight distance and intersection sight distance for the design vehicle speed for each road.
  23. The plans shall illustrate the locations of the existing septic system and domestic well to be abandoned in accordance with WCHD Rules and Regulations.
  24. The applicant will be required to illustrate the location and details of the proposed septic system and drilled well to be approved by the NYCDEP and WCHD.
  25. The plan illustrates the location of a preliminary stormwater mitigation system. The applicant will be required to prepare a Stormwater Pollution Prevention Plan (SWPPP) in accordance with Chapter 189, Stormwater Management and Erosion and Sediment Control of the Town Code. The project is located in a NYCDEP Main Street Designated Area. As such, the applicant must also obtain approval by the NYCDEP for compliance with the Rules and Regulations for the Protection from Contamination, Degradation and Pollution of the New York City Water Supply and Sources. This office will reserve further comment until the SWPPP has been reviewed by the NYCDEP.
  26. The project is located in the Cross River Watershed and will disturb greater than 5,000 s.f. As such, the applicant will be required to obtain coverage under the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity (GP-0-15-002). A draft copy of the Notice of Intent (NOI) and MS4 Acceptance Form shall be provided with the SWPPP.
  27. The plan proposes an underground electric service, a portion of which is shown to run below the stormwater basin. The applicant should consider an alternate route to avoid this.
  28. The Existing Conditions Plan shall clearly identify the limits of all existing improvements to be removed, including, but not limited to, buildings, drives, walks, trees, utilities, septic system, well, etc. The plans shall illustrate and detail all required restoration in the right-of-way of NYS Route 35 and North Salem Road.
  29. It is our understanding that there is an active MTBE remediation effort associated with the Shell gas station located on the opposite side of NYS Route 35 and that contamination has spread off-site and has impacted nearby properties. The extent of this contamination, remediation efforts, and any impacts it may have on the application must be evaluated. Further, the applicant shall submit a Phase 1 Environmental Assessment for review.
  30. It is recommended that the plans be referred to the fire department for review and comment.

Chairpersen Janet Andersen

April 11, 2019

Page 6 of 6

31. Architectural elevations and floor plans shall be provided (including the canopy).
32. The plans shall include construction details for all site improvements.

In order to expedite the review of subsequent submissions, the applicant should provide annotated responses to each of the comments outlined herein.

**PLANS REVIEWED, PREPARED BY STONEFIELD ENGINEERING & DESIGN, DATED MARCH 8, 2019:**

- Cover Sheet (C-1)
- Existing Conditions Plan (C-2)
- Site Plan (C-3)
- Preliminary Grading, Drainage & Utility Plan (C-4)
- Preliminary Lighting & Landscaping Plan (C-5)

**DOCUMENTS REVIEWED:**

- Letter, prepared by Leo Napior, dated March 12, 2019
- Site Development Plan Approval, Special Use Permit Approval Application
- Full EAF Part 1, dated March 8, 2019
- Boundary & Topographic Survey, prepared by Gallas Surveying Group, dated February 15, 2019

JKJ/JMC/dc

T:\Lewisboro\Correspondence\2019-04-11\_LWPB\_7-11 Gas Station\_Review Memo.docx

**TO:** Town of Lewisboro Planning Board

**FROM:** Lewisboro Conservation Advisory Council

**SUBJECT:** 7-Eleven/Gas Station and convenience Store  
2873 Old Post Road, Cross River, NY 10618

**DATE:** April 4, 2019

---

The Conservation Advisory Council (CAC) reviewed the applicant's submission of a sketch plan for a 7-Eleven convenience store and a gas station.

The proposed location for this project is in Cross River where there is an existing gas station and a former gas station. The location is near a wetland and is up hill from Cross River and the reservoir.

The plan submitted did not show the wetland or the wetland buffer. The CAC would like to see a complete plan that delineates the buffer.

Given that there were two gas stations and at least one with issues, the CAC would like to see soil testing done at the proposed site.

Gas stations are notorious for leakage over time, either from the tanks or leakage from the customers allowing spillage. The CAC is concerned that those leaks will find their way into surrounding water and eventually Cross River.

The CAC would like the final plan to show their lighting schemes to minimize light pollution in the area and to neighbors.

There is a tendency for cars at convenience stores to sit in parking lots idling. This adds to air pollution in an already congested area. The CAC has concerns about any additional air pollution in the Cross River area. Although the application stated no additional traffic, the CAC feels that a traffic study should be considered for this project.

LEO NAPIOR

DIRECT TEL.: 914-701-0800  
MAIN FAX: 914-701-0808

[LNAPIOR@HKPLAW.COM](mailto:LNAPIOR@HKPLAW.COM)

March 12, 2019  
**VIA HAND**

Chairman Kerner & Members of the Planning Board  
Town of Lewisboro Planning Board  
79 Bouton Road  
South Salem, New York 10590

RECEIVED  
LEWISBORO  
MAR 12 2019  
PLANNING  
BOARD

Re: **873 Old Post Road (Route 35)**  
**Proposed 7-11 Gasoline Service Station / Convenience Store**

Dear Chairman Kerner & Members of the Planning Board:

We represent Black Diamond Equity, LLC (the "Applicant"), as contract vendee, in connection with the above referenced matter. We submit herewith a site development plan application and supporting plans and documentation for the proposed redevelopment of 873 Old Post Road (the "Subject Property"). Specifically, submitted herewith are the following:

- Exhibit 1: Site Plan Application
- Exhibit 2: Full Environmental Assessment Form
- Exhibit 3: Affidavit of Ownership
- Exhibit 4: Tax Payment Affidavit
- Boundary & Topographic Survey dated February 15, 2019, prepared by Gallas Surveying Group
- Preliminary Site Plan Drawings last revised March 8, 2019, prepared by Stonefield Engineering & Design:
  - C-1: Cover Sheet
  - C-2: Existing Conditions Plan
  - C-3: Site Plan
  - C-4: Preliminary Grading, Drainage & Utility Plan
  - C-5: Preliminary Lighting & Landscaping Plan

### Executive Summary

The Subject Property is located at the southeast corner of the intersection of Old Post Road and South Salem Road and is presently improved with a 3-story frame building, a detached 1-story frame garage and associated parking areas. The Subject Property is located R-B: Retail Business District and is 30,466 square feet.

The Applicant is proposing to remove the existing improvements and redevelop the Subject Property to be a gasoline service station with a 3,043 square foot convenience store, which is a permitted special permit use in the R-B district under § 220-24.C(1)(m) of the Lewisboro Town Code (the "Code"). The proposed development complies with all of the applicable zoning regulations, with the exception of the maximum site coverage and signage for which the Applicant will be seeking variances.

The proposed convenience store is approximately 3,043 square feet to be located at the southeastern corner of the Subject Property. The Applicant is proposing six (6) fuel dispensers covered by a fueling canopy and fourteen (14) designated off-street parking spaces in addition to the twelve (12) fueling positions for a total of twenty-six (26) parking spaces. The proposed layout of the Subject Property will provide 360-degree vehicular circulation within the site (i.e. if all of the fueling positions are occupied there will be no queuing of traffic off-site).

There are two proposed access points to the Subject Property on North Salem Road and Old Post Road. The curb cut on North Salem Road will be full services while the curb cut on Old Post Road will be limited to right-turns out. The Applicant has had preliminary discussions with the NYS Department of Transportation (the "DOT") concerning access to the Subject Property and will modify the plans as necessary in order to address any future comments of the DOT.

The proposed drainage plan will be subject to the review of the NYC Department of Environmental Protection (the "DEP") as it is within proximity to the NYC Watershed at the Cross River Reservoir. The preliminary drainage plan contemplates utilization of a combination of a bio-retention area for the leaders from the structure and canopy as well as a closed system to capture and treat the paved surfaces prior to discharge. The Applicant will further develop and modify the drainage plan as necessary in order to address any future comments of the DEP.

## **Special Permit Standards**

The proposed use and development of the Subject Property satisfies all of the general standards set forth in the Code for special permit uses. Specifically:

- 1) The location and size of the use are in harmony with the orderly development of the R-B district in which it is located. There is a comparable use in the same district immediately across Old Post Road from the Subject Property, which not only contains a Food Mart but also has a service business and a car wash.
- 2) The location, nature and height of the buildings on the site will not hinder or discourage the appropriate development and use of adjacent land buildings. The proposed structure will comply with the applicable bulk and setback requirements and will be limited to 1-story rather than the existing 3-story structure. In addition, the existing paved areas will be removed and the proposed paved areas will be set back further from the property lines providing a greater buffer between the site and the adjacent properties.
- 3) The operations of the Subject Property will not be more objectionable to nearby properties than would be the operations of any permitted use not requiring a special permit. Permitted operations not requiring a special permit include other high volume businesses such as retail (including a convenience market), restaurants, grocery stores, etc.
- 4) The proposed parking areas are all suitably screened from adjacent properties, unlike the existing parking areas that are located along the southern property line with parked cars facing the adjacent residential property to the south.

## **State Environmental Quality Review ("SEQR")**

The Applicant has provided a Full Environmental Assessment Form (see Exhibit 2). The project should be classified as an Unlisted Action, although the Applicant notes that but for the necessary site coverage variance the project would be properly classified as a Type II Action and exempt from review under SEQRA pursuant to 6 NYCRR 617.5(c)(9).

## **Referral to the Zoning Board of Appeals**

The Applicant respectfully requests that the Planning Board consider referring the Project to the Zoning Board of Appeals (the "ZBA") early on in the review process prior to the Applicant having a fully engineered set of design documents. As noted above, the proposed development requires a minor variance for the maximum permitted site

HKP

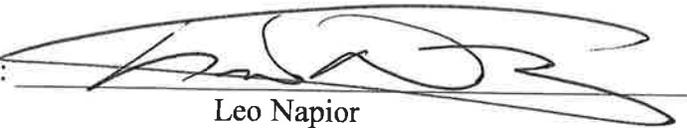
coverage. The Applicant would like to begin a dialogue with the ZBA as they may have comments or concerns that would impact the proposed site layout resulting in changes to contemplated civil engineering of the site.

We look forward to presenting this Application to your Board at your upcoming meeting. Thank you for your attention to this matter.

Very Truly Yours,

HARFENIST KRAUT & PERLSTEIN LLP

By:

A handwritten signature in black ink, appearing to read 'Leo Napior', is written over a horizontal line. The signature is stylized and cursive.

Leo Napior

# EXHIBIT 1

**TOWN OF LEWISBORO PLANNING BOARD**

79 Bouton Road, South Salem, NY 10590 Tel: (914) 763-5592 Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)

**Site Development Plan/Subdivision Plat Application - Check all that apply:**

Waiver of Site Development Plan Procedures	<input type="checkbox"/>	Step I	<input checked="" type="checkbox"/>	Step II	<input type="checkbox"/>	Step III	<input type="checkbox"/>
Site Development Plan Approval		Step I	<input checked="" type="checkbox"/>	Step II	<input type="checkbox"/>		
Special Use Permit Approval		Step I	<input checked="" type="checkbox"/>	Step II	<input type="checkbox"/>		
Subdivision Plat Approval		Step I	<input type="checkbox"/>	Step II	<input type="checkbox"/>		

**Project Information**

Project Name: Proposed 7-11 Gasoline Service Station / Convenience Store

Project Address: 873 Old Post Road (Route 35)

Gross Parcel Area: 0.70 acres Zoning District: R-B Sheet(s): 0020 Block (s): 10800 Lot(s): 2 & 8

Project Description: Remove existing improvements and construct a new convenience store with six (6) fueling positions and associated on-site parking.

Is the site located within 500 feet of any Town boundary?	YES	<input type="checkbox"/>	NO	<input checked="" type="checkbox"/>
Is the site located within the New York City Watershed?	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>
Is the site located on a State or County Highway?	YES	<input checked="" type="checkbox"/>	NO	<input type="checkbox"/>

Does the proposed action require any other permits/approvals from other agencies/departments?

Town Board	<input type="checkbox"/>	ZBA	<input checked="" type="checkbox"/>	Building Dept.	<input checked="" type="checkbox"/>	Town Highway	<input checked="" type="checkbox"/>
ACARC	<input checked="" type="checkbox"/>	NYSDEC	<input checked="" type="checkbox"/>	NYCDEP	<input checked="" type="checkbox"/>	WCDH	<input checked="" type="checkbox"/>
NYSDOT	<input checked="" type="checkbox"/>	Town Wetland	<input type="checkbox"/>	Town Stormwater	<input checked="" type="checkbox"/>		

Other \_\_\_\_\_

**Owner's Information**

Name: GHI Real Estate Corp. Email: bills@aiaps.com

Address: 182 Allison Road Phone: (914) 232-1700

**Applicant's Information (if different)**

Name: Black Diamond Equity, LLC Email: ed@glackinrealty.com

Address: 30 Bay Drive West, Huntington, NY 11743 Phone: (516) 359-9484

**Authorized Agent's Information**

Name: Harfenist Kraut & Perlstein, LLP Email: lnapior@hkplaw.com

Address: 2975 Westchester Ave. - Ste. 415, Purchase, New York 10577 Phone: 914-701-0800

THE APPLICANT understands that any application is considered complete only when all information and documents required have been submitted and received by the Planning Board. The applicant further understands that the applicant is responsible for the payment of all application and review fees incurred by the Planning Board.

THE UNDERSIGNED WARRANTS the truth of all statements contained herein and in all supporting documents according to the best of his/her knowledge and belief, and authorizes visitation and inspection of the subject property by the Town of Lewisboro and its agents.

APPLICANT'S SIGNATURE [Signature], Manager DATE 3/7/19

OWNER'S SIGNATURE [Signature] DATE 3/8/19

# EXHIBIT 2

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: 7-ELEVEN, INC. - PROPOSED CONVENIENCE STORE		
Project Location (describe, and attach a general location map): SOUTHEASTERLY QUADRANT OF NORTH SALEM AND OLD POST ROAD (NYS ROUTE 35)		
Brief Description of Proposed Action (include purpose or need): THE APPLICANT IS PROPOSING TO CONSTRUCT A 3,043 SF CONVENIENCE STORE WITH FUELING OPERATIONS CONSISTING OF 6 MPDS UNDER CANOPY. ADDITIONAL SITE IMPROVEMENTS INCLUDE STORMWATER MANAGEMENT INFRASTRUCTURE, LIGHTING, LANDSCAPING, PEDESTRIAN FACILITIES AND GENERAL SITE IMPROVEMENTS. THE EXISTING OFFICE BUILDING AND ASSOCIATED FACILITIES WILL BE DEMOLISHED / REMOVED AS PART OF THE PROPOSED DEVELOPMENT.		
Name of Applicant/Sponsor: BLACK DIAMOND EQUITY, LLC		Telephone: (516)-359-9484
		E-Mail: ED@GLACKINREALTY.COM
Address: PO BOX 1932		
City/PO: HUNTINGTON	State: NY	Zip Code: 11743
Project Contact (if not same as sponsor; give name and title/role): STONEFIELD ENGINEERING & DESIGN (ZACHARY CHAPLIN)		Telephone: 718-606-8305
		E-Mail: ZCHAPLIN@STONEFIELDENG.COM
Address: 584 BROADWAY, SUITE 310		
City/PO: NEW YORK	State: NY	Zip Code: 10012
Property Owner (if not same as sponsor): GHI REAL ESTATE CORP		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	PLANNING BOARD - SPECIAL PERMIT	TBD
c. City, Town or <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals	VARIANCES AS SPECIFIED ON SITE PLAN ZONING BOARD - SPECIAL PERMIT	TBD
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYCDEP - WATERSHED PROTECTION	TBD
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	WESTCHESTER COUNTY DPW/PLANNING COMMISSION/DEPARTMENT OF HEALTH	TBD
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDOT HIGHWAY WORK PERMIT	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, identify the plan(s): NYC Watershed Boundary _____ _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s): _____ _____ _____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
RETAIL BUSINESS DISTRICT (R-B)

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
 If Yes,  
 i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? KATONAH-LEWISBORO SCHOOL DISTRICT

b. What police or other public protection forces serve the project site?  
TOWN OF LEWISBORO POLICE

c. Which fire protection and emergency medical services serve the project site?  
SOUTH SALEM FIRE DEPARTMENT

d. What parks serve the project site?  
WARD POUND RIDGE RESERVATION

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? COMMERCIAL

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 0.70 acres  
 b. Total acreage to be physically disturbed? \_\_\_\_\_ 0.70 acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 0.70 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_  
 ii. Is a cluster/conservation layout proposed?  Yes  No  
 iii. Number of lots proposed? \_\_\_\_\_  
 iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No  
 i. If No, anticipated period of construction: \_\_\_\_\_ 6 months  
 ii. If Yes:  
 • Total number of phases anticipated \_\_\_\_\_  
 • Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
 • Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

If Yes,

- i. Total number of structures 2
- ii. Dimensions (in feet) of largest proposed structure: +/- 20' height; 70'-1" width; and 43'-5" length
- iii. Approximate extent of building space to be heated or cooled: 3,043 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

If Yes,

- i. Purpose of the impoundment: \_\_\_\_\_
- ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_
- iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_
- iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres
- v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length
- vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

- i. What is the purpose of the excavation or dredging? \_\_\_\_\_
- ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
  - Volume (specify tons or cubic yards): \_\_\_\_\_
  - Over what duration of time? \_\_\_\_\_
- iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_
- iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
If yes, describe. \_\_\_\_\_
- v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres
- vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres
- vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet
- viii. Will the excavation require blasting?  Yes  No
- ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

- i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 800 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?

If Yes:  Yes  No

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

WELL (PRIVATE)

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ 3 gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 100 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

SANITARY WASTEWATER

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
PROPOSED SEPTIC FIELD  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
TO BE CAPTURED IN PROPOSED UNDERGROUND SEPTIC FIELD  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

- i. Estimate methane generation in tons/year (metric): \_\_\_\_\_
- ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

- i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.
- ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_
- iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_
- iv. Does the proposed action include any shared use parking?  Yes  No
- v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_
- vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site?  Yes  No
- vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No
- viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

- i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
TBD
- ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
GRID / LOCAL UTILITY
- iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: \_\_\_\_\_ N/A
- Saturday: \_\_\_\_\_ N/A
- Sunday: \_\_\_\_\_ N/A
- Holidays: \_\_\_\_\_ N/A

ii. During Operations:

- Monday - Friday: \_\_\_\_\_ 24 HOUR
- Saturday: \_\_\_\_\_ 24 HOUR
- Sunday: \_\_\_\_\_ 24 HOUR
- Holidays: \_\_\_\_\_ 24 HOUR

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
POLE-MOUNTED AREA LIGHTING, WALL-MOUNTED BUILDING LIGHTING AND CANOPY LIGHTING WILL BE PROVIDED IN ACCORDANCE WITH THE LOCAL REQUIREMENTS

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored PETROLEUM  
 ii. Volume(s) 40K GAL. per unit time MONTH (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ TBD tons per \_\_\_\_\_ (unit of time)  
 • Operation: \_\_\_\_\_ 15 tons per \_\_\_\_\_ YEAR (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: PER LOCAL, COUNTY AND STATE REQUIREMENTS  
 \_\_\_\_\_  
 • Operation: ON-SITE STORAGE PROVIDED (TRASH & RECYCLING ENCLOSURE)  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: PER LOCAL, COUNTY AND STATE REQUIREMENTS  
 \_\_\_\_\_  
 • Operation: ON-SITE STORAGE PROVIDED (TRASH & RECYCLING ENCLOSURE)  
 \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.38 AC	0.47 AC	+ 0.09 AC
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: <u>VEGETATION (GRASS &amp; LANDSCAPE)</u>	0.32 AC	0.23 AC	-0.09 AC

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
JOHN JAY MIDDLE SCHOOL & HIGH SCHOOL

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 1.67 to 3.25 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

PnC (Paxton Fine Sandy Loam)	_____	99 %
Uf (Urban Land)	_____	1 %
	_____	%

d. What is the average depth to the water table on the project site? Average: 1.5 to 3.08 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 100 % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 90 % of site  
 10-15%: \_\_\_\_\_ 10 % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name CLASS: 1, ID: F-6 Approximate Size 652.8 ACRES
- Wetland No. (if regulated by DEC) REGION 3 \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:

i. Name of aquifer: Principal Aquifer \_\_\_\_\_

<p>m. Identify the predominant wildlife species that occupy or use the project site:  TYPICAL TO REGION _____  _____</p>	<p>_____</p>
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>  If Yes:</p>	
<p><i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____</p>	
<p><i>ii.</i> Source(s) of description or evaluation: _____</p>	
<p><i>iii.</i> Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>	
<p>If Yes:</p> <p><i>i.</i> Species and listing (endangered or threatened): _____</p>	
<p>_____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p>	
<p>If Yes:</p> <p><i>i.</i> Species and listing: _____</p>	
<p>_____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>  If yes, give a brief description of how the proposed action may affect that use: _____</p>	
<p>_____</p>	
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>  If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p><i>i.</i> If Yes: acreage(s) on project site? _____</p> <p><i>ii.</i> Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p><i>i.</i> Nature of the natural landmark:    <input type="checkbox"/> Biological Community    <input type="checkbox"/> Geological Feature</p> <p><i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p>	
<p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p><i>i.</i> CEA name: _____</p> <p><i>ii.</i> Basis for designation: _____</p> <p><i>iii.</i> Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: \_\_\_\_\_

iii. Brief description of attributes on which listing is based: \_\_\_\_\_

---

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

---

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

---

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: WARD POUND RIDGE RESERVATION COUNTY PARK

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): COUNTY PARK

iii. Distance between project and resource: \_\_\_\_\_ 0.25 miles.

---

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

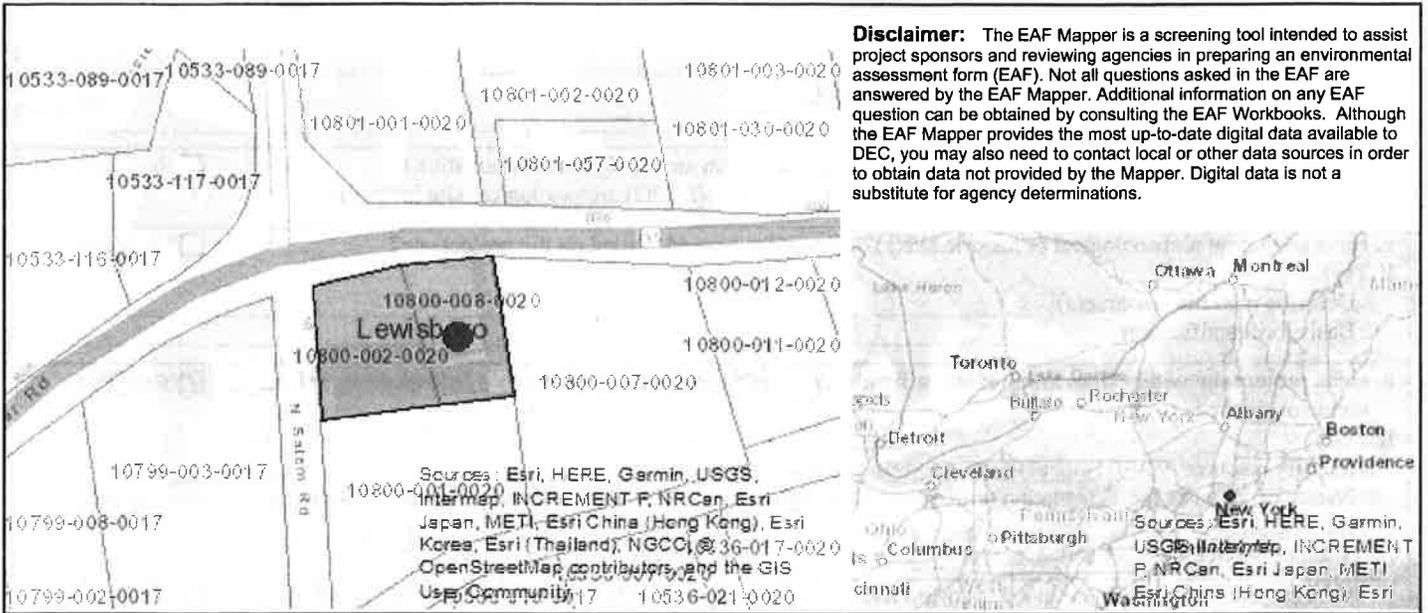
**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name ZACHARY CHARLIN Date 3/8/2019

Signature  Title PROJECT MANAGER

**PRINT FORM**



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYC Watershed Boundary
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No

E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



# EXHIBIT 3

# TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590

Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)

Tel: (914) 763-5592

Fax: (914) 875-9148

## Affidavit of Ownership

State of: New York

County of: Westchester

Bruce Swertfager, being duly sworn, deposes and says that he/she

resides at 873 Route 35 Cross River

in the County of Westchester, State of NY

and that he/she is (check one)  the owner, or  the

of GHI Real Estate Corp. Title

*Name of corporation, partnership, or other legal entity*

which is the owner, in fee of all that certain log, piece or parcel of land situated, lying and being in the Town of Lewisboro, New York, aforesaid and known and designated on the Tax Map in the Town of Lewisboro as:

Block 10800, Lot 2 & 8, on Sheet 0020

  
Owner's Signature

Sworn to before me this

8<sup>th</sup> day of March, 2019

Geraldine A. Keely  
NOTARY PUBLIC STATE OF NEW YORK  
QUALIFIED IN WESTCHESTER COUNTY  
REGISTRATION NO. 01KE6167768  
COMMISSION EXPIRES JUNE 04, 2019

  
Notary Public - affix stamp

# EXHIBIT 4

# TOWN OF LEWISBORO PLANNING BOARD

79 Bouton Road, South Salem, NY 10590  
Email: [planning@lewisborogov.com](mailto:planning@lewisborogov.com)  
Tel: (914) 763-5592 Fax: (914) 875-9148

## Tax Payment Affidavit Requirement

*This form must accompany all applications to the Planning Board.*

**Under regulations adopted by the Town of Lewisboro, the Planning Board may not accept any application unless an affidavit from the Town of Lewisboro Receiver of Taxes is on file in the Planning Board office. The affidavit must show that all amounts due to the Town of Lewisboro as real estate taxes and special assessments on the total area encompassed by the application, together with all penalties and interest thereon, have been paid.**

**Under New York State law, the Westchester County Clerk may not accept any subdivision map for filing unless the same type of affidavit from the Town of Lewisboro Receiver of Taxes is submitted by the applicant at the time of filing.**

This form must be completed by the applicant and must accompany all applications to the Planning Board. Upon receipt, the Planning Board Secretary will send the form to the Receiver of Taxes for signature and notarization. If preferred, the applicant may directly obtain the signature of the Receiver of Taxes and notarization prior to submission.

### To Be Completed by Applicant (Please type or print)

Black Diamond Equity

Proposed 7-11 Gasoline Service Station / Convenience Store

Name of Applicant

Project Name

#### Property Description

#### Property Assessed to:

Tax Block(s): 10800

GHI Real Estate Corp.

Tax Lot(s): 2 & 8

Name 182 Allison Rd.

Tax Sheet(s): 0020

Address Katonah

NY

10536

City

State

Zip

The undersigned, being duly sworn deposes and says that a search of the tax records in the office of the Receiver of Taxes, Town of Lewisboro, reveals that all amounts due to the Town of Lewisboro as real estate taxes and special assessments, together with all penalties and interest thereon, affecting the premises described below, have been paid.

Signature - Receiver of Taxes: \_\_\_\_\_

Date

3/7/2019

Sworn to before me this

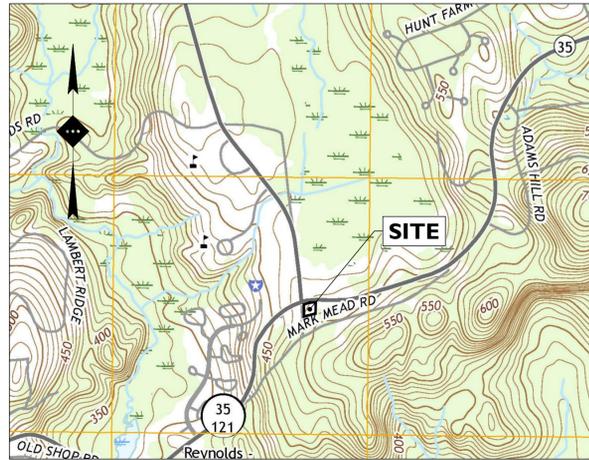
7<sup>th</sup> day of March

2019



JANET L. DONOHUE  
NOTARY PUBLIC, STATE OF NEW YORK  
No. 01DO6259627  
Qualified in Westchester County  
Commission Expires April 16, 2020

Signature - Notary Public (affix stamp)



SOURCE: USGS 7.5 MINUTE SERIES PEACH LAKE, NY / CT QUADRANGLE MAP, DATED 2016

**KEY MAP**

SCALE: 1" = 1000'±

# PRELIMINARY SITE PLANS FOR PROPOSED CONVENIENCE MARKET WITH RETAIL FUEL SERVICE



SECTION 42.18, BLOCK 1, LOTS 5 & 7  
873 OLD POST ROAD  
TOWN OF LEWISBORO  
WESTCHESTER COUNTY, NEW YORK

**APPLICANT**

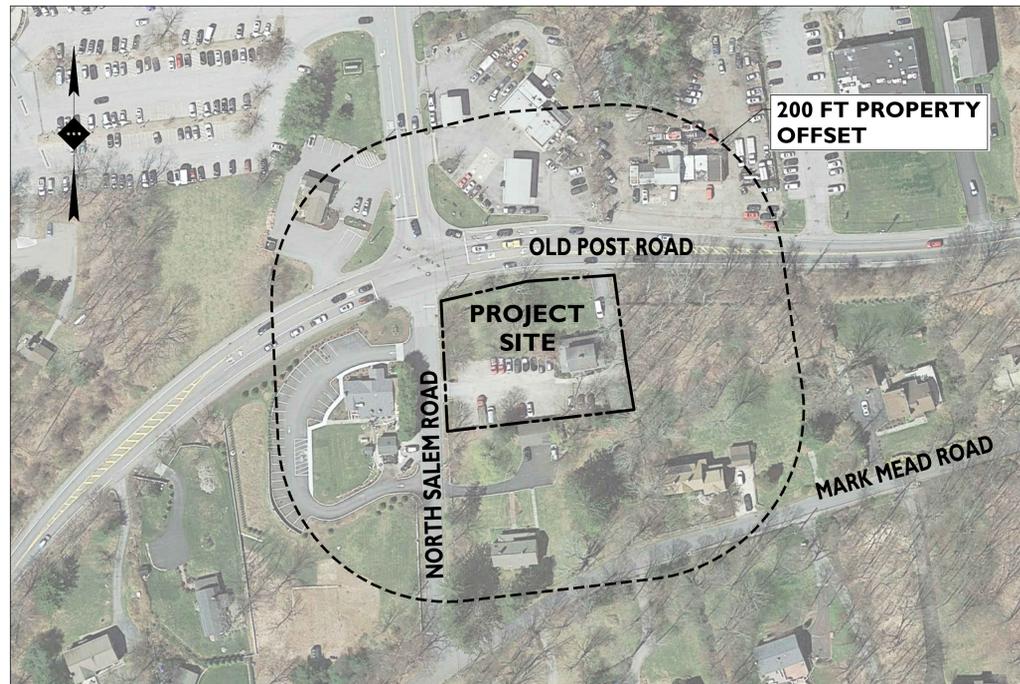
BLACK DIAMOND EQUITY, LLC

**OWNER**

GHI REAL ESTATE CORPORATION  
182 ALLISON ROAD  
KATONAH, NEW YORK 10536

**ATTORNEY**

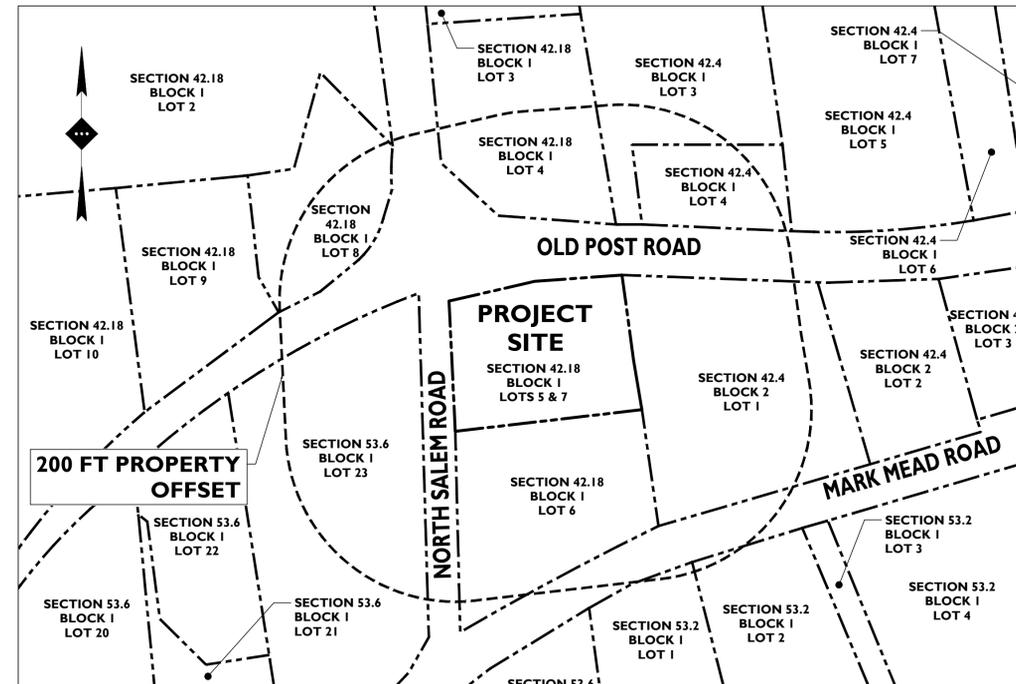
LEO NAPIOR  
HARFENIST KRAUT & PERLSTEIN LLP  
2975 WESTCHESTER AVE  
SUITE 415  
PURCHASE, NY 10577



SOURCE: GOOGLE EARTH AERIAL MAP, RETRIEVED FEBRUARY 20, 2019

**AERIAL MAP**

SCALE: 1" = 100'±

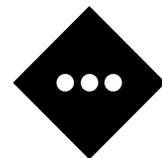


SOURCE: WESTCHESTER COUNTY GIS, DATE RETRIEVED FEBRUARY 21, 2019

**TAX / ZONING / OTHER MAP**

SCALE: 1" = 100'±

PLANS PREPARED BY:



**STONEFIELD**  
engineering & design

Rutherford, NJ · New York, NY  
Princeton, NJ · Tampa, FL · Detroit, MI  
www.stonefieldeng.com

584 Broadway, Suite 310, New York, NY 10012  
Phone 718.606.8305



Know what's below  
Call before you dig.

**PLAN REFERENCE MATERIALS:**

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY GALLAS SURVEYING GROUP, COMPLETED JANUARY 25, 2019
  - GOOGLE EARTH PRO AERIAL MAP, RETRIEVED FEBRUARY 21, 2019
  - WESTCHESTER COUNTY GIS, RETRIEVED FEBRUARY 21, 2019
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

**SHEET INDEX**

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
SITE PLAN	C-3
PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN	C-4
PRELIMINARY LIGHTING & LANDSCAPING PLAN	C-5

**STONEFIELD**  
engineering & design

Rutherford, NJ · New York, NY  
Princeton, NJ · Tampa, FL · Detroit, MI  
www.stonefieldeng.com  
584 Broadway, Suite 310, New York, NY 10012  
Phone 718.606.8305

**BLACK DIAMOND EQUITY**  
PROPOSED CONVENIENCE STORE  
WITH FUELING OPERATIONS



SECTION 42.18, BLOCK 1, LOTS 5 & 7  
873 OLD POST ROAD (NYS ROUTE 35)  
TOWN OF LEWISBORO  
WESTCHESTER COUNTY, NEW YORK

PRELIMINARY SITE PLANS

ZACHARY L. CHAPLIN, P.E.  
NEW YORK LICENSE No. 099748  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: AS SHOWN PROJECT ID: K-18081

TITLE:  
**COVER SHEET**

DRAWING:

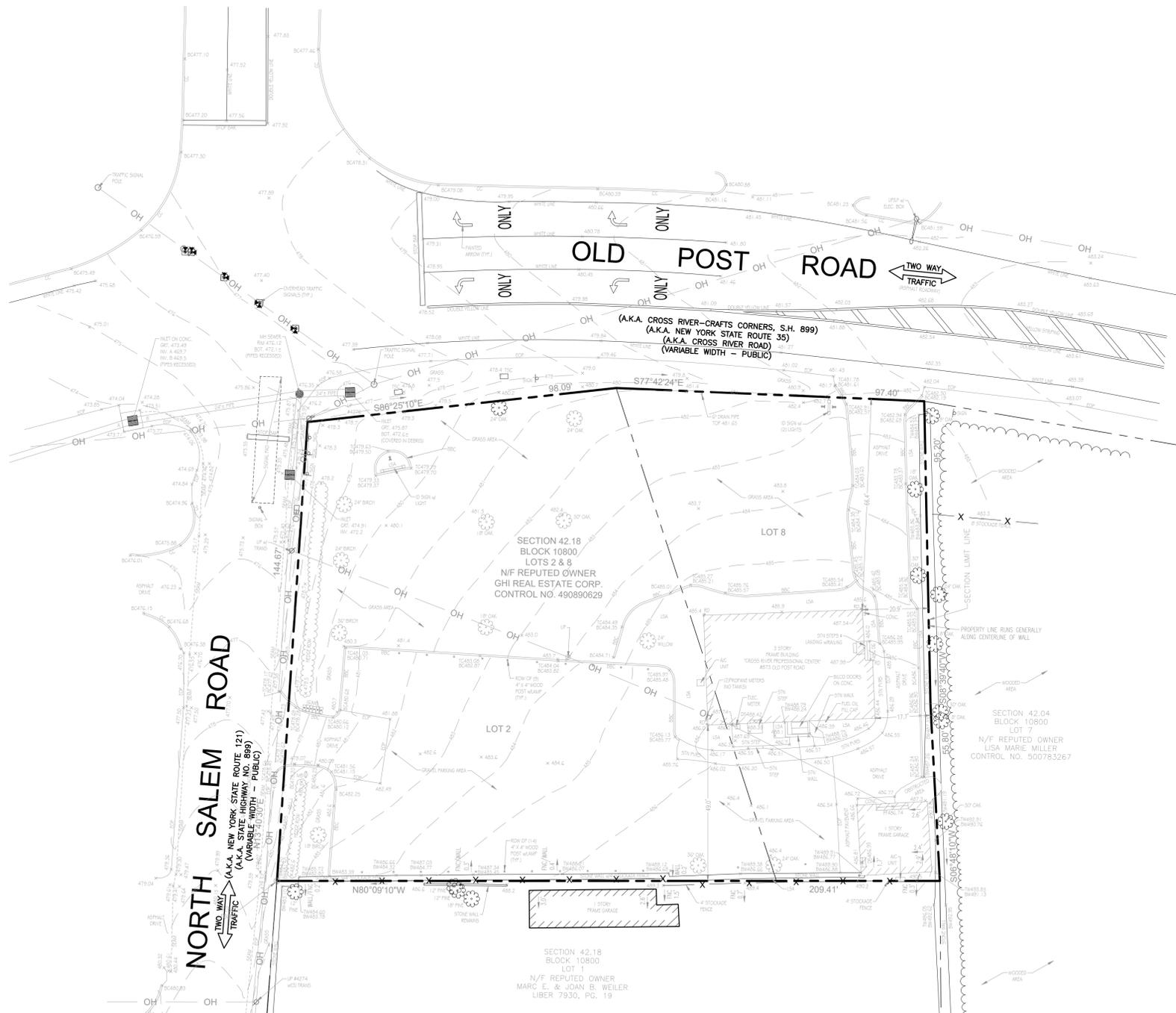
**C-1**

NOT APPROVED FOR CONSTRUCTION

ISSUE	DATE	BY	DESCRIPTION
2	03/08/2019	KG	SUBMISSION TO PLANNING BOARD
1	02/19/2019	KG	ISSUED TO CLIENT FOR REVIEW

K:\2018\18081 BLACK DIAMOND EQUITY - 873 ROUTE 35 MARK STREET (CT) 35, LEWISBORO, NY\CAD\PHOTO\AERIAL COORDING

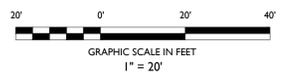
K:\2018\1801\BLACK DIAMOND EQUITY - 873 ROUTE 35\MARK SHEET (CT-3).LWM\BIDDING\18010000\EXISTING.DWG



SYMBOL	DESCRIPTION
---	PROPERTY LINE
	BUILDING FOOTPRINT AND DOORWAY AT GROUND LEVEL
---	EXISTING CONTOUR
x 482.34	EXISTING SPOT ELEVATION
x 10 482.34	EXIST. TOP OF CURB ELEVATION
x 80 482.34	EXIST. GUTTER ELEVATION
x 70 482.34	EXIST. TOP OF WALL ELEVATION
x 80 482.34	EXIST. BOTTOM OF WALL ELEVATION
x 05 482.34	DOOR SILL ELEVATION
x 10 482.34	FINISHED FLOOR ELEVATION
—○—	OVERHEAD WIRES
MH	MANHOLE
IN	INLET
UP	UTILITY POLE
UP/LP	UTILITY POLE/LIGHT POLE
●	BOLLARD
—	SIGN
AC	AIR CONDITIONING
CC	CONCRETE CURB
CLF	CHAIN LINK FENCE
CONC	CONCRETE
EDP	EDGE OF PAVEMENT
FNC	FENCE
LSA	LANDSCAPED AREA
MB	MAIL BOX
P/VS	PAVERS
RD	ROOF DRAIN
STN	STONE
TRANS	TRANSFORMER
TSC	TRAFFIC SIGNAL COVER
1, 0'	DENOTES OFFSET OF STRUCTURE AT GROUNDLEVEL RELATIVE TO PROPERTY LINE
UP OK	DENOTES TREE WITH SPECIES AND TRUNK DIAMETER

**SURVEY NOTES:**

- PROPERTY KNOWN AS LOTS 2 & 8 IN BLOCK 10800, SECTION 42.18 AS DESIGNATED ON THE OFFICIAL TAX MAP FOR THE TOWN OF LEVISOBO, WESTCHESTER COUNTY, STATE OF NEW YORK, PRINT DATE: MARCH 4, 2014.
- AREA: 30,466 S.F. OR 0.6994 AC.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT AND IS SUBJECT TO THE COVENANTS, RESTRICTIONS AND EASEMENTS THAT MAY BE CONTAINED THEREIN.
- ELEVATIONS ARE BASED UPON NAVD 88 DATUM.
- BY GRAPHIC PLOTTING, PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NO. 36119C0090F, EFFECTIVE DATE: SEPTEMBER 28, 2007, OBTAINED FROM FEMA NFHL WEB SERVICE ON JANUARY 14, 2019.
- THE LOCATION AND EXTENTS OF UNDERGROUND TANKS AND VAULTS, IF ANY EXIST, HAVE NOT BEEN DETERMINED BY THE SURVEYOR.



NO.	DATE	ISSUE	BY	DESCRIPTION
2	03/08/2019	KG		SUBMISSION TO PLANNING BOARD
1	02/19/2019	KG		ISSUED TO CLIENT FOR REVIEW

**NOT APPROVED FOR CONSTRUCTION**



Rutherford, NJ • New York, NY  
Princeton, NJ • Tampa, FL • Detroit, MI  
www.stonefielddeng.com  
584 Broadway, Suite 310, New York, NY 10012  
Phone 718.606.8305

**PRELIMINARY SITE PLANS**  
**BLACK DIAMOND EQUITY**  
**PROPOSED CONVENIENCE STORE**  
**WITH FUELING OPERATIONS**



SECTION 42.18, BLOCK 1, LOTS 5 & 7  
873 OLD POST ROAD (NY STATE ROUTE 35)  
TOWN OF LEVISOBO  
WESTCHESTER COUNTY, NEW YORK

**DRAFT**  
ZACHARY CHAPLIN, P.E.  
NEW YORK LICENSE NO. 099748  
LICENSED PROFESSIONAL ENGINEER



SCALE: 1" = 20' PROJECT ID: K-18081

TITLE:  
**EXISTING CONDITIONS PLAN**

DRAWING:  
**C-2**

K:\2018\1801 BLACK DIAMOND EQUITY - 873 ROUTE 310 MAIN STREET (CT-35), LEWISBORO, VT\02030\1801\1801 SITE.DWG

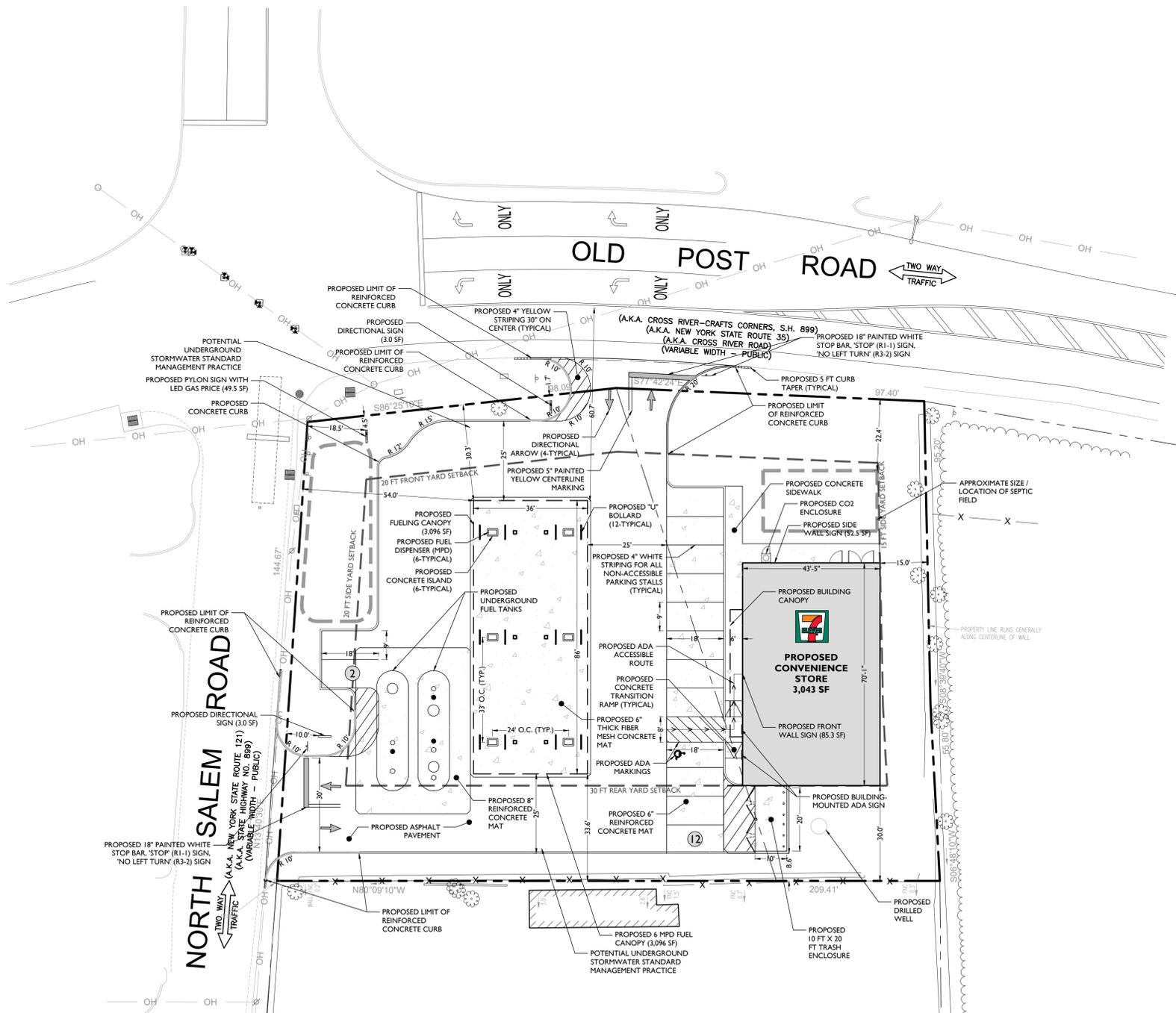


TABLE OF LAND USE AND ZONING		
SECTION 42.18, BLOCK 1, LOTS 5 & 7		
RETAIL BUSINESS DISTRICT (R-B)		
<b>PROPOSED USE</b>	PERMITTED USE BY SPECIAL PERMIT*	
RETAIL FUEL SERVICE	PERMITTED USE BY SPECIAL PERMIT*	
CONVENIENCE MARKET	ACCESSORY USE BY SPECIAL PERMIT**	
FUEL CANOPY	ACCESSORY USE	
<b>ZONING REQUIREMENT</b>	<b>REQUIRED</b>	<b>PROPOSED</b>
MINIMUM LOT AREA	21,780 SF (0.5 AC)	30,467 SF (0.70 AC)
MINIMUM LOT FRONTAGE	100 FT	195.5 FT
MAXIMUM FLOOR AREA RATIO	0.3	0.10 (3,043 SF)
MINIMUM FRONT YARD SETBACK	STREET CENTER = 45 FT FRONT LOT LINE = 20 FT	STREET CENTER = 60.7 FT FRONT LOT LINE = 30.3 FT
MINIMUM SIDE YARD SETBACK	15 FT ***	15.0 FT
MINIMUM REAR YARD SETBACK	30 FT	30.0 FT
MAXIMUM BUILDING HEIGHT	30 FT / 2.5 STORIES	1 STORY
MAXIMUM BUILDING COVERAGE	20% (6,093.4 SF)	9.9% (3,043.0 SF)
MAXIMUM SITE COVERAGE	60% (18,280.1 SF)	66.8% (20,342.0 SF) (V)

\* TOWN ZONING BOARD APPROVAL  
 \*\* PLANNING BOARD APPROVAL  
 \*\*\* PER R1/2A RESIDENTIAL ZONE SETBACK REQUIREMENTS  
 (V) VARIANCE

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 220-56 D	REQUIRED PARKING: CONVENIENCE STORE: 1 SPACE PER 125 SF OF GFA (3,043 SF) (1 SPACE / 125 SF) = 25 SPACES  TOTAL: 25 SPACES	26 SPACES*
§ 220-55 C(1)	MINIMUM PARKING SPACE DIMENSIONS: WIDTH = 9 FT LENGTH = 18 FT	WIDTH = 9 FT LENGTH = 18 FT
§ 220-55 C(3)	MINIMUM DRIVE AISLE WIDTH: 25 FT	25 FT

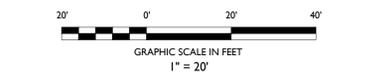
(\* ) 12 SPACES INCLUDED IN COUNT ARE FUELING POSITIONS. REQUIREMENT TO BE VERIFIED WITH ZONING OFFICER

SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 185-5F(6)	DIRECTIONAL SIGN: MAXIMUM SIGN FACE AREA = 2 SF	3.0 SF (V)
§ 185-5F(3) & § 185-5F(4)	WALL SIGN: NUMBER = 1 WALL SIGN PER BUSINESS(*) MAXIMUM SIGN LENGTH = 20 FT MAXIMUM SIGN HEIGHT = 2 FT SECONDARY WALL SIGN MAXIMUM AREA = 6 SF	2 SIGNS (V) 30.7 FT (V) 3.25 FT (V) 52.5 SF (V)
§ 185-5F & § 185-6D	FREE STANDING SIGN REQUIREMENTS: MAXIMUM HEIGHT = 10 FT BOTTOM EDGE OF SIGN MINIMUM HEIGHT = 7 FT MAXIMUM DIMENSION = 10 FT MAXIMUM AREA = 8 SF	20.0 FT (V) 9.8 FT 9.8 FT 49.9 SF (V)

(V) VARIANCE  
 (\*) ONE ADDITIONAL WALL SIGN PER BUSINESS OCCUPANT PERMITTED PROVIDED SUCH SIGN SHALL NOT EXCEED SIX SQUARE FEET AND SHALL BE FIXED TO A DIFFERENT OUTER BUILDING FACE OR WALL

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - - -	SETBACK LINE
---	SAWCUT LINE
=====	PROPOSED CURB
=====	PROPOSED DEPRESSED CURB
=====	PROPOSED FLUSH CURB
=====	PROPOSED REINFORCED CURB
○	PROPOSED SIGNS
■	PROPOSED BUILDING
□	PROPOSED CONCRETE
■	PROPOSED AREA LIGHT
W	PROPOSED BUILDING DOORS
→	PROPOSED ADA ACCESSIBLE ROUTE

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
  - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
  - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
  - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



ISSUE	DATE	BY	DESCRIPTION
2	03/08/2019	KG	SUBMISSION TO PLANNING BOARD
1	02/19/2019	KG	ISSUED TO CLIENT FOR REVIEW

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
 engineering & design

Rutherford, NJ · New York, NY  
 Princeton, NJ · Tampa, FL · Detroit, MI  
 www.stonefielddesign.com

584 Broadway, Suite 310, New York, NY 10012  
 Phone 718.606.8305

**PRELIMINARY SITE PLANS**

**BLACK DIAMOND EQUITY**

**PROPOSED CONVENIENCE STORE WITH FUELING OPERATIONS**

SECTION 42.18, BLOCK 1, LOTS 5 & 7  
 873 OLD POST ROAD (NY STATE ROUTE 35)  
 TOWN OF LEWISBORO  
 WESTCHESTER COUNTY, NEW YORK

**DRAFT**

ZACHARY CHAPLIN, P.E.  
 NEW YORK LICENSE NO. 099748  
 LICENSED PROFESSIONAL ENGINEER

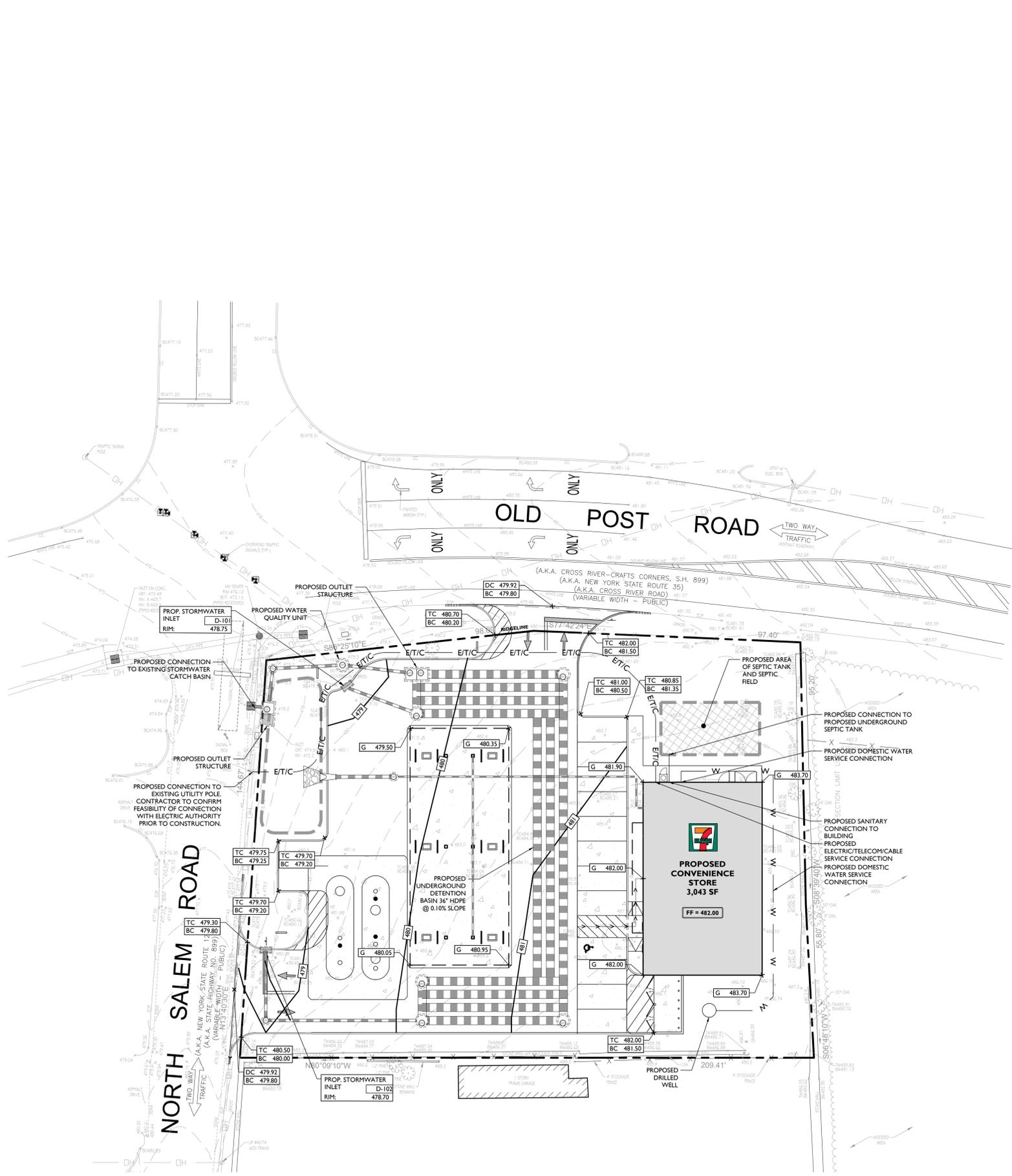
**STONEFIELD**  
 engineering & design

SCALE: 1" = 20' PROJECT ID: K-18081

TITLE: **SITE PLAN**

DRAWING: **C-3**

K:\2018\1801 BLACK DIAMOND EQUITY - 873 ROUTE 311 MAIN STREET (CT-33), LEWISBORO, VT\03030\0304\UTL-GRAD.DWG



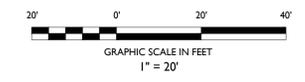
SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGELINE
	PROPOSED DIRECTION OF DRAINAGE FLOW
	PROPOSED GRADE SPOT SHOT
	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
	PROPOSED FLUSH CURB SPOT SHOT
	PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT
	PROPOSED SANITARY LATERAL
	PROPOSED DOMESTIC WATER SERVICE
	PROPOSED OVERHEAD WIRES
	PROPOSED GAS LINE
	PROPOSED SANITARY MANHOLE / CLEANOUT
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGELINE
	PROPOSED STORMWATER STRUCTURES

**GRADING NOTES**

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC, FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
  - CURB GUTTER: 0.50%
  - CONCRETE SURFACES: 1.00%
  - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IF THIS CONDITION CANNOT BE MET.
7. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

**ADA NOTES**

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.



NO.	DATE	ISSUE	BY	DESCRIPTION
2	03/08/2019	KG		SUBMISSION TO PLANNING BOARD
1	02/19/2019	KG		ISSUED TO CLIENT FOR REVIEW

**NOT APPROVED FOR CONSTRUCTION**

**STONEFIELD**  
engineering & design

Rutherford, NJ • New York, NY  
Princeton, NJ • Tampa, FL • Detroit, MI  
www.stonefielddesign.com



584 Broadway, Suite 310, New York, NY 10012  
Phone 718.606.8305

**PRELIMINARY SITE PLANS**  
**BLACK DIAMOND EQUITY**  
**PROPOSED CONVENIENCE STORE WITH FUELING OPERATIONS**



SECTION 42.18, BLOCK 1, LOTS 5 & 7  
873 OLD POST ROAD (NY'S ROUTE 35)  
TOWN OF LEWISBORO  
WESTCHESTER COUNTY, NEW YORK

**DRAFT**

ZACHARY CHAPLIN, P.E.  
NEW YORK LICENSE NO. 099748  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 20' PROJECT ID: K-18081

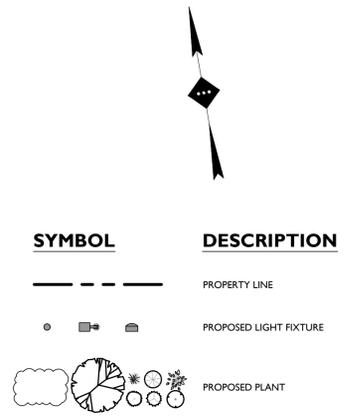
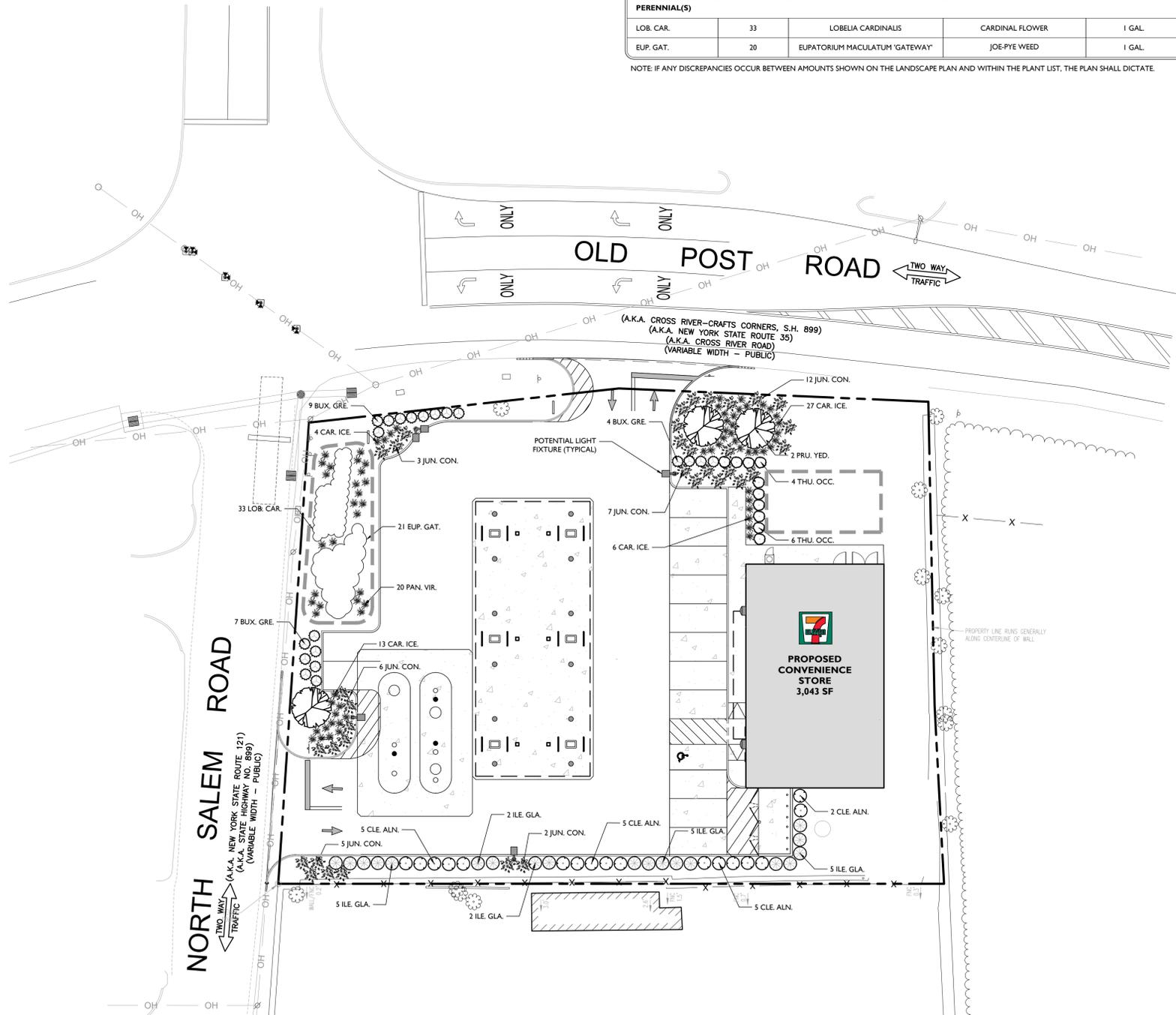
TITLE:  
**PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN**

DRAWING:  
**C-4**

K:\2018\1801\BLACK DIAMOND EQUITY - 873 ROUTE 33\MAIN STREET (CT-33).LW\DWG - 17\LANDSCAPE\PHOTOS\LIGHT\_LAND.DWG

PLANT SCHEDULE					
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>ORNAMENTAL TREES</b>					
PRU. YED.	3	PRUNUS X YEDOENSIS	YOSHINO CHERRY	2-2 1/2" CAL	B&B
<b>EVERGREEN TREES</b>					
THU. OCC.	11	THUJA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBORVITAE	5'-6'	B&B
<b>EVERGREEN SHRUBS</b>					
BUX. GRE.	20	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	18"-24"	B&B
ILE. GLA.	19	ILEX GLABRA	SHAMROCK INKBERRY	24"-30"	B&B
<b>DECIDUOUS SHRUBS</b>					
CLE. ALN.	17	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA	24"-30"	B&B
<b>GROUND COVERS</b>					
JUN. CON.	35	JUNIPERUS CONFERTA 'BLUE PACIFIC'	SHORE JUNIPER	24"-36"	CONT. 3" O.C.
<b>GRASSES</b>					
CAR. ICE.	44	CAREX MORROWII 'ICE DANCE'	VARIEGATED SEDGE	1 GAL.	CONT. 18" O.C.
PAN. VIR.	20	PANICUM VIRGATUM 'SHENANDOAH'	SWITCHGRASS	1 GAL.	CONT. 30" O.C.
<b>PERENNIAL(S)</b>					
LOB. CAR.	33	LOBELIA CARDINALIS	CARDINAL FLOWER	1 GAL.	CONT. 18" O.C.
EUP. GAT.	20	EUPATORIUM MACULATUM 'GATEWAY'	JOE-PYE WEED	1 GAL.	CONT. 18" O.C.

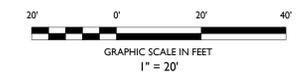
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.



**IRRIGATION NOTE:**  
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN LANDSCAPE AREAS.

**LANDSCAPING NOTES**

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



ISSUE	DATE	BY	DESCRIPTION
2	03/08/2019	KG	SUBMISSION TO PLANNING BOARD
1	02/19/2019	KG	ISSUED TO CLIENT FOR REVIEW

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design

Rutherford, NJ • New York, NY  
Princeton, NJ • Tampa, FL • Detroit, MI  
www.stonefielddesign.com

584 Broadway, Suite 310, New York, NY 10012  
Phone 718.606.8305

**PRELIMINARY SITE PLANS**

**BLACK DIAMOND EQUITY**

**PROPOSED CONVENIENCE STORE WITH FUELING OPERATIONS**

SECTION 42.18, BLOCK 1, LOTS 5 & 7  
873 OLD POST ROAD (NY STATE ROUTE 33)  
TOWN OF LEWISBORO  
WESTCHESTER COUNTY, NEW YORK

**DRAFT**

ZACHARY CHAPLIN, P.E.  
NEW YORK LICENSE NO. 099748  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

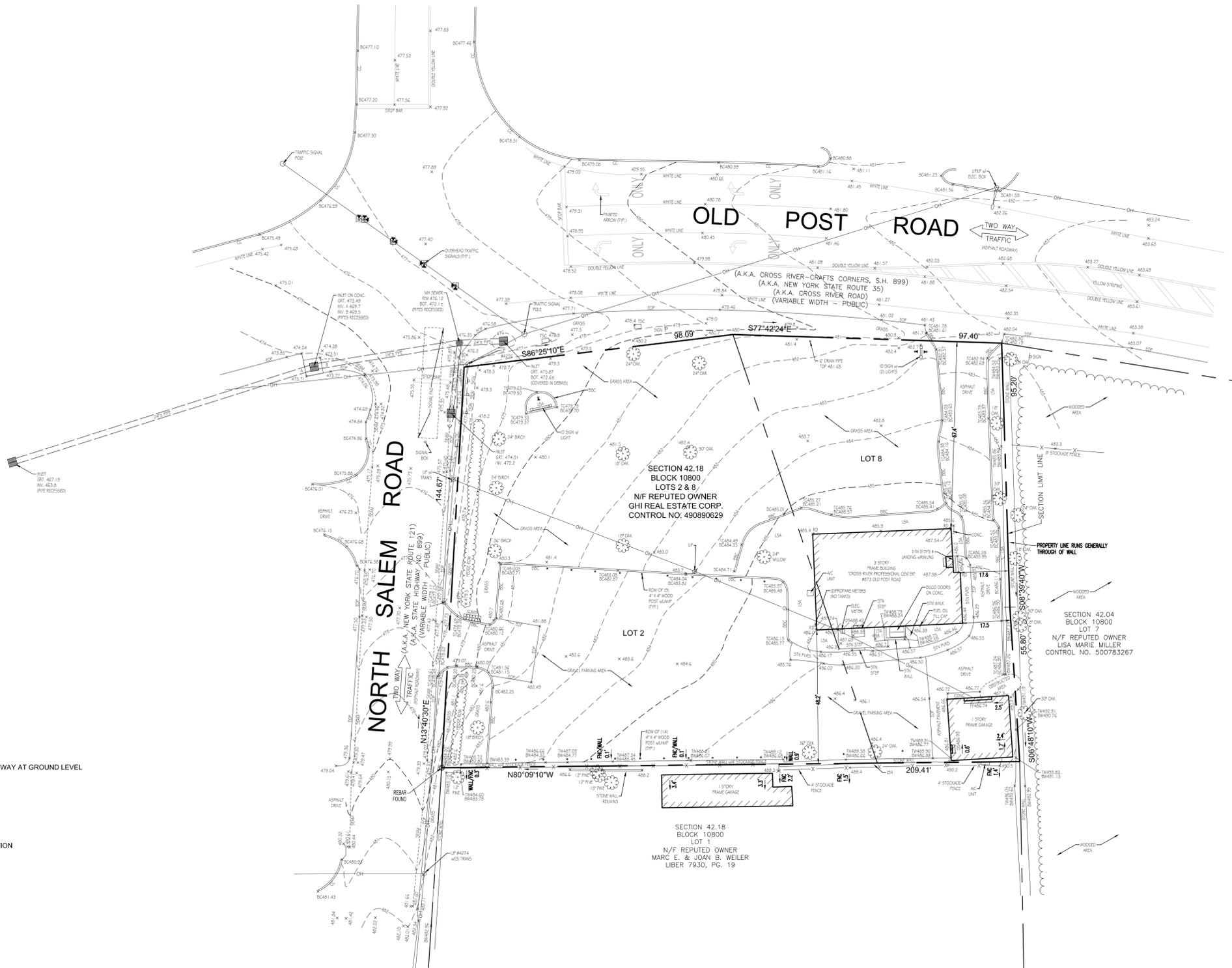
SCALE: 1" = 20' PROJECT ID: K-18081

TITLE:  
**PRELIMINARY LIGHTING & LANDSCAPING PLAN**

DRAWING:  
**C-5**



VICINITY MAP



- NOTES:
- PROPERTY KNOWN AS LOTS 2 & 8, IN BLOCK 10800, SECTION 42.18 AS DESIGNATED ON THE OFFICIAL TAX MAP FOR THE TOWN OF LEWISBORO, WESTCHESTER COUNTY, STATE OF NEW YORK, PRINT DATE: MARCH 4, 2014.
  - AREA: 30,466 S.F. OR 0.6994 AC.
  - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
  - THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT AND IS SUBJECT TO THE COVENANTS, RESTRICTIONS AND EASEMENTS THAT MAY BE CONTAINED THEREIN.
  - ELEVATIONS ARE BASED UPON NAVD 88 DATUM.
  - BY GRAPHIC PLOTTING, PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NO. 36119C0909F, EFFECTIVE DATE: SEPTEMBER 28, 2007, OBTAINED FROM FEMA NFHL WEB SERVICE ON JANUARY 14, 2019.
  - THE LOCATION AND EXTENTS OF UNDERGROUND TANKS AND VAULTS, IF ANY EXIST, HAVE NOT BEEN DETERMINED BY THE SURVEYOR.

- REFERENCES:
- SUBDIVISION OF PROPERTY PREPARED FOR RANNEKLEV BROS., INC., SITUATE IN THE TOWN OF LEWISBORO, WESTCHESTER COUNTY, N.Y., PREPARED BY H. STANLEY JOHNSON, LAND SURVEYOR, DATED: JUNE 15, 1975, LAST REVISED: DECEMBER 10, 1979, FILED IN THE OFFICE OF THE COUNTY CLERK OF WESTCHESTER COUNTY ON APRIL 10, 1980 AS MAP NO. 20223.
  - NEW YORK STATE DEPARTMENT OF TRANSPORTATION DESCRIPTION AND MAP FOR THE ACQUISITION OF PROPERTY, MAP NO. 85, PARCEL NO. 107, APPROVED NOVEMBER 29, 1989.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

**BOUNDARY & TOPOGRAPHIC SURVEY**  
**LOTS 2 & 8, BLOCK 10800, SECTION 42.18**  
 873 OLD POST ROAD  
 CROSS RIVER, TOWN OF LEWISBORO  
 WESTCHESTER COUNTY  
 STATE OF NEW YORK

**GALLAS SURVEYING GROUP**  
 2865 U.S. ROUTE 1  
 NORTH BRUNSWICK, NJ 08902  
 TELE: 732-422-6700  
 FAX: 732-940-8786  
 www.gallasurvey.com

DATE	SCALE	DRAWN:	CHECKED:
02-15-2019	1"=20'	E.C.R.	G.S.G./J.R.T.
FIELD DATE	FIELD BOOK	PAGE	FIELD CREW
01-25-2019	103	148	B.F./L.R.
FILE NO.:	DRAWING NAME/SHEET NO.		
G19006	G19006.DWG 1 OF 1		

NOT VALID UNLESS EMBOSSED WITH RAISED  
  
**GREGORY S. GALLAS**  
 NEW YORK PROFESSIONAL LAND SURVEYOR #50124  
 DATE: 02-15-2019

**MAP LEGEND**

	PROPERTY LINE
	BUILDING FOOTPRINT AND DOORWAY AT GROUND LEVEL
	EXISTING CONTOUR
x 482.34	EXISTING SPOT ELEVATION
x TC 482.34	EXIST. TOP OF CURB ELEVATION
x GC 482.34	EXIST. GUTTER ELEVATION
x TW 482.34	EXIST. TOP OF WALL ELEVATION
x BW 482.34	EXIST. BOTTOM OF WALL ELEVATION
x DS 482.34	DOOR SILL ELEVATION
x FF 482.34	FINISHED FLOOR ELEVATION
	OVERHEAD WIRES
	MANHOLE
	INLET
	UTILITY POLE
	UTILITY POLE/LIGHT POLE
	BOLLARD
	SIGN
AC	AIR CONDITIONING
CC	CONCRETE CURB
CLF	CHAIN LINK FENCE
CONC	CONCRETE
ICP	EDGE OF PAVEMENT
FNC	FENCE
LSA	LANDSCAPED AREA
MB	MAIL BOX
PVES	PAVERS
RD	ROOF DRAIN
STN	STONE
TRANS	TRANSFORMER
TSC	TRAFFIC SIGNAL COVER
	DENOTES OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
	DENOTES TREE WITH SPECIES AND TRUNK DIAMETER

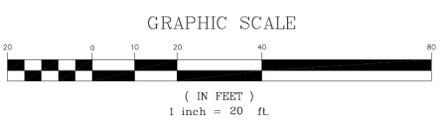
**UTILITIES:**  
 THE FOLLOWING COMPANIES WERE NOTIFIED BY NEW YORK STATE ONE-CALL SYSTEM (1-800-962-7962) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.  
 SERIAL NUMBER(S): 01149-547-085

<b>UTILITY COMPANY</b>	<b>PHONE NUMBER</b>
ALTICE USA	(800) 282-8600
NYSEG / BREWSTER ELEC.	(800) 282-8600
TOWN OF LEWISBORO	(914) 763-5166

**NOTE: ALL UTILITY COMPANIES DID NOT RESPOND TO MARKOUT REQUEST.**

**Dig Safely. New York**  
 800-962-7962  
 www.digsafelynewyork.com  
 Call Before You Dig  
 Wait The Required Time  
 Confirm Utility Response  
 Respect the Marks  
 Dig With Care

THE STATE OF NEW YORK REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



**From:** Dr.Edward Mayland <eam1977cr@gmail.com>  
**Sent:** Sunday, March 24, 2019 8:23 AM  
**To:** Planning@lewisborogov.com  
**Subject:** 7-11 store

No 7-11 store for this neighborhood please.  
Dr.Edward A. Maylands iPhone